

## HOW DO I APPLY?

You will be required to complete and sign an Application for a Permit to Construct or Demolish (**Appendix 'A'**).

If it has been determined that your application is incomplete under the Ontario Building Code, you will be required to complete an Acknowledgement by Applicant of Incomplete Application (**Appendix 'B'**).

- An application (in general) can be declared as complete, by the applicant where:
  - The Application for a Permit to Construct or Demolish (**Appendix 'A'**) has been properly completed and signed.
  - The application must be accompanied by complete plans, specifications, and documents to establish compliance with the Ontario Building Code regulations and City of Greater Sudbury Zoning bylaw.
    - ✓ Note: Zoning information is available at:  
<https://www.greatersudbury.ca/do-business/zoning/>

You may also be required to submit other pertinent information depending on the type of construction project you propose.

### ***THE SITE PLAN (Plot Plan or Survey) (Appendix 'C')***

A site plan is required for any new buildings, additions, accessory buildings or structures.

A site plan should be drawn to scale on paper **no smaller** than 8 1/2" x 11" and **no bigger** than 11" x 17" and contain the following information:

- Title and scale
- Legal description
- Street name
- North arrow
- Property lines with dimensions
- Setbacks (distance) to all property lines from all existing and proposed structures
- Proposed construction (shaded or cross hatched)
- Overall building dimensions, lot coverage, new and existing building areas of all buildings
- Right-of-way easements

## ***BUILDING PLANS OR DRAWINGS***

Drawings are required for all new buildings, additions, accessory buildings and structural alterations. All drawings must be drawn to scale on paper **no smaller** than 11" x 17". Two sets of drawings are usually required, and once approved, one set will be returned to you. This returned set must be kept on the construction site at all times. Measurements may either be in imperial or metric. Plans vary depending on the type of construction but typically include:

- **Foundation or Basement Plan (Appendix 'D')**
  - Fully dimensioned
  - Size and location of beams
  - Bearing walls or support columns
  - Footings, pier and continuous
  - Foundation thickness
  - Foundation type (concrete block, poured concrete, wood, etc.)
  - Size and type of floor joists, spans and centres
  - Stair location and framing
  
- **Floor Plan (Appendix 'E')**
  - Title and scale
  - Use of rooms and space
  - Extent of new construction including new work within an existing building
  - Size, type and location of exterior and interior walls and partitions
  - Widths, locations and lintel sizes of all openings
  - Location, dimension and direction of stairs
  - Size, type, spacing and location of structural members
  - Sectional arrow
  - References to detailed drawings
  - Material specifications or notes
  
- **Sections (Appendix 'F')**
  - Title and scale
  - Size and type of footings and foundation walls
  - Roof and ceiling construction, roof slope
  - Grade
  - Distance from grade to floor and underside of footing
  - Exterior and interior wall construction
  - Floor construction
  - Attic and crawl space ventilation
  
- **Elevations (Appendix 'G')**
  - Title and scale
  - Extent of new and existing construction
  - Grade level
  - Roof shape, slope and finish
  - Exterior wall cladding, finishes and flashing(s)
  - Vertical dimensions of walls, windows and doors
  - Overhang dimensions
  - Rain water leader and eavestrough
  - Overall height to peak of roof

## **TYPE OF BUILDING PERMITS**

### ***ACCESSORY BUILDING PERMITS***

**DEFINITION:** Accessory: A use, separate building or structure, which is usually incidental, subordinate, exclusively devoted to and located on the same lot as the principal use, building or structure and, in the case of a building or structure, may or may not be attached to the main building on the same lot

#### **Permits for Accessory structures may include the following:**

1. Sheds/Gazebos
2. Detached Garages
3. Swimming Pools
4. Decks
5. Solar Panels
6. Farm Building (see Zoning By-law 2010-100Z, as can also be considered main building)

**In all cases the permit application will require a minimum the following documents as part of the application package:**

- ✓ Completed Application for a Permit to Construct or Demolish (**Appendix 'A'**)
- ✓ Completed and signed Acknowledgement of Incomplete Application Waiver (**Appendix 'B'**) (if application has been deemed incomplete)
- ✓ Signed Schedule 1 (**Appendix 'A'**)
- ✓ Site Plan (plot plan or survey) (**Appendix 'C'**)
- ✓ Proof of Ownership
- ✓ Two sets of Plans (the City will provide standard drawings for sheds, garages and decks only)

Any accessory structure having a concrete slab on grade and exceeds 592 sq.ft. requires:

- ✓ Slab on grade designed by an engineer
- ✓ Structural commitment certificate signed by the engineer of record (**Appendix 'H'**)
- ✓ Owner's Undertaking (**Appendix 'I'**)

If a deck is less than 24" in height, is detached from the house, a permit is not required regardless of the square footage.

If a deck is greater than 24" in height, is greater than 108 sq.ft., attached or detached from the house, a permit is required.

If a deck is providing access to the main entrance of a dwelling, regardless of size, height, attached or detached, a permit is required.

## ***Demolition Work***

A demolition permit is required before taking down all or part of a building.

The application may be affected by special situations. For example, if a building has historical or architectural significance, it may be designated as a heritage building under the Ontario Heritage Act and Council approval from the City of Greater Sudbury will be required. In some cases, the applicant must hire a professional engineer to oversee the demolition.

**A permit application for demolition will require a minimum the following documents as part of the application package:**

- ✓ Completed Application for a Permit to Construct or Demolish (**Appendix 'A'**)
- ✓ Completed and signed Acknowledgement of Incomplete Application Waiver (**Appendix 'B'**) (if application has been deemed incomplete)
- ✓ Completed Demolition Permit Application (**Appendix 'J'**)
- ✓ Signed Schedule 1 (**Appendix 'A'**)
- ✓ Site Plan (plot plan or survey) (**Appendix 'C'**)
- ✓ Proof of Ownership

**APPENDIX 'A'**

**Application for a Permit to Construct or Demolish**

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority				
Application number:		Permit number (if different):		
Date received:		Roll number:		
<b>CITY OF GREATER SUDBURY</b>				
Application submitted to: _____ (Name of municipality, upper-tier municipality, board of health or conservation authority)				
A. Project information				
Building number, street name			Unit number	Lot/con.
Municipality	Postal code	Plan number/other description		
Project value est. \$		Area of work (m <sup>2</sup> )		
B. Purpose of application				
New construction	Addition to an existing building	Alteration/repair	Demolition	Conditional Permit
Proposed use of building		Current use of building		
Description of proposed work				
C. Applicant				
Applicant is:		Owner or	Authorized agent of owner	
Last name		First name	Corporation or partnership	
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number ( )	Fax ( )	Cell number ( )		
D. Owner (if different from applicant)				
Last name		First name	Corporation or partnership	
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number ( )	Fax ( )	Cell number ( )		

<b>E. Builder (optional)</b>			
Last name	First name	Corporation or partnership (if applicable)	
Street address			Unit number Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ( )	Fax ( )	Cell number ( )	
<b>F. Tarion Warranty Corporation (Ontario New Home Warranty Program)</b>			
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			Yes No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			Yes No
iii. If yes to (ii) provide registration number(s): _____			
<b>G. Required Schedules</b>			
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.			
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.			
<b>H. Completeness and compliance with applicable law</b>			
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			Yes No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			Yes No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			Yes No
iv) The proposed building, construction or demolition will not contravene any applicable law.			Yes No
<b>I. Declaration of applicant</b>			
I _____ declare that: (print name)			
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.			
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.			
_____		_____	
Date		Signature of applicant	

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

## Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name		Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name		Firm	
Street address		Unit no.	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number (    )	Fax number (    )	Cell number (    )	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
House	HVAC – House	Building Structural	
Small Buildings	Building Services	Plumbing – House	
Large Buildings	Detection, Lighting and Power	Plumbing – All Buildings	
Complex Buildings	Fire Protection	On-site Sewage Systems	
Description of designer's work			
D. Declaration of Designer			
I _____ declare that (choose one as appropriate):			
(print name)			
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.			
Individual BCIN: _____			
Firm BCIN: _____			
I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.			
Individual BCIN: _____			
Basis for exemption from registration: _____			
The design work is exempt from the registration and qualification requirements of the Building Code.			
Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
_____ Date		_____ Signature of Designer	

**NOTE:**

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.



# APPENDIX 'C'

## Sample Site Plan



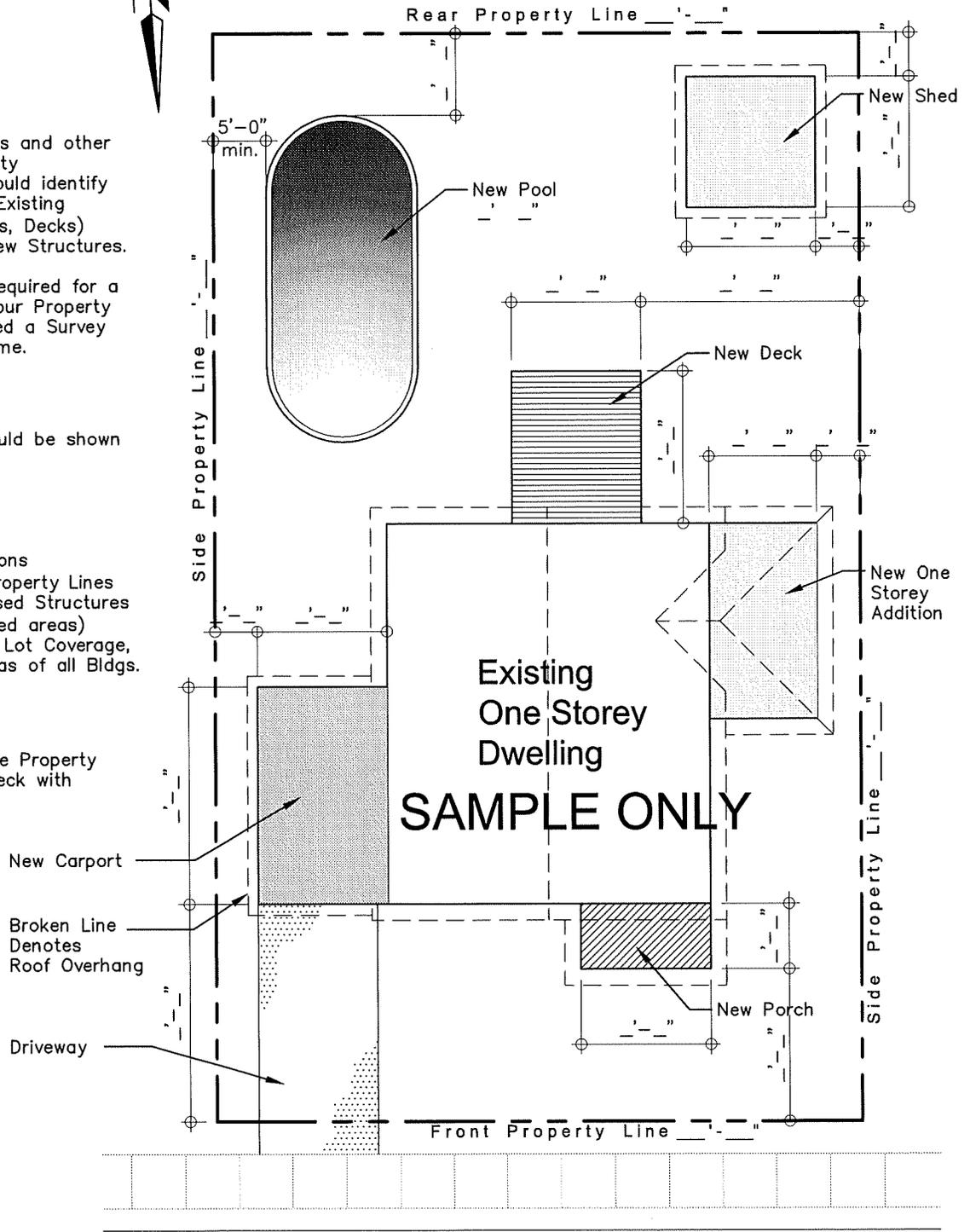
A Site Plan identifies Buildings and other features in relation to Property Boundaries. The Site Plan should identify your Existing Dwelling, other Existing Structures (ie. Garages, Sheds, Decks) and Proposed Additions or New Structures.

Most or all the information required for a Site Plan can be found on your Property Survey. You may have received a Survey when you purchased your Home.

The following information should be shown on a Site Plan:

- Title and Scale
- Legal Description
- Street Name
- North Arrow
- Property Lines with Dimensions
- Setbacks(distance) to all Property Lines from all Existing and Proposed Structures
- Proposed Construction(shaded areas)
- Overall building Dimensions, Lot Coverage, New & Existing Building Areas of all Bldgs.
- Right Of Way Easements.

In some instances a complete Property Survey may be sufficient. Check with staff at our counter.



STREET

Scale: 1"= 30'-0"

### Note:

- 1.) Do Not Submit this Sample Drawing as part of your Drawing Package.
- 2.) Plans Submitted for Review are to be drawn at a Recognized Scale ie. 1"= 20'-0" or 1:100(metric)

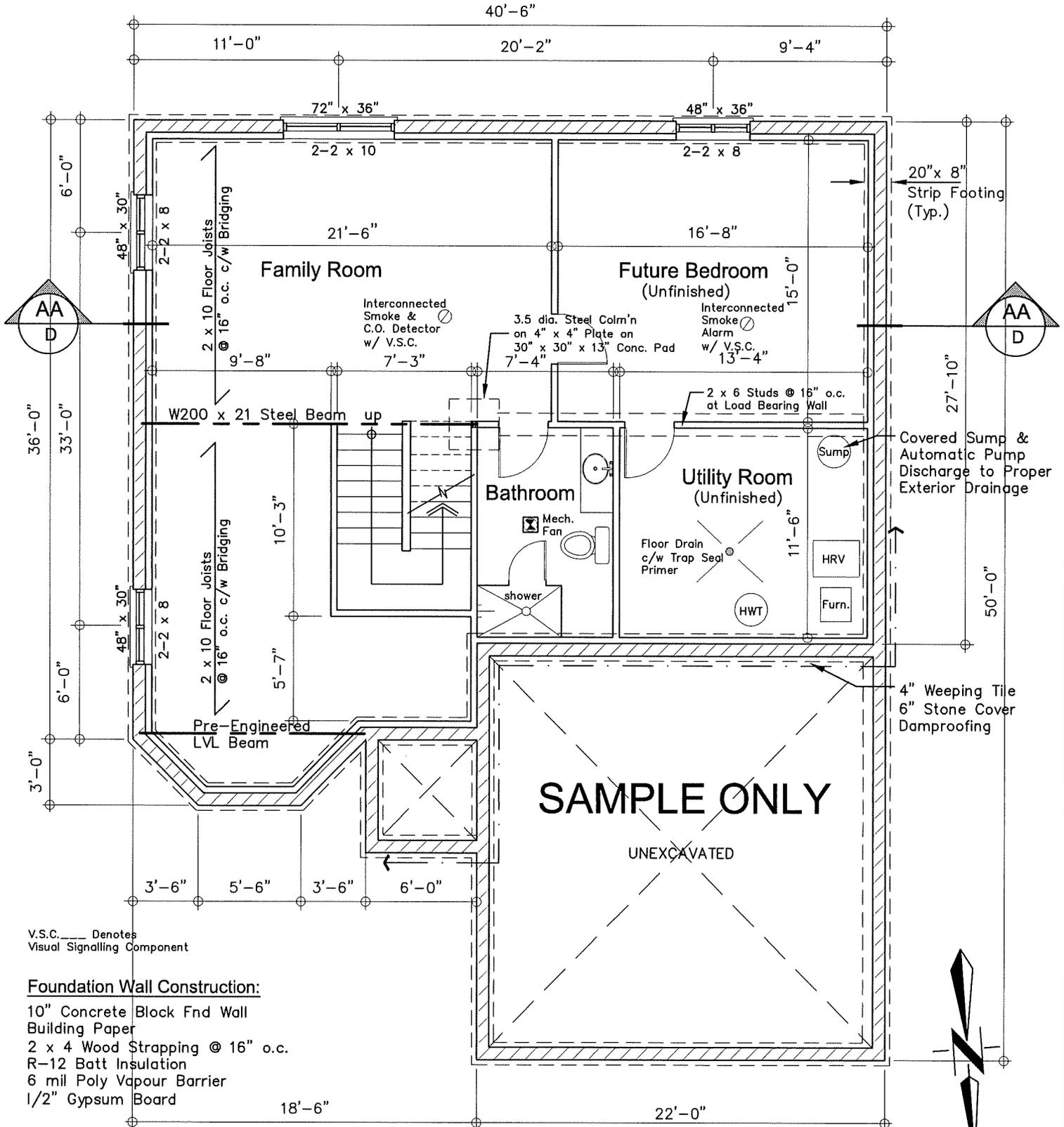
### Legend:

---" Denotes information that is Required on your SITE PLAN. This information consists of Setbacks, Dimensions and Other Elements.

# APPENDIX 'D'

## Sample Foundation or Basement Plan

A Floor Plan is a top view of a structure as seen if it is cut horizontally a few feet above the floor. One Floor Plan is required for every floor of the dwelling, which is affected by the construction. Each Floor plan shows the interior layout of the level in question as well as providing the Structural Framing information for the floor above. In the case of the top floor plan, the Roof Framing is shown instead.



V.S.C. Denotes Visual Signalling Component

**Foundation Wall Construction:**

- 10" Concrete Block End Wall
- Building Paper
- 2 x 4 Wood Strapping @ 16" o.c.
- R-12 Batt Insulation
- 6 mil Poly Vapour Barrier
- 1/2" Gypsum Board

**Interior Partitions:**

- 1/2" Gypsum Board
- 2 x 4 Wood Studs @ 16" o.c. (Unless noted otherwise)
- 1/2" Gypsum Board
- Protection from Dampness Req'd

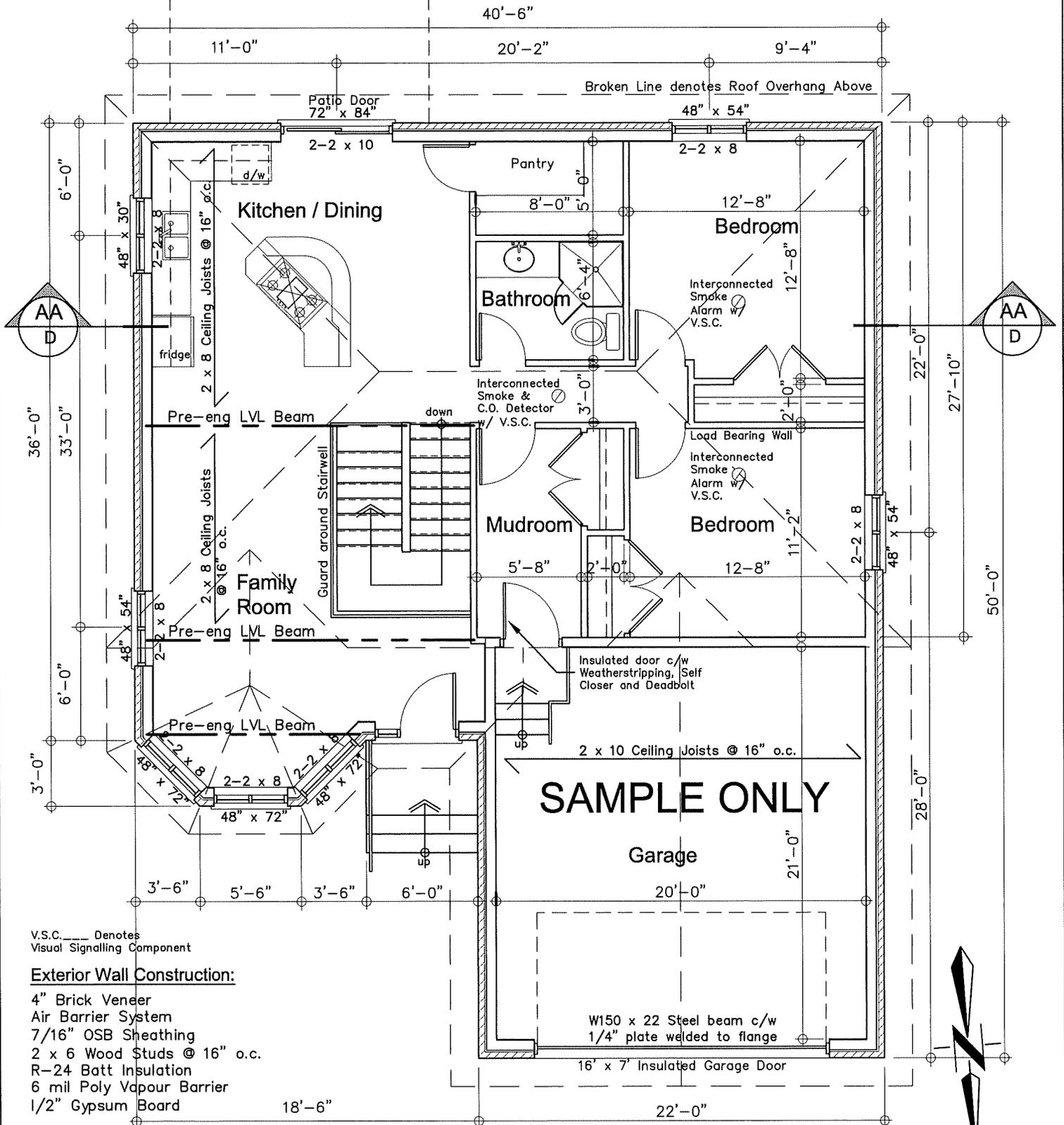
## Basement Plan

Scale: 1/4" = 1'-0" Rev. Feb. 2016

# APPENDIX 'E'

## Sample Floor Plan

A Floor Plan is a top view of a structure as seen if it is cut horizontally a few feet above the floor. One Floor Plan is required for every floor of the dwelling, which is affected by the construction. Each Floor plan shows the interior layout of the level in question as well as providing the Structural Framing information for the floor above. In the case of the top floor plan, the Roof Framing is shown instead.



## Main Floor Plan

Scale: 1/4" = 1'-0" Rev. Feb. 2016

# APPENDIX 'F'

## Sample Building Section

A Building Section presents a view of the Dwelling along an imaginary cut through one particular location of the Building. It illustrates the typical relationship between the various components which are hidden in walls, floors and ceilings. Additional sections may be required at other locations to provide further clarifications. The extent of the sections should correspond with the sectional arrows shown on plans.

### Attic Ventilation:

Supplied by under eaves venting & Roof Vents.  
 Combined Vent Area to be min. 1/300th of Insulated Ceiling Area and be protected at perimeter with Foam Channels to ensure air flow over walls.

### Roof Construction:

25 yr Asphalt Shingles  
 7/16" OSB Roof Sheathing  
 2 x 6 Roof Rafters @ 16" o.c.  
 2 x 4 Collar Ties w/ Ribbon Brd  
 R-50 Roof Insulation  
 Ceiling Joists as per Floor Plan  
 6 mil Poly Vapour Barrier  
 1/2" Gypsum Board

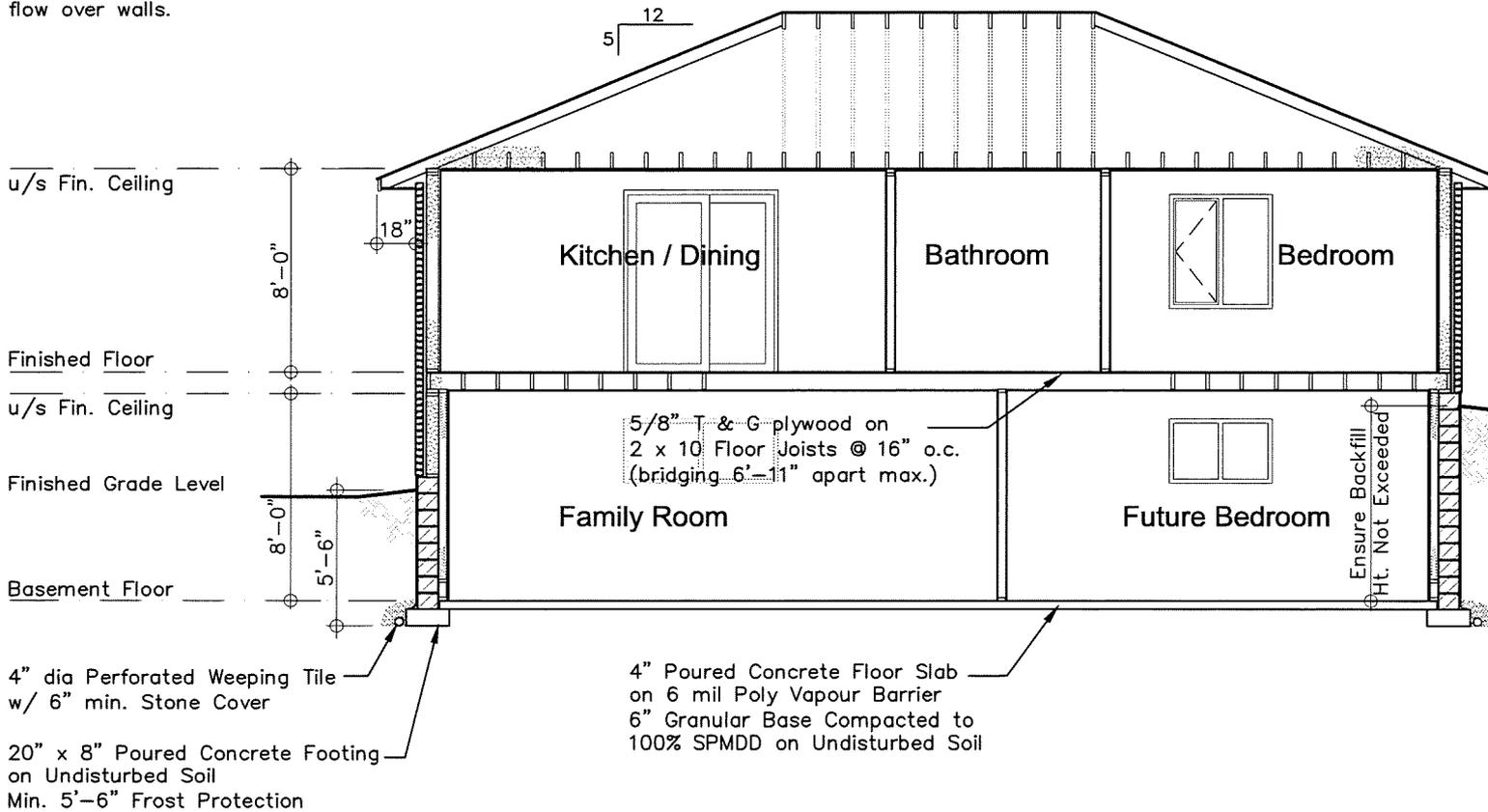
### Exterior Wall Construction:

4" Brick Veneer  
 Air Barrier System  
 7/16" OSB Sheathing  
 2 x 6 Wood Studs @ 16" o.c.  
 R-24 Batt Insulation  
 6 mil Poly Vapour Barrier  
 1/2" Gypsum Board

Finished Grade Level  
 Slope grade away from Building

### Foundation Construction:

2 Coats of Bitumen Damproofing  
 3/16" Conc. Parging  
 10" Concrete Block Fnd Wall  
 15# Building Paper  
 2 x 4 Wood Strapping @ 16" o.c.  
 R-12 Batt Insulation  
 6 mil Poly Vapour Barrier  
 1/2" Gypsum Board



**SAMPLE ONLY**



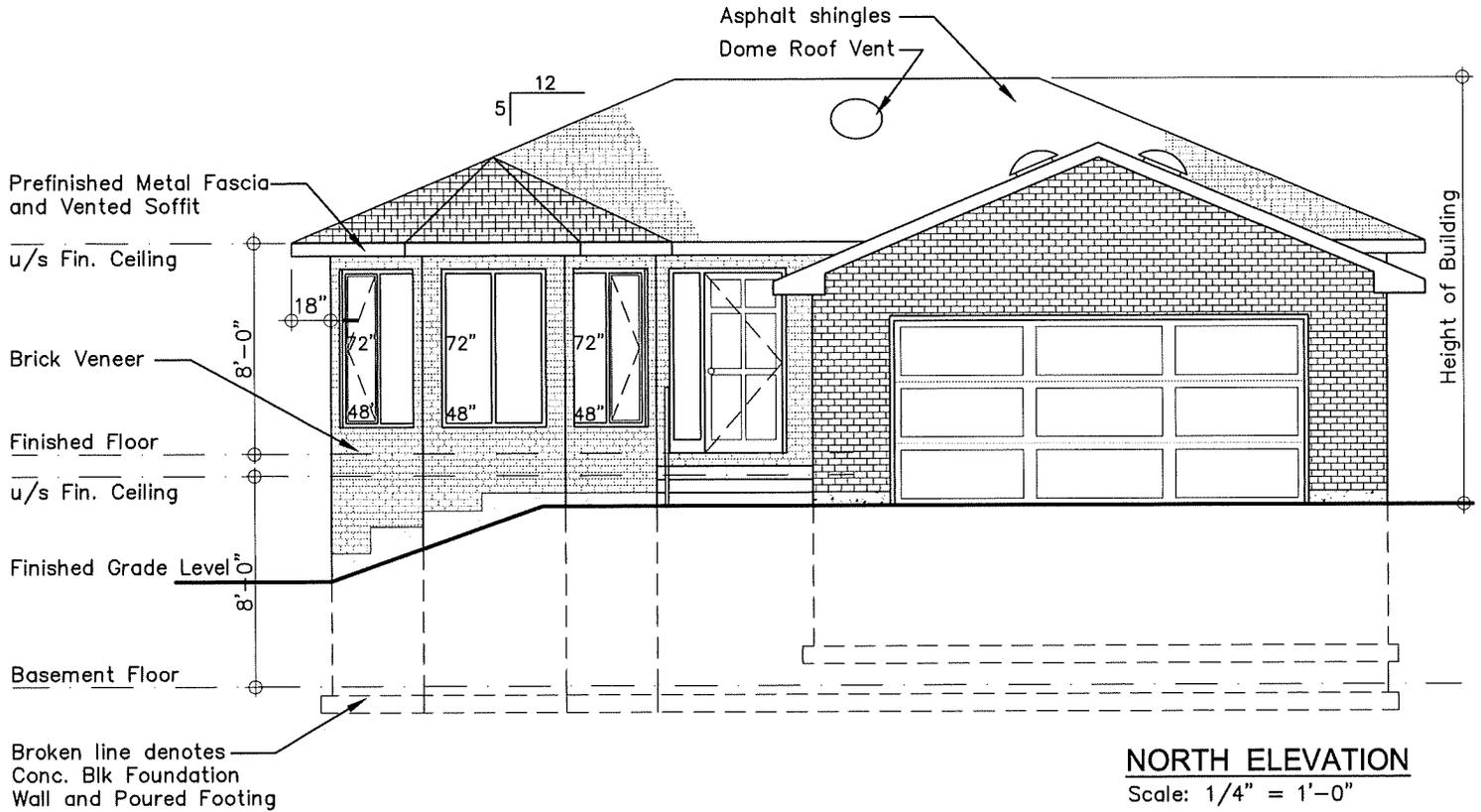
**Building Cross Section**

Scale: 1/4" = 1'-0"

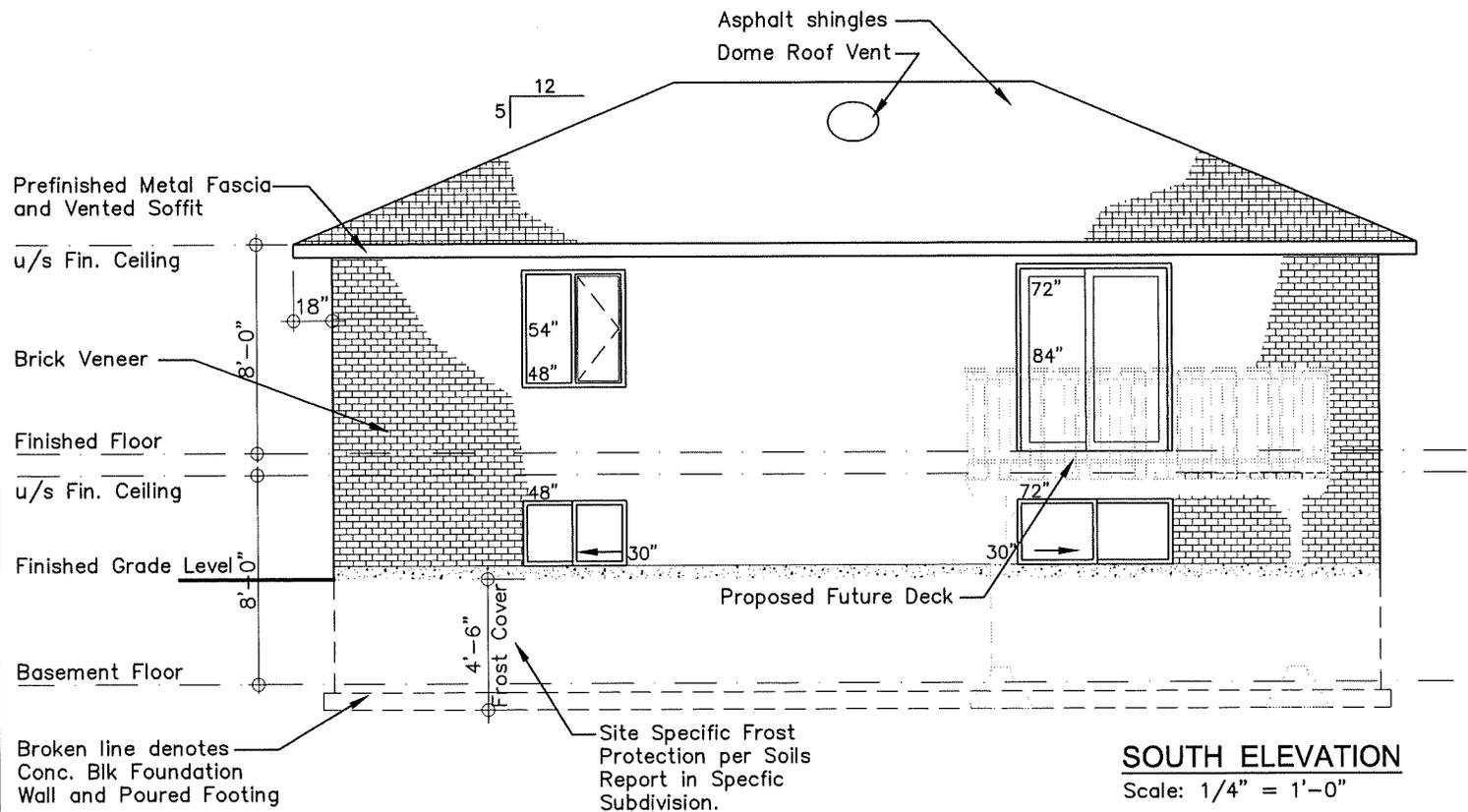
# APPENDIX 'G'

## Sample Building Elevation

Building Elevations show the Exterior of each side of the Building.  
Each Elevation is identified by the direction it is facing.



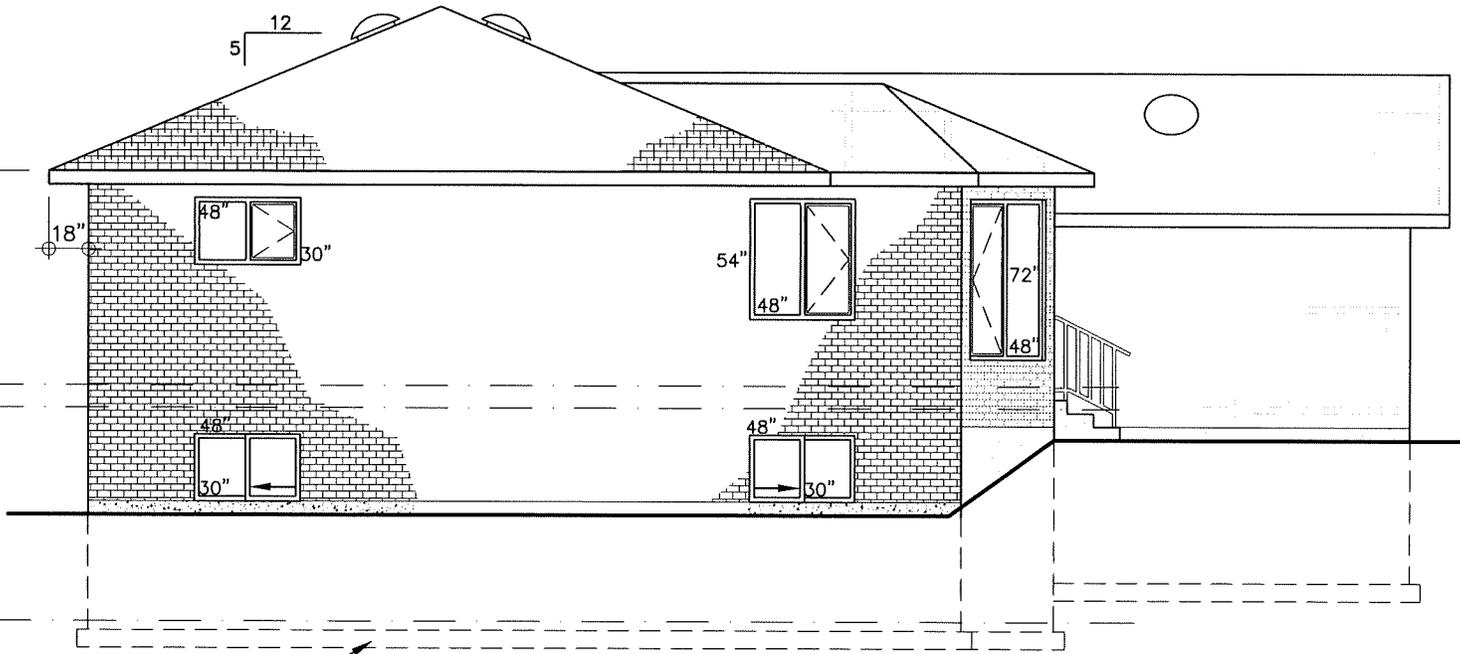
### SAMPLE ONLY



# APPENDIX 'G' (Continued)

## Sample Building Elevation

Building Elevations show the Exterior of each side of the Building.  
Each Elevation is identified by the direction it is facing.

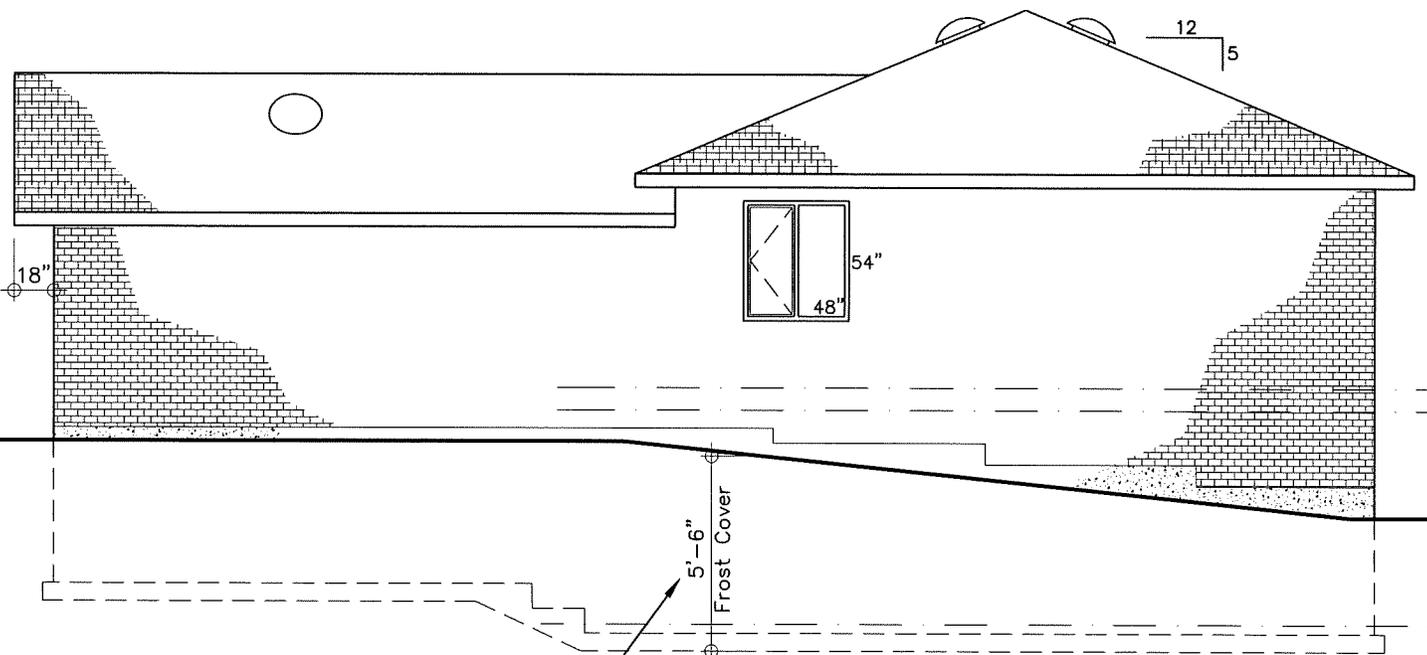


Broken line denotes  
Conc. Blk Foundation  
Wall and Poured Footing

**EAST ELEVATION**

Scale: 1/4" = 1'-0"

# SAMPLE ONLY



Site Specific Frost  
Protection per Soils  
Report in Specific  
Subdivision.

**WEST ELEVATION**

Scale: 1/4" = 1'-0"



**APPENDIX 'H'**

**COMMITMENT CERTIFICATE**

THIS FORM TO BE SIGNED BY ALL CONSULTANTS RETAINED FOR GENERAL REVIEWS

Building Permit No.
---------------------

Project Description	Date
Address of Project	

The undersigned architect and/or professional engineer(s) hereby certify that they have been retained to provide general reviews of the parts of construction of the building indicated, to determine whether the construction is in general conformity with the plans and other documents that form the basis for the issuance of building permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers Ontario (PEO).

**The undersigned hereby certifies that he/she has read and agrees to the above**

<input type="checkbox"/> Architectural	<input type="checkbox"/> Structural	<input type="checkbox"/> Mechanical	<input type="checkbox"/> Electrical	<input type="checkbox"/> Site Services
<input type="checkbox"/> Other:				
Firm		Signature		Print Name
Street No.	Street Name			Postal Code
City				Province
Telephone No.		Mobile No.	Fax No.	

<input type="checkbox"/> Architectural	<input type="checkbox"/> Structural	<input type="checkbox"/> Mechanical	<input type="checkbox"/> Electrical	<input type="checkbox"/> Site Services
<input type="checkbox"/> Other:				
Firm		Signature		Print Name
Street No.	Street Name			Postal Code
City				Province
Telephone No.		Mobile No.	Fax No.	

## APPENDIX 'I'



# OWNER'S UNDERTAKING

THIS FORM TO BE COMPLETED BY THE OWNER OR OWNER'S AUTHORIZED AGENT

Building Permit No.
---------------------

Project Description	Date
Address of Project	

**WHEREAS** the Ontario Building Code requires that the project described above be designed and reviewed during construction by an architect, professional engineer or both that are licensed to practice in Ontario;

**NOW THEREFORE** the Owner, being the person who intends to construct or have the building constructed hereby warrants that:

1. The architect and/or professional engineers have been retained to provide general reviews of the construction of the building to determine whether the construction is in general conformity with the plans and other documents that form the basis for the issuance of a building permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers Ontario (PEO);
2. All general review reports by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official, and,
3. Should any retained architect and/or professional engineer cease to provide general review for any reason during construction, the Chief Building Official will be notified in writing immediately, and another architect or engineer will be appointed so that general review continues without interruption during construction.

**The undersigned hereby certifies that he/she has read and agrees to the above**

Firm		
Street No.	Street Name	Postal Code
City		Province
Telephone No.	Mobile No.	Fax No.
Coordinator of the work of all consultants		
Street No.	Street Name	Postal Code
City		Province
Telephone No.	Mobile No.	Fax No.
Signature of Owner (or Owner's Authorized Agent)		Print Name

**APPENDIX 'J'**



**DEMOLITION PERMIT APPLICATION**

Building Services  
705-674-4455, ext. 4278

**LOCATION OF WORK** **PLEASE PRINT LEGIBLY**

MUNICIPAL ADDRESS \_\_\_\_\_

LEGAL DESCRIPTION

Township	Lot	Con	Parcel
Plan	Lot	Reference Plan	Part

APPLICANT / AGENT \_\_\_\_\_  
Name Telephone No.

**DESCRIPTION OF EXISTING BUILDING**

NUMBER OF STOREYS IN EXISTING BUILDING \_\_\_\_\_ Number of Existing Residential Units \_\_\_\_\_  
 Above Grade \_\_\_\_\_ Number of Rental Residential Units \_\_\_\_\_  
 Below Grade \_\_\_\_\_ Age of Building \_\_\_\_\_

**PROPOSED WORK**

TO BE DEMOLISHED:  Entire Building  Part of Building  
 Gross floor area to be demolished: \_\_\_\_\_ sq.ft.

**PROCEDURES**

**A Professional Engineer shall be retained to undertake the general review of the project during demolition, IF**

- (a) the building exceeds 3 storeys in building height or 600 m<sup>2</sup> (6,453 sq.ft.) in building area;
- (b) the building structure includes pre-tensioned or post-tensioned members;
- (c) it is proposed that the demolition will extend below the level of the footings or any adjacent building and occur within the angle of repose of the soil, drawn from the bottom of such footings; or
- (d) explosives or a laser are to be used during the course of demolition.

Where a permit is required for the demolition of a building as noted above, the structural design characteristics of the building and method of demolition shall be included in the application for a permit to demolish the building.

**APPROVALS REQUIRED** (Building Services will not issue a demolition permit unless clearance is obtained from the agencies listed below. Remit this application to Building Services once you have obtained these approvals for permit issuance.)

**REAL ESTATE SECTION** (Required to verify if building is protected under Heritage Act) City of Greater Sudbury, 200 Brady Street, 1<sup>st</sup> Floor, Sudbury, ON P3A 5W5, 705-674-4455, extension 4373  
 Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

**GREATER SUDBURY HYDRO INC.** (Capreol, Coniston, Falconbridge, Sudbury) **To confirm hydro service is to be disconnected, please call to make an appointment at 705-675-7536, extension 2220.**  
 Hydro connections have been/will be removed from the said property and/or building as of \_\_\_\_\_  
 Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

**SEWER & WATER SERVICES – PUBLIC WORKS – TECHNICAL SERVICES** City of Greater Sudbury, TD Square, 200 Brady Street, 3<sup>rd</sup> Floor, Sudbury, ON P3A 5W5  
 Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

- BELL TELEPHONE – NOTIFY ONLY** Call 611 or Toll Free 1-888-345-1111 to have service disconnected.
- UNION GAS – NOTIFY ONLY** Call 1-888-774-3111 to have service retired. (Building Services will fax Union Gas to confirm service has been retired.)
- HYDRO ONE – NOTIFY ONLY** [Nickel Centre (Garson, Skead, Wahnapiatae), Onaping Falls, Rayside Balfour, Valley East, Walden] Call 1-888-664-9376 to have service disconnected.
- MINISTRY OF LABOUR – NOTIFY ONLY** (Obtain form from Building Services) Construction Safety Branch, 159 Cedar Street, Suite 301, 3<sup>rd</sup> Floor, Sudbury, ON P3E 6A5
- LETTER OF AUTHORIZATION** (Applicant must submit a Letter of Authorization from the property owner if applying on the owner's behalf.)
- TAX DEPARTMENT – NOTIFY ONLY** (Obtain Form 357 from the Tax Dept. in order to obtain a tax adjustment) – City of Greater Sudbury, 200 Brady Street, 2<sup>nd</sup> Floor, Sudbury, ON P3A 5W5, 705-674-4455, extension 2601

**A BASEMENT CELLAR OR EXCAVATION LEFT AFTER THE DEMOLITION, DISMANTLING OR MOVING A BUILDING OR OTHER STRUCTURE SHALL BE BACKFILLED TO GRADE LEVEL OR HAVE ADEQUATE FENCING ALONG ITS OPEN SIDES.**