

Tom Davies Square
200 Brady St

Wednesday, November 22, 2023

PUBLIC HEARINGS

A0122/2023

**DORA RAYMOND
JOE RAYMOND**

Ward: 8

PIN 73570 0439, Parcel 39805 SEC SES SRO, Lot(s) 27, Subdivision M-1012, Lot Part 11, Concession 5, Township of Neelon, 1809 Huntington Drive, Sudbury, [2010-100Z, R2-2 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.4m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0123/2023

KRYSTAL VANCLIEAF

Ward: 12

PIN 02115 0163, Parcel 42565 SEC SES SRO, Lot(s) 115, Subdivision M-1014, Lot Part 2, Concession 6, Township of McKim, 1437 Dearbourne Drive, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the existing storage shed providing an interior side yard setback of 0.43m, where an accessory building greater than 2.5m in height shall be no closer than 1.2m from the side lot line.

A0124/2023

CARY WILLIAM CLEMENT

Ward: 11

PINs 73578 0278 & 73578 0232, Parcels 14168 & 17714 SEC SES, Lot(s) Part 68 and 69, Subdivision M-201, Lot Part 12, Concession 3, Township of Neelon, 2009 Randolph Street, 2013 Randolph Street, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve a lot to be retained subject to Consent Application B0080 /2023, providing a minimum lot frontage of 14.48m, where 15.0m is required.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, DECEMBER 6, 2023**



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A0122/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dora Raymond Email: [REDACTED]
Joe Raymond Home [REDACTED]
 Mailing Address: 1909 Huntington Drive Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3A 4W4 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Matt Roll Email: [REDACTED]
 Mailing Address: 484 Maple Street Home Phone: [REDACTED]
 City: Sudbury Postal Code: P3C 2B4 Business Phone: [REDACTED]
 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NA
 Mailing Address: _____
 City: _____ Postal Code: _____

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-2

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Increase Height 4.2.4(A)	5m	6.4m	1.372m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Increase height allow as per zoning
in rear of lot

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Chanel roof
pitch on current build which pushed height of roof
over height allowance

BP-ACC-2023-00085

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Neelon
 Lot No.: 11 Concession No.: 5 Parcel(s): 29805
 Subdivision Plan No.: M1012 Lot: 27 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 1809 Huntington Drive

7) Date of acquisition of subject land. 1994

8) Dimensions of land affected.

Frontage 16.3 (m) Depth 33.3 (m) Area 541.6 (m²) Width of Street _____ (m)

9) Particulars of all buildings:	SFD		DET GAR	
	Existing	Proposed	Existing	Proposed
Ground Floor Area:	41.62 <u>142.33</u> (m ²)	<u>41.62</u> (m ²)		
Gross Floor Area:	<u>142.33</u> (m ²)	<u>41.62</u> (m ²)		
No. of storeys:	<u>2</u>	<u>1</u>		
Width:	4.98 <u>9.8</u> (m)	<u>4.98</u> (m)		
Length:	14 <u>14</u> (m)	<u>8.63</u> (m)		
Height:	10.2 <u>10.2</u> (m)	<u>6.4</u> (m)		

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	SFD		DET GAR	
	Existing	Proposed	Existing	Proposed
Front:	<u>18.9</u> (m)	<u>6.9</u> (m)	<u>19m</u> (m)	
Rear:	<u>7.5</u> (m)	<u>17m</u> (m)	<u>5.95</u> (m)	<u>5.95</u> (m)
Side:	<u>1.2</u> (m)	<u>1.5</u> (m)	<u>1.2</u> (m)	
Side:		<u>1.2</u> (m)	<u>10.7</u> (m)	

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

<input checked="" type="checkbox"/> Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
<input checked="" type="checkbox"/> Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
<input type="checkbox"/> Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
<input type="checkbox"/> Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
<input type="checkbox"/> Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
<input type="checkbox"/> Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
<input type="checkbox"/> Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
<input type="checkbox"/> Pit Privy	<input type="checkbox"/>		
<input checked="" type="checkbox"/> Municipal Sewers/Ditches/Swales	<input checked="" type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

Original Dwelling - early 70's, Garage-detached 2023

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Single Family Length of time: _____

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: R2-2

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Dora & Joe Raymond (please print all names), the registered owner(s) of the property described as 1809 Huntington Drive in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Matt Bell (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24 day of October, 2023

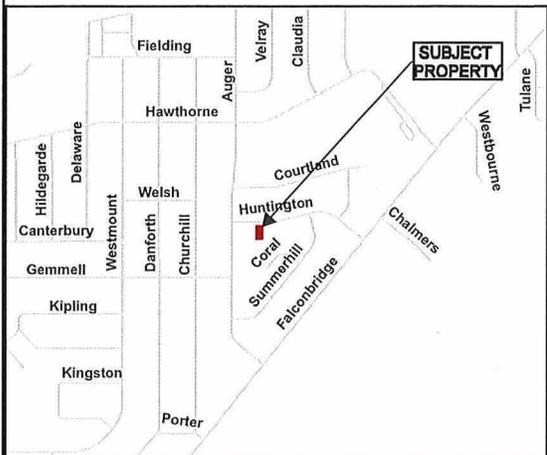
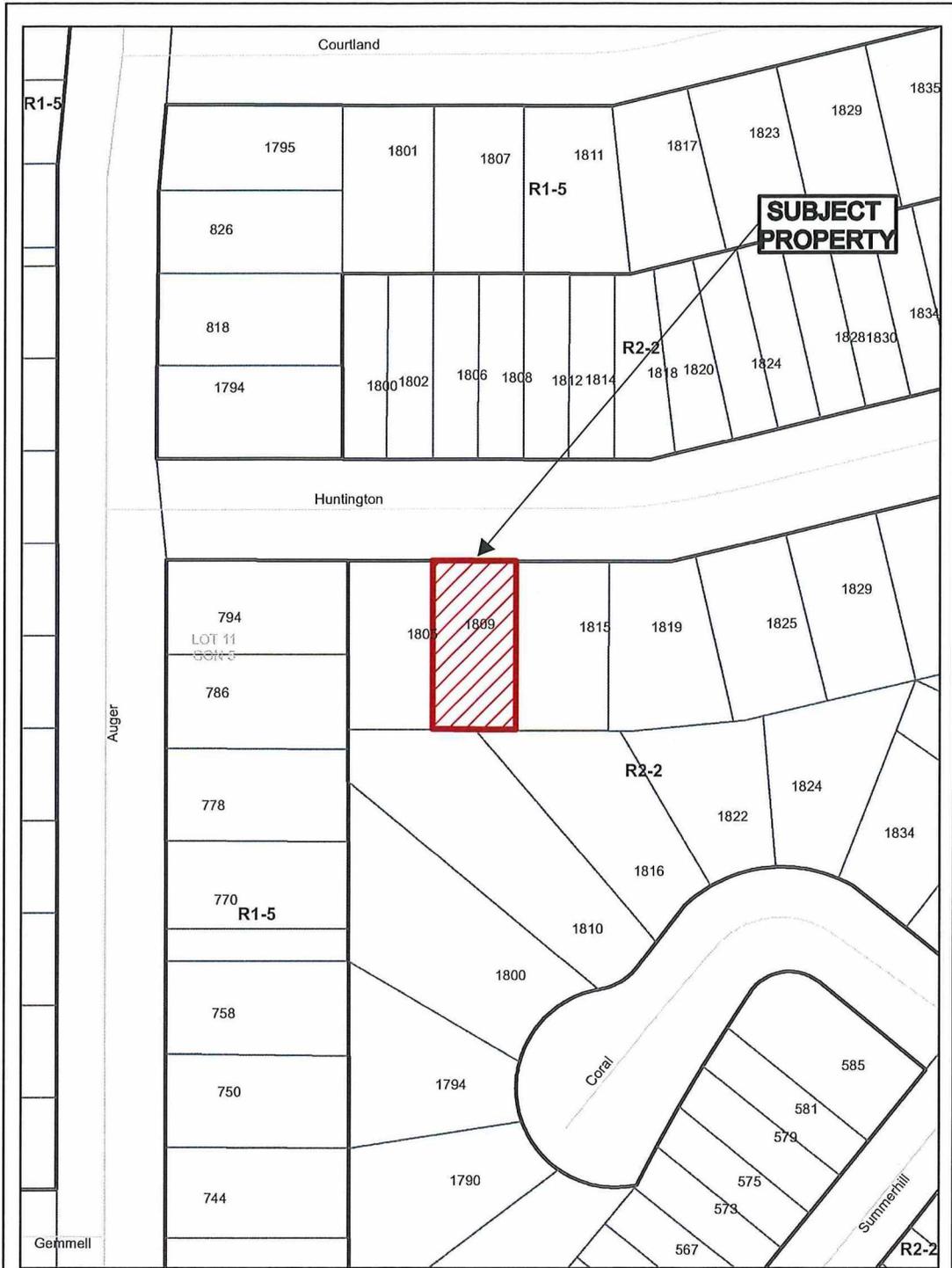
Jay Humbert
(Witness)

[Signature]
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: JH RAYMOND

*I have authority to bind the Corporation Dora Raymond

A0122/2023



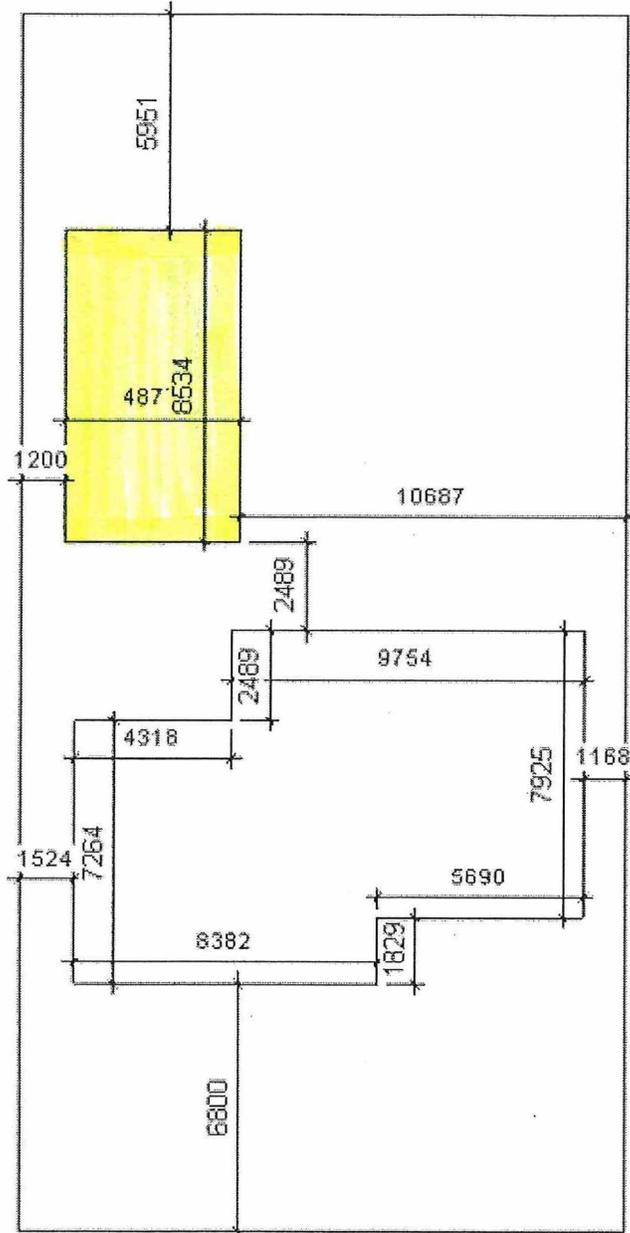
Application for Minor Variance or Permission



Subject Property PIN 73570-0439,
 Parcel 39805 SEC SES SRO, Lot 27, Plan M-1012,
 Part Lot 11, Concession 5, Township of Neelon,
 1809 Huntington Drive, Sudbury,
 City of Greater Sudbury

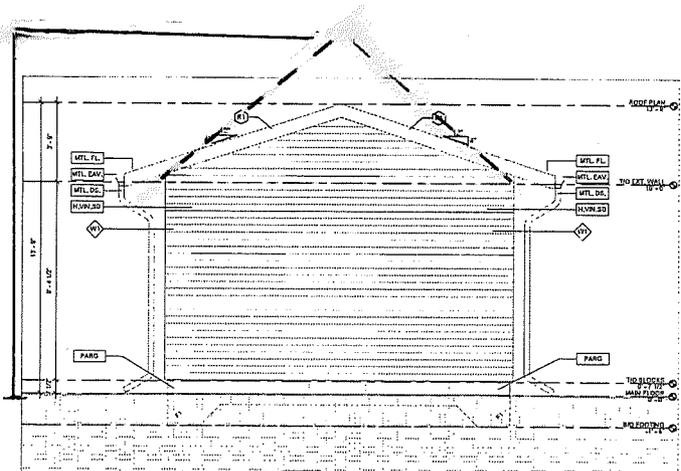
Sketch 1, NTS
 MNR

A0122/2023
 Date: 2023 10 31

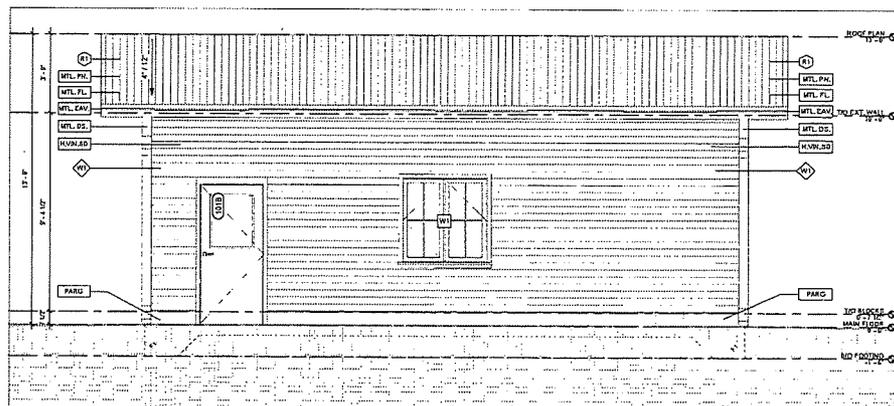


A0122/2023
 sketch 2

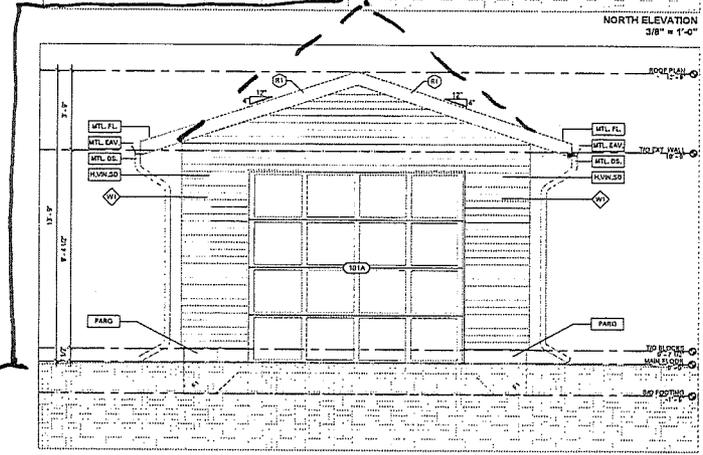
LEGEND	
	DENOTES METAL ROOFING
	DENOTES METAL FLASHING
	DENOTES METAL EAVSTROUGH
	DENOTES METAL DOWN SPOUT
	DENOTES HORIZONTAL VINYL SIDING BY OWNER
	DENOTES PARING LAYER
	ROOF IDENTIFICATION IN SCHEDULE
	WALL IDENTIFICATION IN SCHEDULE
	DOOR IDENTIFICATION IN SCHEDULE
	WINDOW IDENTIFICATION IN SCHEDULE
	FOOTING IDENTIFICATION IN SCHEDULE



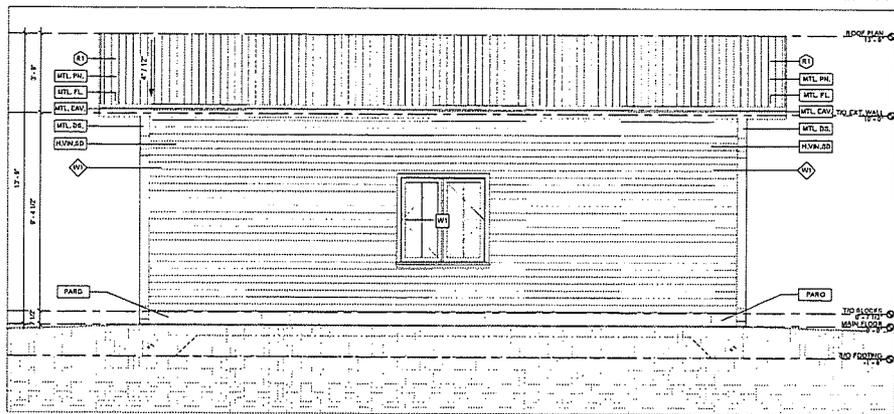
NORTH ELEVATION
3/8" = 1'-0"



EAST ELEVATION
3/8" = 1'-0"



SOUTH ELEVATION
3/8" = 1'-0"



WEST ELEVATION
3/8" = 1'-0"

6.4
M

6.4
M

1. I HAVE CHANGED TO THE DESIGN AND CONSTRUCTION OF THIS PROJECT TO REFLECT THE CHANGES AND ADDITIONS TO THE ORIGINAL DESIGN AND CONSTRUCTION. I HAVE REVIEWED THE ORIGINAL DESIGN AND CONSTRUCTION AND I HAVE REVIEWED THE CHANGES AND ADDITIONS TO THE ORIGINAL DESIGN AND CONSTRUCTION. I HAVE REVIEWED THE CHANGES AND ADDITIONS TO THE ORIGINAL DESIGN AND CONSTRUCTION. I HAVE REVIEWED THE CHANGES AND ADDITIONS TO THE ORIGINAL DESIGN AND CONSTRUCTION.



MATT BELL
1125 HURONTARIO DR. SUDBURY, ONTARIO
PROJECT: 170-250-028

DRAWN: IN
CHECKED: DP/KO
SCALE: As Indicated
SHEET:

A04

ISSUED FOR CONSTRUCTION - APRIL 20, 2023

A0122/2023
Sketch 3

ROOF PLAN LEGEND

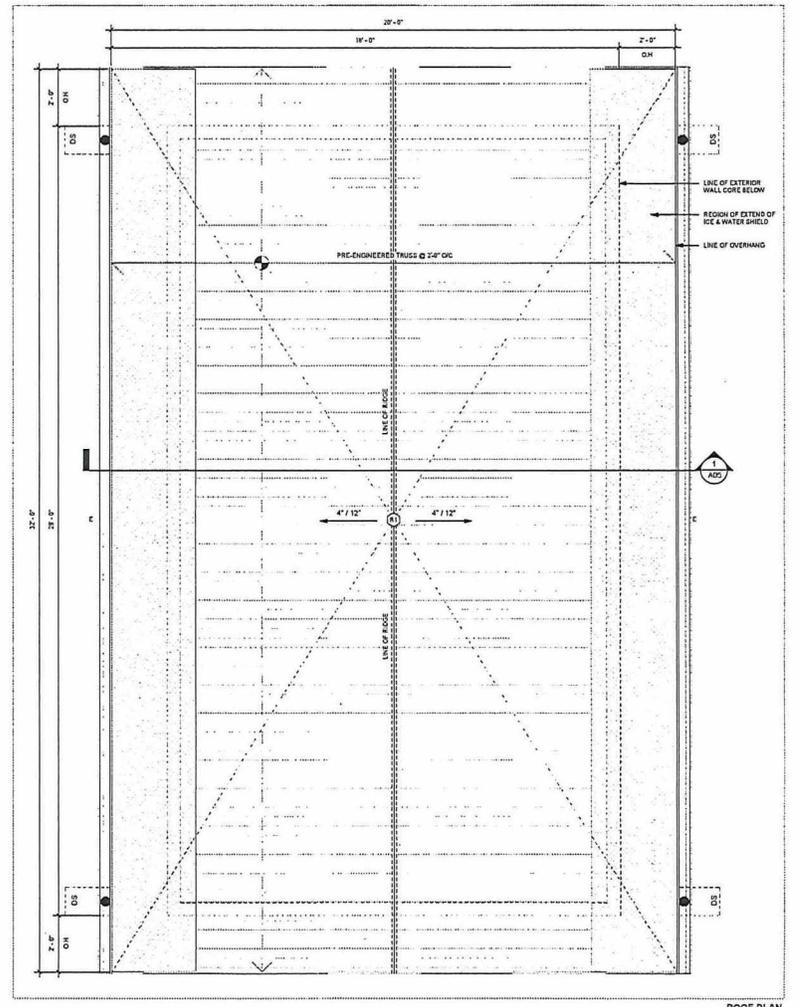
-  DENOTES DRAINAGE FROM EAVES & ROOF SLOPE
-  DENOTES DOWN SPOUTS ON SPLASH PAD
-  DENOTES EAVESTROUGH ON DOWNSPOUT
-  DENOTES RIDGE VENT
-  DENOTES RIDGE LINE
-  DENOTES MINIMUM EXTENT OF EAVE PROTECTION. EAVE PROTECTION TO EXTEND A MINIMUM OF 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL.

NOTES:

1. ICE AND WATER SHIELD TO EXTEND 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL (TYPICAL)
2. THE MANUFACTURED ROOF TRUSSES SUPPLIER SHALL PROVIDE MANUFACTURED ROOF TRUSSES SUITABLE TO THE DESIGN PARAMETERS PROVIDED BY KOMRI ENGINEERING AND IN ACCORDANCE WITH OGC PART 9 - 9.23.13.11 WOOD TRUSSES.

ROOF ASSEMBLIES:

- (1) DIVISION OF PRE-ENGINEERED TRUSSES BY MANUFACTURER:
 - METAL ROOFING
 - 1x3 WOOD STRAPPING @ 12" O.C
 - EAVESTROUGH AROUND PERIMETER AS PER DETAIL
 - CONSTRUCTION FELT PAPER
 - 10" x 4" WOOD SHIM THRU 9" CLIPS
 - PRE-ENGINEERED TRUSSES @ 2'-0" O.C
 - FILL TO BLOW INSULATION (R-30) & BATT INSULATION (R-30)
 - ONE POLY VAPOUR BARRIER - LAP & SEAL
 - CEILING AS SCHEDULED



ROOF PLAN
1/2" = 1'-0"

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



MATT BELL
189 HUNTINGTON DR. SHERBROOK, ONTARIO
PROJECT NO. 185023428
ROOF PLAN

DRAWN IN
CHECKED DRWD
SCALE As Indicated
SHEET

A02

ISSUED FOR CONSTRUCTION - APRIL 20, 2023

A0122/2023
Sketch 5

LEGEND

ROOM NAME
101

W1

W2

FD

101A

101B

DENOTES ROOM NAME AND NUMBER REFERENCE

DENOTES WINDOW TAG REFERENCE

DENOTES EXTERIOR WALL TAG REFERENCE

DENOTES FLOOR DRAIN

DENOTES DOOR AND DOOR NUMBER

RCP LEGEND

101

CL

101

101

101

101

DENOTES ROOM NUMBER REFERENCE

DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE

DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR

DENOTES GYPSUM BOARD CEILING

DENOTES LIGHTING FIXTURE

101

101

DENOTES ATTIC ACCESS HATCH - PRE-FABRICATED HATCH (15" X 15") TO BE COORDINATE LOCATION OF HATCH WITH OWNER AND COMPLY WITH CONSULTANT PRIOR TO INSTALLATION

NOTE:
ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN WOOD TRUSSES AT (0'-0") ON CENTER.

NOTES:

- REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- CEILING HEIGHTS ARE BASED ON THE FLOOR THEY ARE LOCATED ON. SEE PLAN.
- ALL PENETRATIONS THROUGH ROOF ACCESSIBLY THAT PENETRATE THE VARIOUS BARRIERS ARE TO BE SEALED WITH THE APPROPRIATE CAULKING AND MEMBRANES. REFER TO SPECIFICATION SECTIONS 05100 CASINGS AND 05110 MEMBRANE AN VAPOR BARRIERS.

WALL ASSEMBLIES:

101

DETAILS OF BASE WALL ASSEMBLY

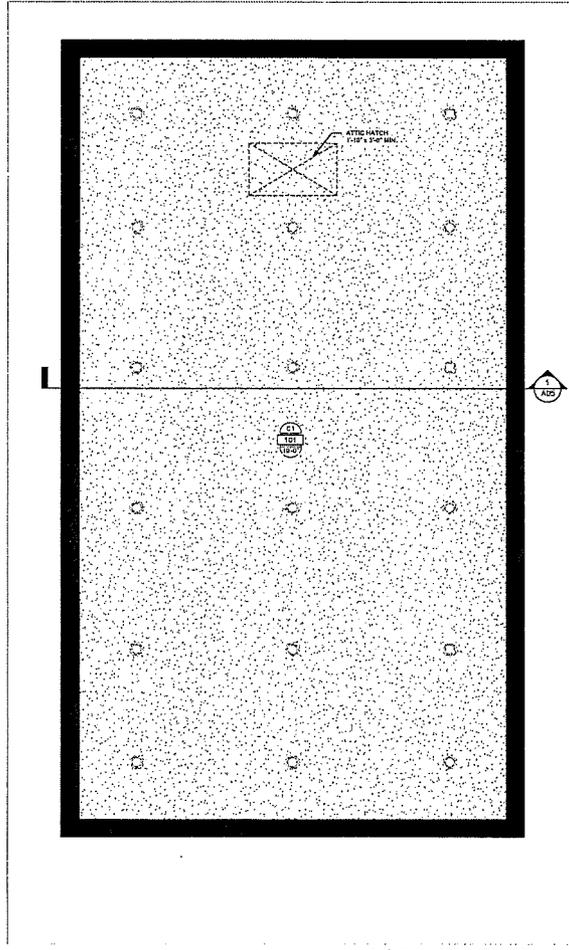
- HORIZONTAL DRING BY POLYMER
- NO GFI AND BRACK VERTICAL WOOD STRAPPING @ 16" OC
- JOB SERVICE INSULATION - LAP & SEAL
- 2" POLYURETHANE INSULATION - LAP & SEAL
- 2" POLYURETHANE INSULATION - LAP & SEAL
- 1/2" GYPSUM BOARD SHEATHING

CEILING ASSEMBLIES:

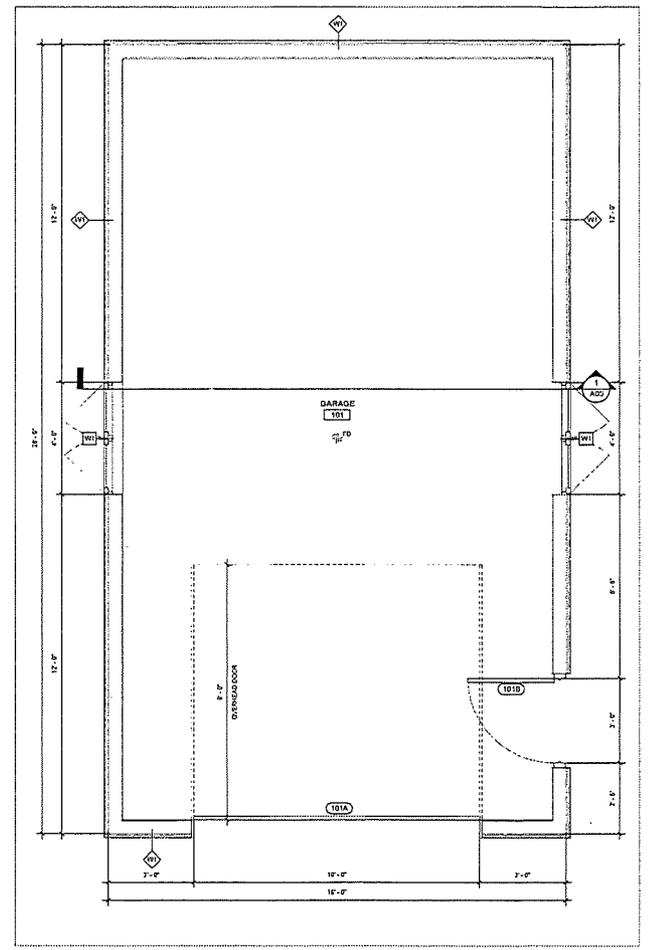
CL

TYPICAL GYPSUM BOARD CEILING

- 1" AC声MENT CHANNEL @ 24" OC
- 1/2" GYPSUM BOARD SHEATHING



MAIN FLOOR REFLECTED CEILING PLAN
1/2" = 1'-0"



MAIN FLOOR
1/2" = 1'-0"

SCALE
1/8" = 1'-0"
1/4" = 1'-0"
1/2" = 1'-0"
3/4" = 1'-0"
1" = 1'-0"
1 1/2" = 1'-0"
2" = 1'-0"
3" = 1'-0"
4" = 1'-0"
6" = 1'-0"
8" = 1'-0"
12" = 1'-0"

REVISIONS

1. REVISION FOR CONSTRUCTION

DATE: 04.20.2023
PROJECT NO. K000001

KOMRI ENGINEERING

100 HUNTERS CH. BARRIE ONTARIO
PROJECT NO. K000001

MATT BELL
100 HUNTERS CH. BARRIE ONTARIO
PROJECT NO. K000001

FLOOR & CEILING PLAN

DRAWN IN
CHECKED DPING
SCALE As indicated
SHEET

A03

ISSUED FOR CONSTRUCTION - APRIL 20, 2023

A0122/2023
Sketch 6

FLOOR ASSEMBLIES:

1. FINISH AS SCHEDULED
 2. 8" CONCRETE SLAB ON GRADE, REINFORCED WITH WF 10M BARS
 3. 10MM POLY VAPOUR BARRIER MEMBRANE - SEAL JOINTS (TYP.)
 4. 2" RIGID INSULATION (R10) WITH 10MM BARS @ COMPRESSIVE CAPACITY GRANULAR A (15" MAX) & GRANULAR B TYPE 2 (2" TH) FRAIL

ROOF ASSEMBLIES:

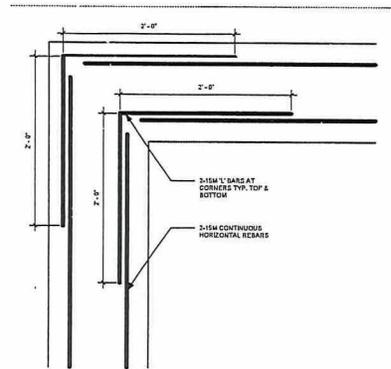
1. DOWNLINE PRE-ENGINEERED TRUSSES BY MANUFACTURER
 2. METAL ROOFING
 3. 1/2" WOOD STRAPPING @ 12" O/C
 4. SALES DESIGN BRACING PERMITTER AS PER DETAIL
 5. CONSTRUCTION FELT PAPER
 6. 10" TV WOOD SHEATHING ON "N" CLIPS
 7. PRE-ENGINEERED TRUSSES @ 24" O/C
 8. FLEED W/ BLOWN INSULATION (R-35) & BATT INSULATION (R-35)
 9. 6MM POLY VAPOUR BARRIER - LAP & SEAL
 10. CEILING AS SCHEDULED

INTEL SCHEDULE

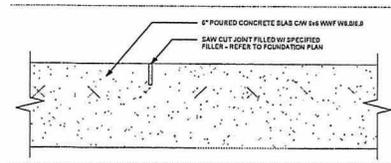
IDENTITY	SIZE
L1	3-PLY 2x6 SPP NO.1 AND 2
L2	2-PLY 2x12 SPP NO.1 AND 2

FOOTING SCHEDULE

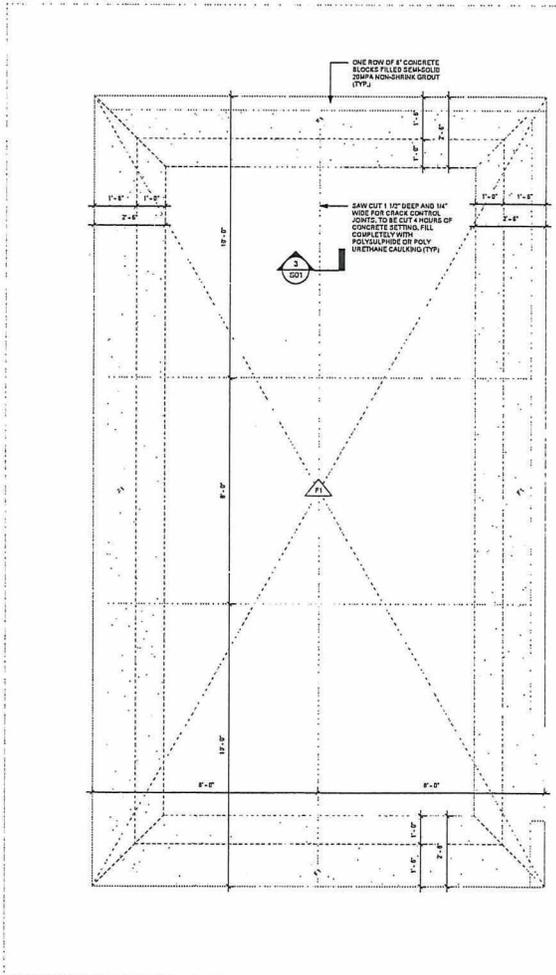
IDENTITY	SIZE
F1	11/4" DEEP & 1" WIDE THICKENED EDGE SLAB ON 4-10M BARS TOP & BOTTOM CONTINUOUS & 10M STRUTS @ 48" O/C



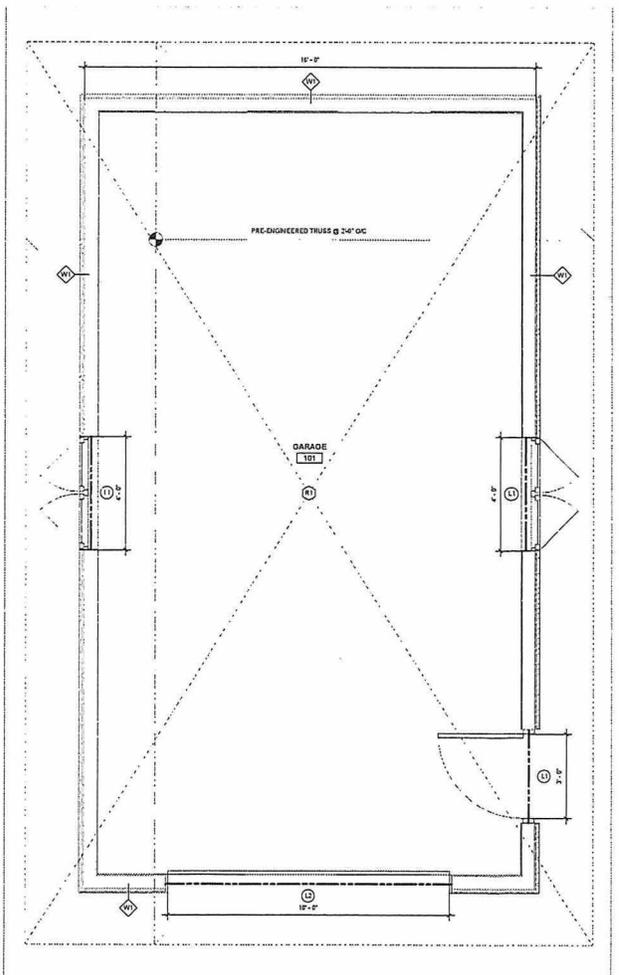
TYP. CORNER LAP FOR HORIZONTAL STEEL REINF
 1 1/2" = 1'-0"



TYP. SAW CUT DETAIL
 3" = 1'-0"



BIO FOOTING
 1/2" = 1'-0"



MAIN FLOOR STRUCTURAL PLAN
 1/2" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE BY-LAWS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. SEE NOTES FOR MATERIAL SPECIFICATIONS AND FINISHES.

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	04.20.2023

DATE: 04.20.2023
 PROJECT NO: 2023-001

KOMRI ENGINEERING

MAT BELL
 1008 HURONTARIO ST. ONTARIO
 PROJECT NO. 2023-001
 STRUCTURAL PLANS

DRAWN: IN
 CHECKED: DP/ND
 SCALE: As indicated
 SHEET: 7

S01

ISSUED FOR CONSTRUCTION - APRIL 20, 2023

A012212023
 sketch 8



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A0123/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (Includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): <u>Krystal Vanclief</u>	Email: [REDACTED]
Mailing Address: <u>1437 Dearbourne Drive</u>	Home Phone: [REDACTED]
	Business Phone:
City: <u>Sudbury</u>	Postal Code: <u>P3A5E6</u> Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent:	Email:
Mailing Address:	Home Phone:
	Business Phone:
City:	Postal Code:
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <u>TD Canada Trust</u>
Mailing Address: <u>2208 Lasalle</u>
City: <u>Sudbury</u> Postal Code: <u>P3A 2A8</u>

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
<u>bylaw 201492</u>	<u>1.2m</u>	<u>0.43m</u>	<u>0.77m</u>
<u>↳ 20101002 → side yard setback</u>			

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Keep existing storage shed located 0.43m from neighbouring property line.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
No room to move shed. Shed has been at same location for 30+ years and neighbour whose property line is shared with shed does not have any issue with the shed. Yard becomes sloped in backyard +0.

6) Legal Description (Include any abutting property registered under the same ownership).

PIN(s): 02115-0163 Township: Mckim
 Lot No.: 2 Concession No.: 6 Parcel(s): 42565
 Subdivision Plan No.: M1014 Lot: 115 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 1437 Dearbourne Drive

7) Date of acquisition of subject land. 2008

8) Dimensions of land affected.

Frontage 16.33 (m) Depth 30.48 (m) Area 497.70 (m²) Width of Street n/a (m)

9) Particulars of all buildings:

	Existing house		Proposed existing shed	
Ground Floor Area:	<u>110.92</u>	(m ²)	<u>7.43</u>	(m ²)
Gross Floor Area:	<u>204.38</u>	(m ²)	<u>7.43</u>	(m ²)
No. of storeys:	<u>backsplit 74 level</u>		<u>1</u>	
Width:	<u>8.45</u>	(m)	<u>3.04</u>	(m)
Length:	<u>13.10</u>	(m)	<u>2.43</u>	(m)
Height:	<u>4.87</u>	(m)	<u>3.35</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing house		Proposed existing shed	
Front:	<u>6.05</u>	(m)	<u>10.32</u>	(m)
Rear:	<u>11.33</u>	(m)	<u>17.73</u>	(m)
Side:	<u>6.54</u>	(m)	<u>0.43</u>	(m)
Side:	<u>1.34</u>	(m)	<u>12.86</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

house -> 1979 shed -> 1980's, shed fixed in 2019 (new roof) because snow crushed old one

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): storage shed Length of time: 15 yrs by me; 30+ yrs total by family

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties:

shed -> storage house -> living with family
residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Krystal Vanclieaf (please print all names), the registered owner(s) of the property described as 1437 Dearbourne Drive

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25th day of October, 2023

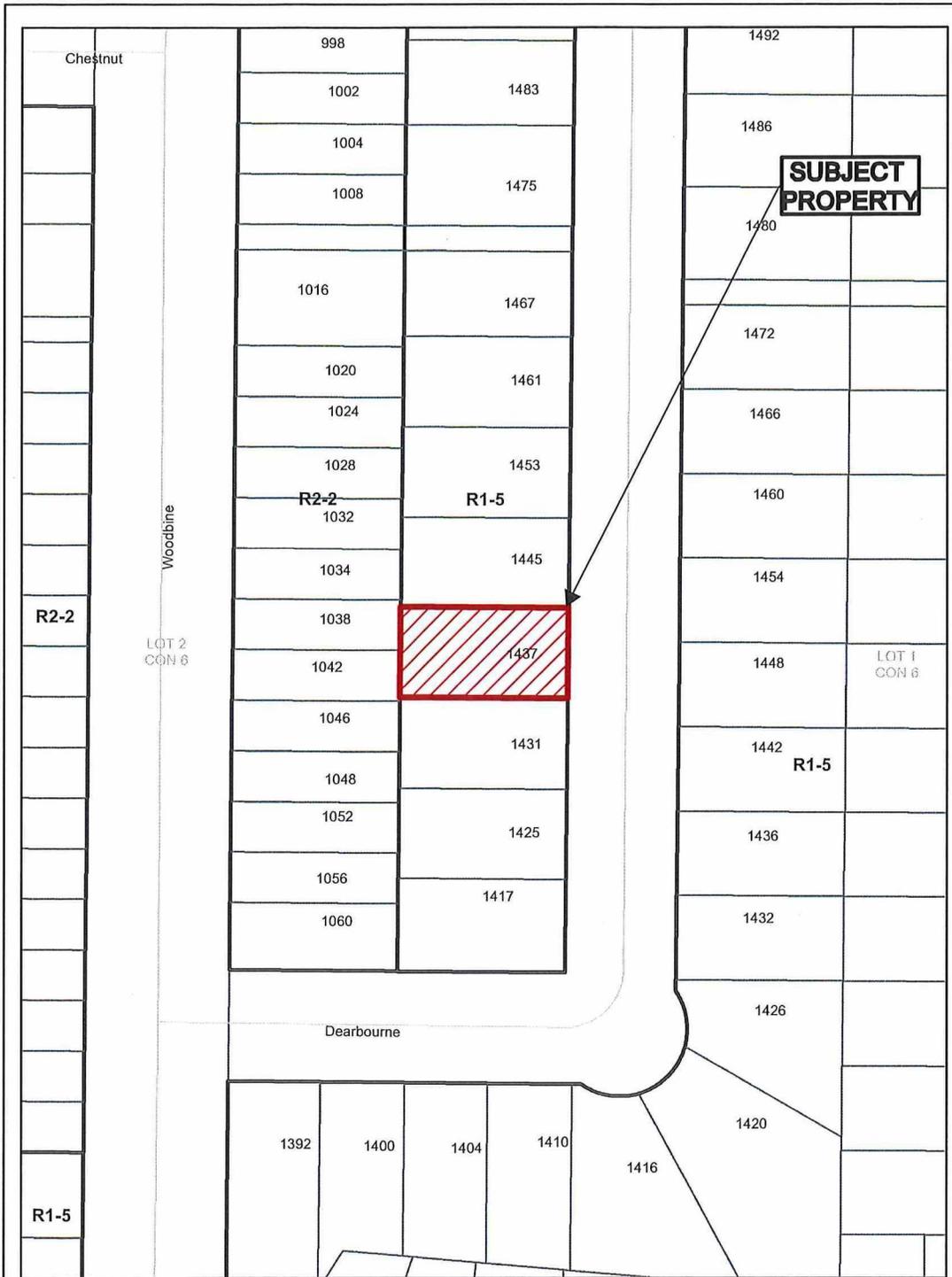
Jay Thomson
(Witness)

Krystal Vanclieaf
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Krystal Vanclieaf

*I have authority to bind the Corporation

A0123/2023



Application for Minor Variance or Permission



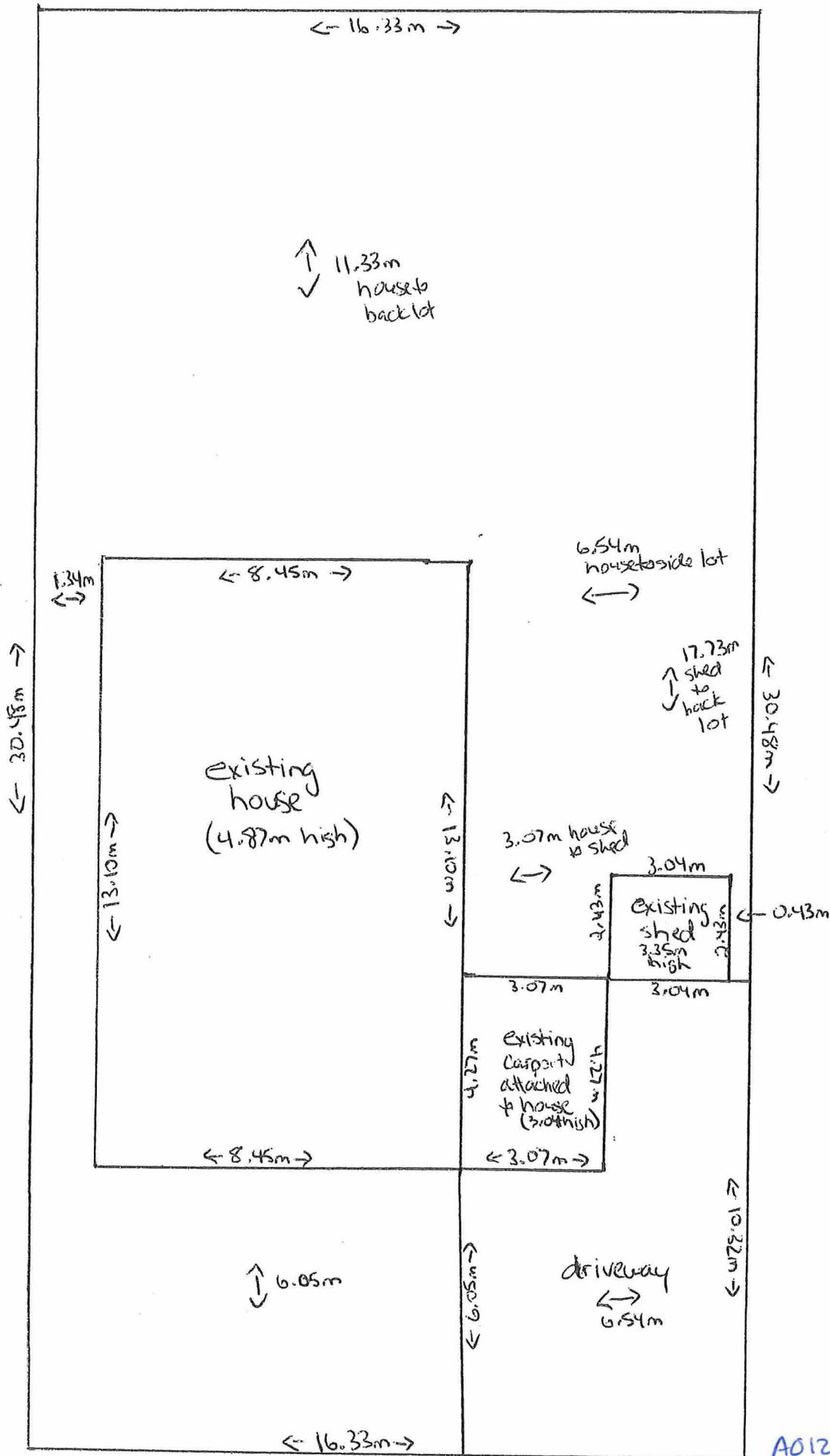
Subject Property PIN 02115-0163,
Parcel 42565 SEC SES SRO, Lot 115, Plan M-1014,
Part Lot 2, Concession 6, Township of McKim,
1437 Dearbourne Drive, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
MNR

A0123/2023
Date: 2023 10 31

1 inch = 3.04 m

N →



1437 Dearbourne Drive

A0123/2023
sketch 2



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0124/2023	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

**City of Greater Sudbury
 APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Cary William Clement	Email: [REDACTED]
Mailing Address: 2009 Randolph St	Home Phone: [REDACTED]
	Business Phone:
City: Sudbury	Postal Code: P3B 1X7
	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: David Dorland	Email: [REDACTED]
Mailing Address: 298 Larch St	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3B 1M1
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Bank of Montreal
Mailing Address: 79 Durham St
City: Sudbury
Postal Code: P3E 3M5

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Lot Frontage	15.0m	14.48m	0.52m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 The lot was created in 1950, legal non-conforming

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73578-0278 & 73578-0232 Township: Neelon Ward 11
 Lot No.: 12 Concession No.: 3 Parcel(s): 14168 & 17714
 Subdivision Plan No.: M-201 Lot: Part of 68 Reference Plan No.: Part(s):
 Municipal Address or Street(s): 2009 & 2013 Randolph St

7) Date of acquisition of subject land. 2005

8) Dimensions of land affected.

Frontage 14.48 (m) Depth 39.62 (m) Area 571 (m²) Width of Street 20.12 (m)

9) Particulars of all buildings:

	House	Existing Garage	Proposed
Ground Floor Area:	95 +/- (m ²)	48 +/- (m ²)	Same (No Change) (m ²)
Gross Floor Area:	190 +/- (m ²)	48 +/- (m ²)	(m ²)
No. of storeys:	1	1	
Width:	10 +/- (m)	5.6 +/- (m)	(m)
Length:	10 +/- (m)	8.6 +/- (m)	(m)
Height:	4.6 +/- (m)	3.6 +/- (m)	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House	Existing Garage	Proposed
Front:	7.65 (m)	20.17 (m)	No Change (m)
Rear:	21.09 (m)	10.79 (m)	(m)
Side:	1.10 (m)	1.20 (m)	(m)
Side:	2.85 (m)	7.64 (m)	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Unknown (around 1950-1960)

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 60+ years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

AO 124/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): Concurrent submission

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Cary William Clement (please print all names), the registered owner(s) of the property described as Part of Lot 68, plan M-201, 2009 Randolph St in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize David Dorland (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of October 2023

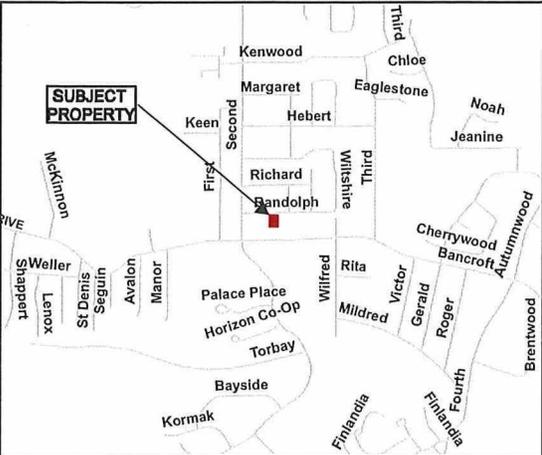
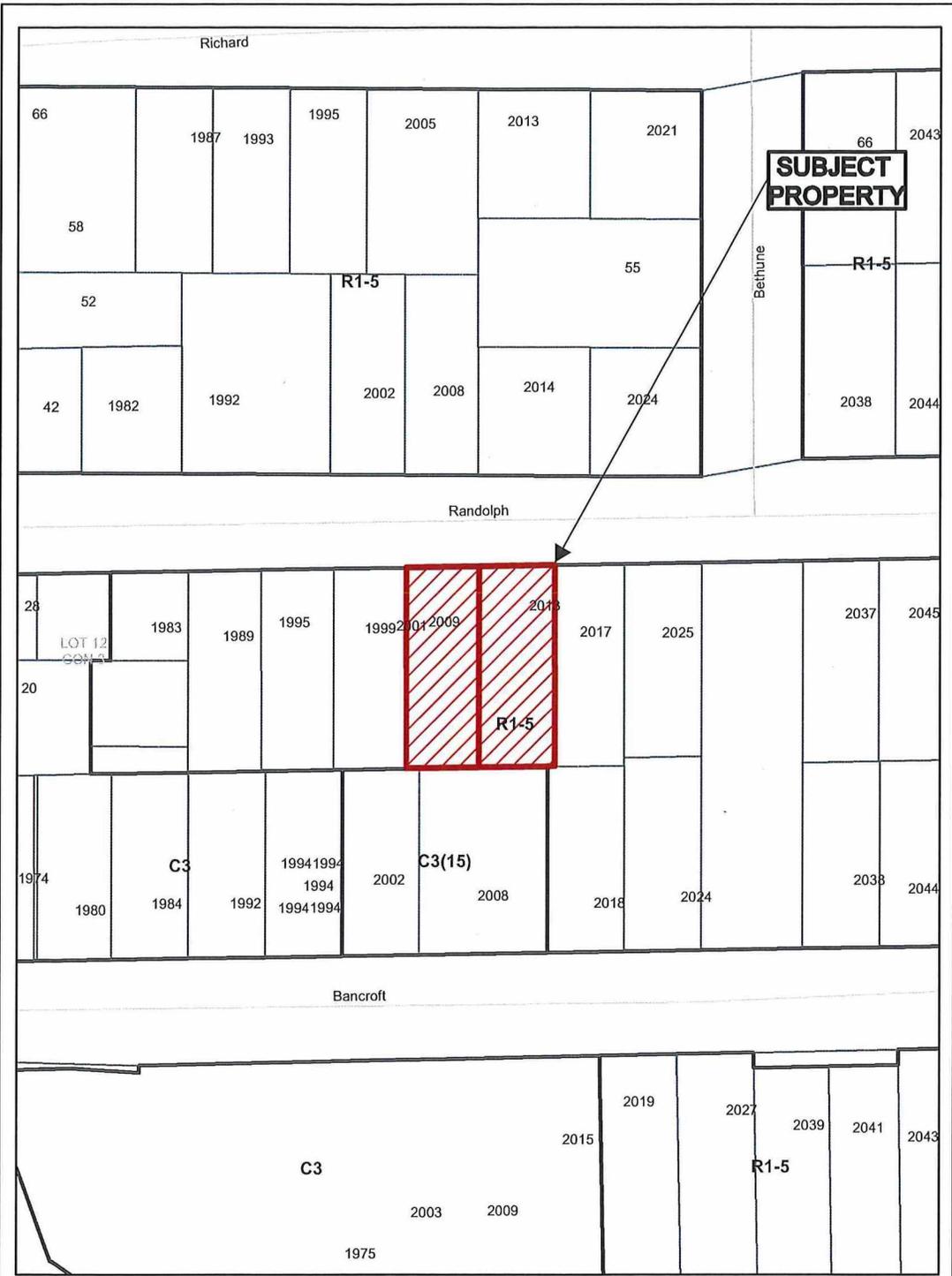
Melissa P...
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: CARY CLEMENT

*I have authority to bind the Corporation

AO124/2023



Application for Minor Variance or Permission



Subject Property PINs 73578-0278 and 73578-0232, Parcels 14168 and 17714 SEC SES, Part Lots 68 and 69, Plan M-201, Part Lot 12, Concession 3, Township of Neelon, 2009 & 2013 Randolph Street, Sudbury, City of Greater Sudbury

Sketch 1, NTS
MNR

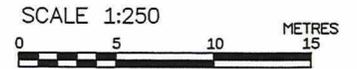
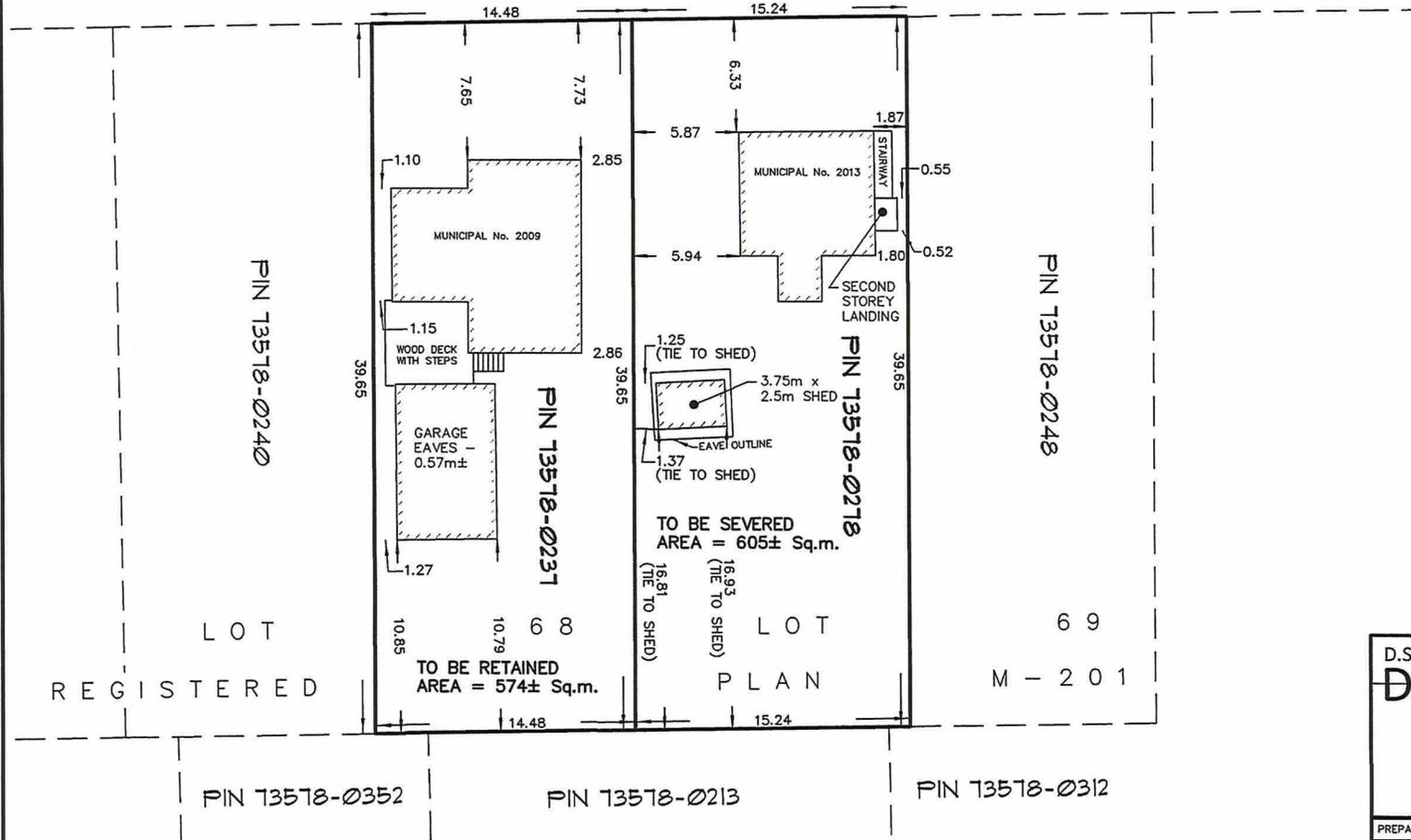
A0124/2023
Date: 2023 11 03

SKETCH FOR PLANNING ACT APPLICATION
 PART OF LOT 68
 AND
 PART OF LOT 69
 REGISTERED PLAN M-201
 GEOGRAPHIC TOWNSHIP OF NEELON
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY

RANDOLPH STREET
 (FORMERLY JAMES STREET)
 PIN 13578-0371

NOTE

THIS IS NOT A PLAN OF SURVEY AND
 SHOULD ONLY BE USED FOR THE PURPOSE
 STATED IN THE TITLE BLOCK.



D.S. DORLAND LIMITED	ONTARIO LAND SURVEYORS GEOMATICS PROFESSIONALS
	298 LARCH STREET SUDBURY, ONTARIO, P3B 1M1 PHONE [REDACTED] WWW.DSDORLANDLIMITED.CA
PREPARED BY : WJM	SCALE : 1:250 METRIC
CHECKED : ****	CAD FILE : 18367 SKETCH.dwg
DATE : OCTOBER 30, 2023	P. SPACE TAB : CONSENT SKETCH

A0124/2023
 sketch 2