

Tom Davies Square

200 Brady St

Thursday, October 14, 2021

PUBLIC HEARINGS

A0119/2021

CHAD MAINVILLE

Ward: 3

PIN 73350 0238, Parcel 2408, Survey Plan 53R-14017 Part(s) Except 2, Lot Pt 10, Concession 1, Township of Balfour, 2410 Davey Road South, Chelmsford, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 8.85m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

A0120/2021

**LISE GOSSELIN
RONALD GOSSELIN**

Ward: 3

PIN 73368 0333, Surveys Plan 53R-20628 Part(s) 5 & Plan 53R-21130 Part(s) Except 1, 2 and 3, Lot Pt 12, Concession 6, Township of Creighton - Davies, 0 Vermilion Lake Road, Walden, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Application B0067/2020, providing a minimum lot frontage of approximately 30.48m, where 90.0m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATION A121/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B67/2020 TO B69/2020 (NOV 23/20), B37/18 TO B39/18 (OCT 29/18), B127/15 TO B129/15 (FEB 1/16), B86/15 TO B88/15 (SEPT 8/15), B80/14 (AUG 25/14), B65/14 (JUL 31/14), B19/14 TO B21/14 (JUL 31/14), B67/12 TO B69/12 (JAN 17/13), B125/11 TO B127/11 (DEC 1/11), B184/08 TO B186/08 (SEPT 5/08) AND MINOR VARIANCE APPLICATIONS A17/19 TO A19/19 (MAR 6/19), A27/16 (MAR 9/16), A99/15 (SEPT 30/15), A122/14 TO A124/14 (OCT 15/14), A2/12 TO A4/12 (FEB 6/12) AND A193/08 & A194/08 (JAN 26/09)

A0121/2021

**LISE GOSSELIN
RONALD GOSSELIN**

Ward: 3

PIN 73368 0333, Surveys Plan 53R-20628 Part(s) 5 & Plan 53R-21130 Part(s) except 1, 2, and 3, Lot Pt 12, Concession 6, Township of Creighton - Davies, 0 Vermilion Lake Road, Walden, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0068/2021, providing a minimum lot frontage of approximately 30.48m, where 90.0m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATION A120/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B67/2020 TO B69/2020 (NOV 23/20), B37/18 TO B39/18 (OCT 29/18), B127/15 TO B129/15 (FEB 1/16), B86/15 TO B88/15 (SEPT 8/15), B80/14 (AUG 25/14), B65/14 (JUL 31/14), B19/14 TO B21/14 (JUL 31/14), B67/12 TO B69/12 (JAN 17/13), B125/11 TO B127/11 (DEC 1/11), B184/08 TO B186/08 (SEPT 5/08) AND MINOR VARIANCE APPLICATIONS A17/19 TO A19/19 (MAR 6/19), A27/16 (MAR 9/16), A99/15 (SEPT 30/15), A122/14 TO A124/14 (OCT 15/14), A2/12 TO A4/12 (FEB 6/12) AND A193/08 & A194/08 (JAN 26/09)

A0122/2021

**JOHN MAKI
GISELE GUENARD**

Ward: 11

PIN 73574 0163, Surveys Plan 53R-19290 Part(s) 14 and 15 & Plan 53R-20732 Part(s) 1, 2, 3, and 4, Lot Pt 8, Concession 3, Township of Neelon, 3335 Bancroft Drive, Sudbury, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 8.25m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

A0123/2021

DALRON CONSTRUCTION LTD.

Ward: 11

PIN 73575 0664, Survey Plan 53R-21555 Part(s) 1, Lot Pt 9, Concession 3, Township of Neelon, 0 Estelle Street, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to allow proposed Lots 13, 14 and 15 on Draft Approved Plan of Subdivision File No. 780-6/05002 and situated within Part 1, Plan 53R-21555, to each provide a minimum lot area of 451.0m², where 465.0m² is required. (ALSO SUBJECT TO REZONING APPLICATION NO. 751-6/20-017)

A0124/2021

MICHELE HAW

Ward: 9

PIN 73560 1306, Parcel 8843, Survey Plan 53R-21164 Part(s) 2, Lot(s) 101 (Part), 102 and Part Lane, Subdivision M-64 & M-147, Township of Neelon, 6 George Street, Coniston, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Section 4.25, subsection 4.25.2 of By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition providing, firstly, to permit eaves to encroach 2.00m into the required yard, where eaves may only encroach 0.6m into the required yard but not closer than 0.6m to the lot line, and secondly, an increase in gross floor area of a legally existing building to 125.782m², where enlargement, reconstruction, repair and/or renovation does not increase the gross floor area of the building located within the minimum required front yard setback.

A0125/2021

**PIERRE PITRE
SHARLENE PITRE**

Ward: 11

PIN 73513 0403, Parcel 48828, Surveys Plan 53R-12088 Part(s) 6 & Plan 53R-17683 Part(s) 6, 7 and 8, Lot 1 (Part), Concession 5, Township of MacLennan, 712 Pinecone Road, Skead, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 8.23m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0126/2021

JENNIFER JOLLY

Ward: 8

PIN 73565 1037, Parcel 17552, Survey Plan 53R-20973 Part(s) 1, Subdivision M-267, Lot 9 (Part), Township of Neelon, 1225 Dollard Avenue, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing an accessory lot coverage of 11.03%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%.

A0127/2021

**SHAUN MCGLADE
MAZIE MCGLADE**

Ward: 7

PIN 73519 0088, Parcel 53M1229-22 SEC SES SR0, Subdivision 53M-1229, Lot 22, Township of Rathburn, 1931 Bushy Bay Road, Wahnapiatae, [2010-100Z, SLS (8) (Seasonal Limited Service)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 6.4m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0128/2021

**RICHARD VILLENEUVE
JODY VILLENEUVE**

Ward: 5

PINs 73500 0596 & 73500 0413, Surveys Plan 53R-21402 Part(s) 1 & Plan 53R-17411 Part(s) 2, Lot 10 (Part), Concession 5, Township of Blezard, 0 Martin Road, Val Caron, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory structure providing a maximum height of 8.774m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, OCTOBER 27, 2021**



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2021.01.01	
A0119/2021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) #1270.00
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: **CITY OF GREATER SUDBURY**

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): CHAD Mainville Email: [REDACTED]
 Mailing Address: 2410 Davey Rd South Home Phone: [REDACTED]
BaySide Balfour Business Phone: [REDACTED]
 City: Chelmsford Postal Code: P0M-1L0 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Ken O'Malley Email: [REDACTED]
 Mailing Address: 1276 Roguette St. Home Phone: [REDACTED]
 City: Sudbury Postal Code: P3A-3Y2 Business Phone: [REDACTED]
 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: RBC
 Mailing Address: 3420 Errington Ave. Chelmsford
 City: Chelmsford Postal Code: P0M-1L0

4) Current Official Plan designation: R.U. Current Zoning By-law designation: R.U.

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Accessory Building Height Increase	4.2.4 6.5M	8.85M	2.35 M

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Detached garage with an Equipment Portion contain a Loft for storage. See attached PLAN.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The Loft section exceeds the 6.5 M. Use for storage and air drying purchased Hardwoods for hobby.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: BAHOUR Ward: 3
 Lot No.: 10 Concession No.: 4 Parcel(s): 2408
 Subdivision Plan No.: 53R 14017 Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 2410 Dauey Rd South Chelmsford

7) Date of acquisition of subject land. 2018.

8) Dimensions of land affected.
DAUEY Rd.
 Frontage 800.3 (m) Depth 198.6 (m) Area 16.18 ^H(m²) Width of Street 15 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>299.06</u> (m ²)	<u>221.02</u> (m ²)
Gross Floor Area:	<u>299.06</u> (m ²)	<u>287.98</u> (m ²)
No. of storeys:	<u>1</u>	<u>2</u> ^{loft}
Width:	<u>26.82</u> (m)	<u>23.16</u> (m)
Length:	<u>15.24</u> (m)	<u>10.36</u> (m)
Height:	<u>6.09</u> (m)	<u>8.25M.</u> (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>205.79</u> (m)	<u>281.39</u> (m)
Rear:	<u>567.68</u> (m)	<u>495.74</u> (m)
Side:	<u>57M.</u> (m)	<u>65.70</u> (m)
Side:	<u>126.65</u> (m)	<u>119.04</u> (m)

Lot coverage. Existing & Proposed 3.06%

- 11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?
- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input checked="" type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input checked="" type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Plt Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land. Aug. 2019.

13) Existing use(s) of the subject property and length of time it / they have continued. Use(s): R.U. Residential Length of time: 2yrs.

14) Proposed use(s) of the subject property. Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No
If "yes", how many? _____

17) Existing uses of abutting properties: R.U. Residential / Ag.

AOM/2021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, CHAD MAINVILLE (please print all names), the registered owner(s) of the property described as 2410 DAVEY Rd South. Chelmsford in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Ken O'Malley (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 14th day of Sept, 2021

Lucie Dolbec
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

10/19/2021

SUBJECT PROPERTY

2567

LOT 11
CON 1

RU

LOT 10
CON 1

2410

McKenzie Creek

2375

1222

1206

1198

Vermilion Lake

LOT 11
CON 6

Fire Route J

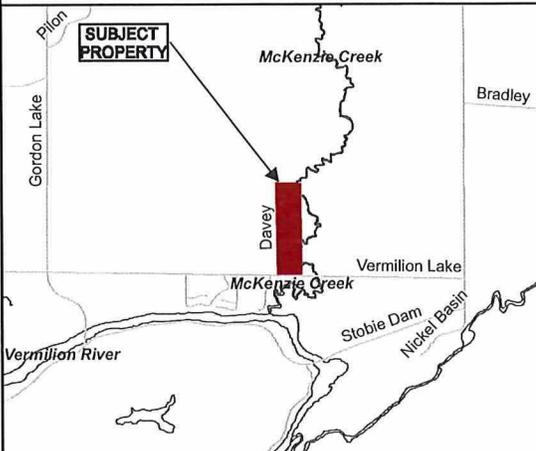
1257

M4

McKenzie Creek

LOT 10
CON 6

McKenzie Creek



Application for Minor Variance or Permission



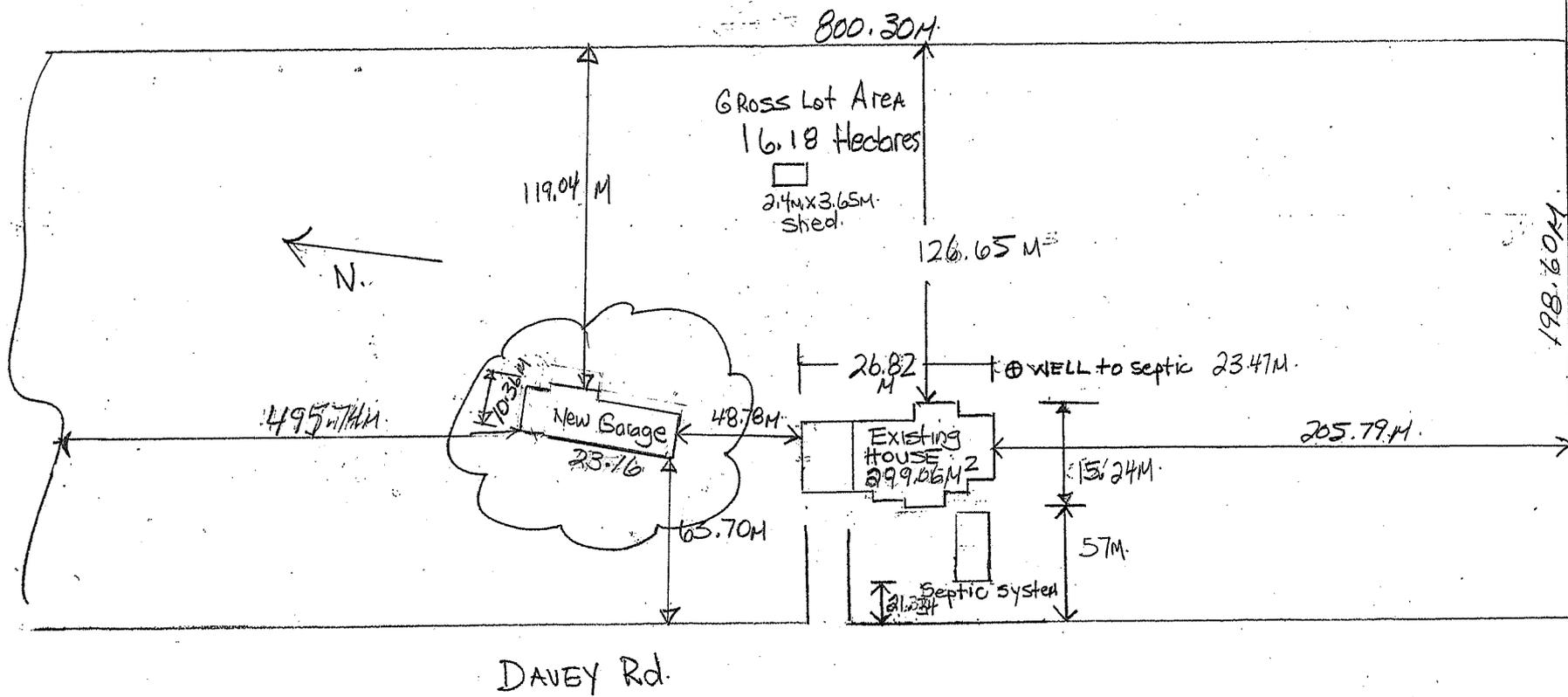
Subject Property being PIN 73350-0238, Parcel 2408, Part Lot 10, Concession 1, except Part 2, Plan 53R-14017, Township of Balfour, 2410 Davey Road South, Chelmsford City of Greater Sudbury

Sketch 1, NTS
NDCA

A119/2021
Date: 2021 09 20

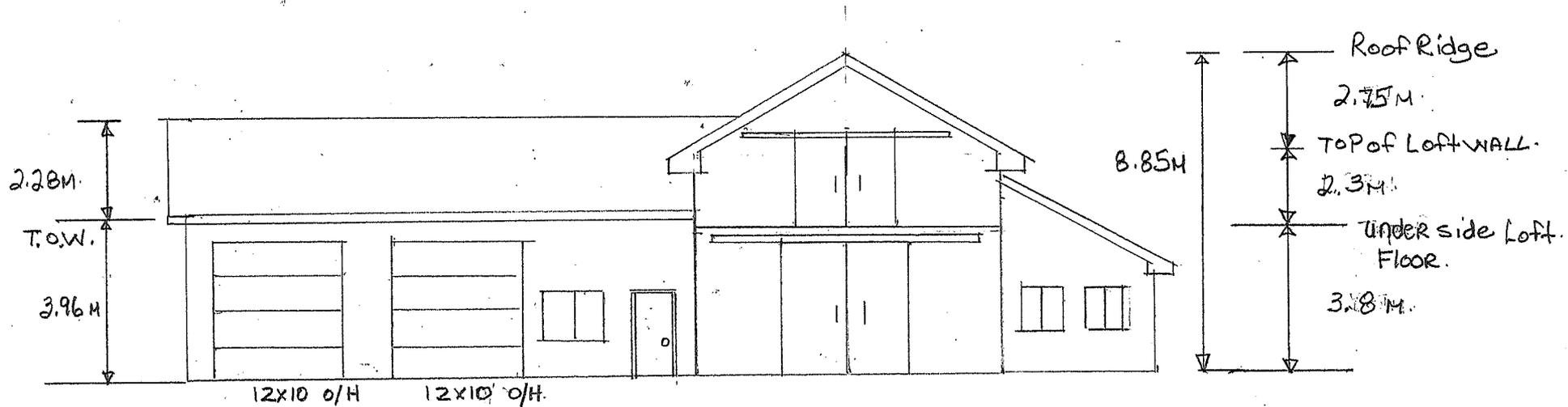
PCL. 2408 SEC SWS w 1/4 of S 1/2
LOT 10 CONC 1 BAIFOUR Except Pt 2.
53R14017

2410 Davey Rd. South.



VERMILION LAKE Rd.

Apr 19/2021
Sketch 2



A0119/2004
 sketch 3



Box 5000, Station 'A', 200, Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2021.01.01	
A0120/2021	
S.P.P. AREA	
YES	NO
NDCA REG. AREA	
YES	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Ronald & Lise Gosselin Email: _____
Mailing Address: 1381 VERMILION LK RD Home Phone: _____
Business Phone: _____
City: Chelmsford Postal Code: R0M 1L0 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A Email: _____
Mailing Address: _____ Home Phone: _____
Business Phone: _____
City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address: _____
City: _____ Postal Code: _____

4) Current Official Plan designation: _____ Current Zoning By-law designation: _____

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (if more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Property Width	296' (90m)	100' (30.48)	195' (59.52m)

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Water front property with river frontage of 145'-2" (45m) as per by-law

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Water front property

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73368-0333 Township: Creighton Ward: Walden
 Lot No.: 12 Concession No.: 6 Parcel(s): Part-2
 Subdivision Plan No.: N/A Lot: _____ Reference Plan No.: 53R-21523 Part(s): 2
 Municipal Address or Street(s): VERMILION LK. RD.

7) Date of acquisition of subject land. _____

8) Dimensions of land affected.

River
 Frontage 52 ± (m) Depth 396 ± (m) Area 1.9 hec (m²) Width of Street 30.48 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	_____ (m ²)	_____ (m ²)
Gross Floor Area:	_____ (m ²)	_____ (m ²)
No. of storeys:	<u>N/A</u>	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	<u>N/A</u>	_____ (m)
Side:	_____ (m)	_____ (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

N/A Vacant land

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Agriculture Length of time: 34 yrs

14) Proposed use(s) of the subject property.

Same as #13 or, Rural Building Lot

15) What is the number of dwelling units on the property? N/A

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Rural Building Lot & Bush or Agriculture

A0120/0001

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): BOOK 7, BOOK 8, BOOK 9
Almost complete

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, RONALD & LISE GOSSELIN (please print all

names), the registered owner(s) of the property described as BOOK 8

in the City of Greater Sudbury: VERMILION LK, RD.

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 20 day of September, 2021

Ronald Gosselin
(witness)

Lise Gosselin
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Ronald Gosselin

*I have authority to bind the Corporation

APR 20/2021

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, RONALD & LISE GOSSLIN (please print all names), the registered owner(s) or authorized agent of the property described as 20067 VERMILION LK. RD.

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 20th day of September, 2021

Signature of Elizabeth Ranich, Commissioner of Oaths

Signature of Ronald Gosselein, Owner or Signing Officer or Authorized Agent

Elizabeth Rosemary Ranich, a Commissioner, etc., District of Sudbury, for Desmarais, Keenan LLP, Barristers and Solicitors. Expires April 20, 2022

Print Name: LISE GOSSLEIN Ronald Gosselein *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Form with fields for Date of Receipt, Hearing Date, Zoning Designation, Resubmission, Previous File Number(s), Previous Hearing Date, and Notes. Includes handwritten entries for file numbers and dates.

Handwritten date: 10/20/2021



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2021.01.01	
A 012112021	
S.P.P. AREA	
YES	NO
NDCA REG. AREA	
YES	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Ronald & Lise Gosselin Email: [REDACTED]
 Mailing Address: 1381 Vermilion Lk Rd Home Phone: [REDACTED]
 Business Phone: [REDACTED]
 City: Chelmsford Postal Code: R0M 1L0 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A Email: _____
 Mailing Address: _____ Home Phone: _____
 Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
 Mailing Address: _____
 City: _____ Postal Code: _____

4) Current Official Plan designation: _____ Current Zoning By-law designation: _____

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (if more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Property Width	295' (90 m)	100' (30.48)	195' (59.52 m)

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Waterfront property with river frontage of 148'-4" (45.2 m) per by-law

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Waterfront property

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73368-0333 Township: Creighton Ward: Walden
 Lot No.: 12 Concession No.: 6 Parcel(s): Part-1
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53B-210 Part(s): 1
 Municipal Address or Street(s): Vermilion Lk Rd

7) Date of acquisition of subject land. September 1987

8) Dimensions of land affected.

River
 Frontage 52 ± (m) Depth 396 ± (m) Area 1.9 ± hec (m²) Width of Street 30.48 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>N/A</u> (m²)	_____ (m²)
Gross Floor Area:	<u>N/A</u> (m²)	_____ (m²)
No. of storeys:	_____	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>N/A</u> (m)	_____ (m)
Rear:	<u>N/A</u> (m)	_____ (m)
Side:	<u>N/A</u> (m)	_____ (m)
Side:	<u>N/A</u> (m)	_____ (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

N/A Vacant land

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Agriculture Length of time: 34 yrs

14) Proposed use(s) of the subject property.

Same as #13 or, Rural building lot

15) What is the number of dwelling units on the property?

N/A

16) If this application is approved, would any existing dwelling units be legalized?

Yes No

If "yes", how many? _____

17) Existing uses of abutting properties:

Rural Building lot & Agriculture Vacant or

AP021/2021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): B0067, B0068, B069
↳ All most complete

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, RONALD & LISE GOSSELIN (please print all names), the registered owner(s) of the property described as B0067
VERMILION LAKE ROAD
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

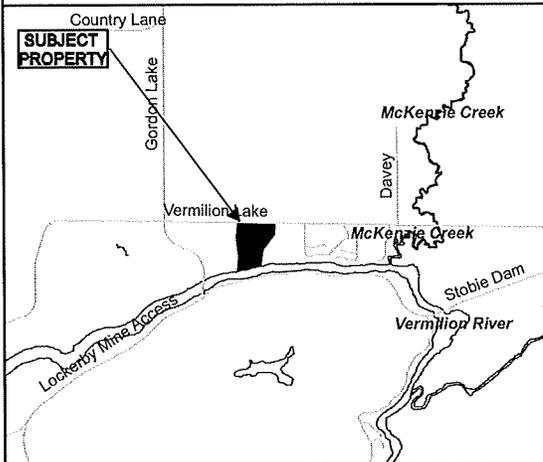
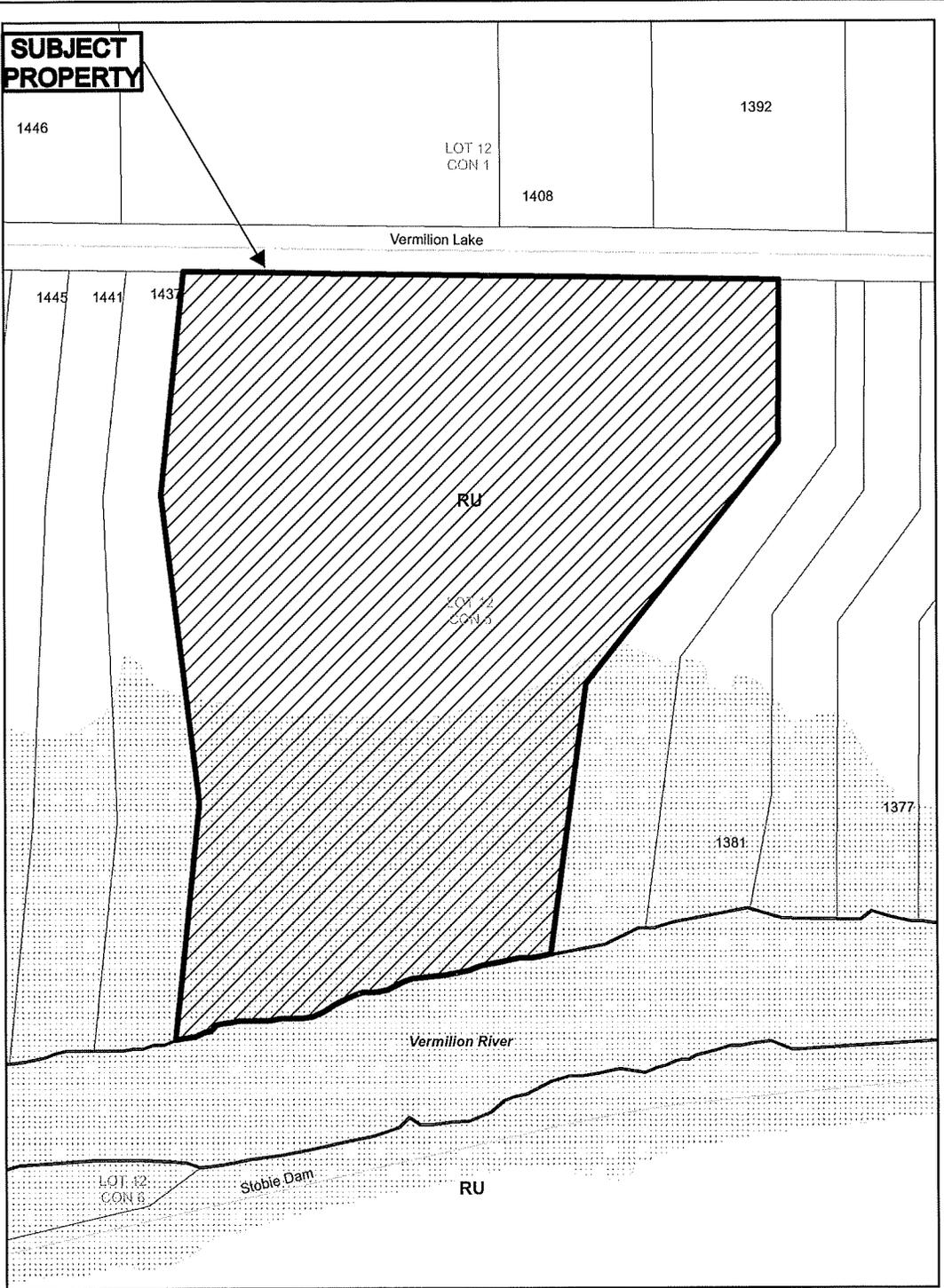
Dated this 20 day of September, 2021

Ronald Gosselein
(witness)

Lise Gosselein
Ronald Gosselein
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Ronald Gosselein

*I have authority to bind the Corporation

A0121/2021



Application for Minor Variance or Permission

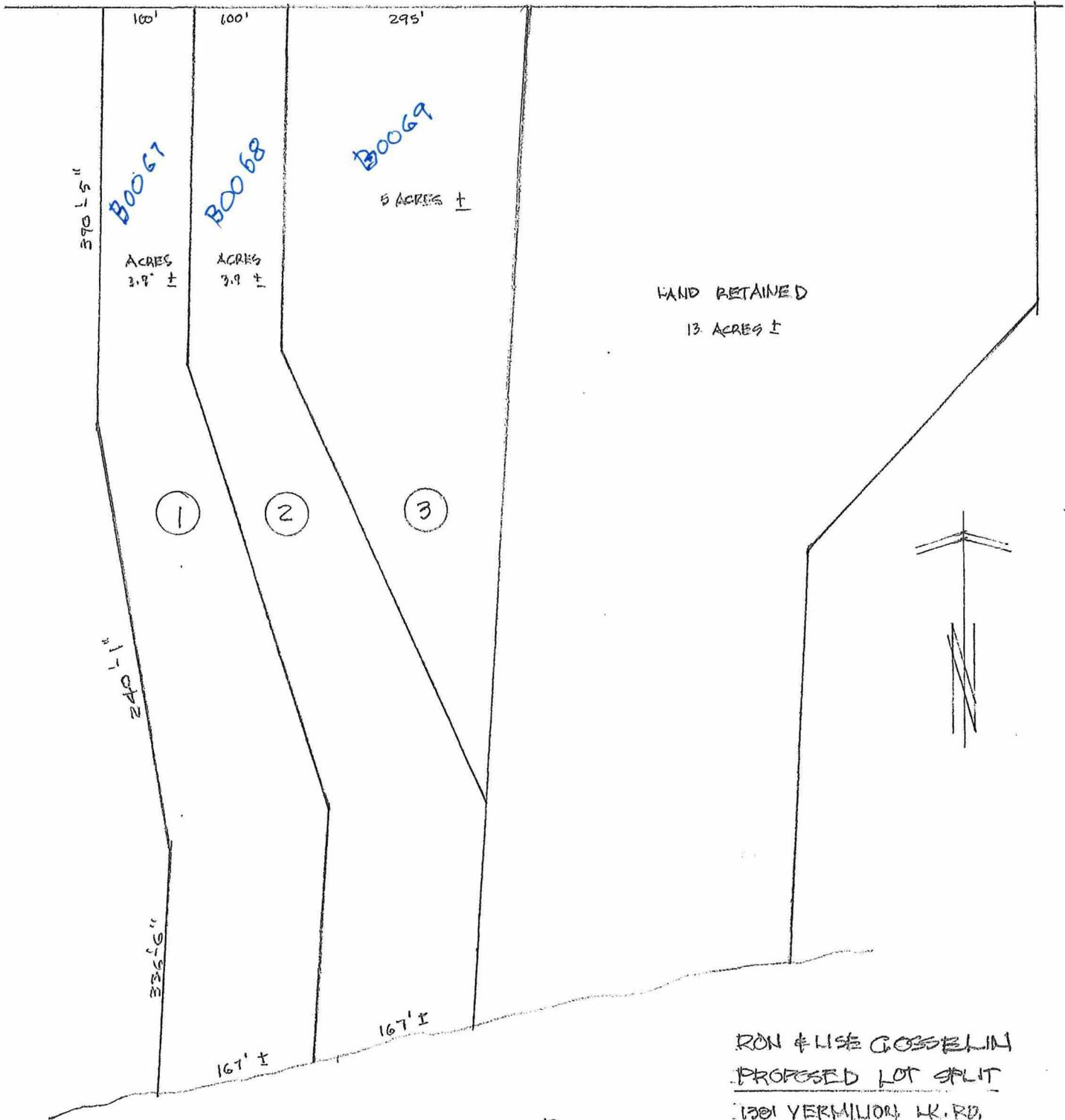


Subject Property being PIN 73368-0333, SRO, Part Lot 12, Concession 6, Part 5, Plan 53R-20628, except Parts 1, 2, and 3, Plan 53R-21130, Township of Creighton-Davies, 0 Vermilion Lake Road, Walden City of Greater Sudbury

Sketch 1, NTS
NDCA

A120/2021 & A121/2021
Date: 2021 09 22

VERMILION LAKE ROAD



VERMILION RIVER

RON & LISE GOSSELIN
PROPOSED LOT SPLIT

1301 VERMILION LK. RD.
PART OF LOT 12 CONC. 6
TOWNSHIP OF CREIGHTON

DATED SEPT 24/2020

A0120/2021 + A0121/2021
Sketch 2



Greater Sudbury
www.greatersudbury.ca
Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2021.01.01	
A 0122/2021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

**City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) \$1270.00
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): John Maki, Gisele Guenard Email: [REDACTED]
 Mailing Address: 2335 Bancroft Dr. Home Phone: [REDACTED]
 Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3B-4J7 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A. Email: _____
 Mailing Address: _____ Home Phone: _____
 Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A.
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: RU. Current Zoning By-law designation: R.U.

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Accessory Building to exceed 6.5m height	4.2.4 6.5M.	8.25	1.75

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Construct a new 30x48 Detached garage with @ Loft measuring 15'x30'

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Loft will exceed the 6.5m Bylaw. Loft is to be used as a Music area / ROOM.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73574-0146 Township: Neelon. Ward:
Lot No.: P4 8 Concession No.: 8 Parcel(s):
Subdivision Plan No.: Lot: P4 8 Reference Plan No.: 53R20732 Part(s): 14-15/1
Municipal Address or Street(s): 3335 Bancroft Dr. 53R1920.

7) Date of acquisition of subject land. 2020.

8) Dimensions of land affected.

Frontage 106.4 (m) Depth 379.87(m) Area (m^2) Width of Street 18.3. (m)

9) Particulars of all buildings:

Table with columns for Existing and Proposed, and rows for Ground Floor Area, Gross Floor Area, No. of storeys, Width, Length, and Height.

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

Table with columns for Existing and Proposed, and rows for Front, Rear, Side, and Side distances in meters.

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- List of infrastructure options with checkboxes: Municipally owned & operated piped water system, Provincial Highway, etc.

12) Date(s) of construction of all buildings and structures on the subject land.

June 2021 New Homes.

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Land. R.U. Length of time: unknown.
House under construction

14) Proposed use(s) of the subject property.

Same as #13 or, Single Family Residential R.U.

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? No

If "yes", how many?

17) Existing uses of abutting properties: Residential

AO 102/2021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, John Maki & Gisèle Guenard (please print all names), the registered owner(s) of the property described as 3335 Bancroft Dr.

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize John Maki (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 17th day of Sept., 2021.

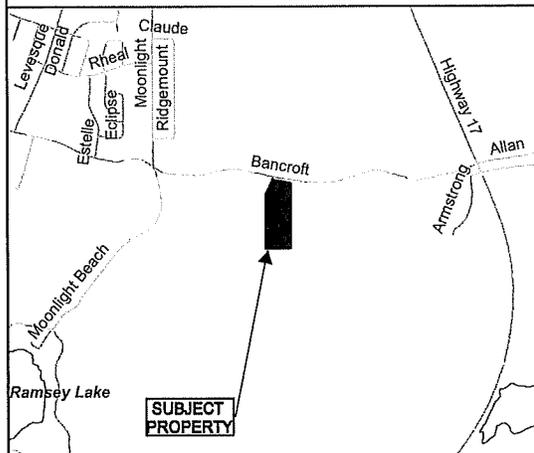
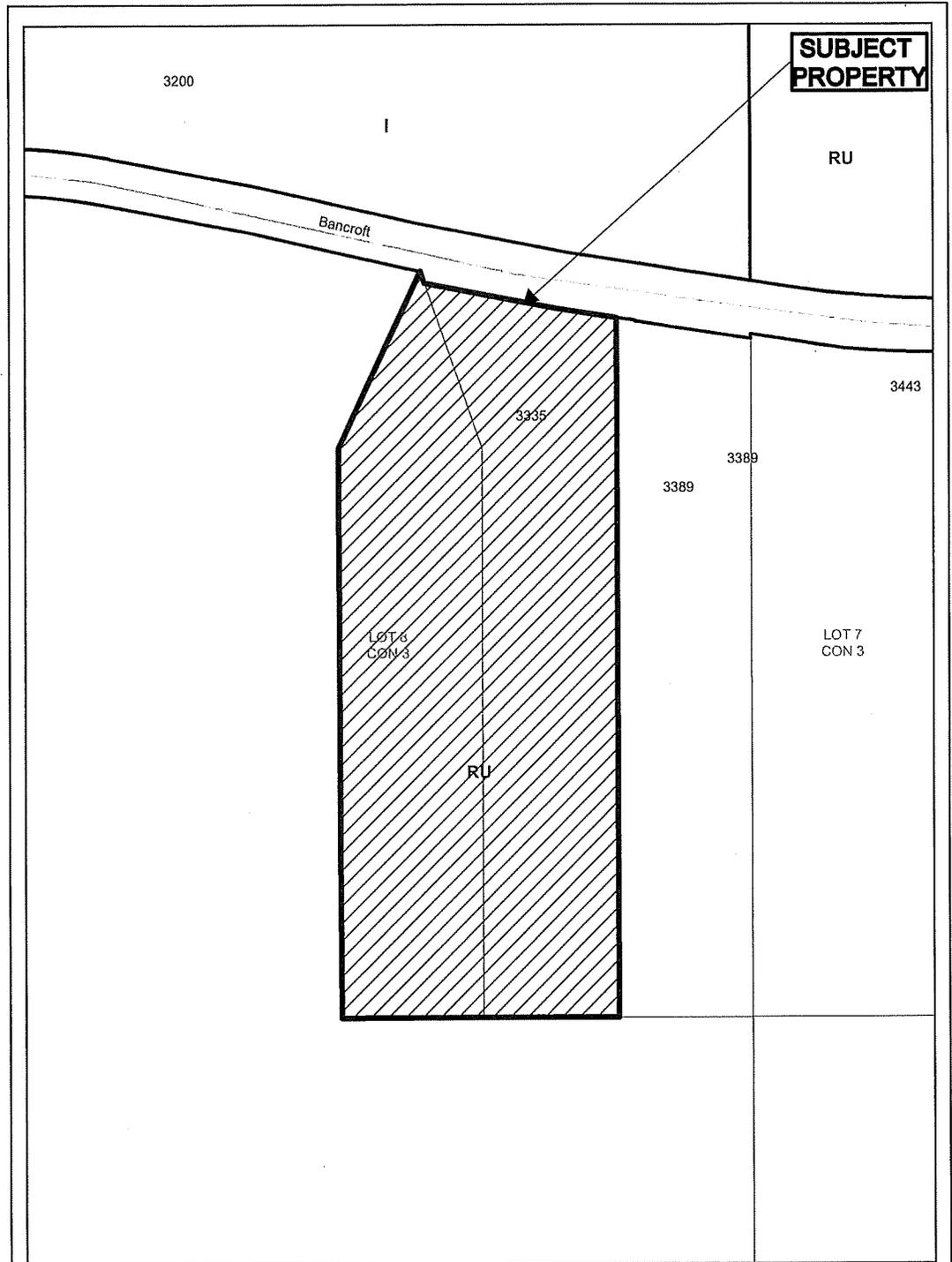
[Signature]
(Witness)

X [Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

AD122/2021



Application for Minor Variance or Permission



Subject Property being PIN 73574-0163,
 Part Lot 8, Concession 3,
 Parts 14 and 15, Plan 53R-19290,
 Parts 1, 2, 3, and 4, Plan 53R-20732,
 Township of Neelon,
 3335 Bancroft Drive, Sudbury
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A122/2021
 Date: 2021 09 23



8.25 M.

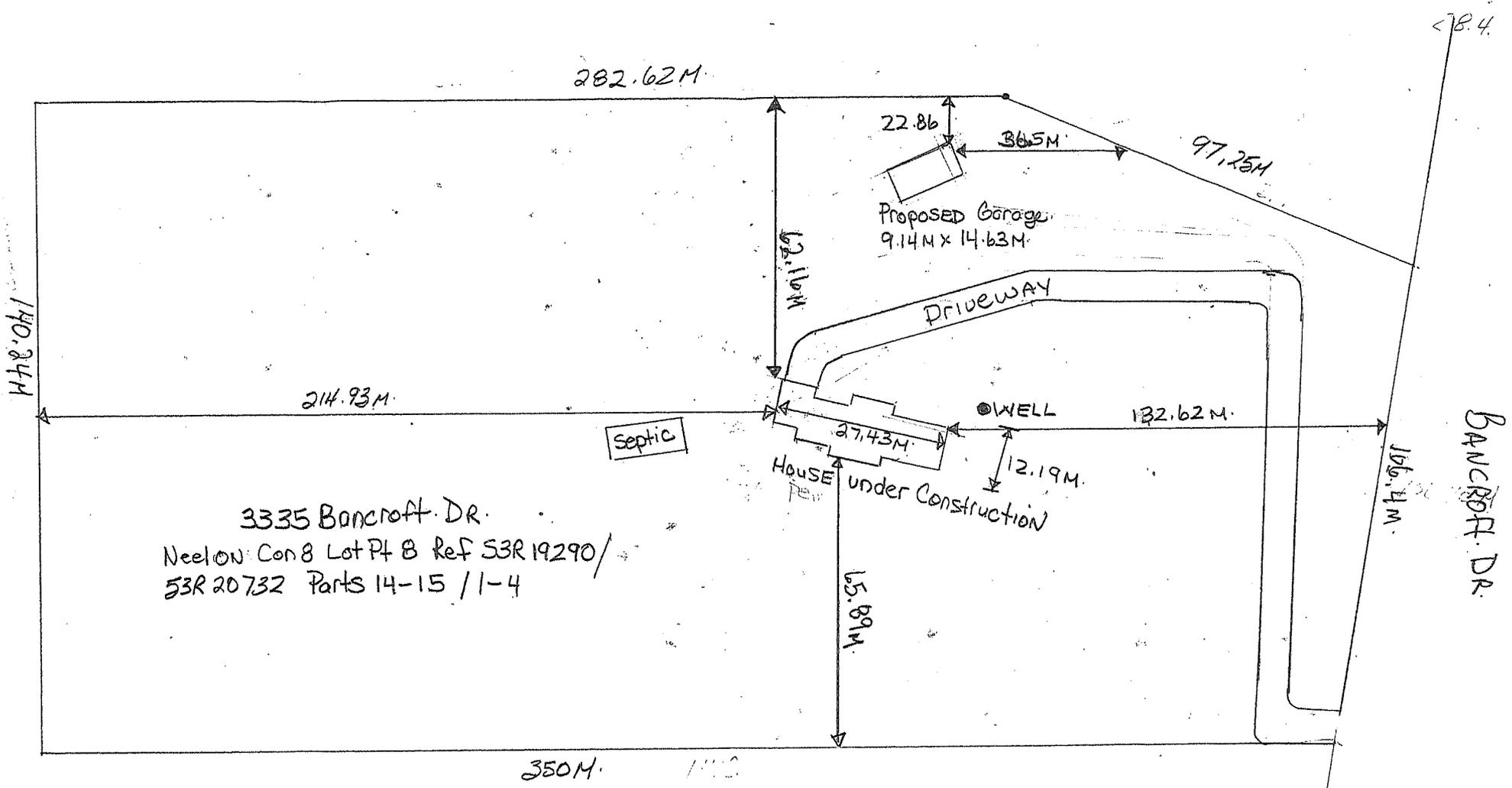
Loft Ridge
2.6M

TOP WALL LOFT.
2.43M

3.22M: Top of wall.

9.14M x 14.6M Garage. Loft: 4.5M x 9.14M.

10/20/2021
Sketch 2



3335 Bancroft Dr.
 Neelon Con 8 Lot Pt 8 Ref S3R 19290/
 S3R 20732 Parts 14-15 / 1-4

A0122/2021
 Sketch 3



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2021.01.01	
A0123/2021	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dalron Construction Limited	Email:
Mailing Address: 130 Elm Street	Home Phone:
City: Sudbury	Business Phone: [REDACTED]
Postal Code: P3C 1T6	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent:	Email:
Mailing Address:	Home Phone:
Lots 13, 14, 15 Eclipse Cres.	Business Phone:
City:	Fax Phone:
Postal Code:	

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name:	
Mailing Address:	
City:	Postal Code:

- 4) Current Official Plan designation: Living Area One Current Zoning By-law designation: R1-5 and R2-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Lot 13 Eclipse Cres: Lot Area	465m2	451m2+/-	14m2+/-
Lot 14 Eclipse Cres: Lot Area	465m2	451m2+/-	14m2+/-
Lot 15 Eclipse Cres: Lot Area	465m2	451m2+/-	14m2+/-

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: _____
To request relief from the minimum lot area on 3 draft approved lots.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: _____
Although the lots conform to the zoning by-law with respect to minimum lot frontage and depth, the three future lots are deficient in lot area, which cannot be achieved due to boundary limitations.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73575-0664 Township: Neelon Ward: 11
 Lot No.: ~~lots 11 & 12~~ 9 Concession No.: 03 Parcel(s):
 Subdivision Plan No.: M-889 Lot: 9 Reference Plan No.: 632-2155 Part(s): 1
 Municipal Address or Street(s): (Lots 13, 14, 15 Eclipse Cres) Ø Estelle Street

7) Date of acquisition of subject land. *Frontage* *Depth* *Area*

8) Dimensions of land affected.	<i>Lot 13</i>	<i>15.0 m</i>	<i>30.068 m +/-</i>	<i>451 m² +/-</i>
	<i>Lot 14</i>	<i>15.0 m</i>	<i>30.068 m +/-</i>	<i>451 m² +/-</i>
	<i>Lot 15</i>	<i>15.02 m +/-</i>	<i>30.068 m +/-</i>	<i>451 m² +/-</i>
Frontage (m)	Depth (m)	Area (m ²)	Width of Street (m)	<i>20</i>

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.
 Fall 2021

13) Existing use(s) of the subject property and length of time it / they have continued.
 Use(s): vacant draft plan of subdivision Length of time:

14) Proposed use(s) of the subject property.
 Same as #13 or Registered lots on a plan of subdivision

15) What is the number of dwelling units on the property? none

16) If this application is approved, would any existing dwelling units be legalized? Yes No
 If "yes", how many?

17) Existing uses of abutting properties: Low density residential (single family and semi-detached homes)

A0123/2021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): Draft plan of subdivision 751-6/20-17

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Dalron Construction Limited (please print all names), the registered owner(s) of the property described as _____ PIN 73565-0664 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Kristi Arnold (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18 day of June, 2021

(witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Kristi Arnold

*I have authority to bind the Corporation

AO123/2021

PLAN OF SURVEY OF
PART OF LOT 9, CONCESSION 3
GEOGRAPHIC TOWNSHIP OF NEELON
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TULLOCH GEOMATICS INC.
2021

SCALE 1 : 500

THE INTENDED PLOT SIZE OF THIS PLAN IS 800mm IN WIDTH BY 457mm
IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:500.

BEARING NOTE:

BEARINGS ARE UTM GRID AND ARE DERIVED FROM OBSERVED REFERENCE POINTS A AND B
BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83(CSRS)(2010.0).

METRIC:

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

GROUND DISTANCES SHOWN HEREON CAN BE CONVERTED TO UTM GRID BY MULTIPLYING BY
A COMBINED SCALE FACTOR OF 0.999943.

LEGEND:

- DENOTES FOUND MONUMENT
- DENOTES PLANTED MONUMENT
- SB DENOTES STANDARD IRON BAR 0.025 x 0.025 x 1.22
- SSB DENOTES SHORT STANDARD IRON BAR 0.025 x 0.025 x 0.61
- IB DENOTES IRON BAR
- 1604 DENOTES TULLOCH GEOMATICS INC. O.L.S.
- 1855 DENOTES TERRY DEL BOSCO, O.L.S.
- 954 DENOTES M.R. MAHER, O.L.S.
- NVM DENOTES NO VISIBLE MARKINGS
- P DENOTES REGISTERED PLAN 53M-1415
- P1 DENOTES SURVEY RECORDS OF TULLOCH GEOMATICS
- FILE: 125779

INTEGRATION COORDINATE TABLE		
ALL COORDINATES ARE IN METRES, ARE RELATED TO UTM ZONE 17 (81°0'W LONGITUDE) NAD83(2010.0) AND HAVE A RELATIVE ACCURACY TO MEET THE REQUIREMENTS OF URBAN AREA AT A 95% CONFIDENCE LEVEL.		
ORP	NORTHING	EASTING
A	514807.53	507239.39
B	5148146.75	507337.86
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA
1	PART OF LOT 9	3	PART OF PIN 73575-0864(LT)	1356.6m ²

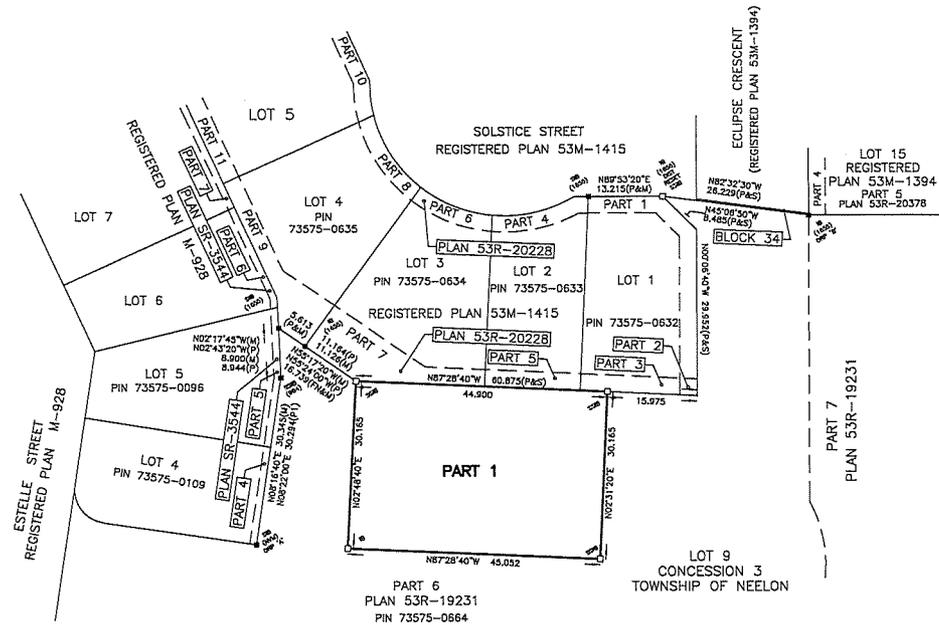
PLAN 53R-21555

Received and deposited

September 20th, 2021

John Laporte

Representative for the
Land Registrar for the
Land Titles Division of
Sudbury (No.53)



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
(1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEY'S ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE
REGULATIONS MADE UNDER THEM.
(2) THE SURVEY WAS COMPLETED ON THE 1st DAY OF SEPTEMBER, 2021

SEPTEMBER 17, 2021
DATE

Terry Del Bosco
TERRY DEL BOSCO
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS SUBMISSION FORM 2173984.

	TULLOCH GEOMATICS INC.
	1942 REGENT ST. T. 705 671-2295 UNIT L F. 705 671-3473 SUDBURY, ON 800 810-1037 P3E 5V5 sudbury@tulloch.ca
DRAWN BY: KG	FILE: 20-2306

A01/03/2021
Sketch #4



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only	
A0124/2021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): <u>Michele Haw</u>	Email: _____
Mailing Address: <u>6 George Street</u>	Home Phone: _____
	Business Phone: _____
City: <u>Coniston</u>	Postal Code: <u>P0M1M0</u> Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____	Email: _____
Mailing Address: _____	Home Phone: _____
	Business Phone: _____
City: _____	Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <u>Sudbury Credit Union</u>
Mailing Address: <u>9 2nd Avenue N.</u>
City: <u>Sudbury</u> Postal Code: <u>P3B 1L7</u>

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.25.2 Reconstruction of Existing Buildings and Structures	117.7sq.m. without addition	125.782sq.m.	8.082 sq.m.

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: 1.95 0.6 (m) > 2.00m variance

c) Description of Proposal:
 Front entryway to downstairs with requires increase to footing of approximately 8 square meters (where deck previously existed). House profile will be straight across instead of L-cove as it is currently. Roof extended to match at front of building as well.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 Addition will increase footprint of foundation and exterior dimensions of dwelling

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73560-1306 Township: Neelon Ward: 9
 Lot No.: 4 Concession No.: 3 Parcel(s): 8843
 Subdivision Plan No.: M-64 & M-147 Lot: 102 pt 10 Reference Plan No.: 53R21164 Part(s): 2
 Municipal Address or Street(s): 6 George St → Lot 102 PT LOT 101; PT LANE

7) Date of acquisition of subject land. April 28, 2021

8) Dimensions of land affected:
 Frontage 15.24 ± (m) Depth 34.9 ± (m) Area 505.50 ± (m²) Width of Street 15.0 ± (m)

	Existing	Proposed
Ground Floor Area:	117.7 (m ²)	125.782 (m ²)
Gross Floor Area:	117.7 (m ²)	125.782 (m ²)
No. of storeys:	1	1
Width:	6.675 frt 10.82 mid 6.19 back (m)	10.82 frnt & mid 6.19 back (m)
Length:	13 left 7.68 right (m)	13 left 9.6 right (m)
Height:	6 (m)	6 (m)

* 10x6m X 7.47m Garage not affected

	Existing	Proposed
Front:	4.6 left 6.52 right (m)	4.6 (m)
Rear:	14.37 fr deck 1.22 fr garage (m)	14.37 fr deck 1.22 fr garage (m)
Side:	3.34 fr deck (m)	3.34 fr deck (m)
Side:	9.645m (front) 5.5m (mid) 10.13m (back) (m)	5.5 fr house 0.45 fr garage (m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|--------------------------|--|--------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

1940 (residence) Garage (unknown)

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 20+

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

APR 24/2021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Michele Haw (please print all names), the registered owner(s) of the property described as 6 George Street Coniston

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize ya (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of September, 2021



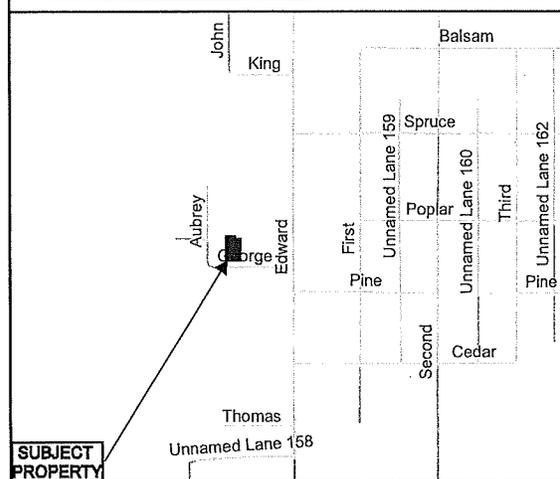
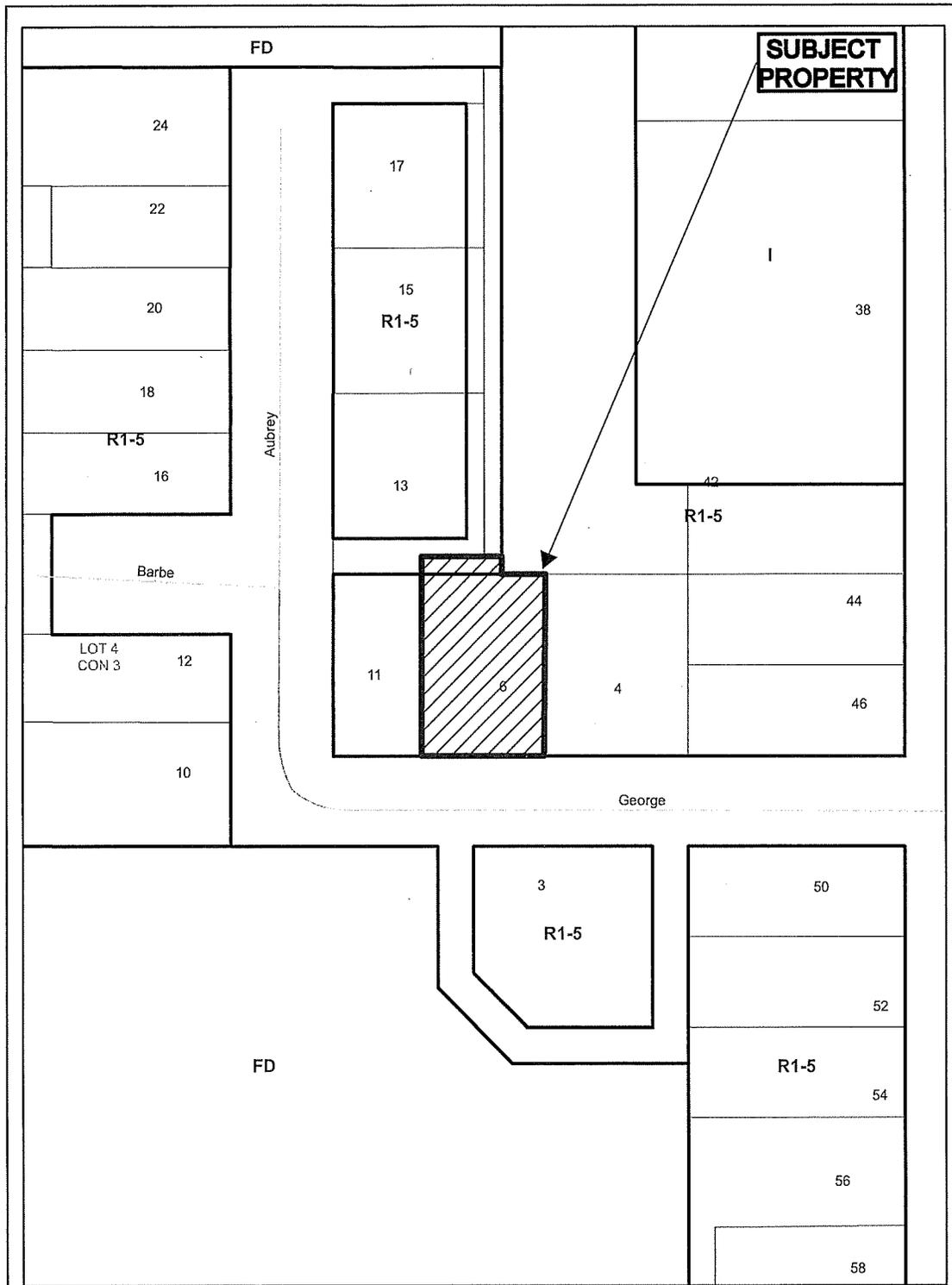
Kathryn Johnston
(witness)

Michele Haw
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Michele Haw

*I have authority to bind the Corporation

AD 24/2021

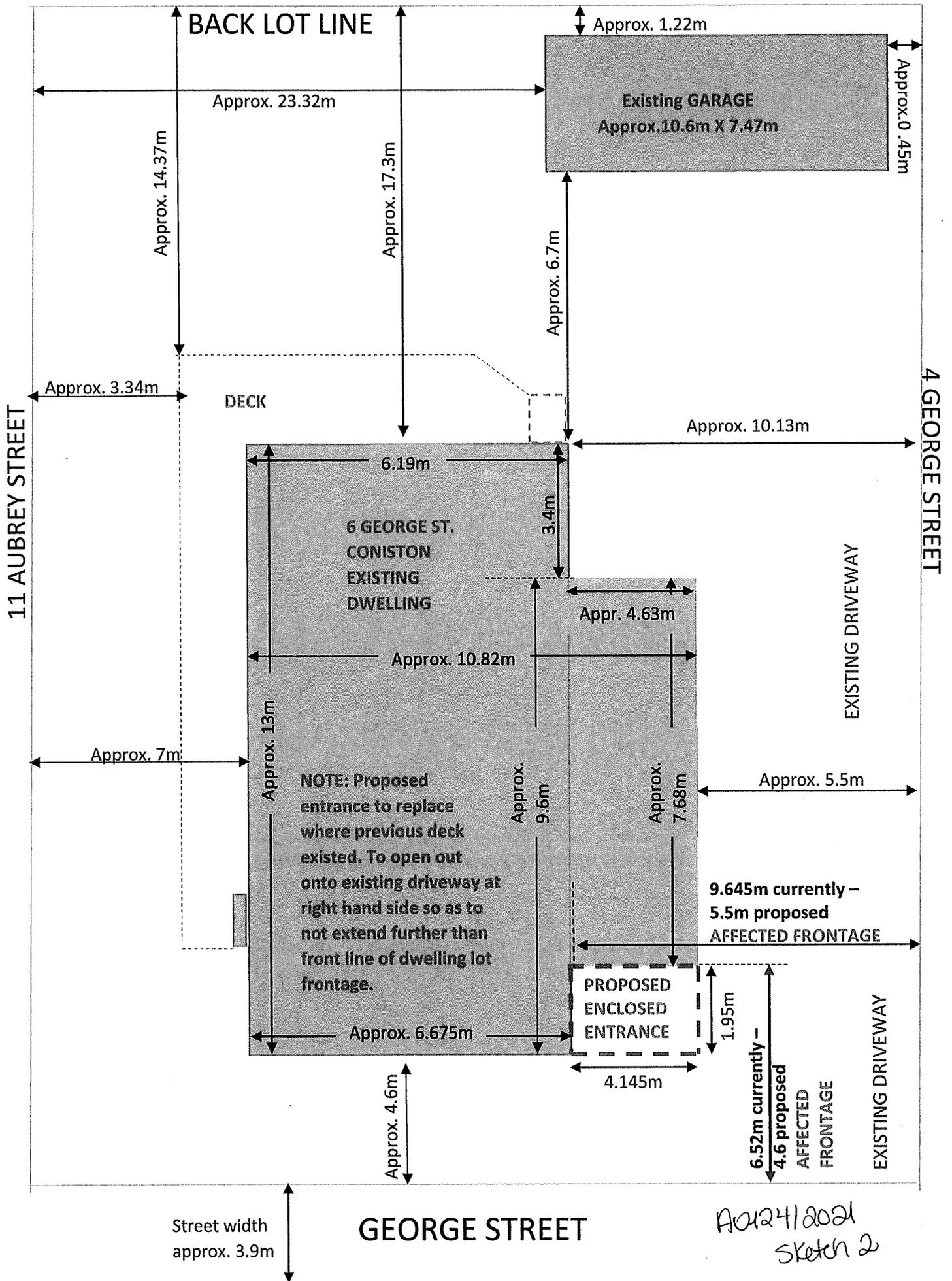


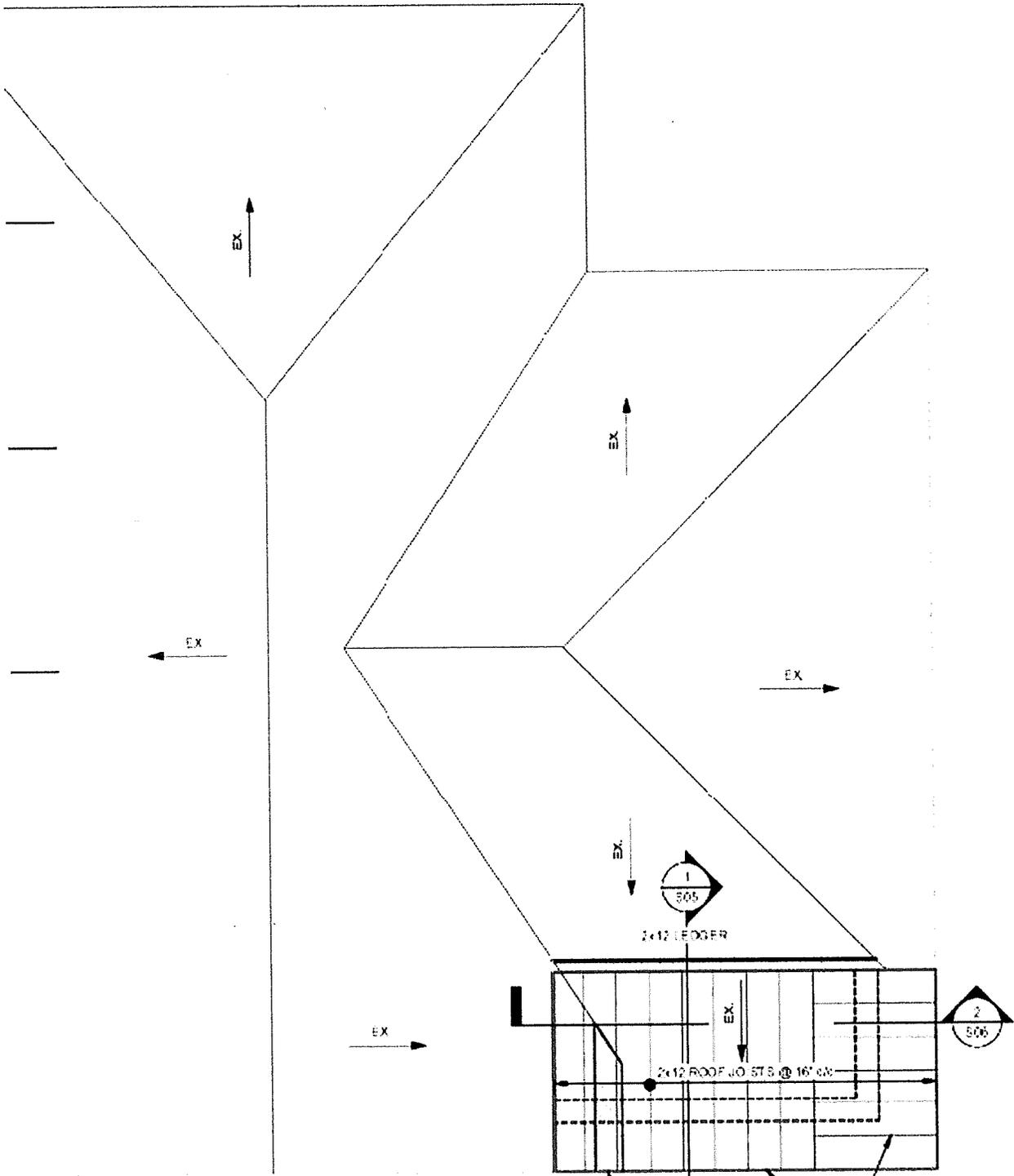
Application for Minor
Variance or Permission

Subject Property being PIN 73560-1306,
Parcel 8843, Part Lot 101 and Lot 102,
Plan M-64, Part of Lane, Plan M-147,
Part 2, Plan 53R-21164,
Township of Neelon,
6 George Street, Coniston
City of Greater Sudbury

Sketch 1, NTS A124/2021
NDCA Date: 2021 09 24

SUBJECT PROPERTY





MAIN FLOOR CEILING FRAMING - ALTERED
 1/4" = 1'-0"



2x12 LEDGER

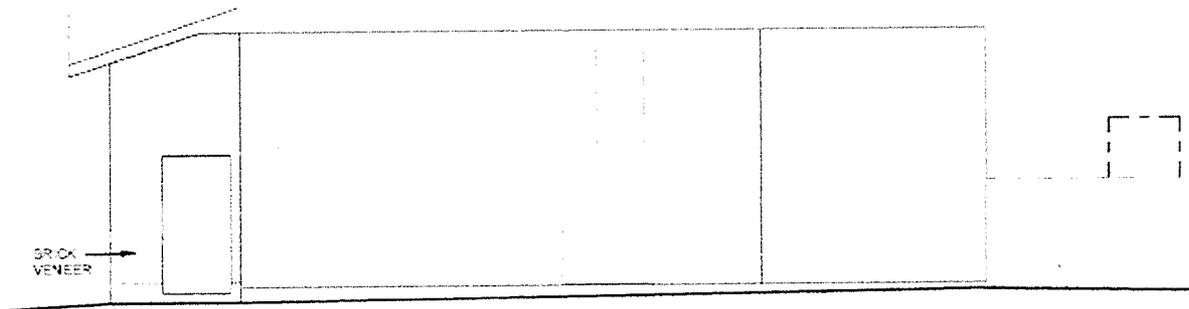
2x12 ROOF JOISTS @ 16" OC

LOOKOUT FRAMING

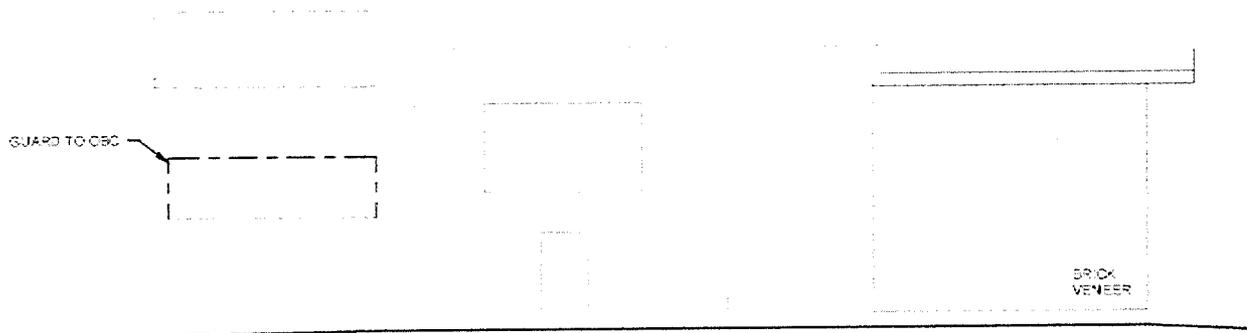
EXTEND GABLE ROOF DOWN

SHADED AREA DENOTES AREA OF ADDED ROOF

*AP024/2004
 sketch 4*

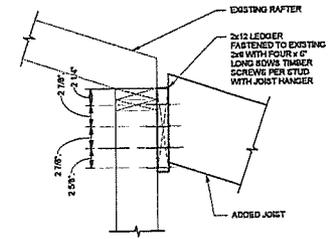
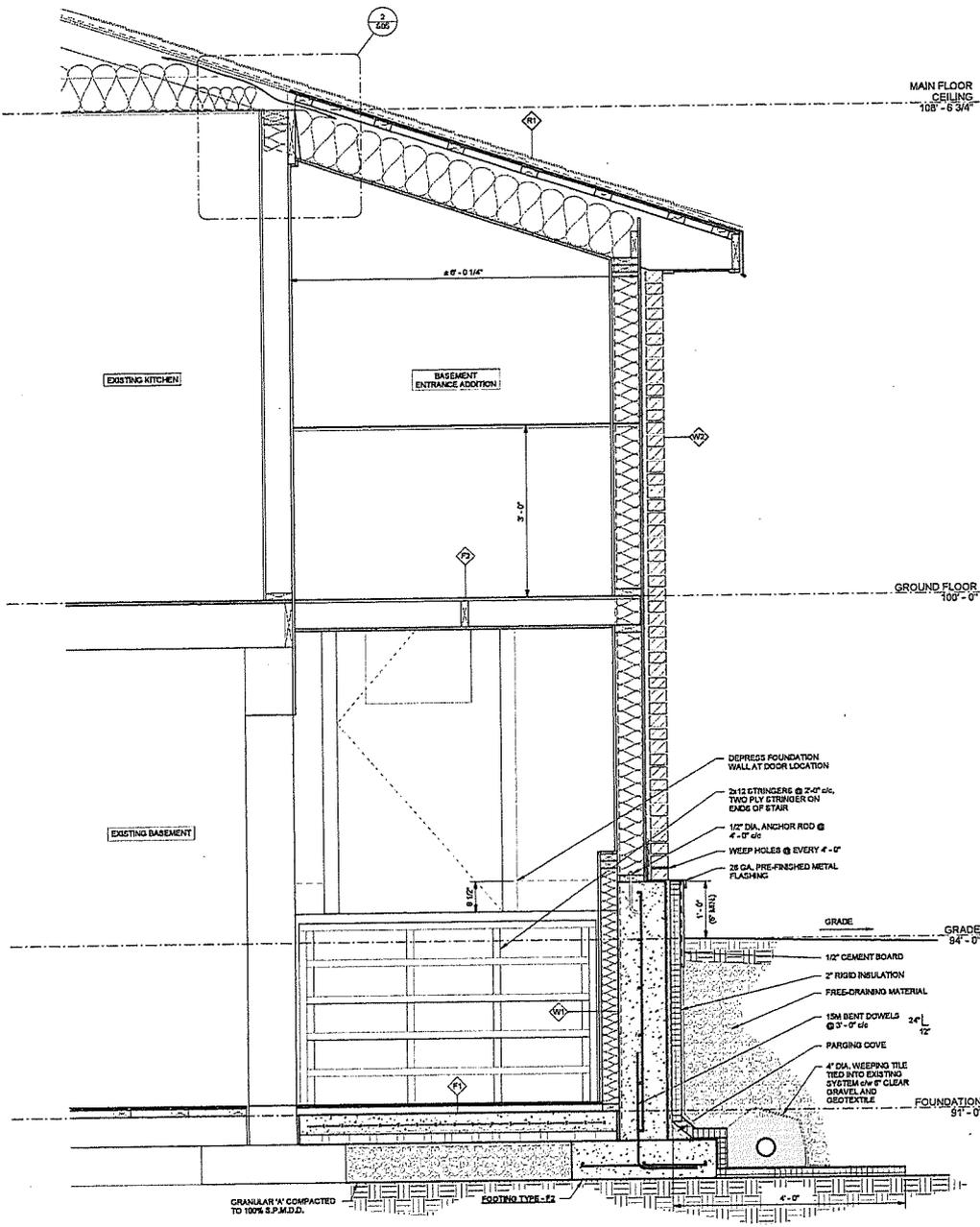


③ ALTERED EXTERIOR ELEVATION - EAST
3/16" = 1'-0"

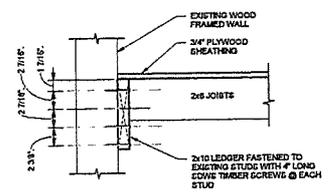


④ ALTERED EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"

AP124/2021
Sketch 5



② DETAIL
1 1/2" = 1'-0"



③ SECTION
1 1/2" = 1'-0"



No.	Description	Date
0	ISSUED FOR CONSTRUCTION	2021-07-20

**RESIDENCE BASEMENT
ENTRANCE ADDITION &
EXTERIOR DECK**

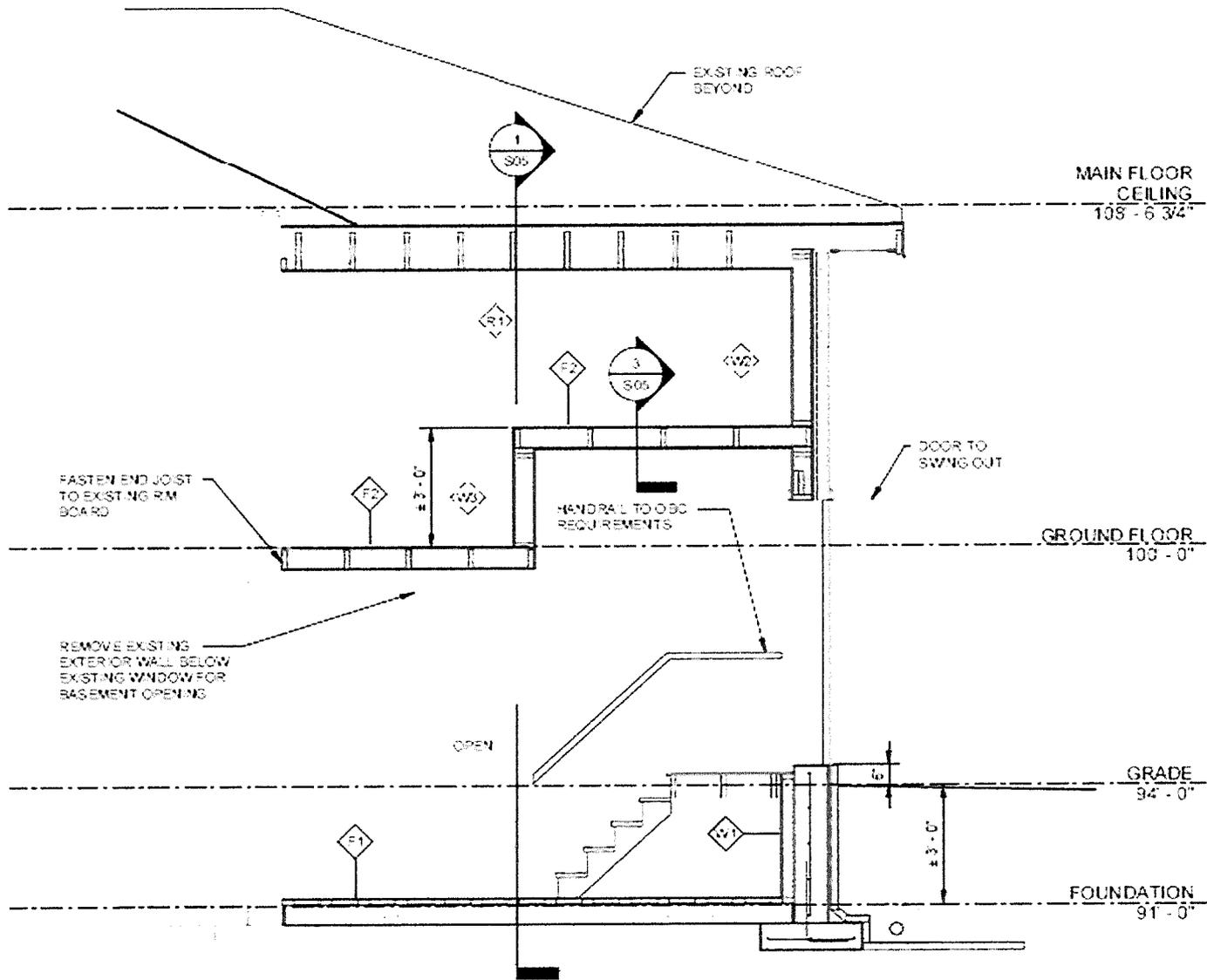
8 GEORGE STREET, CONISTON, ONTARIO

SECTION & DETAILS

Project Number	TPR18-1004
Date	2021-07-20
Drawn By	KMJ
Checked By	MAP, GRS, DGO
Sheet Number	5 of 6

S05

A0124/2021 sketch 6



② SECTION
 $\frac{3}{8}'' = 1'-0''$

APR 24/2021
 Sketch 7



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2021.01.01	
A0125/201	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): PIERRE + SHARLENE PIRE Email: [REDACTED]
 Mailing Address: 2704 ROYAL ST Home Phone: [REDACTED]
ALZARA VALLEY Business Phone: [REDACTED]
 City: _____ Postal Code: P0M 1E0 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
 Mailing Address: _____ Home Phone: _____
 _____ Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
<u>HEIGHT OF DETACH GARAGE</u>	<u>5M</u>	<u>2.62 8.23</u>	<u>2.62 3.23</u>

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: HEIGHT VARIANCE TO DETACH GARAGE

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
-STORAGE ON TOP OF GARAGE-LOFT

6) Legal Description (include any abutting property registered under the same ownership). Deed

PIN(s): 73516-0403 Township: MACCLEAN Ward: _____
 Lot No.: 1 (PART) Concession No.: 5 Parcel(s): _____
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53R-12089 Part(s): 6
 Municipal Address or Street(s): 712 PINECONE 53R-17683 PARTS 6-7-8

7) Date of acquisition of subject land. MARCH 5 - 2001

8) Dimensions of land affected.

Frontage 40 (m) Depth 100 (m) Area _____ (m²) Width of Street 55 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area: <u>32 FT</u>	_____ (m ²)	_____ (m ²)
Gross Floor Area: <u>All Floors x2</u>	_____ (m ²)	_____ (m ²)
No. of storeys:	_____	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

Handwritten notes: House: 615.646 m², 1231.392 m² (BASEMENT); GARAGE: 274.32 m², 384.04 m² (LOF)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

Handwritten notes: House: 50, 333, 12.1, 22; GARAGE: 18, 55, 6, 37

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input checked="" type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input checked="" type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

CURRENT VACANT LOT

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): RESIDENTIAL Length of time: 20+ YRS

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? Proposed 2

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: RESIDENTIAL

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, PIERRE & CHARLENE PITRE (please print all names), the registered owner(s) of the property described as 712 PINGWONG in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize PIERRE PITRE (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

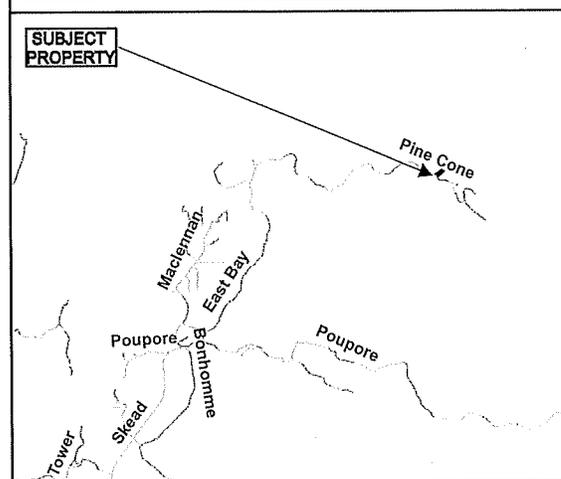
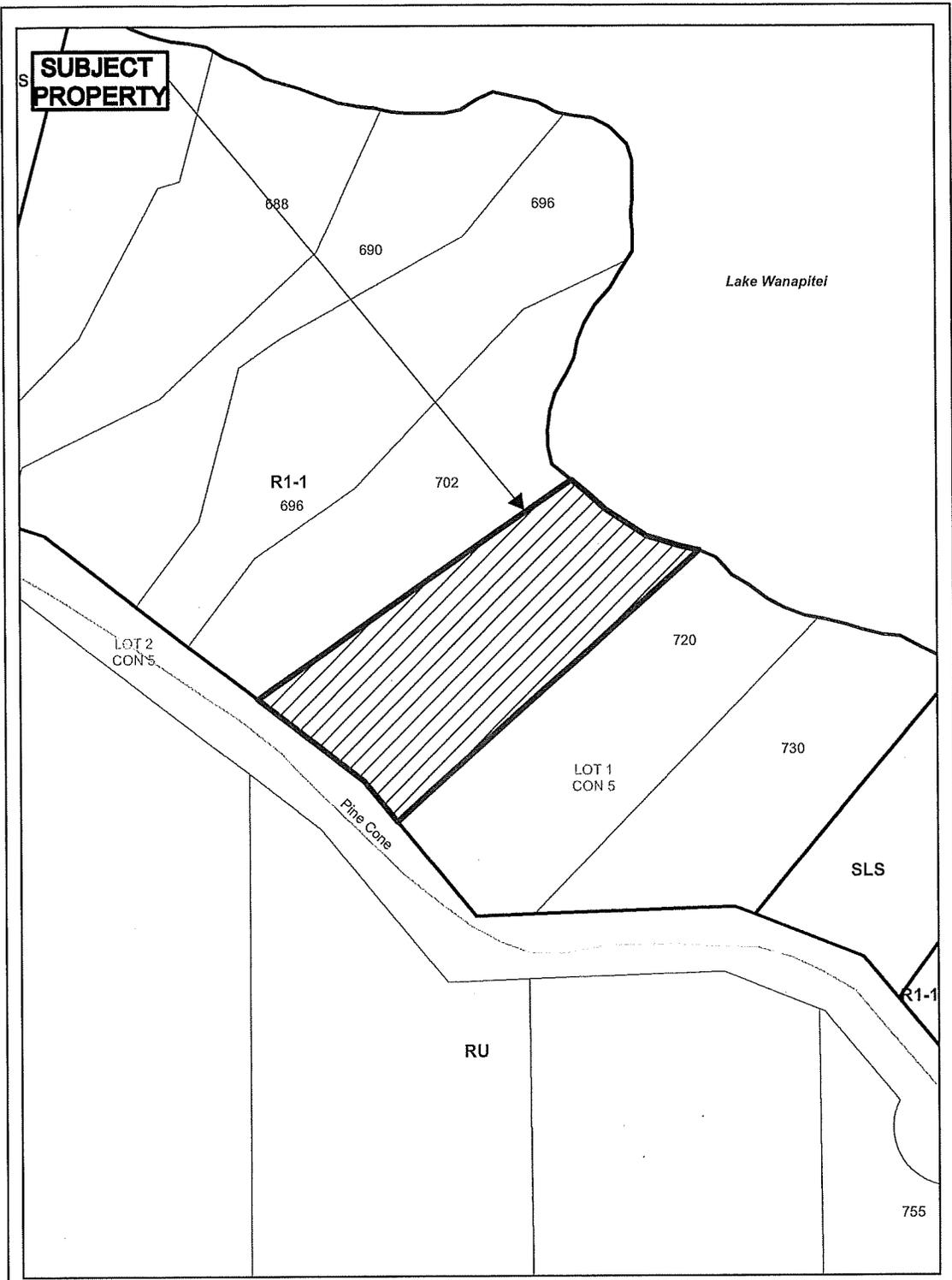
Dated this 30th day of SEPTEMBER, 2021

K. Kelly Pitre
(witness)

Pierre Pitre Charlene Pitre
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: PIERRE & CHARLENE PITRE

*I have authority to bind the Corporation



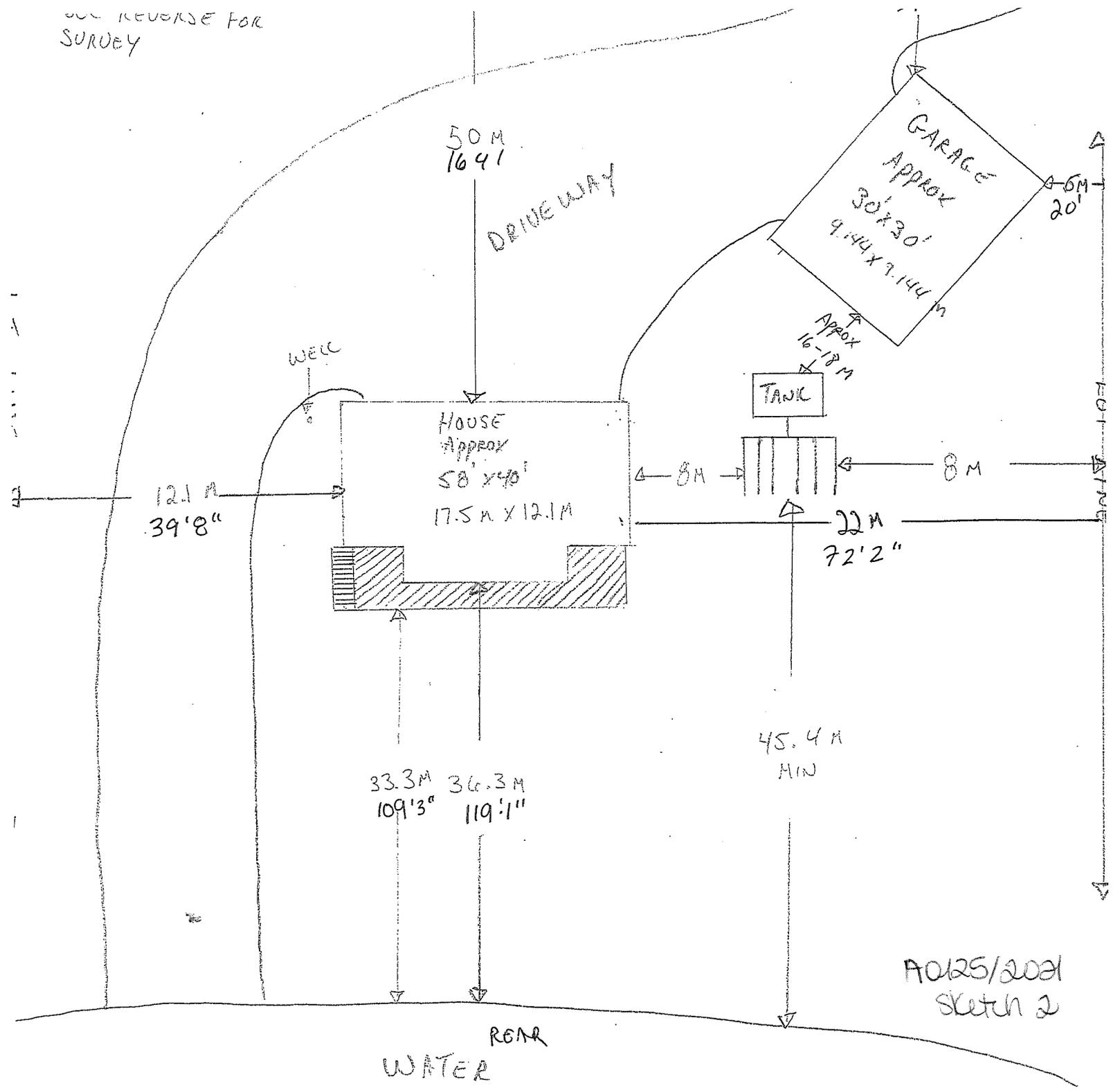
Application for Minor Variance or Permission



Subject Property being PIN 73513-0403, Parcel 48828, Part 6, Plan 53R-12088, Parts 6, 7 and 8, Plan 53R-17683, Part Lot 1, Concession 5, Township of MacLennan, 712 Pinecone Road, Skead, City of Greater Sudbury

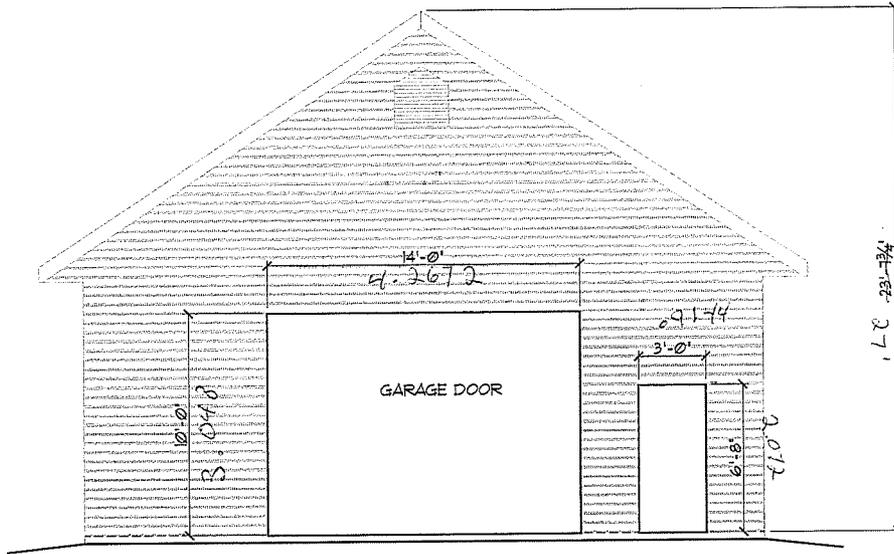
Sketch 1, NTS A125/2021
 NDCA Watershed Date: 2021 09 23

GO REVERSE FOR SURVEY

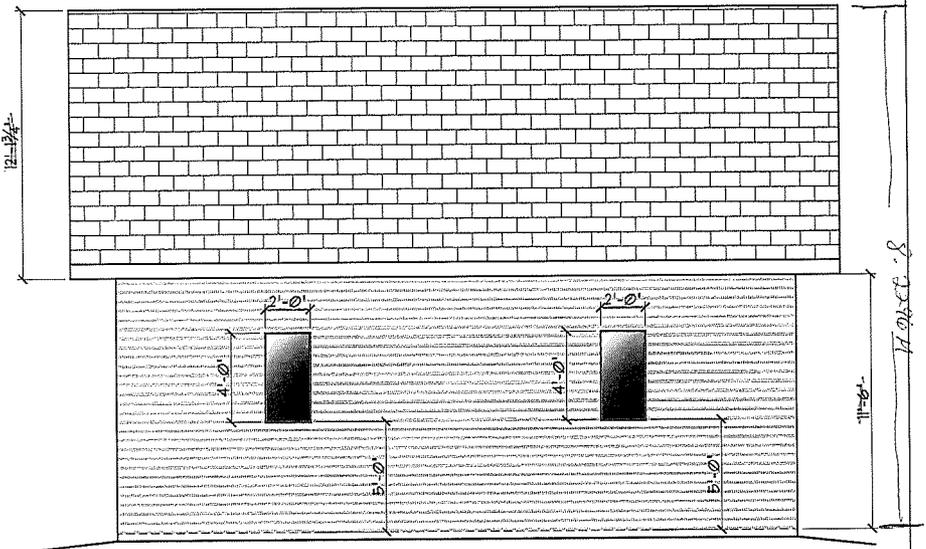


10/25/2001
Sketch 2

CONVERT TO M



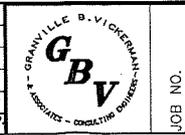
FRONT ELEVATION
SCALE: 3/16"=1'-0"



LEFT SIDE ELEVATION
SCALE: 3/16"=1'-0"



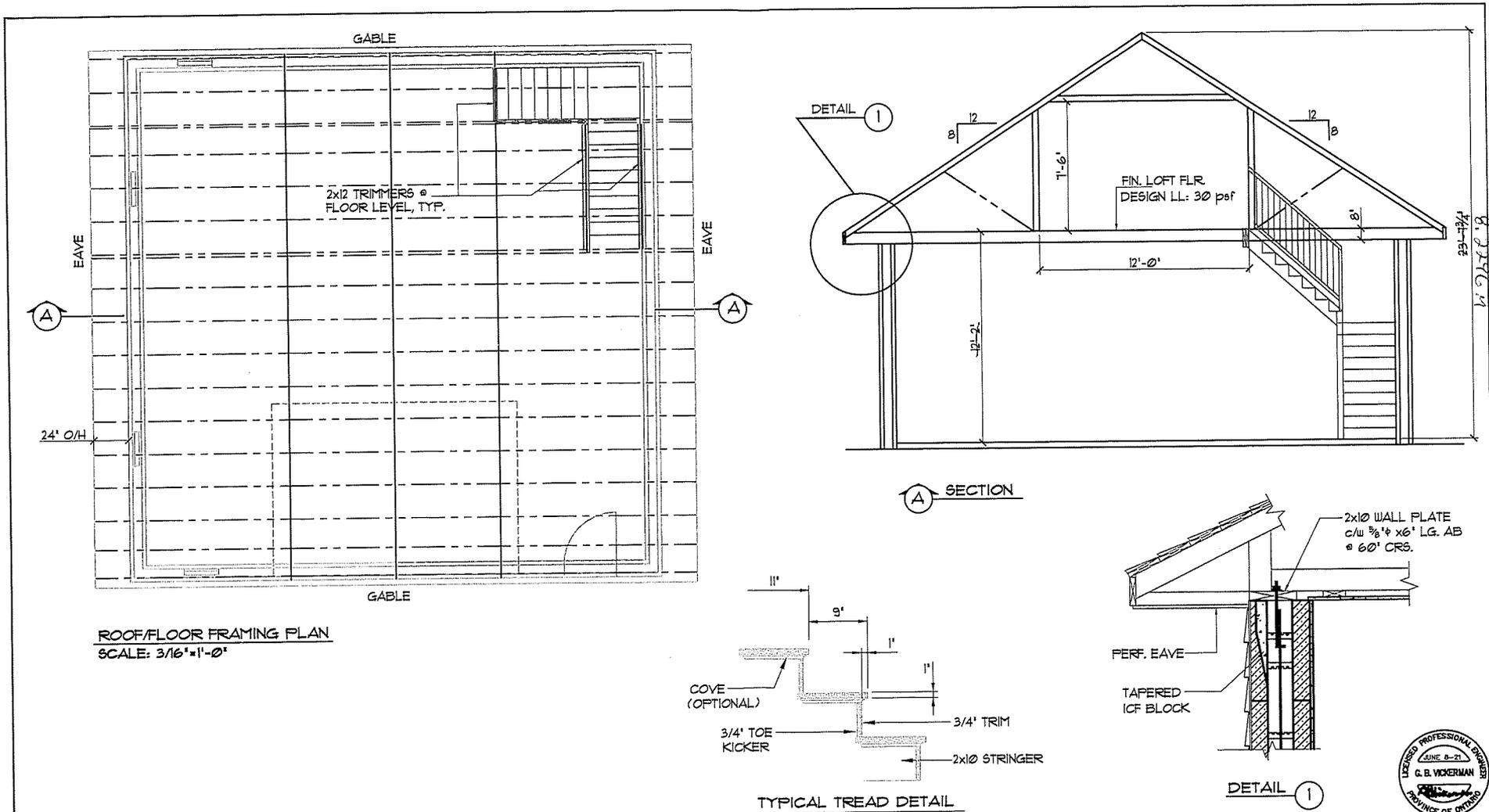
DWG. No.	DESCRIPTION	DATE	ISSUED FOR BUILDING PERMIT APPLICATION	T.E. ORV
	REFERENCES	MK		
			REVISIONS AND ISSUES	REV APP BY



Granville B. Vickerman & Associates
Consulting Engineers - Project Managers

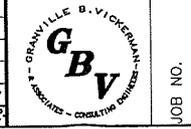
GARAGE FOR PIERRE PITRE				712 PINECONE RD., SKEAD, ON.	
ELEVATIONS					
DRAWN BY T.E.	CHD GBV	APP'D SCALE	APP'D AS SHOWN	DRAWING No. PP-103	REV. 0
DATE JUNE 6, 2021					

10/25/2001 sketch 3



ROOF/FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"

DWG. No.	DESCRIPTION	DATE	ISSUED FOR BUILDING PERMIT APPLICATION	T.E. GBV
	REFERENCES	MK	DATE	REVISIONS AND ISSUES
				REV. APP. BY / REV.



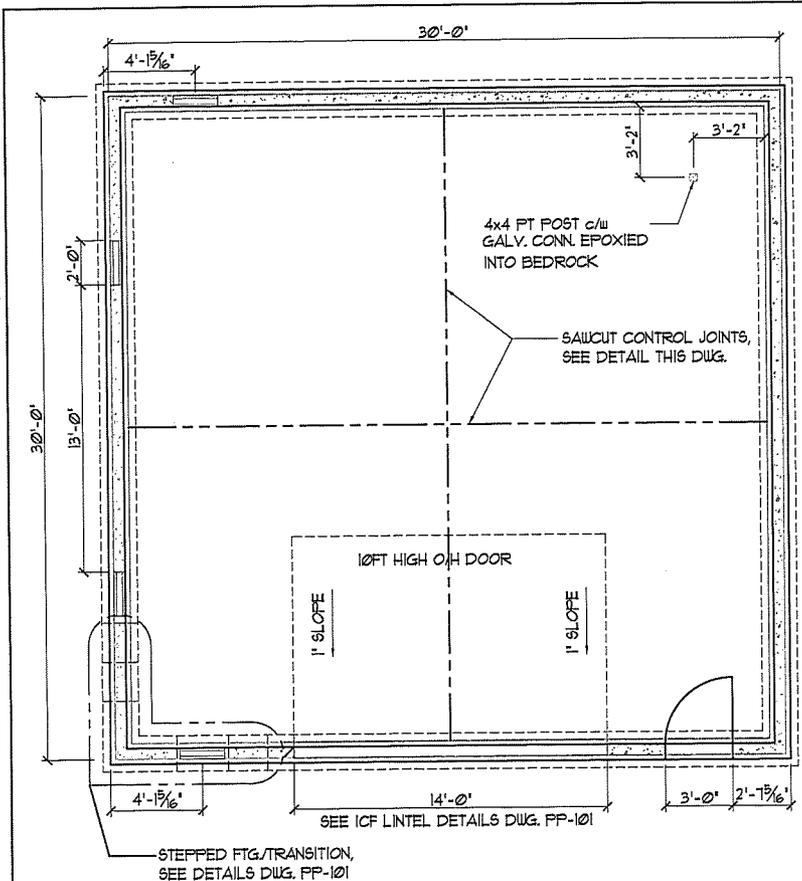
Granville B. Vickerman & Associates
Consulting Engineers - Project Managers

JOB NO.

GARAGE FOR PIERRE PITRE 712 PINECONE RD., SKEAD, ON.			
ROOF/FLOOR FRAMING PLAN & DETAILS			
DRAWN BY	CHKD	APPD	DRAWING NO.
T.E.	GBV		PP-102
DATE	SCALE	AS SHOWN	REV.
JUNE 8, 2021			0

AP-1051/2021 sketch 4

10pc of 15M



FOUNDATION PLAN
SCALE: 3/16"=1'-0"

ICF WALL REINFORCEMENT
VERTICAL REBARS: 10M @ 16' CRS.
HORIZ REBARS: 10M @ 36' CRS.
CONCRETE: 25 MPa

SPECIFICATIONS FOR CONCRETE

ALL CAST IN PLACE CONCRETE SHALL BE READY MIXED CONFORMING TO CSA STANDARD A 23.1 AND SHALL HAVE A MINIMUM STRENGTH OF 25MPa AT 28 DAYS c/w 5% (4-1%) AIR ENTRAINMENT.

ALL FALSEWORK, FORMWORK, SHORING AND BRACING SHALL COMPLY WITH C.S.A. STANDARDS.

SPLICE FOR STEEL REINFORCING SHALL BE 2'-0" UNLESS NOTED OTHERWISE.

CONCRETE REINFORCING BARS SHALL BE STEEL BARS GRADE 400.

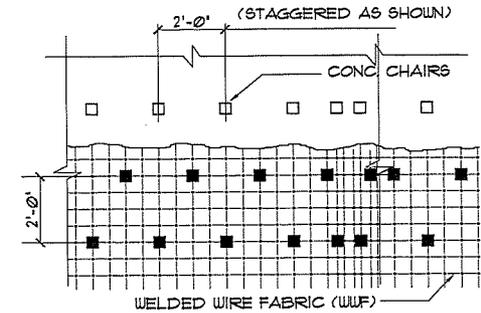
CONCRETE PROTECTIVE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

- 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND
- 1 1/2" FOR BARS 11/8" AND SMALLER IN FORMS AND EXPOSED TO EARTH OR WEATHER.

NONMETALLIC CONCRETE FLOOR HARDENER (DURAFAX 1) SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION FOR THE APPLICATION.

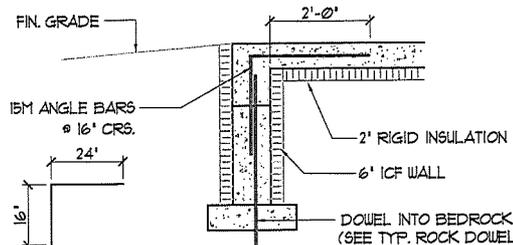
WELDED WIRE FABRIC SHALL CONFORM TO THE REQUIREMENTS OF CSA G30.5M

WELDED WIRE FABRIC SHALL BE LAPPED MIN. 6" AND SHALL BE PLACED 2" FROM TOP OF CONC. FLOOR SURFACE.

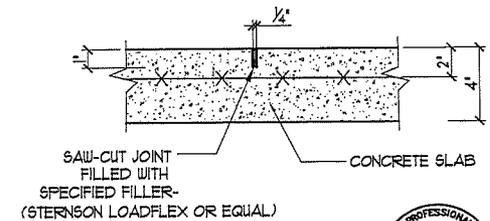


1. ARRANGEMENTS FOR WUF LIFTING (for chair placement) MUST BE COMPLETE PRIOR TO ANY CONC. PLACEMENT.
2. CONTRACTOR TO VERIFY GRADES TO ENSURE MIN. SLAB DEPTHS AS INDICATED ON PLANS.
3. DO NOT ALLOW ANY MECHANICAL EQUIPMENT OVER CHAIRS.
4. WELDED WIRE FABRIC TO BE 152x152 MU2.9xMU2.9 U/W.
5. SIMPLE MANUAL LIFTING OF WUF IS NOT ACCEPTABLE. CHAIRS MUST BE INSTALLED AS INDICATED DURING PLACEMENT.
6. LIFT WUF & INSTALL CHAIRS (for next adjacent placement) MAX. 4'-0" FROM PREVIOUSLY PLACED CONCRETE.

TYPICAL SLAB ON GRADE PLACEMENT
NTS



DOOR SILL DETAIL
SCALE: 3/4"=1'-0"



TYPICAL SAW-CUT JOINT DETAIL
NTS

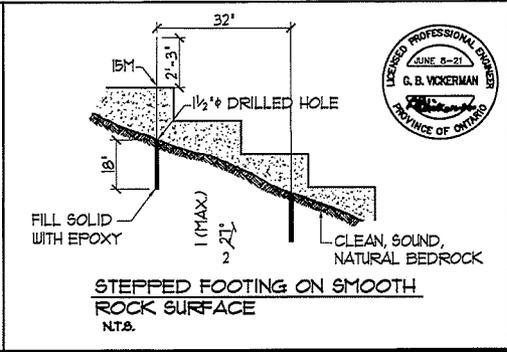
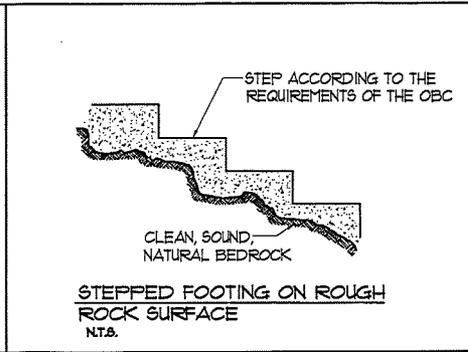
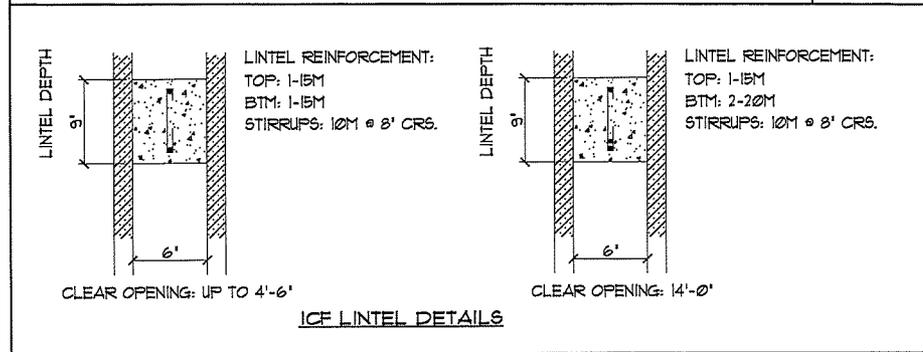
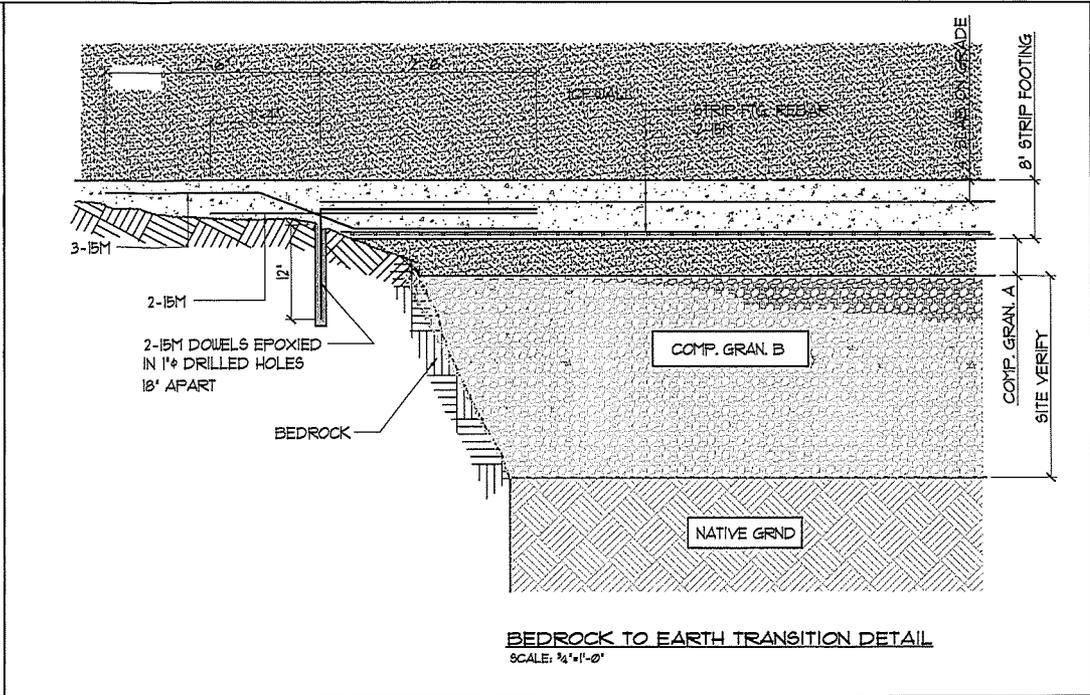
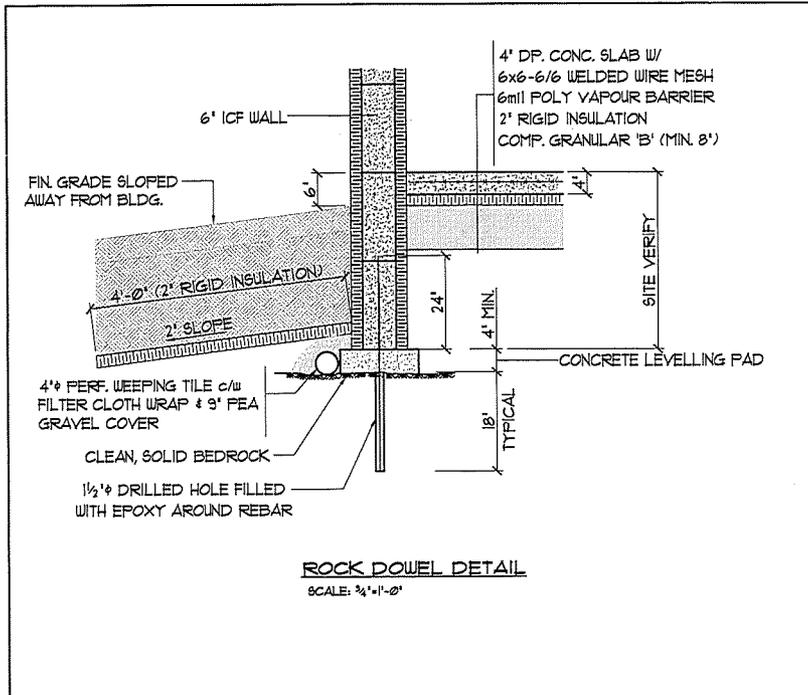


Granville B. Vickerman & Associates
Consulting Engineers - Project Managers

GARAGE FOR PIERRE PITRE			
712 PINECONE RD., SKEAD, ON.			
FOUNDATION PLAN & DETAILS			
DRAWN BY	CHKD	APP'D	DRAWING No.
T.E.	GBV		PP-100
DATE	SCALE	AS SHOWN	REV.
JUNE 6, 2021			0

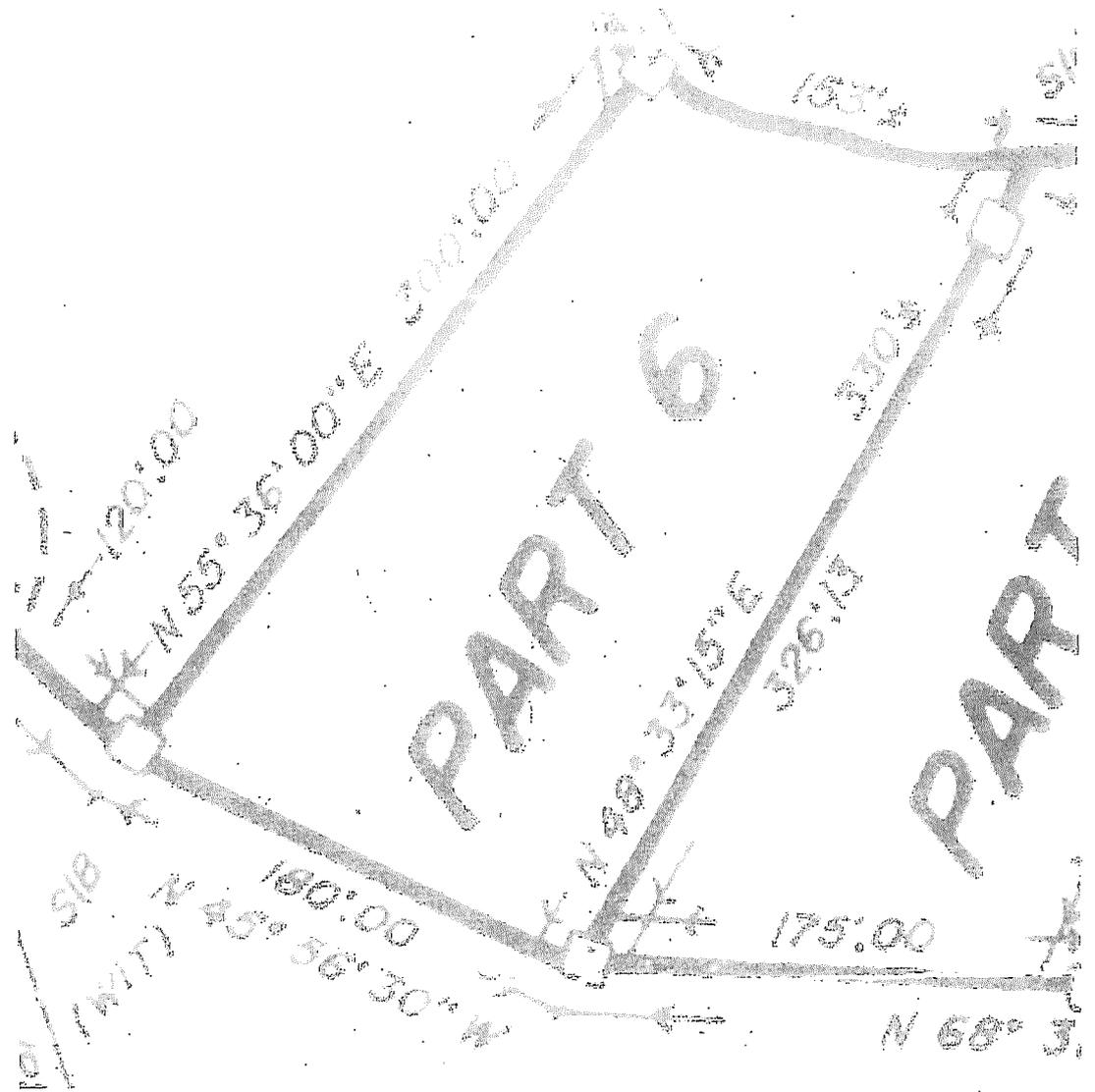
DWG. No.	DESCRIPTION	DATE	ISSUED FOR BUILDING PERMIT APPLICATION	T.E.	GBV
REFERENCES		MK	DATE	REVISIONS AND ISSUES	REV. APP. BY: JBY

10/25/2021 sketch 5



DWG. No.		DESCRIPTION		0	JUNE 8-21	ISSUED FOR BUILDING PERMIT APPLICATION	T.E. GBV
REFERENCES		MK	DATE	REVISIONS AND ISSUES		REV. APP. BY	BY
						Granville B. Vickerman & Associates Consulting Engineers - Project Managers	
				GARAGE FOR PIERRE PITRE 712 PINECONE RD., SKEAD, ON. SECTIONAL DETAILS		DRAWN BY: T.E. GBV DATE: JUNE 6, 2021 CHECKED BY: GBV SCALE: AS SHOWN	
				PP-101		REV. 0	

Hand-drawn sketch 6



P0105/2021
 sketch 7



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2021.01.01	
A0126/200	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Jennifer Jolly Email: [REDACTED]
 Mailing Address: 625 DOLLAR AVE Home Phone: [REDACTED]
 Business Phone: _____
 City: Sudbury ON Postal Code: P3A 4G7 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: MORRIS JOLLY Email: [REDACTED]
 Mailing Address: 1225 DOLLAR AVE Home Phone: [REDACTED]
 Business Phone: _____
 City: Sudbury Postal Code: P3A 4G7 Fax Phone: _____
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Desjardins
 Mailing Address: 2031 Longlake Rd
 City: Sudbury ON Postal Code: P3E 6J9

- 4) Current Official Plan designation: Living Area Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Lot Coverage	103.83 SM	114.38 SM	10.54 SM
Accessory BLDG Size	(10%)	(11.03%)	

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Detached garage with living space / loft space

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The lot size due to severance has been reduced.

6) Legal Description (Include any abutting property registered under the same ownership).

PIN(s): 73565-1037 LT Township: Appleton Ward: 8
Lot No.: Concession No.: Parcel(s): 1755 2
Subdivision Plan No.: M-267 Lot: 9 Reference Plan No.: S3R-20973 Part(s): 1
Municipal Address or Street(s): 1225 Atlantic Ave Suid WA P3A467

7) Date of acquisition of subject land. May 1, 2008

8) Dimensions of land affected.

Frontage 23.07 (m) Depth 43.98 (m) Area 1014.01 (m^2) Width of Street 20.00 (m)

9) Particulars of all buildings:

Table with columns for Existing and Proposed, and rows for Ground Floor Area, Gross Floor Area, No. of storeys, Width, Length, and Height.

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

Table with columns for Existing and Proposed, and rows for Front, Rear, Side, and Side distances in meters.

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- List of infrastructure options with checkboxes: Municipally owned & operated piped water system, Municipal Road, Provincial Highway, etc.

12) Date(s) of construction of all buildings and structures on the subject land.

1952

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 69 years

14) Proposed use(s) of the subject property.

Same as #13 or, Residential

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? No

If "yes", how many?

17) Existing uses of abutting properties: Residential

APR 26/2008

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Jennifer Jolly (please print all names), the registered owner(s) of the property described as 125 Dufferin Ave Sudbury ON P3A 4G7 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Noblis Jolly (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22 day of September, 2021

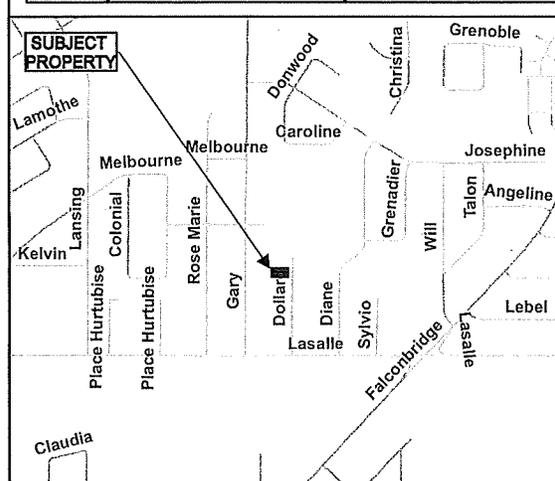
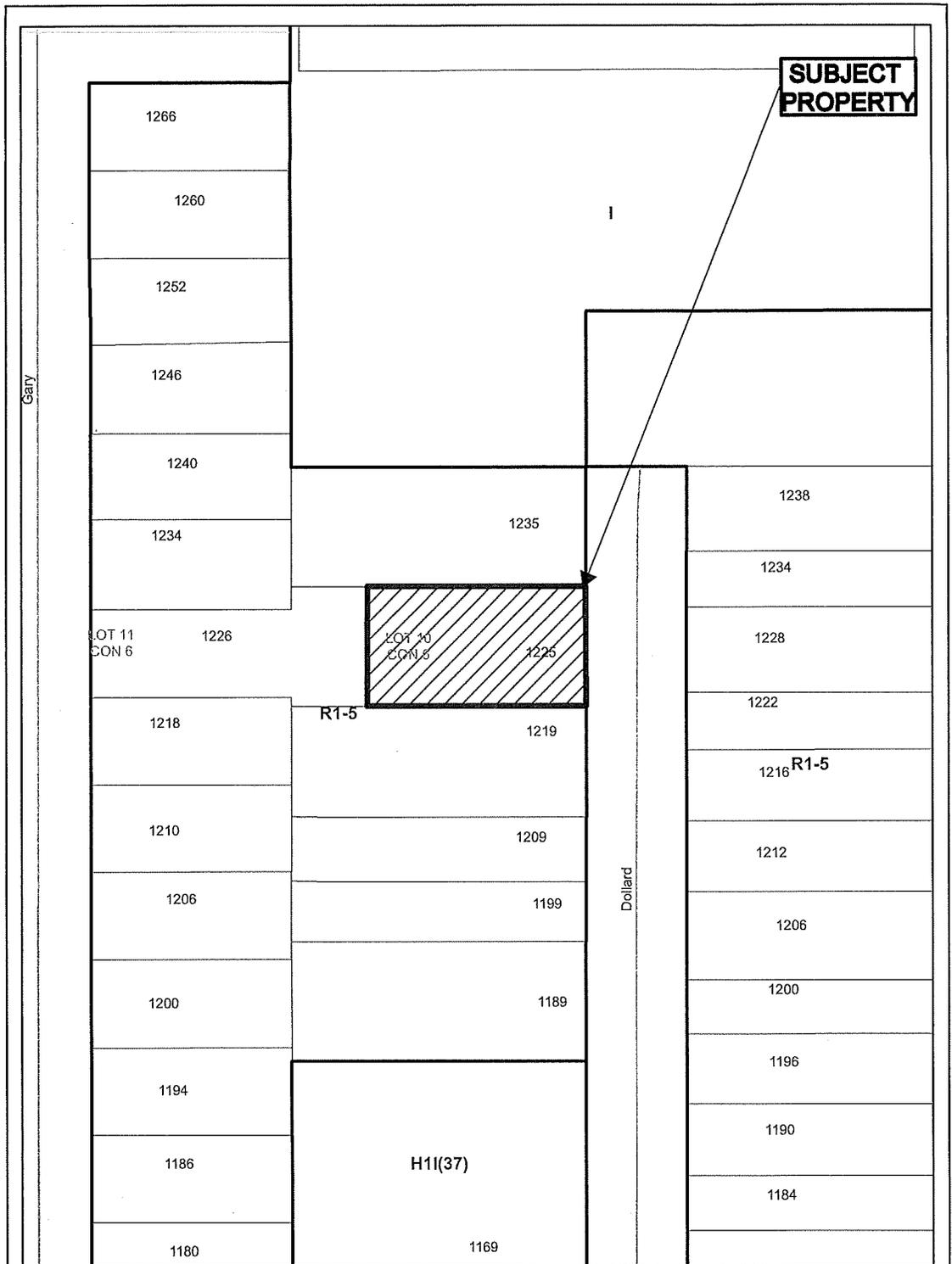
[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Jennifer Jolly

*I have authority to bind the Corporation

AD/26/2021



Application for Minor Variance or Permission

Subject Property being PIN 73565-1037, Parcel 17552, Part Lot 9, Plan M-267, Part 1, Plan 53R-20973, Township of Neelon, 1225 Dollard Avenue, Sudbury, City of Greater Sudbury

Sketch 1, NTS A126/2021
 NDCA Watershed Date: 2021 09 23



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Received
 SEP 22 2021

Office Use Only 2021.01.01	
A012712021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) \$1270.00
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Shaun & Mazie McGlade Email: [REDACTED]
 Mailing Address: 2855 valleyview road Home Phone: [REDACTED]
 Business Phone: _____
 City: Val Caron Postal Code: p3n1r2 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: [REDACTED]
 Mailing Address: _____ Home Phone: _____
1931 Bushey Bay Road Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: Rathburn township Current Zoning By-law designation: seasonal SLS(8)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
building height	5.0m	6.4m	1.4m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: _____
 Building garage (accessory structure) @ camp located 1931 bushey bay road, with additional attic storage area - height of proposed garage exceeds bylaw height by 1.4 m.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: _____
 Wanted roof pitch to match camp roof slope and would like to have additional storage above garage with attic access roof trusses

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): JD47 TA45 TWP#17310 Township: Rathburn Ward: 7
 Lot No.: 22 Concession No.: Parcel(s): 53M1229-22
 Subdivision Plan No.: 53M1229 Lot: 22 Reference Plan No.: Part(s):
 Municipal Address or Street(s): 1931 Bushey Bay Boad

7) Date of acquisition of subject land. 2000

8) Dimensions of land affected.

Frontage 44 (m) Depth 100 (m) Area 4400 (m²) Width of Street 6 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	69	(m ²)	52	(m ²)
Gross Floor Area:	69	(m ²)	52	(m ²)
No. of storeys:	one		one	
Width:	7.3	(m)	6.7	(m)
Length:	9.7	(m)	7.9	(m)
Height:	4.8	(m)	6.4	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	18	(m)	45	(m)
Rear:	79	(m)	45	(m)
Side:	10	(m)	9	(m)
Side:	14	(m)	26	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

2001

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): camp - seasonal Length of time: 21 years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? one

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: camps / cottages

A012712021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Shaun McGlade & Mazie McGlade (please print all names), the registered owner(s) of the property described as 1931 Bushey Bay Road in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Shaun McGlade (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of September, 2021

[Signature]
(Witness)

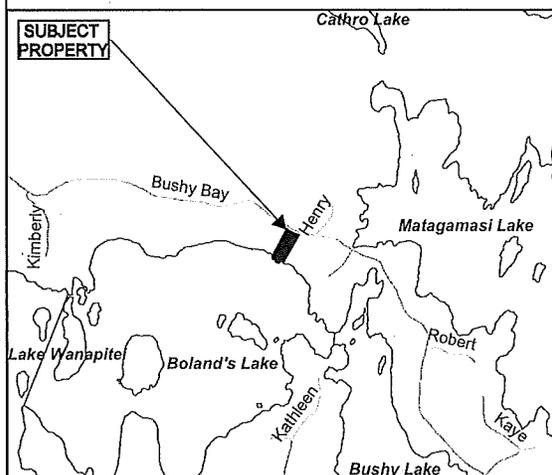
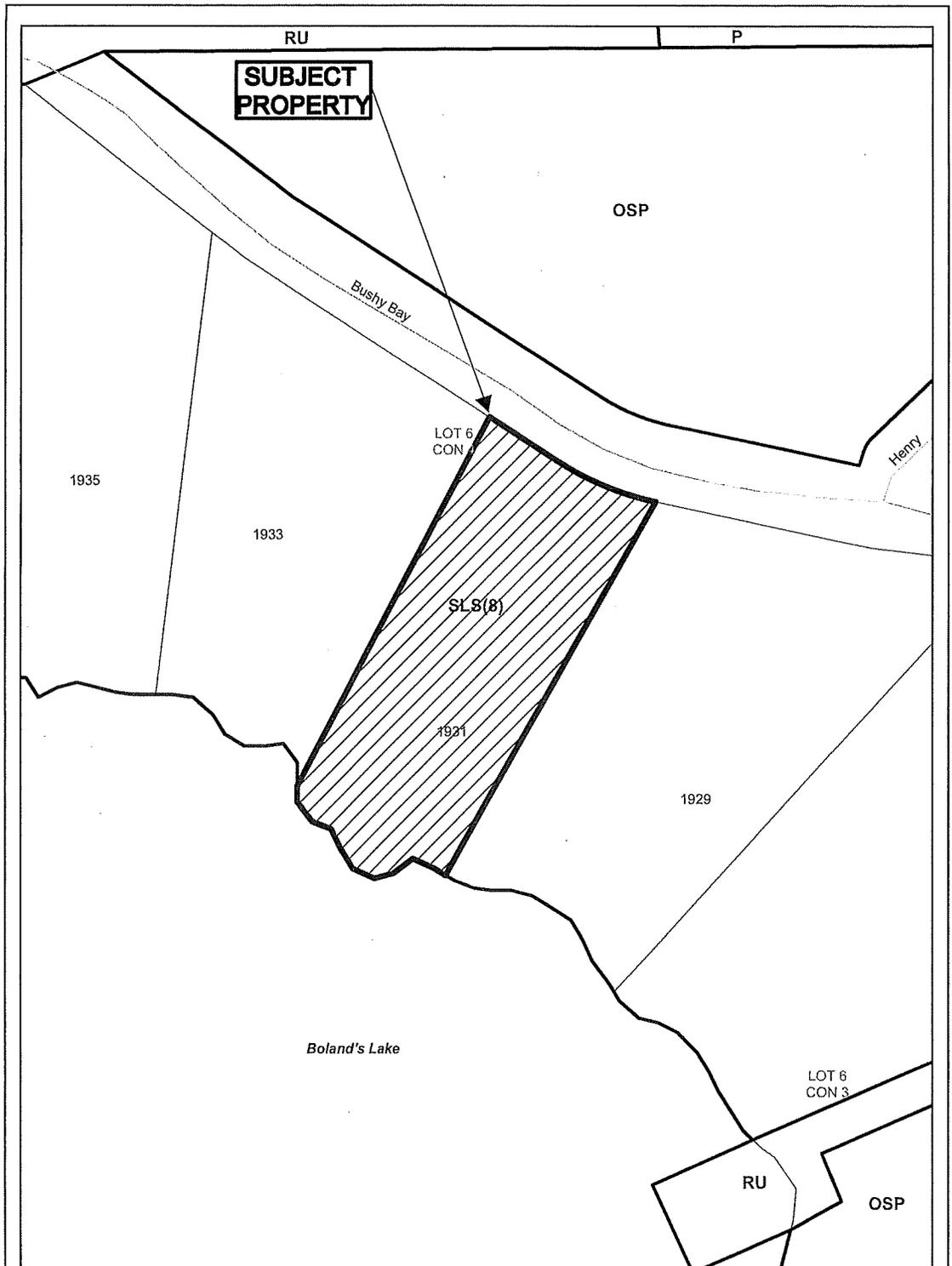
[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Mazie McGlade

*I have authority to bind the Corporation

[Signature]
(Witness)

SHAUN MCGLADE

A10271002



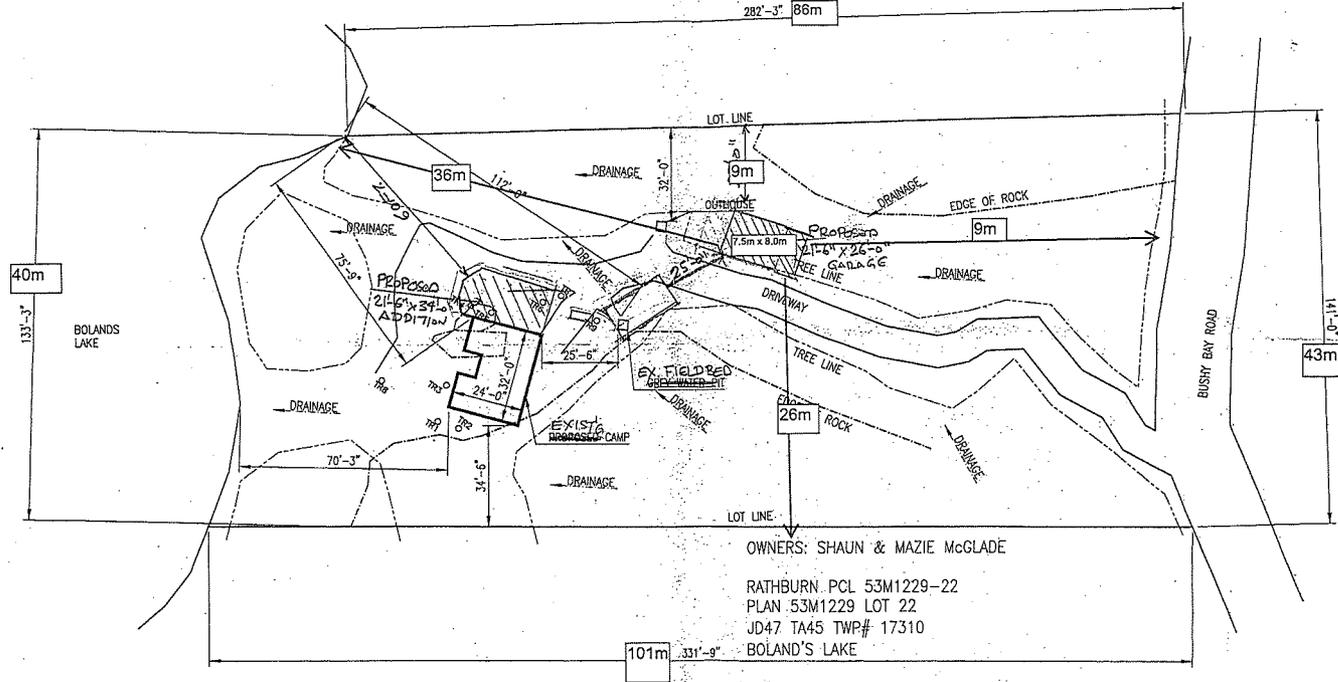
**Application for Minor
Variance or Permission**



Subject Property being PIN 73519-0088,
Parcel 53M1229-22 SEC SES SRO,
Lot 22, Plan 53M-1229,
Township of Rathburn,
1931 Bushy Bay Road, Wahnapiatae
City of Greater Sudbury

Sketch 1, NTS
NDCA

A127/2021
Date: 2021 09 24



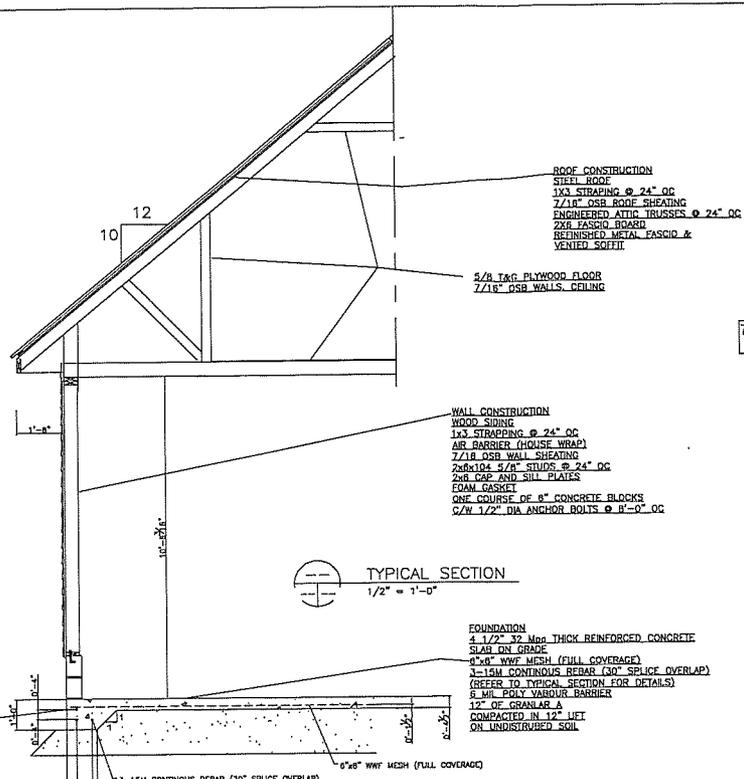
OWNERS: SHAUN & MAZIE McGLADE
 RATHBURN P.C.L. 53M1229-22
 PLAN 53M1229 LOT 22
 JD47 TA45 TWP# 17310
 BOLAND'S LAKE

RECEIVED
 SEP-13-2001
 BUREAU SERVICES
 ISSUED
 SEP-13-2001

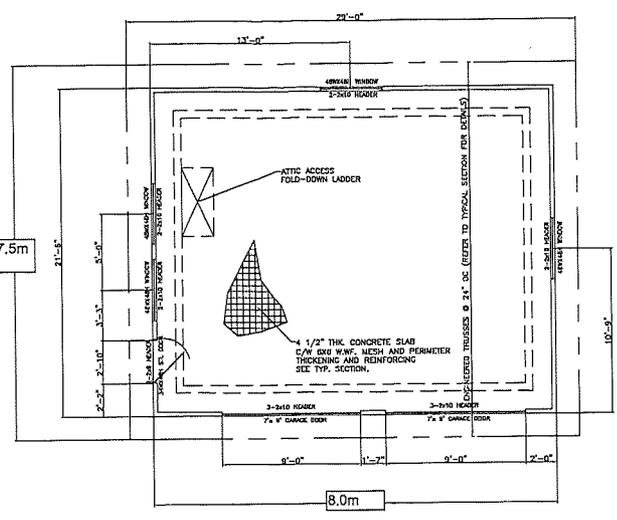
<table border="1"> <tr> <td>DATE</td> <td>BY</td> <td>CHKD</td> <td>DATE</td> <td>BY</td> <td>CHKD</td> <td>DATE</td> <td>BY</td> <td>CHKD</td> <td>DATE</td> <td>BY</td> <td>CHKD</td> </tr> <tr> <td></td> </tr> </table>										DATE	BY	CHKD	DATE	BY	CHKD	DATE	BY	CHKD	DATE	BY	CHKD													SCALE: 1"=20'-0" REVISION: S.M.C. DRAWN: S.M.C. CHECKED: S.M.C. DATE: SEPT 2001	THE McGLADE CAMP 1931 BUSHY BAY ROAD RATHBURN TOWNSHIP - CITY OF GREATER SUDBURY PLOT PLAN	FILE I.D. CAMP PLOT PLAN PROJECT: 0100 SHEET NO.: 2001-001-05 CLIENT'S SHEET NO.: REV. A
DATE	BY	CHKD	DATE	BY	CHKD	DATE	BY	CHKD	DATE	BY	CHKD																									

AC 27/2001 sketch 2

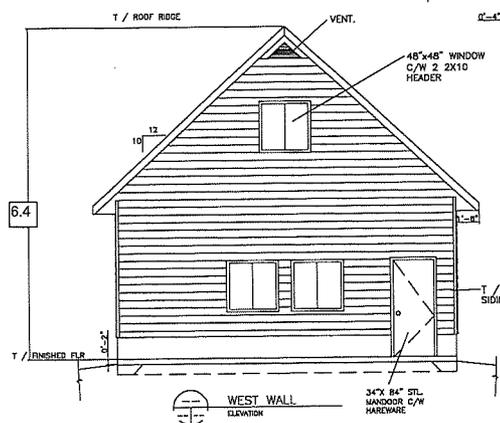
10/27/2021
Sketch 3



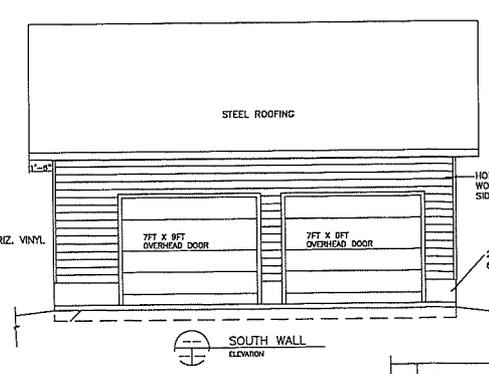
TYPICAL SECTION
1/2" = 1'-0"



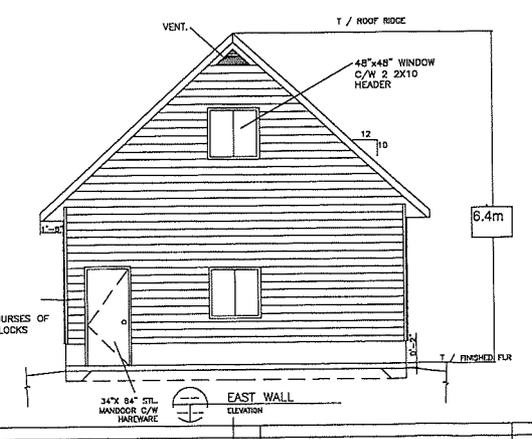
FLOOR PLAN



WEST WALL
ELEVATION



SOUTH WALL
ELEVATION



EAST WALL
ELEVATION

- GENERAL NOTES:
1. ALL LUMBER TO BE NO.2 SPRUCE OR BETTER.
 2. MINIMUM BEARING OF ALL JOISTS TO BE MIN. 1 1/2" MINIMUM BEARING OF ALL BEAMS AND MORE THAN 2 PLY TO BE 3 1/2".
 3. ALL CONCRETE FOR FLOOR SLAB TO BE 32 MPA AND SHALL HAVE AIR ENTRAINMENT OF 5% TO 8%.
 4. MOISTURE BARRIER IS REQUIRED BETWEEN ALL LUMBER WHICH IS DIRECT CONTACT OR WITH-IN 6" OF CONCRETE WHICH IS IN DIRECT CONTACT WITH THE GROUND.

NO.	DESCRIPTION	DATE	BY
S1	1931 BUSHEY BAY PLOT PLAN	21-09-17	SM
	ISSUED FOR CONSTRUCTION		
	REVISIONS/ISSUE		

CLIENT & PROJECT NAME
MCGLADE'S GARAGE #1

DRAWING DESCRIPTION
DETACHED GARAGE #1
1931 BUSHEY BAY ROAD
PLAN, ELEVATIONS & DETAILS

DESIGNED BY: S.MCGLADE
DRAWN BY: S.MCGLADE
CHECKED BY:

APPROVED BY:

SCALE: 1/4" = 1'-0" DATE: 21-09-17

DRAWING NO. S1 REV. 0



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only	
A0128/2021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) ~~\$1270.00~~
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Richard Villeneuve, Jody Villeneuve Email: [REDACTED]
 Mailing Address: 3080 Louis St Home Phone: [REDACTED]
 Business Phone:
 City: Val Caron, ON Postal Code: P3N 1C5 Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Richard Villeneuve Email: [REDACTED]
 Mailing Address: Home Phone: [REDACTED]
 Business Phone:
 City: Val Caron On Postal Code: P3N 1C5 Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
 Mailing Address:
 City: Postal Code:

- 4) Current Official Plan designation: RU Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Heigh max. 6.5 m	4.2.4 (b)	8.774	2.274

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
 accessory structure has a maximum hight of 6.5 meters the structure needs to be built above the flood elevatio (on stilts) this method of support satisfies the NDCA versus typical backfill
 Natural elevation to remain _____

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 The raised support structure (stilts) cause the building to conflict with the max 6.5 meter height restriction. the structure must be built above the flood elevation

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73500-0413LT, 73500-0596 Township: Blezard Ward:
 Lot No.: 10 Concession No.: 5 Parcel(s):
 Subdivision Plan No.: Lot: 10 Reference Plan No.: 53R21402 Part(s): 1 & 2
 Municipal Address or Street(s): 8 Martin Road, Val Caron

7) Date of acquisition of subject land. August 2018

8) Dimensions of land affected.

Frontage 56.1 (m) Depth 132.8 (m) Area 6758 (m²) Width of Street 9.0 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:		(m ²)	<u>26.68</u>	(m ²)
Gross Floor Area:		(m ²)	<u>44.45</u>	(m ²)
No. of storeys:			<u>1.5</u>	
Width:		(m)	<u>4.87</u>	(m)
Length:		(m)	<u>5.48</u>	(m)
Height:		(m)	<u>8.77</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:		(m)	<u>100.6</u>	(m)
Rear:		(m)	<u>9.2</u>	(m)
Side:		(m)	<u>15.0</u>	(m)
Side:		(m)	<u>35.6</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Permit application B21-1522

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Length of time: Forever

14) Proposed use(s) of the subject property.

Same as #13 or, SFD, SU with deattached garage

15) What is the number of dwelling units on the property? Proposed 3

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? N/A

17) Existing uses of abutting properties: 30 Hectar Farm/ North, Whilson River & SFD / South, Km's of vacant land /East and West

AP-128/2021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Richard Villeneuve, Jody Villeneuve (please print all names), the registered owner(s) of the property described as Lot 10 Martin Rd Blezard

in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Richard Villeneuve (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of September, 20 21

[Signature]

signature of Owner(s) or Signing Officer or Authorized Agent

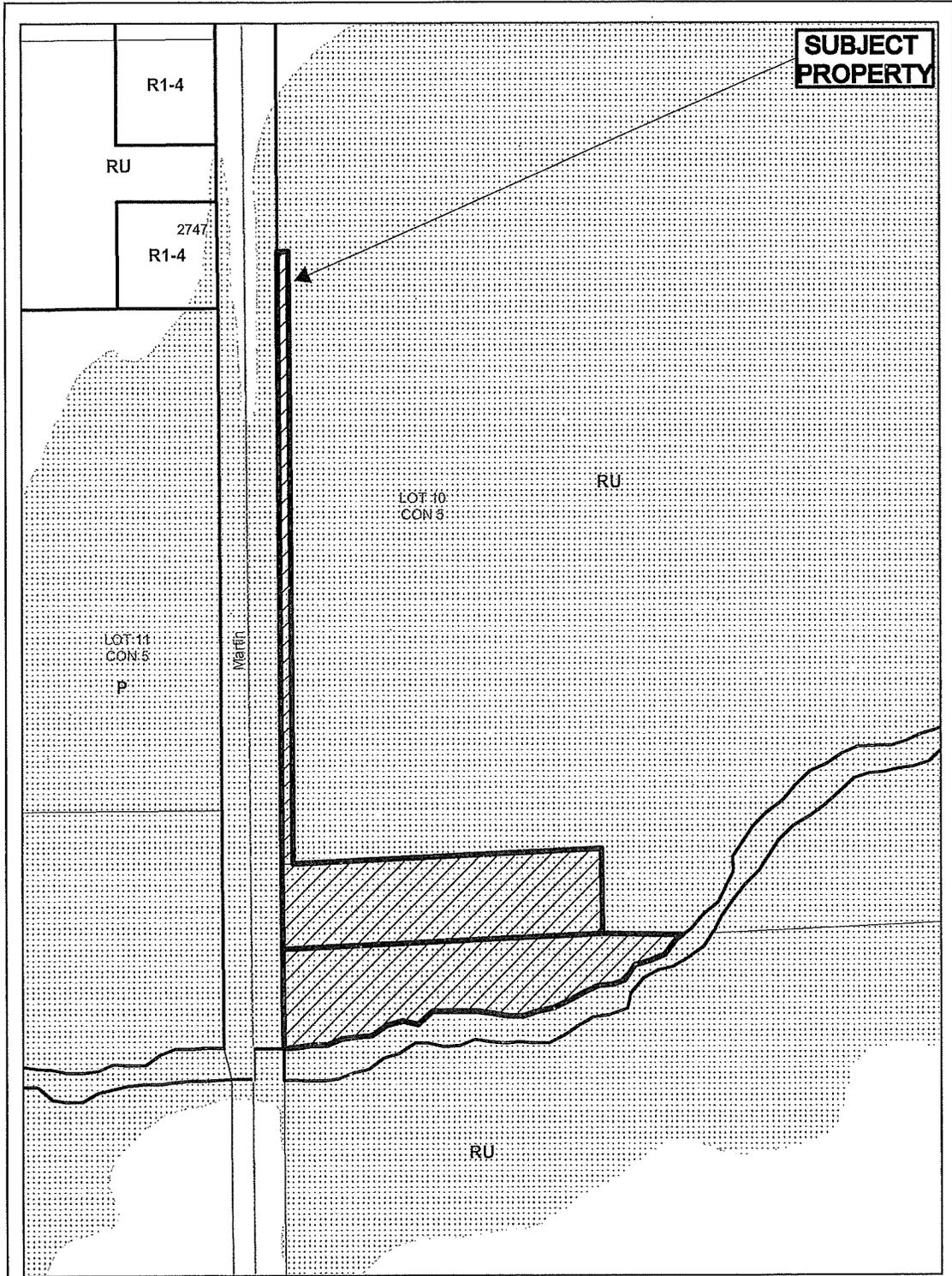
Print Name: JODY VILLENEUVE

I have authority to bind the Corporation

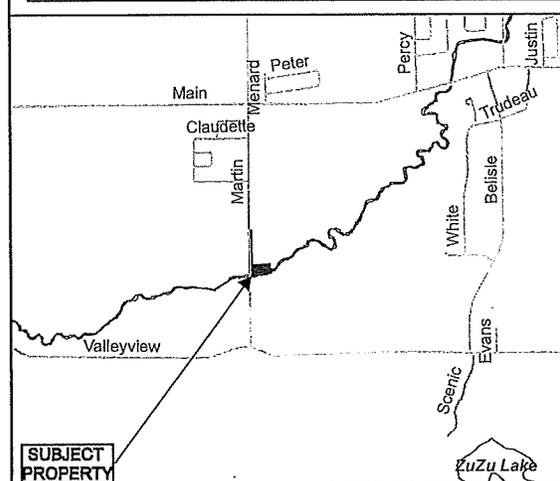
[Signature] RICHARD VILLENEUVE

[Signature]
(Witness)

AP 128/2021



SUBJECT PROPERTY



Application for Minor Variance or Permission



Subject Property being
 PINs 73500-0596 and 73500-0413,
 Part Lot 10, Concession 5, Part 1,
 Plan 53R-21402, Part 2, Plan 53R-17411,
 Township of Blezard,
 0 Martin Road, Val Caron
 City of Greater Sudbury

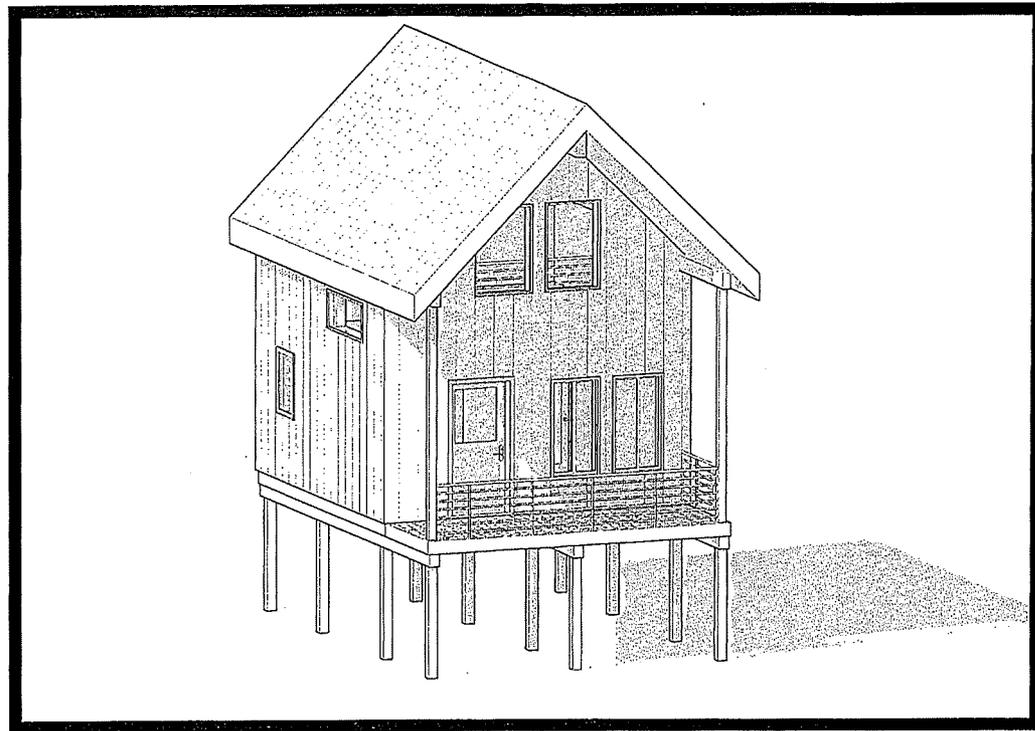
Sketch 1, NTS
 NDCA

A128/2021
 Date: 2021 09 24

SUBJECT PROPERTY

A0128002
sketch 4

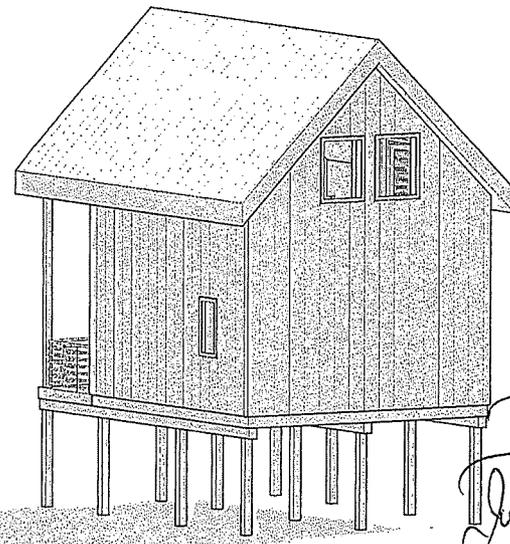
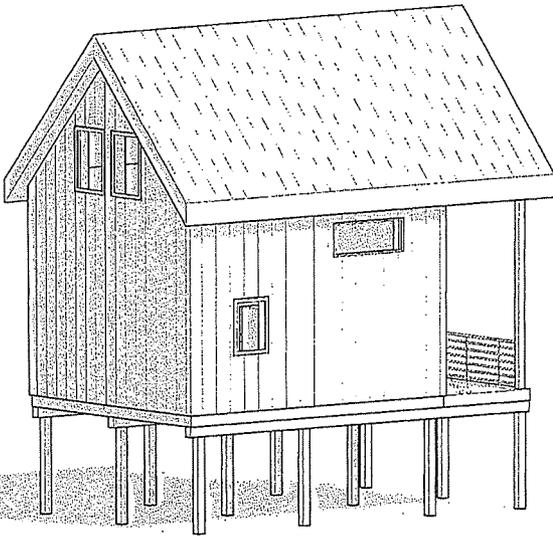
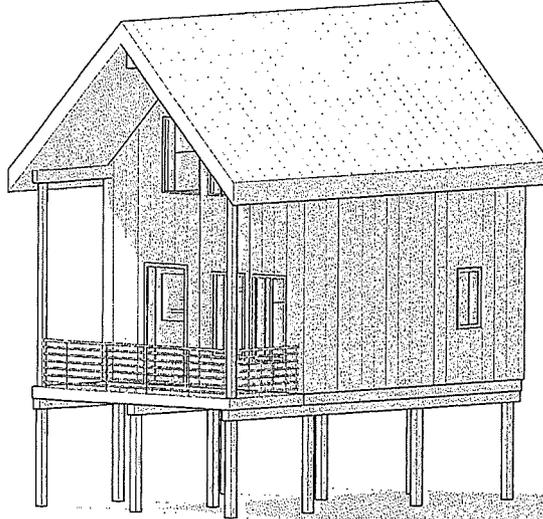
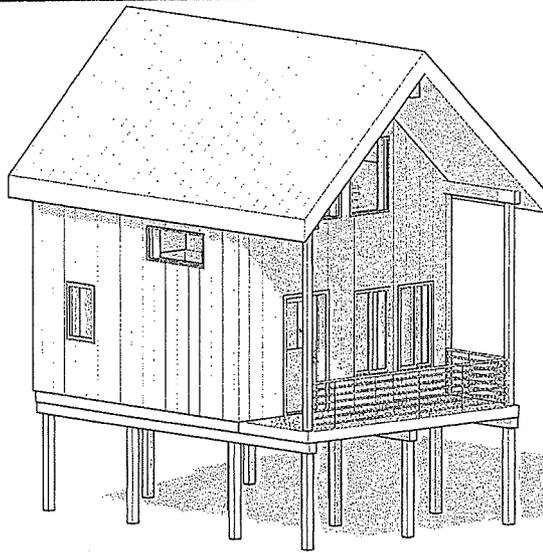
HARMONICTM
ADVANCED BUILDING ENVELOPE TECHNOLOGY
FERIS BUILD TECH
785 St. John A MacDonald Blvd, Unit 6A
Kingston, ON (K7L 1H3)
www.ferisbuiltech.com



Seasonal Treehouse
0085
Lot 10 Martin Rd, Blezard ON

Done
more
Landscape
plans
[Signature]
July 12/21

A002/002
sketch 5



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OWNER:

REV	DESCRIPTION	BY	CHKD	DATE

HARMONICTM
ADVANCED BUILDING ENVELOPE TECHNOLOGY

FERIS BUILD TECH
4005
785 St. John A MacDonald Blvd, Unit 6A
Kingston, ON (K7L 1H3)
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 4005
PROJECT ADDRESS: Lot 10 Martin Rd, Bezzard Gilt
TOLERANCES: MACHINED FINISH: 63
- .XX - .015
- .XXX - .005
- .XXXX - .0005
ANGLES - 1/2"
FINISH: SEE NOTES

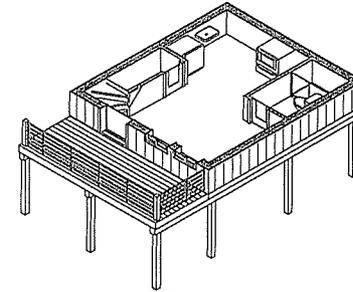
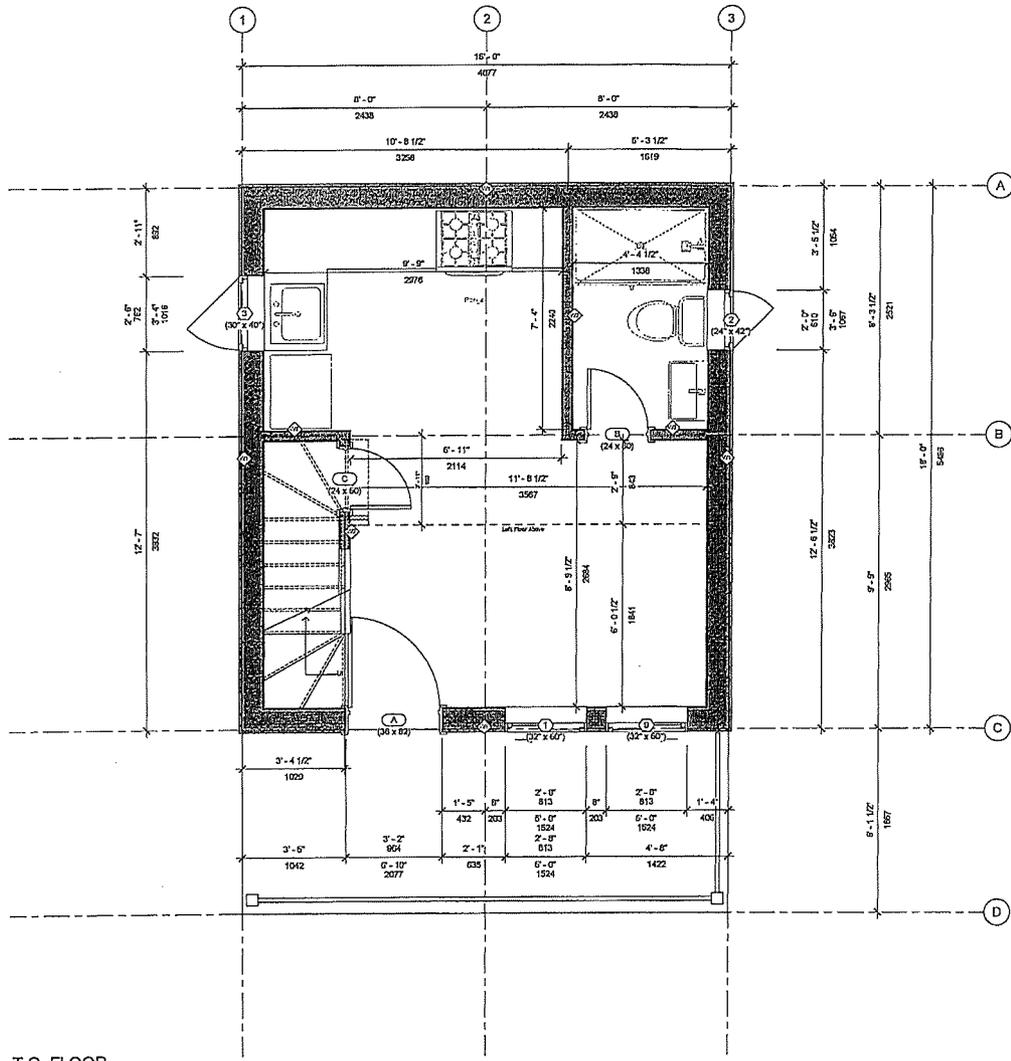
NAME	DATE
RELEASED:	
DRAWN:	JCL
APPROVED:	Approver
CHECKED:	Checker

SCALE:

TITLE: 3D VIEWS

SHEET NO. **A002** REV.

FD/28/2021
 sketch 6



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OWNER:

REV	DESCRIPTION	BY	CHKD	DATE

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 ADVANCED BUILDING ENVELOPE TECHNOLOGY

FERRIS BUILD TECH
 785 Str John A Macdonald Blvd, Unit 6A
 Kingston, ON K7L 1H3
 www.ferrisbuildtech.com

PROJECT NAME: Seasonal Treehouse
 PROJECT NUMBER: 0085
 PROJECT ADDRESS: Lot 10 Alarion Rd, Blexard ON

TOLERANCES: MACHINE FINISH: 63
 .XX = .015 REMOVE ALL BURRS AND SHARP EDGES, DO NOT SCALE DRAWING.
 .XXX = .005
 .XXXX = .0005
 ANGLES = 1/2"

MATERIAL: SEE NOTES
 FINISH: SEE NOTES

NAME	DATE
RELEASED:	
DRAWN: JCL	
APPROVED: Approver	
CHECKED: Checker	
SCALE: 1 : 20	

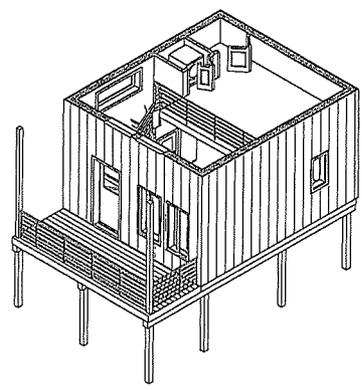
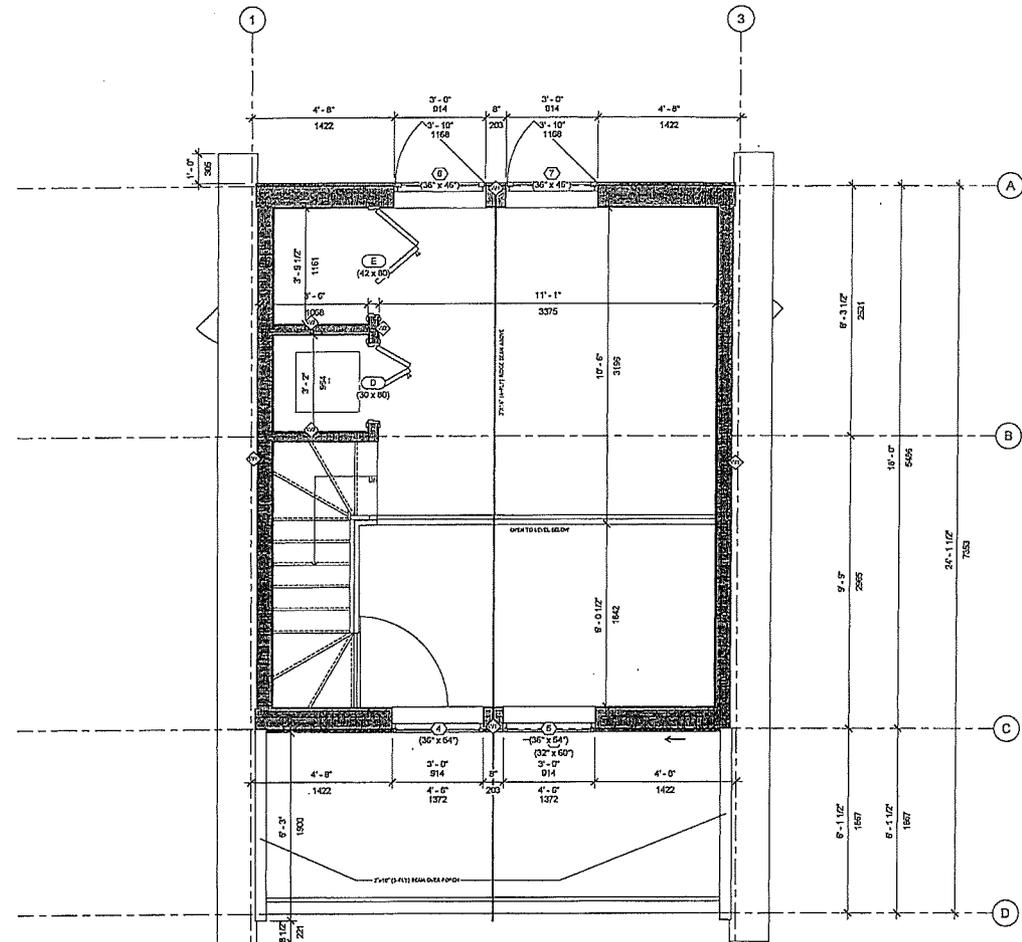
TITLE
 PLANS - GROUND FLOOR

SHEET NO.	REV.
A101	

T.O. FLOOR
 1 : 20

July 12/21

A102/202
Sketch 7



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DRAWER:

REV	DESCRIPTION	BY	CHKD	DATE

HARMONIC
ADVANCED BUILDING ENVELOPE TECHNOLOGY

FERIS BUILD TECH
785 Str John A Macdonald Blvd, Unit 6A
Kingston, ON K7L 1H3
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treenhouse
PROJECT NUMBER: 0005
PROJECT ADDRESS: Lot 10 Martin Rd, Blizard ON
TOLERANCES: MACHINED FINISH: G3
.XX - .015 REMOVE ALL BURRS AND
.XXX - .005 SHARP EDGES, DO NOT SCALE
ANGLES = 1/2"
DRAWING,
MATERIAL: SEE NOTES
FINISH: SEE NOTES

NAME	DATE
RELEASED:	
DRAWN: JCL	
APPROVED: Approver	
CHECKED: Checker	
SCALE: 1 : 20	

TITLE
PLANS - LOFT FLOOR

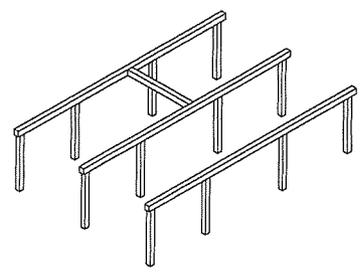
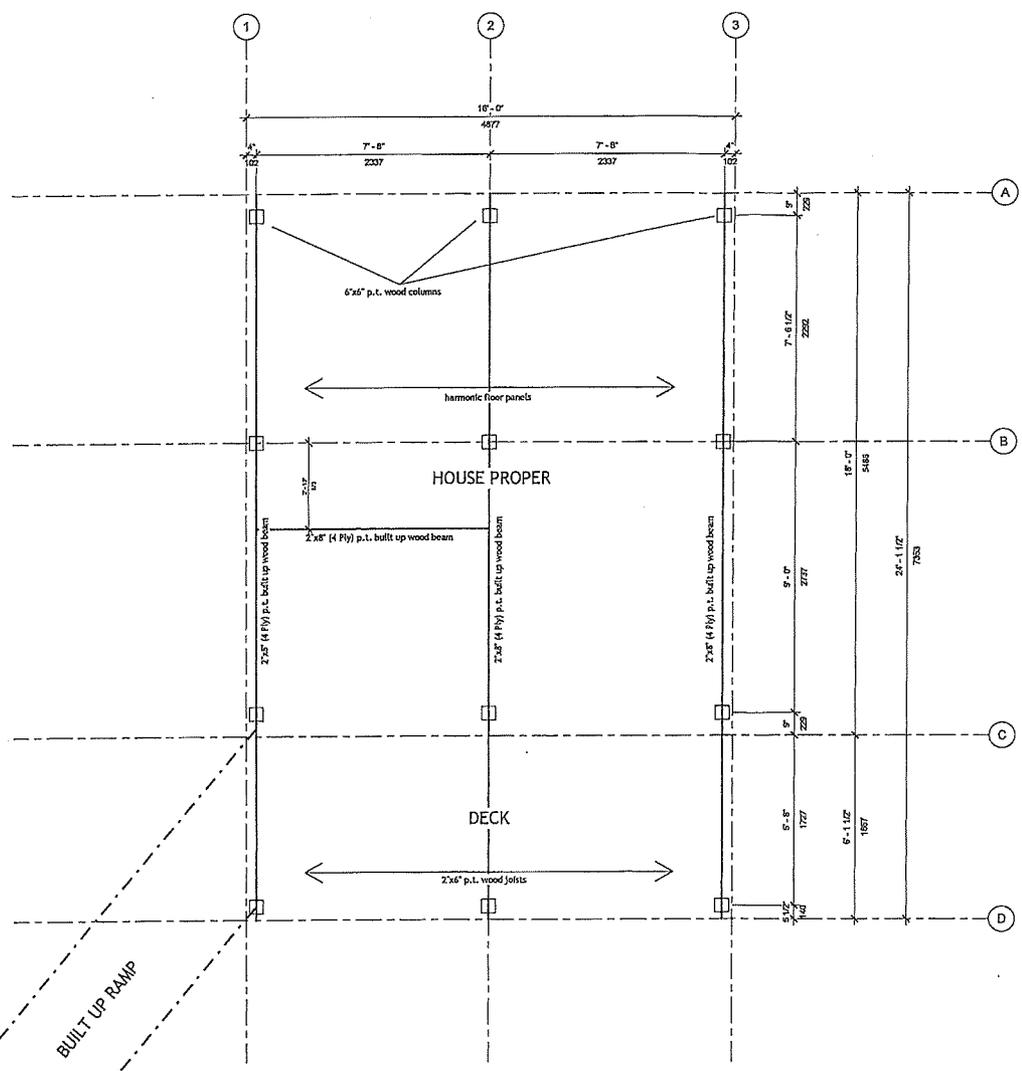
SHEET NO.
A102

REV.

T.O. LOFT
1:20

Jul 12/21

A0108/2021
Sketch 8



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OWNER:

REV	DESCRIPTION	BY	CHKD	DATE

HARMONIC
ADVANCED BUILDING ENVELOPE TECHNOLOGY

FERTIS BUILD TECH
785 Sir John A Macdonald Blvd, Unit 6A
Kingston, ON (K7L 1R3)
www.fertisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0005
PROJECT ADDRESS: Lot 10 Hartin Rd, Blezard Oil

TOLERANCES: MACHINED FINISH: G3
 .XX - .015
 .XXX - .005 REMOVE ALL BURRS AND SHARP EDGES. DO NOT SCALE DRAWING.
 .XXX - .005
 ANGLES - 1/2

MATERIAL: SEE NOTES
FINISH: SEE NOTES

NAME	DATE
RELEASED:	
DRAWN: JCL	
APPROVED: Approver	
CHECKED: Checker	
SCALE: 1 : 20	

TITLE
PLANS - FOUNDATION

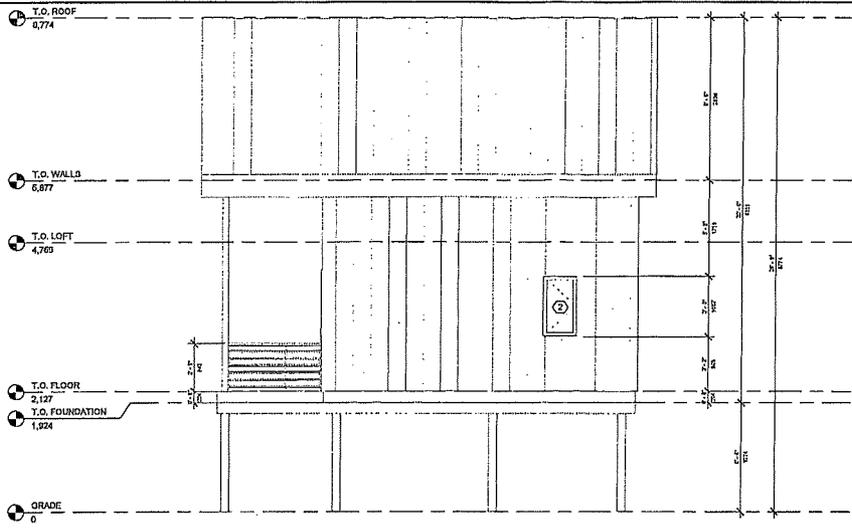
SHEET NO.
A103

REV.

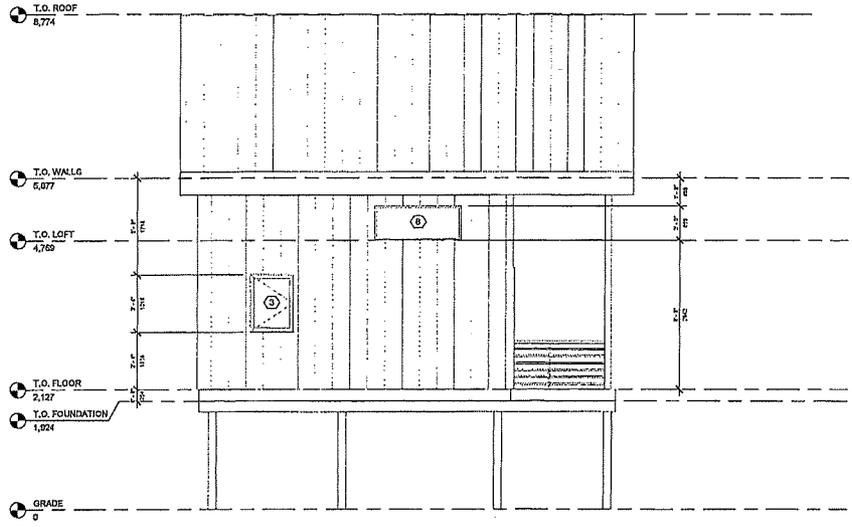
T.O. FOUNDATION
1 : 20

July 12/21

A0128/2021
Sketch 9



EAST
1 : 35



WEST
1 : 35

Handwritten signature
July 12/21

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OWNER:

REV	DESCRIPTION	BY	CHKD	DATE

HARMONIC
ADVANCED BUILDING ENVELOPE TECHNOLOGY

FERIS BUILD TECH
785 Sir John A MacDonald Blvd, Unit 6A
Kingston, ON (K7L 1H5)
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0065
PROJECT ADDRESS: Lot 10 Martin Rd, Blizard OH
TOLERANCES: MACHINED FINISH: 63
XX - .015
XXX - .005 REMOVE ALL BURS AND SHARP EDGES. DO NOT SCALE DRAWING.
XXXX - .005
ANGLES - 1/2"

MATERIAL: SEE NOTES
FINISH: SEE NOTES

RELEASED:	NAME	DATE

SCALE: 1 : 35
TITLE: ELEVATIONS - EW

SHEET NO. **A202** REV.

A0128/2021
Sketch 10

HARMONIC SMALL HOMES - TREEHOUSE

Guest House

PROPOSED BUILDING INFO:

- Number of Storeys: 2
- Building Height: 8763mm / 28' 9"
- Building Footprint: 26.8 sqm / 288 sqft

TYPICAL OBC COMPLIANT WALL:

EXTERIOR 254 WOOD FRAMED WALL, R-24

- EXTERIOR FINISH (AS PER CLIENT)
- WEATHERPROOFING (TYVEK)
- 15MM PLYWOOD SHEATHING
- 150MM WOOD STUDS @ 16" O.C. W/ R-21 BATT INSULATION
- 6MM RIGID VAPOR BARRIER
- INTERIOR FINISH (AS PER CLIENT)

HARMONIC (ENERGY STAR) WALL:

HARMONIC EXTERIOR WALL (ENERGY STAR 13A), 1-106 FAR ACH50 #2,3, R-31:

- EXTERIOR FINISH (AS PER CLIENT)
- WEATHERPROOFING (TYVEK)
- 6MM RIGID CHAIRSEL
- 150MM TYPE 1150 EPS W/ FENG GALV. STEEL STUDS @ 16" O.C.
- VAPOR BARRIER (OPTIONAL)
- INTERIOR FINISH (AS PER CLIENT)

HARMONIC (NET-ZERO-READY) WALL:

HARMONIC EXTERIOR WALL (NET-ZERO READY), 1-146 FAR ACH50 #2,3, R-31:

- EXTERIOR FINISH (AS PER CLIENT)
- WEATHERPROOFING (TYVEK)
- 6MM RIGID CHAIRSEL
- 150MM TYPE 1150 EPS W/ FENG GALV. STEEL STUDS @ 16" O.C.
- VAPOR BARRIER (OPTIONAL)
- INTERIOR FINISH (AS PER CLIENT)

Wall Schedule								
Type Mark	Type	Location	Function	Area	Length	EPS TYPE	EPS Thickness	R-Value
W1	W1 - HARMONIC EXTERIOR (NET ZERO READY)	North	Exterior	242 m²	4,687	TYPE 1 - NEOPOR	127mm	R-37
W1	W1 - HARMONIC EXTERIOR (NET ZERO READY)	East	Exterior	221 m²	5,200	TYPE 1 - NEOPOR	127mm	R-37
W1	W1 - HARMONIC EXTERIOR (NET ZERO READY)	South	Exterior	179 m²	4,687	TYPE 1 - NEOPOR	127mm	R-37
W1	W1 - HARMONIC EXTERIOR (NET ZERO READY)	West	Exterior	180 m²	5,200	TYPE 1 - NEOPOR	127mm	R-37
W2	W2 - HARMONIC INTERIOR 115MM WALL	Bath	Interior	62 m²	2,420	TYPE 1 - NEOPOR	115mm	
W2	W2 - HARMONIC INTERIOR 115MM WALL	Bath	Interior	21 m²	1,624	TYPE 1 - NEOPOR	115mm	
W2	W2 - HARMONIC INTERIOR 115MM WALL	Stair Clos.	Interior	23 m²	634	TYPE 1 - NEOPOR	115mm	
W2	W2 - HARMONIC INTERIOR 115MM WALL	Stair Clos.	Interior	19 m²	1,093	TYPE 1 - NEOPOR	115mm	
W2	W2 - HARMONIC INTERIOR 115MM WALL	Loft Clos.	Interior	21 m²	1,125	TYPE 1 - NEOPOR	115mm	
W2	W2 - HARMONIC INTERIOR 115MM WALL	Loft Clos.	Interior	19 m²	1,125	TYPE 1 - NEOPOR	115mm	
W2	W2 - HARMONIC INTERIOR 115MM WALL	Loft Clos.	Interior	17 m²	2,420	TYPE 1 - NEOPOR	115mm	

Floor Schedule					
Location	Type	Area	EPS TYPE	EPS Thickness	R-Value
Loft	F1 - HARMONIC 178MM EPS FLOOR	13 m²	Type 1 - Neopor	178mm	R-26
Main Floor	F1 - HARMONIC 178MM EPS FLOOR	27 m²	Type 1 - Neopor	178mm	R-26
Deck	F1 - HARMONIC 178MM EPS FLOOR	0 m²	Type 1 - Neopor	178mm	R-26

Roof Schedule					
Mark	Type	Area	EPS TYPES	EPS Thickness	R-Value
R1	R1 - HARMONIC 250MM EPS ROOF	83 m²	Type 2 - White	250	R-40

Door Schedule								
Mark	Family	Type	Location	Function	Width	Height	RD Width	RD Height
A	SINGLE EXT. ENTRY DOOR (HALF GLASS)	36" x 80"	South	Exterior	914	2,077	938	2,102
B	SINGLE INT. DOOR (FULL WOOD)	24" x 60"	Bath	Interior	610	2,032	634	2,045
C	SINGLE INT. DOOR (FULL WOOD)	24" x 60"	Stair Clos.	Interior	610	1,624	634	2,045
D	2_Panel_Bifold_Door_18018	39" x 80"	Loft Clos.	Interior	762	2,032	780	2,045
E	2_Panel_Bifold_Door_18018	42" x 80"	Loft Clos.	Interior	1,067	2,032	1,091	2,045

Window Schedule								
Mark	Family	Location	Function	SB Height	Width	Height	RD Width	RD Height
1	Window-Sliding-Double	South	Operable	533	813	1,524	837	1,548
2	M_Window-Casement-Single-Left	East	Operable	965	910	1,087	834	1,091
3	M_Window-Casement-Single-Left	West	Operable	1,018	762	1,018	768	1,040
4	M_Window-Fixed	South	Fixed	782	914	1,372	938	1,390
5	M_Window-Fixed	South	Fixed	762	914	1,372	938	1,396
6	M_Window-Casement-Single-Left	North	Operable	1,109	914	1,168	938	1,182
7	M_Window-Casement-Single-Left	North	Operable	1,100	914	1,188	938	1,192
8	M_Window-Fixed	West	Fixed	2,042	1,524	610	1,548	634
9	Window-Sliding-Double	South	Operable	533	813	1,524	837	1,548

[Handwritten Signature]
July 12/21

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785 Sir John A Macdonald Blvd, Unit 6A
Kingston, ON (K7L 1H3)
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0085
PROJECT ADDRESS: Lot 10 Hurth Rd, Blizard ON

TOLERANCES: MACHINED FINISH: ±3
XX = .015
XXX = .005
XXXX = .0005
SHARP EDGES, DO NOT SCALE DRAWING.

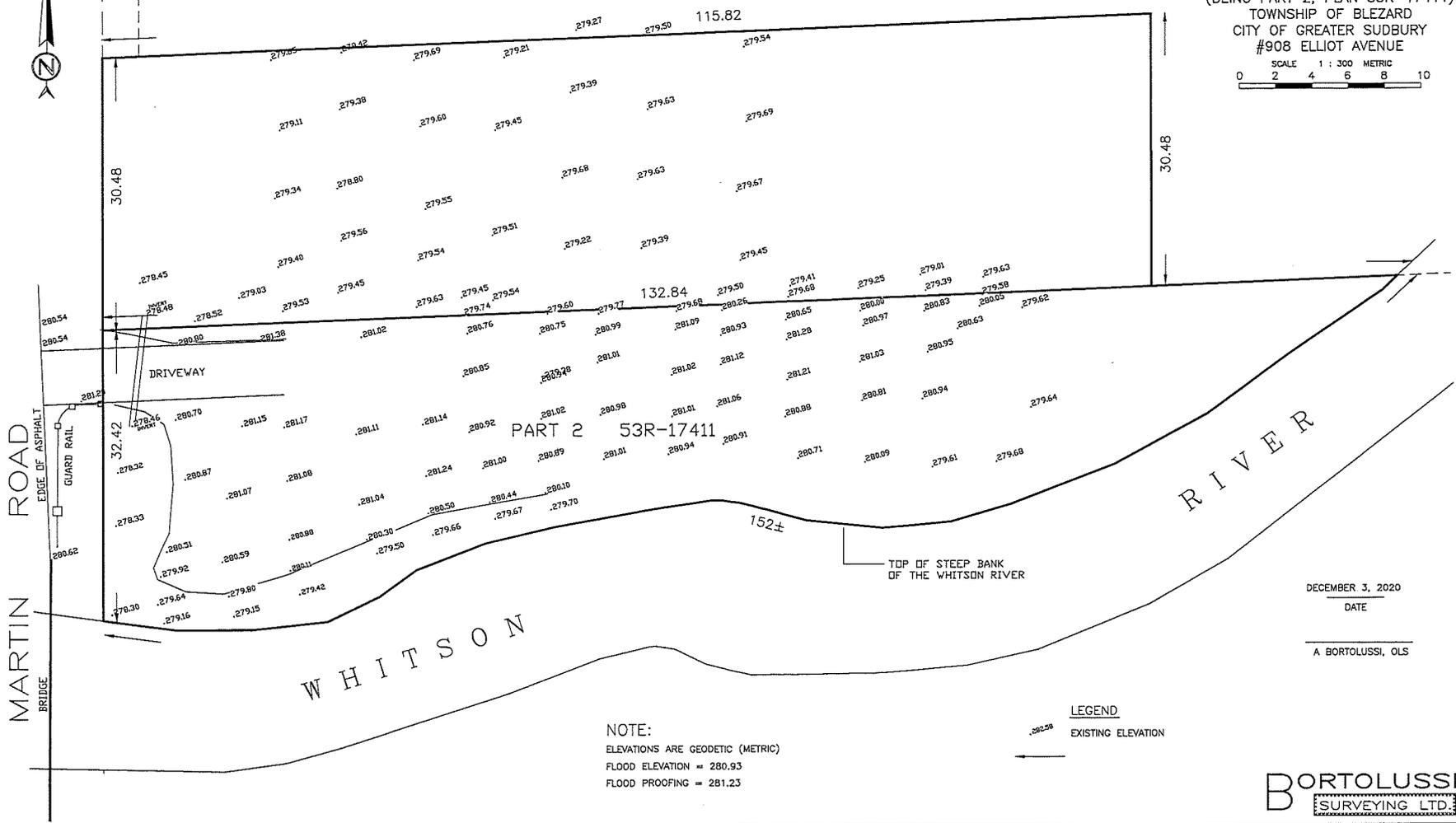
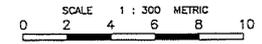
MATERIAL: SEE NOTES
FINISH: SEE NOTES

RELEASED:	NAME	DATE
DRAWN:	JCL	
APPROVED:	Approver	
CHECKED:	Checker	
SCALE:	1:15	

TITLE: SCHEDULES

SHEET NO. **A401**

AS-BUILT AND LOT GRADING PLAN
**PART OF LOT 10
 CONCESSION 5**
 (BEING PART 2, PLAN 53R-17411)
 TOWNSHIP OF BLEZARD
 CITY OF GREATER SUDBURY
 #908 ELLIOT AVENUE



10/29/2021
 sketch #1

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