

Tom Davies Square  
200 Brady St

Wednesday, May 18, 2022

PUBLIC HEARINGS

**A0047/2022**

**LEE ANNE DESRIVIERES  
COREY O'BRIEN**

Ward: 6

PIN 73503 0646, Parcel 35854, Lot(s) 75, Subdivision M-434, Lot Pt 2, Concession 3, Township of Hanmer, 5011 Proulx Court, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage with secondary unit providing maximum height of 6.6m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

**A0048/2022**

**PATRICK GOULET**

Ward: 6

PIN 73503 0487, Parcel 7018, Lot(s) 27, Subdivision M-107, Lot Pt 1, Concession 2, Township of Hanmer, 4443 Notre Dame Avenue, Hanmer, [2010-100Z, C2 (General Commercial)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 7, Section 7.3, Table 7.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing, firstly, eaves to encroach 1.0m into the required interior side yard and 6.7m into the required rear yard, where eaves may encroach 0.6m into the required interior side yard and 1.2m into the required rear yard but not closer than 0.6m to the lot line, secondly, a minimum rear yard setback of 1.2m, where 7.5m is required, and thirdly, a minimum interior side yard setback of 0.6m, where 1.2m is required.

**A0049/2022**

**CAMILE LAPLANTE**

Ward: 3

PIN 73342 0315, Parcel 24129 SEC SWS SRO, Survey Plan 53R-14779 Part(s) 1 to 3, Lot(s) Pt 10, Subdivision M-1008, Lot Pt 9, Concession 1, Township of Levack, 80 Elm Crescent, Levack, [2010-100Z, R2-2 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Application B0024/2022, providing a minimum front yard setback of 4.83m, where 6.0m is required and eaves to encroach 1.77m into the required front yard, where eaves may encroach 1.2m into the required front yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0264/93 (AUG 23/93)

**A0050/2022**

**KYLE DUMPIS**

Ward: 12

PIN 02130 0166, Parcels 13750 & 2182, Survey Plan 53R-20708 Part(s) 2, Lot(s) 846 and Part 844 and 845, Subdivision M-100, Township of McKim, 426 Melvin Avenue, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.37, subsection 4.37.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a deck providing a minimum railroad setback of 4.5m, where all buildings and structures shall be setback 30.0m from any lot line abutting a railroad right-of-way.

**A0051/2022**

**SHANNON BUBALO  
ADRIAN BUBALO**

Ward: 11

PIN 73577 0544, Parcel 9275 SEC SES, Survey Plan 53R-14167 Part(s) 2, 7, 8, 9, and 11, Lot Pt 11, Concession 3, Township of Neelon, 2246 Greenwood Drive, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.31m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A113/21 (SEP 15/21) AND B306/91 (SEP 9/91)

**A0052/2022**

**AMY DUCHARME  
YVAN DUCHARME**

Ward: 6

PIN 73508 1412, Lot(s) 17, Subdivision 53M-1413, Lot Pt 1, Concession 3, Township of Capreol, 279 Timberglade Court, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.94m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

**A0053/2022**

**NICOLE DESCHAMPS  
PAUL LALONDE**

Ward: 4

PIN 73345 0135, Parcel 16704 SEC SWS, Lot Pt 2, Concession 4, Township of Rayside, 3393 St Laurent Street, Chelmsford, [2010-100Z, A (Agricultural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition to the existing single detached dwelling providing a minimum corner side yard setback of 4.39m, where 4.5m is required.

**A0054/2022**

**CRYSTAL WILLETT  
RICHARD PELLERIN**

Ward: 11

PIN 73575 0482, Lot(s) 12, Subdivision 53M-1355, Lot Pt 9, Concession 3, Township of Neelon, 45 Equinox Crescent, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit an existing uncovered deck to encroach 4.45m into the required rear yard, where uncovered decks greater than 1.2m in height may encroach 3.6m into the required rear yard but not closer than 3.0m to the rear lot line.

**A0055/2022**

**ROBERT DEREK BURGESS**

Ward: 9

PIN 73478 0772, Parcel 17617 SEC SES, Lot(s) 14, Subdivision M-214, Lot Pt 1, Concession 5, Township of Broder, 1360 Cawthorpe Street, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition to the existing single detached dwelling providing, firstly, eaves to encroach 1.025m into the required interior side yard, where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line, and secondly, a minimum interior side yard setback of 0.81m, where 1.2m is required.

**A0056/2022**

**STEPHAN VILLENEUVE  
CHRIS ROUSSELLE**

Ward: 6

PIN 73503 0558, Parcel 3793 SEC SES, Lot(s) 6, Subdivision M-107, Lot Pt 1, Concession 3, Township of Hanmer, 4533 Notre Dame Avenue, Hanmer, [2010-100Z, C2 (General Commercial)]

For relief from Part 7, Section 7.2, Table 7.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a residential use on the ground floor of a proposed single detached dwelling containing a secondary dwelling unit and detached tertiary dwelling unit, where any dwelling containing not more than two dwelling units must have a permitted non-residential use as a main use on the ground floor provided that the lot is a fully serviced lot.

**A0057/2022**

**STEPHAN VILLENEUVE  
CHRIS ROUSSELLE**

Ward: 6

PIN 73503 0478, Parcel 9319 SEC SES, Lot(s) 4, Subdivision M-107, Lot Pt 1, Concession 2, Township of Hanmer, 4549 Notre Dame Avenue, Hanmer, [2010-100Z, C2 (General Commercial)]

For relief from Part 7, Section 7.2, Table 7.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a residential use on the ground floor of a proposed single detached dwelling containing a secondary dwelling unit and detached tertiary dwelling unit, where any dwelling containing not more than two dwelling units must have a permitted non-residential use as a main use on the ground floor provided that the lot is a fully serviced lot.

**A0058/2022**

**KAREN REYNOLDS  
PHIL REYNOLDS**

Ward: 7

PIN 73513 0462, Survey Plan 53R-19412 Part(s) 1, 2, 3, 4, 5, and 12, Lot Pt Broken 1, Concession 5, Township of MacLennan, 146 Oakridge Trail, Skead, [2010-100Z, SLS (5) (Seasonal Limited Service)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a seasonal dwelling providing a maximum height of 15.5448m, where 11.0m is permitted.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B131/10 (OCT 18/10)

**A REMINDER... THE NEXT SCHEDULED MEETING IS  
WEDNESDAY, JUNE 1, 2022**



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01	
A 0047 / 2022	
S.P.P. AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT, SCHEDULES MAY BE INCLUDED, IF NECESSARY:**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Corey O'Brien, Lee Anne Desrivieres Email: \_\_\_\_\_  
 Mailing Address: 5011 Proulx Court Home Phone: \_\_\_\_\_  
 Business Phone: \_\_\_\_\_  
 City: Hanmer Postal Code: P3P 1H4 Fax Phone: \_\_\_\_\_

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Corey O'Brien Email: \_\_\_\_\_  
 Mailing Address: 5011 Proulx Court Hanmer ON Home Phone: \_\_\_\_\_  
 Business Phone: \_\_\_\_\_  
 City: Sudbury Postal Code: P3P 1H4 Fax Phone: \_\_\_\_\_  
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Lendwise  
 Mailing Address: 390 Bay street Suite 1800  
 City: Toronto Postal Code: M5H 2Y2

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.4.(a)	5 metres	6.6 metres	1.6 metres

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal: \_\_\_\_\_  
Construction of a detached garage with loft and ground level secondary unit at the back of the structure

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: \_\_\_\_\_  
To have higher ceiling for trailers to go inside the garage, also looking at purchasing a motorhome in the future and we don't want to park it in the driveway

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: Hanmer  
 Lot No.: 2 Concession No.: 3 Parcel(s): 35854  
 Subdivision Plan No.: m434 Lot: 75 Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 501 PROULX COURT, HANMER

7) Date of acquisition of subject land. December 14, 2018

8) Dimensions of land affected.

Frontage 22.9 (m) Depth 105.5 (m) Area 2,415.95 (m<sup>2</sup>) Width of Street 7.5 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>House - 93 sq. m Garage - 50 (m<sup>2</sup>)</u>	<u>New garage - 194.4 (m<sup>2</sup>)</u>
Gross Floor Area:	<u>House - 93 sq. m Garage - 50 (m<sup>2</sup>)</u>	<u>New garage - 194.4 (m<sup>2</sup>)</u>
No. of storeys:	<u>One Storey</u>	<u>One Storey / Two Storey</u>
Width:	<u>House - 12.4m Garage - 5 (m)</u>	<u>New garage - 9.15 (m)</u>
Length:	<u>House - 7.5m Garage - 10 (m)</u>	<u>New garage - 21.3 (m)</u>
Height:	<u>House - 4.5 Garage - 3.5 (m)</u>	<u>New garage - 6.6 (m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>House - 7.7m Garage - 21.4 (m)</u>	<u>New garage - 27.8 (m)</u>
Rear:	<u>House - 90.2m Garage - 74 (m)</u>	<u>New garage - 56.32 (m)</u>
Side:	<u>House - 4.9m Garage - 16.77 (m)</u>	<u>New garage - 11.9 (m)</u>
Side:	<u>House - 5.8m Garage - 1.22 (m)</u>	<u>New garage - 1.8 (m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                          |
|---|-------------------------------------|--|--------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/>            | Municipal Road   | <input type="checkbox"/> |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/> |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/> |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/> |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                          |
| Pit Privy   | <input type="checkbox"/>            |  |                          |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                          |

12) Date(s) of construction of all buildings and structures on the subject land.

House - 1971 Garage - unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential (SFD w/ detached garage) Length of time: 1971

14) Proposed use(s) of the subject property.

Same as #13  OR Residential Use (Single family dwelling, new attached garage and secondary unit)

15) What is the number of dwelling units on the property? One currently, (two is proposed)

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential (single family dwellings)

A0047/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_  
 or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  
 Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. it is in a well head protection area with a vulnerability scoring of 6

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Corey O'Brien and Lee Anne Desrivieres (please print all names), the registered owner(s) of the property described as 5011 Proulx Court

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

- x g) appoint and authorize Corey O'Brien + LeeAnne Desrivieres (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 19<sup>th</sup> day of April, 2022

[Signature]  
 (witness)

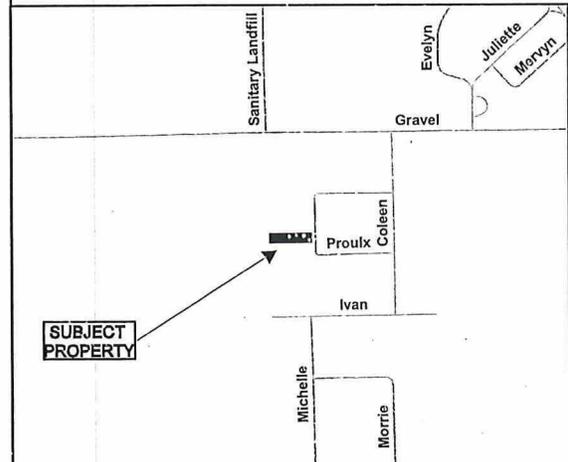
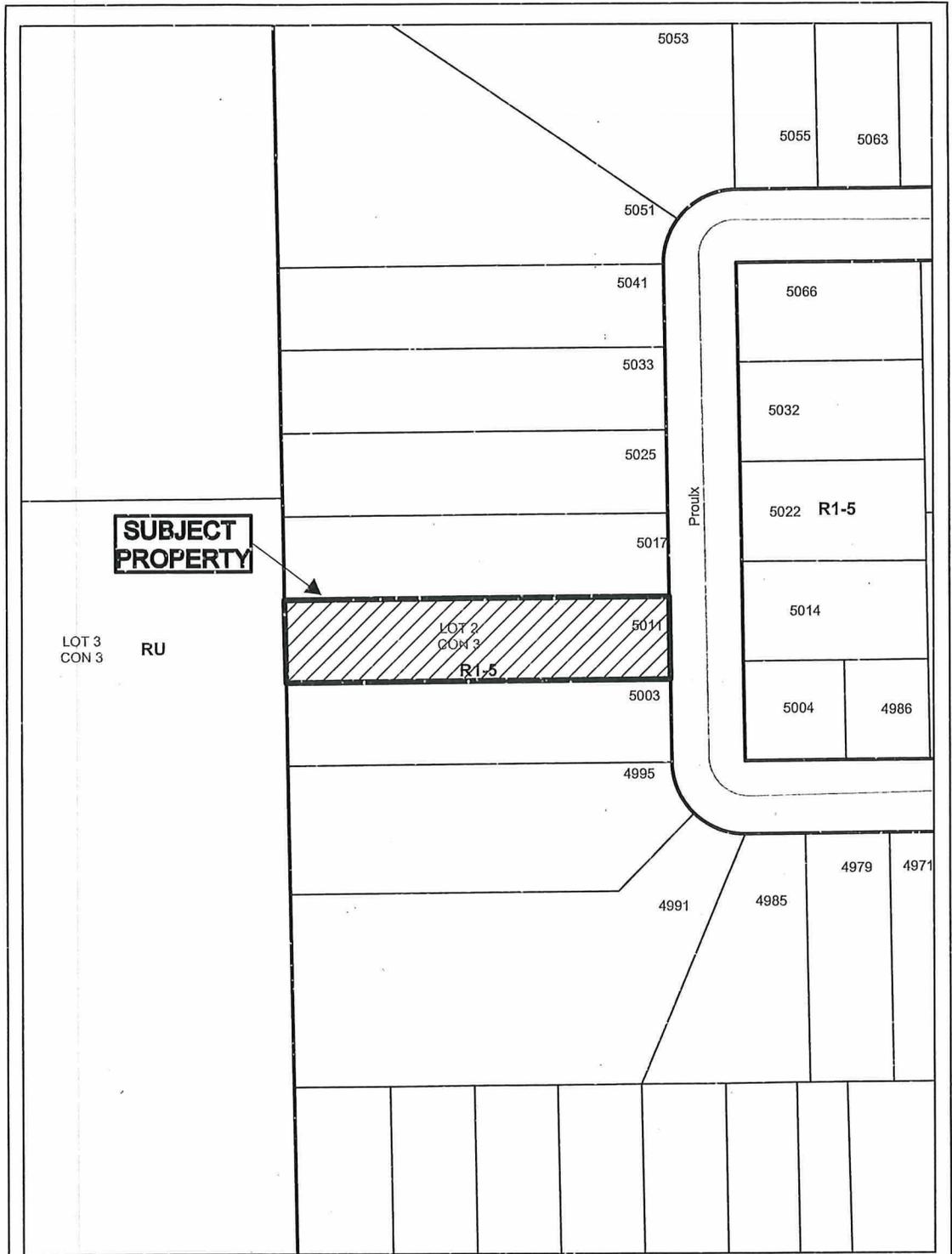
[Signature]  
 signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Corey O'Brien + LeeAnne Desrivieres

\*I have authority to bind the Corporation

AD004712022





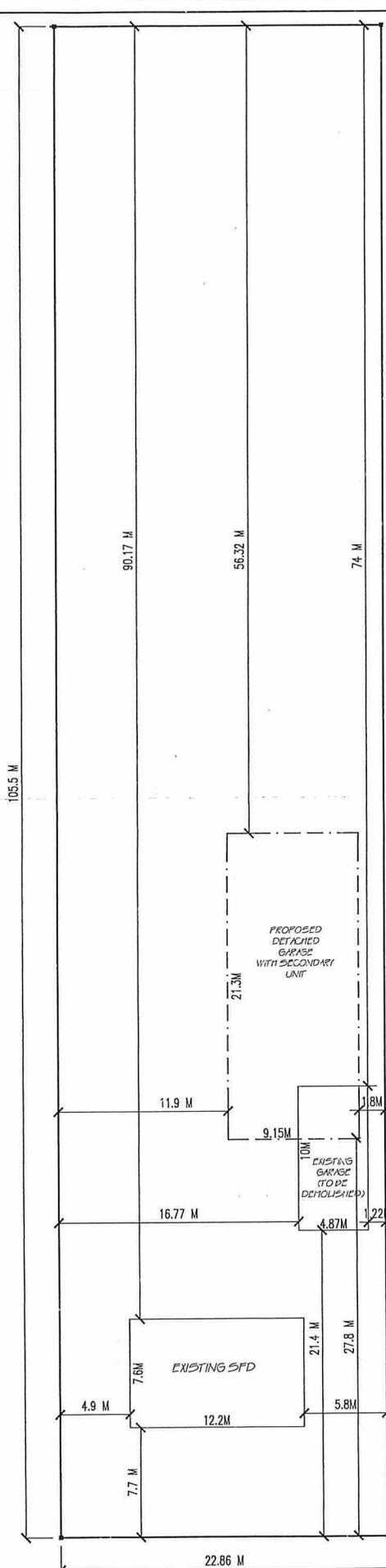
**Application for Minor Variance or Permission**



Subject Property being,  
 PIN 73503-0646,  
 Parcel 35854, Lot 75, Plan M-434,  
 Township of Hanmer,  
 5011 Proulx Court, Hanmer  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0047/2022  
 Date: 2022 04 26

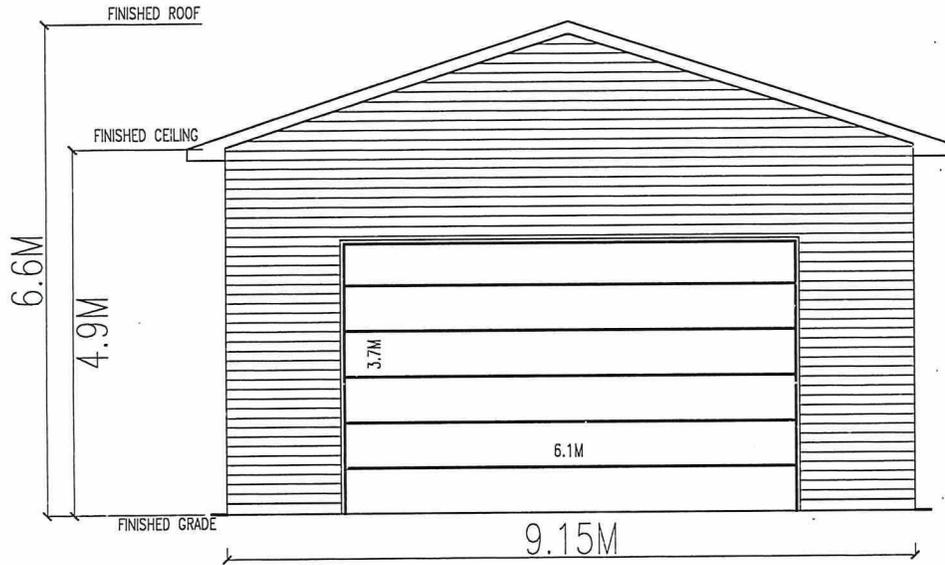


ZONING - ACCESSORY BUILDING		
SITE AREA	22.86M X 105.5M = 2412 M <sup>2</sup>	
ZONING	R1-5	
BUILDING FOOTPRINT	PROPOSED: (194 M <sup>2</sup> )	
LOT COVERAGE	PROPOSED: 0.08%      PERMITTED: 10%	
BUILDING SETBACKS		
	REQUIRED	PROPOSED
FRONT	6.0 m (19 ft 8 in)	27.8 m (91 ft 2 in)
SIDE	1.8 m (5 ft 11 in)	1.8 m (5 ft 11 in)
SIDE	1.2 m (3 ft 11 in)	11.9 m (39 ft 0 in)
REAR	1.2 m (3 ft 11 in)	56.3 m (184 ft 8 in)

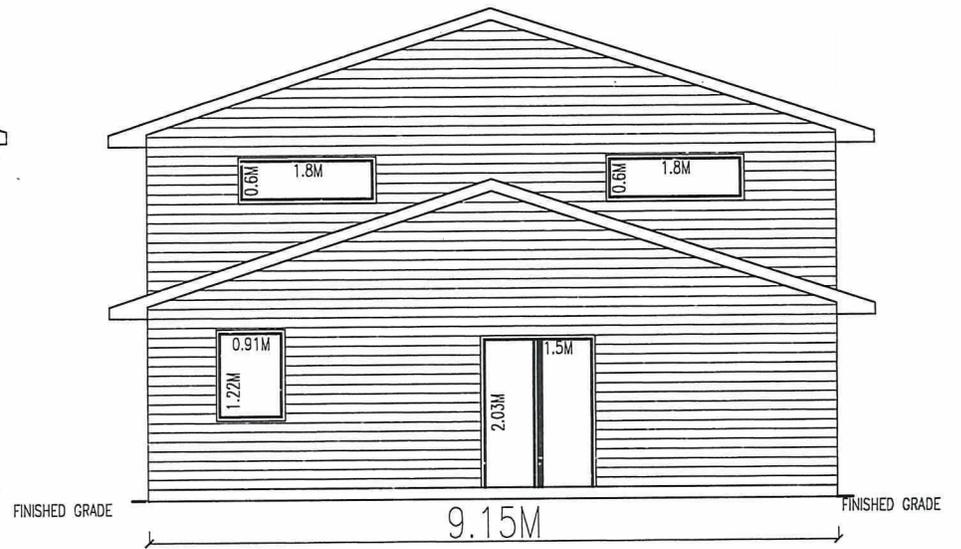
A004712022  
 sketch 2

PROJECT	DETACHED GARAGE W/ SECONDARY UNIT	DATE	2022-06-17	STATUS	PP
ADDRESS	5011 PROULX COURT	DATE	N/A	STATUS	
TITLE	PLOT PLAN	DATE	N/A	STATUS	

# 5011 PROULX COURT



FRONT ELEVATION

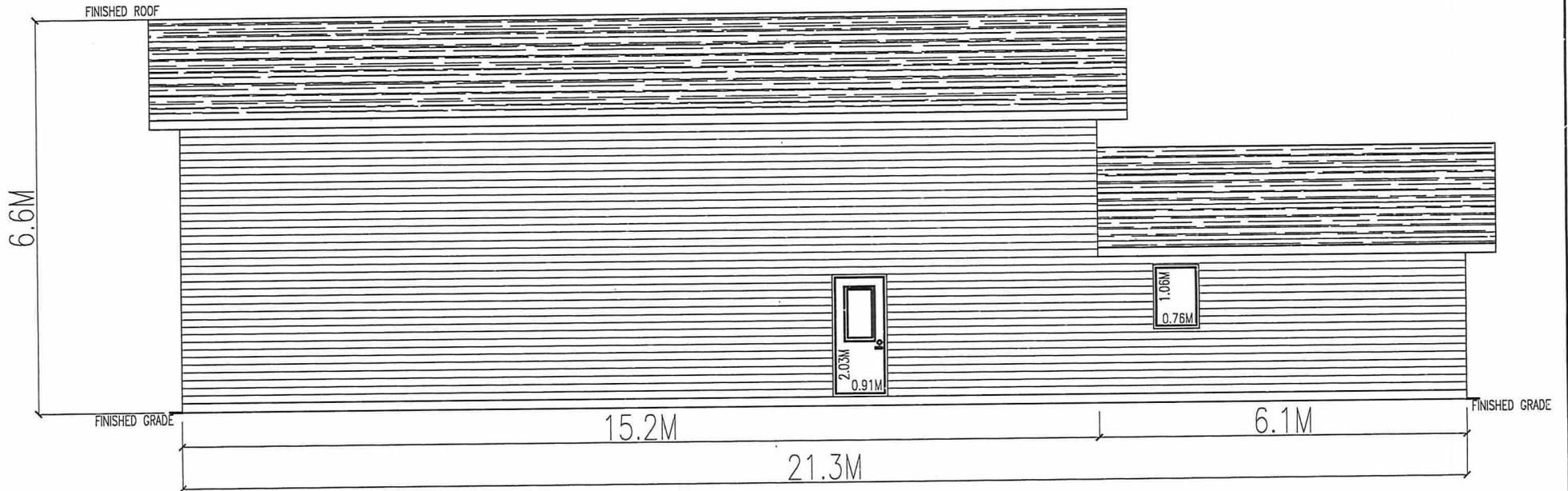


REAR ELEVATION

A0047/2022  
 sketch 3

PROJECT	DETACHED GARAGE W/ SECONDARY UNIT	DATE	2022-04-17	SCALE	1/8"=1'-0"	PROJECT #		DATE	
CLIENT	5011 PROULX COURT	DATE		SCALE		PROJECT #		DATE	
ELEVATIONS						A1			

# 5011 PROULX COURT

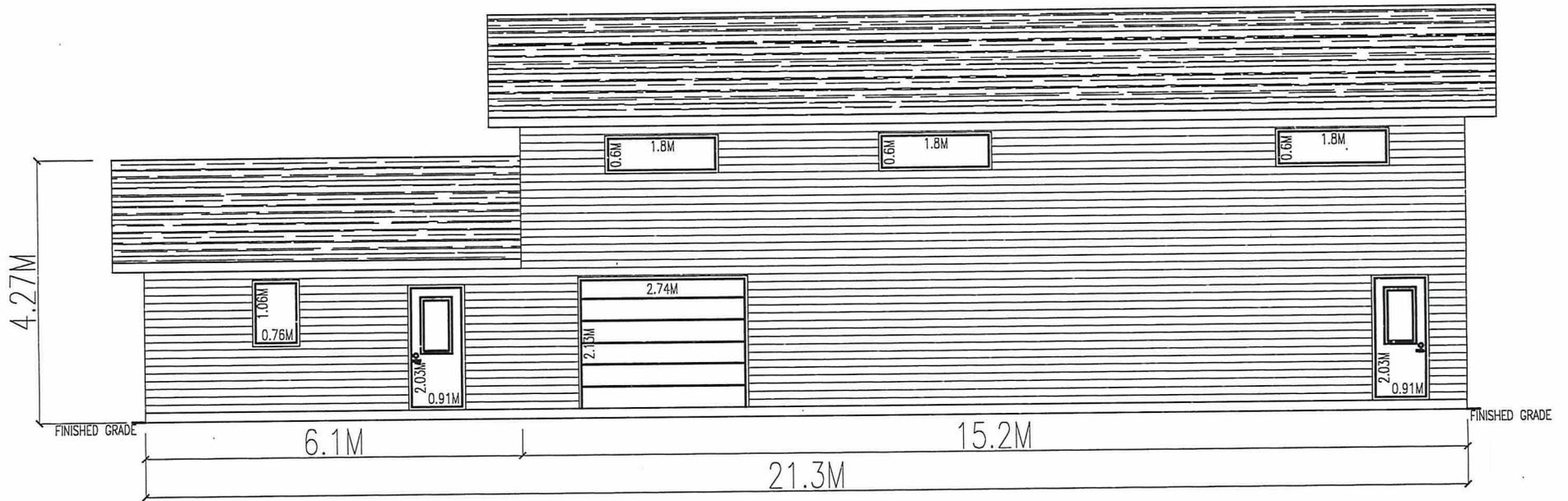


RIGHT ELEVATION

A0047/2022  
 sketch 4

PROJECT	DATE	SCALE
DETACHED GARAGE W/ SECONDARY UNIT	-	PROJECT
5011 PROULX COURT	-	DRAWN
TITLE	DATE	A2
ELEVATIONS	2022-04-17	
	SCALE	
	1/8"=1'-0"	

# 5011 PROULX COURT



LEFT ELEVATION

A0047/2022  
Sketch 5

PROJECT	DETACHED GARAGE W/ SECONDARY UNIT	DATE	2022-04-17	SCALE	1/8"=1'-0"	SHEET	A3
CLIENT	5011 PROULX COURT	DATE		SCALE		SHEET	



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only	
A0048/2022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

**APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)**  
**APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)**  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Patrick Goulet, Melissa Goulet Email: [Redacted]  
 Mailing Address: 4443 notredame ave Home: [Redacted]  
 Business Phone: XXXXXXXXXXXXXXXXXX  
 City: hanmer ontario Postal Code: p3p1x6 Fax Phone: XXXXXXXXXXXXXXXXXX

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Patrick Goulet Email: [Redacted]  
 Mailing Address: 4443 Notredame Ave. Hanmer On Home: [Redacted]  
 Business Phone: XXXXXXXXXXXXXXXXXX  
 City: hanmer ontario Postal Code: p3p1x6 Fax Phone: XXXXXXXXXXXXXXXXXX

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Royal Bank of Canada  
 Mailing Address: 5118 HWY 69N unit 3  
 City: hanmer Postal Code: p3p1p9

4) Current Official Plan designation: mixed use commercial Current Zoning By-law designation: C2

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
minimum rear yard	7.5m	1.2m	6.3m
minimum side yard (south)	1.2m	0.6m	0.6m

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: 0.4064 (m)

c) Description of Proposal:  
Construction of a 8.53m x 7.92m garage 1.2m from the rear lot line, and 0.6m from the south side lot line on the property located at 4443 notredame ave hanmer.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
The lot is only 30m x 15m, and the rearmost portion of the house ends at 16.5m of the 30m deep lot. a rear yard of 7.5m makes it impossible to build the garage unless it is reduced. The garage door would be offset from the driveway by the 1.2m side yard requirement. A reduction in this requirement would make entering with a vehicle more direct, and less cumbersome.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73503-0487 Township: Capreol  
 Lot No.: 27 1 Concession No.: 2 Parcel(s): 7018  
 Subdivision Plan No.: M107 Lot: 27 Reference Plan No.: M1107 Part(s):  
 Municipal Address or Street(s): 4443 Notredame Ave. Hanmer On

7) Date of acquisition of subject land. 2013/06/26

8) Dimensions of land affected.

Frontage 15.24 (m) Depth 30.48 (m) Area 5464. (m<sup>2</sup>) Width of Street 10 (m)

9) Particulars of all buildings:

	Existing			Proposed		
Ground Floor Area:	<u>85.65</u> (house)	<u>9</u> (shed)	<u>(m<sup>2</sup>)</u>	<u>(remove shed)</u>	<u>67.5</u> (garage)	<u>(m<sup>2</sup>)</u>
Gross Floor Area:	<u>85.65</u> (house)	<u>9</u> (shed)	<u>(m<sup>2</sup>)</u>	<u>(remove shed)</u>	<u>67.5</u> (garage)	<u>(m<sup>2</sup>)</u>
No. of storeys:	<u>1(house) 1(shed)</u>			<u>(remove shed) 1+attic (garage)</u>		
Width:	<u>8.83</u> (house)	<u>3</u> (shed)	<u>(m)</u>	<u>(remove shed)</u>	<u>8.53</u> (garage)	<u>(m)</u>
Length:	<u>9.7</u> (house)	<u>3</u> (shed)	<u>(m)</u>	<u>(remove shed)</u>	<u>7.92</u> (garage)	<u>(m)</u>
Height:	<u>4.9</u> (house)	<u>2.4</u> (shed)	<u>(m)</u>	<u>(remove shed)</u>	<u>6.14</u> (garage)	<u>(m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing			Proposed		
Front:	<u>6.4</u> (house)	<u>26.28</u> (shed)	<u>(m)</u>	<u>(remove shed)</u>	<u>21.36</u> (garage)	<u>(m)</u>
Rear:	<u>14.4</u> (house)	<u>1.2</u> (shed)	<u>(m)</u>	<u>(remove shed)</u>	<u>1.2</u> (garage)	<u>(m)</u>
Side:	<u>1.2</u> (house)	<u>1.2</u> (shed)	<u>(m)</u>	<u>(remove shed)</u>	<u>0.6</u> (garage)	<u>(m)</u>
Side:	<u>5.1</u> (house)	<u>11.04</u> (shed)	<u>(m)</u>	<u>(remove shed)</u>	<u>6.11</u> (garage)	<u>(m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

house 1959 shed unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 1959

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential

*AC0048/2022*

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, PATRICK GOULET (please print all names), the registered owner(s) of the property described as 4443 NOTREDAME AVE. in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of APRIL, 20 22

[Signature]  
(witness)

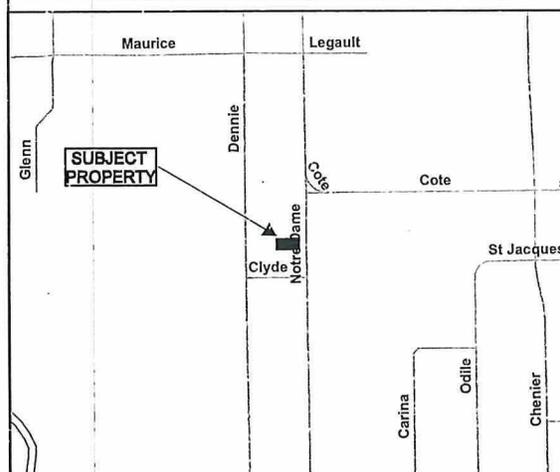
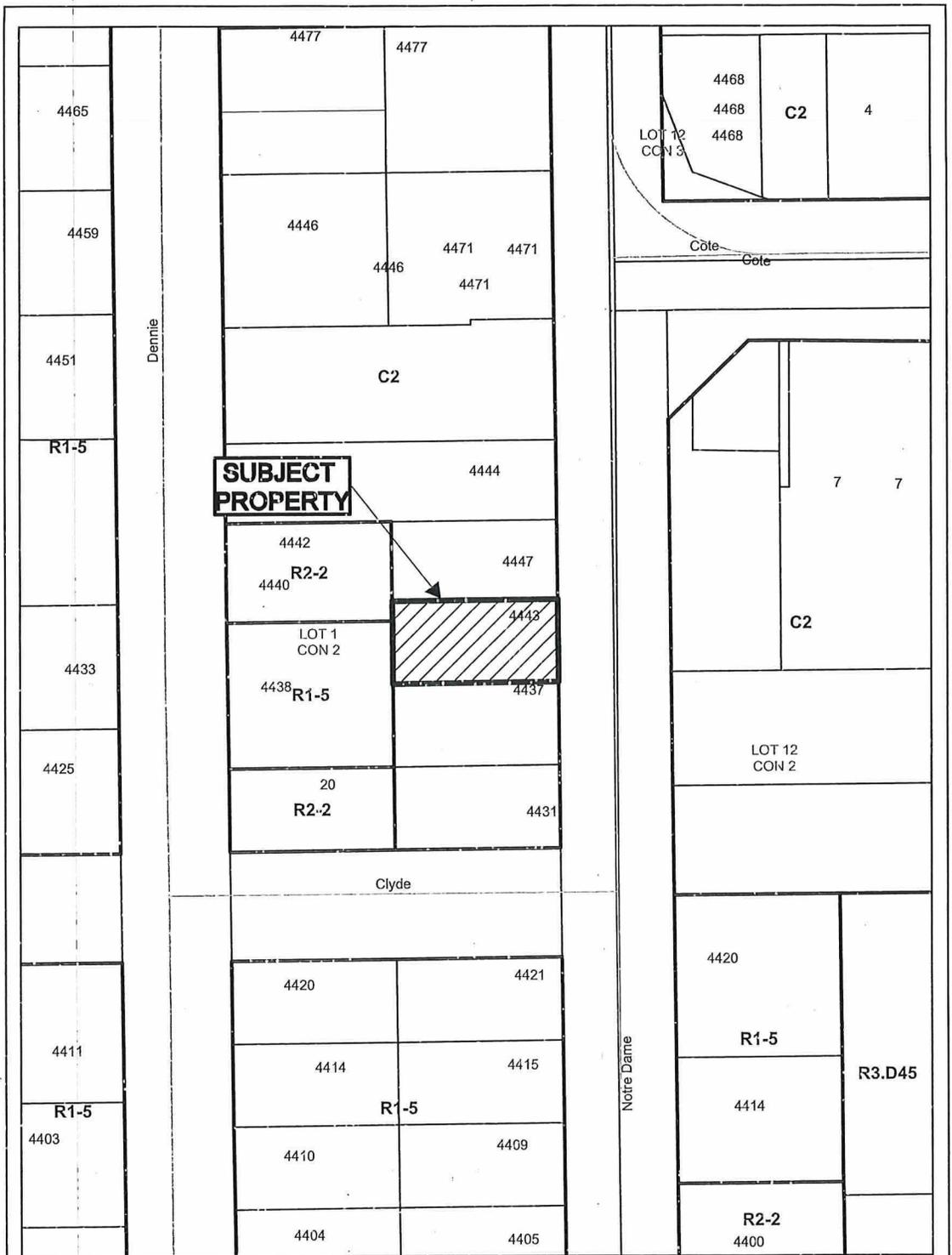
[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: PATRICK GOULET

\*I have authority to bind the Corporation

AW048/2022



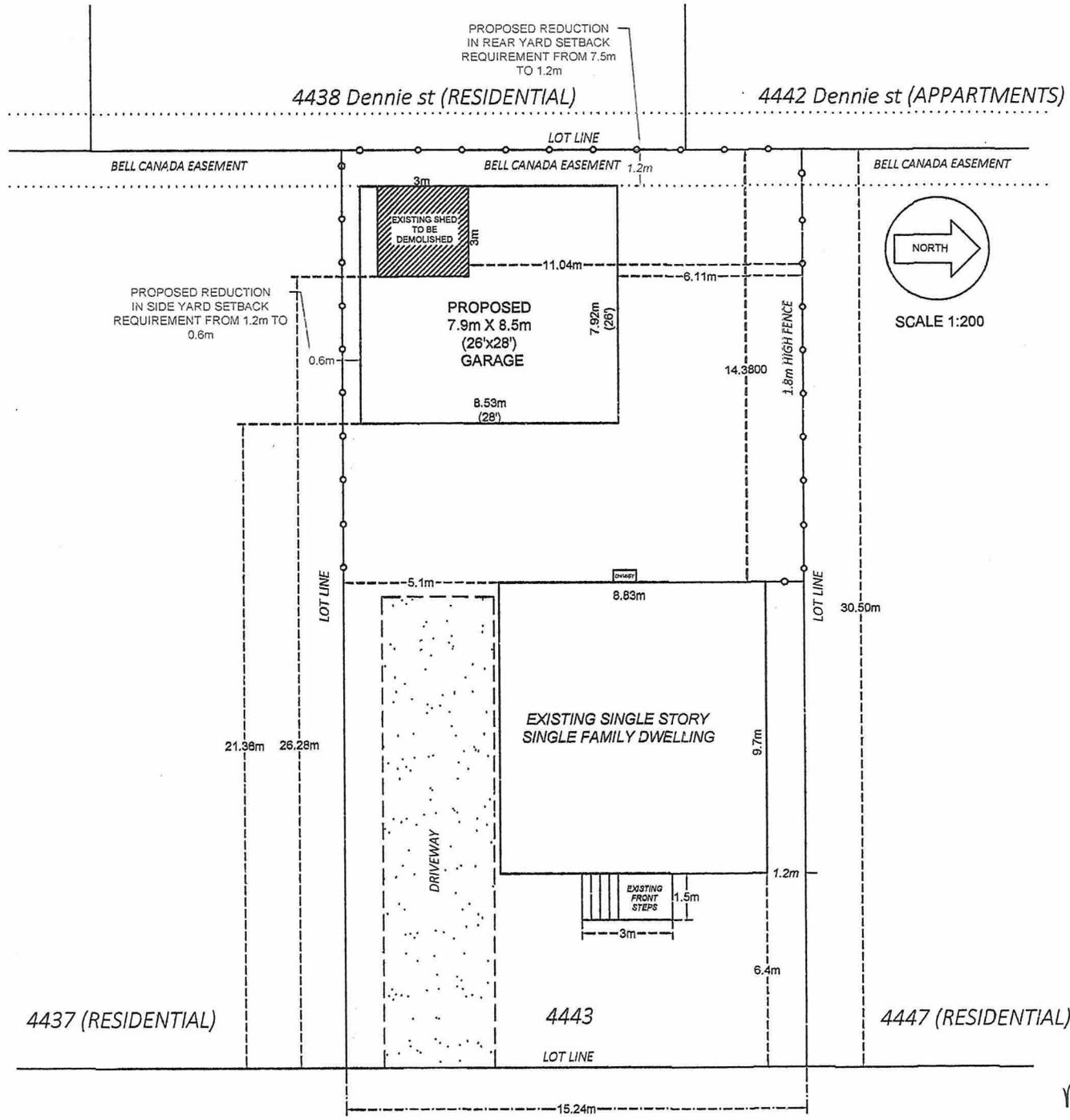


**Application for Minor Variance or Permission** 

Subject Property being,  
 PIN 73503-0487, Parcel 7018,  
 Lot 27, Plan M-107,  
 Part Lot 1, Concession 2, Township of Hanmer,  
 4443 Notre Dame Avenue, Hanmer,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

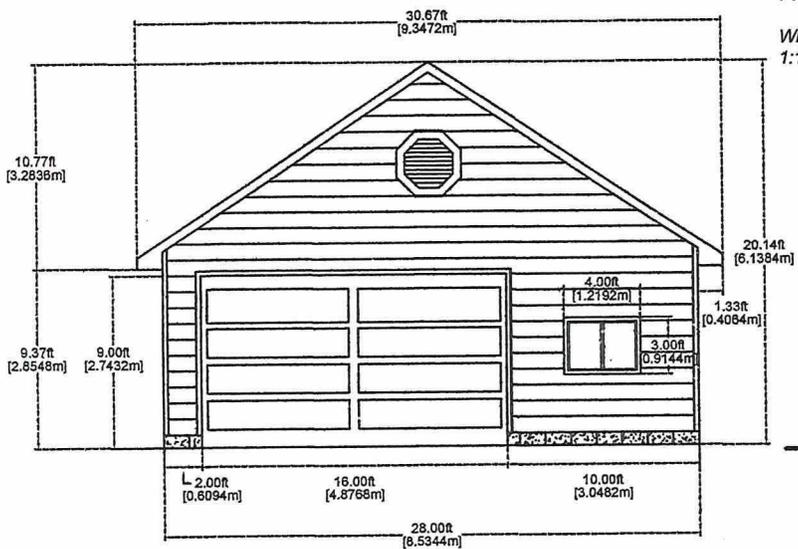
A0048/2022  
 Date: 2022 04 26



A0048/2022  
 sketch 2

4443 NOTREDAME  
PROPOSED CONSTRUCTION

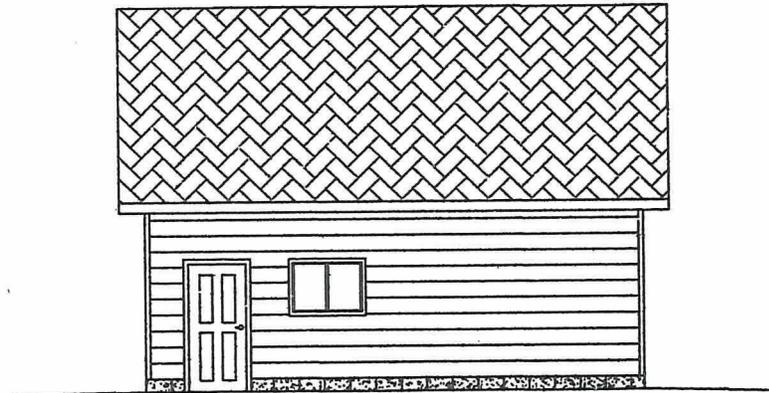
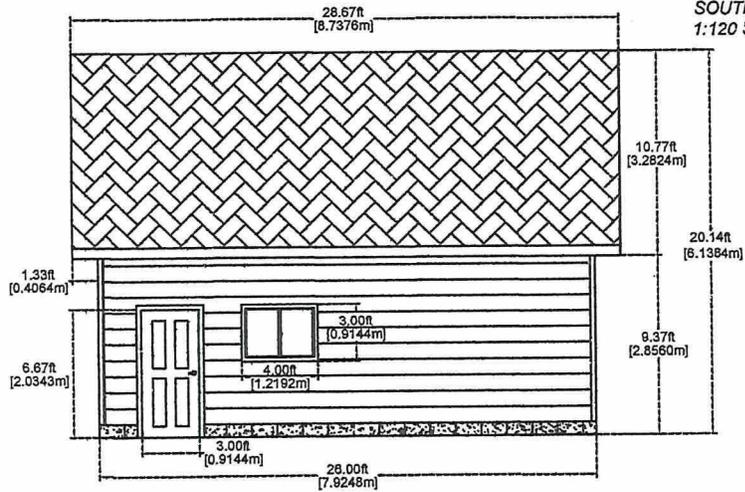
WEST ELEVATION  
1:120 SCALE



170048/2022  
sketch 3

4443 NOTREDAME  
PROPOSED CONSTRUCTION

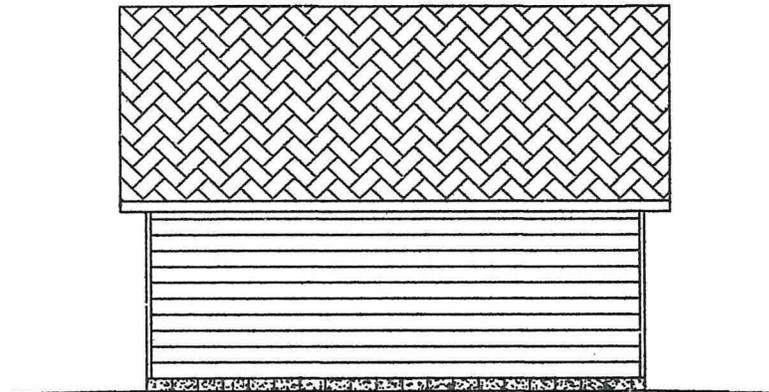
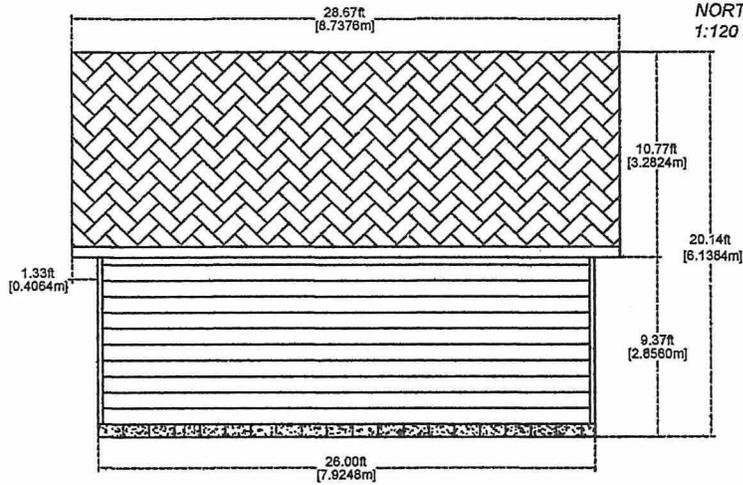
SOUTH ELEVATION  
1:120 SCALE



A00481 2022  
Sketch 4

4443 NOTREDAME  
PROPOSED CONSTRUCTION

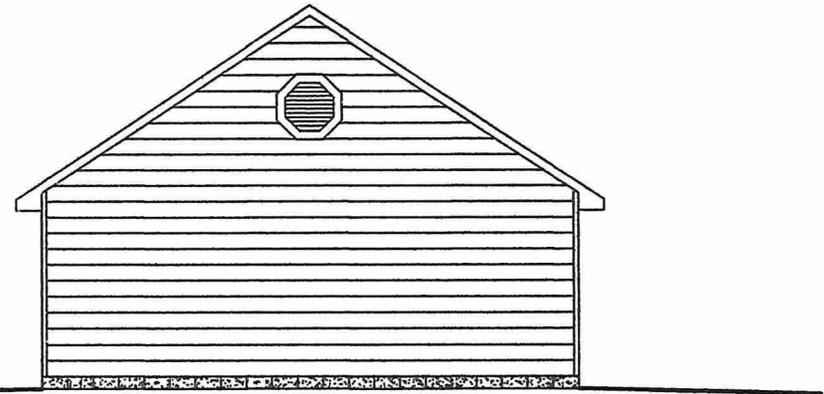
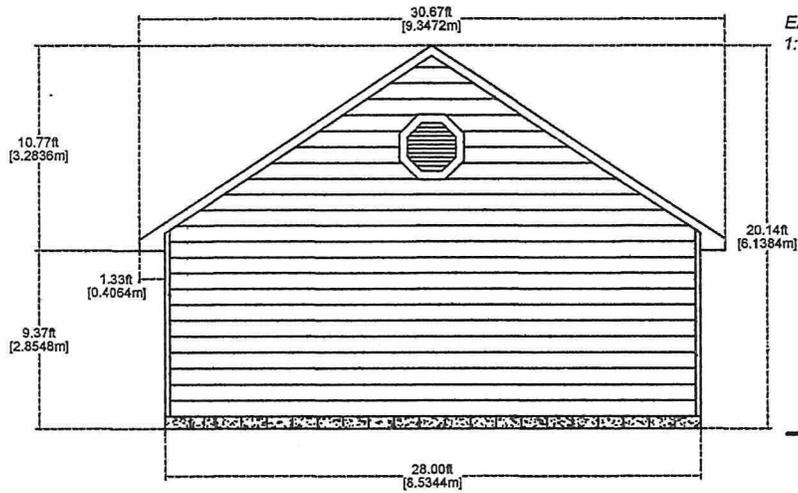
NORTH ELEVATION  
1:120 SCALE



A004812022  
Sketch 5

4443 NOTREDAME  
PROPOSED CONSTRUCTION

EAST ELEVATION  
1:120 SCALE



A0048/2022  
Sketch 6



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only	
2022.01.01	
A 0044/2022	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury

### APPLICATION FOR MINOR VARIANCE

**APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)**  
**APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)**  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Camile Laplante Email: [REDACTED]  
 Mailing Address: 80 Elm Crescent Home: [REDACTED]  
 Business Phone: \_\_\_\_\_  
 City: Levack Postal Code: P0M 2C0 Fax Phone: \_\_\_\_\_

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Jo-Anne Laplante Email: [REDACTED]  
 Mailing Address: 80 Elm Crescent, Levack, Ontario, P0M 2C0 Home: [REDACTED]  
 Business Phone: \_\_\_\_\_  
 City: \_\_\_\_\_ Postal Code: \_\_\_\_\_ Fax Phone: \_\_\_\_\_

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NO MORTGAGE  
 Mailing Address: \_\_\_\_\_  
 City: \_\_\_\_\_ Postal Code: \_\_\_\_\_

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Front Yard Setback	6.0m	4.83m	1.17m

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: .6 (m)

- c) Description of Proposal:  
 Proposal will reorient what is considered the "front lot line" as defined in the City's Zoning By-Law.  
 Currently the front lot line is considered to be First Avenue, after the proposed severance, the front lot line would be considered Elm Crescent.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
 After the proposed severance the front lot line would be considered Elm Crescent and the existing dwelling would no longer be in compliance for the required front yard setback.  
 The required front yard setback in the R2-2 zone is 6.0 and the existing dwelling is setback 4.83m.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73342-0315 Township: Levack  
 Lot No.: 9 Concession No.: 187 Parcel(s): 24129 4732  
 Subdivision Plan No.: M-1008 Lot: 10 Reference Plan No.: 53R-14779 Part(s): 1-3 2  
 Municipal Address or Street(s): 80 Elm Crescent, Levack, Ontario, P0M 2C0

7) Date of acquisition of subject land. 1991 or 1992

8) Dimensions of land affected.

Frontage 40.68 (m) Depth 33.52 (m) Area 1535.21 (m<sup>2</sup>) Width of Street 19.13 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	124.95	(m <sup>2</sup> )	124.95	(m <sup>2</sup> )
Gross Floor Area:	249.90	(m <sup>2</sup> )	249.90	(m <sup>2</sup> )
No. of storeys:	1		1	
Width:	15.94	(m)	14.36	(m)
Length:	14.36	(m)	15.94	(m)
Height:	9.14	(m)	9.14	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	7.48	(m)	4.83	(m)
Rear:	19.62	(m)	12.68	(m)
Side:	4.83	(m)	1.33	(m)
Side:	12.68	(m)	7.48	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1992-1993

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential home Length of time: 29 years

14) Proposed use(s) of the subject property.

Same as #13  or,

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?

Yes  No

If "yes", how many?

17) Existing uses of abutting properties: roadway and residential homes

A0049/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): CONCURRENT CONSENT APPLICATION

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Camile Laplante (please print all names), the registered owner(s) of the property described as 80 Elm Crescent, Levack, Ontario, P0M 2C0

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Jo-Anne Laplante (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21<sup>st</sup> day of APRIL, 2022

[Signature]  
(witness)

Camile Laplante #  
signature of Owner(s) or Signing Officer or Authorized Agent

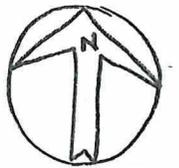
Print Name: Camile Laplante

\*I have authority to bind the Corporation

PO049/2022



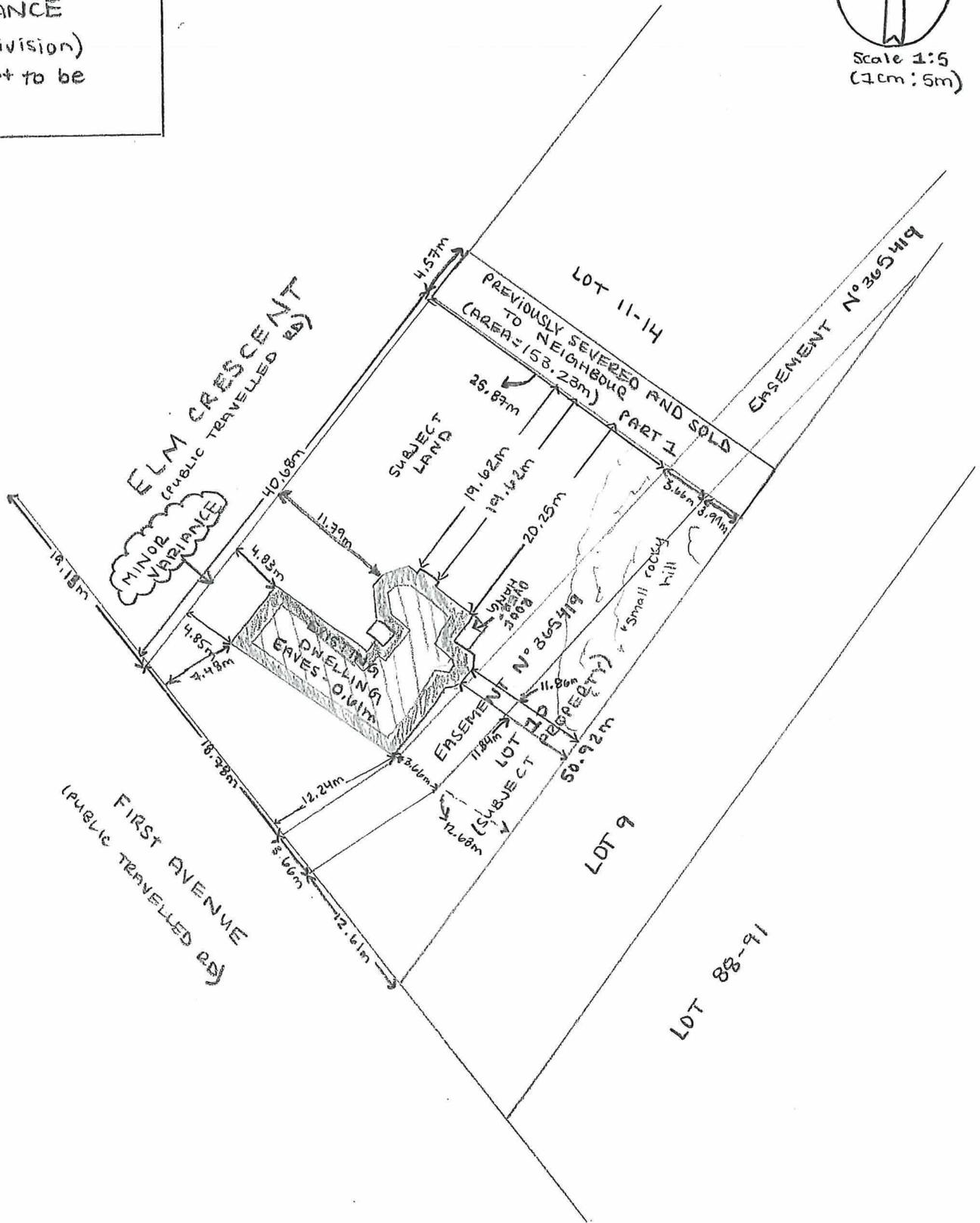




Scale 1:5  
(1cm : 5m)

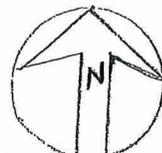
### MINOR VARIANCE

(Residential Subdivision)  
change front of lot to be  
on Elm Crescent.

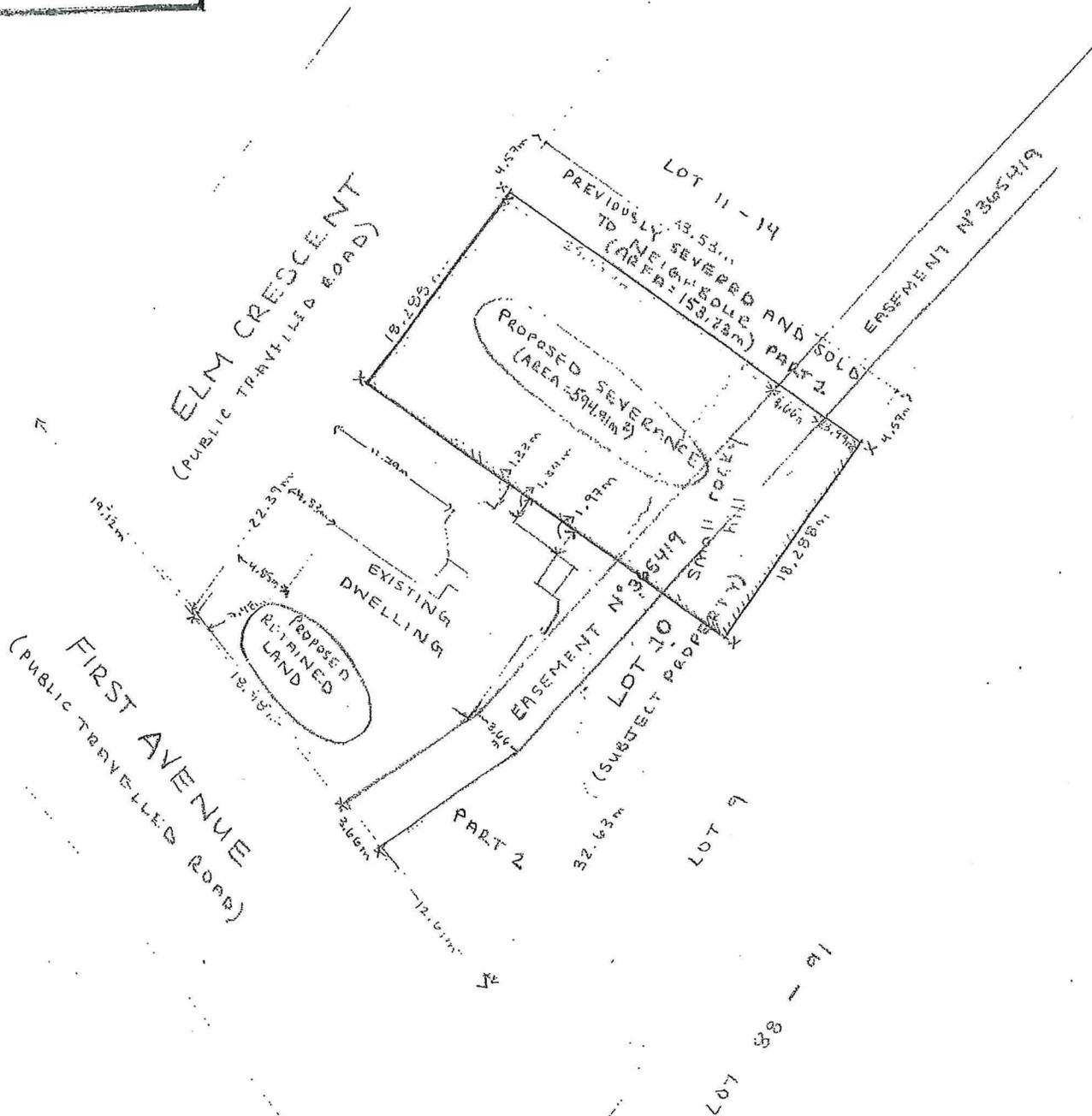


A0049/2022  
Sketch 2

CONSENT SKETCH  
(Residential Subdivision)



Scale 1:5  
(1cm : 5m)



A0049/2022  
Sketch 3

SIB (707)

ELM CRES

LOT 14

REGISTERED PLAN M-1008

PCL 24416 SWS  
LOT 11

LOT 27

ELM CRESCENT  
(DEDICATED BY REGISTERED PLAN M-1008)

IB (707)

PCL 24125 SWS  
LOT 10

REM

SIB (707)

62.75' (SET P1)

LOT 10

BRICK CHIMNEY

30.68'

CONG. STEPS

148.46' (MEAS) N 29°35'20" E (P1 & MEAS) (148.36' P1)

16.88'

15.96'

24.53'

SIB (707)  
DISTURBED  
PLT SIB

ROOF OVER HANG

STOREY FRAME DWELLING (BRICK FACE) (UNDER CONSTRUCTION) EAVES 2.0'

38.91'  
38.85'

FIRST  
(DEDICATED BY

115.04' (P1 & MEAS)  
40.17'  
N 4

182.07' (P1 & MEAS)

A0049/2022  
Sketch 4

PLAN

9 S.W.S.



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01
A 0050/2022
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES ___ NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

**APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)**  
**APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)**  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kyle Dumpis Email: [REDACTED]  
 Mailing Address: 426 Melvin Ave Home Phone: [REDACTED]  
 City: Sudbury Postal Code: P3C 4X4 Fax Phone: X

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: \_\_\_\_\_ Email: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Home Phone: \_\_\_\_\_  
 City: \_\_\_\_\_ Postal Code: \_\_\_\_\_ Business Phone: \_\_\_\_\_  
 Fax Phone: \_\_\_\_\_

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Lendwise, Mr. Wayne Martin  
 Mailing Address: 390 Bay Street, 18th Floor  
 City: Toronto Postal Code: M5H 2Y2

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
By-law 2010-1002; 4.37.2 Railroads	30.0 metres	4.5 metres (lot is pie-shaped)	25.5 metres (lot is pie-shaped)

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal: Construction of deck

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: The property is not wide enough to accommodate a distance of 30.0 metres between the deck and the road

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 02130-0166 Township: McKim  
 Lot No.: 846, PT 844, 845 Concession No.: 4 Parcel(s): 13750, 2182  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: 53R20708 Part(s): 2  
 Municipal Address or Street(s): 426 Melvin Ave

7) Date of acquisition of subject land. August 3, 2018

8) Dimensions of land affected. 798.73±  
 Frontage 16.15 (m) Depth 36.58 (m) Area ~~2000~~ (m<sup>2</sup>) Width of Street N/A (m)

9) Particulars of all buildings:

	House	Existing Garage	Shed	Deck	Proposed	(m <sup>2</sup> )
Ground Floor Area:	62.36	45.9	8.64	21.4		(m <sup>2</sup> )
Gross Floor Area:	119.6	45.9	8.64	21.4		(m <sup>2</sup> )
No. of storeys:	2	1	1	1		
Width:	8.2	6.2	3.4	5.5		(m)
Length:	7	7.4	3.6	4.3		(m)
Height:	6	3.9	2.1	2		(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House	Existing Garage	Shed	Deck	Proposed	(m)
Front:	6	30	25.8	11.58		(m)
Rear:	19.5	1.8	25.5	19.5		(m)
Side:	2	3	9.2	8.4		(m)
Side:	7	4	4.5	4.5		(m)

11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>		
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input checked="" type="checkbox"/>		

If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land. 1930

13) Existing use(s) of the subject property and length of time it / they have continued.  
 Use(s): Residential Length of time: since purchased in 2018

14) Proposed use(s) of the subject property.  
 Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? One

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No  
 If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential

A0050/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Kyle Dumpis (please print all names), the registered owner(s) of the property described as 426 Melvin Ave, P3C 4X4

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of April, 2022

Gabriel Dumais  
(witness)

Kyle Dumpis  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Kyle Dumpis

\*I have authority to bind the Corporation

P0050/2022









Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01	
A 000112022	
S.P.P. AREA	\$25
YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
NDCA REG. AREA	\$300
YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Shannon and Adrian Bubalo	Email: [REDACTED]
Mailing Address: 2243 Greenwood Drive	Home Phone: 647-228-3061
	Business Phone:
City: Sudbury	Postal Code: ON
	Fax Phone:

- x 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: <sup>ADRIAN</sup> Shannon Bubalo	Email: [REDACTED]
Mailing Address: 865 Britannia Road West	Home Phone:
2243 Greenwood Drive, Sudbury	Business Phone:
City: [REDACTED]	Postal Code: [REDACTED]
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Scotia Bank
Mailing Address: 865 Britannia Road West
City: Mississauga
Postal Code: L5V 2X8

- 4) Current Official Plan designation: Living Area 1      Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.4 (a)	5.00 m	8.31	3.31

- b) Is there an eave encroachment?     Yes     No    If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
 Proposed detached garage with loft above

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
 To accommodate loft space above

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: Neelon  
 Lot No.: 11 Concession No.: 3 Parcel(s): 9275  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: 53R-14167 Part(s): 2,7,8,9,11  
 Municipal Address or Street(s): 2243 Greenwood Drive, Sudbury

7) Date of acquisition of subject land. October 8, 2020

8) Dimensions of land affected.

Frontage 13.61 (m) Depth 100 (m) Area 1361 (m<sup>2</sup>) Width of Street 5 (m)

x 9) Particulars of all buildings: SFD	Existing		Proposed	
			NET GAR	
Ground Floor Area:	<del>98.77</del> 98.77	(m <sup>2</sup> )	68.82	(m <sup>2</sup> )
Gross Floor Area:	<del>98.77</del> 198.08	(m <sup>2</sup> )	<del>65.99</del> 134.81	(m <sup>2</sup> )
No. of storeys:	1		2	
Width:	11.77	(m)	7.70	(m)
Length:	11.13	(m)	8.92	(m)
Height:	<del>7.07</del> 7.19	(m)	<del>5.78</del> 8.3	(m)

x 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).	Existing		Proposed	
			NET GAR	
Front:	61.88	(m)		27.76 (m)
Rear:		(m)		39.25 (m)
Side:		(m)		1.80 (m)
Side:		(m)		3.98 (m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                          |
|---|-------------------------------------|--|--------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/>            | Municipal Road   | <input type="checkbox"/> |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/> |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/> |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/> |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                          |
| Pit Privy   | <input type="checkbox"/>            |  |                          |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                          |

12) Date(s) of construction of all buildings and structures on the subject land.

2021

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SFD Length of time: To Present

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: SFD

A0051/2022a

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Shannon & Adrian Bubalo (please print all names), the registered owner(s) of the property described as 2243 Greenwood Dr.

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize ADRIAN Bubalo (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of April, 2022.

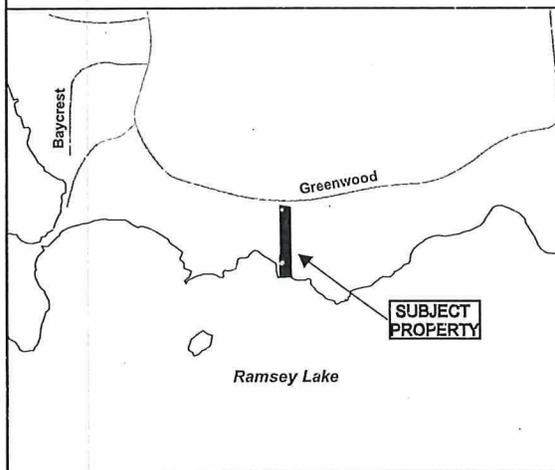
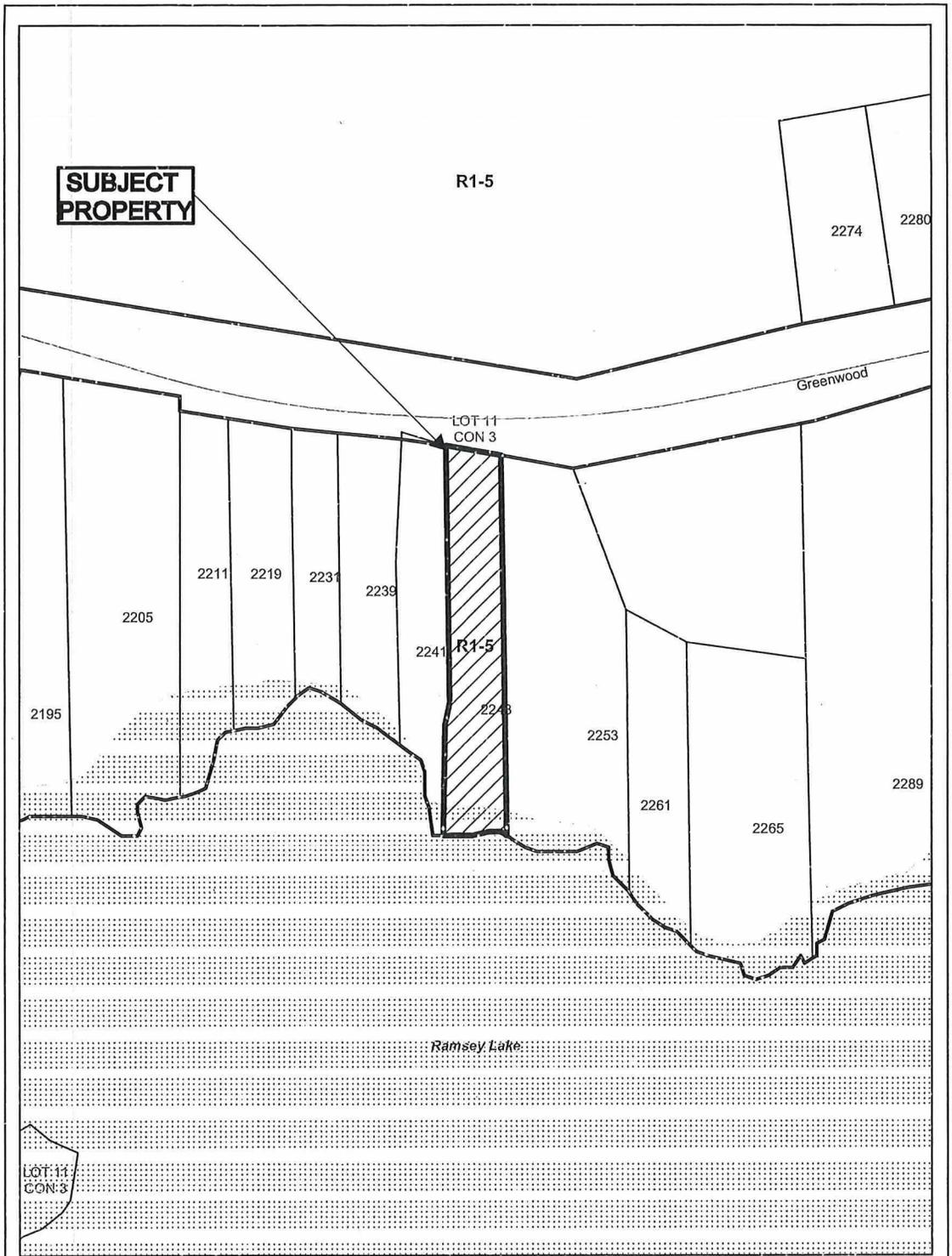
Roy M. Mulligan  
(witness)

ADRIAN Bubalo  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Adrian Bubalo Shannon

\*I have authority to bind the Corporation  
ADRIAN Bubalo





**Application for Minor Variance or Permission**



Subject Property being,  
 PIN 73577-0544,  
 Parcel 9275 SEC SES,  
 Part Lot 11, Concession 3,  
 Parts 2, 7, 8, 9, and 11, Plan 53R-14167,  
 Township of Neelon,  
 2243 Greenwood Drive, Sudbury,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0051/2022  
 Date: 2022 04 26

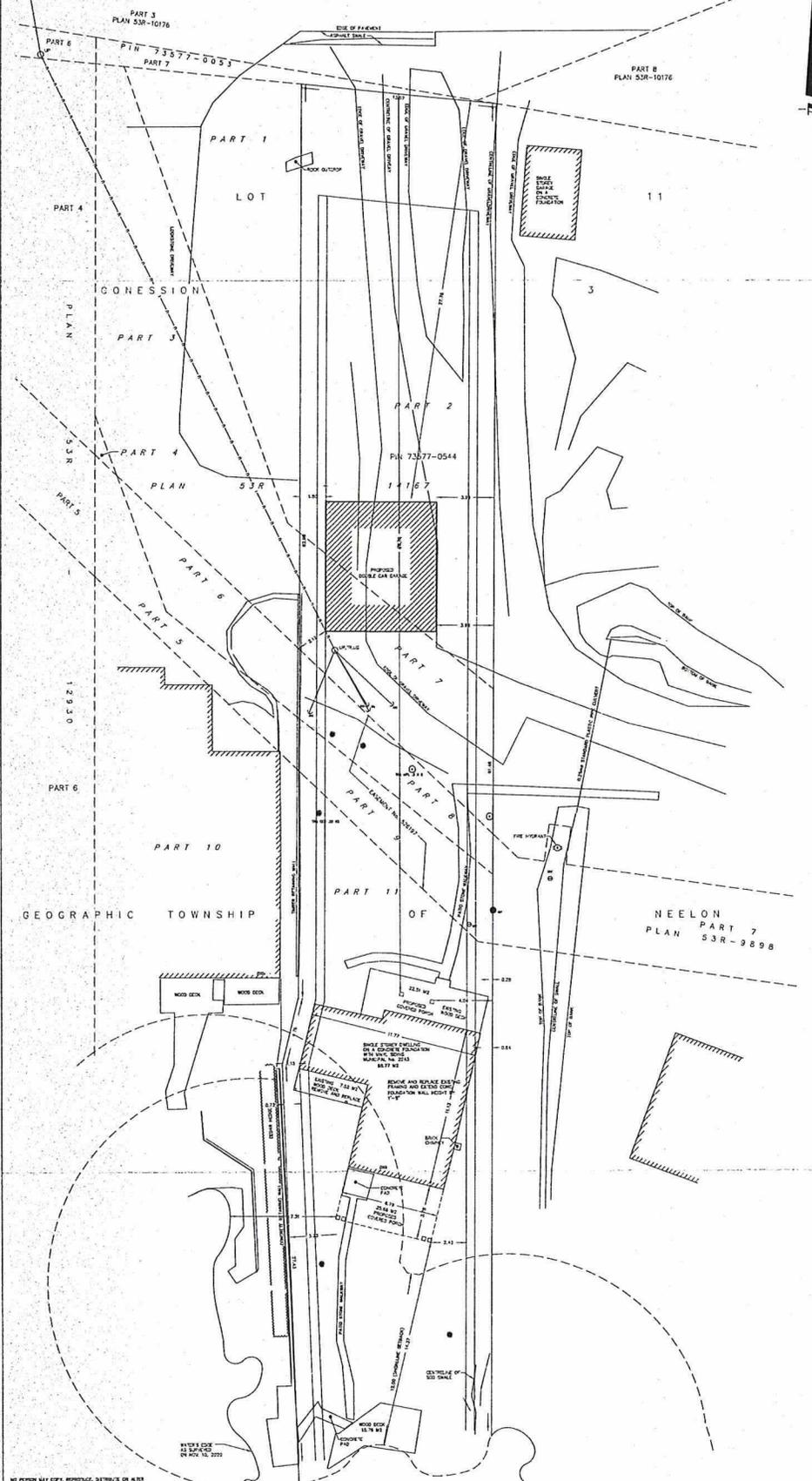
TRAVELLED ROAD KNOWN AS GREENWOOD DRIVE

PIN 73577-0329

PLAN OF TOPOGRAPHICAL SURVEY OF  
PART OF LOT 11  
CONCESSION 3  
GEOGRAPHIC TOWNSHIP OF NEELON  
CITY OF GREATER SUDBURY  
DISTRICT OF SUDBURY  
SCALE 1:100  
D.S. DORLAND LIMITED  
ONTARIO LAND SURVEYORS

**LEGEND**  
AV DENOTES NOT TO SCALE  
B DENOTES BENCHMARK  
C DENOTES CONCRETE CURB  
D DENOTES DRAINAGE DITCH  
E DENOTES ELEVATION POINT  
F DENOTES FENCE  
G DENOTES GROUND SURFACE  
H DENOTES HIGHWAY  
I DENOTES IRON PIPE  
J DENOTES JUNCTION  
K DENOTES KITCHEN  
L DENOTES LAWN  
M DENOTES MOUND  
N DENOTES NEST  
O DENOTES OIL TANK  
P DENOTES PAVEMENT  
Q DENOTES QUARRY  
R DENOTES ROAD  
S DENOTES SAND  
T DENOTES TANK  
U DENOTES UTILITY  
V DENOTES VENT  
W DENOTES WALL  
X DENOTES WINDOW  
Y DENOTES YARD  
Z DENOTES ZONE

**GENERAL LEGEND**  
O B DENOTES BENCH MARK  
O T DENOTES TRANSFORMER POLE  
C A DENOTES UTILITY POLE AND/OR  
E W DENOTES ELEVATION  
O V DENOTES WATER VALVE  
O P DENOTES FIRE HYDRANT  
O U DENOTES UTILITY VALVE



**WATER NOTE**  
WATER LINE IS AN AFFILIATED CONTROLLED LINE

**GENERAL NOTES**  
NOTES TO BE READ IN CONNECTION WITH THE PLAN AND THE SURVEY REPORT.  
ELEVATION POINTS ARE SHOWN IN METRES.  
DISTANCES ARE IN METRES.  
THIS PLAN IS NOT VALID UNLESS READ WITH THE SURVEY REPORT.

**BENCHMARK NOTES**  
BENCHMARKS ARE SHOWN IN METRES.  
ELEVATION POINTS ARE SHOWN IN METRES.  
DISTANCES ARE IN METRES.  
THIS PLAN IS NOT VALID UNLESS READ WITH THE SURVEY REPORT.

**SURVEYOR'S CERTIFICATE**  
I, D.S. DORLAND, being duly sworn, depose and say that the above is a true and correct copy of the original plan and report of the survey.

**METRIC NOTE**  
DISTANCES & ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

D.S. DORLAND LIMITED  
ONTARIO LAND SURVEYORS  
2500 SHEPPARD AVENUE EAST  
SUITE 100  
SCARBOROUGH, ONTARIO M1S 4T8  
PHONE (416) 291-7400 FAX (416) 291-7401  
WWW.DORLAND.COM

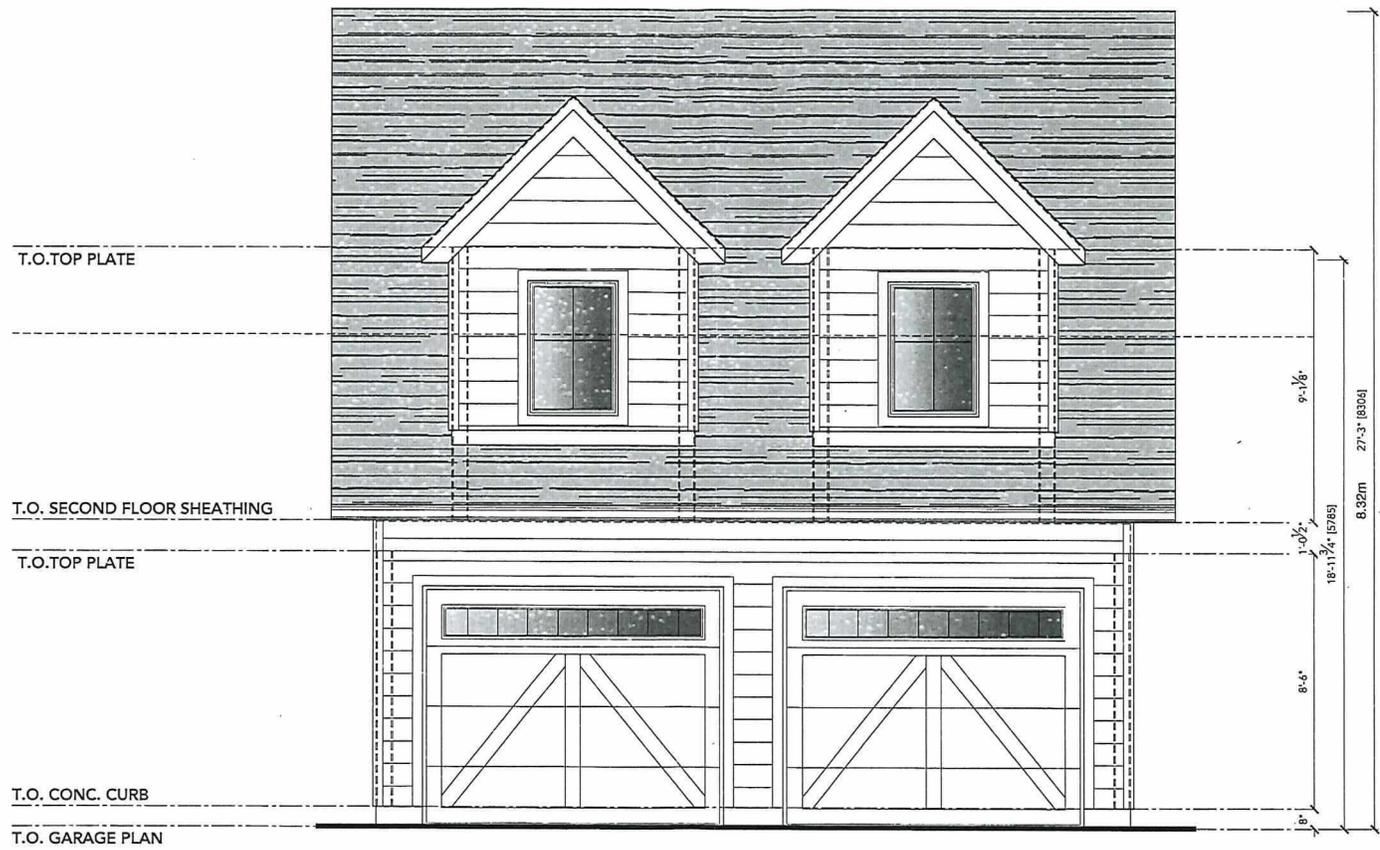
TOPOGRAPHICAL SURVEY

REVISIONS / AMENDMENTS

NO.	DATE	DESCRIPTION

THIS IS NOT AN ORIGINAL COPY UNLESS SIGNED BY THE SURVEYOR'S SEAL

A0051/2022  
Sketch 2



A0091/2022  
 sketch 2

FRONT ELEVATION

ELEVATIONS  
 DRAWN BY: JUSTIN SHERRY  
 ISSUED FOR: REVIEW  
 09.06.2020  
 PROJECT NO.: 2020-047  
 2243 GREENWOOD DRIVE, SUDBURY, ONTARIO

SHEET

03



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only	
2022.01.01	
A 0052/2022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury

### APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Yvan + Amy Ducharme Email: [REDACTED]  
 Mailing Address: 279. Timberglade CRT Home Phone: [REDACTED]  
 City: Hammer Postal Code: P3P0C4 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Amy Ducharme Email: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Home Phone: \_\_\_\_\_  
 City: See Above Postal Code: \_\_\_\_\_ Business Phone: \_\_\_\_\_  
 Fax Phone: \_\_\_\_\_

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Northern Credit Union  
 Mailing Address: 10 vaughan Ave  
 City: Capreol Postal Code: P0M 1H0

4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
height Section 4.2.4	shall 5 m	≈ 6.94 m	1.9342

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal: Construct a detached garage.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
wanting higher to install hoist - also he has 314" truck.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: CAPREOL  
 Lot No.: 11 Concession No.: 3 Parcel(s): \_\_\_\_\_  
 Subdivision Plan No.: 53 M1413 Lot: 17 Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 277 TIMBERLADE CRT

7) Date of acquisition of subject land. March 1st 2017

8) Dimensions of land affected.

Frontage 18.360192 (m) Depth 52.998624 (m) Area 3182.087616 (m<sup>2</sup>) Width of Street \_\_\_\_\_ (m)  
60.04 ft 173.88 ft 10,439.92

9) Particulars of all buildings:

	SFD	Existing	DECK	DET GAR	Proposed
Ground Floor Area:	<u>1165.739</u>	<u>0</u>	<u>0</u>	<u>95.28755</u>	<u>95.28755</u>
Gross Floor Area:	<u>209.3105</u>	<u>35.67</u>	<u>0</u>	<u>95.28755</u>	<u>95.28755</u>
No. of storeys:	<u>2</u>	<u>N/A</u>	<u>0</u>	<u>1</u>	<u>1</u>
Width:	<u>12.192</u>	<u>7.3152</u>	<u>0</u>	<u>9.1948</u>	<u>9.1948</u>
Length:	<u>16.1544</u>	<u>4.8768</u>	<u>0</u>	<u>10.3632</u>	<u>10.3632</u>
Height:	<u>6.7056</u>	<u>1.8288</u>	<u>0</u>	<u>6.94</u>	<u>6.94</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	SFD	Existing	DECK	DET GAR	Proposed
Front:	<u>6.096</u>	<u>N/A</u>	<u>0</u>	<u>39.290752</u>	<u>39.290752</u>
Rear:	<u>30.7748</u>	<u>22.86</u>	<u>0</u>	<u>4.2672</u>	<u>4.2672</u>
Side:	<u>1.2192</u>	<u>7.1628</u>	<u>0</u>	<u>6.5024</u>	<u>6.5024</u>
Side:	<u>4.8768</u>	<u>6.2484</u>	<u>0</u>	<u>1.524</u>	<u>1.524</u>

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

SFD - 2017 DECK 2019.

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential SFD Length of time: 5 years.

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property?

1

16) If this application is approved, would any existing dwelling units be legalized?

Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties:

Residential.

AP0521/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Yvan + Amy Ducharme (please print all names), the registered owner(s) of the property described as 279 Timberglade Court Hammerston in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Amy Ducharme (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

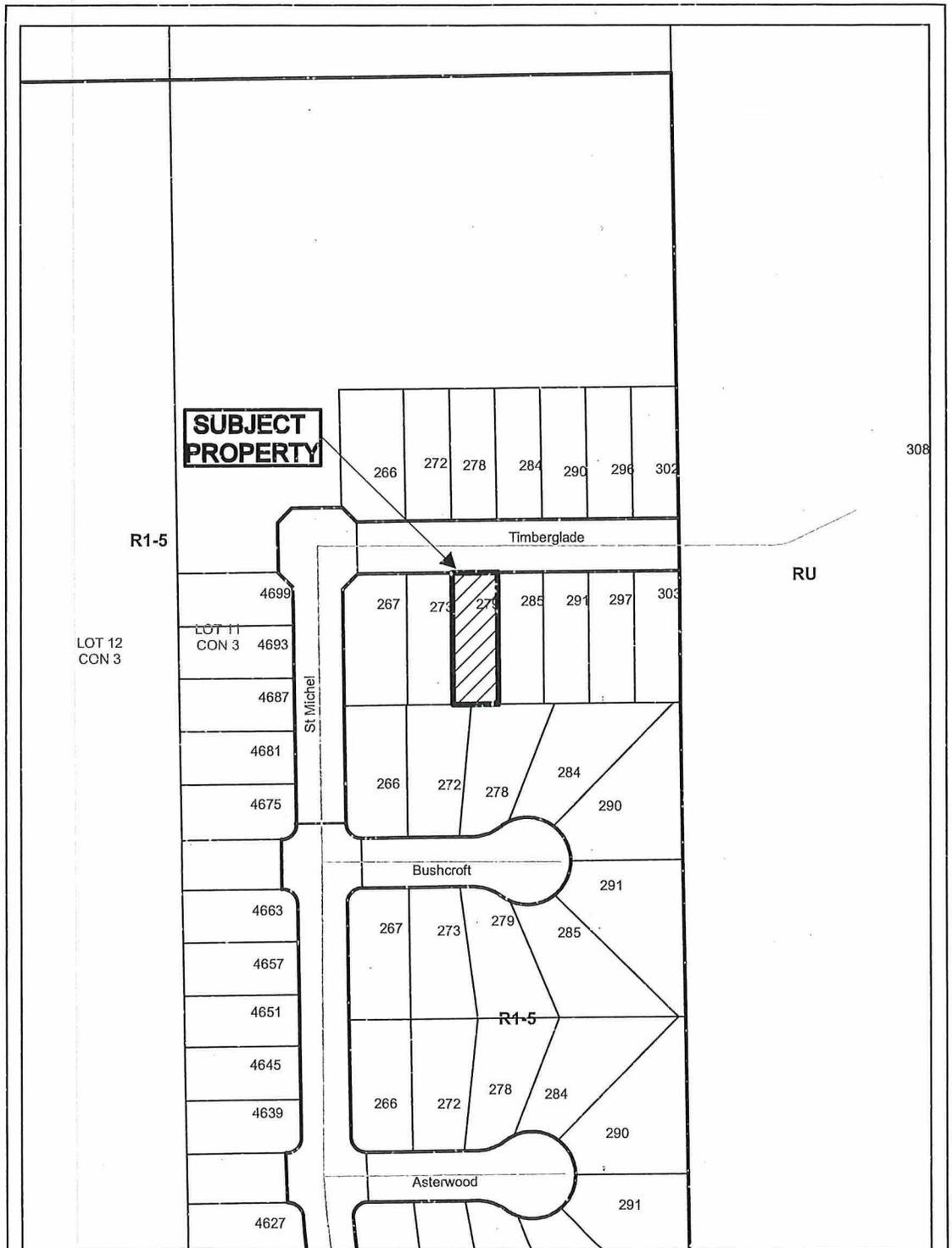
Dated this 25 day of April, 20 22

(witness) [Signature]

[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Amy Ducharme + Yvan Ducharme  
\*I have authority to bind the Corporation A0052/2022





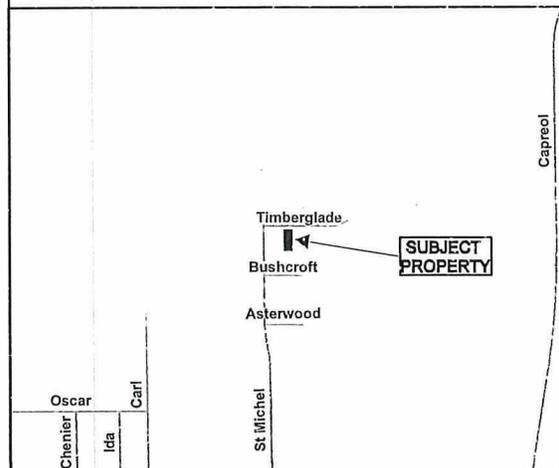
**Application for Minor  
Variance or Permission**



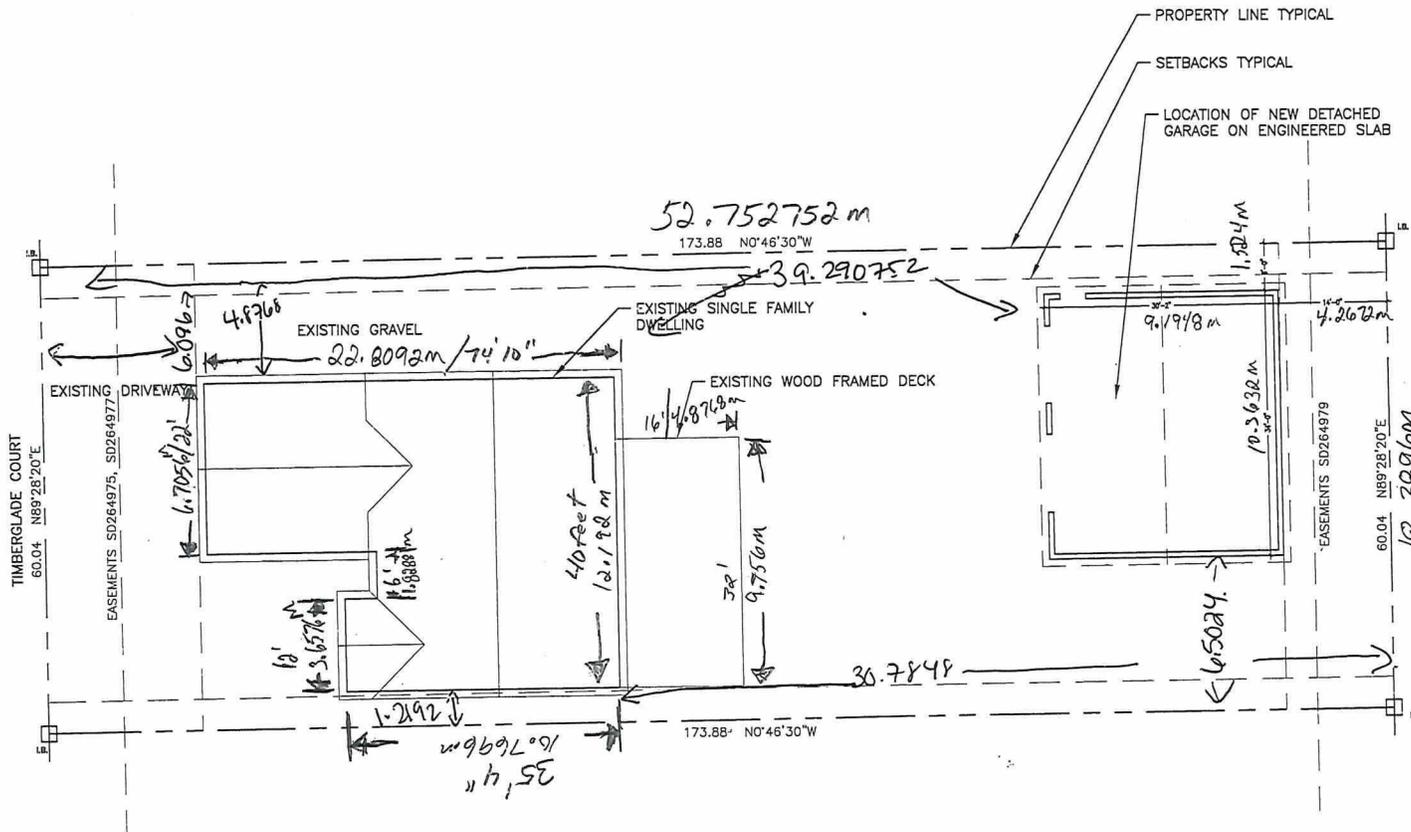
Subject Property being,  
 PIN 73508-1412,  
 Lot 17, Plan 53M-1413,  
 Part Lot 11, Concession 3,  
 Township of Capreol,  
 279 Timberglade Court, Hanmer,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0052/2022  
 Date: 2022 04 26



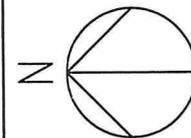
A0052/2022  
Sketch 2



General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION



No.	Revision/Issue	Date

Project Name and Address

279 TIMBERGLADE COURT  
HANMER ONTARIO  
GARAGE WORKING DRAWINGS

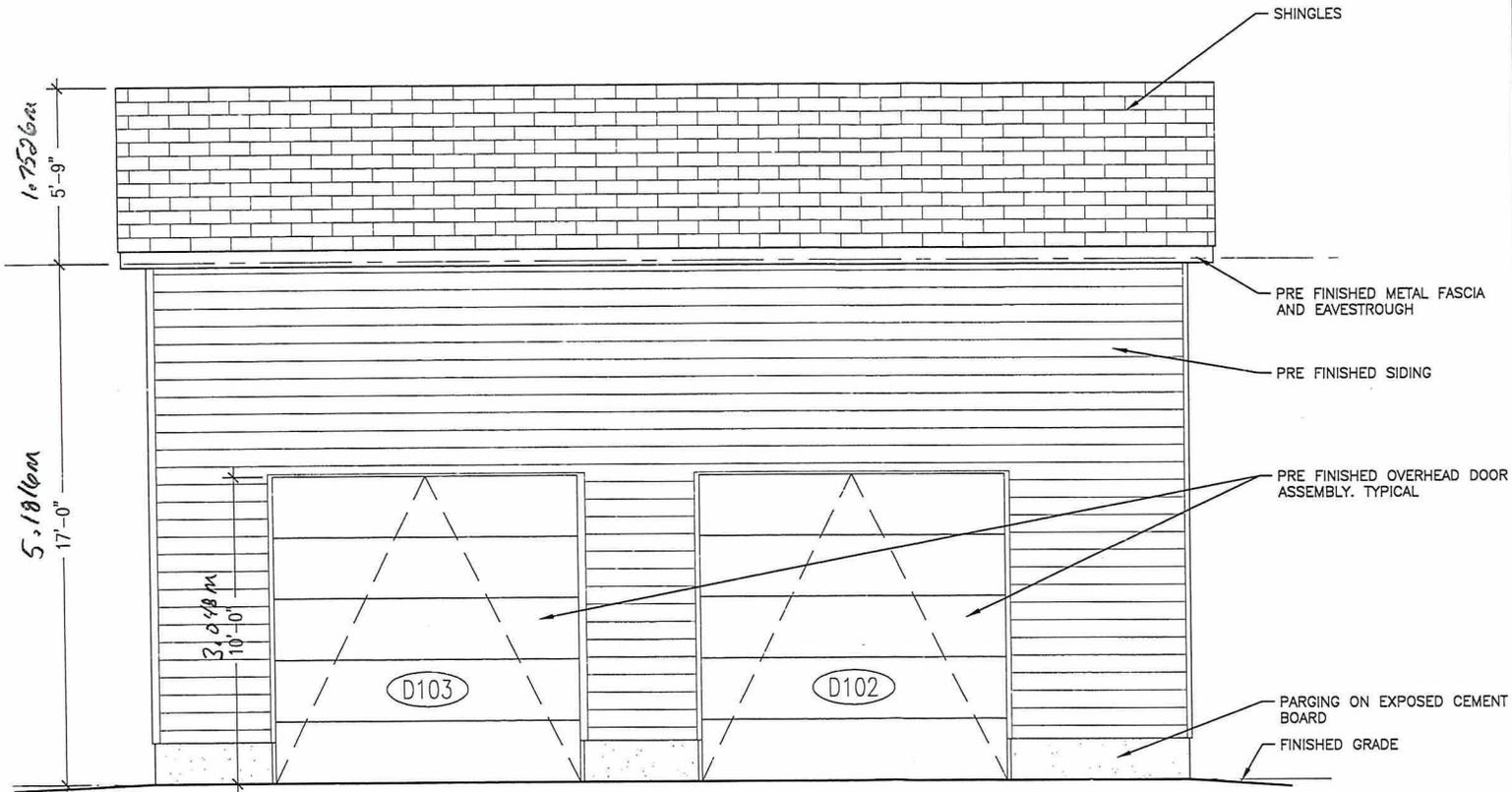
SITE PLAN

1/16" = 1'-0"

PROPERTY DESCRIPTION  
LOT 17, RP-53M-1413  
PIN 23508-1412  
CAPREOL CONCESSION 3 LOT 11

Project	Sheet
GARAGE	A-1
Date	MARCH 31, 2022
Scale	AS NOTED

Apr 22 / 2022  
 sketch 3



General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION

No.	Revision/Issue	Date

Project Name and Address

279 TIMBERGLADE COURT  
 HANMER ONTARIO  
 GARAGE WORKING DRAWINGS

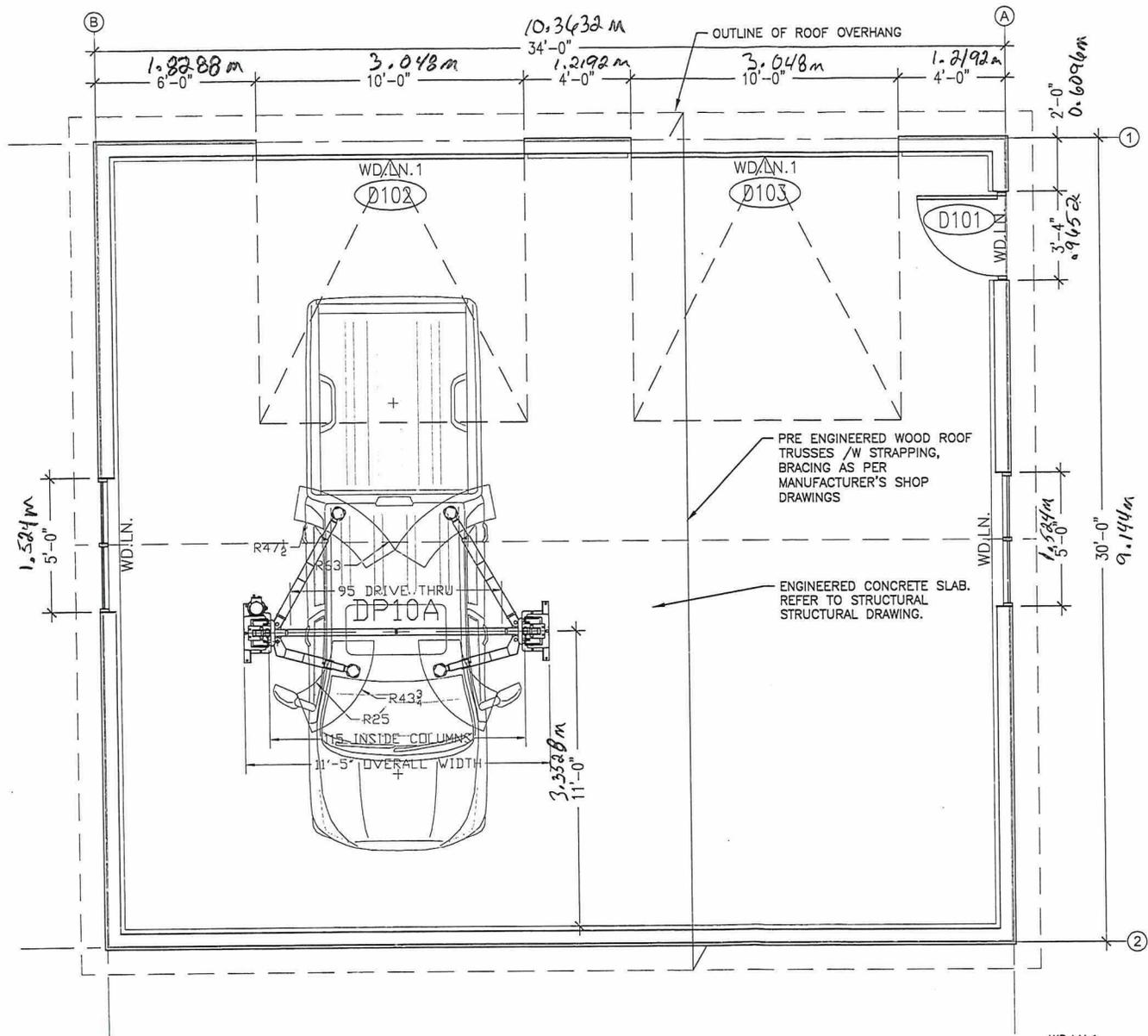
NORTH ELEVATION

1/4" = 1'-0"

Project GARAGE	Sheet A-3
Date MARCH 31, 2022	
Scale AS NOTED	

Street facing

A0052/2022  
Sketch 4

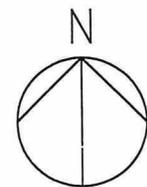


WD/LN.1  
3-2x10 WITH 3 1/2" BEARING  
WD/LN.  
2-2x6 WITH 1 1/2" BEARING

General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY / ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION



No.	Revision/Issue	Date

Project Name and Address  
279 TIMBERGLADE COURT  
HANMER ONTARIO  
GARAGE WORKING DRAWINGS

FLOOR PLAN  
1/4" = 1'-0"

Project GARAGE	Sheet A-2
Date MARCH 31, 2022	
Scale AS NOTED	

A0052/2022  
 sketch 5



General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION

No.	Revision/Issue	Date

Project Name and Address

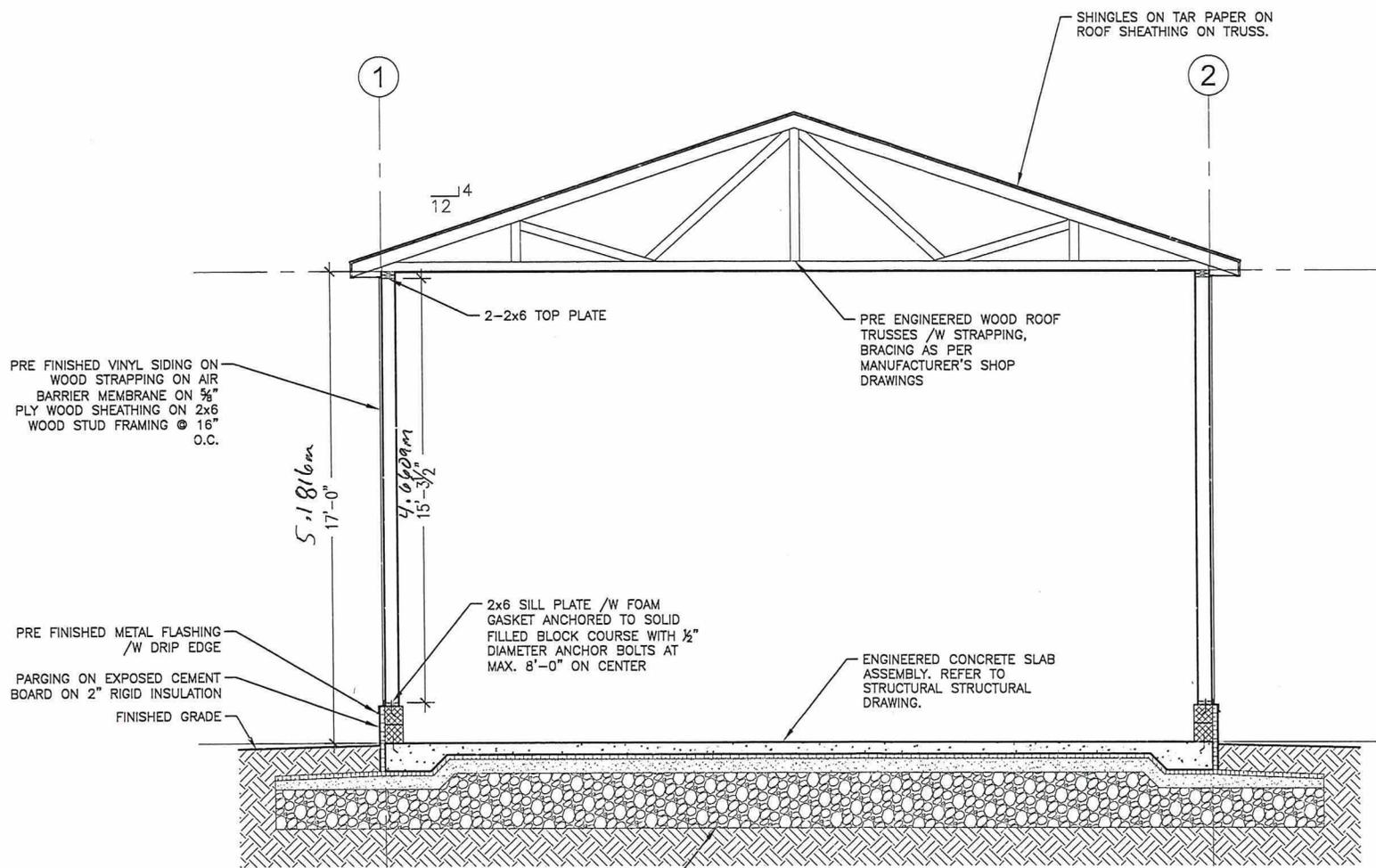
279 TIMBERGLADE COURT  
 HANMER ONTARIO  
 GARAGE WORKING DRAWINGS

EAST ELEVATION

1/4" = 1'-0"

Project GARAGE	Sheet A-4
Date MARCH 31, 2022	
Scale AS NOTED	

A0052/2022  
Sketch 6



General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION

No.	Revision/Issue	Date

Project Name and Address

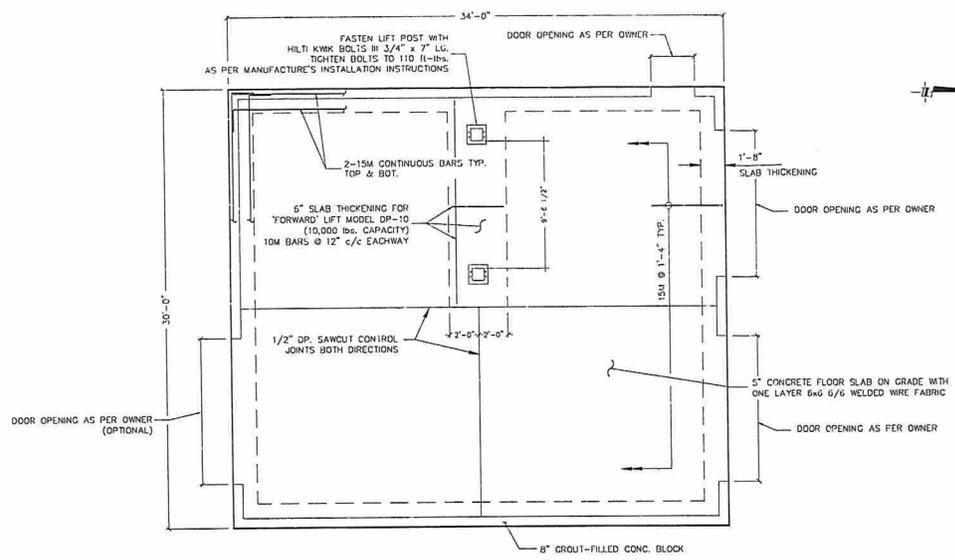
279 TIMBERGLADE COURT  
HANMER ONTARIO  
GARAGE WORKING DRAWINGS

BUILDING SECTION

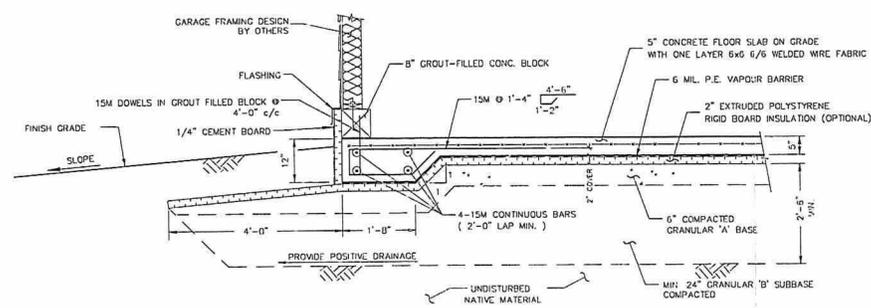
1/4" = 1'-0"

Project GARAGE	Sheet A-5
Date MARCH 31, 2022	
Scale AS NOTED	

Apr 05/2022  
 sketch 7



PLAN  
 1/4" = 1'-0"



TYPICAL SECTION  
 3/4" = 1'-0"

**GENERAL NOTES:**

1. PERFORM ALL WORK IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AS A MINIMUM STANDARD. REFER TO APPROPRIATE CSA STANDARDS FOR ADDITIONAL REQUIREMENTS CONCERNING WORKMANSHIP AND MATERIALS.
2. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE TO THE OCCUPATIONAL HEALTH AND SAFETY ACT AND ITS REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ASSOCIATED WITH THE WORK TO BE DONE PRIOR TO COMMENCING WORK OR ORDERING MATERIALS. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
4. GARAGE FOUNDATION AS SHOWN HAS BEEN DESIGNED TO FOUND ON SOIL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 1500 PSF (75 KPa). IT IS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THE SOIL UPON WHICH THE FOUNDATION WILL BEAR ACTUALLY MEETS THIS DESIGN ASSUMPTION. IF A LESSER BEARING CAPACITY IS ENCOUNTERED, IT IS THE RESPONSIBILITY OF THE OWNER TO HAVE THE FOUNDATION REDESIGNED TO SUIT EXISTING CONDITIONS.

**REINFORCED CONCRETE:**

1. ALL CAST IN PLACE CONCRETE SHALL BE READY MIXED AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AT 28 DAYS.
2. ALL CONCRETE SHALL MEET THE REQUIREMENTS OF CAN/CSA - A23.1-04 AND SHALL BE PLACED IN THE DRY. FLOOR SHALL BE FINISHED TO CLASS A REQUIREMENTS.
3. PROTECT CONCRETE FROM COLD AND HOT WEATHER IN CONFORMANCE TO CAN/CSA A23.1-04.
4. TENSION LAP SPLICES SHALL BE CLASS B UNLESS NOTED OTHERWISE.
5. ALL REINFORCING STEEL SHALL BE DEFORMED STEEL BARS GRADE 400, MEETING THE REQUIREMENTS OF CSA C30.12. WELDED WIRE FABRIC SHALL CONFORM TO THE REQUIREMENTS OF CSA C30.5.
6. ALL REINFORCING STEEL AND WELDED WIRE FABRIC SHALL BE DETAILED, FABRICATED, DELIVERED, PLACED AND SECURED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE OF THE REINFORCING STEEL INSTITUTE OF ONTARIO.
7. CONCRETE PROTECTIVE COVER SHALL BE AS FOLLOWS:  
 MIN. 2" COVER WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND  
 MIN. 1 1/2" REMAINDER
8. CONVEY CONCRETE FROM TRUCK TO FINAL LOCATION BY METHODS WHICH WILL PREVENT SEPARATION OR LOSS OF MATERIAL. MAXIMUM HEIGHT OF FREE FALL SHALL BE LIMITED TO 5'. CONSOLIDATE CONCRETE WITH VIBRATORS.

**EXCAVATION AND BACKFILLING:**

1. EXCAVATION SHALL MEET THE REQUIREMENTS OF ONTARIO PROVINCIAL STANDARD (OPS) SPECIFICATION OPS5-MUNIZ026. REMOVE ALL ORGANIC MATERIAL BELOW SLAB.
2. GRANULAR BACKFILLING SHALL MEET THE REQUIREMENTS OF ONTARIO PROVINCIAL STANDARD (OPS) SPECIFICATIONS OPS5-314 AND OPS5-MUNIZ010. COMPACTION SHALL BE TO A MINIMUM 100% STANDARD PROCTOR DENSITY.

DRAWING NOT TO BE SEALED  
 4" ON ORIGINAL DRAWING

REVISIONS		CAUTION	
DATE	DETAILS	BY	

ALL NOTES ARE NOT NECESSARILY SHOWN ON THIS DRAWING  
 WHERE UTILITIES ARE SHOWN, LOCATIONS ARE NOT GUARANTEED  
 LOCATION & DEPTH OF ALL UTILITIES MUST BE VERIFIED IN THE FIELD

**DRG**  
 Design & Inspection  
 Services



Project: 279 TIMBERGLADE COURT, HANMER, ONTARIO  
 Drawing: PASSENGER CAR GARAGE FOUNDATION PLAN AND SECTION

Drawn by: J.D.S. Date: MAR 31/22  
 Checked by: D.R.G. Scale: AS NOTED  
 Project No.: SUD-2022872 Drawing No.: 1 of 1



Greater Grand  
**Sudbury**  
 www.greatersudbury.ca  
 Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01	
A 0103/2022	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

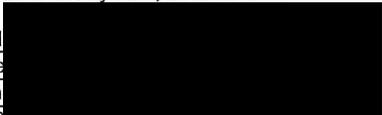
**City of Greater Sudbury**  
**APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Paul Lalonde + Nicole Deschamps Email: 

Mailing Address: 3393 St-Laurent St. Home Phone: \_\_\_\_\_

City: Chelmsford Postal Code: 0U Business Phone: \_\_\_\_\_

Fax Phone: \_\_\_\_\_

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Paul Lalonde Email: See above

Mailing Address: \_\_\_\_\_ Home Phone: \_\_\_\_\_

City: \_\_\_\_\_ Postal Code: \_\_\_\_\_ Business Phone: \_\_\_\_\_

Fax Phone: \_\_\_\_\_

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Caisse Populaire Desjardins

Mailing Address: 3027 Hwy 69 N

City: Val Caron Postal Code: P3U 1R8

- 4) Current Official Plan designation: AGRICULTURAL RESERVE Current Zoning By-law designation: A

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Minimum Required Corner side yard (2021-1522)	4.5m	4.39m	0.11m

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
House addition at the rear of the existing house to meet the needs of our growing family and the work from home requirements

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Following the existing west wall that encroaches Montée-Rouveau

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 160 023 01600 0000 Township: Ray side  
 Lot No.: 2 Concession No.: 4 Parcel(s): 16704  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 3393 St-Laurent St.

7) Date of acquisition of subject land. May 2013

8) Dimensions of land affected.

Frontage 38.1 (m) Depth 41.8 (m) Area 1591 (m<sup>2</sup>) Width of Street \_\_\_\_\_ (m)

9) Particulars of all buildings:

	House	Garage Existing	Shed	House	Garage Proposed	Shed
Ground Floor Area:	<u>81</u>	<u>33.5</u>	<u>19.5 (m<sup>2</sup>)</u>	<u>153</u>	<u>74.5</u>	<u>Removed (m<sup>2</sup>)</u>
Gross Floor Area:	<u>130</u>	<u>33.5</u>	<u>19.5 (m<sup>2</sup>)</u>	<u>265</u>	<u>74.5</u>	<u>Ø (m<sup>2</sup>)</u>
No. of storeys:	<u>2</u>	<u>1</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>Ø</u>
Width:	<u>10.6</u>	<u>5.5</u>	<u>3.2 (m)</u>	<u>10.6</u>	<u>11</u>	<u>Ø (m)</u>
Length:	<u>6.7</u>	<u>6.1</u>	<u>6.1 (m)</u>	<u>19.8</u>	<u>7.3</u>	<u>Ø (m)</u>
Height:	<u>2.1</u>	<u>3.7</u>	<u>2.7 (m)</u>	<u>2.7</u>	<u>5.4</u>	<u>Ø (m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing			Proposed		
Front:	<u>3.2</u>	<u>39.5</u>	<u>39.5 (m)</u>	<u>3.2</u>	<u>28.8</u>	<u>Ø (m)</u>
Rear:	<u>31.4</u>	<u>5.2</u>	<u>5.2 (m)</u>	<u>18.2</u>	<u>5.2</u>	<u>Ø (m)</u>
Side: (East)	<u>23.1</u>	<u>13.9</u>	<u>25.3 (m)</u>	<u>23.1</u>	<u>8.5</u>	<u>Ø (m)</u>
Side: (West)	<u>4.4</u>	<u>18.6</u>	<u>10.3 (m)</u>	<u>4.4</u>	<u>18.6</u>	<u>Ø (m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |  |                                     |  |                          |
|--|-------------------------------------|--|--------------------------|
| <input type="checkbox"/> Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/> |
| <input type="checkbox"/> Municipally owned & operated sanitary sewage system | <input type="checkbox"/>            | Municipal Road   | <input type="checkbox"/> |
| <input type="checkbox"/> Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input type="checkbox"/> |
| <input type="checkbox"/> Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/> |
| <input type="checkbox"/> Individual Septic System                            | <input checked="" type="checkbox"/> | Water  | <input type="checkbox"/> |
| <input type="checkbox"/> Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                          |
| <input type="checkbox"/> Pit Privy   | <input type="checkbox"/>            |  |                          |
| <input type="checkbox"/> Municipal Sewers/Ditches/Swailes                    | <input type="checkbox"/>            |  |                          |

12) Date(s) of construction of all buildings and structures on the subject land.

House: Pre 1940 Garage: Unknown (70s or 80s) Shed: Unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: Always

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential + Agricultural

A0053/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

We, Paul + Nicole Lalonde (please print all names), the registered owner(s) of the property described as 3393 St-Laurent St. Chelmsford in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2022

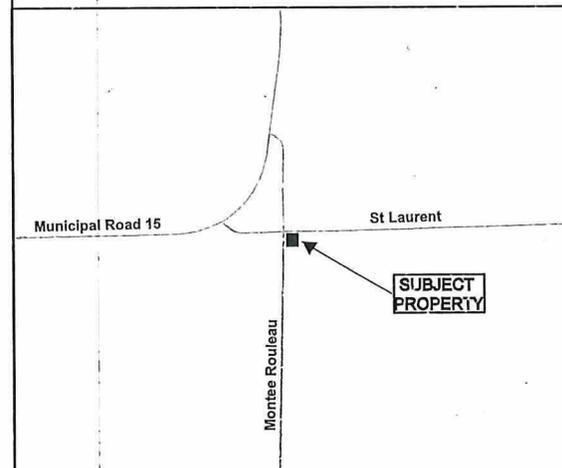
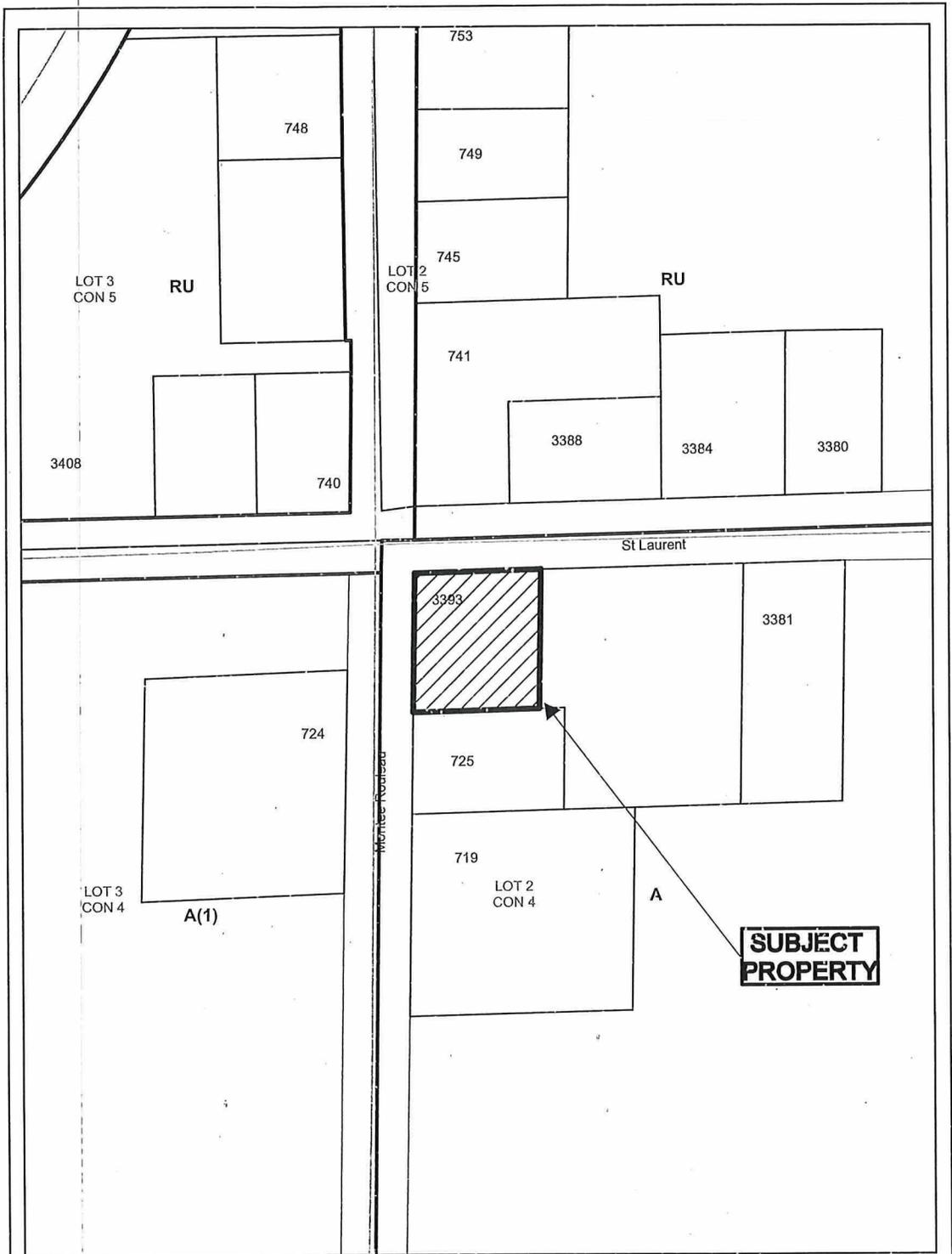
[Signature]  
(witness)

[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent  
Print Name: Nicole Deschamps + Paul Lalonde

\*I have authority to bind the Corporation

10053/2022





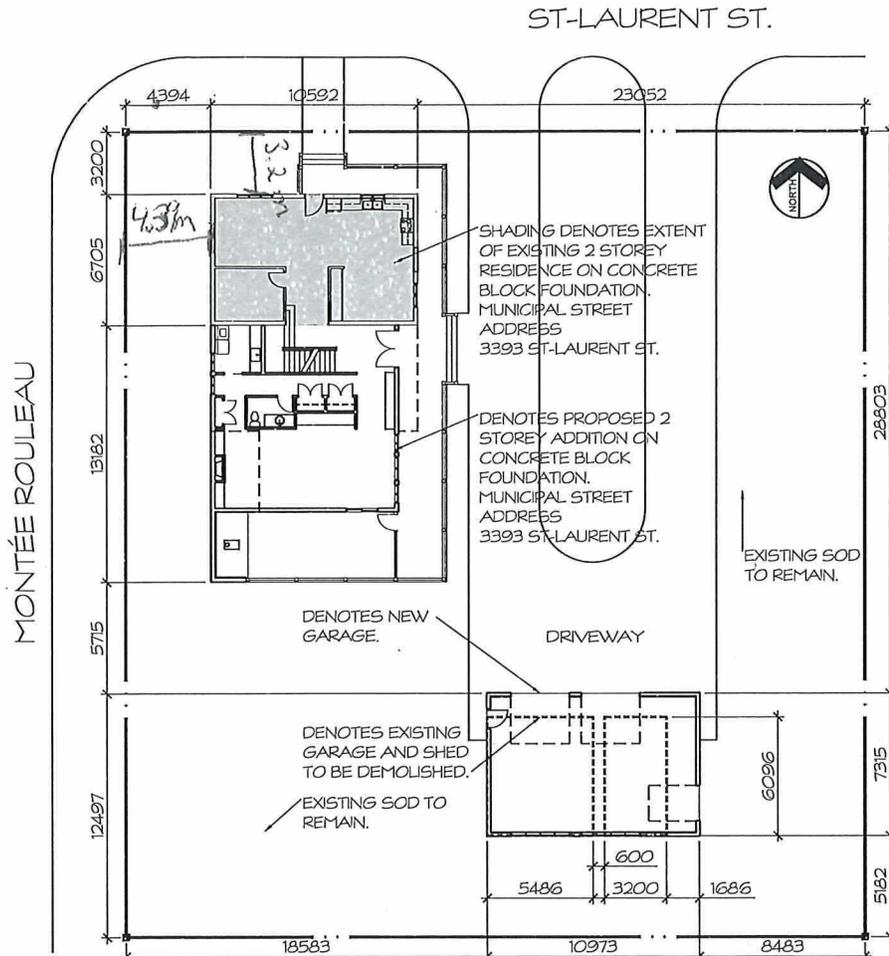
**Application for Minor  
Variance or Permission**



Subject Property being,  
 PIN 73345-0135,  
 Parcel 16704 SEC SWS,  
 Part Lot 2, Concession 4,  
 Township of Rayside,  
 3393 St Laurent Street, Chelmsford,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0053/2022  
 Date: 2022 04 26



SITE PLAN IS NOT A LEGAL SURVEY.  
 3393 ST LAURENT ST  
 MUNICIPALITY OF RAYSIDE CON 4 PT LOT 2  
 PCL 16704  
 CITY OF GREATER SUDBURY

SITE PLAN  
 SCALE: 1:250

<p><b>DRAWING NAME</b>          MINOR VARIANCE          SITE PLAN</p>	<p><b>PROJECT NAME</b>          LALONDE RESIDENCE          ALTERATION &amp; ADDITION</p>	<p><b>DRAWN BY:</b> RA  <b>SCALE:</b> 1:250  <b>DATE:</b> 22-04-24</p>	<p><b>DRAWING NUMBER</b>  <b>A-1</b></p>
<p><small>CONTRACTORS AND SUBTRADE SHALL VERIFY ALL DIMENSIONS &amp; REPORT ANY INCONSISTENCIES, DISCREPANCIES, OMISSIONS OR CONFLICTS TO THE DESIGNER/OWNER BEFORE PROCEEDING WITH THE WORK.</small></p>	<p><small>THESE DRAWINGS ARE PROTECTED BY THE COPYRIGHT ACT, ANY REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED BY LAW. THESE DRAWINGS REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE ALTERED IN ANY MANNER OR USED ON ANY OTHER PROJECT.</small></p>		

A0053/2022  
 sketch 2



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01
A0554/2022
S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

**APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)**  
**APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)**  
**CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY**

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended

Registered Owner(s): Crystal Willett + Richard Pellerin Email: [REDACTED]  
 Mailing Address: 45 Equinox Cres. Home: [REDACTED]  
 City: Sudbury Postal Code: P3B 0B6 Business Phone: n/a  
 Fax Phone: n/a

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Crystal Willett (see above) Email: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Home Phone: \_\_\_\_\_  
 Business Phone: \_\_\_\_\_  
 City: \_\_\_\_\_ Postal Code: \_\_\_\_\_ Fax Phone: \_\_\_\_\_

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Caisse Des Jardin - Eric Akpa 705-674-4234 Ext. 7303161  
 Mailing Address: 40 Elm St.  
 City: Sudbury Postal Code: P3C 1S8

4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
encroachment into rear yard section 4.2.5 Table 4.1	3.6m	4.45m	0.85m

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal: attached deck (uncovered)

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: previous owner had it built. Esthetically attached to lower deck. Deck provides addition living space, to increase usability of back yard

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: NEELOM  
 Lot No.: 9 Concession No.: 3 Parcel(s): \_\_\_\_\_  
 Subdivision Plan No.: 53M355 Lot: 12 Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 45 EQUINOX CRES, SUBURBY

7) Date of acquisition of subject land. May 17 - 2010

8) Dimensions of land affected.

Frontage 13.039 (m) Depth 32.92 (m) Area 566.56 (m<sup>2</sup>) Width of Street \_\_\_\_\_ (m)

9) Particulars of all buildings:

	House Existing	Shed	Proposed	(m <sup>2</sup> )
Ground Floor Area:	<u>142.79</u>	<u>7.43 (m<sup>2</sup>)</u>	<u>n/a</u>	<u>(m<sup>2</sup>)</u>
Gross Floor Area:	<u>198.63</u>	<u>7.43 (m<sup>2</sup>)</u>	<u>24.53</u>	<u>(m<sup>2</sup>)</u>
No. of storeys:	<u>1</u>	<u>1</u>	<u>n/a</u>	
Width:	<u>12.19</u>	<u>2.34 (m)</u>	<u>4.88</u>	<u>(m)</u>
Length:	<u>14.94</u>	<u>2.95 (m)</u>	<u>5.03</u>	<u>(m)</u>
Height:	<u>5.49</u>	<u>2.44 (m)</u>	<u>1.22</u>	<u>(m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House Existing	Shed	Proposed (Deck)	(m)
Front:	<u>6.26</u>	<u>n/a</u>	<u>n/a</u>	<u>(m)</u>
Rear:	<u>7.93</u>	<u>1</u>	<u>3.3</u>	<u>(m)</u>
Side:	<u>2.64</u>	<u>0.85</u>	<u>4.78</u>	<u>(m)</u>
Side:	<u>1.27</u>	<u>2.5</u>	<u>12.02</u>	<u>(m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/>            |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/>            |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                                     |

12) Date(s) of construction of all buildings and structures on the subject land.

House: 2008 Shed: 3

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential SFD Length of time: 14.

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: residential

A0054/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

★ I/We, Crystal Willett, Richard Pellerin (please print all names), the registered owner(s) of the property described as \_\_\_\_\_

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2022

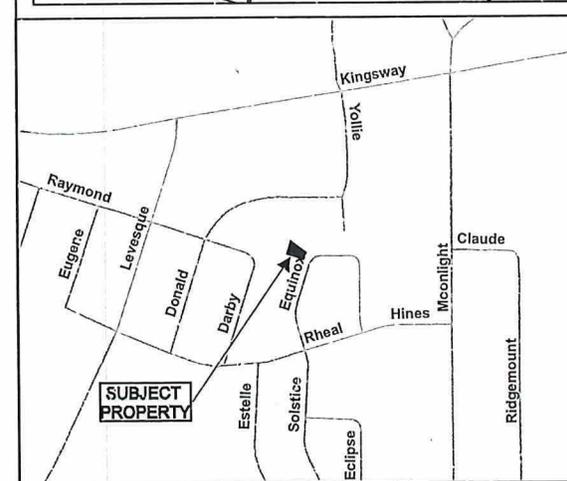
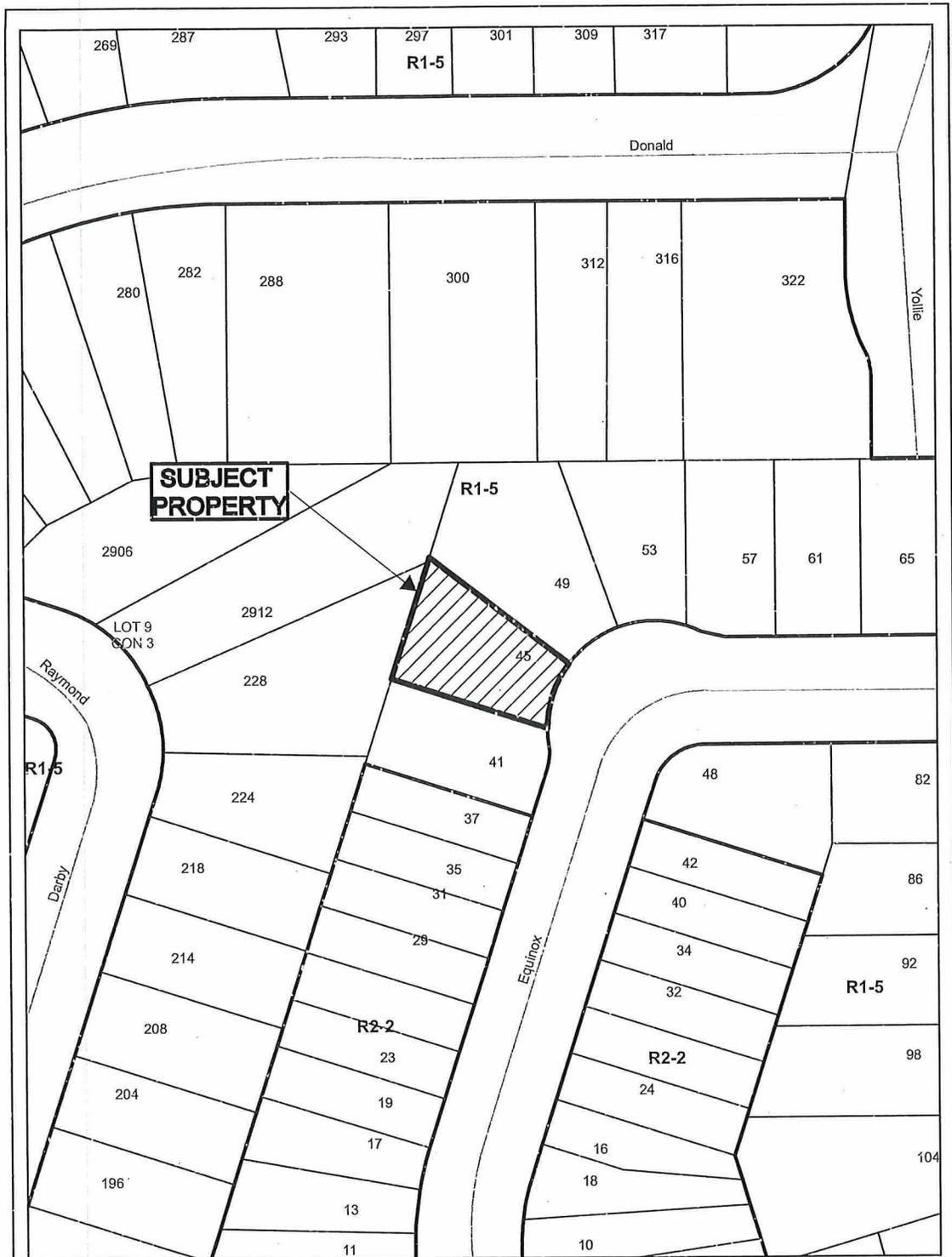
(witness) [Signature]

Crystal Willett, Richard Pellerin  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Crystal Willett, Richard Pellerin

\*I have authority to bind the Corporation A0054/2022





Application for Minor  
Variance or Permission 

Subject Property being,  
PIN 73575-0482,  
Lot 12, Plan 53M-1355,  
Part Lot 9, Concession 3,  
Township of Neelon,  
45 Equinox Crescent, Sudbury,  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0054/2022  
Date: 2022 04 26

A005412022  
sketch 2



City - Building Services  
Permit # 07-2477

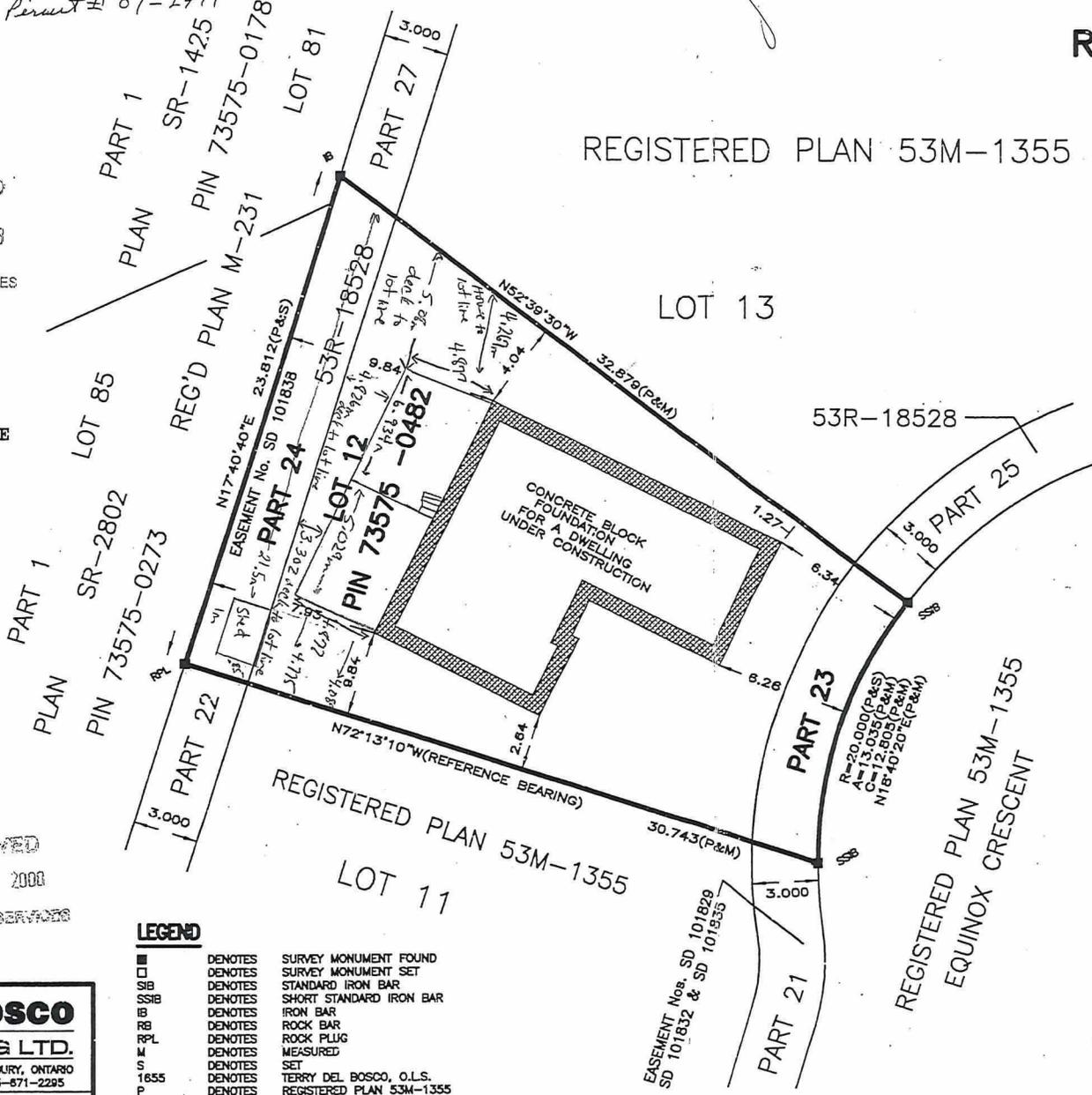
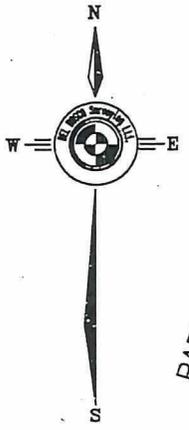
SURVEYOR'S REAL PROPERTY REPORT ON  
**LOT 12**  
**REGISTERED PLAN 53M-1355**  
GEOGRAPHIC TOWNSHIP OF NEELON  
CITY OF GREATER SUDBURY  
DISTRICT OF SUDBURY  
TERRY DEL BOSCO, O.L.S.  
2008

REGISTERED PLAN 53M-1355

SCALE 1 : 200



RECEIVED  
APR 17 2008  
BUILDING SERVICES



**DESCRIPTION**

PIN 73575-0482, BEING LOT 12, REGISTERED PLAN 53M-1355  
NO VISIBLE MUNICIPAL No.

**REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY**

PART 23: SUBJECT TO EASEMENT No. SD 101829 IN FAVOUR OF BELL CANADA  
PART 23: SUBJECT TO EASEMENT No. SD 101832 IN FAVOUR OF PERSONA COMMUNICATIONS INC.  
PART 23: SUBJECT TO EASEMENT No. SD 101835 IN FAVOUR OF GREATER SUDBURY HYDRO  
PART 24: SUBJECT TO EASEMENT No. SD 101838 IN FAVOUR OF THE CITY OF GREATER SUDBURY

**NOTE**

ALL SURVEY MONUMENTS BEAR THE NUMBER 1655 UNLESS SHOWN OTHERWISE

**COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS**

NOT CERTIFIED BY THIS REPORT.

**NOTES**

BEARINGS ARE GRID BEARINGS AND ARE REFERRED TO THE SOUTH LIMIT OF LOT 12, SHOWN ON REGISTERED PLAN 53M-1355 TO HAVE A BEARING OF N72°13'10"W.

THIS PLAN AND REPORT IS PREPARED FOR DALRON CONSTRUCTION IT IS NOT VALID UNLESS SIGNED AND SEALED.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF DEL BOSCO SURVEYING LTD., O.L.S.

© DEL BOSCO SURVEYING LTD., 2008

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :

- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM
- 2) THIS SURVEY WAS COMPLETED ON THE 7th DAY OF MARCH, 2008

MARCH 8, 2008  
DATE

TERRY DEL BOSCO  
ONTARIO LAND SURVEYOR

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
⊕	DENOTES	IRON BAR
RB	DENOTES	ROCK BAR
RPL	DENOTES	ROCK PLUG
M	DENOTES	MEASURED
S	DENOTES	SET
1655	DENOTES	TERRY DEL BOSCO, O.L.S.
P	DENOTES	REGISTERED PLAN 53M-1355

**Del Bosco**  
SURVEYING LTD.  
75 LORNE STREET SUDBURY, ONTARIO  
P3C 4P2 705-871-2295  
FLE 6474 LOTS 12 & 27

RECEIVED  
APR 2 2008  
BUILDING SERVICES



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01	
A 0059/2022	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Robert Derek Burgess	Email: [REDACTED]
Mailing Address: 1360 Cawthorpe St	Home Phone: [REDACTED]
City: Sudbury	Business Phone: [REDACTED]
Postal Code: P3G1C1	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: NA	Email: [REDACTED]
Mailing Address: 1360 Cawthorpe st. Sudbury	Home Phone: [REDACTED]
City: [REDACTED]	Business Phone: [REDACTED]
Postal Code: [REDACTED]	Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <del>NA</del> Merix Financial	
Mailing Address: 390 Bay St Suite 1800	
City: Toronto	Postal Code: M5H 2Y2

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Side yard setback	1.2	0.81 m	0.39 m
6.3 table 6.2			

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: ~~1225~~ 0.635 ~~87~~ (m)

- c) Description of Proposal:  
 Addition of a living room to the back of the already existing house. The plan is to extend the house 2.8m for a living room.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
 Existing house is currently too close to the property line and therefore the addition will also be close to the property and therefore will not comply with the by-law.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73478-0772		Township: Broder	
Lot No.: 1	Concession No.: 5	Parcel(s): 17617	
Subdivision Plan No.: M214		Lot: 14	Reference Plan No.:
Municipal Address or Street(s): 1360 Cawthorpe st. Sudbury			

7) Date of acquisition of subject land. 2019

8) Dimensions of land affected.

Frontage 27.84 (m) Depth 33.12 (m) Area 1152 (m<sup>2</sup>) Width of Street 3.7 (m)

9) Particulars of all buildings:	SFD	Shed Existing	Shed	SFD	Total Proposed	Shed 1	Shed 2
Ground Floor Area:	83.61	8.4	14.4 (m <sup>2</sup> )	24	(107.61)	8.4	14.4 (m <sup>2</sup> )
Gross Floor Area:	83.61	8.4	14.4 (m <sup>2</sup> )	24	(107.61)	8.4	14.4 (m <sup>2</sup> )
No. of storeys:	1	1	1	1		1	1
Width:	8.5	2.4	4 (m)	8.5	(17)	2.4	4 (m)
Length:	9.8	3.5	4.6 (m)	2.8	(12.6)	3.5	4.6 (m)
Height:	4	2	2 (m)	4	(8)	2	2 (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	SFD	Shed 1 Existing	Shed 2	SFD	Proposed	Shed 1	Shed 2
Front:	13.11	15	5.5 (m)	33	15	5.5 (m)	
Rear:	31	33	1.5 (m)	33.12	33	1.5 (m)	
E Side:	10	2 m	1.5 (m)	10.81	2	1.5 (m)	
W Side:	6.8	14	12.5 (m)	0.81	14	12.5 (m)	

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

- Provincial Highway
  - Municipal Road
  - Maintained Yearly
  - Maintained Seasonal
  - Right-of-way
  - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Shed #1 - 1980s. Shed #2 - 2020 SFD - 1980s

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: ~70 years

14) Proposed use(s) of the subject property.

Same as #13 ✓ or,

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?

Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential

A0055/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Robert Derek Burgess (please print all names), the registered owner(s) of the property described as 1360 Canthorpe St in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 26 day of April, 2022

Christine Burke  
(witness) Christine Burke

Robert Burgess  
signature of Owner(s) or Signing Officer or Authorized Agent  
Print Name: Robert Burgess  
\*I have authority to bind the Corporation

A0055/2022

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Robert Burgess (please print all names), the registered owner(s) or authorized agent of the property described as 1360 Lawthorpe St.

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 26 day of April, 2022

Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent (\*where a Corporation)

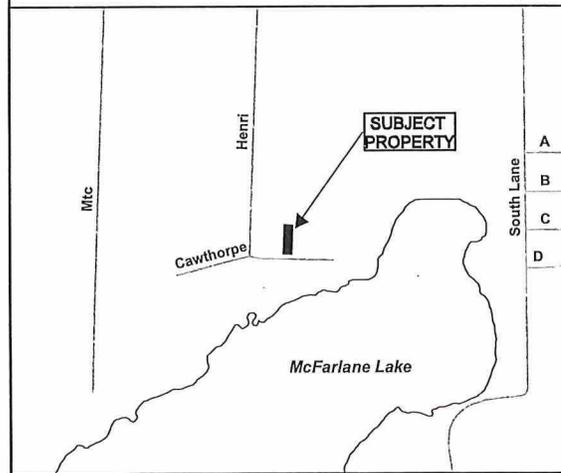
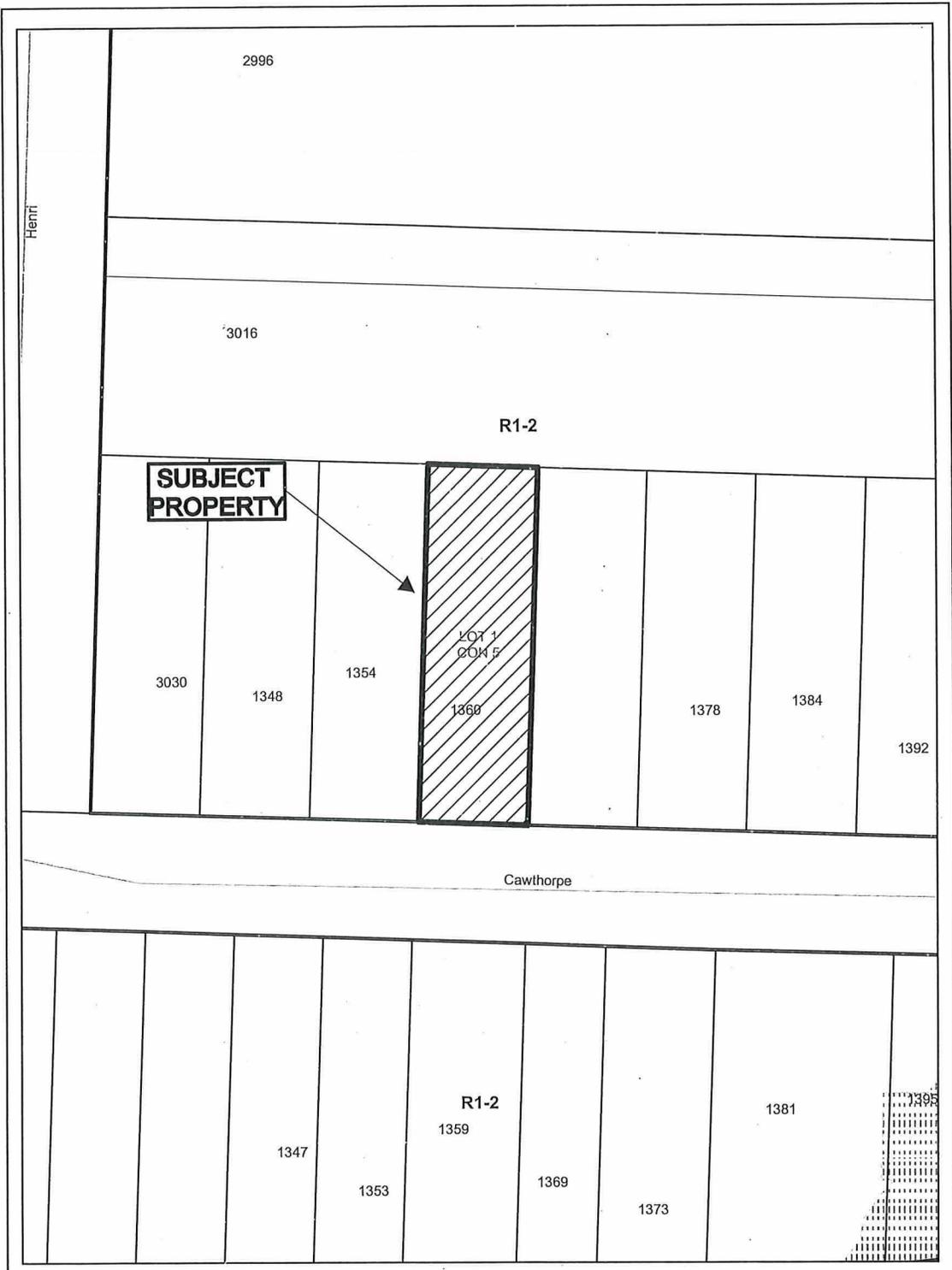
Print Name: Robert Burgess \*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Form with fields: Date of Receipt: April 28/22, Hearing Date: May 18, 2022, Received By: N. Lewis, Zoning Designation: R1-2, Resubmission: Yes (No), Previous File Number(s): None, Previous Hearing Date: None, Notes:

19055/2022



**Application for Minor  
Variance or Permission**

N  

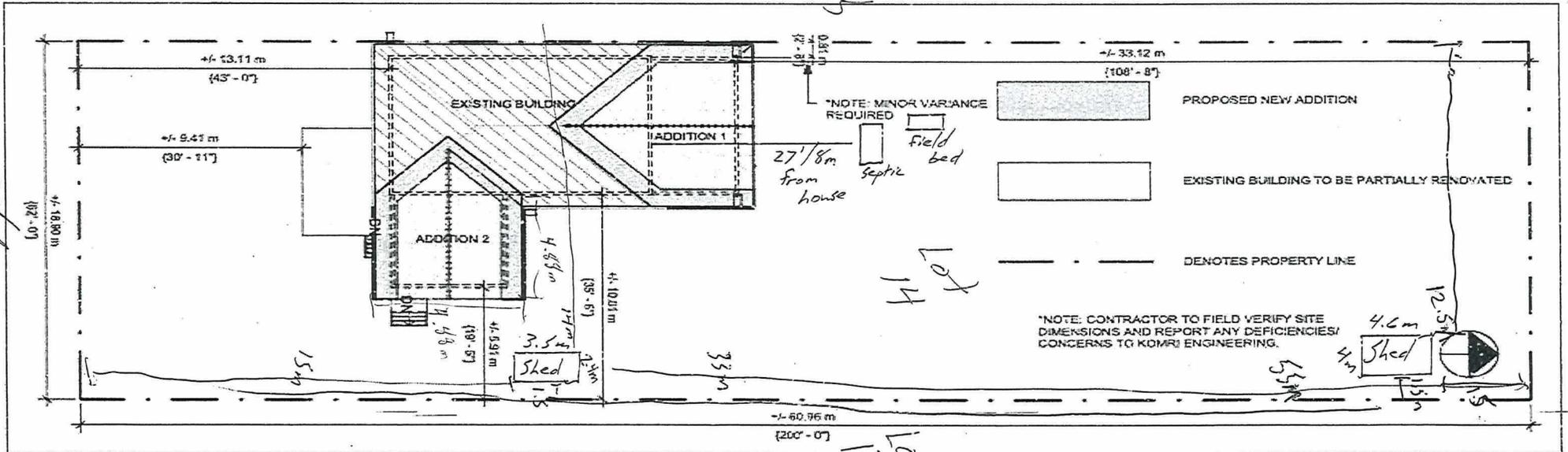

A	Subject Property being, PIN 73478-0772, Parcel 17617 SEC SES, Lot 14, PPlan M-214, Part Lot 1, Concession 5, Township of Broder, 1360 Cawthorpe Street, Sudbury City of Greater Sudbury
B	
C	
D	

Sketch 1, NTS A0055/2022  
 NDCA Date: 2022 04 29

DIMENSIONS ON SITE PLAN TO BE FIELD VERIFIED BY HOME OWNER, CONTRACTOR OR SITE SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING

ZONE = ~R1-2  
 TOTAL PROPERTY AREA = ± 1152m<sup>2</sup>  
 EXISTING HOUSE AREA = ± 81.1m<sup>2</sup>  
 NEW PROPOSED ADDITION 1 = ± 24m<sup>2</sup>  
 NEW PROPOSED ADDITION 2 = ± 24m<sup>2</sup>  
 NEW TOTAL LOT COVERAGE = ~11.21%

MAXIMUM LOT COVERAGE = ~40%  
 MAXIMUM HEIGHT = ~11.0m  
 MINIMUM LOT FRONTAGE = ~36.0m  
 MINIMUM FRONT YARD = ~6.0m  
 MINIMUM REAR YARD = ~7.5m  
 MINIMUM INTERIOR SIDE YARD = ~1.2m  
 MINIMUM CORNER SIDE YARD = ~4.5m



SITE PLAN  
 1/4" = 1'-0"

POSS/2022  
 sketch 2







Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01	
A 005012022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Stephan Villeneuve and Chris Roussele  
 Mailing Address: 25 Winfield Lane  
 City: Sudbury Postal Code: P3A 6E2

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: not required Chris Roussele Em [redacted]  
 Mailing Address: 300-750 Cambie St 965 Marquette Ho [redacted]  
4533 Notre Dame Ave. Business Phone:  
 City: Sudbury Postal Code: P3E 4J3 Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Canadian Western Trust Company  
 Mailing Address: 300-750 Cambie St  
 City: Vancouver, BC Postal Code: V6B 0A2

- 4) Current Official Plan designation: \_\_\_\_\_ Current Zoning By-law designation: C2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 7.1 special provision #16	"Non-residential must be the main use on the ground floor"	Residential use on main floor	1 residential unit

- b) Is there an eave encroachment?  Yes  No if 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
Single detached dwelling with 2 secondary dwelling units  
Looking for a variance from Table 7.1 special provision #16 in regards to requirement for commercial usage on the main floor to allow residential usage on the main floor.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Non-residential uses must be the main use on the ground floor according to Table 7.1 special provision #16 in a C2 zoned property.  
We appreciate you working with us in this development project



18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Stephan Villeneuve and Chris Rousselle (please print all

names), the registered owner(s) of the property described as 4533 Notre Dame Avenue, Hanmer\*\*

\*\*May need to change legal address, abutting property is also described as 4533, Amanda Dittrich has started this process.\*\*  
in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

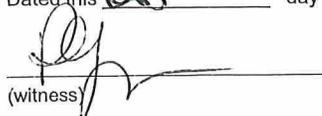
**Authority to Enter Land and Photograph**

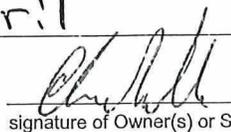
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

- g) appoint and authorize Chris Rousselle (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2022

(witness) 

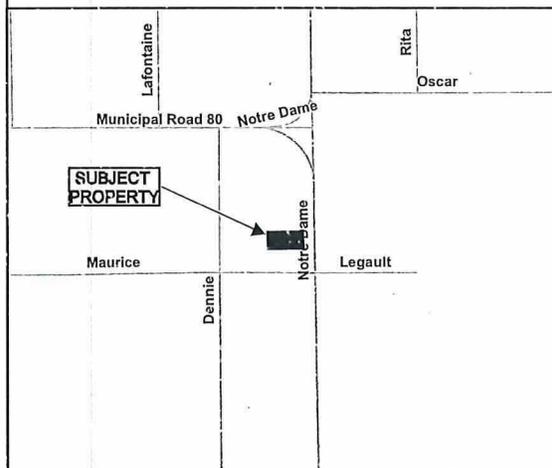
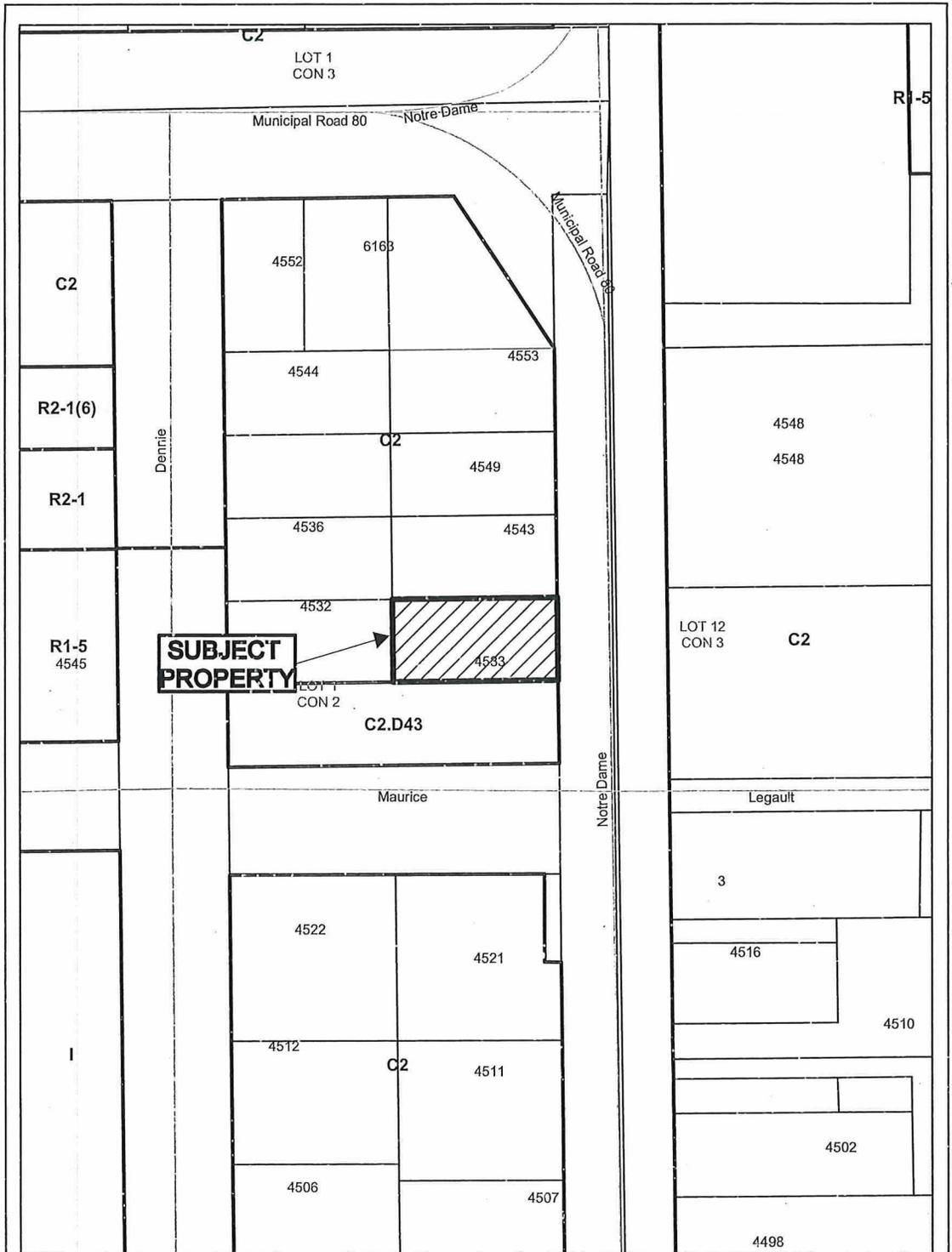
  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Chris Rousselle Stephan Villeneuve

\*I have authority to bind the Corporation

A0056/2022





**Application for Minor Variance or Permission**

Subject Property being,  
 PIN 73503-0558,  
 Parcel 3793 SEC SES,  
 Lot 6, Plan M-107,  
 Part Lot 1, Concession 2,  
 Township of Hanmer,  
 4533 Notre Dame Avenue, Hanmer  
 City of Greater Sudbury

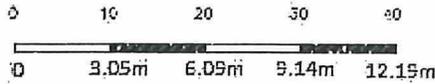
Sketch 1, NTS  
 NDCA

A0056/2022  
 Date: 2022 04 29

PLOT PLAN  
**LOT 6**  
 REGISTERED PLAN M-107  
 #4533 NOTRE DAME AVENUE

Rev CR April 22/22

SCALE : 1 INCH = 20 FEET (6.096m)



Metric Scale: 1mm = 0.242m



LOT 5

30.48m

1.2m

15.24m

1.2m

Proposed Accessory Dwelling  
 Containing Secondary Unit 2  
 4.02m x 12.84m

Parking 3  
 3m

3m

(Open Landscaping)

LOT 6

Proposed Dwelling  
 Containing Main Unit  
 and Secondary Unit 1

13.51m

3.2m

10.79m

Parking 1  
 3m

Parking 2  
 2.75m

8.75m

3m

(Open Landscaping)

1.2m

1.25m

LOT 7

NOTRE DAME AVENUE

A0056/2022  
 Sketch 2



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2022.01.01	
A 0057/2022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Stephan Villeneuve and Chris Rousselle  
 Mailing Address: 25 Winfield Lane  
 City: Sudbury Postal Code: P3A 6E2

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: not required Chris Rousselle Email: [Redacted]  
 Mailing Address: 300-750 Cambie St 965 Northdale Rd Home: [Redacted]  
4540 Notre Dame Ave. Business Phone: \_\_\_\_\_  
 City: Sudbury Postal Code: P3E 4J3 Fax Phone: \_\_\_\_\_  
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Canadian Western Trust Company  
 Mailing Address: 300-750 Cambie St  
 City: Vancouver, BC Postal Code: V6B 0A2

- 4) Current Official Plan designation: Mixed Use Current Zoning By-law designation: C2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 7.1 special provision #16	"Non-residential must be the main use on the ground floor"	Residential use on main floor	1 residential unit

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
Single detached dwelling with 2 secondary dwelling units  
 Looking for a variance from Table 7.1 special provision #16 in regards to requirement for commercial usage on the main floor to allow residential usage on the main floor.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Non-residential uses must be the main use on the ground floor according to Table 7.1 special provision #16 in a C2 zoned property.  
We appreciate you working with us for this development project

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735030478		Township: Hanmer	Ontario
Lot No.: 4	Concession No.:	Parcel(s): 9319 SEC SES	
Subdivision Plan No.:	Lot:	Reference Plan No.: M107	Part(s):
Municipal Address or Street(s): 4549 Notre Dame Ave.			

7) Date of acquisition of subject land. September 14th, 2021

8) Dimensions of land affected.

Frontage 15.24 (m)    Depth 30.48 (m)    Area 464.51 (m<sup>2</sup>)    Width of Street 10 (m)

9) Particulars of all buildings:

	Existing	Main	Proposed	Detached Accessory
Ground Floor Area:	(m <sup>2</sup> )	118		51.62 (m <sup>2</sup> )
Gross Floor Area:	(m <sup>2</sup> )	237.5		51.62 (m <sup>2</sup> )
No. of storeys:		1 and 1		
Width:	(m)	10.79 main and 4.02 accessory		(m)
Length:	(m)	13.51 main and 12.84 accessory		(m)
Height:	(m)	7.0 (main) and 6.0 (accessory)		(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Main	Proposed	ACCESSORY
Front:	(m)	8.75	N/A	(m)
Rear:	(m)	1.2 N/A	1.2	(m)
Side:	(m)	1.25	1.2	(m)
Side:	(m)	3.2	1.2	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Currently none but looking to commence project May 2022

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): currently vacant land    Length of time: 1 year

14) Proposed use(s) of the subject property.

Same as #13  or,  Single detached dwelling with 2 secondary dwelling units

15) What is the number of dwelling units on the property? 3 proposed dwelling units, currently 0

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Single Family Residential on both abutting properties

A0057/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Stephan Villeneuve and Chris Rousselle (please print all names), the registered owner(s) of the property described as 4549 Notre Dame Avenue, Hammer in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Chris Rousselle (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25<sup>th</sup> day of April, 2022

[Signature]  
(witness)

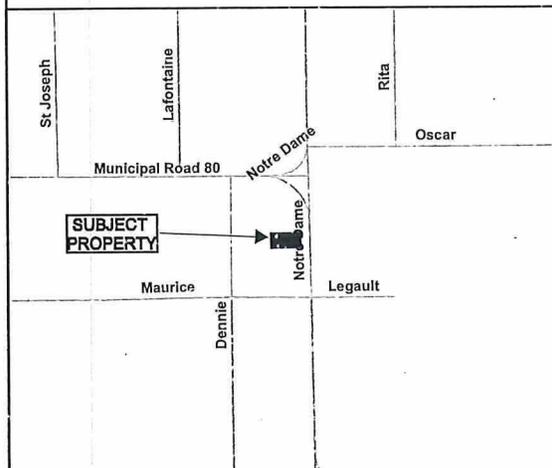
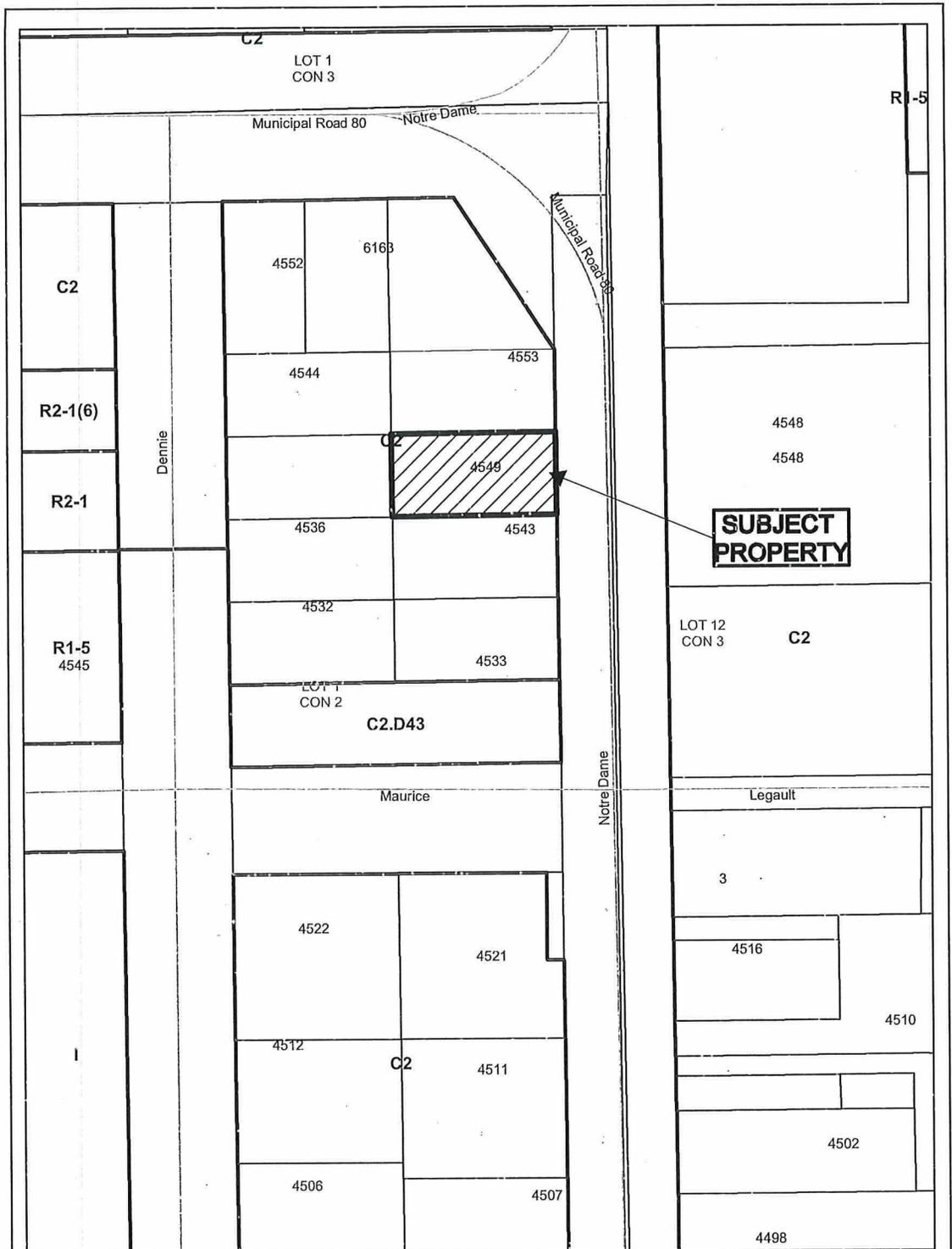
[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Chris Rousselle Stephan Villeneuve

\*I have authority to bind the Corporation

A0057/2022





**Application for Minor Variance or Permission**



Subject Property being,  
 PIN 73503-0478,  
 Parcel 9319 SEC SES,  
 Lot 4, Plan M-107,  
 Part Lot 1, Concession 2,  
 Township of Hanmer,  
 4549 Notre Dame Avenue, Hanmer,  
 City of Greater Sudbury

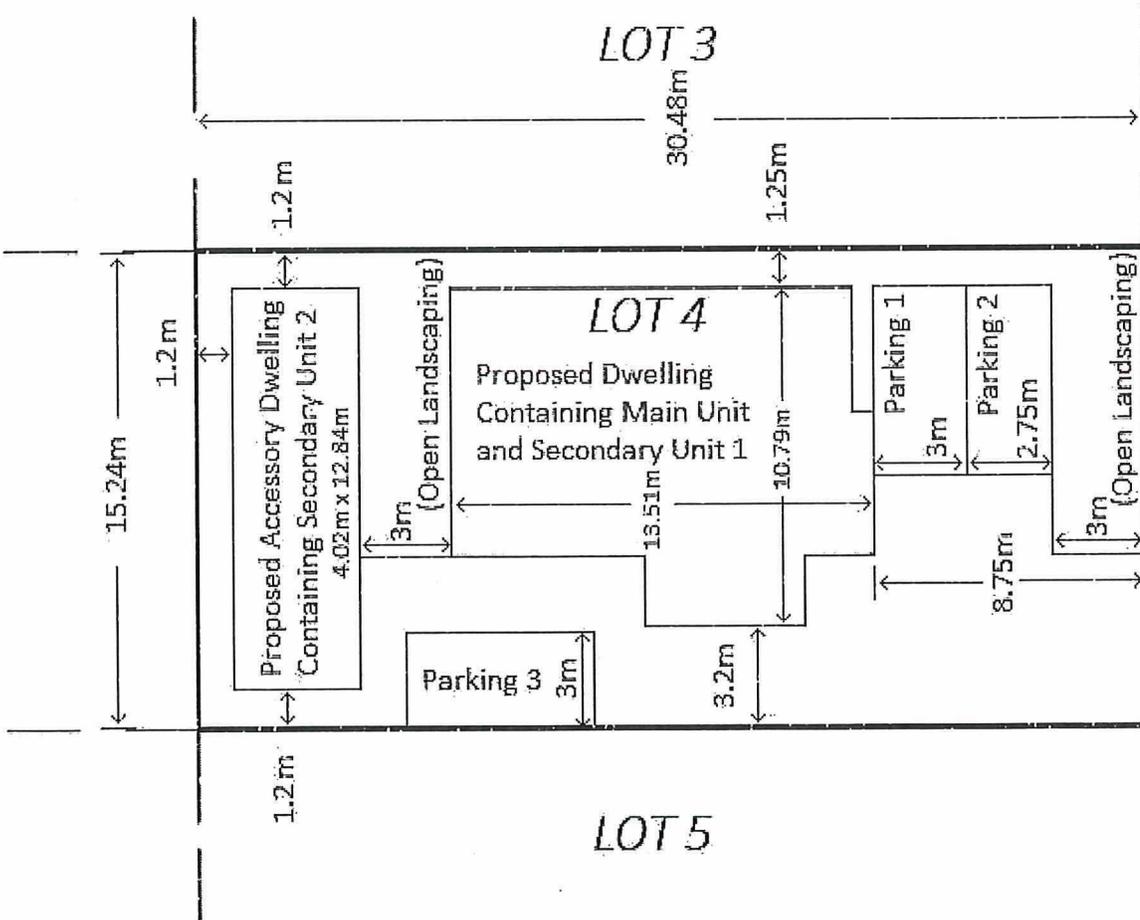
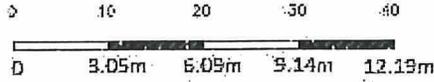
Sketch 1, NTS  
 NDCA

A0057/2022  
 Date: 2022 04 29

PLOT PLAN  
**LOT 4**  
**REGISTERED PLAN M-107**  
**# 4549 NOTRE DAME AVENUE**

Rev CR April 22/22

SCALE : 1 INCH = 20 FEET (6.096m)



A0057/2022  
Sketch 2



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only  
 2012 01 01  
 A 00501/0020  
 S.P.P. AREA  
 YES \_\_\_ NO   
 NDCA REG. AREA  
 YES  NO \_\_\_

**City of Greater Sudbury**  
**APPLICATION FOR MINOR VARIANCE**

**APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)**  
**APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)**  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: **CITY OF GREATER SUDBURY**

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): PHIL + KAREN REYNOLDS Email: [REDACTED]  
 Mailing Address: 7 SILKWOOD STREET Cell Home: [REDACTED]  
 City: CHELMSFORD Postal Code: P0M 1L0 Em: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: KAREN REYNOLDS Email: [REDACTED]  
 Mailing Address: 7 SILKWOOD STREET Home: [REDACTED]  
 City: CHELMSFORD Postal Code: P0M 1L0 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A NO MORTGAGE  
 Mailing Address: \_\_\_\_\_  
 City: \_\_\_\_\_ Postal Code: \_\_\_\_\_

4) Current Official Plan designation: RURAL Current Zoning By-law designation: SLS(5)

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 9.3			
Standards for all Rural			
Zones			
Special Provisions #5	11 m	15.5448 (51 feet)	4.5448

b) Is there an eave encroachment? Yes  No  If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
New construction of house which exceeds maximum height 11 metres

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Result of topography of property and desired roofline.

SRO; PART OF BROKEN LOT 1, CON 5 MACLENNAN DESIGNATED AS PARTS 1, 2, 3, 4, 5 & 12, 53R19412; T/W ROW OVER PARTS 7 & 9, 53R19412 AS IN SD206082; S/T ROW OVER PARTS 2, 4 & 12, 53R19412 AS IN SD206082; T/W ROW OVER PARTS 2, 3, 4, 53R15846 AS IN LT970458; EASEMENT LT970458 RELEASED AS TO PART 2, 53R17683 AS IN SD160537; S/T ROW OVER PART 12, 53R19412 AS IN LT970459 CITY OF GREATER SUDBURY

APPLICATION FOR MINOR VARIANCE

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735130462 Township: \_\_\_\_\_  
 Lot No.: \_\_\_\_\_ Concession No.: \_\_\_\_\_ Parcel(s): \_\_\_\_\_  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 146 OAKRIDGE TRAIL, SREAN, ON POM 2Y0

7) Date of acquisition of subject land. October 2020

8) Dimensions of land affected.

Frontage 46.94 (m) Depth IRR (m) Area (m<sup>2</sup>) \_\_\_\_\_ Width of Street (m) \_\_\_\_\_

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	_____ (m <sup>2</sup> )	<u>171.73</u> (m <sup>2</sup> )
Gross Floor Area:	_____ (m <sup>2</sup> )	<u>1208.532</u> (m <sup>2</sup> )
No. of storeys:	_____	<u>2</u>
Width:	_____ (m)	<u>15.8496</u> (m)
Length:	_____ (m)	<u>12.7254</u> (m)
Height:	_____ (m)	<u>15.5448</u> (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	_____ (m)	<u>12</u> (m)
Rear:	_____ (m)	<u>175.26 (+/-)</u> (m)
Side:	_____ (m)	<u>6.1</u> (m)
Side:	_____ (m)	<u>27.43 (+/-)</u> (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water

If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

VACANT LAND

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant land. Length of time: \_\_\_\_\_

14) Proposed use(s) of the subject property.

Same as #13 or, seasonal dwelling

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties:

West - seasonal  
east - seasonal

A0058/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): or, describe briefly,

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s):

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s):

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan.

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Phil and Karen Reynolds (please print all names), the registered owner(s) of the property described as

SRO; PART OF BROKEN LOT 1, CON 5 MACLENNAN DESIGNATED AS PARTS 1, 2, 3, 4, 5 & 12, 53R19412; T/W ROW OVER PARTS 7 & 9, 53R19412 AS IN SD206082; S/T ROW OVER PARTS 2, 4 & 12, 53R19412 AS IN SD206082; T/W ROW OVER PARTS 2, 3, 4, 53R15846 AS IN LT970458; EASEMENT LT970458 RELEASED AS TO PART 2, 53R17683 AS IN SD160537; S/T ROW OVER PART 12, 53R19412 AS IN LT970459 CITY OF GREATER SUDBURY

Collection, Use and Disclosure of Information

- a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
c) in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Karen Reynolds (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of April 20 22

(witness) signature

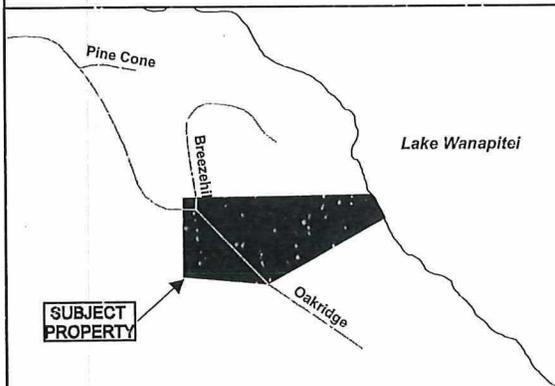
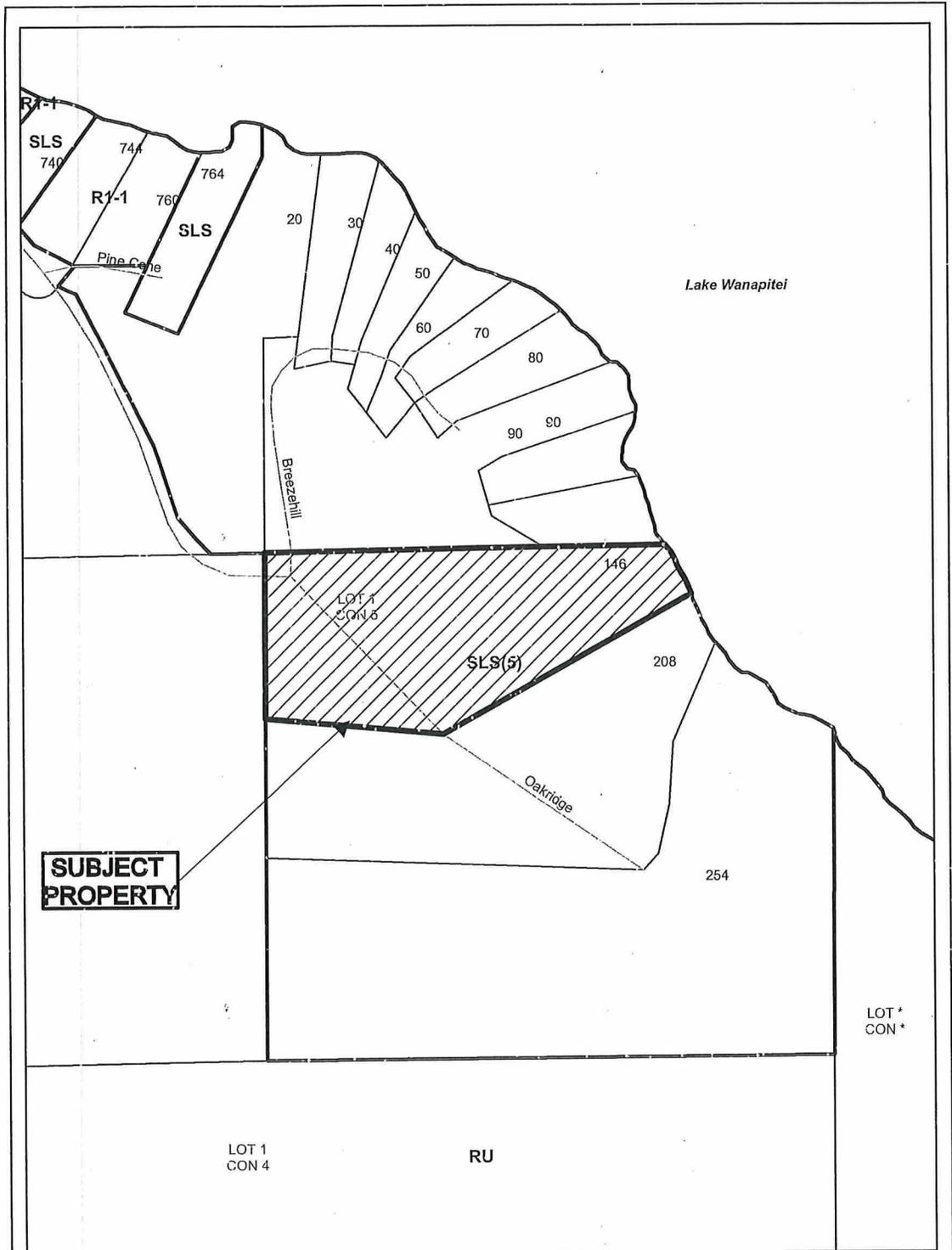
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Philip Reynolds KAREN REYNOLDS

\*I have authority to bind the Corporation

AC05812022





**Application for Minor Variance or Permission**



Subject Property being,  
 PIN 73513-0462,  
 Part Broken Lot 1, Concession 5,  
 Parts 1, 2, 3, 4, 5, and 12, Plan 53R-19412,  
 Township of MacLennan,  
 146 Oakridge Trail, Skead,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0058/2022  
 Date: 2022 04 29

# REVISED



**GENERAL NOTES:**

INFORMATION PRESENTED ON THIS DRAWING IS BASED UPON INFORMATION RECEIVED FROM THE FOLLOWING SOURCES:  
 \* TOPOGRAPHIC DETAILS: TULLOCH ENGINEERING  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING SERVICES AND UTILITIES PRIOR TO PROCEEDING WITH ANY WORK.  
 THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
 THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING UTILITY WALKS WITHOUT CONTRACTING AND OBTAINING PERMISSION FROM THE UTILITY ENTITY.  
 THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO PERFORMING ANY WORK AND HAVE THOSESEED FILED ASKED OF ALL EXISTING ON-SITE CONDITIONS NOW UNKNOWN TO MEET THE REQUIREMENTS OF CS20 303.030.  
 ALL ELEVATIONS ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SILTATION CONTROL PLAN NOTES:**

MINIMUM BARRIERS, SLOTTED SOLES, AND TEMPORARY ACCESS TO BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION.  
 ALL SEDIMENT CONTROL DEVICES TO BE INSTALLED INSPECTED AND MAINTAINED BY PROPER PERSONS UNDER SITE AREAS ARE DETAILED.  
 IF NECESSARY, TRUCKS WILL BE WASHED DOWN BEFORE LEAVING THE SITE. THE SITE WILL BE WET DOWN IF NECESSARY TO CONTROL DUST.  
 ALL CONSTRUCTION ACTIVITY WILL COMPLY WITH THE CITY OF GREATER SUDBURY WASTE STREAM.  
 ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT SITE FROM TEMPORARY CONSTRUCTION ACCESS.  
 ALL TYPICAL SLOPES TO BE SURROUNDED WITH SEDIMENT CONTROL FENCING.  
 SURFACE EROSION PROTECTION SHOULD BE APPLIED FOR ALL DISTURBED AREAS, PRIOR TO OR DURING, UNTIL VEGETATION IS ESTABLISHED.

**ELEVATION:**

BASINMENT FLOOR ELEVATION 272.83  
 MAIN FLOOR ELEVATION 274.28  
 GARAGE ELEVATION AS DRYWELL 282.09  
 NEIGHBORING FLOOR COVERING ELEVATION 283.17

**DRAINAGE NOTES:**

SLOPE AWAY FROM THE BUILDING AT A MINIMUM 2.0% GRADE.  
 SWALES ARE SHOWN TO DIRECT WATER AWAY FROM THE BUILDING AND THE ADJACENT PAVED DRIVEWAY. SWALES SHALL BE 0.3% SLOPES TO OUTLET AS SHOWN AND THEN SLOPE OFF SITE.

**SHORELINE BUFFER NOTES:**

ALL WORK SHALL BE CONDUCTED WITH VEGETATION.  
 \* THIS IS TO REMAIN IN ITS NATURAL STATE.  
 \* MORE OVER IN THIS AREA, LIMITED CONSTRUCTION MUST BE RETURNED TO ITS NATURAL STATE.  
 \* SHORELINE BUFFER TO REMAIN IN ITS CURRENT STATE FOR A LEAST OF 12 METERS AS PER SECTION 4.41.2 OF ZONING BY LAW 2010 105E.

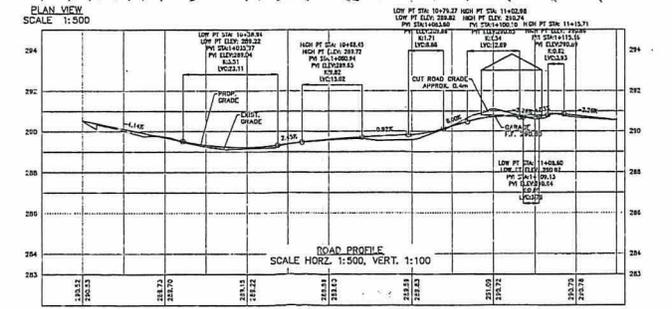
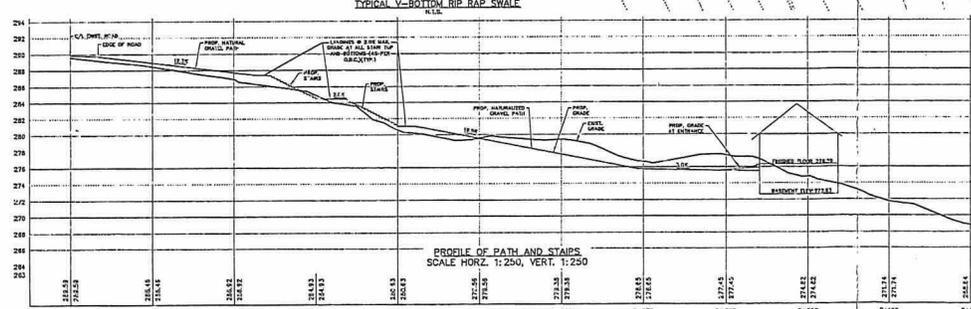
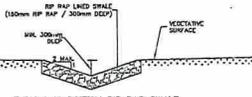
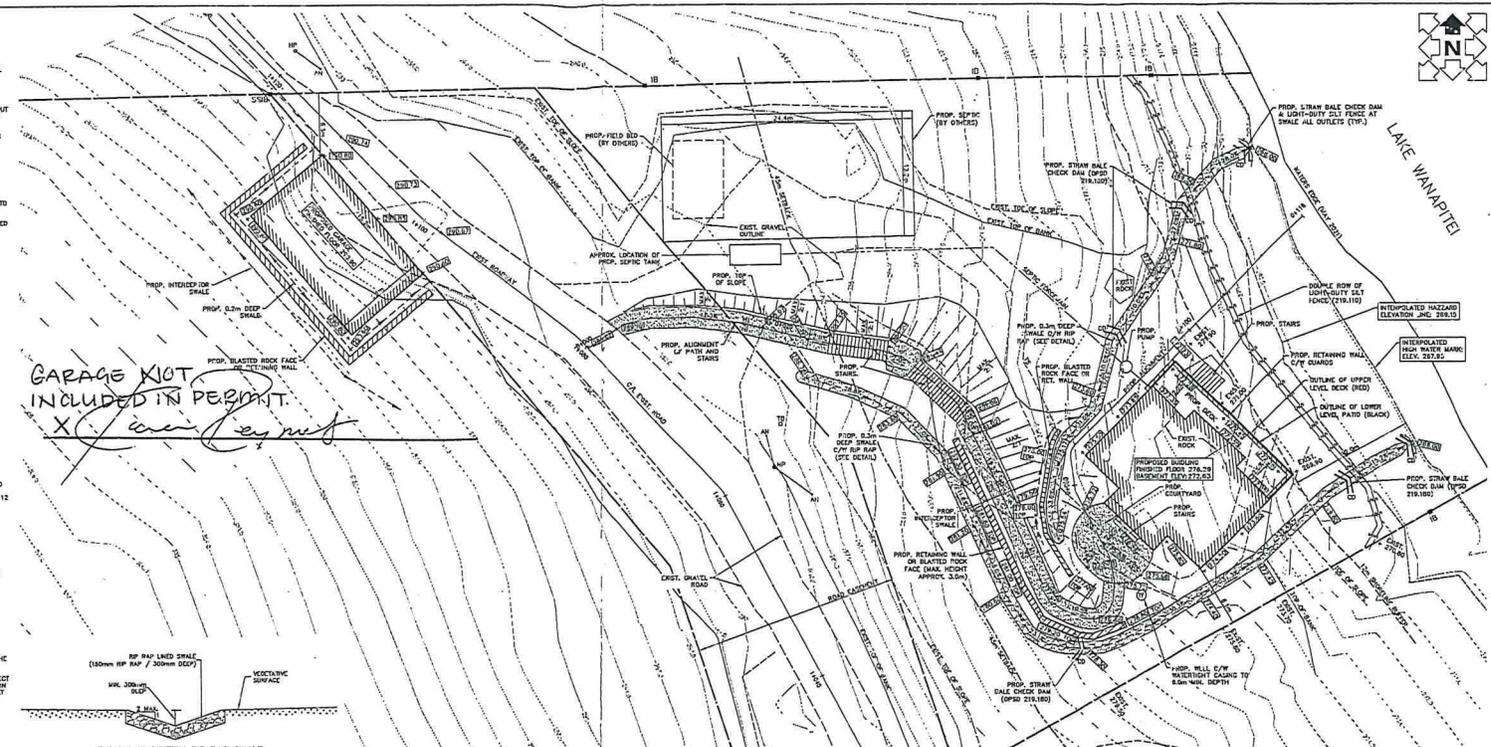
**RETAINING WALLS:**

RETAINING WALLS MAY REQUIRE A PERMIT AND ENGINEERED DESIGN. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AT THE CITY OF GREATER SUDBURY TO BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION COMMENCING ON SITE.  
 A BUILDING / LOT MAY BE REQUIRED FOR RETAINING WALLS OWING / APPLICANT TO CONTACT THE CITY OF GREATER SUDBURY BUILDING SERVICES DEPARTMENT PRIOR TO CONSTRUCTION OF ANY RETAINING WALLS.  
 RETAINING WALLS SHALL BE CONSTRUCTED WITH SAFETY GUARDS WHERE APPLICABLE IN ACCORDANCE WITH THE ONTARIO FENCING CODE.  
 RETAINING WALLS DESIGNED BY OTHERS.

**ACCESS PATH AND STAIRS:**

THE PROPERTY OWNERS UNDERSTANDS AND ARE IN AGREEMENT WITH THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCESS TO THE DESIRED ON-SITE LOCATION IS KEPT IN PROPER WORKING ORDER.  
 UNPAVED DRIVEWAYS AND STAIRS TO BE DETAILED SHOWN SHALL BE SUBJECT TO CHANGE BASED ON THE SITE CONSTRAINTS INCLUDING EROSION, STABLE SHOWN SHALL BE DETAILED BY OTHERS, SLOPES, LANDSCAPE AND NATIONAL SHALL MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

**GARAGE KNOT INCLUDED IN PERMIT.**  
*X. [Signature]*



**LEGEND**

275.50	EXISTING ELEVATION	---	PROPERTY LINE	[Symbol]	PROPOSED SWALE
271.50	EXISTING ELEVATION	[Symbol]	PROPOSED RETAINING WALL	[Symbol]	PROPOSED NATURAL ON-SITE PATH
272.50	PROPOSED ELEVATION	[Symbol]	PROPOSED FLOW DIRECTION	[Symbol]	PROPOSED RIP-RAP SWALE
273.50	PROPOSED ELEVATION	[Symbol]	TEMPORARY 'X' FENCE	[Symbol]	
283.50	PROPOSED ELEVATION				

REVISION	NO.	DATE	BY
BASED FOR SUBMITTAL	1	SEP 2021	PAW

**RECEIVED**  
 SEP 29 2021



146 OAKRIDGE TRAIL  
 LAKE WANAPITEL, CITY OF GREATER SUDBURY  
 LOT GRADING PLAN



SCALE	1:250
DRAWN	D.W.P.
CHECKED	P.M.J.
DATE	JULY 8, 2021
PROJECT NO.	21-1007
SHEET	C1

Building Services

*Handwritten:* A005812022 sketch 2

Maximum 51'  
(15.5448 m)



**TULLOCH**



REV	DATE	DESCRIPTION
0	11/25/2021	ISSUED FOR PERMIT
1	01/15/2022	ISSUED FOR PERMIT
2	02/25/2022	ISSUED FOR PERMIT
3	03/15/2022	ISSUED FOR PERMIT
4	04/05/2022	ISSUED FOR PERMIT
5	04/17/2022	ISSUED FOR PERMIT
6	04/18/2022	ISSUED FOR PERMIT
7	04/22/2022	ISSUED FOR PERMIT
8	04/25/2022	ISSUED FOR PERMIT
9	04/28/2022	ISSUED FOR PERMIT

PROJECT TITLE  
**REYNOLDS  
COTTAGE**

DRAWING TITLE  
**REAR ELEVATION:  
NORTH EAST**

LOCATION  
**146 OAKRIDGE TRAIL  
SUDBURY, ONTARIO**

DATE 11/25/2021  
DRAWN JO  
CHECKED JP  
SCALE 3/8"=1'-0"

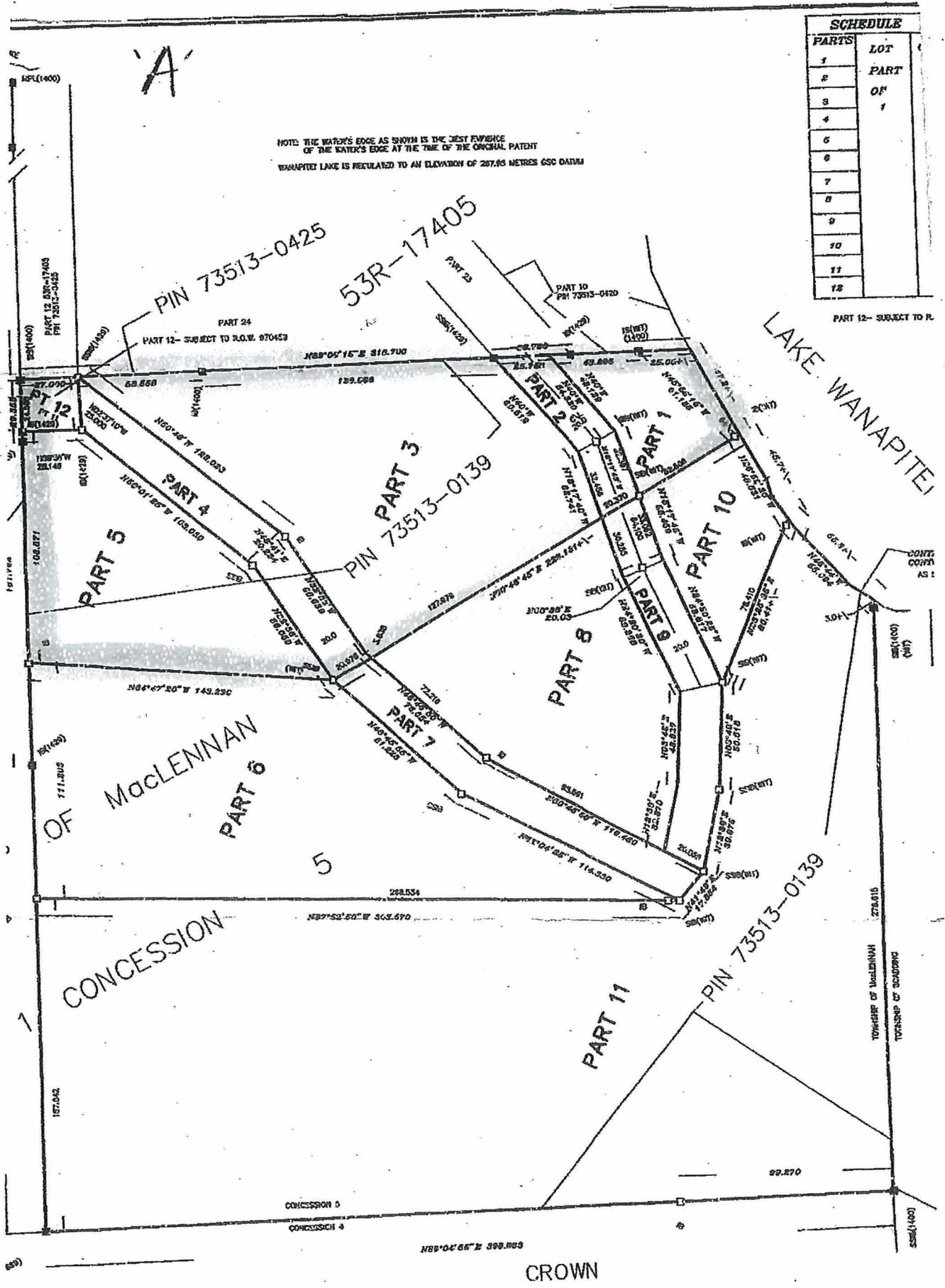
DESIGNED FOR  
OWNER FOR  
CONSTRUCTION

PROJ. No. 1 37  
PACKAGE No. 1  
REV. No. 9

A005812022  
Sketch 3

SCHEDULE	
PARTS	LOT
1	PART
2	OF
3	1
4	
5	
6	
7	
8	
9	
10	
11	
12	

NOTE: THE WATER'S EDGE AS SHOWN IS THE BEST EVIDENCE OF THE WATER'S EDGE AT THE TIME OF THE ORIGINAL PATENT  
 WANAPITTE LAKE IS REGULATED TO AN ELEVATION OF 267.85 METRES GCS DATUM



Handwritten letter 'D' on the left side of the map.

Handwritten letter 'A' at the top center of the map.

PIN: 73513-0462

LT  
 A005812022  
 sketch 4