

Tom Davies Square
200 Brady St

Wednesday, May 31, 2023

PUBLIC HEARINGS

A0051/2023

**GERALD LEBLANC
LOUISE LEBLANC**

Ward: 7

PIN 73495-0654, Parcel 17544 SEC SES, Lot 135, Plan M-148, Part Lot 5, Concession 2, Township of Garson, 93 Catherine Drive, Garson, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.3 and subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing firstly, an accessory lot coverage of 14.5%, where 10% is permitted, and secondly, a maximum height of 6.1m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0052/2023

**KYLE KOWALUK
KRISTA KOWALUK**

Ward: 2

PIN 73375-0046, Parcel 14050 SEC SWS SRO, Lot 24, Plan M-351, Part Lot 5, Concession 4, Township of Waters, 28 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 5.79m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0053/2023

DR. MEGAN MESSENGER

Ward: 9

PIN 73476-0125, Parcel 9554 SEC SES, Part Broken Lot 6, Concession 4, as in LT52283, Township of Broder, 171 Edgewater Road, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsection 4.41.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the expansion of an attached deck, providing 38% of the natural vegetation of the required shoreline buffer area to be cleared, whereas a maximum of 25% of the required shoreline buffer area may be cleared of natural vegetation, but in no case shall a cleared area exceed a maximum of 276 sq.m. and also providing 32% of the shoreline length measured at the high water mark to be cleared of natural vegetation, where a maximum of 25% of the length of the cleared area at the high water mark may be cleared of natural vegetation.

A0054/2023

**OLLI MATIKAINEN
CYNTHIA MATIKAINEN**

Ward: 2

PIN 73365-0083, Parcel 18274 SEC SWS, Part Lots 1 and 12, Concession 3, being Summer Resort Location AE-637 as in WP8460, Parts 1 and 2 on Plan 53R-13537, Townships of Trill and Fairbank, 800 Mason Road, Worthington, [2010-100Z, SLS (4) (Seasonal Limited Service)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.46m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO A85/00 (14 AUG 00)

A0055/2023

**KEVIN ELLIS
LISA ELLIS**

Ward: 2

PIN 73397-0071, Parcel 17222 SEC SWS, Part Broken Lot 5, Concession 1 as in LT169927, except Part 15 on Plan 53R-8234, Township of Louise, 75 Stoney Bay Road, Whitefish, [2010-100Z, RS (Rural Shoreline)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a sauna providing a maximum height of 5.6m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF APRIL 13, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0034/2023

**TARA ALEXANDER
MARK ALEXANDER**

"REVISED"

Ward: 9

PIN 73477-0096, Parcel 30029 SEC SES, Part Lot 4, Concession 4, as in LT201331 except LT251846, Township of Broder, 198 Birch Hill Road, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1, and Section 4.41, subsections 4.41.2, 4.41.3 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with attached garage, septic system and leaching bed providing, firstly, a high water mark setback of 10.76m for the dwelling and 24.94m for the leaching bed, where no person shall erect any residential building, other accessory structure or leaching bed closer than 30.0m to the high water mark of a lake or river, and secondly, for the proposed single detached dwelling to be 10.76m setback from the high water mark of a lake or a river, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF APRIL 26, 2023, TO ACCOMMODATE THE OWNER, WHO WAS UNABLE TO ATTEND.

A0035/2023

MARGARET RALPH

"REVISED"

Ward: 2

PIN 73365-0006, Parcel 53M-1166-14 SEC SWS SRO, Lot 14, Plan 53M-1166, Part Lot 1, Concession 1, subject to LT605471, Township of Trill, 166 A Wickie Road, Worthington [2010-100Z, SLS (4) (Seasonal Limited Service), RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.04m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A87/16 (JUN 29/16), A124/20 (DEC 10/20) AND A280/92 (OCT 5/92)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, JUNE 7, 2023**



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0051/2023	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): GERALD LEBLANC Email: [REDACTED]
 Mailing Address: 93 Catherine Drive Home Phone: [REDACTED]
 City: Garrison Postal Code: P3L1H2 Business Phone: _____
 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: GERALD LEBLANC Email: see above
 Mailing Address: _____ Home Phone: _____
 Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: CIBC
 Mailing Address: 1349 Lasalle Blvd.
 City: Sudbury Postal Code: P3A1Z2

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: Residential R-1-S

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.3 Accessory Coverage	10%	14.5%	4.5%
4.2.4 Height for garage	5 meters	6.1	1.1

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Personal garage and storage

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
accessory buildings percentage to store Boat / side by side and storage

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: SAANSON
 Lot No.: PART 5 Concession No.: 2 Parcel(s): 17544
 Subdivision Plan No.: M 148 Lot: 135 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 93 Catherine Dr

7) Date of acquisition of subject land. August 23, 2004

8) Dimensions of land affected.

Frontage 15.24 (m) Depth 36.5 (m) Area 562 (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	Existing			Proposed	
Ground Floor Area:	<u>House 79.54</u>	<u>Gazebo 17.20</u>	<u>Shed 9.2</u>	<u>Garage 53.2</u>	(m ²)
Gross Floor Area:	<u>91.47</u>	<u>17.28</u>	<u>9.2</u>		(m ²)
No. of storeys:	<u>1</u>	<u>1</u>	<u>1</u>	<u>1</u>	
Width:	<u>9.75</u>	<u>4.8</u>	<u>3.04</u>	<u>7.3</u>	(m)
Length:	<u>8.2</u>	<u>3.6</u>	<u>3.04</u>	<u>7.3</u>	(m)
Height:	<u>7.01</u>	<u>5.4</u>	<u>2.43</u>	<u>6.1</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing			Proposed	
Front:	<u>10</u>	<u>19.7</u>	<u>24.7</u>	<u>26.2</u>	(m)
Rear:	<u>17.84</u>	<u>16.34</u>	<u>11.3</u>	<u>3</u>	(m)
Side: <u>Left</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>6.4</u>	(m)
Side: <u>Right</u>	<u>4.15</u>	<u>9.1</u>	<u>10.86</u>	<u>1.5</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|--|-------------------------------------|--|-------------------------------------|
| <input type="checkbox"/> Municipally owned & operated piped water system | <input checked="" type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| <input type="checkbox"/> Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| <input type="checkbox"/> Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| <input type="checkbox"/> Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| <input type="checkbox"/> Pit Privy | <input type="checkbox"/> | | |
| <input type="checkbox"/> Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

House - 1952 Gazebo - 1976 Shed - 2018

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Personal Single Family Dwelling Length of time: 71 years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

A0051/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. water protection zone

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

(We) Gerald and Louise Leblanc (please print all names), the registered owner(s) of the property described as 93 Catherine Drive

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize GERALD LEBLANC (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2023

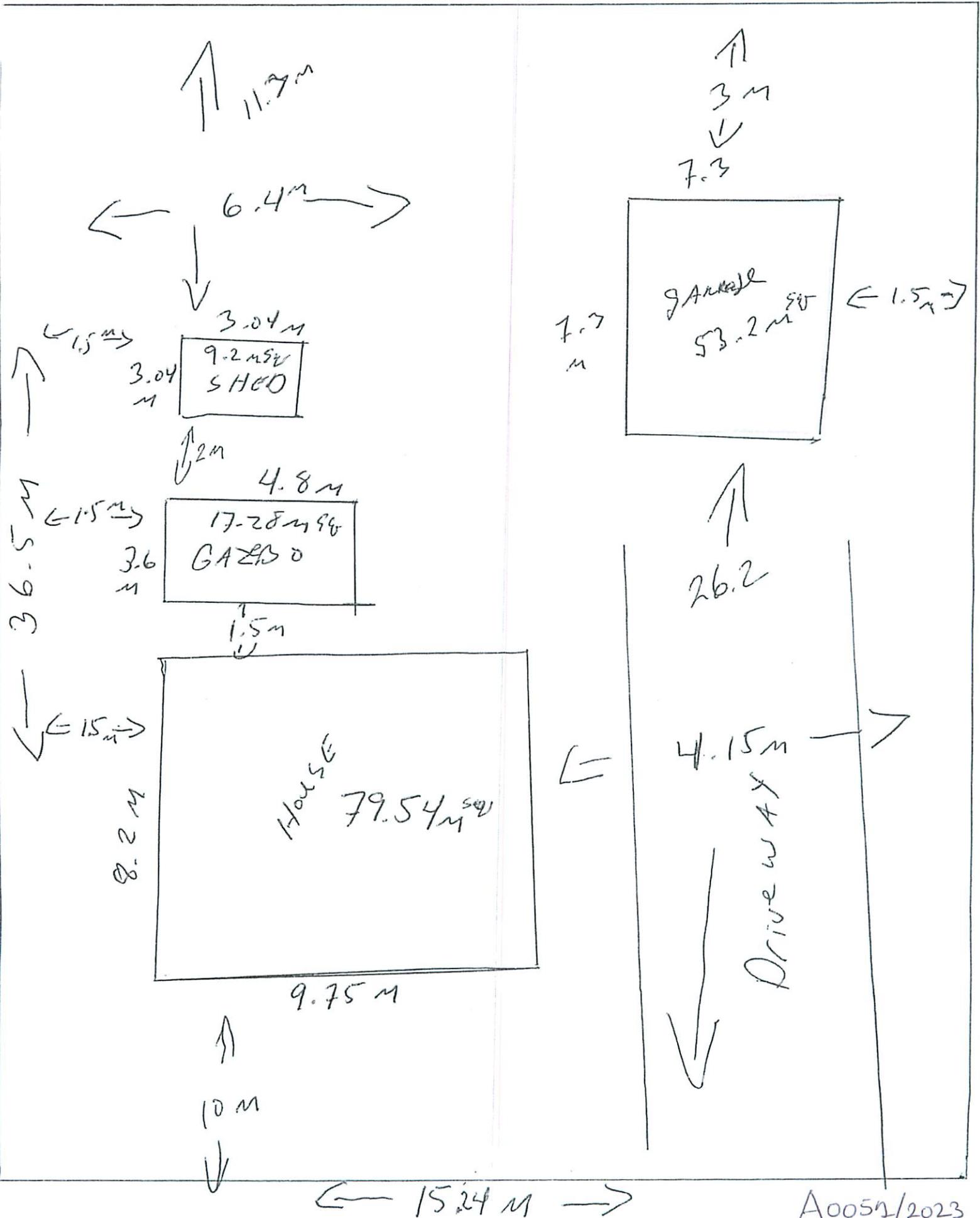
[Signature]
(witness)

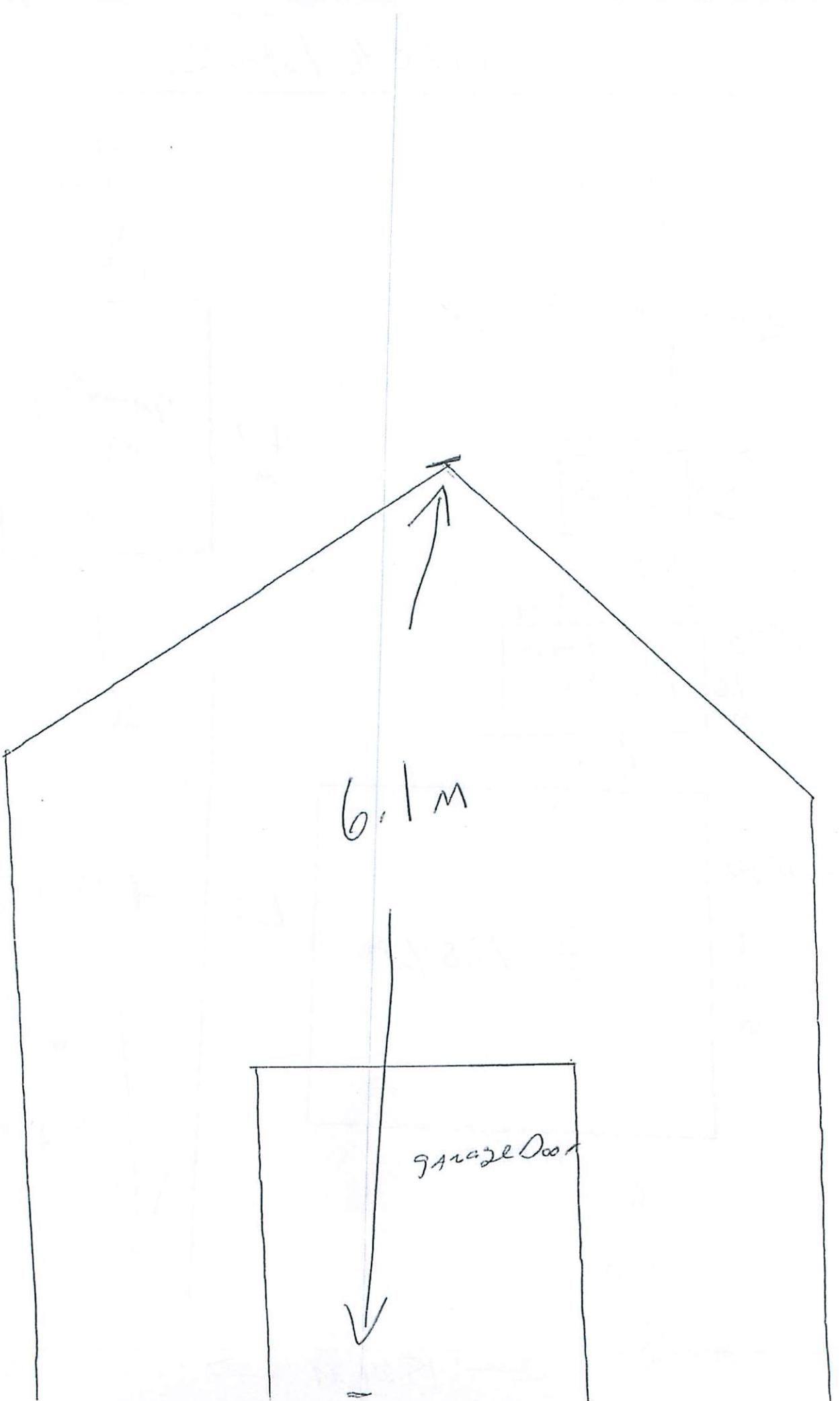
[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: GERALD LOUISE LEBLANC

*I have authority to bind the Corporation

A0051/2023

Back Lane

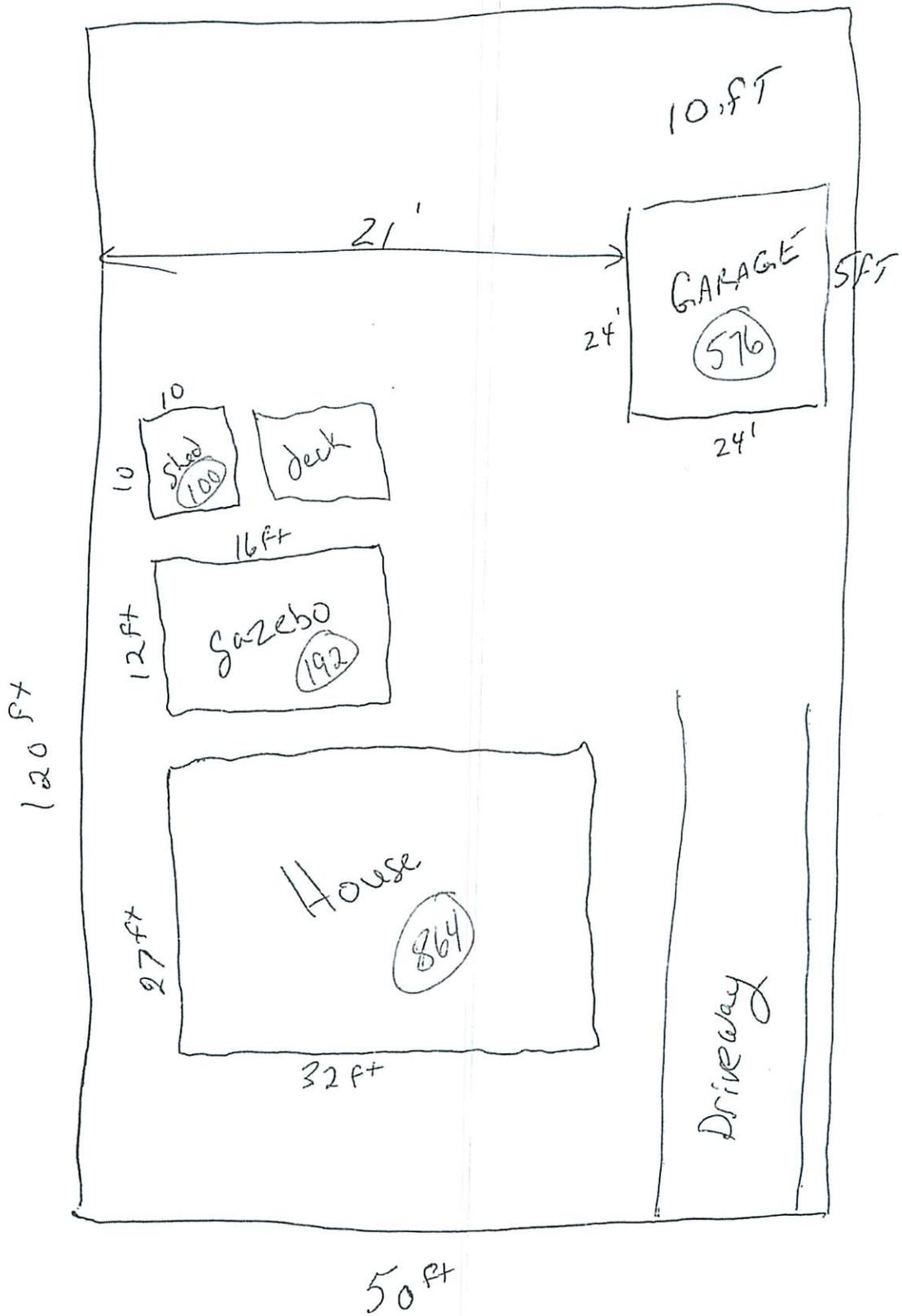




6.1 m

garage door

A0052/2023
Sketch-3



A0051/2023
 Sketch-4



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376-4348
 Fax (705) 673-2200

City of Greater Sudbury
 A 0052/2023
 S.P.P. AREA
 YES ___ NO
 NDCA REG. AREA
 YES ___ NO

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT SCHEDULES THAT BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kyle & Krista Kowaluk Email: _____
 Mailing Address: 28 Patricia St Home Phone: _____
 Business Phone: _____
 City: Lively Postal Code: P3Y 1B1 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Kyle Kowaluk Email: _____
 Mailing Address: _____ Home Phone: _____
28 Patricia St City: Lively Postal Code: P3Y 1B1 Business Phone: _____
 Fax Phone: _____
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgages, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: RBC
 Mailing Address: 1879 Regent St
 City: Sudbury Postal Code: P3E 3Z7

4) Current Official Plan designation: Livable Area Current Zoning By-law designation: R15

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Zoning By-law 2010-100Z	500.38 cm	579.12 cm	78.74 cm
Garage Height	5.0m	5.79m	0.79m

b) Is there an eave overhang? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
 Build a 12' x 22' shed on green garage with 6' shed built on 3 post of timbers and a 6'12 post
4.75m x 4.75m

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 Unable to have 10' setback 4.75m

6) Legal Description (include any abutting property registered under the same ownership).

PIN(a): 733750046		Township: Waters	
Lot No.: 5	Concession No.: 4	Parcel(s): 14050	
Subdivision Plan No.: M351	Lot: 24	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 28 Patricia St			

7) Date of acquisition of subject land: November 2007

8) Dimensions of land affected.

Frontage 30.48 (m) Depth 45.72 (m) Area 1394.46 (m²) Width of Street 11 (m)

Particulars of all buildings:	House Existing	Shed	Garage Proposed	
Ground Floor Area:	111.95	13.4 (m ²)	95	(m ²)
Gross Floor Area:	111.95	13.4 (m ²)	95	(m ²)
No. of storeys:	1	1	1	
Width:	8.5	3.66 (m)	9.75	(m)
Length:	13.1	3.66 (m)	9.75	(m)
Height:	6.4	3.66 (m)	5.8	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	9.15	10.23 (m)	3.15	(m)
Rear:	27.73	1.83 (m)	26.81	(m)
Side:	1.4	1.83 (m)	3.68	(m)
Side:	15.86	24.87 (m)	3.68	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

House - 1974 / Deck & Pool - 2016 / Shed - unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: Since 1974?

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? _____

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

A0052/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kyle & Krista Kowaluk (please print all names), the registered owner(s) of the property described as 28 Patricia St.

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Kyle Kowaluk (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 19 day of April, 2023

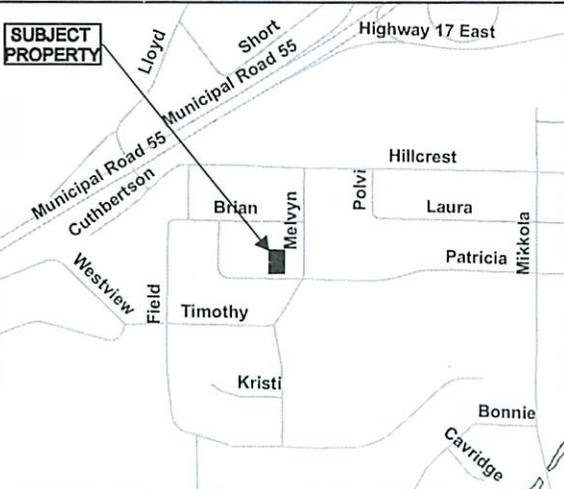
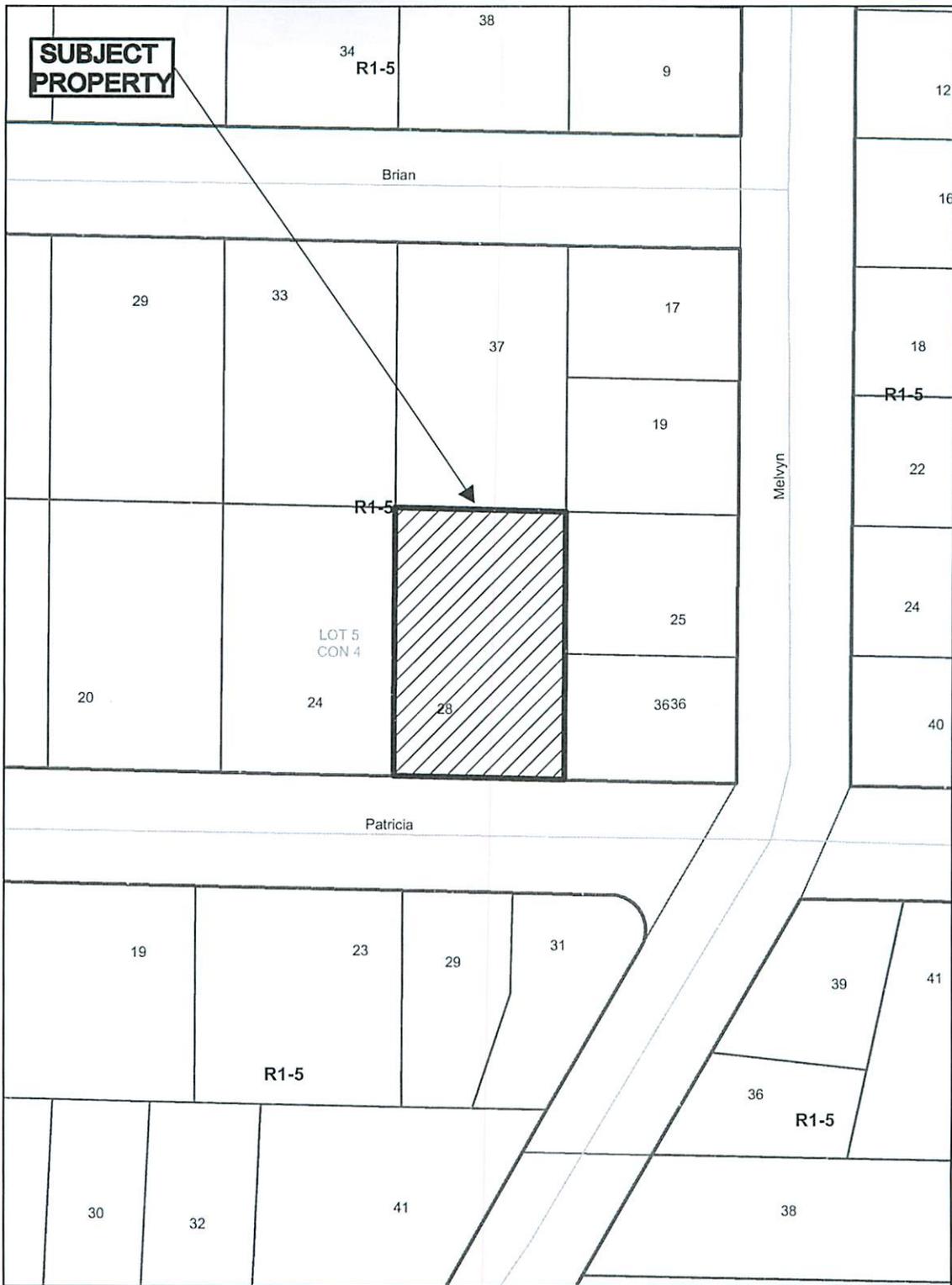
Mike Collins
(witness)

K. Kowaluk
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Krista Kowaluk

*I have authority to bind the Corporation

A0052/2023



Application for Minor Variance or Permission

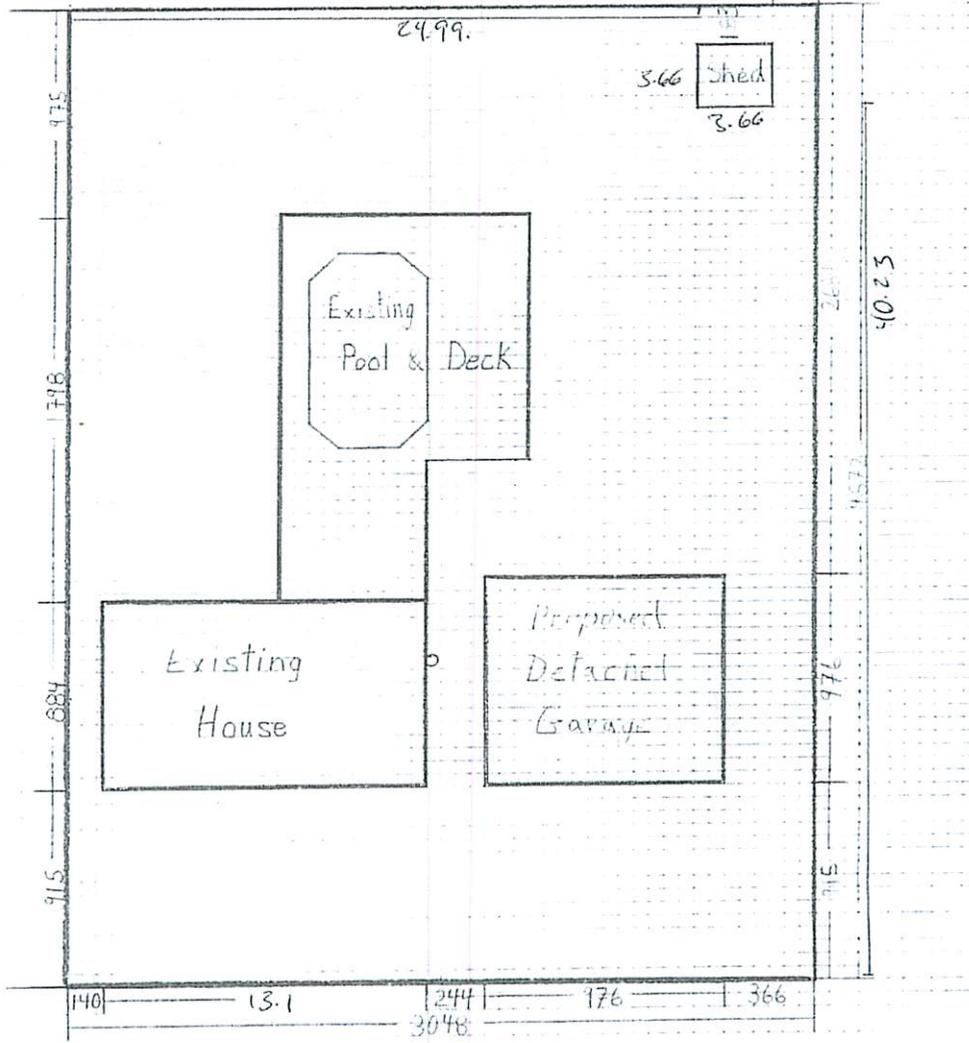
N


Subject Property being PIN 73375-0046,
 Parcel 14050 SEC SWS SRO,
 Lot 24, Plan M-351,
 Part Lot 5, Concession 4, Township of Waters,
 28 Patricia Street, Lively,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA Watershed

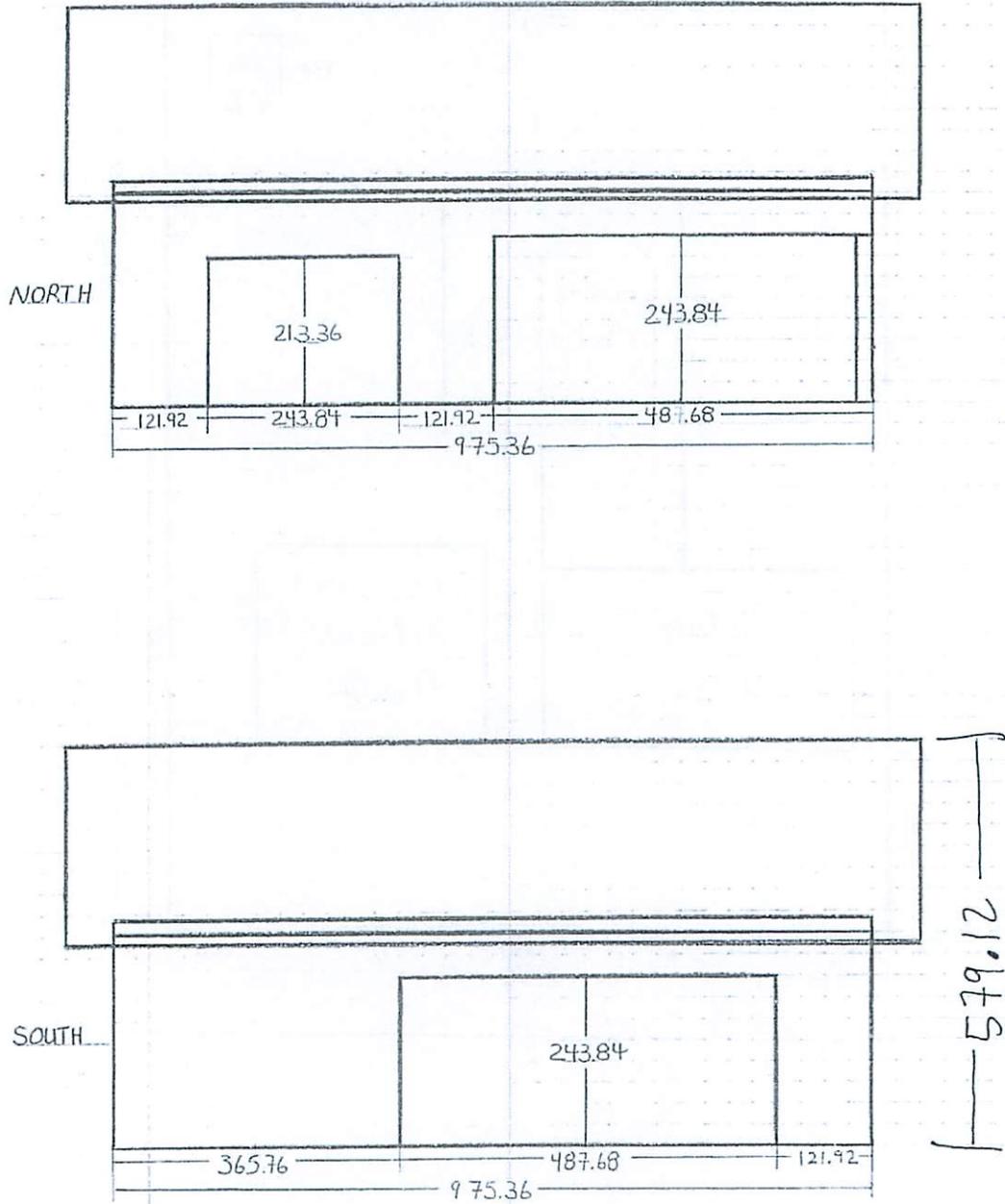
A0052/2023
 Date: 2023 05 03

28 Patricia St.



A0052/2023
Sketch-2

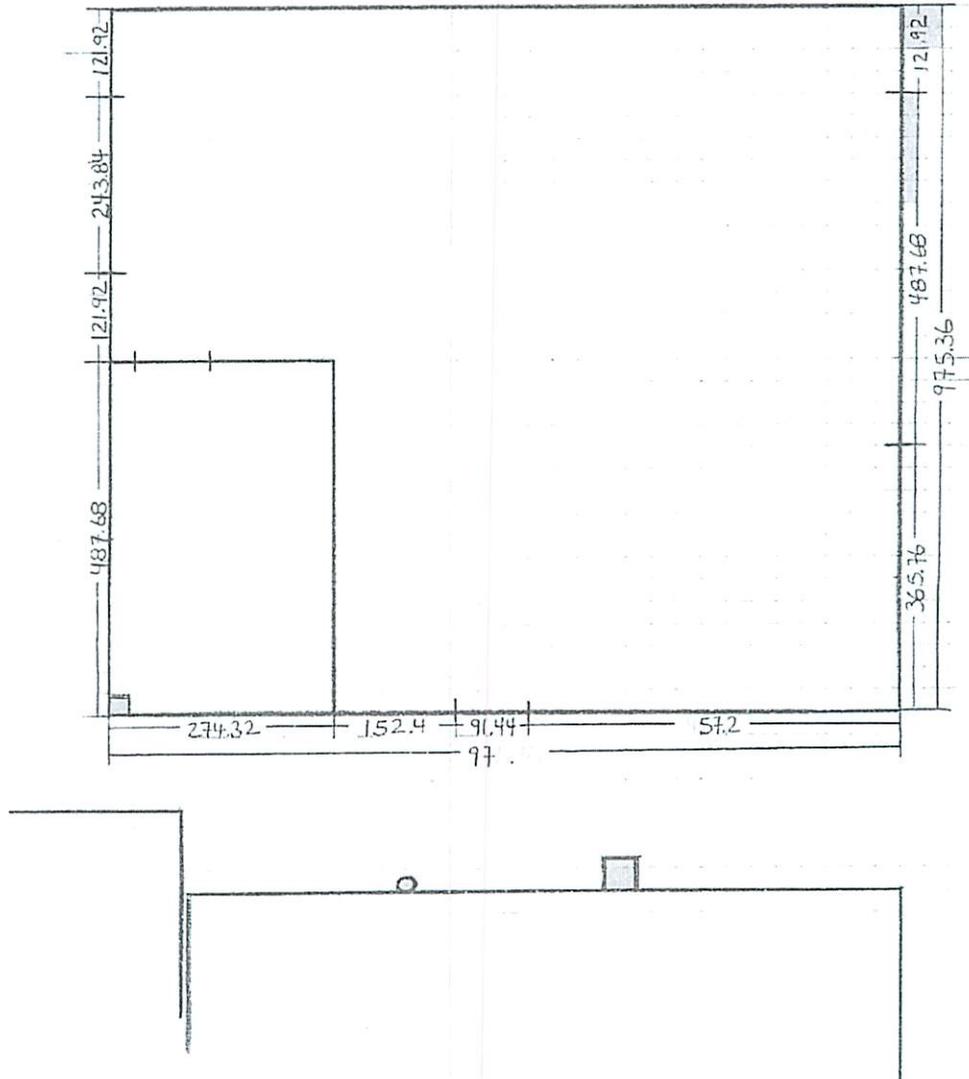
28 Patricia St.



A0052/2023
Sketch-3

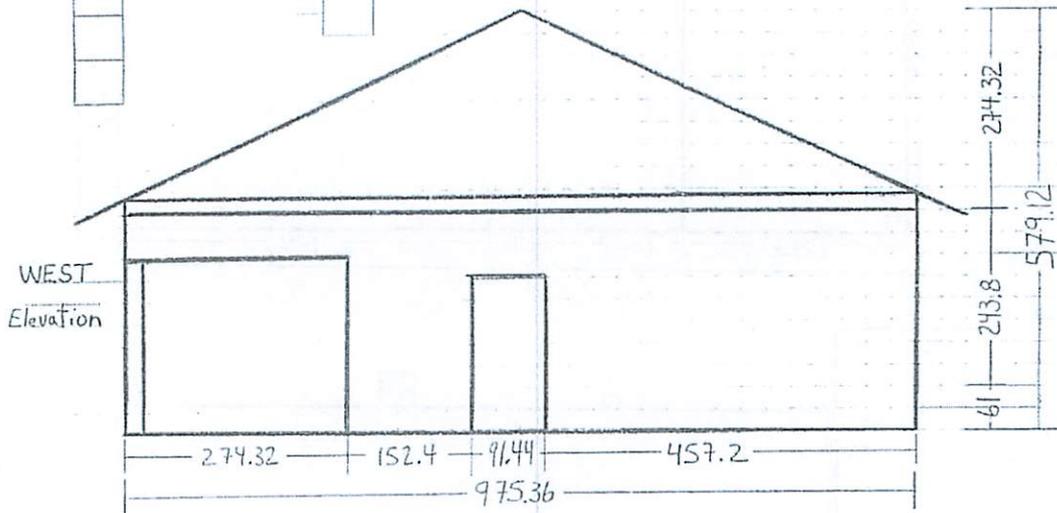
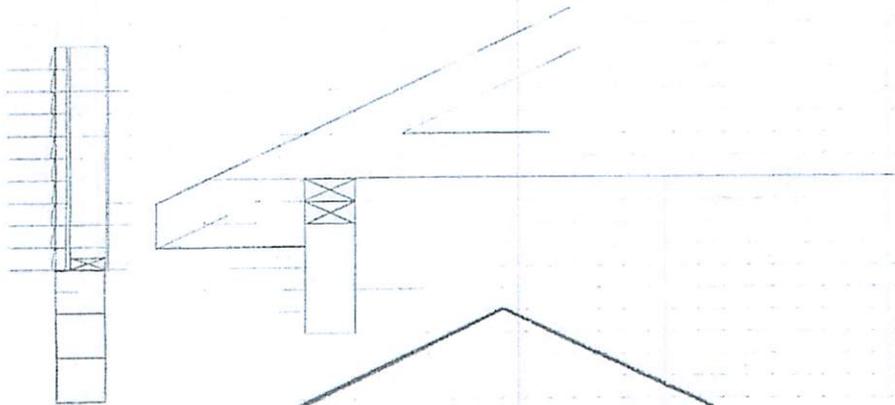
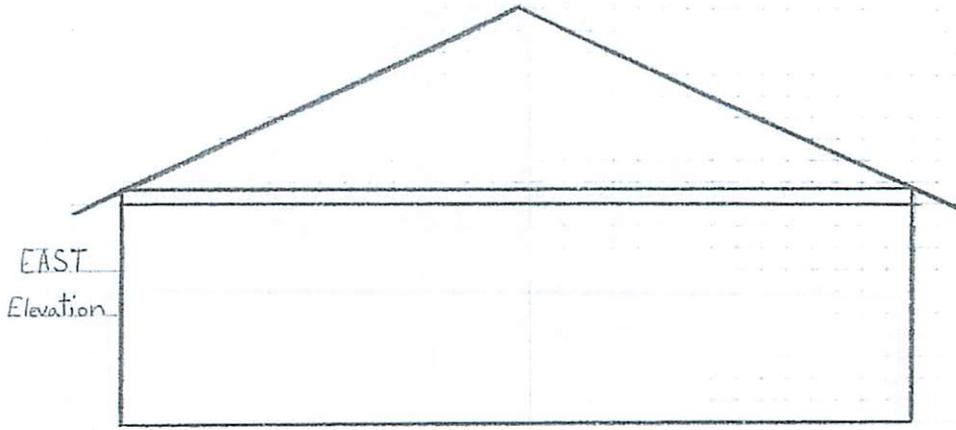
← N

28 Patricia St.



A0052/2023
Sketch - 4

28 Patricia St.



A0052/2023
Sketch-5



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 00 53 / 2023	
C.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
M.D.C.A. REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dr Megan Messenger	Email:	
Mailing Address: 171 Edgewater Rd	Home	
	Business Phone:	
City: Sudbury	Postal Code: P3G1J8	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Adam Whitby	Email:	
Mailing Address: 2040 Algonquin Rd., Unit 14	Home P	
171 Edgewater Rd, Sudbury, ON	Business Phone:	
City: Sudbury	Postal Code: P3G1J8	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: ScotiaBank	
Mailing Address: 2040 Algonquin Rd., Unit 14	
City: Sudbury	Postal Code: P3E4Z6

- 4) Current Official Plan designation: Living Nea # Current Zoning By-law designation: R1-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Shoreline Buffer Area	25%	38%	13%
Shoreline allowed length	25%	32%	7%

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
See Attached Appendix A

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
See Attached Appendix B

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):	Township: Broder		
Lot No.: 6	Concession No.: 4	Parcel(s): 9554	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 171 Edgewater Rd, Sudbury, ON			

7) Date of acquisition of subject land. July 10th 2019

8) Dimensions of land affected.

Frontage	30.48 (m)	Depth	31.7 (m)	Area	966.22 (m ²)	Width of Street	(m)
----------	-----------	-------	----------	------	--------------------------	-----------------	-----

9) Particulars of all buildings:	+ P. 110 Existing		Sheel	Proposed	
	house - 178	8.9 (m ²)		58	Deck
Ground Floor Area:	365	8.9 (m ²)		58	(m ²)
Gross Floor Area:	3	1		1	
No. of storeys:	11	2.4 (m)		8.53	(m)
Width:	13.4	3.6 (m)		4.75	(m)
Length:	5 from street	3.6 (m)		2.13	(m)
Height:					

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	9.5	9.5 (m)	4	20 (m)
Rear:	5.5	18.6 (m)	7.8	1 (m)
Side:	2.4	10.8 (m)	7.6	(m)
Side:	15	12.0 (m)	12.5	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

2002-2004

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): residential

Length of time: ~ 50 yrs

14) Proposed use(s) of the subject property.

Same as #13

or,

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?

Yes

No

If "yes", how many?

17) Existing uses of abutting properties: Residential

A0053/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Megan Messenger (please print all names), the registered owner(s) of the property described as 171 Edgewater RD in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Adam Whitby (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21st Apr 23 day of April, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Megan Messenger

*I have authority to bind the Corporation

A0053/2023

Appendix A

Question 5 c)

Proposal

The proposal consists of extending our usable patio area by the construction of a 28x32 elevated deck. Currently, there is a covered patio of 12x28 which was approved by the city when the residence was constructed. Therefore, of the new 28 foot depth, 12ft is already being used as a patio. We would be extending that by 16ft over the hill. The proposed area to which the deck will be extended is unusable due to the elevation change and a safety concern as we have a toddler. This deck would allow for our family to have a safe place to gather without concerns of small children falling down the hill.

This deck will have minimal impact on the natural vegetation as in this area it is mainly rock covered by a thin layer soil. Our plan is to also use Helical piles and in the event we have to use concrete piers for a few post due to ground limitations, all precautions such as sediment barriers etc., will be used as per NDCA request. It should be noted that our family takes great pride in ensuring natural vegetation along the shoreline by planting native plants each spring and having a large area of wild flowers, grasses and shrubs in the buffer area. Our property is unlike an overwhelming amount of manicured green grass lots we see on Long Lake, Ramsey and Nepahwin whom have no natural vegetation along the entire "Shoreline Buffer".

We also met with the Nickel District Conservation Authority who attended our property and had no concerns whatsoever with our proposed project.

Question 5 d)

Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

In 2022 a by-law was passed, introducing a new shoreline buffer zone, drastically impacting a large amount of waterfront properties within the City of Greater Sudbury, which for many years conformed to property regulations. Our lot, like many others is approximately 100ft deep. These lots were approved by the city. Our residence, was permitted to be construction within the new Buffer Zone. As a result, a large percentage of our property is now restricted. This could/may also have impact on our property value.

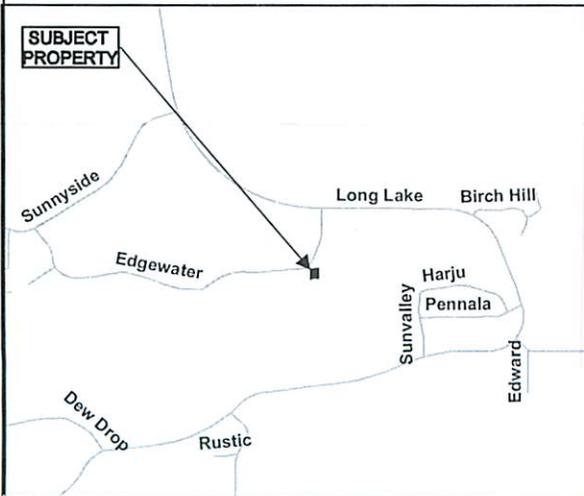
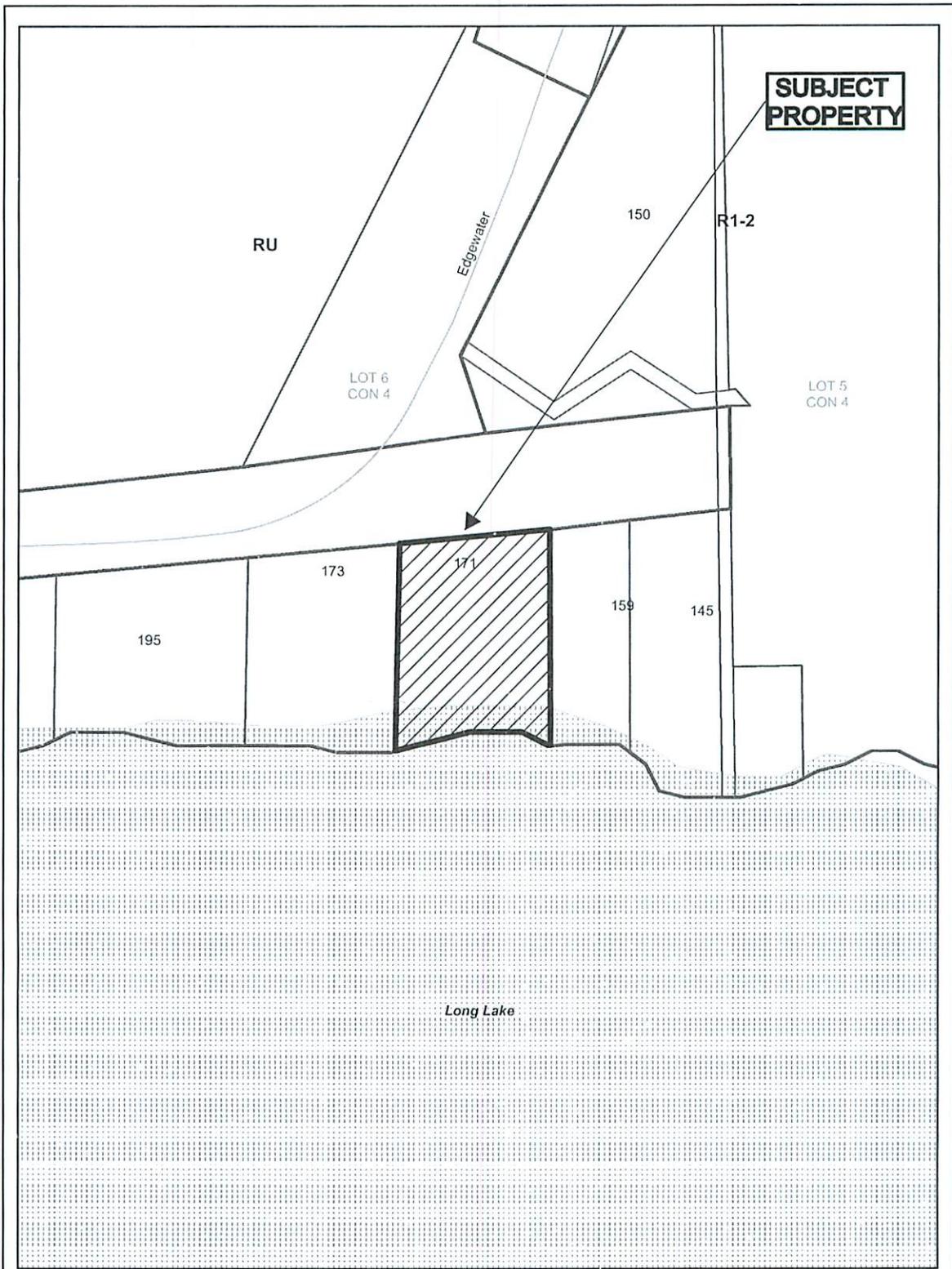
The current bylaw restricts shoreline coverage to 25% of total length and 25% within the large buffer area. With the new restrictions, this would limit us to constructing a 7ft x 7ft "structure" within the buffer zone. In reviewing the pictures I have provided, we feel we have a large amount of natural vegetation, and that our request is not unreasonable.

A0053/2023

Our lot is approximately 10 000 Sq Ft. Our current coverage is 1584(residence) + 336(Patio) + 96(shed) which totals 2016 Sq ft. The extension of the deck/patio would add an extra 624 Sq ft bring the total to 2640 Sq Ft. Our property is zoned as R1-2. As such as per Table 6.2 – Standards for the Low Density Residential One (R1) Zone (By-laws 2012-178Z, 2018-180Z) our maximum lot coverage is 40%. Our proposal would bring our total lot coverage to 26 %, well under the maximum lot coverage.

Further, I have spoken to my neighbours whom are all in support of our proposal.

A0053/2023



Application for Minor Variance or Permission

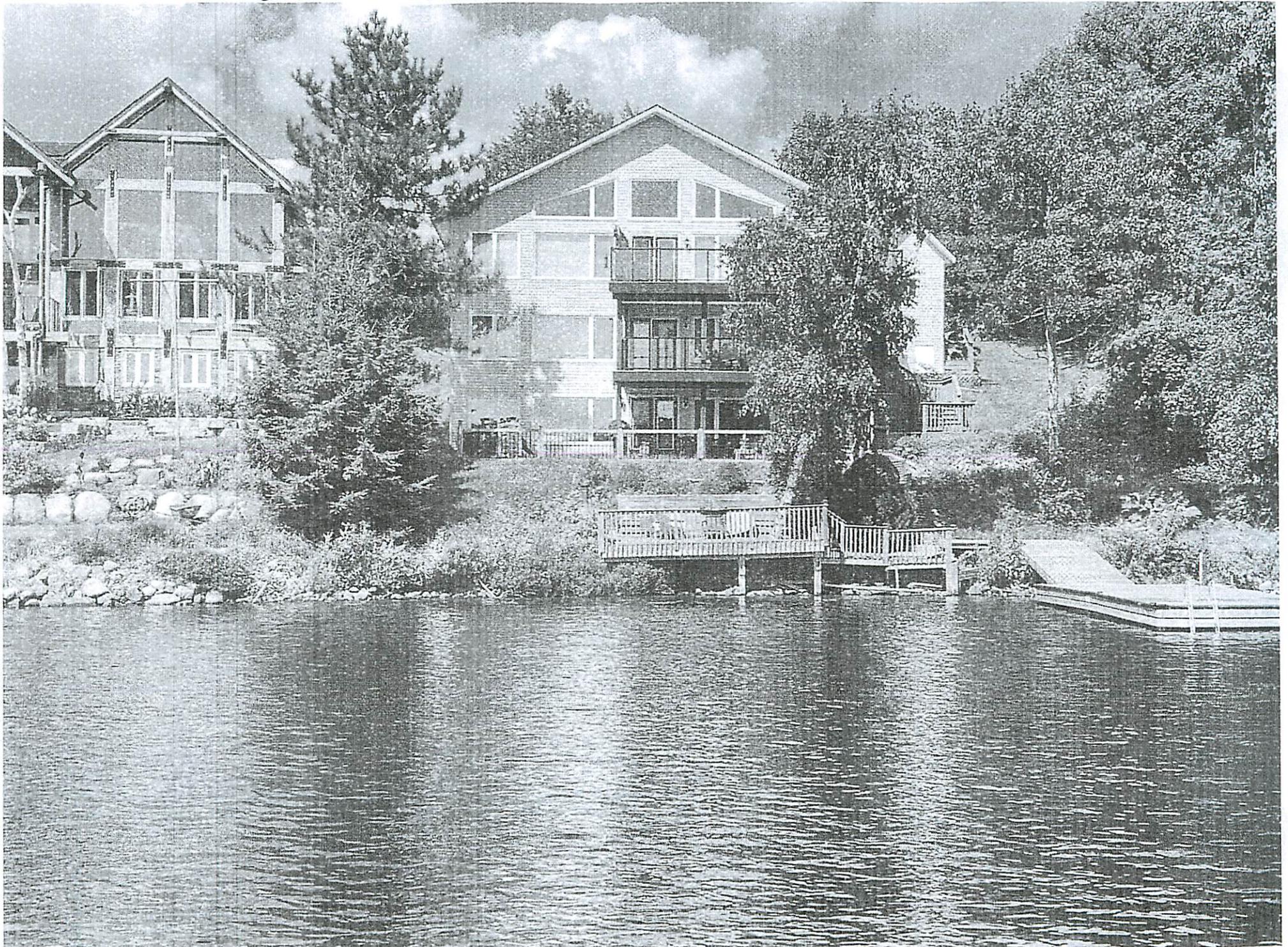


Subject Property being PIN 73476-0125, Parcel 9554 SEC SES, Part Broken Lot 6, Concession 4, as in LT52283, Township of Broder, 171 Edgewater Road, Sudbury, City of Greater Sudbury

Sketch 1, NTS
 NDCA Watershed

A0053/2023
 Date: 2023 05 08

To show naturalized



Aug 53 / 2023
Sketch - 4



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0054/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

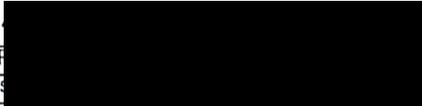
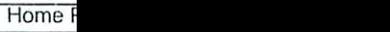
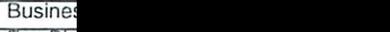
City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

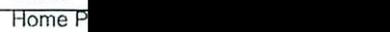
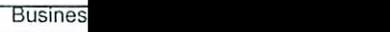
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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

- Registered Owner(s): OLLI & CYNTHIA MATIKAINEN Email: 
 Mailing Address: 800 MASON ROAD Home P: 
 City: WORTHINGTON ON Postal Code: P0M 3H0 Business P: 
 Fax Phone: 

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: OLLI MATIKAINEN Email: 
 Mailing Address: 800 MASON ROAD Home P: 
 City: WORTHINGTON ON Postal Code: P0M 3H0 Business P: 
 Fax Phone: 

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NONE
 Mailing Address: _____
 City: _____ Postal Code: _____

4) Current Official Plan designation: RURAL Current Zoning By-law designation: SLS(4)

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
HEIGHT 4.2.4(a)	5 m	6.46 m	1.46 m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: DETACHED GARAGE

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
NEED HEIGHT TO LIFT VEHICLE ON HOIST

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: TRILL
 Lot No.: 12 Concession No.: 3 Parcel(s): 18274
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 5321353 Part(s): 1 & 2
 Municipal Address or Street(s): 800 MASON ROAD

7) Date of acquisition of subject land. AUG 2010

8) Dimensions of land affected.

Frontage 113.2 (m) Depth 90.24 (m) Area 3480 (m²) Width of Street ✓ (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	TABLE SET (m ²)	(GARAGE) 125.3 (m ²)
Gross Floor Area:	DOC (m ²)	125.3 (m ²)
No. of storeys:	<u>SEE ATTACHED DOCUMENT</u>	<u>1</u>
Width:	<u>SEE ATTACHED DOCUMENT</u> (m)	9.8 (m)
Length:	<u>SEE ATTACHED DOCUMENT</u> (m)	12.8 (m)
Height:	<u>SEE ATTACHED DOCUMENT</u> (m)	6.5 (m)

MAIN + BSMT

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>SEE ATTACHED DOCUMENT & DRAWING</u> (m)	(m)
Rear:	<u>SEE ATTACHED DOCUMENT & DRAWING</u> (m)	<u>(SAME)</u> (m)
Side:	<u>SEE ATTACHED DOCUMENT & DRAWING</u> (m)	<u>(SAME)</u> (m)
Side:	<u>SEE ATTACHED DOCUMENT & DRAWING</u> (m)	<u>(SAME)</u> (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

HOUSE & EXISTING GARAGE: 2001 GARAGE: 2020
SAUNA: EARLY 1960S

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SEASONAL DWELLING Length of time: 60+ YEARS

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: SEASONAL RESIDENTIAL

A0054/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, OLLI MATIKAINEN & CYNTHIA MATIKAINEN (please print all names), the registered owner(s) of the property described as 800 MASON ROAD, WORTHINGTON

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize OLLI MATIKAINEN (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 1st day of MAY, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: CYNTHIA MATIKAINEN

*I have authority to bind the Corporation

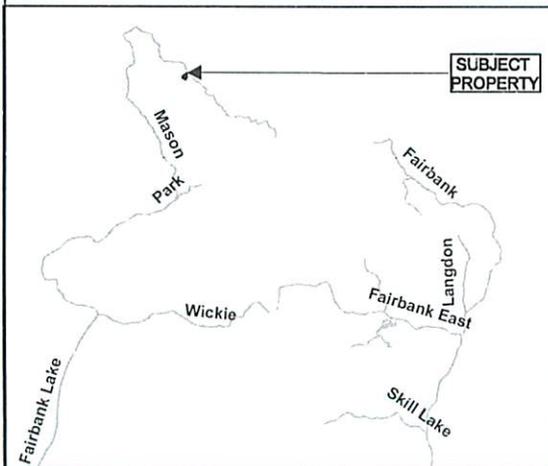
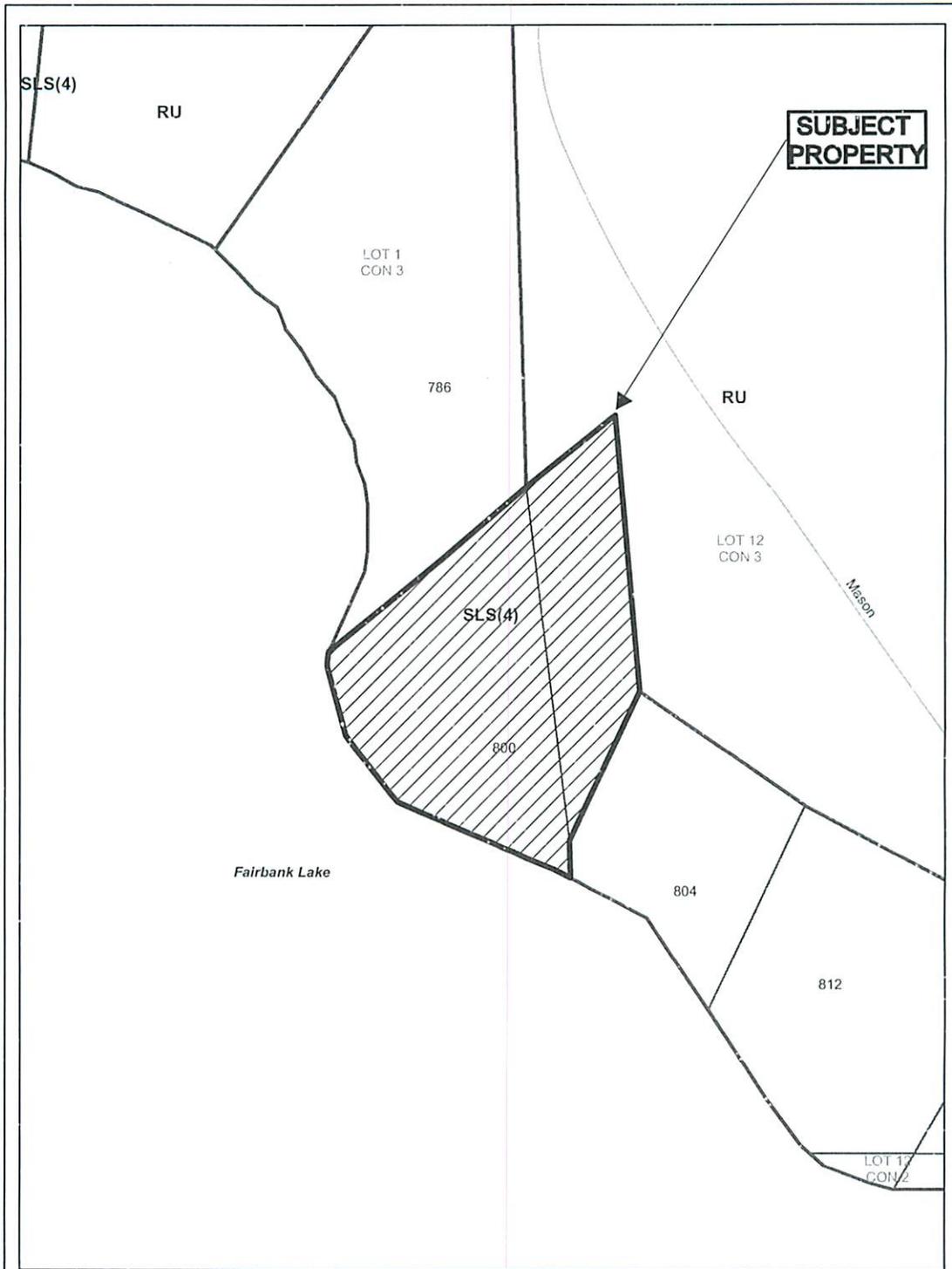
A0054/2023

Variance calculations

For building permit application, 800 Mason Road, Worthington
New 32x42 Garage construction

As per bank appraisal report

Site dimensions	370.26 ft by irregular	
	sq.ft.	acre
Site area	37461	0.9
	FT	M
Frontage on water	133.5	
	65	
	64.8	
	54.37	
	28.73	
	13.4	
	11.48	
Total frontage on lake	371.28	113.2



Application for Minor Variance or Permission

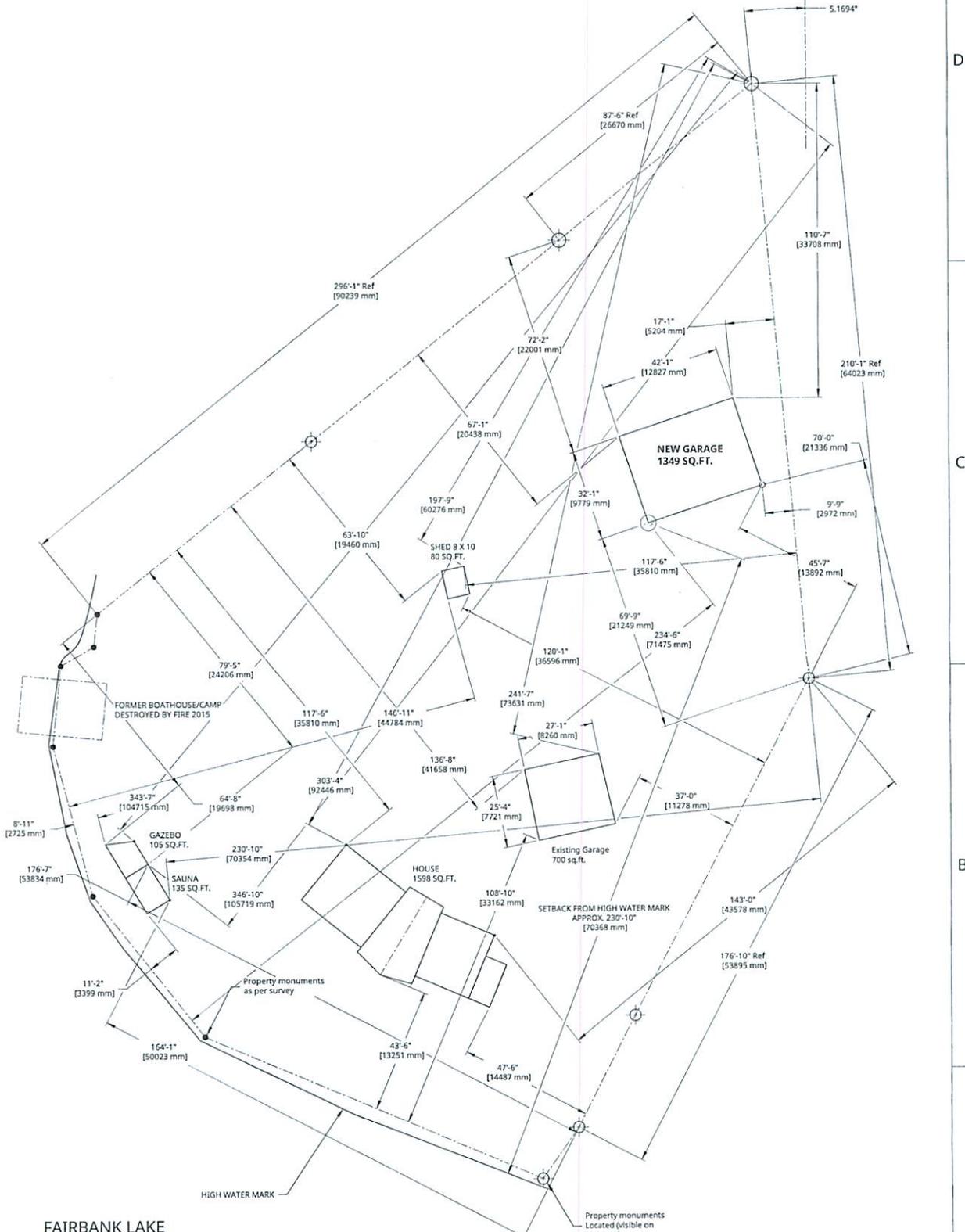


Subject Property being PIN 73365-0083,
 Parcel 18274 SEC SWS,
 Part Lots 1 and 12, Concession 3,
 being Summer Resort Location AE-637 as in WP8460,
 Parts 1 and 2 on Plan 53R-13537,
 Townships of Trill and Fairbank,
 800 Mason Road, Worthington,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA Watershed

A0054/2023
 Date: 2023 05 08

NORTH

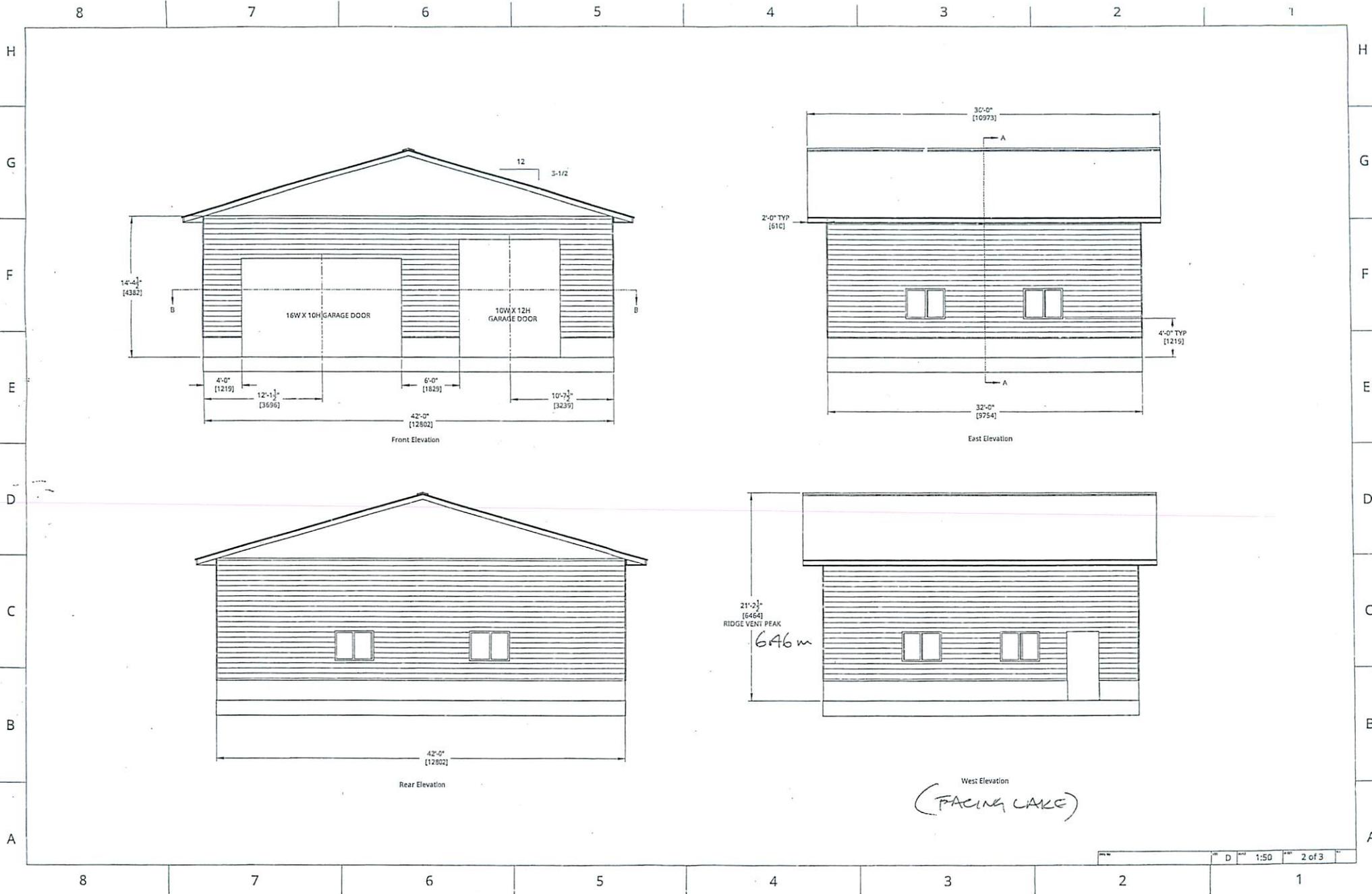


D
C
B
A

A0054/2023
Sketch-2

A	20230501	OLLI M.	ADDED DIMENSIONS AND BUILDING AREAS FOLLOWING BUILDING DEPT REVIEW
REV	DATE	BY	CHANGES

UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN INCHES		NAME	DATE
XXX + 4.00	ANGULAR **	DRAWN	OLLI MATTHEWSON
XXXX + 4.00	FRACTIONAL **	CHECKED	2023-05-01
SURFACE FINISH		APPROVED	
DO NOT SCALE DRAWINGS		TITLE	Proposed 32x42 Garage
BREAK ALL SHARP EDGES AND REMOVE BURRS			Locations of buildings in lot
THIRD ANGLE PROJECTION			800 Mason Road, Worthington, ON
MATERIAL	FINISH	SCALE	1:200
		NO. NO.	n/a
		WEIGHT	n/a
		SHEET	1 of 1



2023
 1-1
 5

A0054/2023
 Sketch - 3

PLAN 53R-13537

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

RECEIVED AND DEPOSITED

DATE July 29, 1991

DATE 91 08 13

D. MacIntosh
P.L. FINOS, SURVEYOR GENERAL MINISTRY OF NATURAL RESOURCES

B. Phillips
LAND REGISTRAR FOR THE LAND TITLES DIVISION OF SUDBURY, (No. 53)

PARTS 1 & 2 - CROWN

PLAN AND FIELD NOTES OF
LOCATION CL 6480
BEING
PART OF LOT 1, CON. III
TOWNSHIP OF TRILL
AND
PART OF LOT 12, CON. III
TOWNSHIP OF FAIRBANK
NOW IN THE
TOWN OF WALDEN
REGIONAL MUNICIPALITY OF SUDBURY
DISTRICT OF SUDBURY
SCALE: 1 INCH = 40 FEET
D.S. DORLAND, O.L.S., 1990

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN AND FIELD NOTES ARE CORRECT AND ARE PREPARED FROM AN ACTUAL SURVEY PERFORMED UNDER MY PERSONAL SUPERVISION AND THAT I WAS IN MY OWN PROPER PERSON PRESENT ON THE GROUND DURING THE PROGRESS OF SUCH SURVEY.

JULY 27, 1990
SUDBURY, ONTARIO

D.S. Dorland
D.S. DORLAND
ONTARIO LAND SURVEYOR

THE SURVEY REPRESENTED BY THIS PLAN AND FIELD NOTES WAS COMPLETED ON THE 17th DAY OF AUGUST, 1990.

NOTE

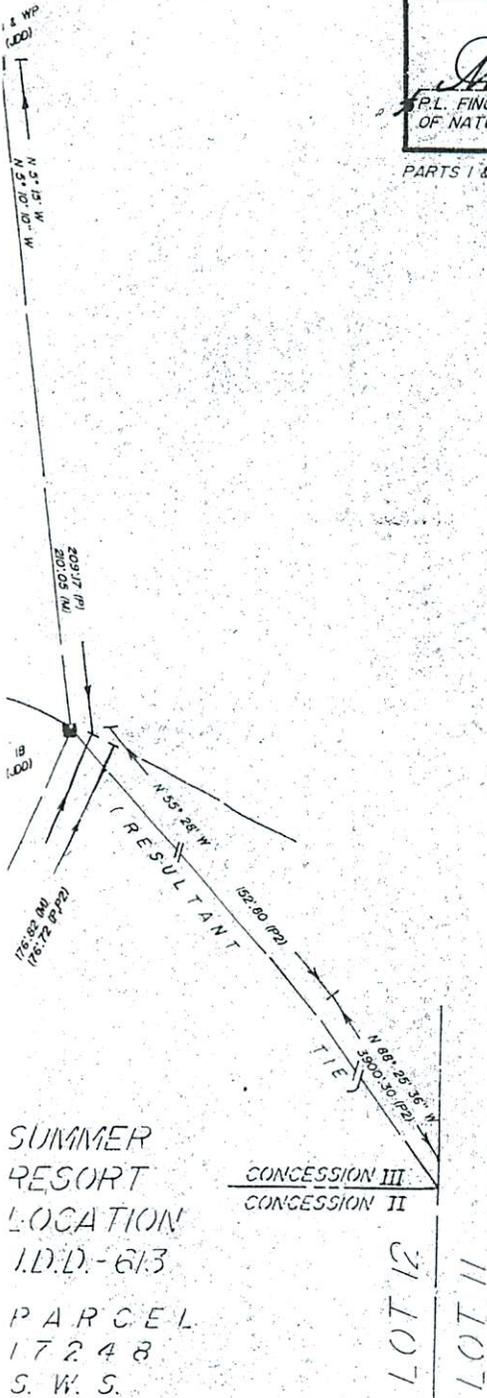
ALL BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHEASTERLY LIMIT OF SUMMER RESORT LOCATION AE 637, SHOWN ON PLAN AND FIELD NOTES OF SUMMER RESORT LOCATION AE 637 TO HAVE A BEARING OF N 25° 27' E.

LEGEND

- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- M DENOTES MEASURED
- S.W.S. DENOTES SUDBURY WEST SECTION
- WP DENOTES WOOD POST
- P DENOTES PLAN AND FIELD NOTES OF SUMMER RESORT LOCATION AE 637
- P2 DENOTES PLAN AND FIELD NOTES OF SUMMER RESORT LOCATION, J.D.D.-613
- P3 DENOTES PLAN AND FIELD NOTES OF SUMMER RESORT LOCATION, J.D.D. - 42
- JDD DENOTES J.D. DEARDON, O.L.S.
- 1400 DENOTES D.S. DORLAND, O.L.S.
- WIT DENOTES WITNESS
- DENOTES MONUMENT FOUND
- DENOTES MONUMENT PLANTED
- HWM DENOTES HIGH WATER MARK

CAUTION: THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

APPLICANT: D. HUTCHISON



SUMMER
RESORT
LOCATION
J.D.D.-613
PARCEL
17248
S.W.S.

CONCESSION III
CONCESSION II

LOT 1
LOT 12

A0054/2023
Sketch-4

SCHEDULE							
PART	LOT BLOCK	CON. PLAN	TOWNSHIP	PIN	AREA	INST./PARCEL	REMARKS
1	1	III	TRILL		0.41 AC./0.146 HA.		
2	12	III	FAIRBANKS		0.01 AC./0.004 HA.		
TOTAL AREA					0.42 AC./0.150 HA.		
SUBURBY					AREA	MNR LANDS FILE No. 63478	

LOT 1 LOT 12
CON. III

SUMMER RESORT
LOCATION
J.D.D.-42

PARCEL
13711
S. W. S.

SUMMER RESORT
LOCATION
AE. 637

PARCEL 18274

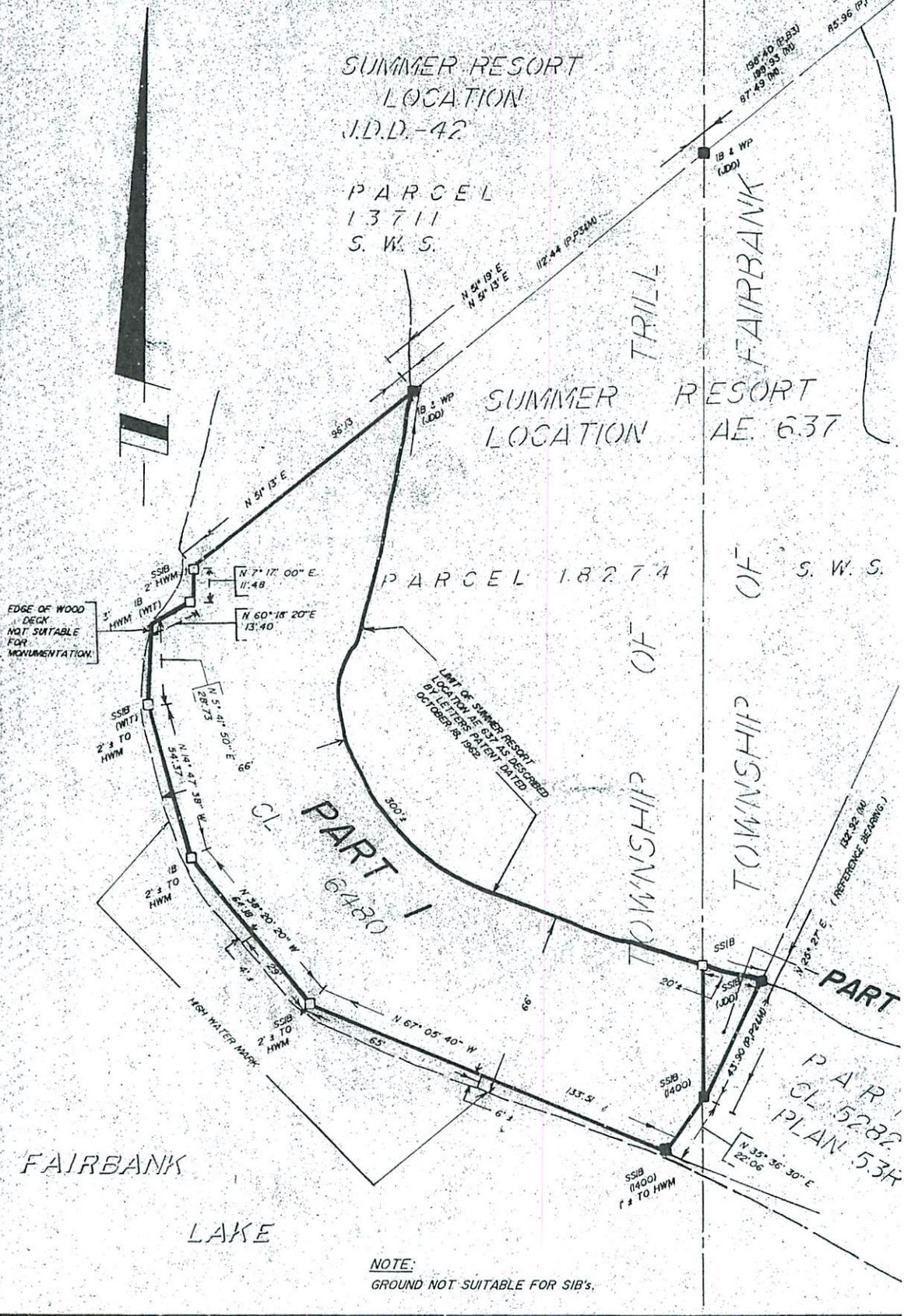
OF S. W. S.

TOWNSHIP OF

PART

PARCEL
CL 5282
PLAN 53H

A0054/2023
Sketch-5



NOTE:
GROUND NOT SUITABLE FOR SIB'S.



Greater Sudbury
www.greatersudbury.ca
Box 5000, Station 'A', 200 Brady Street
Sudbury, ON L6A 6P8
Tel: (705) 671-2488, Ext. 43704346
Fax: (705) 675-2200

Office Use Only
2023 01 01
A 0055/2023-3
S.P.P. AREA
YES ___ NO
NDCA REG. AREA
YES ___ NO

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 40 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kevin and Lisa Ellis Email: [REDACTED]
Mailing Address: 54 Mennill Dr. Mississauga, On L9X0J2 Home Phone: [REDACTED]
subject property: 75 Stoney Bay Rd. Business Phone: [REDACTED]
City: whitefish Postal Code: P0M3E0 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Lisa Ellis Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
75 Stoney Bay Rd Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: BMO
Mailing Address: 2075 Long Lake Rd
City: Sudbury Postal Code: P3E 4M8

4) Current Official Plan designation: Residential RURAL Current Zoning By-law designation: RS

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Height 4.2.4 (a)	5.0m	*5.6 m	0.6m

*Per architect's drawing building height is 5.54m. Requesting 5.6m to accommodate room for minor variances during construction (materials difference such as roof vent manufacturers' design variances) - design on paper vs. construction realities shaping materials including minor dimensional errors).

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
To remove and replace existing sauna

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Architectural plans have been completed - asking for variance to avoid rework of plans and preserve aesthetics of design.
Preference for slightly higher roof line is more desirable.

6) Legal Description (include any abutting property registered under the same ownership)

Pin(s):	Township: Louise	
Lot No.: 5	Concession No.: 1	Parcel(s): 17222SW
Subdivision Plan No.:	Lot:	Reference Plan No.:
Municipal Address or Street(s): 75 Stoney Bay Rd		

7) Date of acquisition of subject land: 1996

8) Dimensions of land affected:

Frontage	10 (m)	Depth	630 (m)	Area	30595 (m ²)	Width of Street	N/A (m)
----------	--------	-------	---------	------	-------------------------	-----------------	---------

Particulars of all buildings:	House Existing			House Proposed	Shed Same	
	House	Shed	Same (Demo)		Proposed	Same
Ground Floor Area:	80 (m ²)	7 (m ²)	20 (m ²)	N/C	N/C	70 (m ²)
Gross Floor Area:						
No. of storeys:	1	1	1			1
Width:	7 (m)	2 (m)	3 (m)			**11.89 (m)
Length:	11 (m)	3 (m)	7 (m)			~12.5 (m)
Height:	5 (m)	3 (m)	3 (m)			6 (m)

**Includes width of main cavity of building plus extension of lakeside porch roof line

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines)

	Existing			Proposed	
	Front	Side	Rear	Front	Side
Front:	573 (m)	565 (m)	617 (m)	612 (m)	
Rear:	61 (m)	63 (m)	14 (m)	11 (m)	
Side:	13 (m)	32 (m)	4 (m)	2.0 (m)	
Side:	17 (m)	7 (m)	20 (m)	18 (m)	

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|---------------------|-------------------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input checked="" type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input checked="" type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land:
Circa 1960

13) Existing use(s) of the subject property and length of time if they have continued

Use(s): Residential Length of time: Pre-1960

14) Proposed use(s) of the subject property:

Same as #13 or, _____

15) What is the number of dwelling units on the property? _____

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

A0055/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kevin & Lisa Ellis (please print all names), the registered owner(s) of the property described as 75 Stoney Bay Rd. Whitefish, ON in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agent, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Lisa Ellis (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 26th day of April, 2023

ON Santoran
(witness)

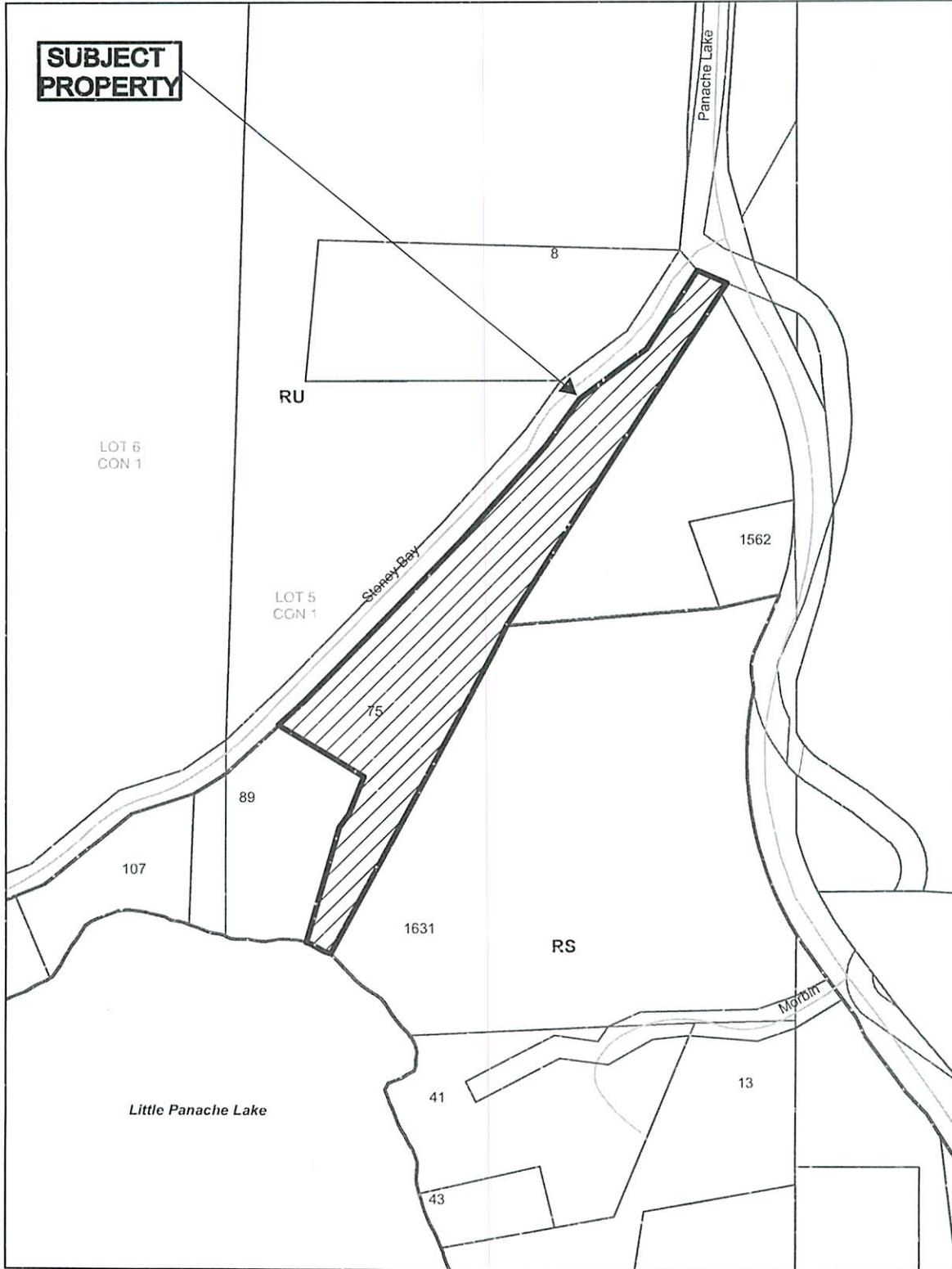
[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: KEVIN ELLIS Lisa Ellis

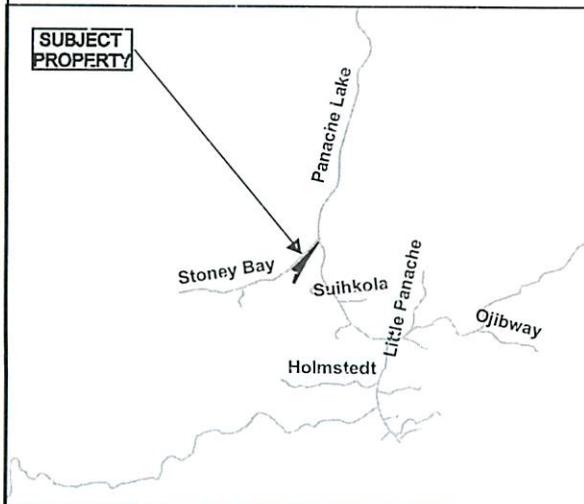
*I have authority to bind the Corporation

A0055/2023

**SUBJECT
PROPERTY**



**SUBJECT
PROPERTY**



Application for Minor Variance or Permission



Subject Property being PIN 73397-0071,
Parcel 17222 SEC SWS,
Part Broken Lot 5, Concession 1 as in LT169927,
except Part 15 on Plan 53R-8234,
Township of Louise,
75 Stoney Bay Road, Whitefish,
City of Greater Sudbury

Sketch 1, NTS
MNR Watershed

A0055/2023
Date: 2023 05 08

ENERGY EFFICIENCY - O.B.C. - SB12 - 2017

SB-12 Prescriptive Input design package: Package: AA Table: 3.1.1.3.A

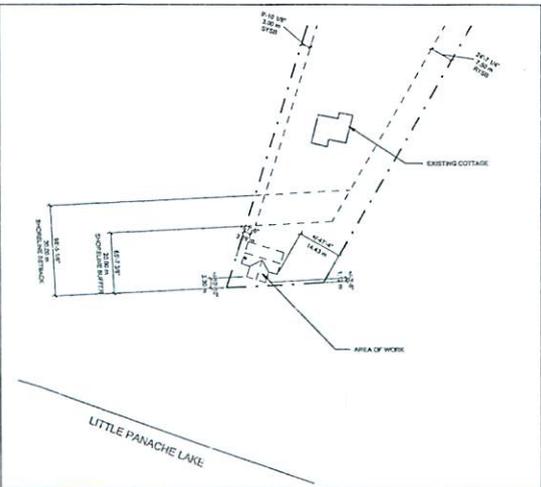
C. Project Design Conditions	
Climate Zone (SB-12) <input type="checkbox"/> Zone 1 (+5000 degree days) <input type="checkbox"/> Zone 2 (+3000 degree days)	Heating Equipment Efficiency: <input type="checkbox"/> 82% AFUE <input type="checkbox"/> 84% AFUE
Space Heating Fuel Source: <input type="checkbox"/> Gas <input type="checkbox"/> Oil <input type="checkbox"/> Propane <input type="checkbox"/> Electric <input type="checkbox"/> Solid Fuel <input type="checkbox"/> Earth Energy	
Roofs of Windows, Skylights & Glass (W, S & G) to Wall Area	Other Building Characteristics: <input type="checkbox"/> Log/Pole/Beam <input type="checkbox"/> ICF Above Grade <input type="checkbox"/> ICF Basement <input type="checkbox"/> Slab-on ground <input type="checkbox"/> Walkout Basement <input type="checkbox"/> Air Conditioning <input type="checkbox"/> Corro Line <input type="checkbox"/> Air Sourced Heat Pump (ASHP) <input type="checkbox"/> Ground Sourced Heat Pump (GSHP)
Free of walls = _____ m ² or _____ SF	W, S & G % = _____ %
Area of W, S & G = _____ m ² or _____ SF	Glaze window averaging: Cities MHA

D. Building Specifications (provide values and ratings of the energy efficiency components proposed)				
Energy Efficiency Substitutions				
<input type="checkbox"/> ICF (3.1.1.2 (2) & (3) / 3.1.1.3 (2) & (3))				
<input type="checkbox"/> Combined space heating and domestic water heating systems (3.1.1.2 (7) / 3.1.1.3 (7))				
<input type="checkbox"/> Air/lightness substitutions (Table 3.1.1.4.B) Required: _____ Permitted Substitution: _____				
Airtightness test required (Table to Design Guide Attached): _____ Required: _____ Permitted Substitution: _____				
Building Component Minimum RSI / R values or Minimum U-values Building Component Efficiency Ratings				
Thermal Insulation				
Ceiling with Attic Space	R60	R19.23	Windows/Sliding Glass Doors	U-0.11 (2)
Ceiling without Attic Space	R31	R27.85	Skylights/Glazed Roofs	U-0.12 (3)
Exposed Floor	R31	R28.81	Mechanicals	
Walls Above Grade	R17.5 (3)	R23.93	Heating Equip (A/L/E)	85%
Basement Walls	R10.4	R21.12	HRV Efficiency (SEN at 0°C)	67%
Slab (at 400mm below grade)			DRV Header (L/T)	6.0
Slab (at 400mm below grade, on heated)	R10	R11.13	DAWTR (CSA 805.1 (max. 4% efficiency))	
Slab (at 400mm above grade, on heated)	R10	R11.13	Combined Heating System	8 Showers, 2

EEDS - WALL	
ELEVATION	AREA
1100 - 1200	121.74 SF
1200 - 1300	120.94 SF
1300 - 1400	121.39 SF
1400 - 1500	121.47 SF
1500 - 1600	120.38 SF

EEDS - WINDOWS				
No.	WIDTH	HEIGHT	QTY	Area
W01	1.00	1.50	1	1.50 SF
W02	1.50	1.50	1	2.25 SF
W03	1.00	1.50	1	1.50 SF
W04	1.00	1.50	1	1.50 SF
W05	1.00	1.50	1	1.50 SF
W06	1.00	1.50	1	1.50 SF
W07	1.00	1.50	1	1.50 SF
W08	1.00	1.50	1	1.50 SF
W09	1.00	1.50	1	1.50 SF
W10	1.00	1.50	1	1.50 SF

EEDS - DOORS				
No.	TYPE	WIDTH	HEIGHT	AREA
D01	DR	1.00	2.00	2.00 SF
D02	DR	1.00	2.00	2.00 SF

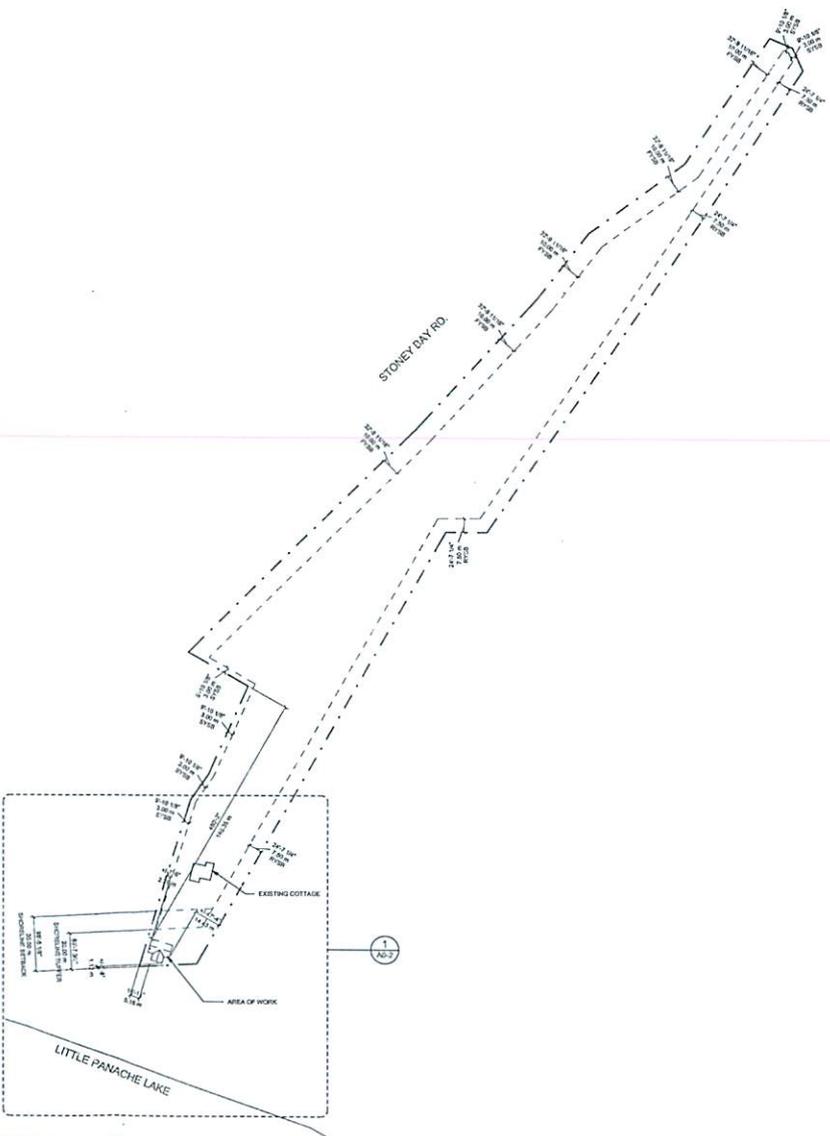


SITE REFERENCE PLAN 1" = 60' @ A0-2

BUILDING AREAS	
AREAS	SQ. FT.
BASE	120 SF

ZONED R3, RURAL SHORELINE FTSE 1026
 FTSE 7.0M
 FTSE 3.0M
 COVER 4.0M
 MAXIMUM LOT COVERAGE 10%
 MINIMUM LOT AREA 8300 SQ

4.1.2 Setback Requirements for Residential Buildings and Accessory Structures
 Notwithstanding any other provision of the By-law, the setbacks, measured for garages, lean-tos, decks, docks, sheds, water pumps and saunas and Section 4.1.1.6:
 a) No person shall erect any residential building or other accessory structure or structure above 20.0 metres in the high water mark of a lake or river.
 4.1.3 Shoreline Buffer Areas
 Notwithstanding any other provision of the By-law, the shoreline or shoreline buffer area to be set back from the high water mark of a lake or river shall be a minimum of 23.0 metres from the high water mark of a lake or river.
 Notwithstanding the above, the following areas adjacent to the high water mark of a lake or river are permitted to be exempt from the above requirements:
 a) On any residential lot,
 i) a maximum of 20% of the required shoreline buffer area, but in no case shall exceed a maximum of 75.0 m² and
 ii) the minimum length of the cleared area measured at the high water mark shall be 25% of the length of the lot, or 10.0 m, or 1.0 m, in no case shall the maximum length of cleared area measured at the high water mark exceed 23 metres in length.
 LOT AREA: 38,458 SF
 LOT COVERAGE: 0.3%



SITE REFERENCE PLAN 1" = 100'



GENERAL NOTES

- The drawings are an indication of general arrangement of construction. The contractor shall be responsible for the detailed design and construction of all components of the building.
- Any changes made to the drawings shall be approved in writing by the engineer.
- The contractor shall be responsible for the construction of all components of the building.
- The drawings are to be used as a guide only. The contractor shall be responsible for the detailed design and construction of all components of the building.

PROJECT STATUS

DESIGNED FOR PERMIT
 REVISED DATE: April 4, 2023
 REVISIONS:



PROJECT: ELLIS SALINA

75 Stoney Bay Road - 3rd floor

PROJECT NUMBER: Project No. 2023-024

DRAWN BY: GPH/CKD BY: DR. EDEB

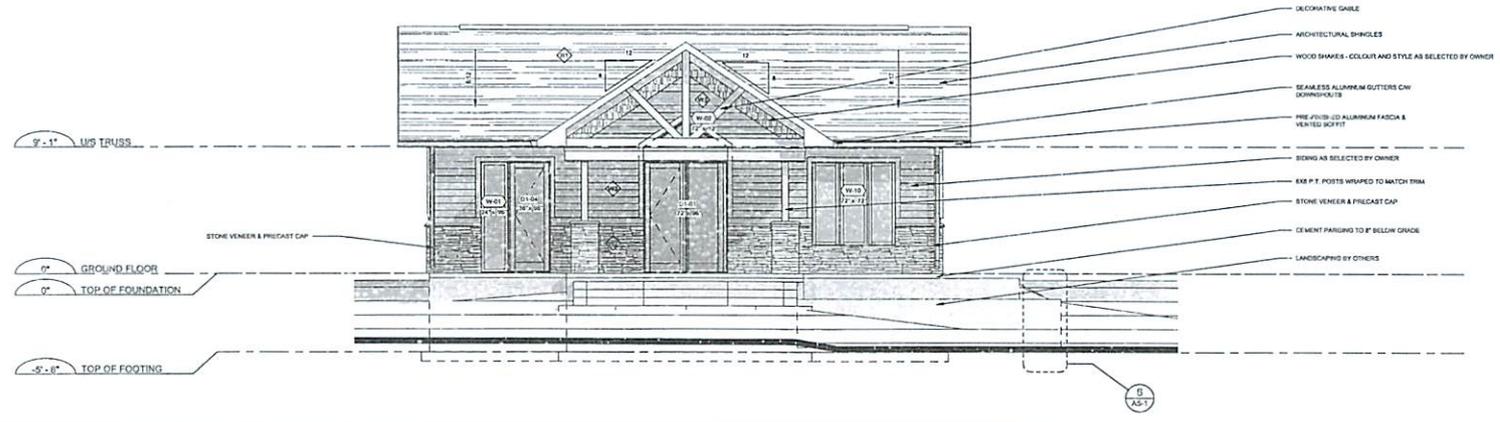
SCALE: As Indicated

CONTENTS: SITE PLAN & ENERGY EFFICIENCY CALCULATION

SHEET NUMBER: A0-2

A0055/2023 Sketch-2

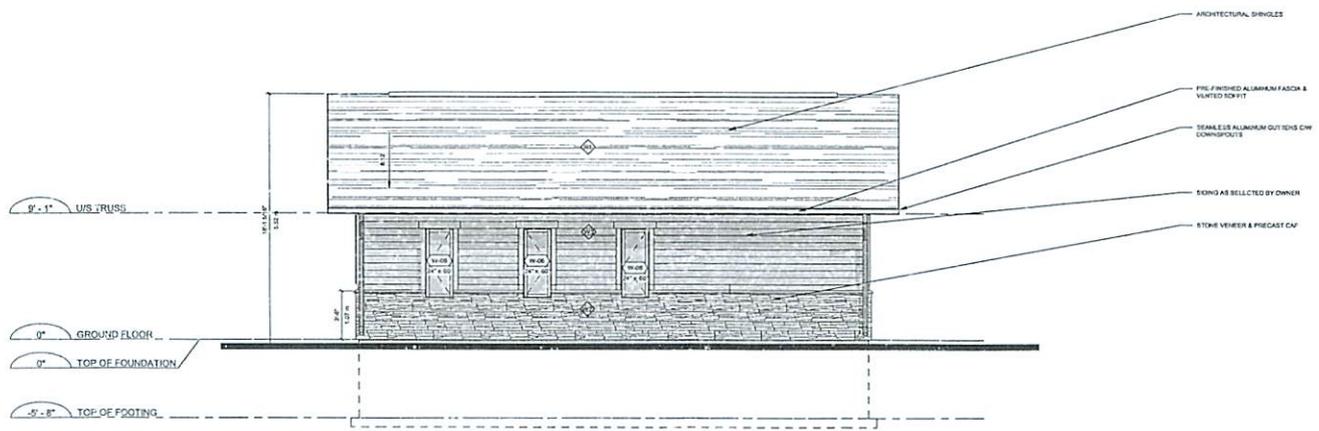
NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS & COMMENCEMENT OF CONSTRUCTION



- DECORATIVE GABLE
- ARCHITECTURAL SHINGLES
- WOOD SHAKES - COLOUR AND STYLE AS SELECTED BY OWNER
- SEAMLESS ALUMINUM GUTTERS CW/ DOWNSPOUTS
- PRE-FINISHED ALUMINUM FASCIA & VENTED SOFFIT
- SIDING AS SELECTED BY OWNER
- 6x6 P.T. POSTS WRAPPED TO MATCH TRIM
- STONE VENEER & PRECAST CAP
- CEMENT FINISHING TO 6\" BELLOW GRACE
- LANDSCAPING BY OTHERS

FRONT ELEVATION
1/4\" = 1'-0\"

NOTE:
GRADE LINES ARE REPRESENTATION ONLY, ACTUAL GRADE LINES TO BE DETERMINED ON SITE BY CONTRACTOR



- ARCHITECTURAL SHINGLES
- PRE-FINISHED ALUMINUM FASCIA & VENTED SOFFIT
- SEAMLESS ALUMINUM GUTTERS CW/ DOWNSPOUTS
- SIDING AS SELECTED BY OWNER
- STONE VENEER & PRECAST CAP

REAR ELEVATION
1/4\" = 1'-0\"



GENERAL NOTES

1. The drawings are preliminary and subject to change without notice. The contractor shall verify all dimensions and conditions on site prior to construction.
2. All changes must be in writing and approved by the architect before construction begins.
3. The contractor is to be responsible for obtaining all necessary permits and for the cost thereof.
4. The contractor shall be responsible for the accuracy of the drawings and for the cost of any errors.
5. The contractor shall be responsible for the accuracy of the drawings and for the cost of any errors.
6. The contractor shall be responsible for the accuracy of the drawings and for the cost of any errors.

PROJECT STATUS
ISSUED FOR PERMIT
ISSUED DATE
April 6, 2023

REVISIONS

PROJECT
ELIUS SALINA

PROJECT MANAGER
Pratik M. JEEJAN

DRAWN BY / CHECKED BY
DS / DS

SCALE
1/4\" = 1'-0\"

CONTENTS
FRONT & REAR ELEVATIONS

SHEET NUMBER
A3-1

A0055/2023
Sketch-3

* Existing Building

LOT 5
CONCESSION 1
TWP OF LOUISE

SURVEYOR'S REAL PROPERTY REPORT
**PART OF LOT 5
CONCESSION 1
TOWNSHIP OF LOUISE
DISTRICT OF SUDBURY**

REGIONAL MUNICIPALITY OF SUDBURY
SCALE : 1 INCH = 200 FEET
BORTOLUSSI-RUTTAN SURVEYOR'S
1996

LEGEND:

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SD DENOTES STANDARD IRON BAR
- SD# DENOTES SHORT STANDARD IRON BAR
- SD DENOTES IRON BAR
- P1 DENOTES PLAN ATTACHED TO INST. # 17222
- P2 DENOTES PLAN 539-8234
- RTL DENOTES R T LANE, CLS
- RD DENOTES ROAD IRON BAR
- CALC DENOTES CALCULATED FROM P1
- MTO DENOTES MINISTRY OF TRANSPORTATION OF ONTARIO

NOTE:

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO PART OF THE EASTERLY LIMIT OF STONEY BAY ROAD SHOWN ON A PLAN ATTACHED TO INST # 17222 HAVING A BEARING OF N44°05'E

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:
THE FIELD SURVEY ON THIS PLAN WAS COMPLETED ON THE 6TH DAY OF MAY, 1996

MAY 15, 1996

Steven C. Ruttan
STEVEN C. RUTTAN, OLS

DESCRIPTION:

PARCEL 17222 SWS, BEING PART OF LOT 5, CONCESSION 1, TOWNSHIP OF LOUISE

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:

THERE ARE NO EASEMENTS OR RIGHTS-OF-WAY

NOTES:

THERE IS A PARTIAL OLD POST AND WIRE FENCE LOCATED AS SHOWN ON SAID PLAN

NOTE THE LOCATION OF THE OVERHEAD SERVICE WIRES

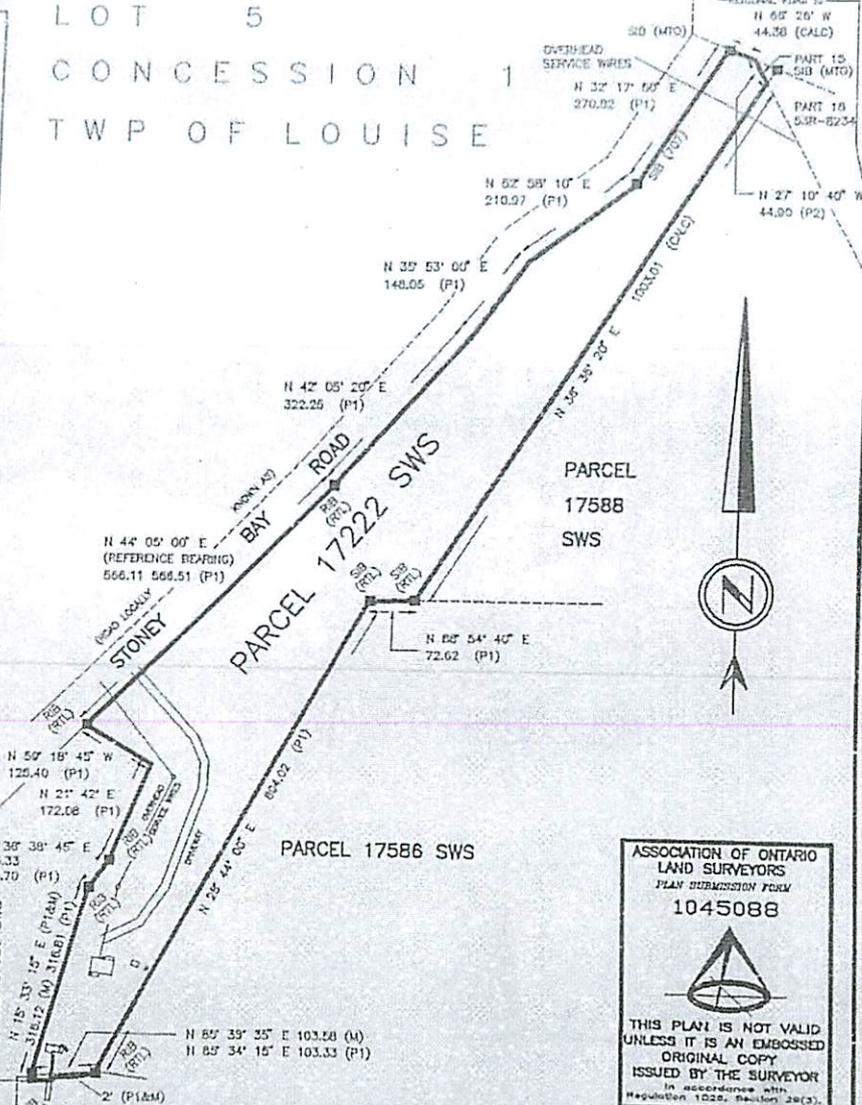
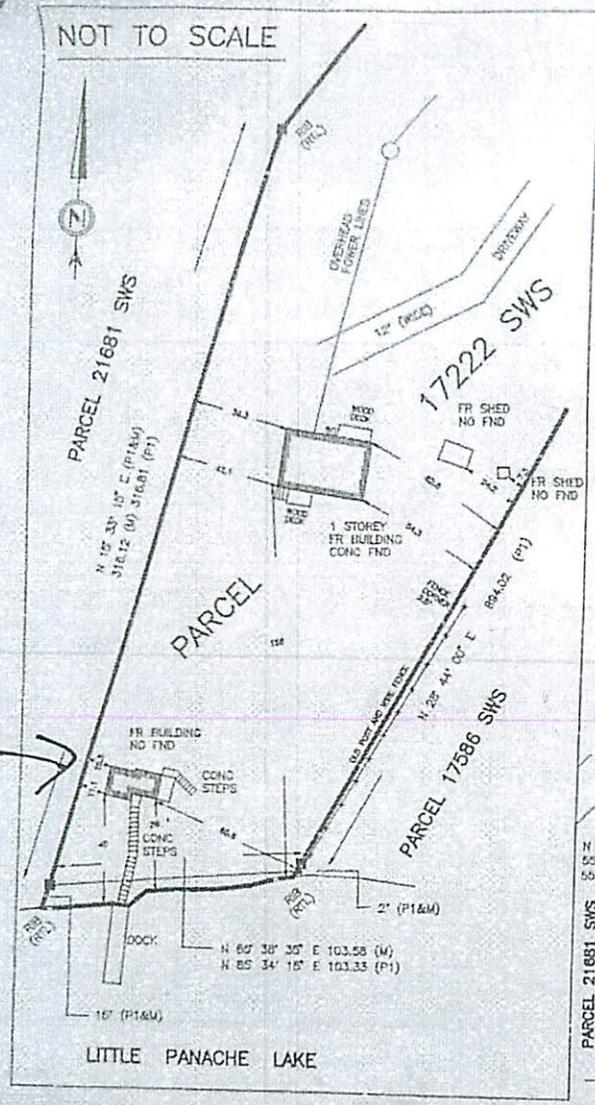
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:

NOT CERTIFIED BY THIS REPORT

THIS PLAN AND REPORT IS PREPARED FOR:
MR. K. ELLIS

FILE: 96-06

A0055/2023
Sketch-4



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1045088

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 20(3).

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER
THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN
PERMISSION OF BORTOLUSSI-RUTTAN SURVEYOR'S
© BORTOLUSSI-RUTTAN SURVEYOR'S 1996

NOT TO SCALE



New Building

ENERGY EFFICIENCY - O.B.C. - SB12 - 2017

SB-12 Prescriptive (and energy package) Package # 12030 4773A

C. Project Design Conditions	
Climate Zone (ICF)	Heating Efficiency Efficiency
Zone 1 (16743) (except days)	8.0% AFUE
Zone 2 (17424) (except days)	10.0% AFUE
Zone 3 (17424) (except days)	10.0% AFUE
Zone 4 (17424) (except days)	10.0% AFUE
Zone 5 (17424) (except days)	10.0% AFUE
Zone 6 (17424) (except days)	10.0% AFUE
Zone 7 (17424) (except days)	10.0% AFUE
Zone 8 (17424) (except days)	10.0% AFUE
Zone 9 (17424) (except days)	10.0% AFUE
Zone 10 (17424) (except days)	10.0% AFUE
Zone 11 (17424) (except days)	10.0% AFUE
Zone 12 (17424) (except days)	10.0% AFUE
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Zone 14 (17424) (except days)	10.0% AFUE
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Zone 22 (17424) (except days)	10.0% AFUE
Zone 23 (17424) (except days)	10.0% AFUE
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Zone 66 (17424) (except days)	10.0% AFUE
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Zone 89 (17424) (except days)	10.0% AFUE
Zone 90 (17424) (except days)	10.0% AFUE
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Zone 94 (17424) (except days)	10.0% AFUE
Zone 95 (17424) (except days)	10.0% AFUE
Zone 96 (17424) (except days)	10.0% AFUE
Zone 97 (17424) (except days)	10.0% AFUE
Zone 98 (17424) (except days)	10.0% AFUE
Zone 99 (17424) (except days)	10.0% AFUE
Zone 100 (17424) (except days)	10.0% AFUE

D. Building Specifications (break values and range of the energy efficiency compliance proposed)

Energy Efficiency Substitutions

ICF (3.1.1.2 (4) & (5) & (3.1.1.3 (1) & (2))

Component space heating and domestic water heating systems (3.1.1.2 (7) & (3.1.1.3 (7))

Alternative substitutions

Table 3.1.1.4.B. Required	Proposed Substitution
Table 3.1.1.4.C. Required	Proposed Substitution

Building Component	Minimum RSI / U Value or Maximum U Value	Building Component	Efficiency Rating
Thermal Insulation	2.00 (R-11) (Objective)	Windows & Doors	U-Value: 0.35
Ceiling with Attic Space	R-49	Windows/Siding Glass Coeffs	2.0 (U-0.3)
Ceiling without Attic Space	R-38	Skylight/Glazed Entry	0.44 (U-0.3)
Exposed Floor	R-30	Mechanicals	
Walls Above Grade	R-20 (U-0.05)	Heating Equipment	90%
Basement Walls	R-25 (U-0.04)	HVAC Efficiency (SEER & EER)	95%
Slab-on-grade below grade	R-10	Condensed Heating System	14 Showers/2
Subgrade any (below below grade)	R-10		
Subgrade below grade (in heated)	R-10		

EEDS - WALL

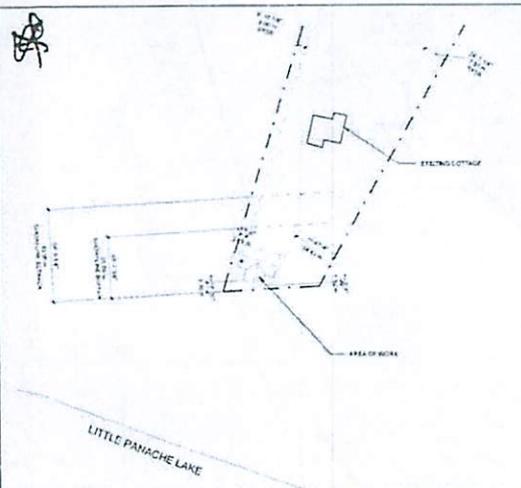
ELEVATION	AREA
EEDS-East	127.74 SF
EEDS-West	127.74 SF
EEDS-South	743.34 SF
EEDS-North	127.74 SF

EEDS - WINDOWS

No.	WIDTH	HEIGHT	QTY.	Area
W1	3'0"	7'0"	1	21.00 SF
W2	3'0"	7'0"	1	21.00 SF
W3	3'0"	7'0"	1	21.00 SF
W4	3'0"	7'0"	1	21.00 SF
W5	3'0"	7'0"	1	21.00 SF
W6	3'0"	7'0"	1	21.00 SF
W7	3'0"	7'0"	1	21.00 SF
W8	3'0"	7'0"	1	21.00 SF
W9	3'0"	7'0"	1	21.00 SF
W10	3'0"	7'0"	1	21.00 SF
W11	3'0"	7'0"	1	21.00 SF
W12	3'0"	7'0"	1	21.00 SF
W13	3'0"	7'0"	1	21.00 SF
W14	3'0"	7'0"	1	21.00 SF
W15	3'0"	7'0"	1	21.00 SF
W16	3'0"	7'0"	1	21.00 SF
W17	3'0"	7'0"	1	21.00 SF
W18	3'0"	7'0"	1	21.00 SF
W19	3'0"	7'0"	1	21.00 SF
W20	3'0"	7'0"	1	21.00 SF
W21	3'0"	7'0"	1	21.00 SF
W22	3'0"	7'0"	1	21.00 SF
W23	3'0"	7'0"	1	21.00 SF
W24	3'0"	7'0"	1	21.00 SF
W25	3'0"	7'0"	1	21.00 SF
W26	3'0"	7'0"	1	21.00 SF
W27	3'0"	7'0"	1	21.00 SF
W28	3'0"	7'0"	1	21.00 SF
W29	3'0"	7'0"	1	21.00 SF
W30	3'0"	7'0"	1	21.00 SF
W31	3'0"	7'0"	1	21.00 SF
W32	3'0"	7'0"	1	21.00 SF
W33	3'0"	7'0"	1	21.00 SF
W34	3'0"	7'0"	1	21.00 SF
W35	3'0"	7'0"	1	21.00 SF
W36	3'0"	7'0"	1	21.00 SF
W37	3'0"	7'0"	1	21.00 SF
W38	3'0"	7'0"	1	21.00 SF
W39	3'0"	7'0"	1	21.00 SF
W40	3'0"	7'0"	1	21.00 SF
W41	3'0"	7'0"	1	21.00 SF
W42	3'0"	7'0"	1	21.00 SF
W43	3'0"	7'0"	1	21.00 SF
W44	3'0"	7'0"	1	21.00 SF
W45	3'0"	7'0"	1	21.00 SF
W46	3'0"	7'0"	1	21.00 SF
W47	3'0"	7'0"	1	21.00 SF
W48	3'0"	7'0"	1	21.00 SF
W49	3'0"	7'0"	1	21.00 SF
W50	3'0"	7'0"	1	21.00 SF
W51	3'0"	7'0"	1	21.00 SF
W52	3'0"	7'0"	1	21.00 SF
W53	3'0"	7'0"	1	21.00 SF
W54	3'0"	7'0"	1	21.00 SF
W55	3'0"	7'0"	1	21.00 SF
W56	3'0"	7'0"	1	21.00 SF
W57	3'0"	7'0"	1	21.00 SF
W58	3'0"	7'0"	1	21.00 SF
W59	3'0"	7'0"	1	21.00 SF
W60	3'0"	7'0"	1	21.00 SF
W61	3'0"	7'0"	1	21.00 SF
W62	3'0"	7'0"	1	21.00 SF
W63	3'0"	7'0"	1	21.00 SF
W64	3'0"	7'0"	1	21.00 SF
W65	3'0"	7'0"	1	21.00 SF
W66	3'0"	7'0"	1	21.00 SF
W67	3'0"	7'0"	1	21.00 SF
W68	3'0"	7'0"	1	21.00 SF
W69	3'0"	7'0"	1	21.00 SF
W70	3'0"	7'0"	1	21.00 SF
W71	3'0"	7'0"	1	21.00 SF
W72	3'0"	7'0"	1	21.00 SF
W73	3'0"	7'0"	1	21.00 SF
W74	3'0"	7'0"	1	21.00 SF
W75	3'0"	7'0"	1	21.00 SF
W76	3'0"	7'0"	1	21.00 SF
W77	3'0"	7'0"	1	21.00 SF
W78	3'0"	7'0"	1	21.00 SF
W79	3'0"	7'0"	1	21.00 SF
W80	3'0"	7'0"	1	21.00 SF
W81	3'0"	7'0"	1	21.00 SF
W82	3'0"	7'0"	1	21.00 SF
W83	3'0"	7'0"	1	21.00 SF
W84	3'0"	7'0"	1	21.00 SF
W85	3'0"	7'0"	1	21.00 SF
W86	3'0"	7'0"	1	21.00 SF
W87	3'0"	7'0"	1	21.00 SF
W88	3'0"	7'0"	1	21.00 SF
W89	3'0"	7'0"	1	21.00 SF
W90	3'0"	7'0"	1	21.00 SF
W91	3'0"	7'0"	1	21.00 SF
W92	3'0"	7'0"	1	21.00 SF
W93	3'0"	7'0"	1	21.00 SF
W94	3'0"	7'0"	1	21.00 SF
W95	3'0"	7'0"	1	21.00 SF
W96	3'0"	7'0"	1	21.00 SF
W97	3'0"	7'0"	1	21.00 SF
W98	3'0"	7'0"	1	21.00 SF
W99	3'0"	7'0"	1	21.00 SF
W100	3'0"	7'0"	1	21.00 SF

EEDS - DOORS

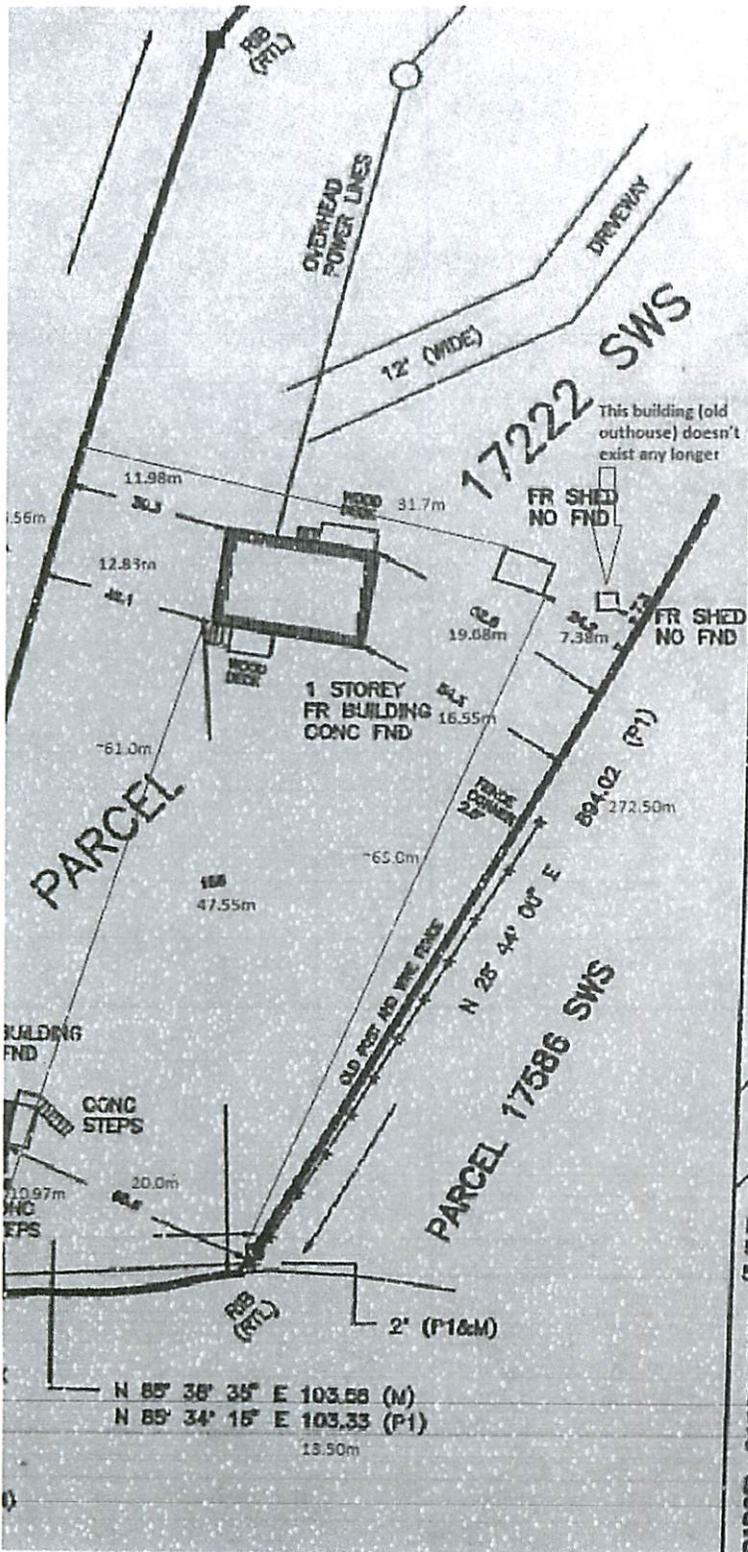
No.	TYPE	WIDTH	HEIGHT	AREA
D1	3'	7'	21.00 SF	
D2	3'	7'	21.00 SF	



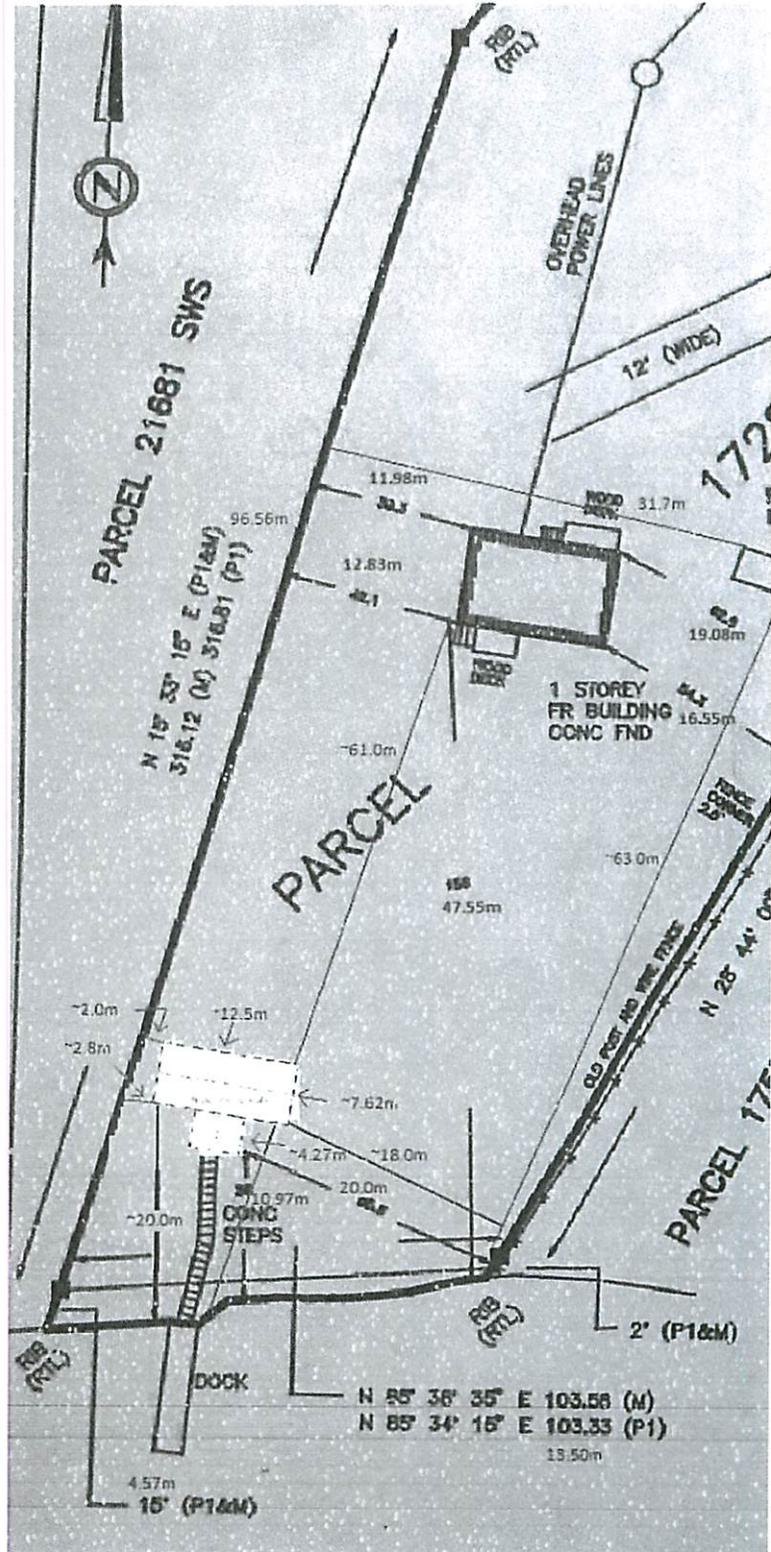
BUILDING AREAS

AREAS	SQ. FT.
AREA 1	10,000
AREA 2	10,000
AREA 3	10,000
AREA 4	10,000
AREA 5	10,000
AREA 6	10,000
AREA 7	10,000
AREA 8	10,000
AREA 9	10,000
AREA 10	10,000
AREA 11	10,000
AREA 12	10,000
AREA 13	10,000
AREA 14	10,000
AREA 15	10,000
AREA 16	10,000
AREA 17	10,000
AREA 18	10,000
AREA 19	10,000
AREA 20	10,000
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AREA 22	10,000
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AREA 28	10,000
AREA 29	10,000
AREA 30	10,000
AREA 31	10,000
AREA 32	10,000
AREA 33	10,000
AREA 34	10,000
AREA 35	10,000
AREA 36	10,000
AREA 37	10,000
AREA 38	10,000
AREA 39	10,000
AREA 40	10,000
AREA 41	10,000
AREA 42	10,000
AREA 43	10,000
AREA 44	10,000
AREA 45	10,000
AREA 46	10,000
AREA 47	10,000
AREA 48	10,000
AREA 49	10,000
AREA 50	10

Existing Site Configuration



Proposed Site Configuration



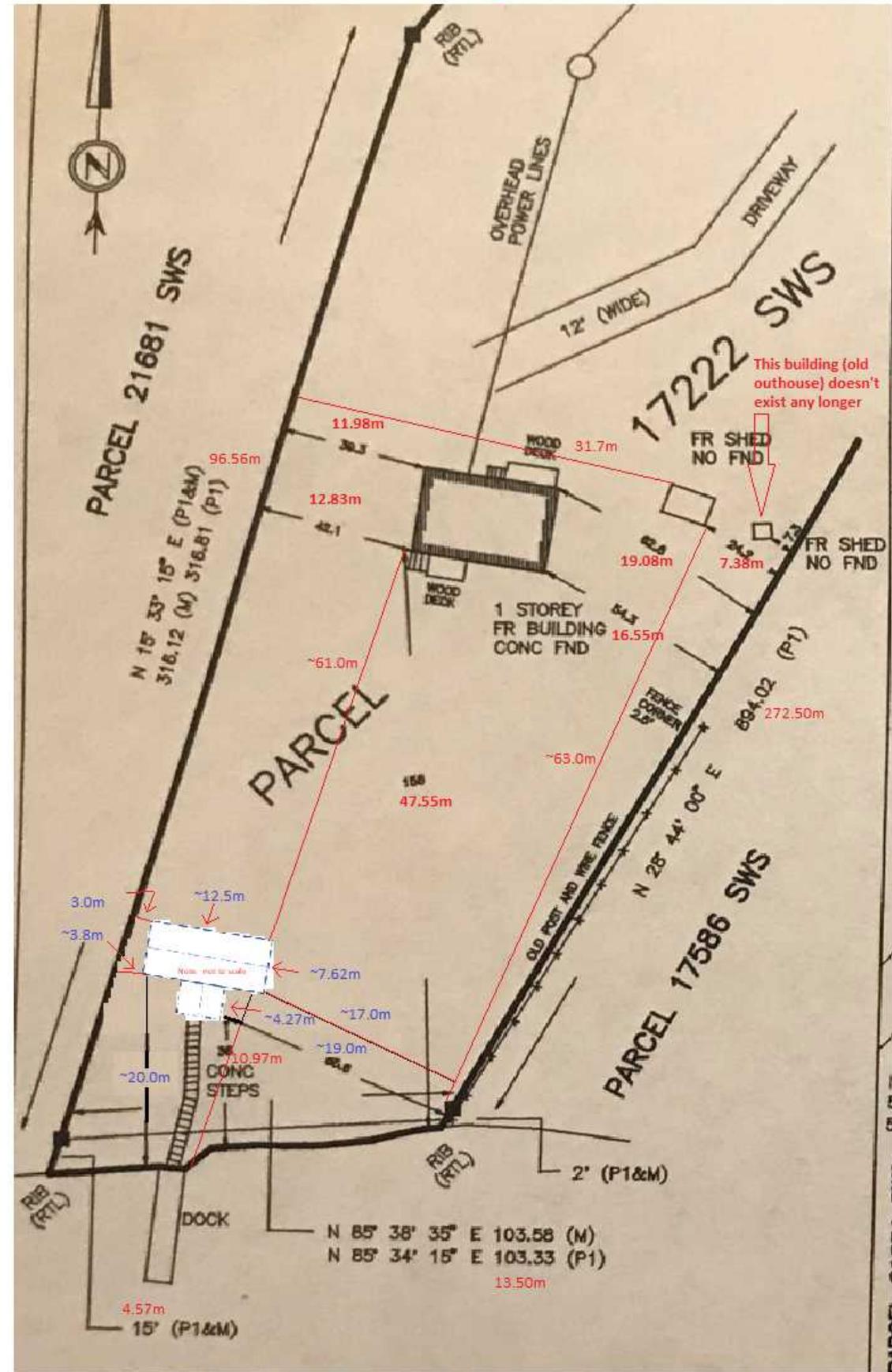
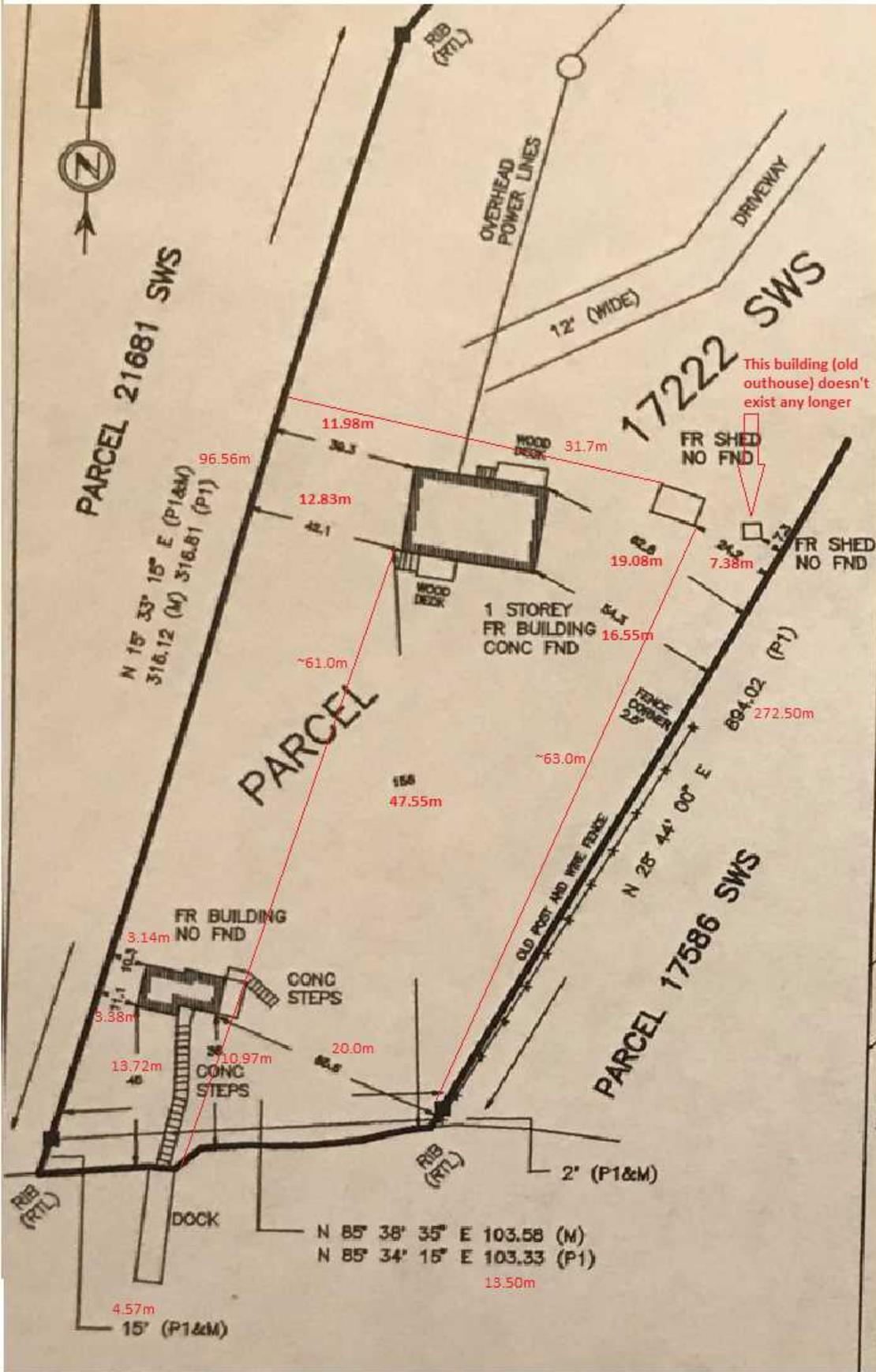
NOTES: Measurements in blue

- 1) These are best guess measurements. Once excavation is undertaken building may be moved from property line and upwards towards primary building to address bed rock profile.
- 2) The numbers indicated include the dimensions of the wall footprint PLUS the 2 foot (0.61m) distance from new building to right side of property line is best guess per comment in #1 above.
- 3) Distance from new building to right side of property line is best guess per comment in #1 above.

A0055/2023
Sketch-6

Existing Site Configuration

Proposed Site Configuration



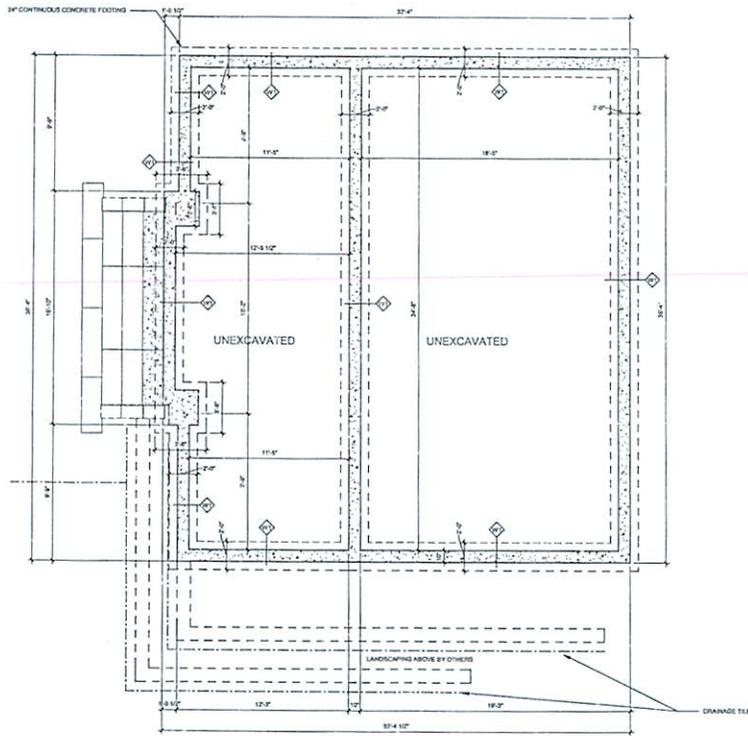
NOTES: Measurements in blue

- 1) These are best guess measurements. Once excavation is undertaken building may be moved slightly further away from property line and upwards towards primary building to address bed rock profile.
- 2) The numbers indicated include the dimensions of the wall footprint PLUS the 2 foot (0.61m) eaves line.
- 3) Distance from new building to right side of property line is best guess per comment in #1 above.

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS & COMMENCEMENT OF CONSTRUCTION

TYPICAL NOTES:

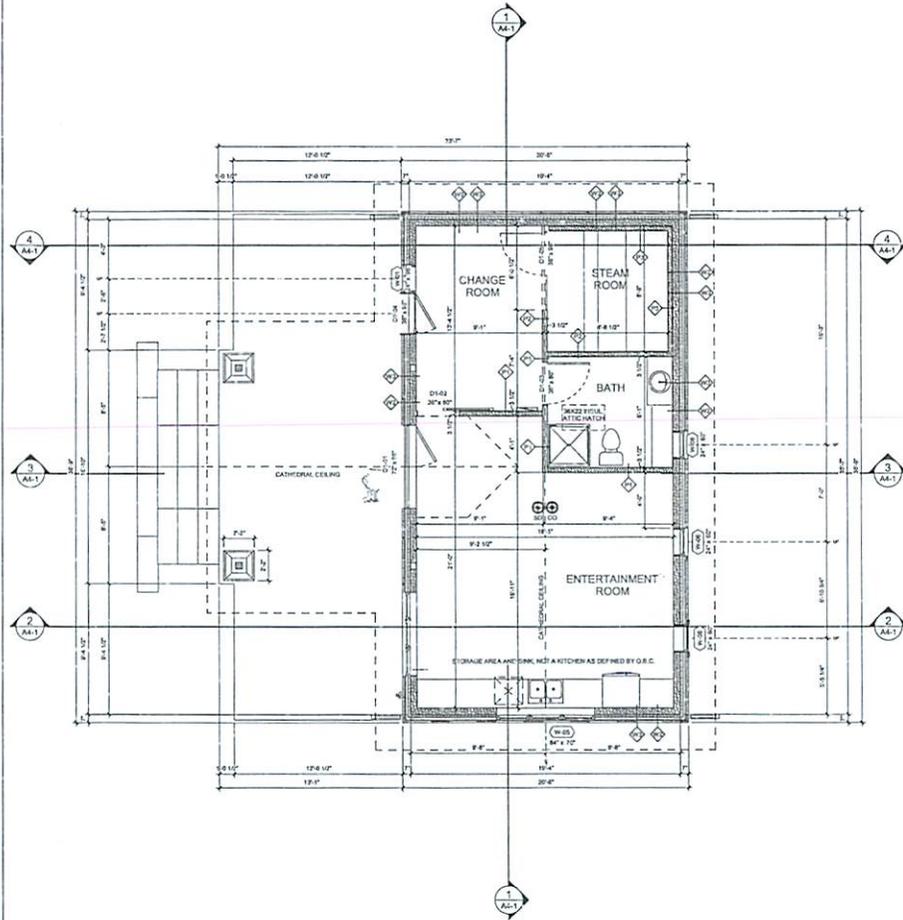
1. MINIMUM TYPICAL RESISTANCE RATING OF NOT LESS THAN R-30 DIRECTLY ABOVE ACCESS HATCHES AND NEAR EAVES AT INNER SURFACES OF EXTERIOR WALLS
2. R-30 IS PROTECTION FROM DAMPNESS
3. WOOD FRAMING MEMBERS THAT ARE NOT FIRE TREATED WITH A WULFIRE PRESERVATIVE AND THAT ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE TREATED WITH A WULFIRE PRESERVATIVE AND SHALL BE SUPPORTED ON CONCRETE BY NOT LESS THAN 2x8x12 POLYETHYLENE FILM OR TYPE 5 ROLL ROOFING DAMPROOFING MATERIAL REFERRED TO ABOVE IS NOT REQUIRED WHERE THE WOOD MEMBERS AT LEAST 108 MM ABOVE THE GROUND.
4. BLOCKING REQUIRED FOR FUTURE BRASS BARS IN MAIN SATHTROOM
5. SURFACE DRAINAGE MUST BE DIRECTED AWAY FROM THE BUILDING
6. RESISTANCE TO FORCED ENTRY REQUIREMENTS OF DOORS AND WINDOWS MUST BE PROVIDED AND IN ACCORDANCE WITH DIV. 8 SECTIONS 8.6.8 TO 8.7.8



FOUNDATION PLAN
1/8" = 1'-0"

NOTE:
ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF THE CF WALL
ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF THE STUDS

NOTE:
WHERE HEIGHT OF DECK EXCEEDS 23 FT A 3FT HIGH GUARD IS TO BE PROVIDED.



GROUND FLOOR - CONSTRUCTION PLAN
1/8" = 1'-0"



- GENERAL NOTES
1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 2. All work shall be done in accordance with the approved plans and specifications.
 3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 4. These drawings shall be used for the construction of the project and shall not be used for any other purpose without the written consent of the architect.
 5. The architect shall not be responsible for any errors or omissions in these drawings.

PROJECT STATUS:
ISSUED FOR PERMIT
ISSUED DATE:
April 8, 2023
REVISIONS:

PROJECT:
ELLIS SAUNA

13 Stone Bay Road, Sault Ste. Marie, Ontario
PROJECT NUMBER:
P1000 No. 2023-024
DRAWN BY / CHECKED BY:
DG / FEG
SCALE:
1/8" = 1'-0"
COMMENTS:
FOUNDATION & GROUND FLOOR PLAN

SHEET NUMBER:
A1-1

A0055/2023
Sketch-8

STRUCTURAL NOTES

- ALL JOISTS TO HAVE BRIDGING AS PER D.B.C.
- ALL LATEL MEMBERS TO BE TRIMMED TOGETHER WITH NOT LESS THAN 3" WALS IN A DOUBLE ROW SPACE NOT MORE THAN 17 3/4" APART (ENCL. 8.23.12.2)

LATEL & BEAM SUPPORT

ALL BEAM SUPPORTS SHALL HAVE NOT LESS THAN 3" VZ BEARING.
CONTRACTOR TO FOLLOW LATEL TRAILL OVER EACH OPENING TO AVOID FLOOR INSULATION WITHIN THE WALL ASSEMBLY, A TYPICAL BUL FOR ALL WINDOWS IS NOT ALLOWED.

LATEL SPINS ARE AS FOLLOWS

ROOF AND CEILING ONLY (NRM MAX)

- 2.234 20" MAX
- 2.238 24" MAX
- 2.239 24" MAX
- 2.240 24" MAX
- 2.241 24" MAX
- 2.242 24" MAX

ROOF AND CEILING ONLY (SMA MAX - SUPPORTING TABLE)

- 2.234 20" MAX
- 2.235 20" MAX
- 2.238 24" MAX
- 2.240 24" MAX
- 2.242 24" MAX

ROOF, CEILING AND 1 STOREY ONLY

- 2.234 20" MAX
- 2.238 24" MAX
- 2.239 24" MAX
- 2.240 24" MAX
- 2.242 24" MAX

ALL JOISTS HANGERS ARE TO BE NAILD - SCREWS ARE NOT ACCEPTABLE

3. POST LEGEND

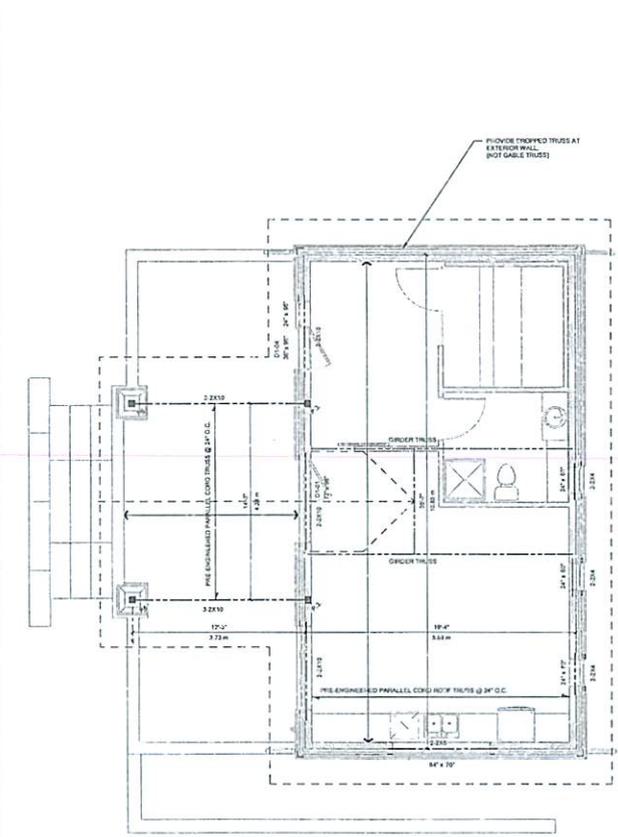
- P.1 TYLE PORT - 1/2" DIA. STAINLESS SUPPORT COLUMN, 1/2" TYP. BURIED BY MIN.
- P.2 1 KING POST + 1 JACK POST TYPICAL @ ALL LATEL SPANS LESS THAN 10'
- P.3 1 KING POST + 2 JACK POST TYPICAL @ ALL LATEL SPANS 10' TO 12'
- P.4 1 KING POST + 3 JACK POST TYPICAL @ ALL LATEL SPANS 12' ON MORE
- P.5 PRE-ENGINEERED VIA GUSSET
- P.6 8x8 POST

4. FOOTING LEGEND - TO BE USED WITH P.1 POSTS ONLY

- F.1 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)
- F.2 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)
- F.3 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)
- F.4 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)
- F.5 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)
- F.6 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)
- F.7 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)
- F.8 30"x36" PAD FOOTING WITH 3" DIA @ 18" E/W (1720 N/A MAX)

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS & COMMENCEMENT OF CONSTRUCTION

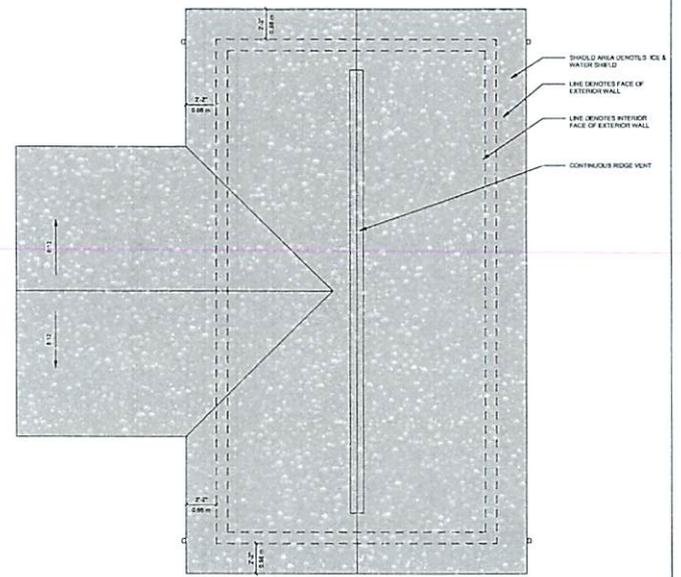
NOTE: IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO COORDINATE ENG. LATEL FOR GUSSET TRUSSES FALLING OVER OPENINGS



GROUND FLOOR - FRAMING PLAN
1/4" = 1'-0"

NOTE: IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO COORDINATE ENG. LATEL FOR GUSSET TRUSSES FALLING OVER OPENINGS

TOTAL INSULATED CEILING AREA = 748.38 SQ. FT.
TOTAL AREA OF ROOF VENTING REQUIRED = 358.38 SQ. IN.
VENT AREA SHOULD NOT BE LESS THAN 100% OF THE INSULATED CEILING AREA



ROOF PLAN
1/4" = 1'-0"

A00 5/2023
Sketch-9



GENERAL NOTES

- The design is based on the information provided by the client. It is the responsibility of the client to ensure that the information is accurate and complete.
- The design is based on the current building codes and standards in force at the time of design.
- The design is based on the assumption that the ground conditions are as shown on the site plan.
- The design is based on the assumption that the wind direction is as shown on the site plan.
- The design is based on the assumption that the ground level is as shown on the site plan.
- The design is based on the assumption that the ground level is as shown on the site plan.
- The design is based on the assumption that the ground level is as shown on the site plan.
- The design is based on the assumption that the ground level is as shown on the site plan.

PROJECT STATUS

ISSUED FOR PERMIT

ISSUED DATE: April 6, 2023

REVISIONS

PROJECT

ELIUS SALINA

PROJECT MANAGER

Project No. 2023-024

DRAWN BY / CHECKED BY

DR JEES

SCALE

1/4" = 1'-0"

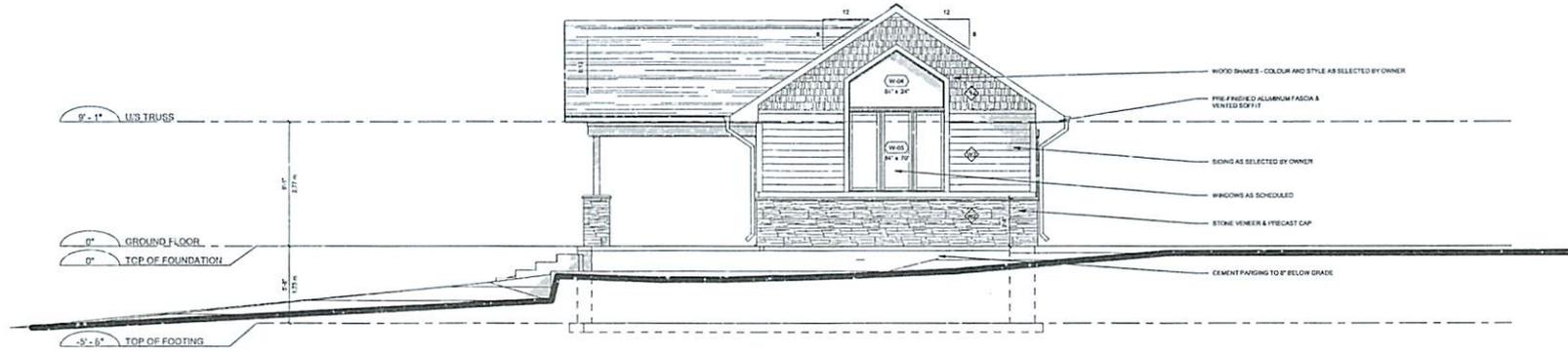
CONTENTS

ROOF & FRAMING PLANS

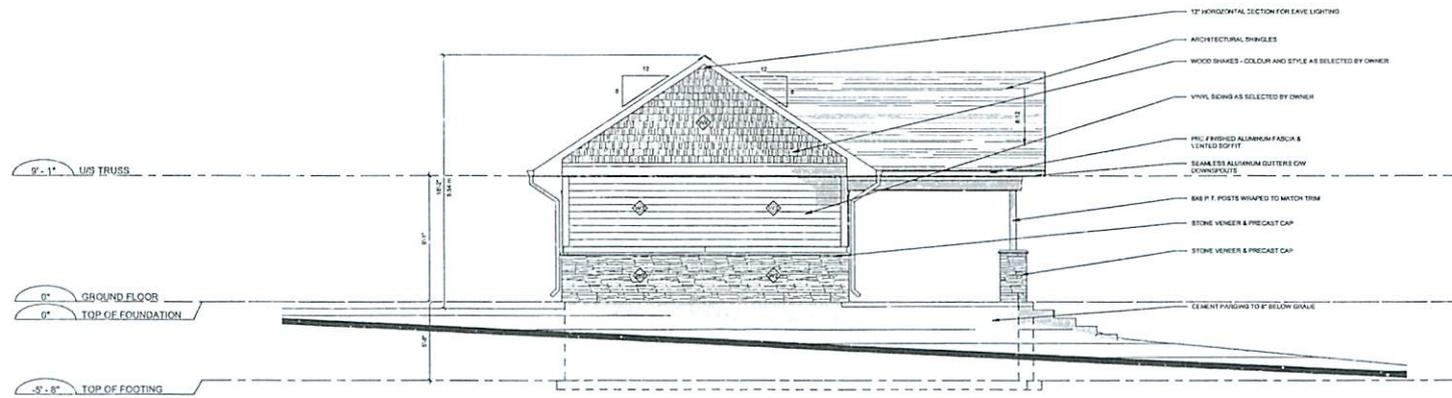
SHEET NUMBER

A2-1

NOTE
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS & COMMENCEMENT OF CONSTRUCTION



RIGHT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"



GENERAL NOTES

- The drawings are for contract documents for the property of the owner. The drawings are not to be used for any other purpose without the written consent of the architect.
- All changes shall be in the form of a written change order and shall be signed by the architect and the owner.
- The contractor is to verify dimensions of all materials before installation. The contractor is to verify the quantity of materials before installation. The contractor is to verify the quality of materials before installation.
- The contractor is to verify the quality of all materials before installation. The contractor is to verify the quantity of materials before installation. The contractor is to verify the quality of materials before installation.
- The drawings are to be used for the construction of the project.

PROJECT STATUS
ISSUED FOR PERMIT
ISSUED DATE
April 6, 2023

REVISIONS

PROJECT
ELLIS SALINA

TO BEING BUILT FROM: SULLY

PROJECT NUMBER
Project No. 2022-024

DRAWN BY / CHECKED BY
DS / JKG

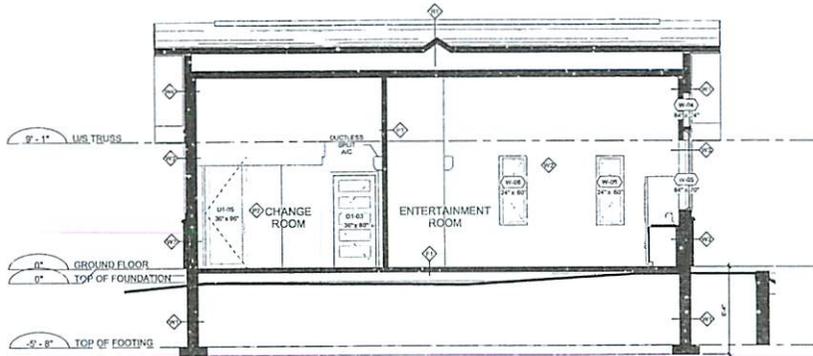
SCALE
1/4" = 1'-0"

CONTENTS
SIDE ELEVATIONS

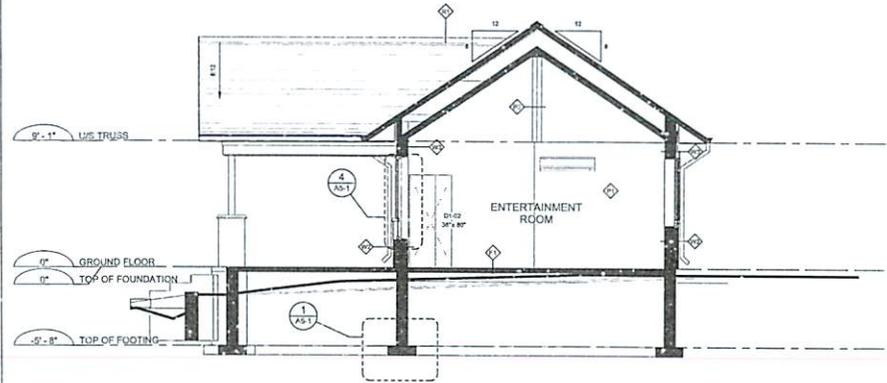
SHEET NUMBER
A3-2

A0055/2023
Sketch-10

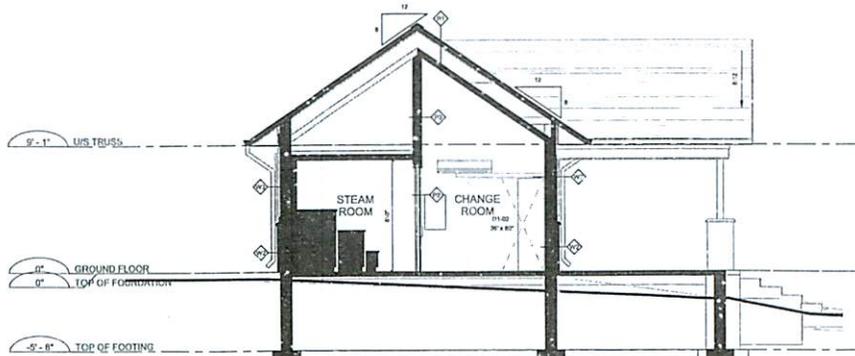
NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS & COMMENCEMENT OF CONSTRUCTION



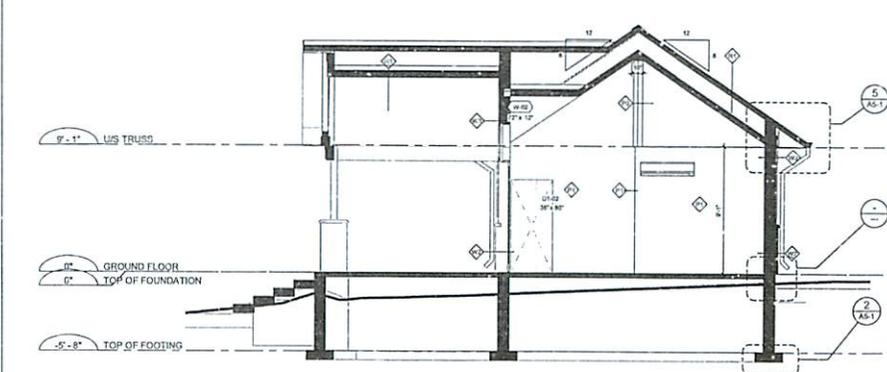
BUILDING SECTION 1
1/8" = 1'-0" (A1-1)



BUILDING SECTION 2
1/8" = 1'-0" (A1-1)



BUILDING SECTION 3
1/8" = 1'-0" (A1-1)



BUILDING SECTION 4
1/8" = 1'-0" (A1-1)

A0055/2023
Sketch-11



GENERAL NOTES

- The building is intended to be used as a... (text partially obscured)
- Any changes to the design shall be... (text partially obscured)
- The contractor is to verify all dimensions... (text partially obscured)
- There is a provision for the supply of... (text partially obscured)

PROJECT STATUS
ISSUED FOR PERMIT

ISSUED DATE
April 8, 2023

REVISIONS

PROJECT
ELLIS SALINA

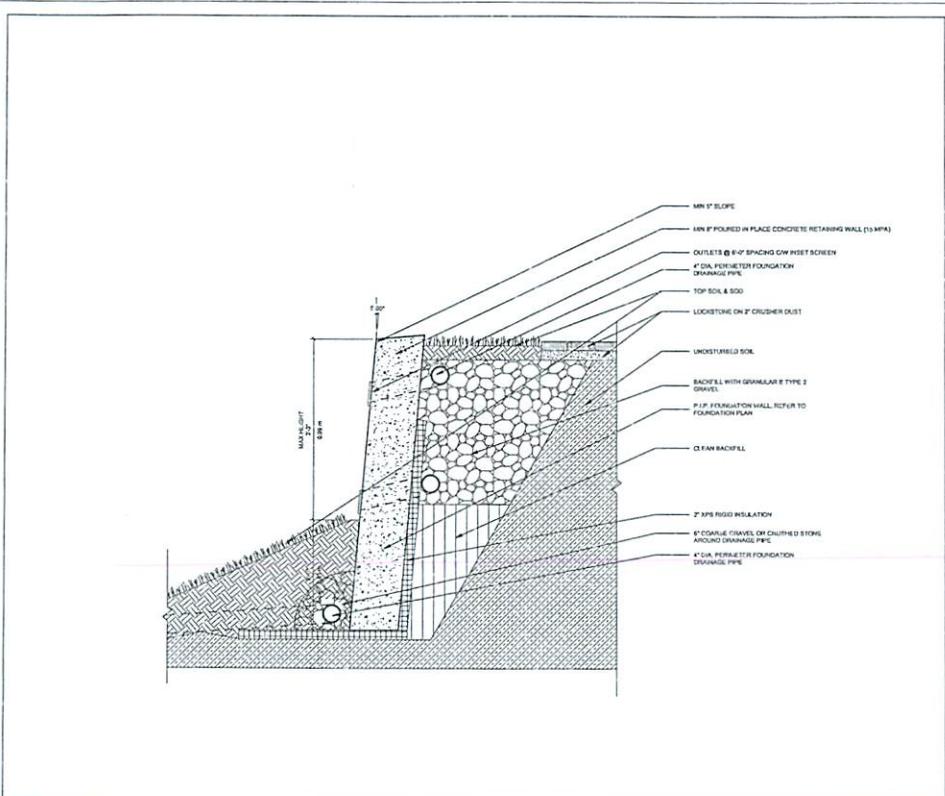
PROJECT MANAGER
PROJECT NO. 022-024

DRAWN BY / CHECKED BY
DB / DEG

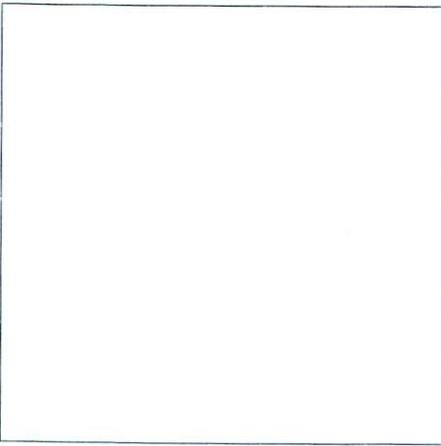
SCALE
1/8" = 1'-0"

CONTENTS
BUILDING SECTIONS

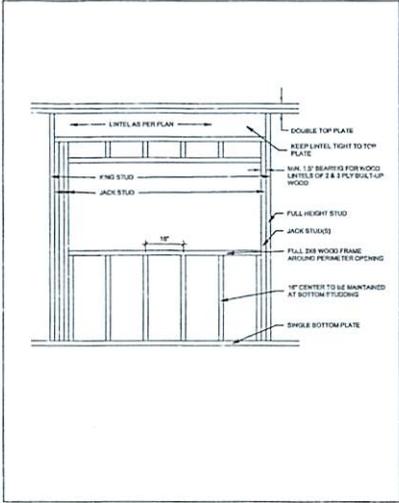
SHEET NUMBER
A4-1



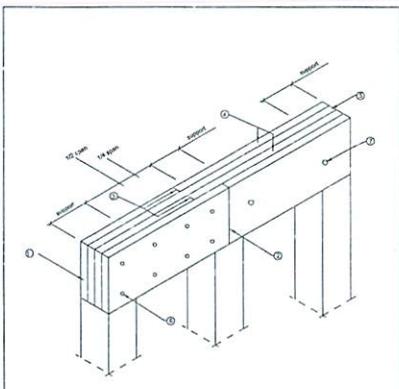
RETAINING WALL 1" = 1'-0" (6) AA-1



TYPICAL - BEDROCK ANCHOR 1" = 1'-0" (1) AA-1



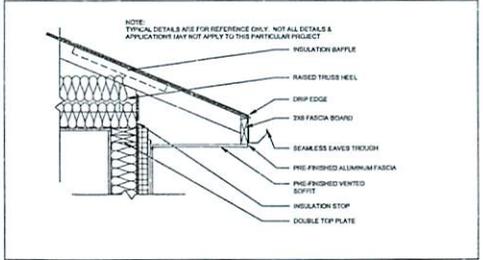
FRAMING - WALL OPENING 1/4" = 1'-0"



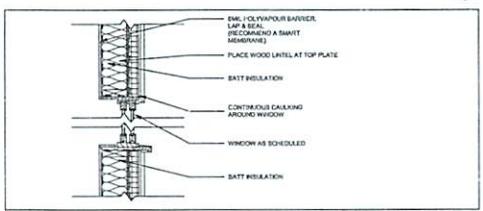
FRAMING - BUILT-UP BEAM 1" = 1'-0"

1. INDIVIDUAL MEMBERS MINIMUM OF 1 1/2" THICK INSTALLED ON EDGE.
2. INDIVIDUAL MEMBERS BUTT-JOIN TO FORM A JOINT SHALL OCCUR OVER A SUPPORT.
3. WHERE THE BEAM IS CONTINUOUS OVER MORE THAN ONE SPAN, JOINTS ARE PERMITTED AT OR WITHIN 1/3 OF THE END QUARTER OF THE CLEAR SPAN PROVIDED THE JOINT IS AT, NOT THICE CLOSEST TO THE ENDS OF THE BEAM.
4. MEMBERS JOINED AT QUARTER POINTS TO BE CONTINUOUS OVER ADJACENT SUPPORTS.
5. JOINTS IN ADJACENT MEMBERS OF A BEAM LOCATED AT OR NEAR END QUARTER POINTS SHALL NOT OCCUR IN ADJACENT MEMBERS AT THE SAME QUARTER POINTS AND NOT REDUCE THE EFFECTIVE BEAM WIDTH BY MORE THAN HALF.
6. INDIVIDUAL MEMBERS FASTENED TOGETHER WITH JOINTS IN LINE OF BEAM:
 BOLTS NOT LESS THAN 1/2" CHAMFER BOLTS
 BOLTS EQUIPPED WITH WASHERS
 BOLTS SPACING 12" ON CENTER IN EACH ROW
 BOLTS LOCATED 4" TO 6" FROM THE END OF EACH PIECE
7. WHERE INDIVIDUAL MEMBERS ARE NOT FASTENED TOGETHER WITH WIRE TIE TOGETHER WITH WIRE:
 BOLTS NOT LESS THAN 1/2" CHAMFER BOLTS
 BOLTS EQUIPPED WITH WASHERS
 BOLTS SPACING 12" ON CENTER IN EACH ROW
 BOLTS LOCATED NOT MORE THAN 1/3 1/2" FROM THE ENDS OF MEMBERS

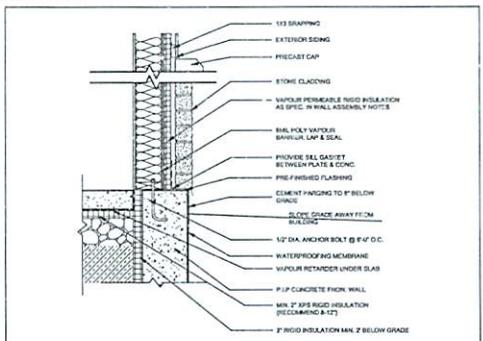
FRAMING - BUILT-UP BEAM 1" = 1'-0"



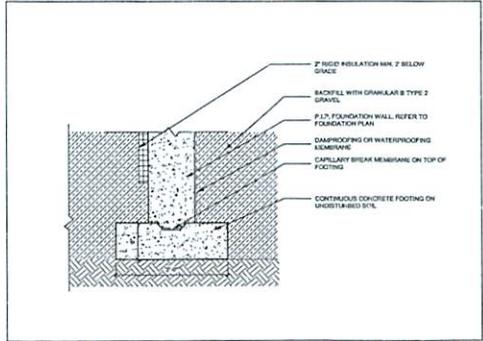
TYPICAL - TRUSS 1" = 1'-0" (5) AA-1



TYPICAL - WINDOW 1" = 1'-0" (4) AA-1



SILL PLATE - P.I.P. CONC. 1" = 1'-0" (3)



FOOTING - P.I.P. CONC. 1" = 1'-0" (2) AA-1

GENERAL NOTES
 1. The primary responsibility of the contractor is to ensure that all work is done in accordance with the approved drawings and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
 2. Any change orders to the approved drawings shall be submitted in writing and approved by the architect before work commences.
 3. The contractor shall ensure that all materials and workmanship are in accordance with the approved drawings and specifications.
 4. The contractor shall ensure that all work is done in accordance with the approved drawings and specifications.
 5. The contractor shall ensure that all work is done in accordance with the approved drawings and specifications.

PROJECT STATUS
 ISSUED FOR PERMIT
 ISSUED DATE
 April 8, 2023
 REVISIONS

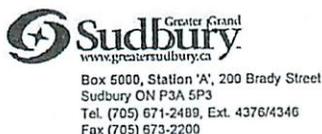
PROJECT
 ELLIS SALINA

75 Howe Street - 3rd Floor
 PROJECT NUMBER
 Project No. 2322-04
 DRAWN BY / CHECKED BY
 DS / JGG
 SCALE
 As Indicated
 CONTENTS
 TYPICAL DETAILS

SHEET NUMBER
 AA-1

A0055/2023
 Sketch - 12

Revised.



Office Use Only 2023.01.01	
A 0057/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
A APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Tara and Mark Alexander Email: [REDACTED]
 Mailing Address: 3921 Wain Ave 198 Birch Hill Road P3G 1K1 Home P: [REDACTED]
 City: Sudbury, Ontario Postal Code: P3E 0P2 Business Phone: [REDACTED]
 Fax Phone: [REDACTED]

- If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify. alyk

Name of Agent: Greg Bruce for Timber Block Email: [REDACTED]
 Mailing Address: 1936 Commerce Park Drive Home P: [REDACTED]
 City: Innisfil, Ontario Postal Code: L9S 4A3 Business: [REDACTED] Fax Phone: [REDACTED]
 Note: Unless otherwise requested, all communication will be sent to the agent, if any. mer

- Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application). Tara Alexander

Name: ScoliaBank
 Mailing Address: 44 King St West
 City: Toronto, Ontario Postal Code: M5H 1H1
 will not be present at hearing.

- Current Official Plan designation: Rural Current Zoning By-law designation: R1-2

- Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.41.2 minimum setback to waterbody	30m	10.76m	19.24m
4.41.3 20 m shoreline buffer requirement	20m	10.76m	9.24m
4.41.4 limitation of types of structures within 20m	20m	10.76m	9.24m
4.41.2 c) minimum leaching bed setback	30m	bed 24.94m	5.06m
		tank 21.37m	8.63m

- Is there an eave encroachment? Yes No If 'Yes', size of eaves: .46 (m)

c) Description of Proposal:
To have existing front yard setback for legal non-complying home recognized as appropriate to reconstruct a new single family residential dwelling of modest size on this small but legally non-complying lot.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
This setback required is necessary to allow sufficient backyard setback to use for the proposed septic system that ensures minimum distances are maintained for separation from a #10-15 and adjacent structures, and property lines.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73477-0096 Township: Broder
 Lot No.: PT LT4 Concession No.: 4 Parcel(s): 30029 SES
 Subdivision Plan No.: Lot: Reference Plan No.: Part(s):
 Municipal Address or Street(s): 198 Birch Hill Road

7) Date of acquisition of subject land: December 15th, 2022

8) Dimensions of land affected.

Frontage 51.1 (m) Depth 41.6 +/- (m) Area 1124 +/- (m²) Width of Street 13.6 (m)

Particulars of all buildings:	Existing		Shed	Proposed	
	House			House	
Ground Floor Area:	140.6	6.25m (m ²)		174.19	(m ²)
Gross Floor Area:	140.6	6.25m (m ²)		238.85	(m ²)
No. of storeys:	1			1.5	
Width:	18.9	2.25m (m)		27.1 irregular	(m)
Length:	7.8	2.25m (m)		11.2 irregular	(m)
Height:	4.75 +/-	2.25m (m)		7.2m	(m)

9) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	10.76	(m)	10.76	(m)
Rear:	14.78	(m)	14.09	(m)
Side:	3.54	(m)	1.25	(m)
Side:	6.86	(m)	4.7	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1989

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): single family residential Length of time: 53 yrs

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property?

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: single family residential/open space

A0034/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. coverage) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, Mark Alexander (please print all names), the registered owner(s) of the property described as 148 Birch Hill Road

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Mark Alexander (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 9th day of March, 2023

[Signature]
(Witness)

[Signature]
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Mark Alexander

*I have authority to bind the Corporation

A0034/2023



Sewage System Permit

POST THIS NOTICE ON SITE

Public Health Sudbury & Districts
1300 Paris Street, Sudbury, ON P3E 3A3
Telephone: 705.522.9200, ext. 398 / Fax: 705.677.9607

Permit Number: 104-22-SP005

Date Issued: May 30, 2022

Owners' Name:
Rosa Barone

Agents' Name:
Bruce Tait, Bruce Tait Construction

Legal Description:

District:
Sudbury

Municipality:
City of Greater Sudbury

Township:
Broder

Lot:	Concession:	Parcel:	Plan:	Sublot:
4	4			

Street Address: 198 Birch Hill Road

Other:

Work Authorized By Permit:

of bedrooms: 2
of bathrooms: 2

Approval for a:	Class 4 Filter Bed	Consisting of:	
Septic Tank Capacity:	3600 L	Filter Bed Area:	28 m ²
Holding Tank Capacity:	L	Contact Area:	28 m ²
Leaching Bed Distribution Pipe:	m	Soil Mantle Area:	m ²
Soil Mantle Area:	m ²	Stone Layer Area:	m ²
Shallow Buried Trench:	m	Sand Layer Area:	m ²
		Soil Mantle Area:	m ²

Comments: Section 11 approval where setback distance from surface water is 15 meters rather than the required 30 meters.

Substantial Inspection Notification: At least 5 days notice must be given to the Sewage System Inspector prior to backfilling.

Note: At least one set of approved drawings, specifications and plans must be maintained at the construction site. No changes or additions to this project may be undertaken without prior written approval of the Inspector.

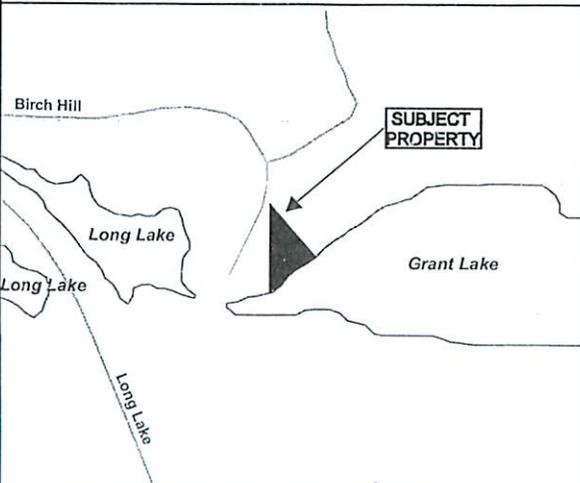
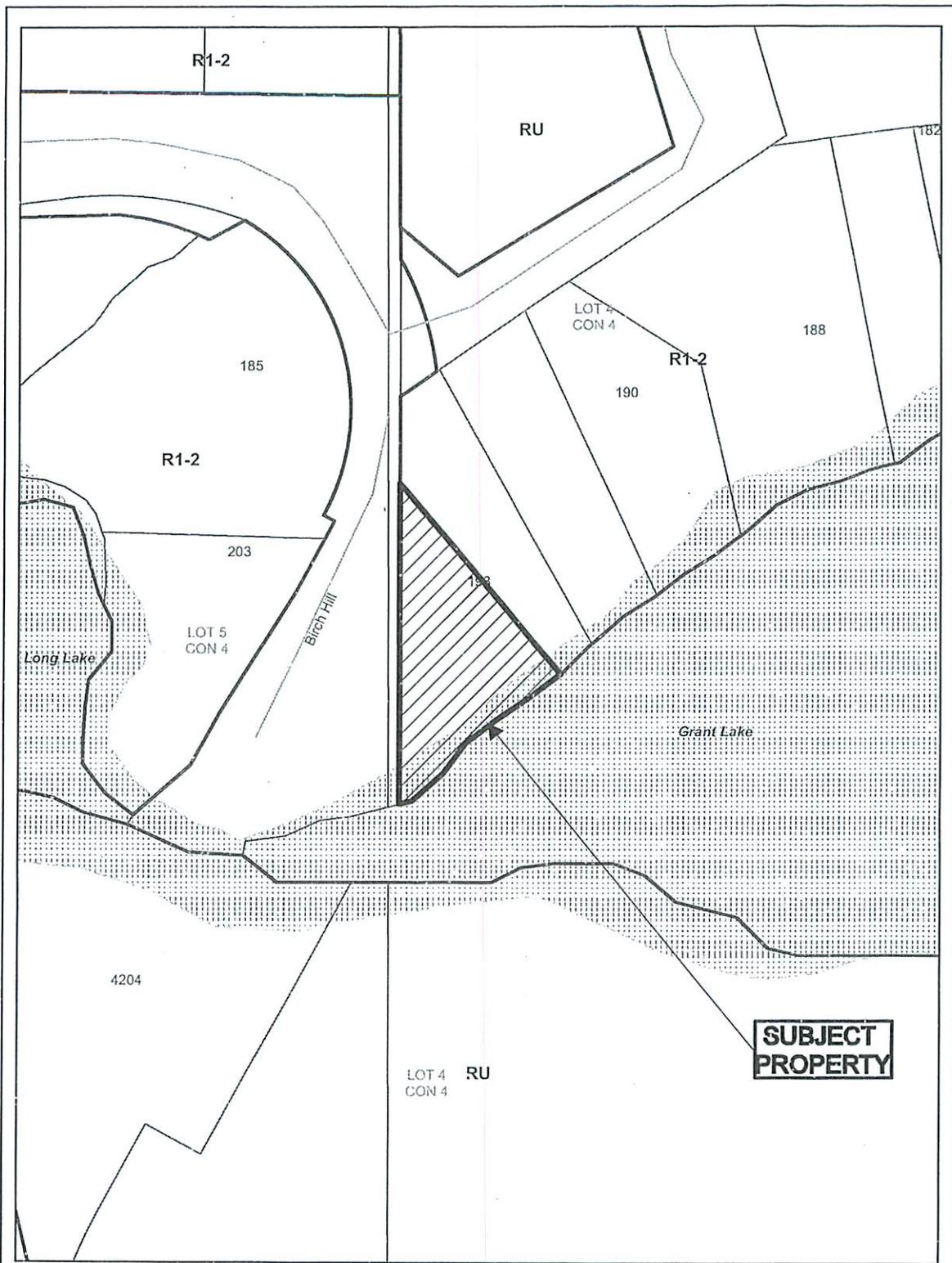
The owner/agent and contractor share responsibility for ensuring that all work is carried out in accordance with this Permit, the Building Code Act, and Public Health Sudbury & Districts' By-laws.

Permit Recommended By:

Signature:

Alan Ferguson, BSc, BHS (Public Health), CPHI(C.)

A0034/2023

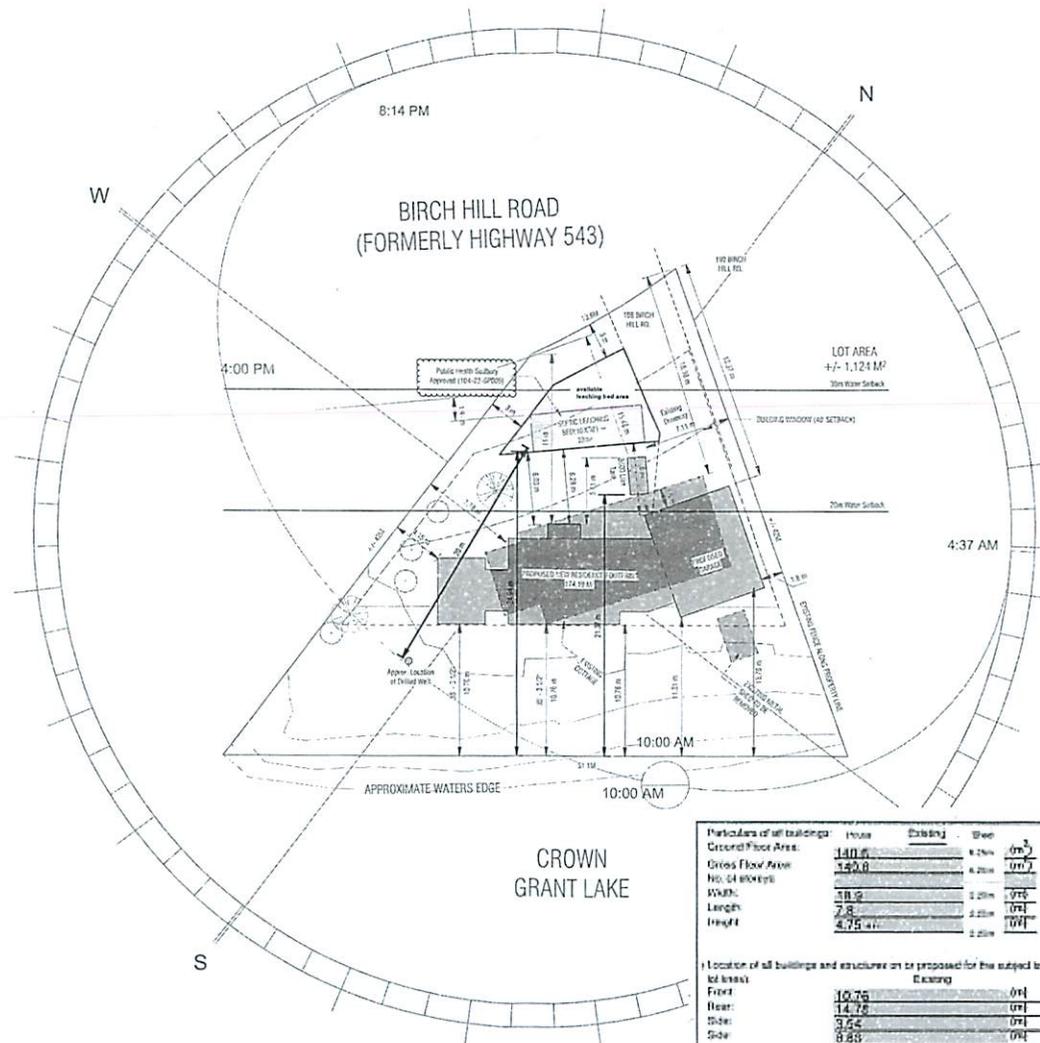


Application for Minor Variance or Permission



PIN 73477-0096,
 Parcel 30029 SEC SES,
 Part Lot 4, Concession 4,
 as in LT201331 except LT251846,
 Township of Broder,
 198 Birch Hill Road, Sudbury,
 City of Greater Sudbury

NOT FOR CONSTRUCTION



Particulars of all buildings:	House Existing	Shed	House Proposed	Shed Proposed
Ground Floor Area:	140.6 (m ²)	8.28m (m ²)	174.10 (m ²)	1 (m ²)
Gross Floor Area:	150.0 (m ²)	4.28m (m ²)	238.80 (m ²)	1 (m ²)
No. of stories:	1	1	1	1
Width:	18.0 (m)	2.28m (m)	27.1 irregular (m)	1 (m)
Length:	7.8 (m)	2.28m (m)	11.2 irregular (m)	1 (m)
Height:	4.75 (m)	2.28m (m)	7.0m (m)	1 (m)

Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines):	Existing	Proposed	Height
Front:	10.75 (m)	10.75 (m)	30m
Rear:	14.70 (m)	14.00 (m)	7.5m
Side:	9.54 (m)	1.25 (m)	1.20m
Shed:	8.85 (m)	4.7 (m)	1.20m

A0034/2023
Sketch-2



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0035/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Margaret Ralph Email: [REDACTED]
 Mailing Address: 166A Wickie Rd Home: [REDACTED]
 City: Worthington Postal Code: P0M 3H0 Business Phone: _____
 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Larry Ralph Email: [REDACTED]
 Mailing Address: 166A Wickie Rd Home: [REDACTED]
 City: Worthington Postal Code: P0M 3H0 Business Phone: _____
 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NA
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: Mineral Resource Current Zoning By-law designation: SLS(4)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.4 Height	5	6.04	1.04

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Garage 6.04m in height

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
allows for extra storage.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: TELL
 Lot No.: 1 Concession No.: 1 Parcel(s): _____
 Subdivision Plan No.: S3M-1166 Lot: 14 Reference Plan No.: S3M-1166 Part(s): _____
 Municipal Address or Street(s): 166 A Wickie.

7) Date of acquisition of subject land. about 12 yrs

8) Dimensions of land affected.

Frontage 83.63 (m) Depth 87.2 (m) Area 7292.5 (m²) Width of Street _____ (m)

9) Particulars of all buildings:	<u>House</u>	<u>Sauna Existing</u>	<u>Shed</u>	<u>Garage Proposed</u>	
Ground Floor Area:	<u>202.6</u>	<u>26.95</u>	<u>11.47 (m²)</u>	<u>89.06</u>	<u>(m²)</u>
Gross Floor Area:	<u>202.6</u>	<u>26.95</u>	<u>11.47 (m²)</u>	<u>111.36</u>	<u>(m²)</u>
No. of storeys:	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>	<u>(Loft)</u>
Width:	<u>10.3</u>	<u>4.9</u>	<u>3.1 (m)</u>	<u>7.3</u>	<u>(m)</u>
Length:	<u>19.67</u>	<u>5.5</u>	<u>3.7 (m)</u>	<u>12.2</u>	<u>(m)</u>
Height:	<u>4.6</u>	<u>3.7</u>	<u>3.7 (m)</u>	<u>6.1</u>	<u>(m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	<u>House</u>	<u>Sauna Existing</u>	<u>Shed</u>	<u>Proposed</u>	
Front:	<u>6.4</u>	<u>5.1±</u>	<u>5.1 (m)</u>	<u>31</u>	<u>(m)</u>
Rear:	<u>50±</u>	<u>76±</u>	<u>70 (m)</u>	<u>30</u>	<u>(m)</u>
Side:	<u>6.4±</u>	<u>30±</u>	<u>5.1 (m)</u>	<u>19</u>	<u>(m)</u>
Side:	<u>60±</u>	<u>35±</u>	<u>40 (m)</u>	<u>40</u>	<u>(m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input checked="" type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input checked="" type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

House Sauna and Shed Aug 2016.

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Seasonal Length of time: Aug 2016.

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1 dwelling

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Seasonal

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18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): High water mark A008/2016
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Margaret Ralph (please print all names), the registered owner(s) of the property described as 166A Wickie Rd.

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Larry Ralph (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 17 day of March, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

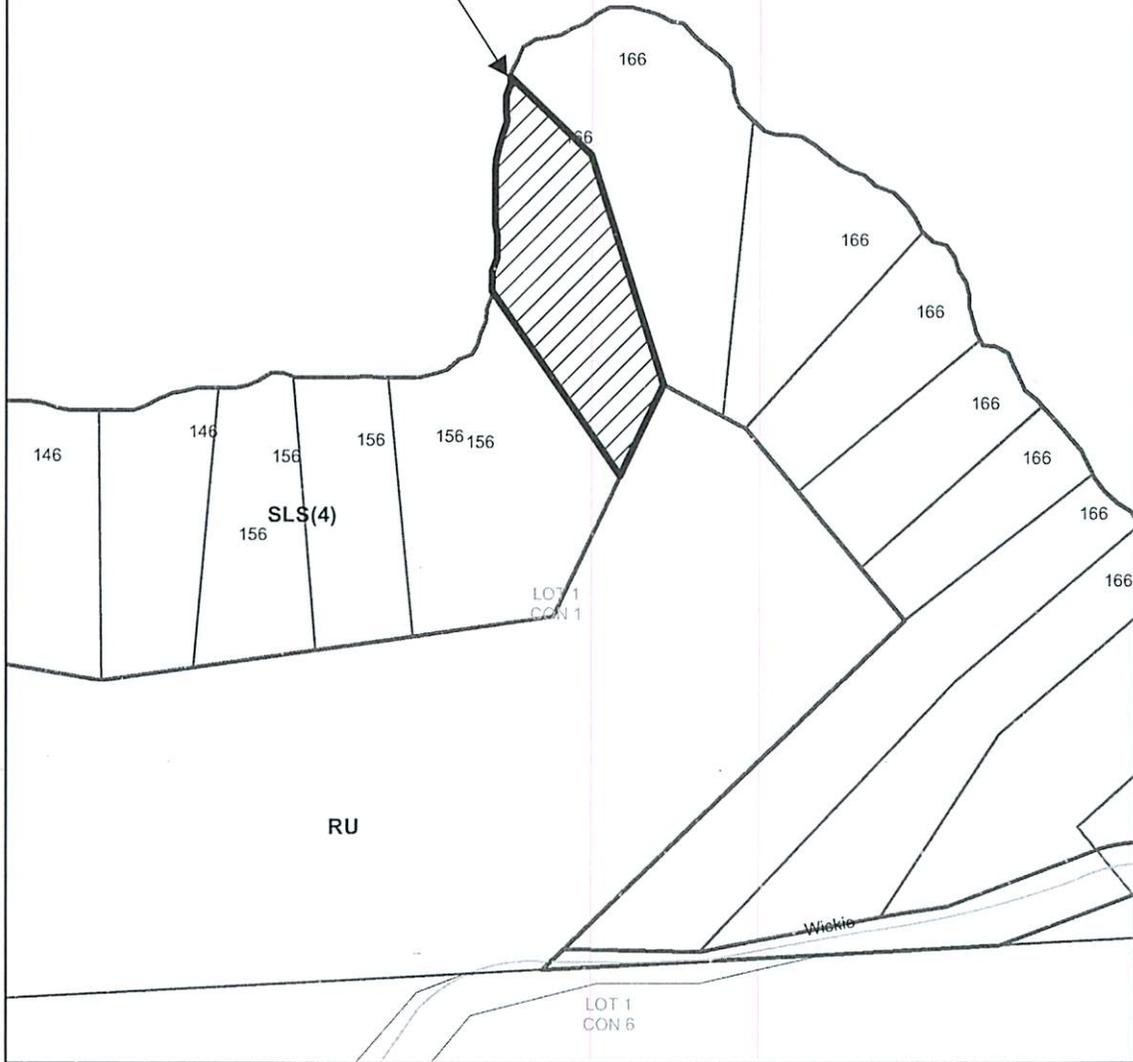
Print Name: Margaret Ralph

*I have authority to bind the Corporation A0035/2023

**SUBJECT
PROPERTY**

2 SLS(4)
LOT 1
CON 1

Fairbank Lake



**SUBJECT
PROPERTY**



**Application for Minor
Variance or Permission**

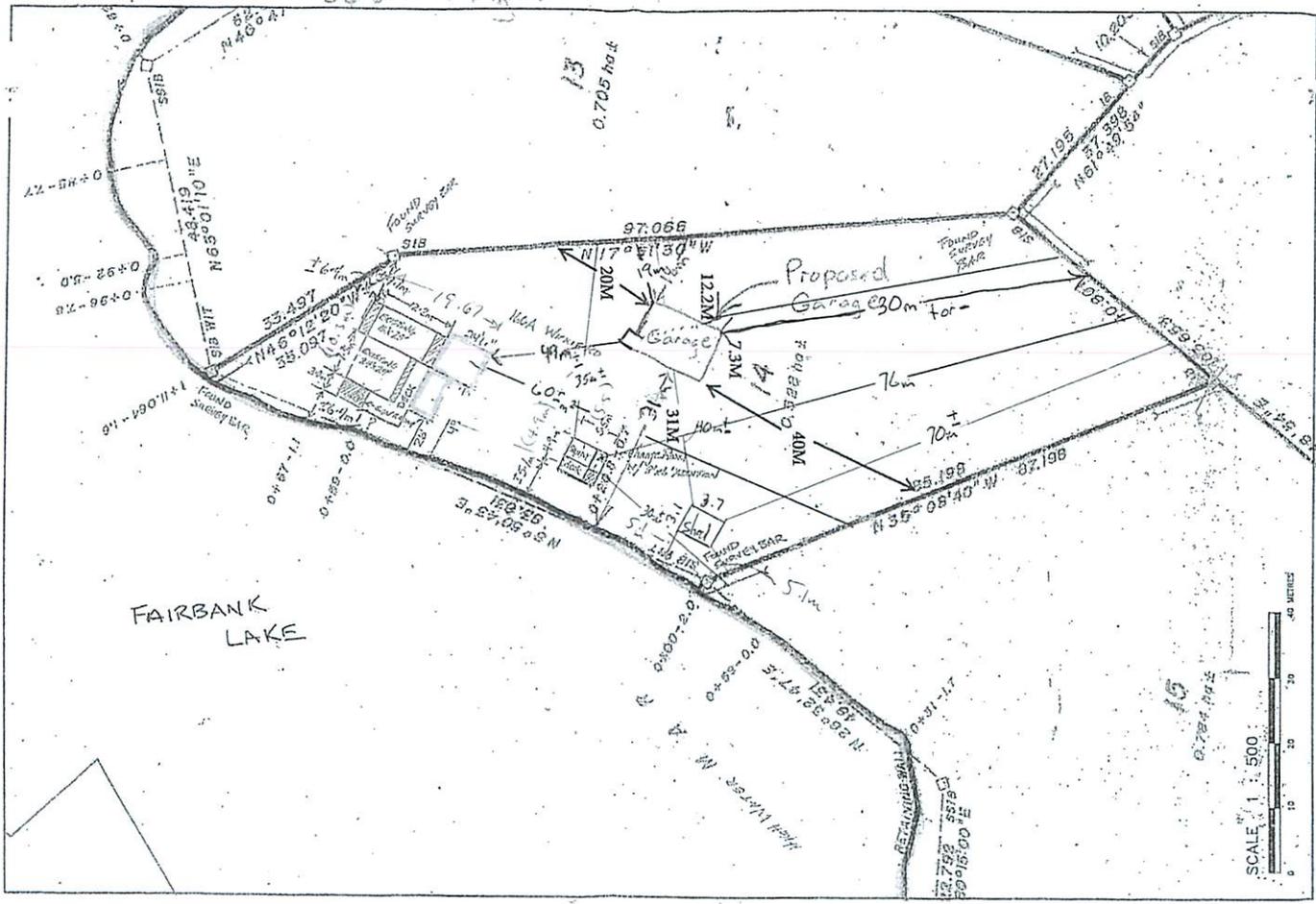


Subject Property being PIN 73365-0006,
Parcel 53M-1166-14 SEC SWS SRO,
Lot 14, Plan 53M-1166,
Part Lot 1, Concession 1,
subject to LT605471, Township of Trill,
166 A Wickie Road, Worthington,
City of Greater Sudbury

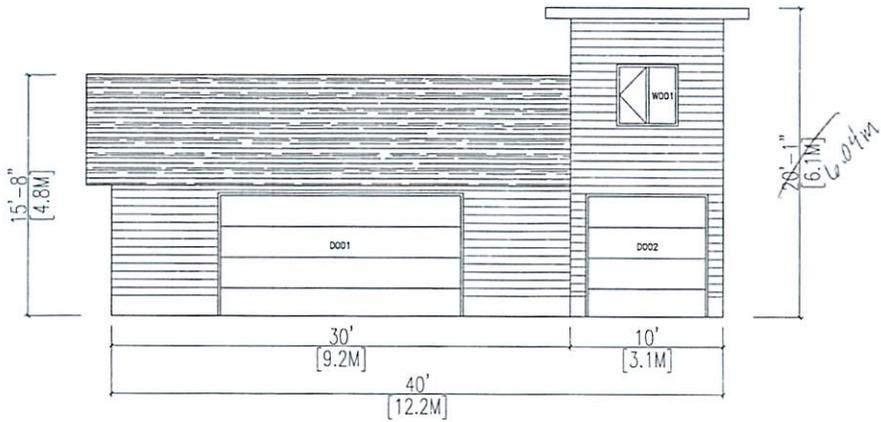
Sketch 1, NTS
NDCA Watershed

A0035/2023
Date: 2023 03 30

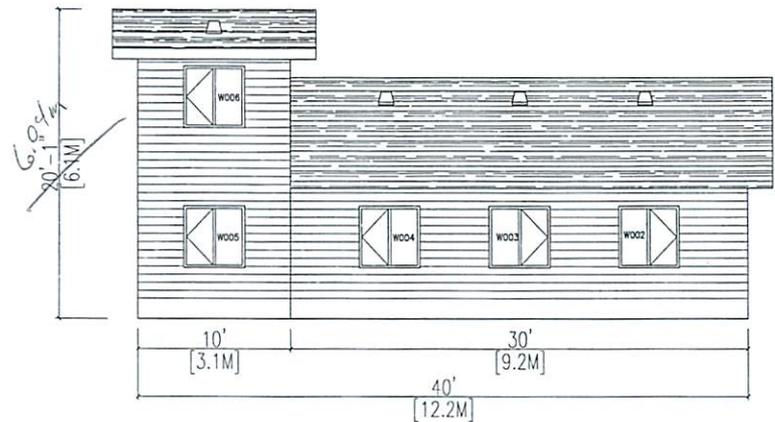
166A Wickie Rd,
Worthington



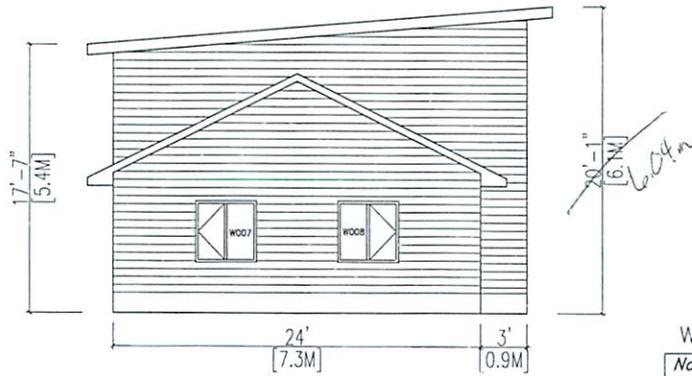
A0035/2023
Sketch - 2



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

WINDOW SCHEDULE

No.	LOCATION	OPENING SIZE
FRONT-ELEVATION		
D001	GARAGE-DOOR-1	16'x8'
D002	GARAGE-DOOR-2	8'x9'
W001	LOFT	48"x48"
REAR-ELEVATION		
W002	GARAGE-AREA	48"x48"
W003	GARAGE-AREA	48"x48"
W004	GARAGE-AREA	48"x48"
W005	GARAGE-AREA	48"x48"
W006	LOFT	48"x48"
LEFT-ELEVATION		
W007	GARAGE-AREA	48"x48"
W008	GARAGE-AREA	48"x48"
RIGHT-ELEVATION		
D003	GARAGE-MAN-DOOR	38"x80"
W009	LOFT	48"x48"
W010	LOFT	48"x48"
W011	LOFT	48"x48"

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Sketch-3



PROJECT	DETACHED GARAGE	DATE	2023-05-02	SHEET	A1
OWNER	166A WICKIE ROAD	SCALE	1/8"=1'-0"		
TITLE	ELEVATIONS				