

Tom Davies Square  
200 Brady St

Wednesday, July 19, 2023

PUBLIC HEARINGS

**A0075/2023**

**MELISSA ALKHOURY  
NICOLA ALKHOURY**

Ward: 7

PIN 73495 1318, Survey Plan 53R-21061 Part(s) 1, Lot(s) Part 12, Subdivision M-50, Lot Part 5, Concession 2, Township of Garson, 170 Birch Street, Garson, [2010-100Z, C2(112) (General Commercial)]

For relief from Part 4, Section 4.15, subsection 4.15.1 (e) and Part 11, Section 2, subsection 2, paragraph (gggg), clause (i) (b), (d) and (e) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, firstly, to permit a 1.6m wide landscaped open space adjacent to the full length of the lot line abutting Birch Street, where a 3.0m wide landscaped area adjacent to the full length of the lot line shall be required abutting all public roads having a width greater than 10.0m, secondly, a minimum lot area of 611 sq.m., where the minimum lot area required is 617 sq.m., thirdly, a front yard setback of 1.6m, where a minimum front yard setback of 2.8m is permitted, and fourthly, a maximum residential density of 65.6 dwelling units per hectare, where a maximum residential density of 65 dwelling units per hectare is permitted.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B71/17 (10 OCT 17) AND REZONING APPLICATION 751-3/18-01 AND OPA 701-3/18-02

**A0077/2023**

**DARCY BEITES**

Ward: 5

PIN 73501 1018, Parcel 28954 SEC SES SRO, Lot(s) 60, Subdivision M-419, Lot Part 7, Concession 5, Township of Blezard, 1663 Fourth Street, Val Caron, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) and Section 4.2.5., Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing detached garage providing firstly, a maximum height of 5.2m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, and secondly, to permit the addition to the detached garage to encroach 3.28m into the required corner side yard, where accessory buildings and structures greater than 2.5m in height are not permitted to encroach into the corner side yard.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A82/12 (9 JUL 12)

**A0078/2023**

**KERRY CHARUK  
DAN SCHOLTZ**

Ward: 10

PIN 73594 0012, Parcel 51128 SEC SES, Survey Plan 53R-12614 Part(s) 5, Lot Part 5, Concession 1, Township of McKim, 389 Walford Road, Sudbury, [2010-100Z, R2-2 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the construction of firstly, one uncovered deck providing a 3.07m encroachment into the required front yard and maintaining a 1.73m front yard setback, where uncovered decks 1.2m or less in height above finished grade may encroach 1.2m into the required front yard, and secondly, a second uncovered deck encroaching 4.66m into the required front yard, where uncovered decks greater than 1.2m in height are not permitted to encroach into the front yard.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A1/96 (5 FEB 96) AND A204/95 (4 DEC 95) AND CONSENT APPLICATION B224/95 (4 DEC 95)

**A0079/2023**

**GROUPE FINANCIER PILIERS**

Ward: 4

PIN 02134 0304, Parcel 150 SEC SES, Lot(s) 7, Subdivision M-26, Lot 7, Concession 4, Township of McKim, 6 Eyre Street, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, Table 4.1, Section 4.15.2 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, as amended, in order to facilitate the construction of a multiple dwelling containing three residential dwelling units by, firstly, providing a minimum rear yard setback of 5.5m, with eaves encroaching 0.6m into the proposed 5.5m rear yard setback, where a minimum rear yard setback of 7.5m is required and where eaves may encroach 1.2m into the required rear yard, but not closer than 0.6m to the lot line, and secondly, to allow 0% landscaping where a minimum of 50% of all required front yards shall be maintained as landscaped open space.

**A0080/2023**

**NASH GIL DOORS INC.**

Ward: 7

PINs 73507 1149 & 73507 0175, Parcels 16551 SEC SES & 46765 SEC SES, Survey Plan 53R-4369 Part(s) 1, Lot Part 10, Concession 6, Township of Capreol, 26 Meehan Avenue, Capreol, [2010-100Z, I(41) (Institutional)]

For relief from Part 10, Section 10.3, Table 10.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing building providing a minimum interior side yard setback of 6.3m, where 10.0m is required.

PREVIOUSLY SUBJECT TO REZONING 751-2/14-002

**A0081/2023**

**DOMINIQUE LALANDE  
JENNIFER EDWARDS**

Ward: 6

PINs 73504 3172 & 73504 3173, SRO, Surveys Plan 53R-21589 Part(s) 1, 2 and 3 & Plan SR-1672 Part(s) 1, Lot Part 4, Concession 1, Township of Hanmer, 841 Dominion Drive, Hanmer, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.10.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a secondary dwelling unit providing a 47.4m setback from the primary dwelling, where a secondary dwelling unit in an "RU", Rural zone shall be located no more than 30.0m from the primary dwelling.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0066/2021 (02 AUG 2021)

**THIS APPLICATION WAS DEFERRED FROM THE MEETING OF JUNE 7, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.**

**A0062/2023**

**5010889 ONTARIO INC.**

**"REVISED"**

Ward: 2

PIN 73374 0156, Parcel 12615 SEC SWS, Lot(s) 44, Subdivision M-297, Lot 2, Concession 1, Township of Waters, 21 Uphill Road, Lively, [2010-100Z, SLS (Seasonal Limited Service)]

For relief from Part 4, Section 4.41, subsection 4.41.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with covered deck providing a high water mark setback of 21.4m, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A82/21 (21 JUL 21), A21/19 (6 MAR 19), AND A165/89 (10 JUL 89)

**A REMINDER... THE NEXT SCHEDULED MEETING IS  
WEDNESDAY, AUGUST 2, 2023**



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01
A 0075 / 2023
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES ___ NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Nicola Alkhoury Melissa Alkhoury Email: [Redacted]  
 Mailing Address: 10 Wilfred Ave Unit 2 Home: [Redacted]  
 [Redacted] Business: [Redacted]  
 City: Garrison Postal Code: P3L 1A9 Fax Phone: \_\_\_\_\_

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: MELISSA ALKHOURY Email: [Redacted]  
 Mailing Address: 10 Wilfred Ave Unit 2 Home: [Redacted]  
Garrison ON Business: [Redacted]  
 City: Garrison Postal Code: P3L 1A9 Fax PF: \_\_\_\_\_  
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application). N/A - no mortgage on 170 Birch St vacant land

Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 City: \_\_\_\_\_ Postal Code: \_\_\_\_\_

4) Current Official Plan designation: M50 Current Zoning By-law designation: C2-112

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
lot Area	617	611	6
front yard setback	2.8	1.6	1.2
density	65	65.6	0.5
landscape open space	3.0	1.6	1.4

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
application to suit construction of new 4plex

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Sidewalk and frontage provided in city of original rezoning application C2-112

A0075/23

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73495-0352 Township: Garson  
 Lot No.: 5 Concession No.: 2 Parcel(s): 4555  
 Subdivision Plan No.: \_\_\_\_\_ Lot: 12 Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 17c Birch St Garson

7) Date of acquisition of subject land. 2018.

8) Dimensions of land affected.

Frontage 25.939 (m) Depth 30.206 (m) Area 601 (m<sup>2</sup>) Width of Street \_\_\_\_\_ (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	_____ (m <sup>2</sup> )		<u>738</u>	_____ (m <sup>2</sup> )
Gross Floor Area:	_____ (m <sup>2</sup> )		<u>462</u>	_____ (m <sup>2</sup> )
No. of storeys:	_____		<u>2</u>	_____
Width:	_____ (m)		<u>14.32</u>	_____ (m)
Length:	_____ (m)		<u>17.68</u>	_____ (m)
Height:	_____ (m)		<u>7.62</u>	_____ (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	_____ (m)	<u>1.8</u>	_____ (m)	_____ (m)
Rear:	_____ (m)	<u>12.49</u>	_____ (m)	_____ (m)
Side:	_____ (m)	<u>1.8</u>	_____ (m)	_____ (m)
Side:	_____ (m)	<u>3.4</u>	_____ (m)	_____ (m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/>            |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/>            |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input checked="" type="checkbox"/> |  |                                     |

12) Date(s) of construction of all buildings and structures on the subject land.

tbd

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant Length of time: \_\_\_\_\_

14) Proposed use(s) of the subject property.

Same as #13  or, multi-use residential

15) What is the number of dwelling units on the property? proposed 4, currently none

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: residential, multi-use

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): A108/17  
or, describe briefly, to rezone for proposed use as 4plex multi-use residential

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Nicola Alkhouf, Melissa Alkhouf (please print all names), the registered owner(s) of the property described as 170 BIRCH ST GARSON ON PSLIAA in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize MELISSA ALKHOUFF (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24<sup>th</sup> day of MAY, 2023

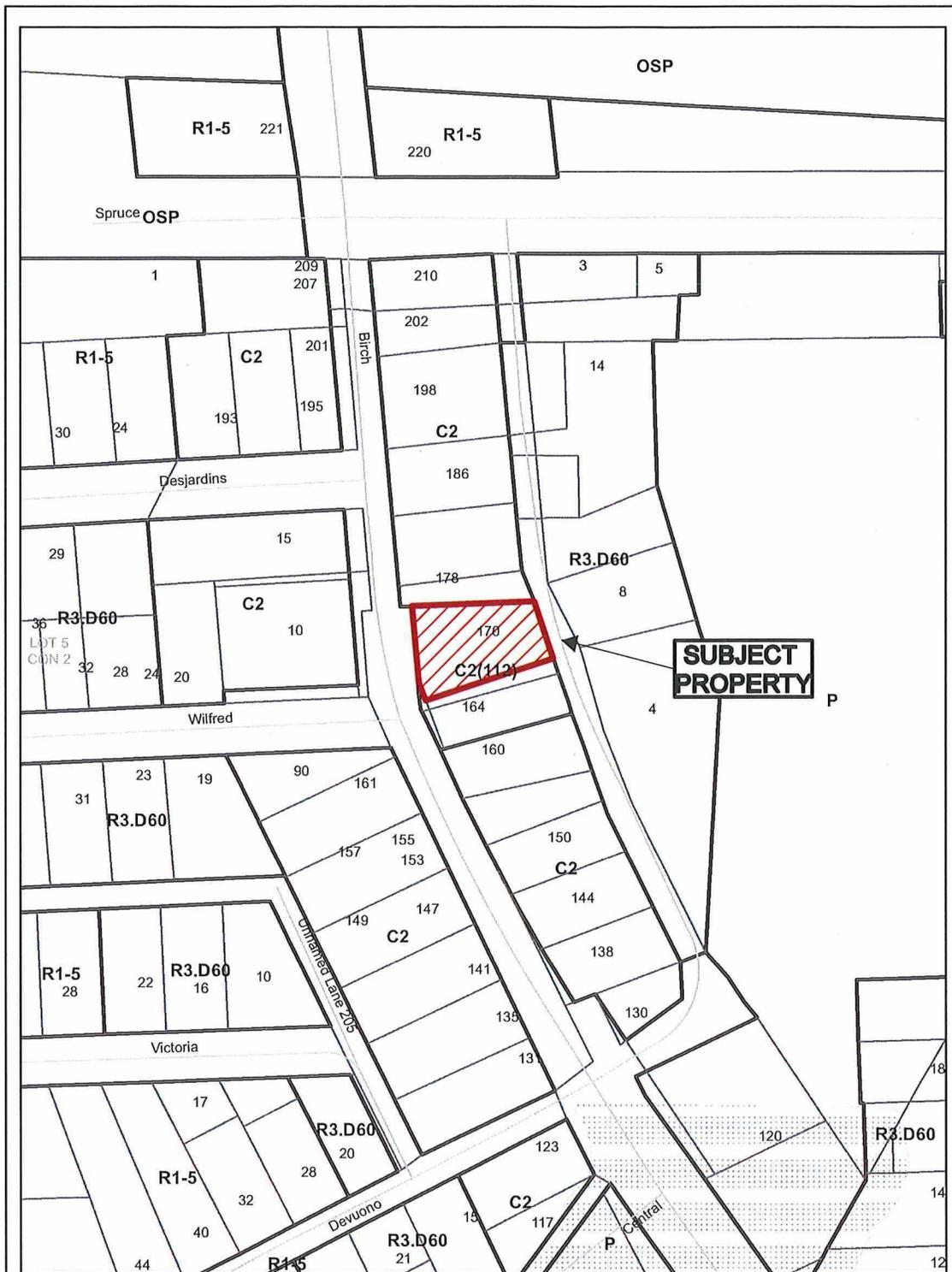
[Signature]  
(witness)

[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

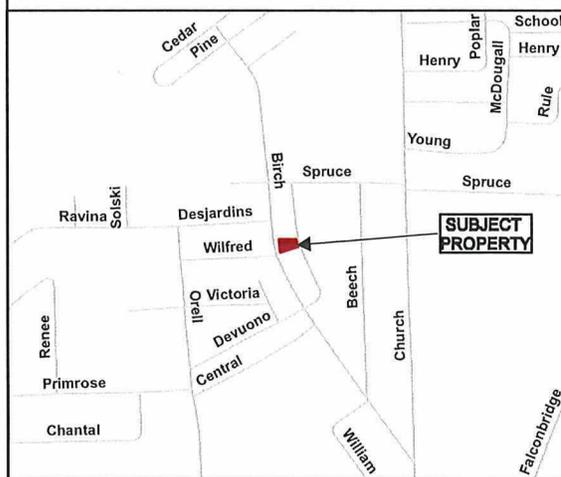
Print Name: Melissa Alkhouf MELISSA ALKHOUFF  
\*I have authority to bind the Corporation

A0075/23





**SUBJECT  
PROPERTY**



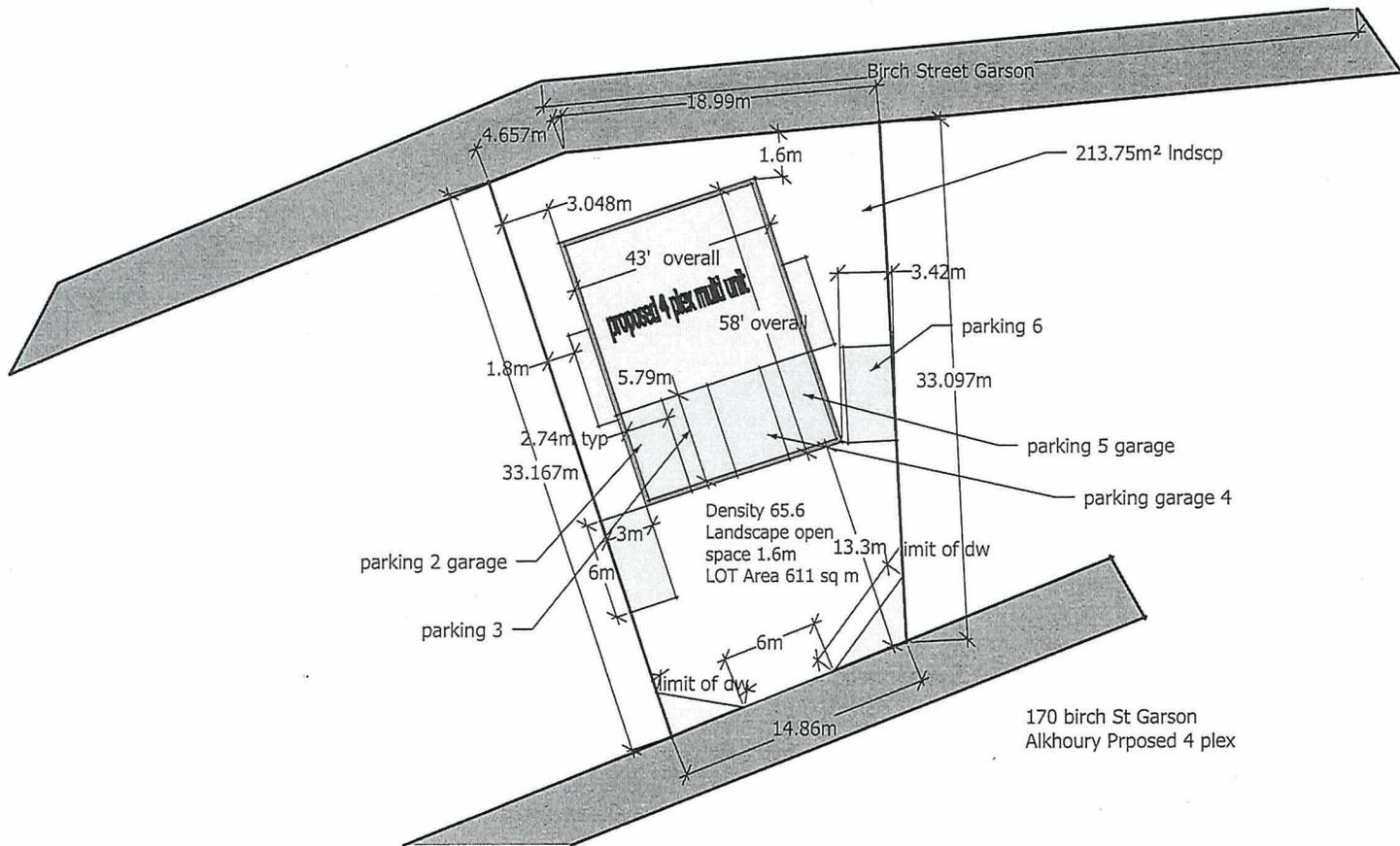
**Application for Minor  
Variance or Permission**



Subject Property being  
PIN 73495-1318,  
Part Lot 12, Plan M-50,  
being Part 1, Plan 53R-21061,  
Part Lot 5, Concession 2,  
Township of Garson,  
170 Birch Street, Garson,  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0075/2023  
Date: 2023 06 16



A0075/2023  
Sketch #2



Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

Office Use Only 2023.01.01	
A0077/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

**City of Greater Sudbury  
APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): <u>Darcy Belles</u>	Email: _____
Mailing Address: <u>1663 Fourth st</u>	Home Phone: _____
	Business Phone: _____
City: <u>VaJ Caron</u>	Postal Code: <u>P3N1K3</u>
	Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: _____	Email: _____
Mailing Address: _____	Home Phone: _____
	Business Phone: _____
City: _____	Postal Code: _____
	Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
Mailing Address: _____
City: _____
Postal Code: _____

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Garage Addition	Height	<del>5.2</del> 5.2	<del>.2</del> .2
Garage Location	Location	1.22	<del>3.28</del> 3.28

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal: Storage for my boat and snow machines

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Existing building is 4 feet from lot line and i want to match existing height.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73501 1018 Township: Township of Blezard  
 Lot No.: 60 Concession No.: 5 Parcel(s): 28954 SES  
 Subdivision Plan No.: Lot: Reference Plan No.: Part(s):  
 Municipal Address or Street(s): 1663 Fourth St Val Caron Ontario P3N 1K3

7) Date of acquisition of subject land. August 2011

8) Dimensions of land affected.  
 Frontage 29.26 (m) Depth 60.96 (m) Area 58 (m<sup>2</sup>) Width of Street 29.26 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	garage 53.51	house 185 (m <sup>2</sup> )	garage 111.49	house 185 (m <sup>2</sup> )
Gross Floor Area:	garage 53.51	house 297 (m <sup>2</sup> )	garage 111.49	house 297 (m <sup>2</sup> )
No. of storeys:	garage 1 house 2		garage 1 house 2	
Width:	Garage 7.3152	House 18.9 (m)	G 7.3152	House 18.9 (m)
Length:	Garage 7.3152	House 13.75 (m)	G 15.24	House 13.75 (m)
Height:	Garage 5.1816	House 6.8 (m)	G 5.1816	House 6.8 (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	Garage 21	House 11.58 (m)	Garage 21	House 11.58 (m)
Rear:	Garage 31.69	House 35 (m)	Garage 23.69	House 35 (m)
Side:	Garage 1.22	House 7.31 (m)	Garage 2.22	House 7.31 (m)
Side:	Garage 20.11	House 1.22 (m)	Garage 20.11	House 1.22 (m)

11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input checked="" type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.  
 house 1986 garage 2012

13) Existing use(s) of the subject property and length of time it / they have continued.  
 Use(s): garage Residential Length of time: 10 years

14) Proposed use(s) of the subject property.  
 Same as #13 or,

15) What is the number of dwelling units on the property? 2 one dwelling unit

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No  
 If "yes", how many? 2 House and existing Garage

17) Existing uses of abutting properties: Residential

A0077/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  
 Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

We, Darcy Beites (please print all names), the registered owner(s) of the property described as 1663 Fourth St in Val Caron Ontario P3N 1k3 in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

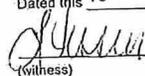
**Authority to Enter Land and Photograph**

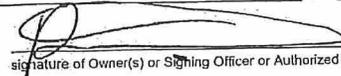
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

- g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 15 day of June, 2023

  
(witness)

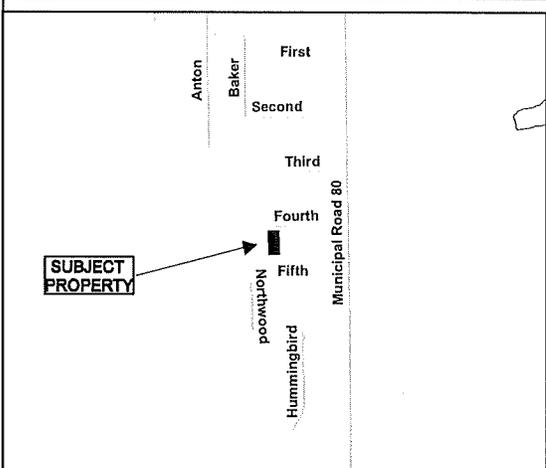
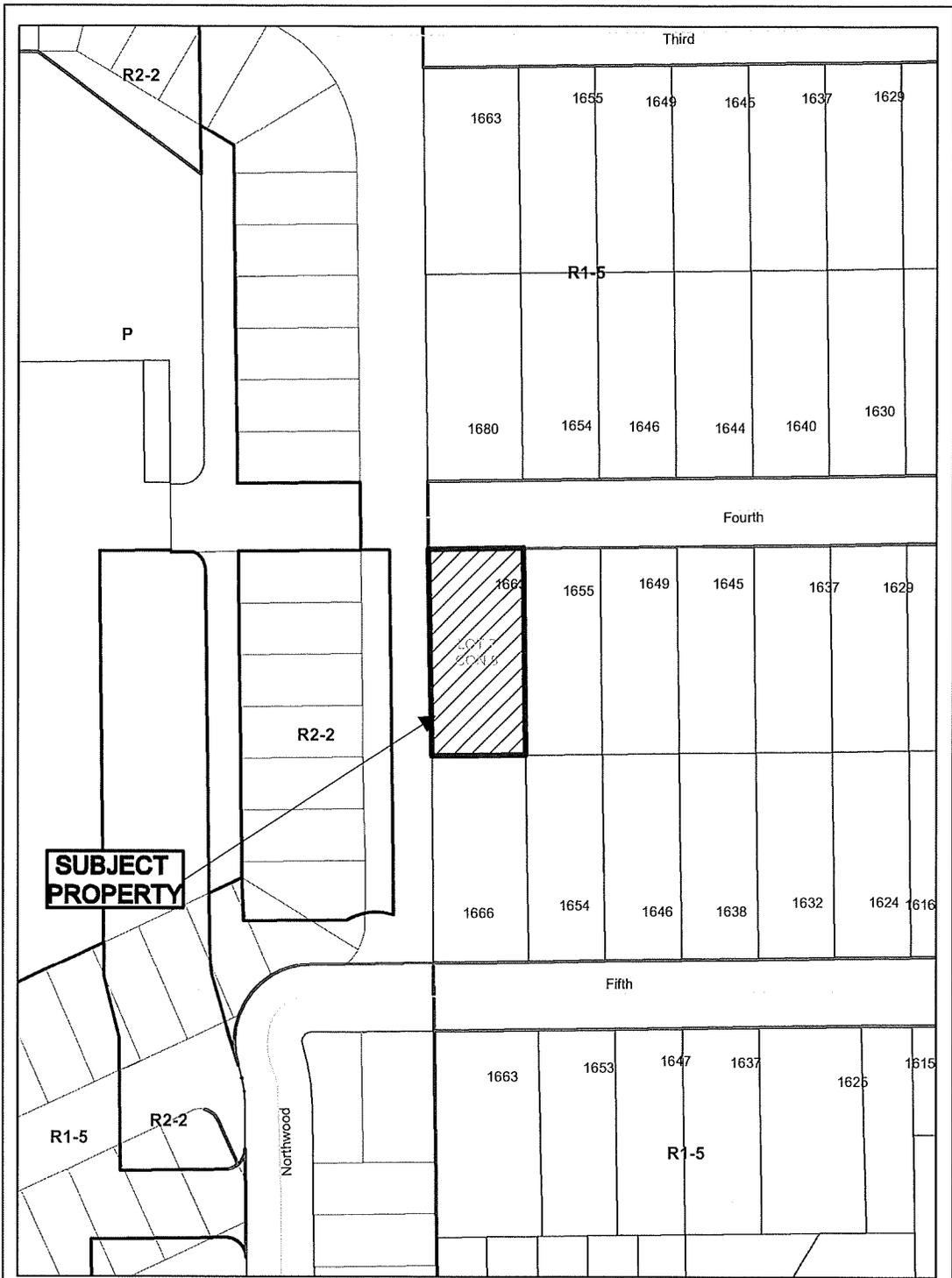
  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Darcy Beites

\*I have authority to bind the Corporation

*10077/2023*





**Application for Minor Variance or Permission**

Subject Property being  
 PIN 73501-1018,  
 Parcel 28954 SEC SES SRO,  
 Lot 60, Plan M-419,  
 Part Lot 7, Concession 5,  
 Township of Bleazard,  
 1663 Fourth Street, Val Caron,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0077/2023  
 Date: 2023 06 29

Fourth St



House Dimension Color

Garage Dimension Color

Garage Addition Dimension Color

Concrete Slab Dimension Color

Property Dimension Color

Distance from Property Line

Building Color

Existing House

Existing Garage

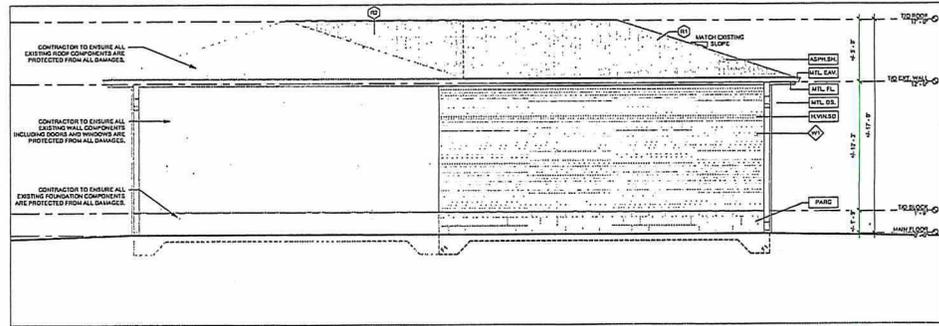
Garage Addition

Imagery Date: 7/2/2019 46°36'14"

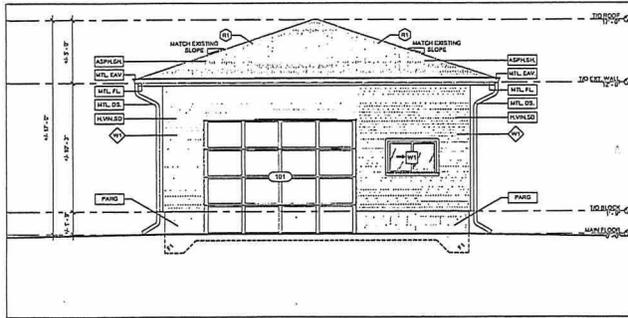
17°C Mostly sunny

A0077/2023  
Sketch 2

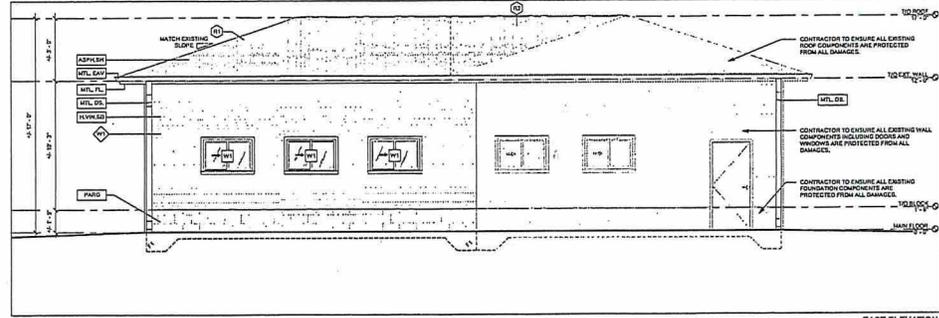
LEGEND	
MFL, FL	DENOTES METAL FLASHING
ASPH/SH	DENOTES 25 YEAR ASPHALT SHINGLES
HVHL/SD	DENOTES HORIZONTAL VINYL SIDING BY OWNER
MFL, EAV	DENOTES METAL EAVES TROUGH
MFL, DS	DENOTES METAL DOWN SPOUT
PARC	DENOTES PARADING LAYER
(R)	ROOF IDENTIFICATION IN SCHEDULE
(F)	FOUNDATION IDENTIFICATION IN SCHEDULE
(W)	WALL IDENTIFICATION IN SCHEDULE
(D)	DOOR IDENTIFICATION IN SCHEDULE
(W)	WINDOW IDENTIFICATION IN SCHEDULE
(F)	FOOTING IDENTIFICATION IN SCHEDULE



WEST ELEVATION  
1/4" = 1'-0"



SOUTH ELEVATION  
1/4" = 1'-0"



EAST ELEVATION  
1/4" = 1'-0"

ISSUED FOR CONSTRUCTION - JUNE 5, 2023

1181 FOURTH STREET, VAL CARON, ONTARIO  
L4R 1A1  
1-800-461-1111  
www.komri.com

PROFESSIONAL ENGINEER  
REGISTERED IN ONTARIO  
1181 FOURTH STREET, VAL CARON, ONTARIO  
L4R 1A1  
1-800-461-1111  
www.komri.com



DANIEL BEEBE  
1181 FOURTH STREET, VAL CARON, ONTARIO  
L4R 1A1  
1-800-461-1111  
www.komri.com  
ELEVATIONS

DRAWN BY  
CHECKED BY  
SCALE: 1/4" = 1'-0"  
DATE:

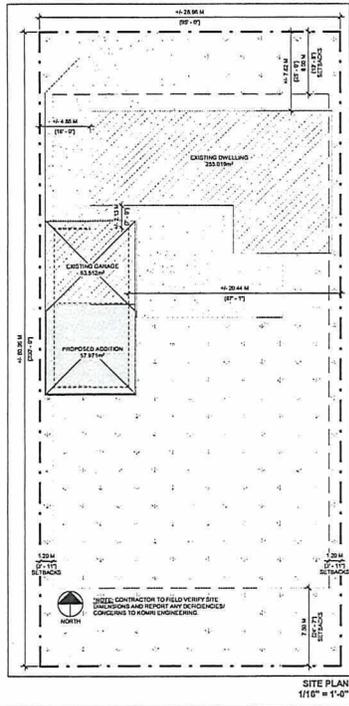
A03

A0077/2023  
Sketch 3

# DARCY BEITES

1663 FOURTH STREET, VAL CARON, ONTARIO  
PROJECT NO. KSI-023-169

ISSUED FOR CONSTRUCTION - JUNE 5, 2023



**GENERAL NOTES:**

1. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

**SITE PLAN LEGEND**

- PROPOSED NEW
- EXISTING BUILDING
- EXISTING ASPHALT
- EXISTING GRASS
- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE

**GENERAL NOTES:**

1. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

**SITE PLAN LEGEND**

- PROPOSED NEW
- EXISTING BUILDING
- EXISTING ASPHALT
- EXISTING GRASS
- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE

**GENERAL NOTES:**

1. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

**SITE PLAN LEGEND**

- PROPOSED NEW
- EXISTING BUILDING
- EXISTING ASPHALT
- EXISTING GRASS
- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE

**SYMBOL LEGEND**

VIEW NAME: 1 (A-2.5)  
VIEW NAME: 1:100  
VIEW NAME: 1:100  
ROOM NAME: 1:100  
ROOM NAME: 1:100  
FLOOR: 0.0  
ELEVATION REFERENCE TO LEVEL AS NOTED  
BUILDING SECTION REFERENCE: ANYBODY  
SECTION NUMBER  
SHEET SECTION IS SHOWN  
NORTH ARROW  
WALL IDENTIFICATION IN SCHEDULE  
ROOF IDENTIFICATION IN SCHEDULE  
FLOOR IDENTIFICATION IN SCHEDULE  
FOUNDATION IDENTIFICATION IN SCHEDULE  
DOOR IDENTIFICATION IN SCHEDULE  
WINDOW IDENTIFICATION IN SCHEDULE  
POST IDENTIFICATION IN SCHEDULE  
BEAM IDENTIFICATION IN SCHEDULE

**WALL PHASING**

NEW WALLS/SEE WALL SCHEDULE  
EXISTING WALLS  
DEMOLITION

**SHEET LIST**

SHEET NUMBER	SHEET LIST
001	GENERAL NOTES
002	FOUNDATION SCHEDULE
003	WALL SCHEDULE
004	ROOF SCHEDULE
005	FLOOR SCHEDULE
006	CEILING SCHEDULE
007	DOOR SCHEDULE
008	WINDOW SCHEDULE
009	POST SCHEDULE
010	BEAM SCHEDULE

**WALL ASSEMBLIES:**

**INTERIOR ROOM WALLS:**

- 1. 120MM CONCRETE BLOCK TO MATCH EXISTING
- 2. AIR BARRIER MEMBRANE - LAP & SEAL
- 3. 100MM POLYSTYRENE INSULATION - LAP & SEAL
- 4. 150MM CONCRETE BLOCK TO MATCH EXISTING
- 5. 100MM POLYSTYRENE INSULATION - LAP & SEAL
- 6. 120MM CONCRETE BLOCK TO MATCH EXISTING

**ROOF ASSEMBLIES:**

**RESIDENTIAL GARAGE ROOF ASSEMBLY**

- 1. 25 YEAR ASPHALT SHINGLES TO MATCH EXISTING
- 2. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 3. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 4. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 5. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 6. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING

**CEILING ASSEMBLIES:**

**TYPICAL INTERIOR CEILING**

- 1. 100MM GYP BOARD
- 2. 100MM GYP BOARD
- 3. 100MM GYP BOARD

**FLOOR ASSEMBLIES:**

**CONCRETE GARAGE FLOOR**

- 1. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 2. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 3. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 4. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 5. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING
- 6. 100MM POLYSTYRENE INSULATION TO MATCH EXISTING

**ABBREVIATIONS:**

ROOM FINISH	DOOR SCHEDULE
PC	ALUMINUM
PO	NOT APPLICABLE
OP	NOT APPLICABLE
PT	NOT APPLICABLE

**PRODUCT SELECTION:**

**AT-RISK AREAS:**

LOW PROFILE AT-RISK ACCESS HATCH AT AT-RISK HATCH INC. OR APPROVED EQUAL.

**GENERAL REQUIREMENTS**

- GENERAL CONTRACTOR & SUBCONTRACTOR SHALL EXAMINE THE SITE, VERIFY ALL DIMENSIONS, DRAWING DETAILS TO ACCORD WITH THE CONTRACT AND ALL APPLICABLE CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO WORK.
- CONTRACTOR SHALL PROCEED WITH ANY CHANGES OR MODIFICATIONS TO THE DESIGN UNLESS REVISED AND APPROVED BY THE ARCHITECT.
- GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR REQUIRED.
- MEASUREMENTS SHALL BE TAKEN AS SHOWN UNLESS OTHERWISE SPECIFIED.
- ALL MEASUREMENTS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIAL OR BEGINNING THE WORK.

**CODES AND STANDARDS**

GENERAL CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE REQUIREMENTS OR OTHER AUTHORITY'S HAVING JURISDICTION, AND MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS, SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.

CONTRACTOR WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT 1981 AND REGULATIONS FOR CONSTRUCTION PROJECTS.

**PERMITS AND INSPECTIONS**

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR BUILDING PERMIT AND ASSOCIATED INSPECTIONS.

**DESIGN DATA**

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR BUILDING PERMIT AND ASSOCIATED INSPECTIONS.

**SUBMITTALS**

1. SUBMIT FOR REVIEW BEFORE STARTING WORK.
2. SUBMIT SHOP DRAWINGS IN CONFORMANCE WITH THE BUILDING CODE REQUIREMENTS.
3. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
4. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
5. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
6. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
7. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
8. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
9. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP AND MAINTAIN A QUALITY CONTROL PLAN ASSOCIATED WITH THE STRUCTURAL WORK. THE PLAN MUST BE PROVIDED TO THE CONSULTANT FOR REVIEW.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR WEATHER PROTECTION PROCEDURES.
12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR WEATHER PROTECTION PROCEDURES.

**CONCRETE NOTES**

1. CONCRETE IS SPECIFIED AS PER THE PERFORMANCE SPECIFICATION ALTERNATIVE AS OUTLINED IN CSA A23.1, TABLE 8.
2. CONCRETE SHALL BE PLACED TO MEET ALL CURTAINING, SECURITY AND QUALITY CONTROL REQUIREMENTS.
3. CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 25 MPa MINIMUM AT 28 DAYS - 10% AIR ENTRAINMENT.
4. THE CONCRETE SUPPLIER TO BE CERTIFIED BY THE REPUTABLE CONCRETE ASSOCIATION OF ONTARIO.
5. THE CONTRACTOR AND THE CONCRETE SUPPLIER ARE TO COORDINATE THE PLACING AND HARDENING PROPERTIES.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR WEATHER PROTECTION PROCEDURES.
7. CONCRETE SHALL BE PLACED AND FINISHED TO THE CORNER AND EDGES OF THE FORMWORK.
8. FORM THE SIDES OF ALL STRUCTURAL CONCRETE MEMBERS.

**WINDOWS & DOORS**

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE FOLLOWING ITEMS PRIOR TO ORDERING:
  - A. COLOUR OF WINDOWS AND DOORS
  - B. DIMENSIONS OF WINDOW OR DOORS
  - C. OPERATING SYSTEM
  - D. OPERATING METHOD
2. ALL WINDOW DOORS TO CONFORM TO CAN/ULC S-8 & S-9 (SPECIFICATIONS TO BE PROVIDED BY MANUFACTURER).
3. RESISTANCE TO FORCED ENTRY APPLIES TO ALL TYPES OF ENTRANCE DOORS INCLUDING UNITS AND ATTACHED CHARGES AND IS TO BE PROVIDED BY MANUFACTURER.
4. OPERATING METHOD TO BE PROVIDED BY MANUFACTURER.

**TEMPORARY WORK**

1. AS STRUCTURAL DRAWINGS SHOW THE COMPLETED STRUCTURE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE RESPONSIBLE TO OBTAIN AND PAY FOR TEMPORARY WORK REQUIRED TO COMPLETE THE WORK.
2. LOADS INDICATED ON DRAWINGS MUST NOT BE EXCEEDED BY CONSTRUCTION LOADS.
3. CONTRACTOR IS RESPONSIBLE TO OBTAIN THE DESIGN AND REVIEW OF ALL TEMPORARY WORKS ARE CARRIED OUT BY A PROFESSIONAL ENGINEER LICENSED AND INCORPORATED TO WORK IN ONTARIO.

**EXISTING STRUCTURES**

1. PRIOR TO CONSTRUCTION VERIFY EXISTING CONDITIONS AND DIMENSIONS.
2. TAKE ALL NECESSARY PRECAUTIONS TO ENSURE EXISTING STRUCTURES ARE PROTECTED DURING CONSTRUCTION.
3. REMOVE ALL TEMPORARY WORK AND BRACKETS ARE INSTALLED AND REMOVED TO ENSURE THE INTEGRITY OF EXISTING STRUCTURE.
4. REPORT ANY VARIATIONS IN EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.

**WOOD NOTES**

1. ALL FRAMING TO COMPLY WITH THE PART 9 REQUIREMENTS OF THE ONTARIO BUILDING CODE.
2. PRIOR TO STARTING CONSTRUCTION VERIFY ALL DIMENSIONS AND CONDITIONS.
3. INSTALL ALL FRAMING AS PER DRAWINGS. SPACE ALL MEMBERS AS SPECIFIED BY CONSTRUCTION LOADS.
4. ALL EXISTING FRAMING TO BE PERMANENTLY PROTECTED FROM WEATHER.
5. ALL NEW FRAMING TO BE PROTECTED FROM ENVIRONMENTAL DAMAGE, STORE OFF GROUND AND COVER WITH WATERPROOF TAMP.
6. MATERIALS:
  - 1. DIMENSIONAL LUMBER: SPF #10 DRY
  - 2. ORIENTED STRAND BOARD: CSA D367
  - 3. PLYWOOD: CSA D310
  - 4. NAILS: CSA D118
  - 5. CONNECTIONS: SIMPSON STRONG-TIE

**ROOM FINISH SCHEDULE GENERAL NOTES:**

1. REFER TO DOOR SCHEDULE, SPECIFICATIONS, DRAWINGS AND DETAILS FOR SPECIAL CONDITIONS NOT INDICATED ON THIS SCHEDULE. FINISHES SHALL BE ALSO PROVIDED AS SHOWN ON THESE DOCUMENTS.
2. DOOR, TRIMMER AND SCHEDULES ARE TO BE PROVIDED AS PER DOOR SCHEDULE AND DRAWINGS.
3. REFER TO ARCHITECTURAL FOR ASSUMPTIONS OF MATERIALS, FINISHES, ETC. USED IN THE ROOM FINISH AND DOOR SCHEDULES, AND TECHNICAL SECTIONS OF THE SPECIFICATION.
4. AREAS NOTED MUST ALSO BE SPECIFIED IN THE SPECIFICATION SECTION WHERE THEY ARE USED.
5. ALL DIMENSIONS MUST BE TO FACE UNLESS OTHERWISE APPROVED. FINISH AND MATERIALS SUCH AS LAMINATE, GLASS, ALUMINUM TRIMMER AND PROFILES SHALL BE TO FACE UNLESS OTHERWISE APPROVED. FINISH AND MATERIALS SHALL BE TO FACE UNLESS OTHERWISE APPROVED. FINISH AND MATERIALS SHALL BE TO FACE UNLESS OTHERWISE APPROVED. FINISH AND MATERIALS SHALL BE TO FACE UNLESS OTHERWISE APPROVED.
6. ALL UNFINISHED CONCRETE, GULLIES, ACCESS PANELS, WALL AND CEILING FINISHES, WINDOWS, GULLIES, LAMINATE AND INSULATION SHALL BE TO FACE UNLESS OTHERWISE APPROVED. FINISH AND MATERIALS SHALL BE TO FACE UNLESS OTHERWISE APPROVED. FINISH AND MATERIALS SHALL BE TO FACE UNLESS OTHERWISE APPROVED. FINISH AND MATERIALS SHALL BE TO FACE UNLESS OTHERWISE APPROVED.

**WINDOW SCHEDULE**

1. FRAME DEPTHS FOR WINDOWS AND SCHEDULES SHALL BE DEPTH OF WALL PLUS 1/2" MIN. TYPICAL.

2. FRAME THICKNESS TO BE 2" TYP.

3. ALL DIMENSIONS SHOWN ON DRAWINGS ARE WINDOW SIZES.

4. WINDOW DEPTHS MUST BE CALCULATED BY CONTRACTOR.

5. A-F-F = FINISH FLOOR.

**DOOR SCHEDULE GENERAL NOTES:**

1. A FINISH (F) IS USED IN ANY COLUMN THAT DOES NOT APPLY TO A PARTICULAR DOOR.
2. DOOR WIDTHS TO BE CLEAR WIDTHS FOR DOUBLE DOORS.
3. TYPICAL FRAME SECTIONS ARE SHOWN IN THE SCHEDULE OR ON CONSTRUCTION SETS. FRAME DEPTHS FOR DOORS AND SCHEDULES SHALL BE DEPTH OF WALL PLUS 1/2" MIN. TYPICAL.
4. ALL EXTERIOR DOORS AND FRAMES ARE TO BE INSULATED AND WEATHERSTRIPPED.
5. UNLESS NOTED OTHERWISE.

**DOOR TYPES**

**FRAME TYPES**

**ROOM FINISH SCHEDULE**

NUMBER	FLOOR	WALL	CEILING	CEILING	COMMENTS
001	0.0	PC	PO	PO	

**DOOR AND FRAME FINISH SCHEDULE**

NUMBER	DOOR TYPE	WIDTH	HEIGHT	DOOR	FRAME	TRIMMER	GLASS	FINISH	COMMENTS
001	A	12'-0"	7'-0"	AL	PT	PT	AL	PT	

ISSUED FOR CONSTRUCTION - JUNE 5, 2023

1663 FOURTH STREET, VAL CARON, ONTARIO  
PROJECT NO. KSI-023-169

**KOMRI ENGINEERING**

ISSUED FOR CONSTRUCTION - JUNE 5, 2023

**A00**

A0077/2023  
Sketch 4



**ROOF PLAN LEGEND**

MATCH EXISTING SLOPE DENOTES DRAINAGE FROM LAKES & ROOF SLOPE

↓ DENOTES DOWN SPOUTS ON SPLASH PAD

E DENOTES EAVES THROUGH DOWNSPOUT

----- DENOTES RIDGE VENT

----- DENOTES RIDGE LINC

□ DENOTES MINIMUM EXTENT OF EAVE PROTECTION  
EAVE PROTECTION TO EXTEND A MINIMUM OF 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL

**NOTES:**

- CONTRACTOR TO SITE VERIFY EXISTING SLOPE AND DIMENSIONS PRIOR TO ORDERING TRUSSES. REFER BACK TO ROOFING ENGINEERING IF ANY DISCREPANCIES OCCUR.
- ICE AND WATER SHIELD TO EXTEND 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL (TYPICAL)
- ALL ROOF VENTS TO HAVE EAVE PROTECTION AND FLASHING
- THE MANUFACTURED ROOF TRUSSES SUPPLIER SHALL PROVIDE MANUFACTURED ROOF TRUSSES SUITABLE TO THE DESIGN PARAMETERS PROVIDED BY ROOF ENGINEERING AND IN ACCORDANCE WITH OBC PART 9, 9.23.13.11 WOOD TRUSSES.

**ROOF ASSEMBLIES:**

**DETACHED GARAGE TRUSS ROOF ASSEMBLY**

- 25 YEAR ASPHALT SHINGLES TO MATCH EXISTING
- EXISTING WALLS AND PERIMETER AS PER DETAIL
- ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
- CONTRACTOR TO SITE VERIFY
- 10" PLYWOOD SHEATHING ON 1" CUPS
- PRE-FABRICATED ROOF TRUSSES @ 2'-0" O.C BY OTHERS
- 60MIN INSULATION (R-6)
- 8 MIL POLY VAPOR BARRIER MEMBRANE LAP & SEAL
- CEILING AS SCHEDULED

**TRUSS OVER FRAMING**

- 25 YEAR ASPHALT SHINGLES TO MATCH EXISTING
- ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
- CONTRACTOR TO SITE VERIFY
- 10" PLYWOOD SHEATHING ON 1" CUPS
- 2" FLOOR JOISTS @ 16" O.C
- 2" CEILING JOISTS @ 16" O.C
- 2" x 4" COLLARS @ 16" O.C

**RCP LEGEND**

101 DENOTES ROOM NUMBER REFERENCE

CL DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE

10'0" DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR

10' DENOTES EXISTING CEILING HEIGHT ABOVE FINISHED FLOOR

○ DENOTES OFFRAME BOARD CEILING

○ DENOTES LIGHTING FIXTURE

○ DENOTES ATTIC ACCESS HATCH - PRE MANUFACTURED HATCH 1'-0" DIA. MIN. COORDINATE LOCATION OF HATCH TO BE CONFIRMED CONW/WRK CONSULTANT PRIOR TO INSTALLATION

**NOTE:**  
ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN ROOF TRUSSES @ 2'-0" O.C

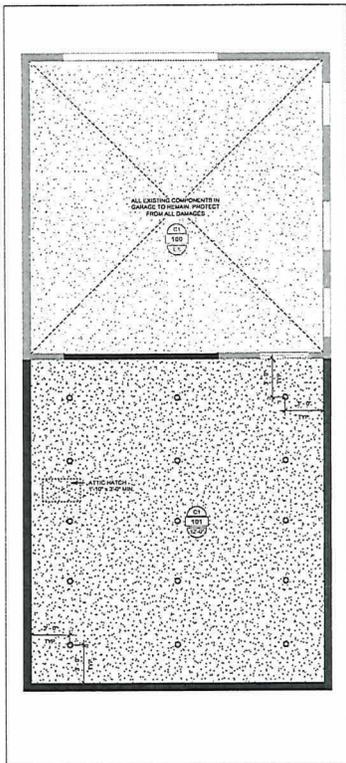
**NOTES:**

- REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- CEILING HEIGHTS ARE BASED ON THE FLOOR THEY ARE LOCATED ON SEE CLAM
- ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PENETRATE THROUGH BARRIERS ARE TO BE SEALED WITH THE APPROPRIATE CALLING AND MEMBRANES. REFER TO SPECIFICATION SECTIONS 05100 CEILING AND 07100 MEMBRANE AIR/VAPOR BARRIERS.

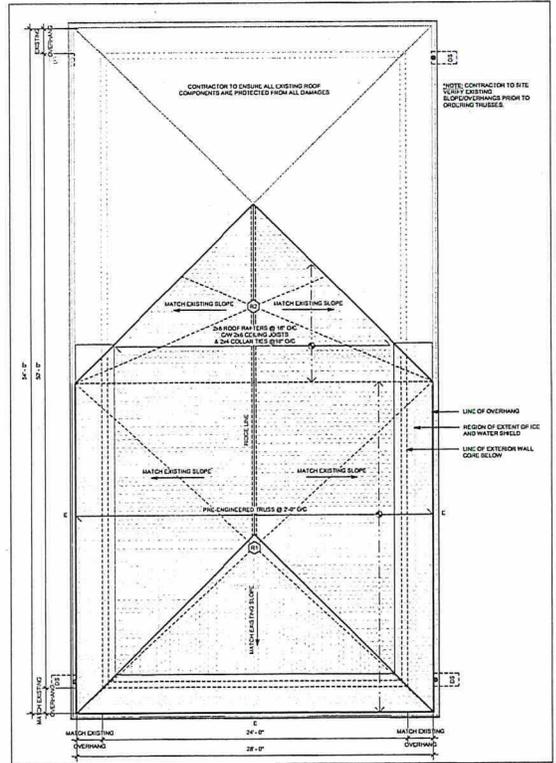
**CEILING ASSEMBLIES:**

CL TYPICAL OFFRAME BOARD CEILING

- ROOF AS SCHEDULED
- 10" OFFRAME BOARD CEILING
- 10" RECESSED CHANNELLING @ 2'-0" O.C



MAIN FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"



ROOF PLAN  
1/4" = 1'-0"

DATE: 05/05/2023  
PROJECT: 18183 FOURTH STREET, VAL D'OR, ONTARIO  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/4" = 1'-0"  
SHEET: A02



**KOMRI ENGINEERING**

18183 FOURTH STREET, VAL D'OR, ONTARIO  
M9W 6K7  
TEL: (416) 291-1111  
WWW.KOMRIENGINEERING.COM

DATE: 05/05/2023  
PROJECT: 18183 FOURTH STREET, VAL D'OR, ONTARIO  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/4" = 1'-0"  
SHEET: A02

DATE: 05/05/2023  
PROJECT: 18183 FOURTH STREET, VAL D'OR, ONTARIO  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/4" = 1'-0"  
SHEET: A02

ISSUED FOR CONSTRUCTION - JUNE 5, 2023

A0077/2023  
Sketch 6



**WALL ASSEMBLIES:**

- 1. IDENTIFIED GARAGE WALL ASSEMBLY**
- HORIZONTAL VINYL SIDING TO MATCH EXISTING
  - 1/2" OSB SHEATHING - LAP & SEAL
  - 1/2" OSB SHEATHING
  - 1/2" OSB 1/4" X 1/4" TYPICAL STUD @ 16" O.C. (SOUNDIC TOP PLATE)
  - 3/4" GYPSUM BOARD SHEATHING - LAP & SEAL
  - 1/2" OSB BOARD SHEATHING

**ROOF ASSEMBLIES:**

- 2. 25 YEAR GARAGE TRUSS ROOF ASSEMBLY**
- 25 YEAR ASPHALT SHINGLES TO MATCH EXISTING
  - 1/2" OSB SHEATHING - LAP & SEAL
  - 1/2" OSB SHEATHING
  - 1/2" OSB 1/4" X 1/4" TYPICAL STUD @ 16" O.C. (SOUNDIC TOP PLATE)
  - 3/4" GYPSUM BOARD SHEATHING - LAP & SEAL
  - 1/2" OSB BOARD SHEATHING

- 3. 25 YEAR ASPHALT SHINGLES TO MATCH EXISTING**
- 25 YEAR ASPHALT SHINGLES TO MATCH EXISTING
  - 1/2" OSB SHEATHING - LAP & SEAL
  - 1/2" OSB SHEATHING
  - 1/2" OSB 1/4" X 1/4" TYPICAL STUD @ 16" O.C. (SOUNDIC TOP PLATE)
  - 3/4" GYPSUM BOARD SHEATHING - LAP & SEAL
  - 1/2" OSB BOARD SHEATHING

**FLOOR ASSEMBLIES:**

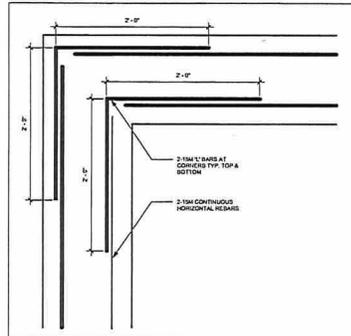
- 4. CONCRETE GARAGE SLAB**
- 4" CONCRETE SLAB ON GRADE GW W/ 1/2" W/ 16" O.C.
  - 1/2" OSB SHEATHING - LAP & SEAL
  - 1/2" OSB SHEATHING
  - 1/2" OSB 1/4" X 1/4" TYPICAL STUD @ 16" O.C. (SOUNDIC TOP PLATE)
  - 3/4" GYPSUM BOARD SHEATHING - LAP & SEAL
  - 1/2" OSB BOARD SHEATHING

**FOOTING SCHEDULE**

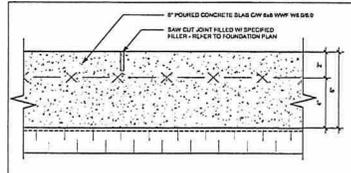
IDENTITY	SIZE
F1	12" DEEP x 12" WIDE TRAPEZOIDAL EDGE SLAB ON 2" MIN BARS TOP & BOTTOM CONTINUOUS & 1/4" STRIPS @ 4" O.C.

**UNTEL SCHEDULE**

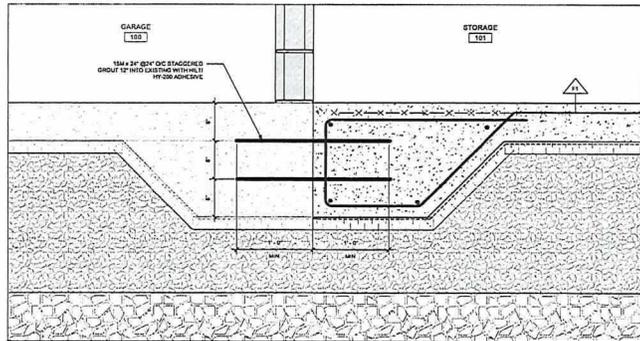
IDENTITY	SIZE
L1	2" PL x 2" BPF NO. 10 @ 2'
L2	2" PL x 3" x 1/2" WESTFRASER U/L 2 @ 2'



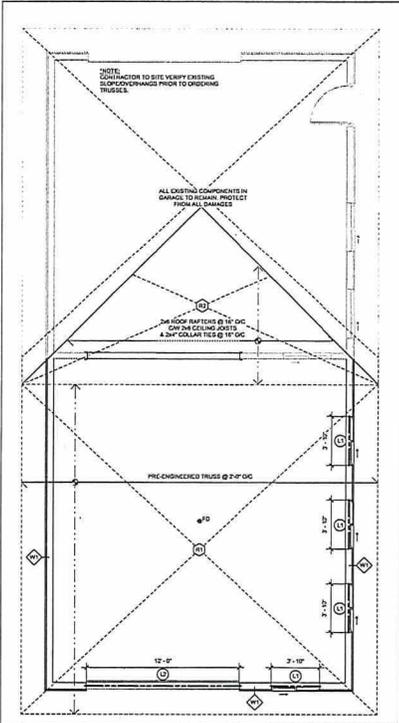
TYP. CORNER LAP FOR HORIZONTAL STEEL REINF  
1 1/2" = 1'-0"



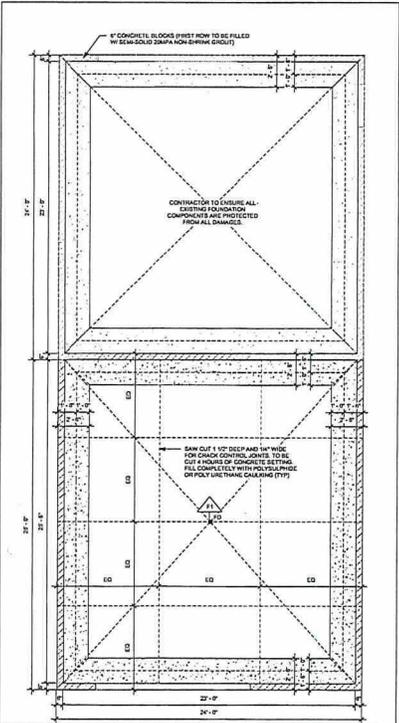
TYP. SAW CUT DETAIL  
3\"/>



TYP. EXISTING FOUNDATION TO NEW FOUNDATION CONNECTION  
1 1/2" = 1'-0"

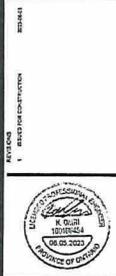


MAIN FLOOR STRUCTURAL PLAN  
1/4" = 1'-0"



T/O FOOTING  
1/4" = 1'-0"

PROJ. NO. 1887  
DATE: 06.05.2023  
SCALE: AS SHOWN  
SHEET NO. 1887-01



1887 FOURTH STREET, 1ST FLOOR, GARRA, ONTARIO  
PROJECT: 1887-01  
STRUCTURAL

DRAWN: IN  
CALCULATED: DPKND  
SCALE: As indicated  
SHEET: S01

ISSUED FOR CONSTRUCTION - JUNE 5, 2023

A0077/2023  
Sketch 8



Greater Sudbury  
www.greatersudbury.ca  
Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0078/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kerry Charvet & David Scholtz Email: \_\_\_\_\_  
Mailing Address: 387 Walford Home Phone: \_\_\_\_\_  
Business Phone: \_\_\_\_\_  
City: Sudbury Postal Code: P3E2H1 Fax Phone: \_\_\_\_\_

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Total Home Centre Email: \_\_\_\_\_  
Mailing Address: 254 B Rosalie Blvd. Home Phone: \_\_\_\_\_  
Business Phone: \_\_\_\_\_  
City: Sudbury Postal Code: P3A4U4 Fax Phone: \_\_\_\_\_  
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ Postal Code: \_\_\_\_\_

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R2-a

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	DECK	By-law Requirement	Proposed	Difference
Front lot line setback	1	6m - 1.2m = 4.8m	1.73 m	3.07 m
	2	6	1.34 m	4.66 m

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
Attached Decks

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Location of existing house

A0078/2023

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: MCKIM  
 Lot No.: 5 Concession No.: 1 Parcel(s): 51128  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: 53R12614 Part(s): 5  
 Municipal Address or Street(s): 389 WALFORD RD

7) Date of acquisition of subject land. 2007

8) Dimensions of land affected.

Frontage 43.5 (m) Depth \_\_\_\_\_ (m) Area 728.45 (m<sup>2</sup>) Width of Street \_\_\_\_\_ (m)

9) Particulars of all buildings: House Existing

	Existing	Deck 1	Proposed	Deck 2
Ground Floor Area:	<u>181.5</u> (m <sup>2</sup> )	<u>0</u>		<u>0</u> (m <sup>2</sup> )
Gross Floor Area:	<u>218.3</u> (m <sup>2</sup> )	<u>5.33</u>		<u>6.94</u> (m <sup>2</sup> )
No. of storeys:	<u>1</u>	<u>0</u>		<u>0</u>
Width:	<u>15.4</u> (m)	<u>1.82</u>		<u>1.52</u> (m)
Length:	<u>12.7</u> (m)	<u>3.04</u>		<u>4.57</u> (m)
Height:	<u>4.3</u> (m)	<u>2.9</u>		<u>2.4</u> (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Deck 1	Proposed	Deck 2
Front:	<u>1.7</u> (m)	<u>1.73</u>		<u>1.34</u> (m)
Rear:	<u>1.3</u> (m)			
Side:	<u>11.7</u> (m)			<u>15.</u> (m)
Side:				

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1996

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 27

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): A 0001-1996  
or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Kerry Charuk / Dan Scholtz (please print all names), the registered owner(s) of the property described as 389 Walford

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Tota Home Centre Kerry Charuk (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

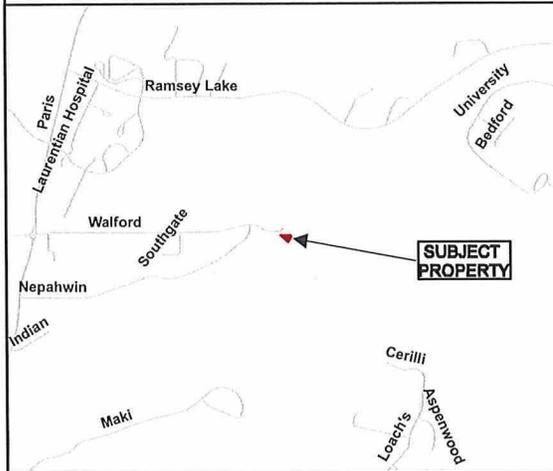
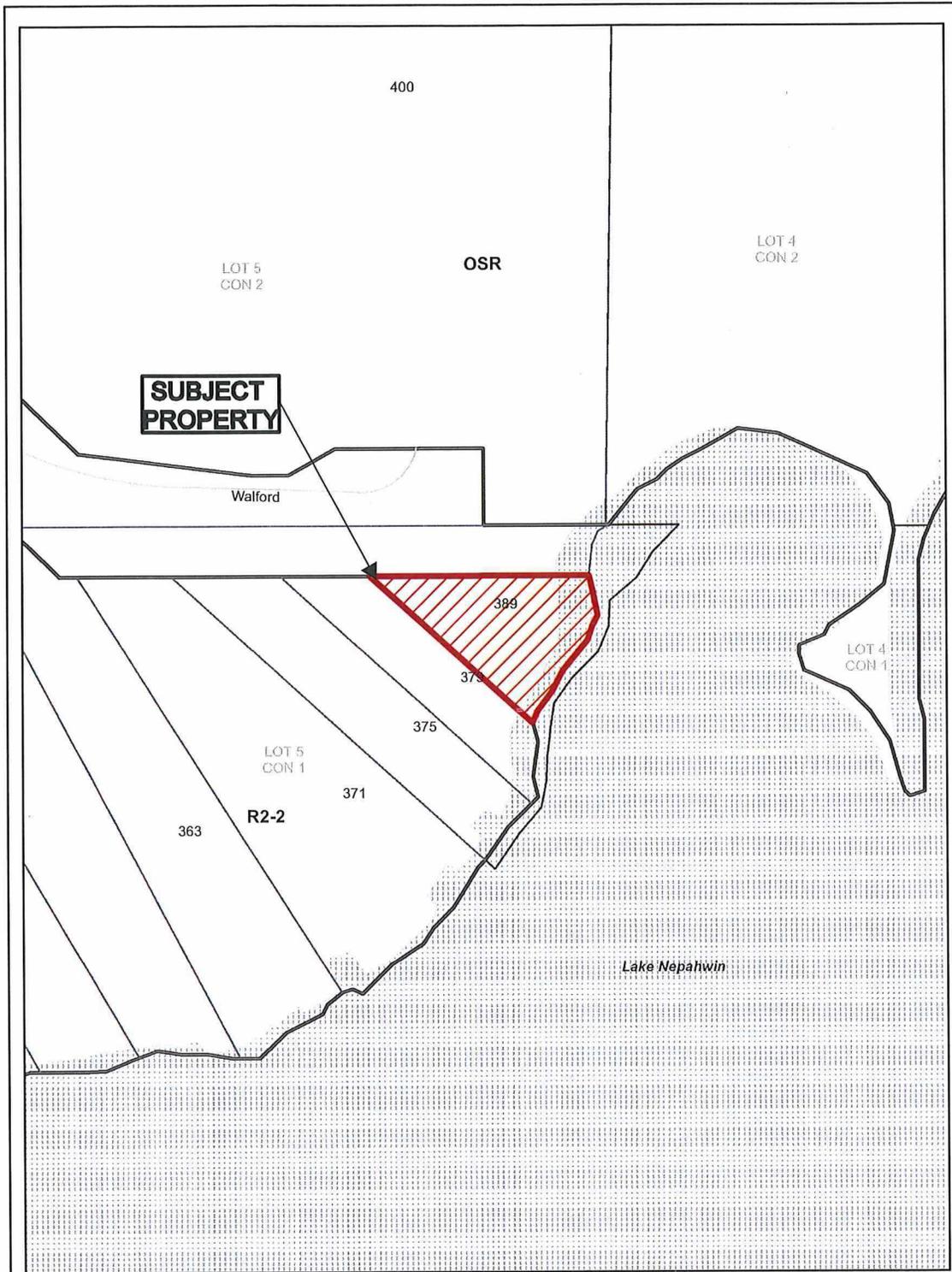
Dated this 15 day of June, 2022  
[Signature]  
(witness) \_\_\_\_\_ signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Kerry Charuk  
\*I have authority to bind the Corporation  
Kerry Charuk / DANIEL SCHOLTZ

ACC078/2023



			HEIGHT	
DECK	1	10'X6'	3 FT 0.9m	$3.04_m \times 1.82_m = 5.53_m^2$
DECK	2	15'X5'	Height 8 FT 2.4m	$4.57_m \times 1.52_m = 6.94_m^2$
DECK	3	15'X10'	Height 10 FT	$4.57_m \times 3.04_m = 13.89_m^2$



### Application for Minor Variance or Permission



Subject Property being  
 PIN 73594-0012,  
 Parcel 51128 SEC SES,  
 Part Lot 5, Concession 1,  
 Part 5, Plan 53R-12614,  
 Township of McKim,  
 389 Walford Road, Sudbury,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0078/2023  
 Date: 2023 06 29



**SURVEYOR'S REAL PROPERTY REPORT**

THE SURVEYOR'S REAL PROPERTY REPORT IS COMPRISED OF 2 PARTS. THIS PLAN OF SURVEY CONSTITUTES PART 1 OF THE REPORT AND THE ATTACHED REPORTING LETTER DATED DECEMBER, 1996 CONSTITUTES PART 2 OF THE REPORT.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1080726



THIS PLAN IS NOT VALID UNLESS IT IS ACCOMPANIED BY ORIGINAL COPY ISSUED BY THE SURVEYOR

PLAN OF SURVEY OF  
**PART 5,  
PLAN 53R-12614**  
BEING PART OF LOT 5,  
CONCESSION 1  
TOWNSHIP OF MCKIM  
CITY OF SUDBURY

REGIONAL MUNICIPALITY OF SUDBURY

SCALE 1" = 20'



**BEARING NOTE**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PARCEL 12207 S.E.S. AS SHOWN ON PLAN ATTACHED TO TRANSFER 411 HAVING A BEARING OF EAST.

**DISTANCE NOTE**

DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON THE 11th DAY OF NOVEMBER 1996.

NOVEMBER 21, 1996

DATE

*Peter M. Bull*  
PETER M. BULL, OLS

**VALIDATION NOTE**

THIS PLAN IS NOT VALID UNLESS SIGNED AND SEALED.

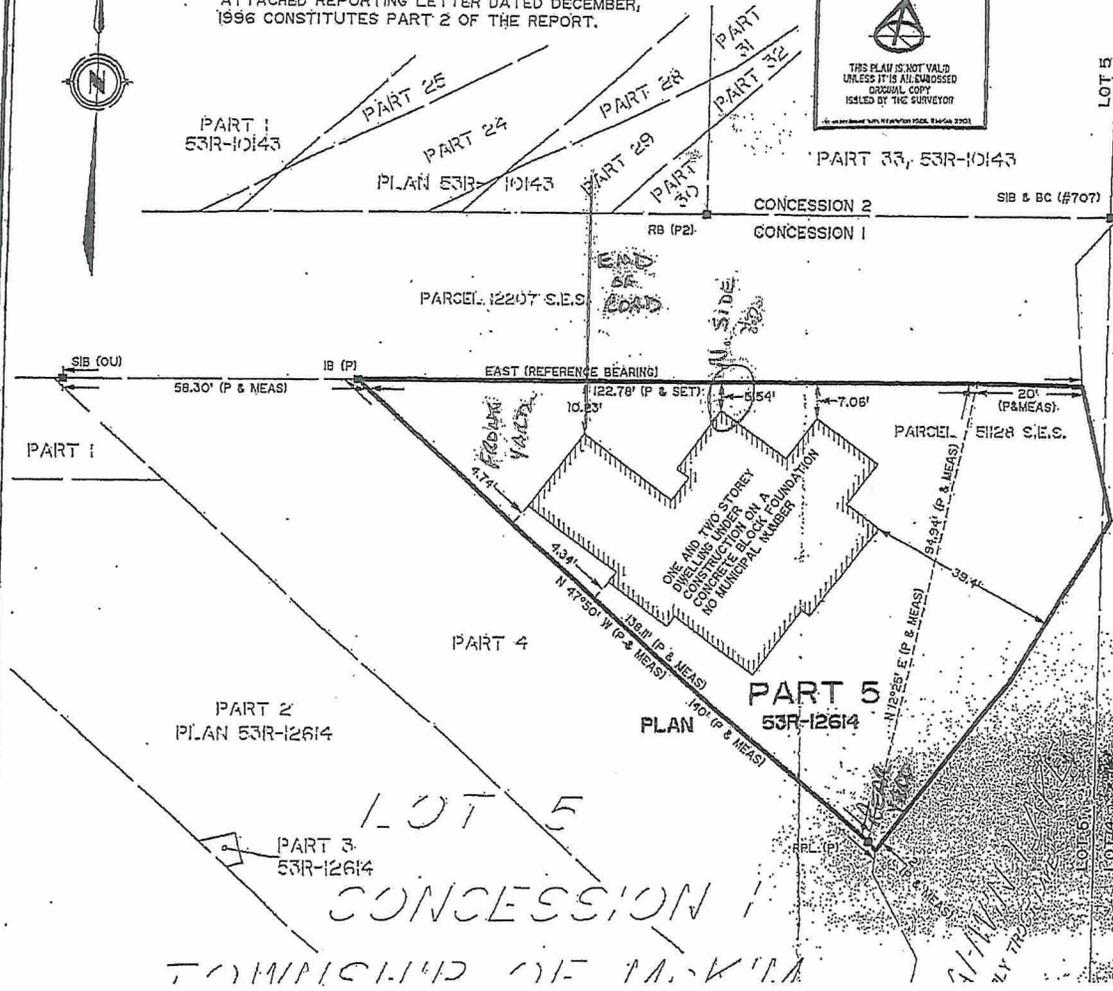
**COPYRIGHT NOTE**

© BULL SURVEYING CORPORATION, 1996

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR OTHERWISE MAKE ANY WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BULL SURVEYING CORPORATION

**LEGEND**

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT RE-SET
- SIB DENOTES STANDARD IRON BAR
- BC DENOTES BRASS COIL
- RB DENOTES ROCK BARS
- RI DENOTES IRON RAILS
- RE DENOTES ROCK REBARS
- MEAS DENOTES MEASUREMENT
- PLAN DENOTES PLAN 53R-12614
- P2 DENOTES PLAN 53R-10143
- REG DENOTES INSTRUMENT 4111
- OU DENOTES ORIGIN UNKNOWN
- # TO DENOTES TO PLAN 10143
- LIMITED USE NOT TO BE USED



LOT 5  
CONCESSION 1  
TOWNSHIP OF MCKIM

A009812023  
sketch #3



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0079/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Moussa Adou Email: [REDACTED]  
 Mailing Address: 914 MEADOWSIDE AVENUE Home Phone: [REDACTED]  
 City: SUDBURY Postal Code: P3A4J3 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: RENE - BOUTHILLON Email: [REDACTED]  
 Mailing Address: 4508 BEAVER AV. Home Phone: [REDACTED]  
 City: HANMER Postal Code: P3P1C4 Fax Phone: [REDACTED]  
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Desjardins  
 Mailing Address: 40 Elm St.  
 City: Sudbury Postal Code: P3C 1S8

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2/3

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
BACK YARD	7.5	5.5	2.0
LANDSCAPED	50%	0	50%

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: .6 (m)

c) Description of Proposal: Back YARD CLEARANCE  
Construction 3 units Dwelling

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
House too big

A0079/2023

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 02134-0304 Township: MCKIM  
 Lot No.: 7 Concession No.: 4 Parcel(s): 150  
 Subdivision Plan No.: M-26 Lot: 7 Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 6 EYRE Street, Subbury, ONT, P3C 4A4

7) Date of acquisition of subject land. 2021-07-19

8) Dimensions of land affected.

Frontage 16.70 (m) Depth 26.82 (m) Area 449.50 (m<sup>2</sup>) Width of Street 20.17 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
Gross Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

Handwritten values: Existing Ground Floor Area: \_\_\_\_\_, Gross Floor Area: \_\_\_\_\_, No. of storeys: \_\_\_\_\_, Width: \_\_\_\_\_, Length: \_\_\_\_\_, Height: \_\_\_\_\_; Proposed Ground Floor Area: 160.83, Gross Floor Area: 202.48, No. of storeys: 2 1/2, Width: 11.89, Length: 8.48, Height: 6.8

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

Handwritten values: Front: NONE, Rear: \_\_\_\_\_, Side: \_\_\_\_\_, Side: 3.0

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

PROPOSED SPRING 23 SUMMER 2023

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): P. VACANT Length of time: \_\_\_\_\_

14) Proposed use(s) of the subject property.

Same as #13  or, 3 Units building

15) What is the number of dwelling units on the property?

\_\_\_\_\_

16) If this application is approved, would any existing dwelling units be legalized?

Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties:

Residential & Commercial

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Moussa Adou (please print all names), the registered owner(s) of the property described as 6 EYRE street Sudbury, ONT, P3C4A4 in the City of Greater Sudbury.

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Rene Bouthillette (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 20 day of 06, 2023

[Signature]  
(Witness)

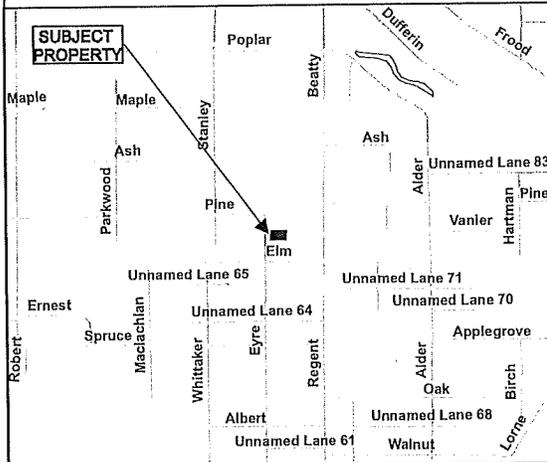
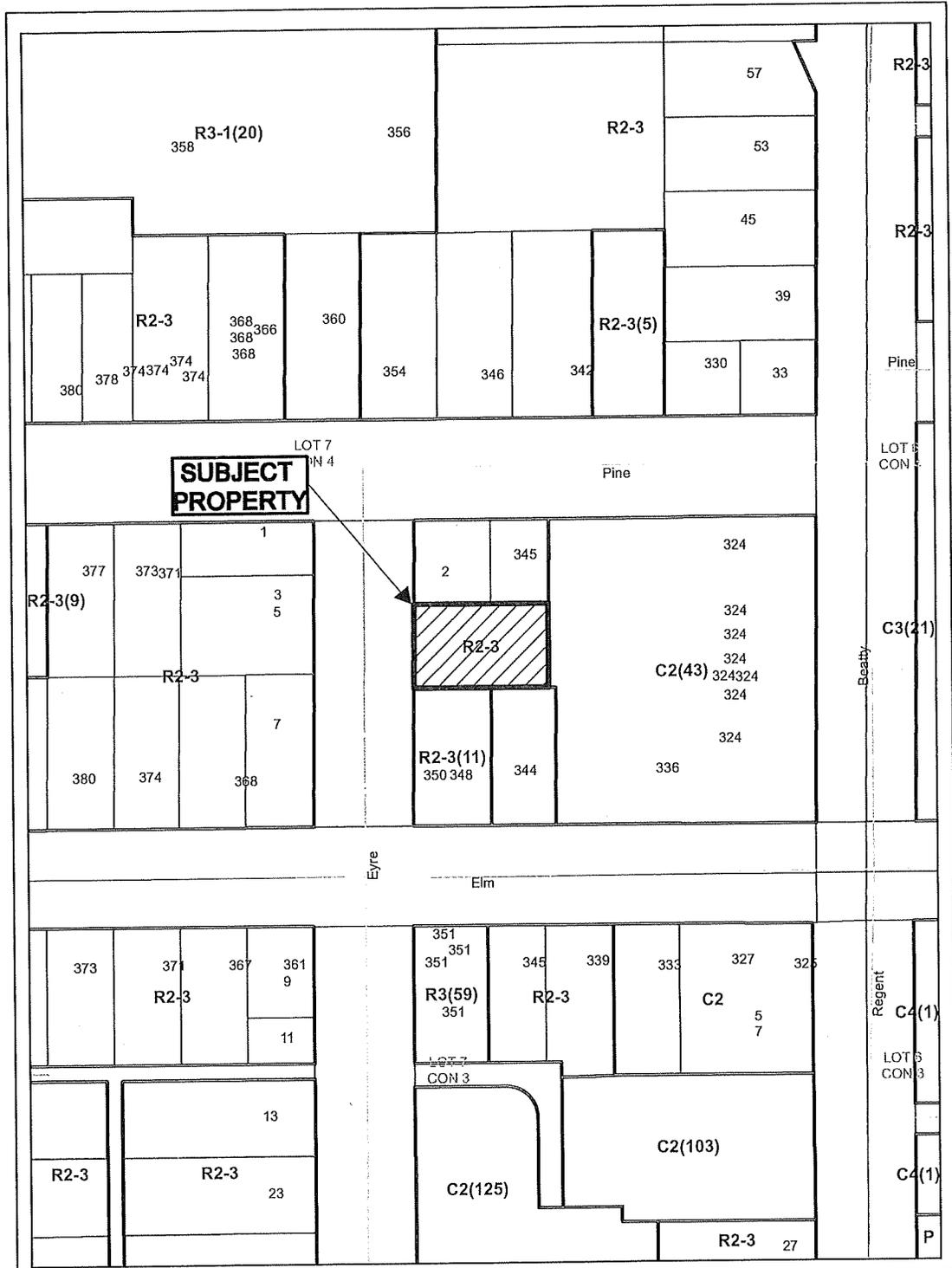
[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Moussa Adou

\*I have authority to bind the Corporation

ACC7912023





**Application for Minor Variance or Permission**

N  


Subject Property being  
 PIN 02134-0304,  
 Parcel 150 SEC SES,  
 Lot 7, Plan M-26,  
 Township of McKim,  
 6 Eyre Street, Sudbury,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0079/2023  
 Date: 2023 06 29





Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0080/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Waghail Doors inc Email: [REDACTED]  
 Mailing Address: 26 Mahan St Home Phone: [REDACTED]  
 City: Capreol Postal Code: R0M 1H0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: NA Email: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Home Phone: \_\_\_\_\_  
 \_\_\_\_\_ Business Phone: \_\_\_\_\_  
 City: \_\_\_\_\_ Postal Code: \_\_\_\_\_ Fax Phone: \_\_\_\_\_  
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: B.D.C.  
 Mailing Address: 233 Brady St unit 10  
 City: Sud Postal Code: R3B 4H5

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: 1(41)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 10.3.	10m	6.3	3.7

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
Addition steel building

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
To allow us to line up with existing building

A0080/2023

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: Cuperal  
 Lot No.: 10 Concession No.: 6 Parcel(s): 116551  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: 5314369 Part(s): 1  
 Municipal Address or Street(s): 260 Meehan Ave.

7) Date of acquisition of subject land. October

8) Dimensions of land affected.

Frontage 85.3 (m) Depth 190.8 (m) Area (m<sup>2</sup>) Width of Street (m)

9) Particulars of all buildings:	EXISTING BUILDINGS		ADDITIONAL	
	Existing	SHED	Proposed	
Ground Floor Area:	<u>1902.56</u>	<u>54</u> (m <sup>2</sup> )	<u>297</u>	(m <sup>2</sup> )
Gross Floor Area:	<u>2283</u>	<u>54</u> (m <sup>2</sup> )	<u>304.72</u>	(m <sup>2</sup> )
No. of storeys:	<u>single</u>	<u>one</u>	<u>one</u>	
Width:	<u>25.14</u>	<u>4.5</u> (m)	<u>12.49</u>	(m)
Length:	<u>50.8</u>	<u>12</u> (m)	<u>24.3</u>	(m)
Height:	<u>7.6</u>	<u>3.66</u> (m)	<u>7.6</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	EXISTING BUILDINGS		ADDITIONAL	
	Existing	SHED	Proposed	
Front:	<u>7.9</u>	-	<u>33.9</u>	(m)
Rear:	<u>89.64</u>	<u>116.96</u> (m)	<u>132.92</u>	(m)
Side:	<u>4.51</u>	<u>68.86</u> (m)	<u>6.3</u>	(m)
Side:	<u>55.68</u>	<u>6.5</u> (m)	<u>66.85</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input checked="" type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   |                                     |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/>            |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input checked="" type="checkbox"/> |  |                                     |

12) Date(s) of construction of all buildings and structures on the subject land.

1957

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): light Manufacturing Length of time: 16 months

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 0

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: gas station public park city Bldg

18) To the best of your knowledge has the subject ~~land~~ ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application ~~for~~ Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Nagh Gil Doors Inc Tony Nash (please print all names), the registered owner(s) of the property described as 26 Meehan St Ave

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

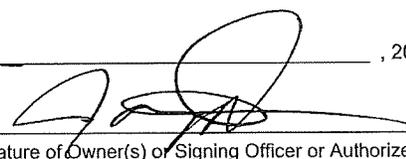
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 26 day of June, 20 23

(witness) 

  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Tony Nash

\*I have authority to bind the Corporation

A00012023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Nash Gil Poor's, inc (please print all names),

the registered owner(s) or authorized agent of the property described as 26 Meehan Ave

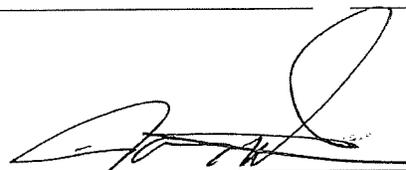
Capreol

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 26 day of June, 2023

  
Commissioner of Oaths

  
signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

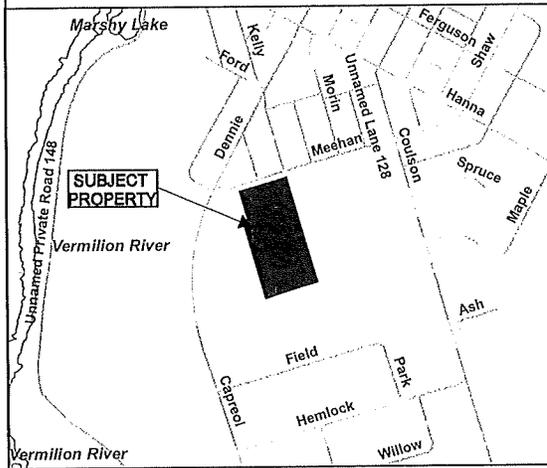
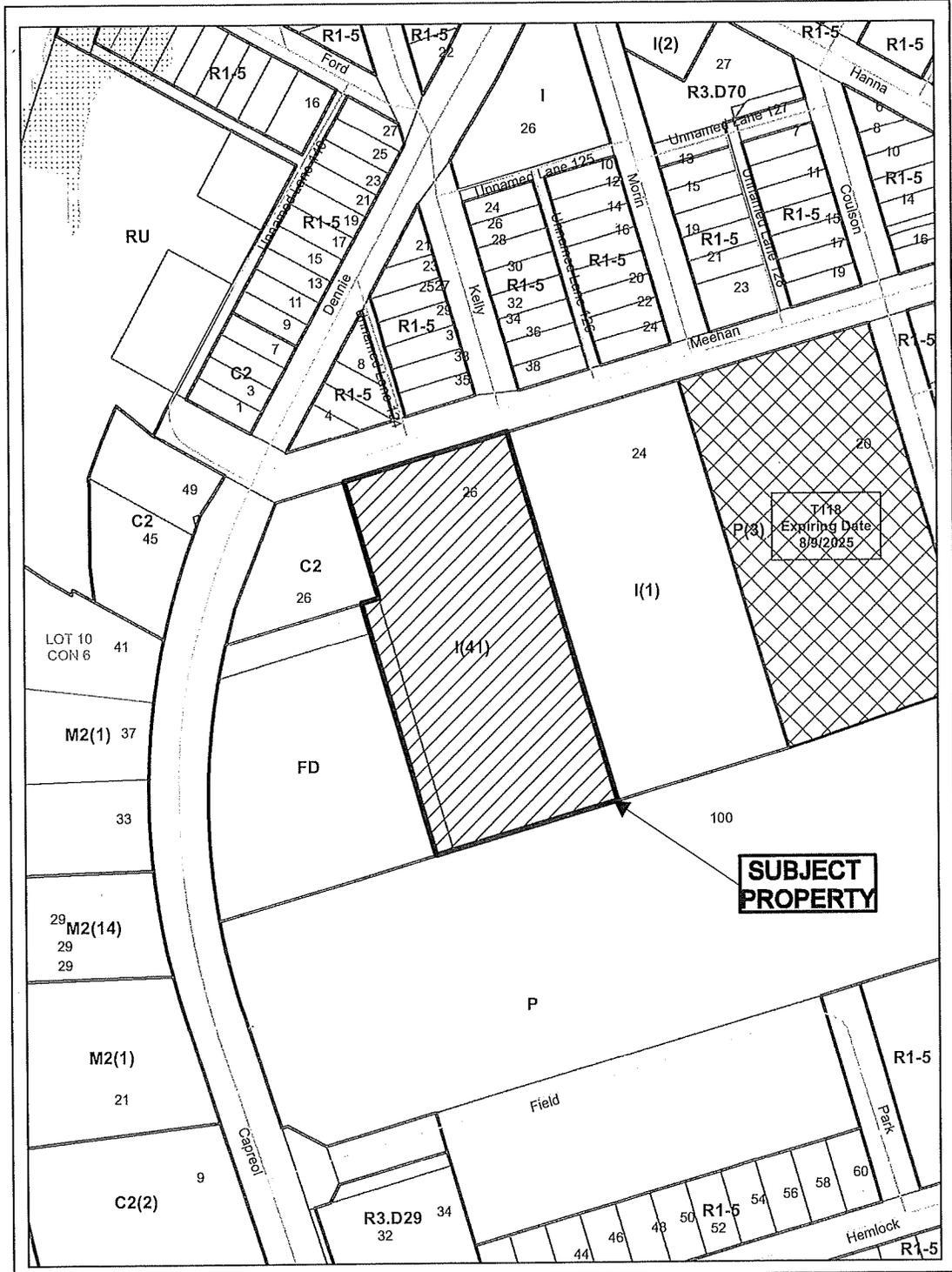
Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

Print Name: Tony Nash  
\*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: June 26/23 Hearing Date: July 19, 2023 Received By: S. Pinkerton  
 Zoning Designation: 1(41) Resubmission:  Yes  No  
 Previous File Number(s): See below  
 Previous Hearing Date: \_\_\_\_\_  
 Notes: Rezoning 751-2/14-002



**Application for Minor Variance or Permission**



Subject Property being  
 PINs 73507-1149 and 73507-0175,  
 Parcels 16551 SEC SES and 46765 SEC SES,  
 Part Lot 1, Plan 53R-4369,  
 Part Lot 10, Concession 6,  
 Township of Capreol,  
 26 Meehan Avenue, Capreol,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0080/2023  
 Date: 2023 06 29

\* Legend   
 - - - - - fence on property line   
 - - - - - Lot size   
 26 Mehan street Caprol out

9.14 meters

85.34 meters

street width 10.05

Property Line

25.14 Meters Bldg Front

4.51

7.4

26.6

55.68

50.8 meters

24.38 meters

Proposed Bldg layout

6.15 meters

6.15 meters

Property 190.8 meters

9.14 meters

6.5 meters from lot line



6.15 from lot line

12 meters

12.19 meters

Line

line

111.96

26.31

89.64

Fence on property line

Property line

AP080/2023 sketch #2



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0081/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dominique Lalonde + Jennifer Edwards Email: [Redacted]  
 Mailing Address: 841 Dominion Dr Home Phone: [Redacted]  
 Business Phone: [Redacted]  
 City: HANMER Postal Code: P3P0A6 Fax Phone: [Redacted]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Dominique Lalonde Email: [Redacted]  
 Mailing Address: 841 Dominion Dr Home Phone: [Redacted]  
 Business Phone: [Redacted]  
 City: HANMER Postal Code: P3P0A6 Fax Phone: [Redacted]  
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: DESTARDINS CAISSE POPULAIRE VOYAGEURS  
 Mailing Address: 24 AHANDA STREET  
 City: CONISTON, ONTARIO Postal Code: P0M 1M0

- 4) Current Official Plan designation: Parkside/Urban Expansion Reserve Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.10.3C ii	NO MORE 30 mtrs	47.40 mtr	17.40 mtr

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal: Permanently situate a 40x114 mobile HOME further than the 30mtr rule. Install a septic system.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
We have a very big property and would like to situate it near garage.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: HANMER  
 Lot No.: 4 & 8 Concession No.: 1 Parcel(s): 2309  
 Subdivision Plan No.: S1672/53R2589 Lot: PT 1-3 Reference Plan No.: S1672/ Part(s): PT 1  
 Municipal Address or Street(s): 841 Dominion Dr 53R2589 1-3

7) Date of acquisition of subject land. original property Approx 15yrs ago  
New parcel behind original property 9/11/2022

8) Dimensions of land affected.  
 Frontage 76.344 (m) Depth 1609.34 (m) Area 122309.84 (m<sup>2</sup>) Width of Street (m)

9) Particulars of all buildings:	Existing	Proposed
Ground Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
Gross Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
No. of storeys:	_____	_____
Width:	<u>See Schedule</u> (m)	<u>SAME</u> (m)
Length:	_____ (m)	_____ (m)
Height:	<u>A</u> (m) <u>Attached</u>	_____ (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).	Existing	Proposed
Front:	_____ (m)	_____ (m)
Rear:	<u>See Schedule</u> (m)	<u>SAME</u> (m)
Side:	<u>13</u> (m)	_____ (m)
Side:	<u>Attached</u> (m)	_____ (m)

- 11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?
- |   |                                     |  |                          |
|---|-------------------------------------|--|--------------------------|
| Municipally owned & operated piped water system     | <input type="checkbox"/>            | Provincial Highway   | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/> |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input type="checkbox"/> |
| Individual Well                                     | <input checked="" type="checkbox"/> | Maintained Seasonal  | <input type="checkbox"/> |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/> |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/> |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                          |
| Pit Privy   | <input type="checkbox"/>            |  |                          |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                          |

12) Date(s) of construction of all buildings and structures on the subject land.  
1992 Prestige Modular Home 1998 40x11 mobile HOME  
GARAGE DATE UNKNOWN

13) Existing use(s) of the subject property and length of time it / they have continued.  
 Use(s): Personal / Farming Length of time: 16yrs

14) Proposed use(s) of the subject property.  
 Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No  
 If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential / Rural

A0081/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Dominique Lalande + Jennifer Edwards (please print all names), the registered owner(s) of the property described as 841 Dominion Dr, Hammer Ontario P3P0A6 in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Dominique Lalande (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 23rd day of JUNE, 20 23

[Signature]  
(witness)

[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Dominique Lalande JENNIFER EDWARDS.

\*I have authority to bind the Corporation

ACC081123



## Schedule A

## Section 9

Particulars of buildings	Existing	Proposed
	main HOUSE	New proposed House
Ground Floor Area	174.0074 m <sup>2</sup>	61.6881 m <sup>2</sup>
Gross Floor Area		
No of stories	1	1
width	10.9728 m	7.602484 m
Length	20.045 m	12.192 m
Height:	3.962 m	3.962 m
	garage	
Ground Floor Area	84.179445 m <sup>2</sup>	
Gross Floor Area		
No of stories	1	
width <del>10.972</del>	6.95 m	
Length	12.50 m	
Height	6.0096 m	
	Shed 1	
Ground Floor Area	9.29 m <sup>2</sup>	
Gross Floor Area		
No of stories	1	
width	3.048 m	
Length	3.048 m	
Height	4.267	
	Sited 2	
Ground Floor Area	9.29 m <sup>2</sup>	
Gross Floor Area		
No of stories	1	
width	3.048 m	
Length	3.048 m	
Height	2.438	

Particulars of Buildings	Existing	Proposed
--------------------------	----------	----------

	<del>SAUNA</del> SAUNA	
Ground Floor Area	8.919 m <sup>2</sup>	
Gross Floor Area		
No of Stories	1	
width	2.438 m	
Height	<del>3.658</del> 3.658 m	
Lenght	3.658 m	

Kiosk (Garden)

Ground Floor Area	20.4387 m <sup>2</sup>
Gross Floor Area	
No of Stories	1
width	2.47 m
Height	3.048 m
Lenght.	8.412 m

## Schedule B

## Section 10

location of All buildings and structures on or proposed for the subject land.

## Main Dwelling.

Front 32.75m  
 Rear 40.25 - 1 mile Deep  
 Side 15mtr  
 Side. 35.75mtr

## garage

Front 38mtr  
 Rear ~~1.25mtr~~ 50.5 - 1 mile deep.  
 Side 1.25mtr  
 Side 68mtr.

## Shed 1

Front 15mtr  
 Rear 18.5 - 1 mile deep m  
 Side 11.750m  
 Side 61.25m

Sted 2

Front 42mtr

Rear 45 - 1 mile Deep mt

Side ~~71mtrs~~ 2mtr

Side ~~45 - 1 mile Deep mt - 71mtrs~~

Kiosk

Front 42mtr

Rear 50.5 - 1 mile Deep

Side 10.5 m

Side 62 m

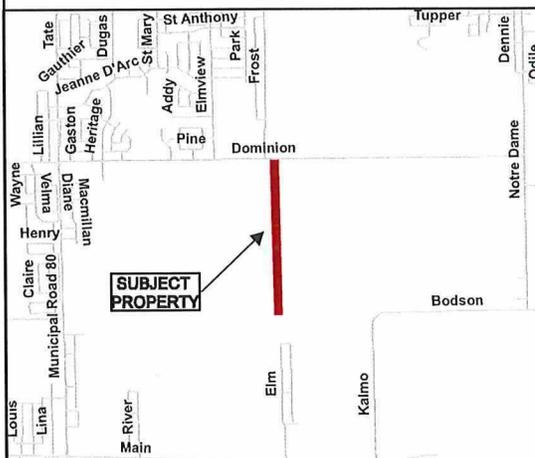
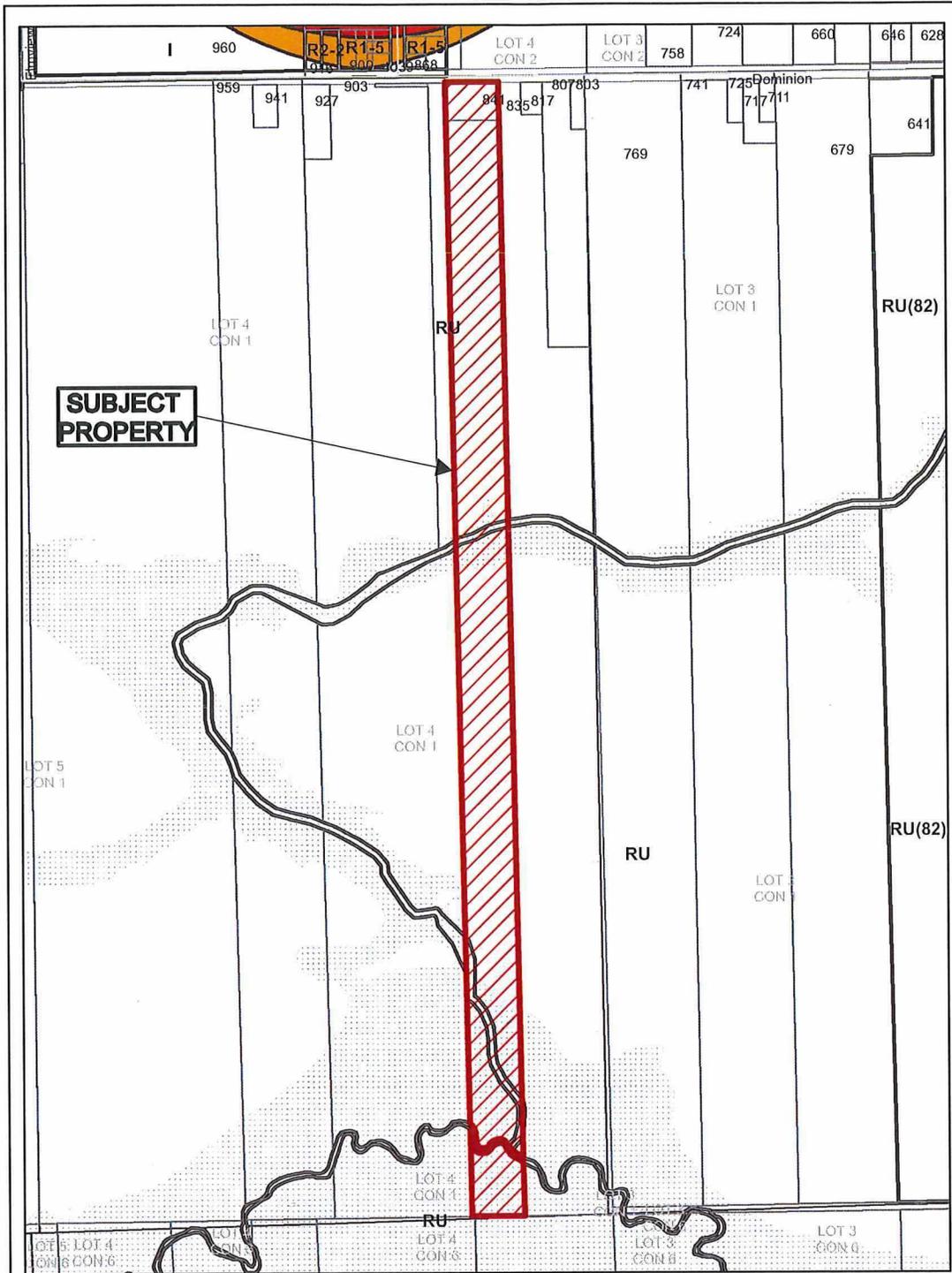
Proposed new dwelling

Front ~~42mtr~~ 72.5mtr

Rear ~~50.5 - 1 mile deep~~ 84 - 1 mile deep

side ~~10.5~~ 4.5mtr

side ~~62mtr~~ 63mtr



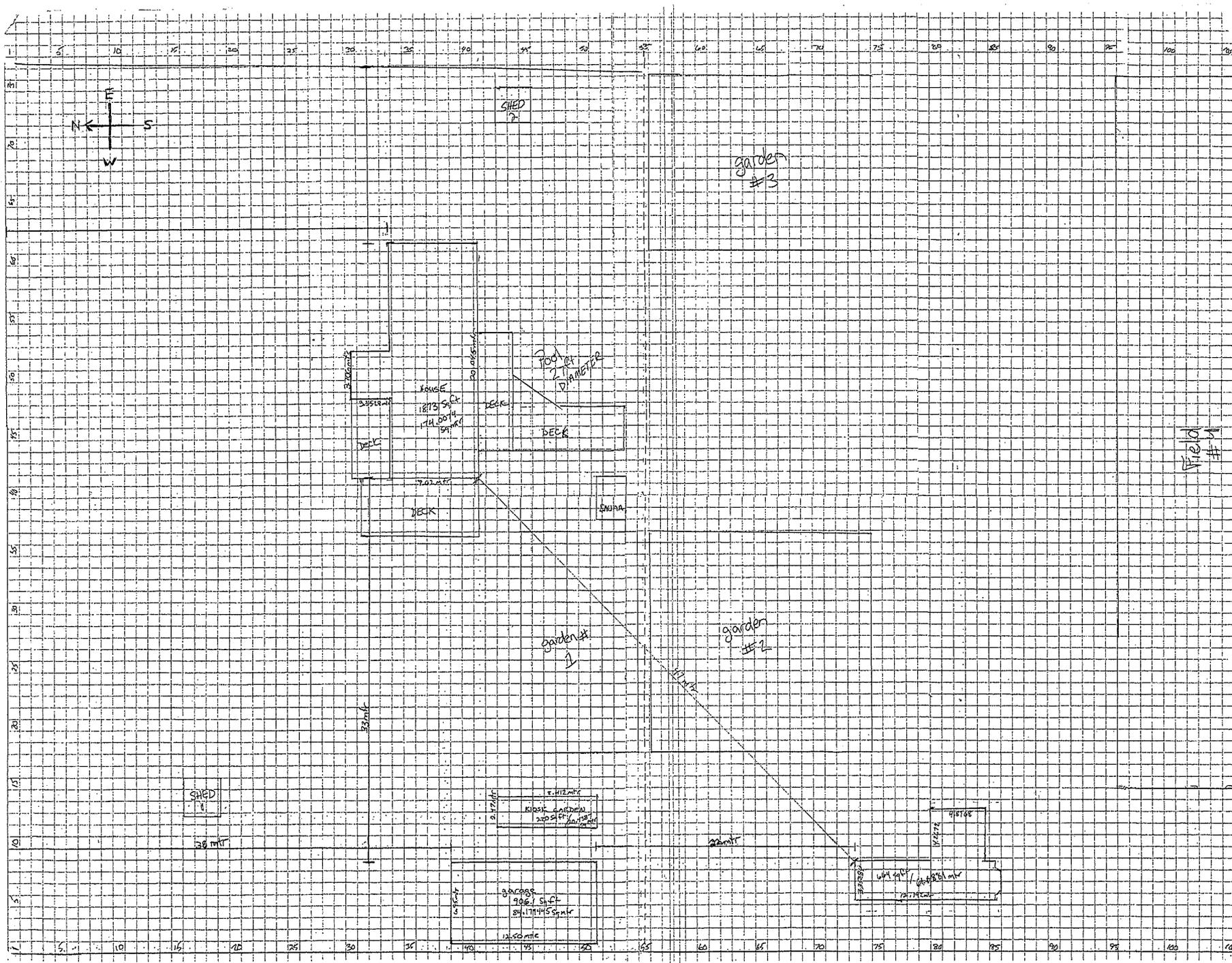
### Application for Minor Variance or Permission



Subject Property being  
 PINs 73504-3172 and 73504-3173, SRO,  
 Part Lot 4, Concession 1,  
 Part 1 on Plan SR-1672,  
 Parts 1-3 on Plan 53R-21589,  
 Township of Hanmer,  
 841 Dominion Drive, Hanmer,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0081/2023  
 Date: 2023 06 29



A0081/2023  
 sketch #2

(14-06)

# PLAN 53R-21589

RECEIVED AND DEPOSITED  
 November 26, 2021  
 DATE  
 REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF SUDBURY LAND NO. 63  
 I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT  
 DATE: Nov 26/2021  
 A BORTOLUSSI ONTARIO LAND SURVEYOR

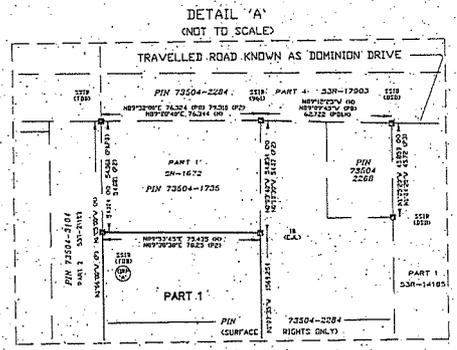
SCHEDULE				
PART	LOT	CONVEYANCE	7425(1)/2017/REV. 1	DATA CLASS
1				11000
2	PART 1 OF LOT 4	CONVEYANCE	PART OF PIN 73504-2284	5400
3			CONVEYANCE RIGHTS ONLY	6100

PART 1, 2 & 3 SUBJECT TO EASEMENT AS IN LT164332  
 PART 2 SUBJECT TO EASEMENT AS IN LT39080

PLAN OF SURVEY OF  
**PART OF LOT 4  
 CONCESSION 1**  
 GEOGRAPHIC TOWNSHIP OF HANMER  
 CITY OF SUDBURY  
 DISTRICT OF SUDBURY  
 SCALE: 1 : 3000  
 0 60 120 180 240 300 METERS  
 2021



- LEGEND**
- SE SURVEY MONUMENT FOUND
  - SD SURVEY MONUMENT PLANTED
  - ST SHORT STANDED IRON NAIL
  - IS IRON NAIL
  - IB IRON BARR
  - W WOOD SIGN
  - P PLAN 53R-21589
  - P2 PLAN 5R-1672
  - P3 PLAN 53R-1183
  - P4 PLAN 53R-18254
  - P5 PLAN 53R-4254
  - P6 REIC PLAN 53R
  - P7 PLAN 53R-7259
  - P8 PLAN 53R-17393
  - H HORIZONTAL
  - S SET
  - CL C. 3 LACEDRUM, DLS
  - CS C. 3 SPRINGS, DLS
  - TS T. DEL. 30500, DLS
  - RI R. 6 HILDER, DLS
  - RL R. T. LANE, DLS
  - UN UNKNOWN
  - NS NOT TO SCALE
  - PR PROPORTION



POINT ID	NORTHING	EASTING
53R-1A	516493288	219392778
53R-1B	516223485	219392782

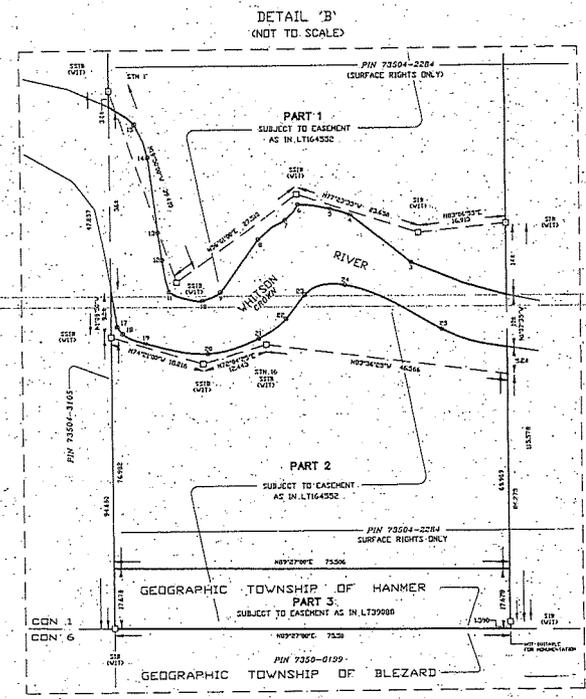
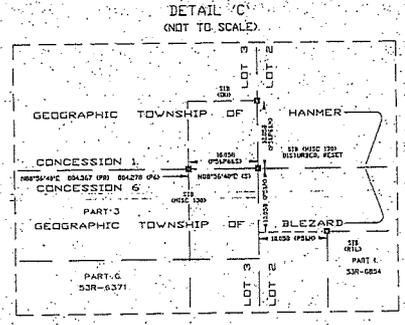
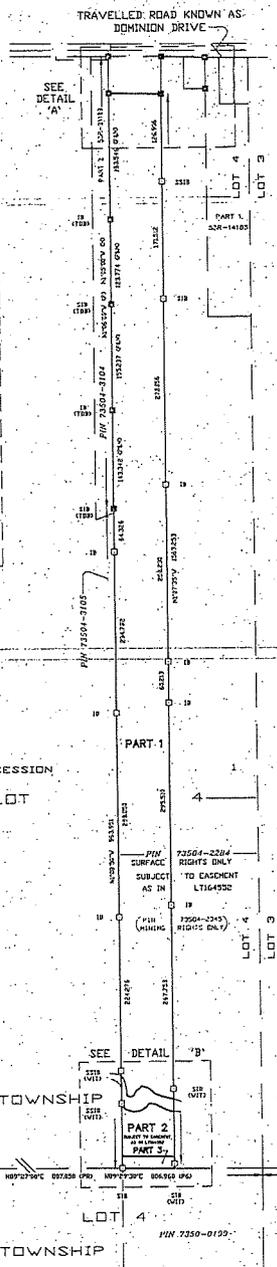
ALL COORDINATES ARE IN METERS AND RELATED TO UTM ZONE 18 UTM. UTM NORTHINGS AND EASTINGS ARE RELATED TO THE MEAN SEA LEVEL. COORDINATES CANNOT, IN THEMSELVES, BE USED TO RECONSTRUCT CORNER OR BOUNDARIES ON THIS PLAN.

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**NOTE**  
 BEARINGS SHOWN HEREIN ARE GRID BEARINGS REFERRED TO THE CENTRAL MERRIMAN THROUGH BY WEST LONGITUDE OF THE MERIDIAN 17, AND ARE DERIVED FROM OBSERVER REFERENCE POINTS 'A' AND 'B' BY REAL TIME NETWORK OBSERVATIONS, WAD3-CRS12 ECRD.  
 DISTANCES SHOWN HEREIN ARE ADJUSTED HORIZONTAL GROUND DISTANCES. GROUND DISTANCES CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A CORRECTION SCALE FACTOR OF 0.999365.  
 UNDERLYING BEARINGS FOR PLANS 53R-21589, 53R-18254, 53R-17393 ARE GRID. UNDERLYING BEARINGS FOR PLANS 53R-1183, 53R-4254, 53R-7259, 5R-1672, AND REIC PLAN 53R ARE ASTROMERIC.

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THIS SURVEY WAS COMPLETED ON NOVEMBER 9, 2021.

Nov 26/2021  
 DATE  
 A BORTOLUSSI, DLS



TIES TO WATER'S EDGE FROM STN 1

PI	BEARING	DISTANCE
1	S 63°07'33"E	63.6
2	S 27°00'00"E	31.6
3	S 62°49'30"E	47.5
4	S 27°00'00"E	42.8
5	S 27°00'00"E	42.8
6	S 27°00'00"E	42.8
7	S 27°00'00"E	42.8
8	S 27°00'00"E	42.8
9	S 27°00'00"E	42.8
10	S 27°00'00"E	42.8
11	S 27°00'00"E	42.8
12	S 27°00'00"E	42.8
13	S 27°00'00"E	42.8
14	S 27°00'00"E	42.8
15	S 27°00'00"E	42.8

TIES TO WATER'S EDGE FROM STN 1B

PI	BEARING	DISTANCE
16	S 63°42'27"W	28.4
17	S 89°12'30"W	22.8
18	S 89°12'30"W	11.7
19	S 89°12'30"W	11.7
20	S 89°12'30"W	11.7
21	S 89°12'30"W	11.7
22	S 89°12'30"W	11.7
23	S 89°12'30"W	11.7
24	S 89°12'30"W	11.7
25	S 89°12'30"W	11.7

**BORTOLUSSI SURVEYING LTD.**

A008117023  
 sketch #3



**\*REVISED\***

Office Use Only 2023.01.01	
A 0062 / 2023	
S.P.P. AREA	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

**City of Greater Sudbury  
APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipally or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT; SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner: 5010689 Ontario Inc. Email: [REDACTED]  
 Mailing Address: 560 Skread Road Home Phone: [REDACTED]  
 City: Sudbury Postal Code: P3L 1N2 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: \_\_\_\_\_ Email: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Home Phone: \_\_\_\_\_  
 City: Uphill Tisbury Business Phone: \_\_\_\_\_  
 Postal Code: \_\_\_\_\_ Fax Phone: \_\_\_\_\_

*Note: Unless otherwise requested, all communication will be sent to the agent, if any.*

- 3) Names and mailing addresses of any mortgages, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Desjardins  
 Mailing Address: 70 Elm St  
 City: Sudbury Postal Code: P3C 1S8

- 4) Current Official Plan designation: Seasonal Dwelling Current Zoning By-law designation: Seasonal Dwelling SLS

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
To allow a 2 way driveway 18.28m wide to be constructed	41.2	18.28m	11.7m
To allow a 2 way driveway 18.28m wide to be constructed	As per	18.28m	11.7m

*8.6m SL*

- b) Is there an easement encroachment?  Yes  No If Yes, size of easement: 0.6 (m)

c) Description of Proposal: \_\_\_\_\_

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: \_\_\_\_\_

A0062/2023

6) Legal Description (include any building property registered under the same ownership).

PIN(s): 733740156	Township: Ol Wafors	2
Lot No.: 2	Concession No.: 1	Parcel(s): 126158274
Subdivision Plan No.: m297	Lot(s): 44	Reference Plan No.: m297
Municipal Address or Street(s): 21 Uphill Lively		

7) Date of acquisition of subject land: February 28, 2020

8) Dimensions of land affected.

Frontage 15.2 (m)	Depth 88+ (m)	Area 1038 (m <sup>2</sup> )	Width of Street 15.2 (m)
-------------------	---------------	-----------------------------	--------------------------

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m <sup>2</sup> ) 281	(m <sup>2</sup> ) 144.65
Gross Floor Area:	(m <sup>2</sup> ) 496	(m <sup>2</sup> ) 282.91
No. of storeys:	2 1/2	2 1/2
Width:	(m) 11.7	(m) 11.7
Length:	(m) 24.6	(m) 24.6
Height:	(m) 10	(m) 10

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m) 25	(m) 25
Rear:	(m) 18.2	(m) 18.2
Side:	(m) 1.8	(m) 1.8
Side:	(m) 1.8	(m) 1.8

11) What type of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Pit
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

vacant land to be used during (if newly demolished)

13) Existing use(s) of the subject property and length of time if they have continued.

Use(s): Seasonal Dwelling Length of time: unknown

14) Proposed use(s) of the subject property.

Same as #13 or, \_\_\_\_\_

15) What is the number of dwelling units on the property?

\_\_\_\_\_

16) If this application is approved, would any existing dwelling units be legalized?

Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of building properties: Seasonal Dwelling

- 10) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No  
 (If "Yes", indicate the application number(s): AR 183 / 2021-21 Uphill  
 or, describe briefly, 100 ft fence set to 2m from neighbour
- 16) Is the property the subject of a current application for Consent (i.e. severance) under Section 63 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No  
 If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_
- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P. 13, or its predecessors?  Yes  No  
 If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_
- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  
 Yes  No  
 If "Yes", provide details on how the property is designated in the Source Protection Plan: \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/we, Shawn Rossi (please print all names), the registered owner(s) of the property described as Seasonal Dwelling in the City of Greater Sudbury.

- Collection, Use and Disclosure of Information:
- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
  - acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my self/ours;
  - in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon their party request;
  - grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports; distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;
- Authority to Enter Land and Photograph
- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
  - acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

- appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and fully, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 9<sup>th</sup> day of May, 2023

[Signature]  
 (Witness)

X [Signature]  
 Signature of Owner(s) or Signing Officer or Authorized Agent  
 Print Name: Shawn Rossi  
 I have authority to bind the Corporation

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Shaun Kossi (please print all names),  
the registered owner(s) or authorized agent of the property described as 21 Ughill

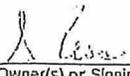
In the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 10 day of May, 2023

  
Commissioner of Oaths

Karen Elyak is a person a Commissioner for Taking Oaths as well as for the Courts of Ontario, who holds the Traditional Office of Sudbury and who is appointed as a Deputy Clerk for the City of Greater Sudbury.

  
signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

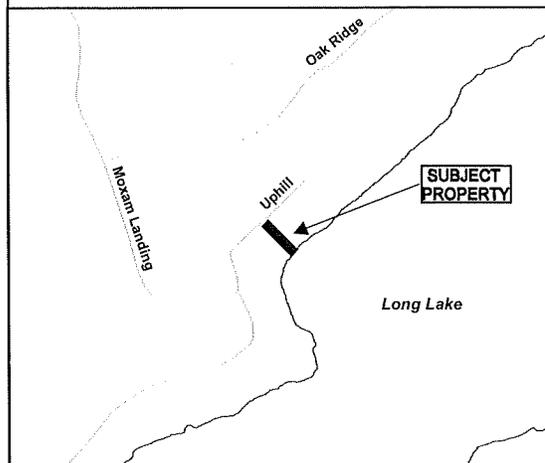
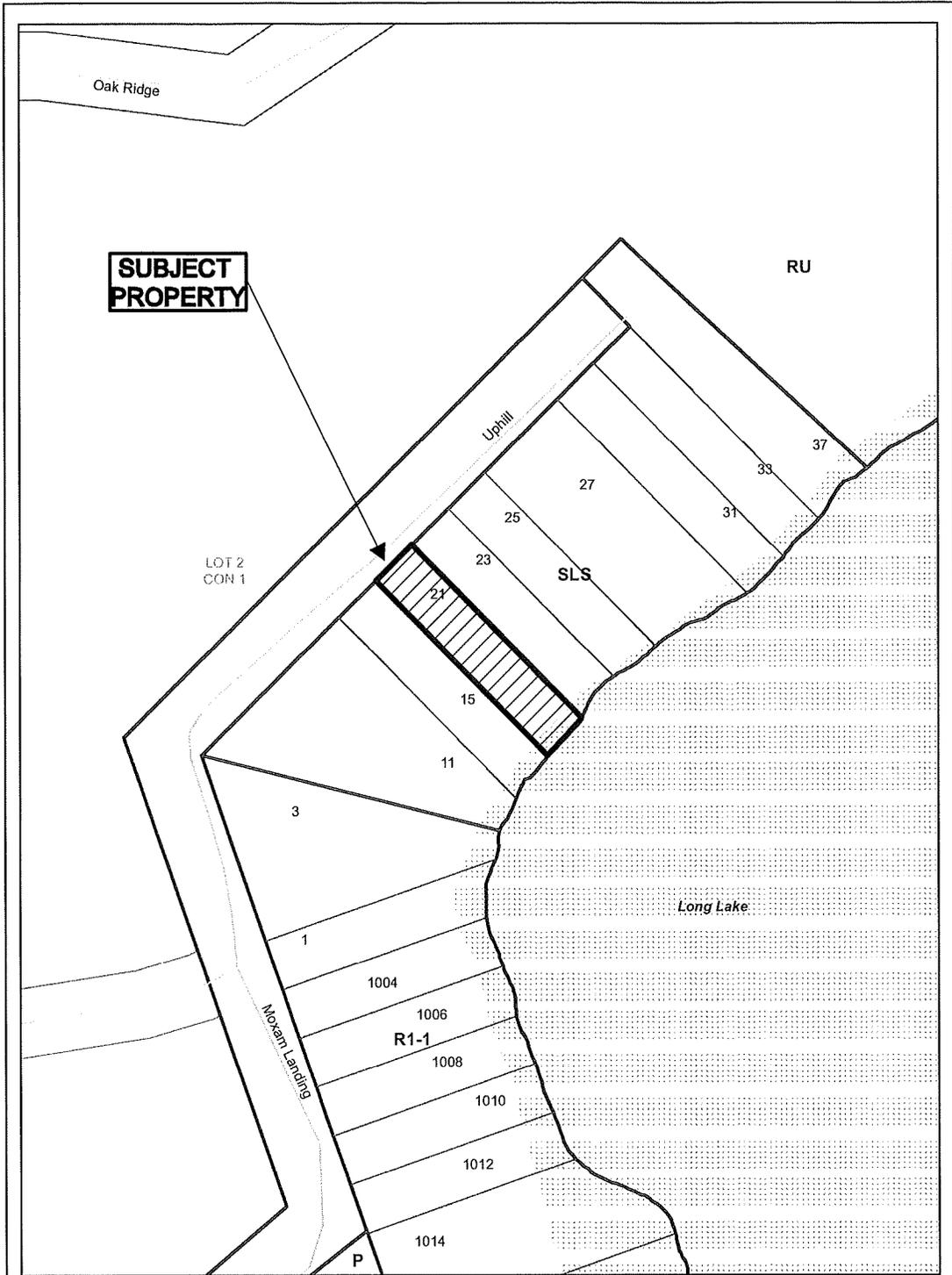
Print Name: Shaun Kossi  
I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: <u>May 17/23</u>	Hearing Date: <u>June 1/23</u>	Received By: <u>S. J. Finkler</u>
Zoning Designation: <u>SLS</u>	Resubmission: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Previous File Number(s): <u>A82121</u>	<u>A2119</u>	<u>A165/89</u>
Previous Hearing Date: <u>(21 Jul 21)</u>	<u>(16 Mar 19)</u>	<u>(10 Jul 89)</u>
Notes:		
Resubmitted: <u>Jun 27/23</u>		
Scheduled for: <u>Jul 19/23</u>		

A0062/2023



**Application for Minor  
Variance or Permission**



PIN 73374-0156,  
Parcel 12615 SEC SWS,  
Lot 44, Plan M-297,  
Lot 2, Concession 1,  
Township of Waters,  
21 Uphill Road, Lively,  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0062/2023  
Date: 2023 05 19

INTEGRATION COORDINATE TABLE		
COORDINATES ARE DERIVED FROM GPS OBSERVATION USING REAL TIME NETWORK (RTN) AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE), NAD83 (GRS95) (2010).		
COORDINATE VALUES ARE TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (3) OF RULES 219/10.		
OBSERVED REFERENCE POINTS	NORTHING	EASTING
A	5135103.72	492878.59
B	5135241.45	492819.56
COORDINATES CANNOT BE TRUSTED AND BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		

THIS PLAN WAS UPDATED ON JUNE 14, 2023 TO SHOW THE LOCATION OF THE PROPOSED DWELLING

TOPOGRAPHIC PLAN OF SURVEY OF LOT 44, REGISTERED PLAN M-297 GEOGRAPHIC TOWNSHIP OF WATERS CITY OF GREATER SUDBURY DISTRICT OF SUDBURY TULLOCH GEOMATICS INC., O.L.S. 2021 SCALE 1:200



**BEARING NOTE:**  
BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS A AND B BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (GRS95) (2010.0).

**CONVERGENCE NOTE:**  
A CONVERGENCE (ROTATION) FACTOR OF 014'56" CLOCKWISE HAS BEEN APPLIED TO THE AZIMUTHIC BEARINGS OF UNDERLYING PLANS P AND P1 TO ACCOUNT FOR DIFFERENT REFERENCE MERIDIANS.

**METRIC:**  
DISTANCES, ELEVATIONS AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**DISTANCE NOTE:**  
GROUND DISTANCES SHOWN HEREIN CAN BE CONVERTED TO UTM GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999508.

**ELEVATION NOTE:**  
ELEVATIONS SHOWN HEREIN ARE GEODESIC, ARE REFERRED TO THE CANADIAN GEODESIC VERTICAL DATUM OF 1928 (CGVD28) AND ARE DERIVED FROM VERTICAL CONTROL MONUMENT 0001988004 USING REAL TIME NETWORK (RTN) HAVING AN ELEVATION OF 244.4.

**BENCHMARK NOTE:**  
SITE BENCHMARK IS A SPIKE SET HORIZONTALLY IN UTILITY POLE, HAVING AN ELEVATION OF 244.4.

**NOTE:**  
THE AREA WAS UNDER CONSTRUCTION AT THE TIME OF THE SURVEY.

- LEGEND:**
- B DENOTES FORM WORK
  - D DENOTES PLANTED MONUMENT
  - DB DENOTES STAINLESS STEEL BARR 0.025 x 1.22
  - SDR DENOTES SHORT STANDARD IRON BARR 0.025 x 0.025 x 0.61
  - SI DENOTES IRON BARR 0.025 x 0.025 x 0.61
  - ORP DENOTES OBSERVED REFERENCE POINT
  - RP DENOTES PROPERTY IDENTIFICATION NUMBER
  - WT DENOTES WETLINE
  - MS DENOTES MEASURED
  - S DENOTES SET
  - SI DENOTES PLAN 839-13771
  - P1 DENOTES PLAN OF BUILDING LOCATION BY D.L. DORLAND, O.L.S. DATED JUNE 16, 1959, FILE No. 7057
  - 1400 DENOTES D.L. DORLAND, O.L.S.
  - NTM DENOTES NO VISIBLE MARKINGS
  - FIC DENOTES FOUND NO EVIDENCE
  - AC DENOTES EDGE OF ASPHALT
  - BL DENOTES BENCHMARK
  - CU DENOTES CONCRETE UTILITY
  - CG DENOTES CONCRETE GARAGE FLOOR ELEVATION
  - DW DENOTES EDGE OF WATER
  - GF DENOTES GARAGE FLOOR ELEVATION
  - UP DENOTES UTILITY POLE
  - RW DENOTES RETAINING WALL
  - WE DENOTES WOODEN WALL ELEVATION
  - WF DENOTES WALKWAY
  - UW DENOTES OVERHEAD UTILITY WIRE
  - OW DENOTES WOOD OUTLINE

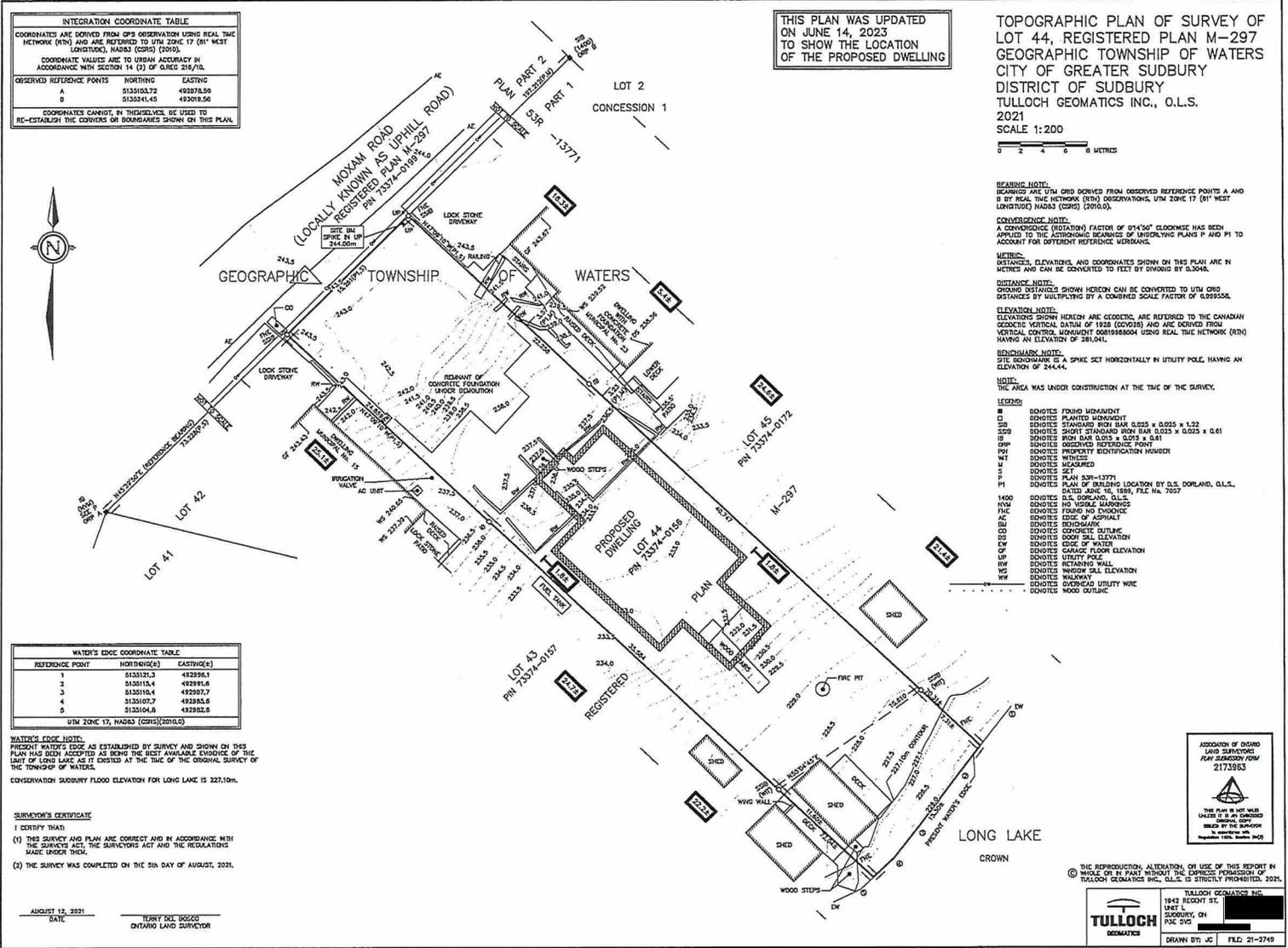


WATER'S EDGE COORDINATE TABLE		
REFERENCE POINT	NORTHING(e)	EASTING(e)
1	5135121.3	492996.1
2	5135115.4	492991.6
3	5135116.4	492991.7
4	5135107.7	492883.6
5	5135104.8	492882.6
UTM ZONE 17, NAD83 (GRS95) (2010.0)		

**WATER'S EDGE NOTE:**  
PRESENT WATER'S EDGE AS ESTABLISHED BY SURVEY AND SHOWN ON THIS PLAN HAS BEEN ACCEPTED AS BEING THE BEST AVAILABLE EVIDENCE OF THE LIMIT OF LONG LAKE AS IT EXISTED AT THE TIME OF THE ORIGINAL SURVEY OF THE TOWNSHIP OF WATERS.  
CONSERVATION SUDBURY FLOOD ELEVATION FOR LONG LAKE IS 327.10m.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
(1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
(2) THE SURVEY WAS COMPLETED ON THE 5th DAY OF AUGUST, 2021.

AUGUST 13, 2021 DATE  
TERRY DILL BOGGS ONTARIO LAND SURVEYOR



THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF TULLOCH GEOMATICS INC., O.L.S. IS STRICTLY PROHIBITED. 2021.

TULLOCH GEOMATICS INC. 1842 REGENCY ST. UNIT 1 SUDBURY, ON P0C 5Y0  
DRAWN BY: JC FILE: 21-2740

A0062/2023 sketch 2