

Tom Davies Square  
200 Brady St

Wednesday, January 17, 2024

PUBLIC HEARINGS

**A0132/2023**

**KS FLINN INVESTMENTS INC.**

Ward: 9

PIN 73475 0205, Parcel 46093 SEC SES, Survey Plan 53R-9523 Part(s) 1, Lot Part 6, Concession 6, Township of Broder, 339 Harrison Drive, Sudbury, [2010-100Z, M1(47) (Mixed Light Industrial/Service Commercial)]

For relief from Part 8, Section 8.3, Table 8.2, special provision 17 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, in order to facilitate the construction of a warehouse/automotive repair centre having a 105m setback to a Residential Zone, where no building, structure or open storage area either associated with, or pertaining to, an automotive body shop, fuel depot, abattoir, stockyard or industrial use, other than a light industrial use, warehouse, food processing plant or accessory office shall be established or erected closer than 150 m to a Residential Zone.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B226/81 (30 NOV 81)

**A0133/2023**

**DALRON CONSTRUCTION LIMITED**

Ward: 11

PIN 73575 0692, Survey Plan 53R-21729, subject to easements over Parts 16 and 17, Lot(s) 7, Subdivision 53M-1442, Lot 9, Concession 3, Township of Neelon, 206-208 Eclipse Crescent, Sudbury, [2010-100Z, R2-2(44) Low Density Residential Two]

For relief from Part 11, Section 1, subsection 8, paragraph (rr), clause i) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the existing semi-detached dwelling unit, subject of Consent Application B0090/2023, providing a minimum rear yard setback of 3.5m, where 3.7m is required.

REZONING: 751-6/20-17

ALSO SUBJECT TO CONCURRENT CONSENT APPLICATION B90/23

**A0134/2023**

**LISA CLAIRE D'AGOSTINO  
ROBERT JOHN D'AGOSTINO**

Ward: 9

PIN 73472 0273, Part Lot 12, Concession 2, as in EP5827, except LT43520, LT49814, LT50136, LT50398, LT59333, LT61558, LT67436 and Parts 2, 3 & 4, Plan 53R-20093, Township of Broder, 4574 Lammi's Road, Sudbury, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve a lot to be severed subject to a future consent application, providing a minimum lot frontage of 45.0m, where 90.0m is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B103/12 (13 AUG 12), B468/92 (1 MAR 93), B469/92 (1 MAR 93), B123/14 (9 FEB 5), B124/14 (9 FEB 15), B125/14 (9 FEB 15) AND MINOR VARIANCE APPLICATION A362/92 (1 MAR 93)

**A0135/2023****KOMRI COMMERCIAL HOLDINGS INC**

Ward: 1

PIN 73586 0635, Lot(s) 139, Subdivision 4-SC, Lot Part 7, Concession 3, Township of McKim, 243 Regent Street, Sudbury, [2010-100Z, C2 (General Commercial)]

For relief from Part 5, Section 5.5, Table 5.5 and Part 7, Section 7.2, Table 7.1, special provision 10 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the conversion of the existing building by removing the commercial component in favour of adding four residential dwelling units to the existing four residential dwelling units for a total of eight residential dwellings units all contained within the existing building, firstly, providing a maximum net residential density of 137 units per hectare, where a maximum net residential density of 60 units per hectare is permitted, and secondly, to provide for a minimum of 6 parking spaces, where 11 is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A119/71 (15 MAY 72)

**A0136/2023****TRACY HAYES**

Ward: 9

PIN 73473 0184, Parcel 15614 SEC SES, Lot(s) 6, Subdivision M-221, Lot Part 10, Concession 3, Township of Broder, 2153 Sunnyside Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsection 4.41.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing single detached dwelling, providing a high water mark setback of 20.8m, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B80/07 (28 MAY 07)

**A0137/2023****SUDBURY HOME BUYERS INC**

Ward: 4

PIN 02179 0336, Parcel 22294 SEC SES, Lot(s) 483, Subdivision M-2S, Lot Part 7, Concession 4, Township of McKim, 534 McKim Street, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.2.5, Table 4.1, Section 4.25.1 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a second storey addition and converting the existing single detached dwelling on the subject property to a multiple dwelling providing, firstly, an increase in gross floor area of a legally existing building of 197.4 sq.m., where enlargement, reconstruction, repair and/or renovation shall not increase the gross floor area of a building or structure located within the minimum required interior side yard setback, and secondly, a minimum interior side yard setback of 1.2m for the two storey addition with eaves encroaching 0.4m into the proposed 1.2m interior side yard setback, where 1.8m is required, and where eaves may encroach 0.6m into the required interior yard but not closer than 0.6m to the lot line.

**THIS APPLICATION WAS DEFERRED FROM THE MEETING OF SEPTEMBER 13, 2023 IN ORDER TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.**

**A0104/2023**

**PATRICK LAPOINTE  
JANE LAPOINTE  
CAMILLE LAPOINTE**

**"REVISED"**

Ward: 12

PIN 02132 1037, Parcel 5686 SES, Survey Plan 53R-10918 Part(s) 1, Lot(s) Part 18 and 19, Subdivision M-55, Lot 4, Concession 4, Township of McKim, 327 Mountain Street, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 5, Section 5.2, subsection 5.2.3.1 a) and Section 5.5, Subsection 5.5.3 as well as Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the conversion of the existing building from two residential units to three residential units providing, firstly, a minimum of two (2) parking spaces, with a width of 2.7m, where three (3) parking spaces are required with a width of not less than 2.75m and where the width of a required parking space when the length abuts a wall or barrier shall be 3.0m, and secondly, a minimum lot area of 120.0 sq.m. per unit, where 140.0 sq.m. per unit is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A59/93 (5 APR 93), A60/93 (5 APR 93), A86/86 (16 JUN 86) AND CONSENT APPLICATIONS B69/93 (5 APR 93), B128/86 (16 JUN 86)

**A REMINDER... THE NEXT SCHEDULED MEETING IS  
WEDNESDAY, JANUARY 31, 2024**



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A0132/7023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

**APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)**  
**APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)**  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended:

Registered Owner(s): K.S FLINN INVEST. Email: [REDACTED]  
 Mailing Address: 339 HARRISON DR Home Phone: [REDACTED]  
 City: Sudbury Postal Code: P3E 5E1 Business Phone: [REDACTED]  
 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: KEITH FLINN Email: [REDACTED]  
 Mailing Address: 339 HARRISON DR Home Phone: [REDACTED]  
 City: Sudbury Postal Code: P3E 5E1 Business Phone: [REDACTED]  
 Fax Phone: [REDACTED]  
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Sudbury CREDIT UNION  
 Mailing Address: 469 BUCHARD ST  
 City: Sudbury Postal Code: P3E 2K8

4) Current Official Plan designation: MIX-USE COMM Current Zoning By-law designation: M1 C47

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
150m To RESIDENTIAL	150m	105 m	45 m.

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal: - PLEASE SEE ATTACHED Doc Appendix 1

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
PLEASE SEE ATTACHED Doc Appendix 2.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73475-0205 Township: BRODER  
 Lot No.: 6 Concession No.: 6 Parcel(s):  
 Subdivision Plan No.: / Lot: / Reference Plan No.: / Part(s):  
 Municipal Address or Street(s): 339 HARRISON DR.

7) Date of acquisition of subject land. 2000

8) Dimensions of land affected.

Frontage 21.3 (m) Depth 127.04 (m) Area 8095 (m<sup>2</sup>) Width of Street / (m)

9) Particulars of all buildings:

	office	Existing WAREHOUSE	Proposed	
Ground Floor Area:	<u>139.35</u>	<u>473.80</u> (m <sup>2</sup> )	<u>223</u>	(m <sup>2</sup> )
Gross Floor Area:	<u>278.71</u>	<u>473.80</u> (m <sup>2</sup> )	<del>223</del> <u>223</u>	(m <sup>2</sup> )
No. of storeys:	<u>2</u>	<u>1</u>	<u>1</u>	
Width:	<u>14</u>	<u>25.91</u> (m)	<u>19</u>	(m)
Length:	<u>12</u>	<u>19.81</u> (m)	<u>13</u>	(m)
Height:	<u>6.4</u>	<u>8</u> (m)	<u>8</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	office	Existing WAREHOUSE	Proposed	
Front: <u>HARRISON RD</u>	<u>26.75</u>	<u>63.50</u> (m)	<u>105</u>	(m)
Rear: <u>SOUTH</u>	<u>100.25</u>	<u>37.60</u> (m)	<u>6</u>	(m)
Side: <u>LEFT-WEST</u>	<u>50.32</u>	<u>1.91</u> (m)	<del>20.99</del> <u>24.84</u>	(m)
Side: <u>RIGHT-EAST</u>	<u>12.73</u>	<u>38.21</u> (m)	<u>23.3</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   |                                     |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/>            |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                                     |

12) Date(s) of construction of all buildings and structures on the subject land.

Spring 2024

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): LOCKERBY TRANSPORTATION Length of time: 23 YEARS

14) Proposed use(s) of the subject property.

↳ LOCKERBY TAXI INC / LOCKERBY AUTO CARE / SIMPLICITY CAR CARE (BUSINESS) (AUTOMOTIVE REPAIR) (AUTO BODY)

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 0

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: FRONT - RESIDENTIAL

LEFT/REAR - FUTURE DEVELOP

RIGHT - INDUSTRIAL

A0132/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, KEN & SARAH FLINN - K.S FLINN INVESTMENTS (please print all names), the registered owner(s) of the property described as 339 HARRISON DR P3E5E1

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

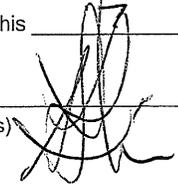
**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize KEITH FLINN (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this \_\_\_\_\_ day of DECEMBER, 20 23

X  
(witness) 

  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: ~~KEITH FLINN~~ X Ken Flinn

\*I have authority to bind the Corporation

A0132/2023



K.S.Flinn Investments

339 Harrison Dr

Sudbury On P3E 5E1

Application for Minor Variance

Appendix 1- Question 5 (c)

Currently our tenants have approached us with an agreement for development on our property located at 339 Harrison Dr Sudbury. They are receiving a high level of continuous workload with their new Autobody Repair franchise. The landowners are currently looking to help them expand on our property and put up a new 60(w)x40(l)x24(h) stand-alone warehouse/body repair center with no painting as the painting will be done in the other pre-existing building. We are asking the City of Greater Sudbury to review the current proposal.

Currently there is a "pre-existing building" on site that is inadequate for the workload and falls within the current 150 m of residential housing guidelines described in the new building service by-law. The new stand-alone building would be set back to approximately 110 m away from the residential housing. We have reviewed all options to see if the building could be placed anywhere else on the property to fall outside of 150m of residence, but it is still the same distance anywhere we place it.

The new building would meet all new building codes and would become more environmentally energy efficient than the current pre-existing warehouse.

Appendix 2 -Question 5 (d)

The placement of the new stand-alone building falls within 150m of the closest residence. We have tried to place it in other locations to fall outside the 150m of residence, but it still falls within the same distance.

We have considered attaching to the pre-existing building, but it will not work for the tenants, and it would be even closer to the residential house if we considered this option.

This is why we are looking to erect a new "stand-alone" structure on the back end of the property and behind of the current warehouse, this new structure would not obstruct anyone or anything within current building service and complies with all other building service by-laws.

We are asking the City of Greater Sudbury and Building Service to consider our application as a vital step required for the growth of their company.

Thank you for your time and consideration.

Keith Flinn

A0132/2023

# Quote Request Summary

## Contact information:

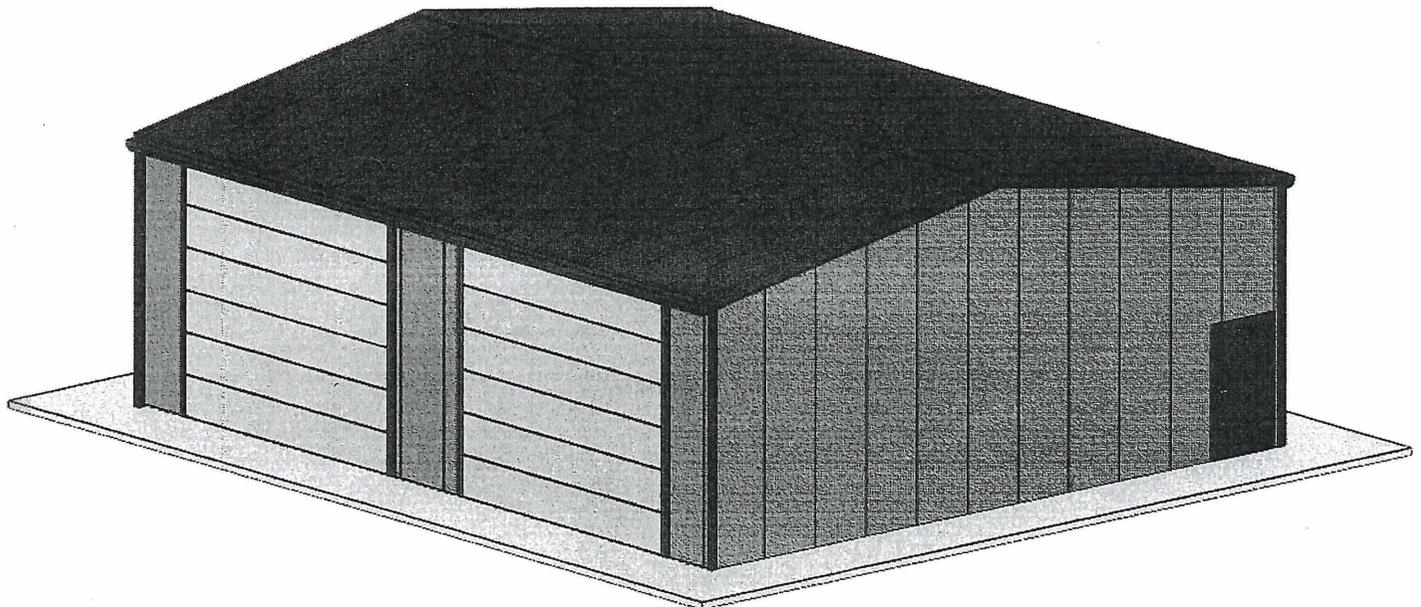
Company Name:	Lockerby
Contact person:	Keith Flinn
Phone:	[REDACTED]
Email:	[REDACTED]
Building location:	339 Harrison Dr, P3E5E1 Sudbury, Canada
Quote request created:	11/28/2023 3:40:46 PM

## Building parameters:

Building width:	40.00	ft	Roof sheeting:	Hy-Profile
Building length:	60.00	ft	Roof colour RAL:	Black
Eave height:	12.00	ft	Wall sheeting:	Hy-Profile
Roof shape:	Duo pitch		Wall colour RAL:	Stone Grey
Roof slope:	2/12			

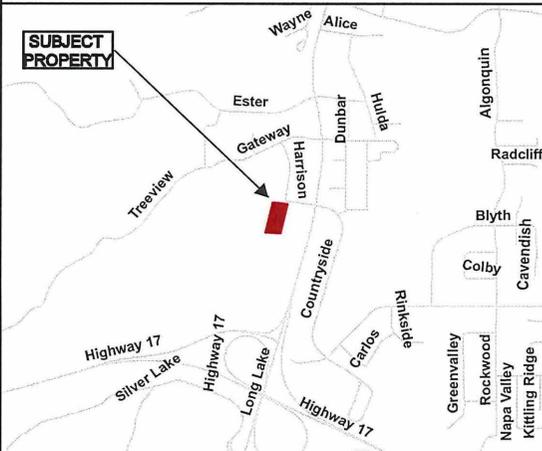
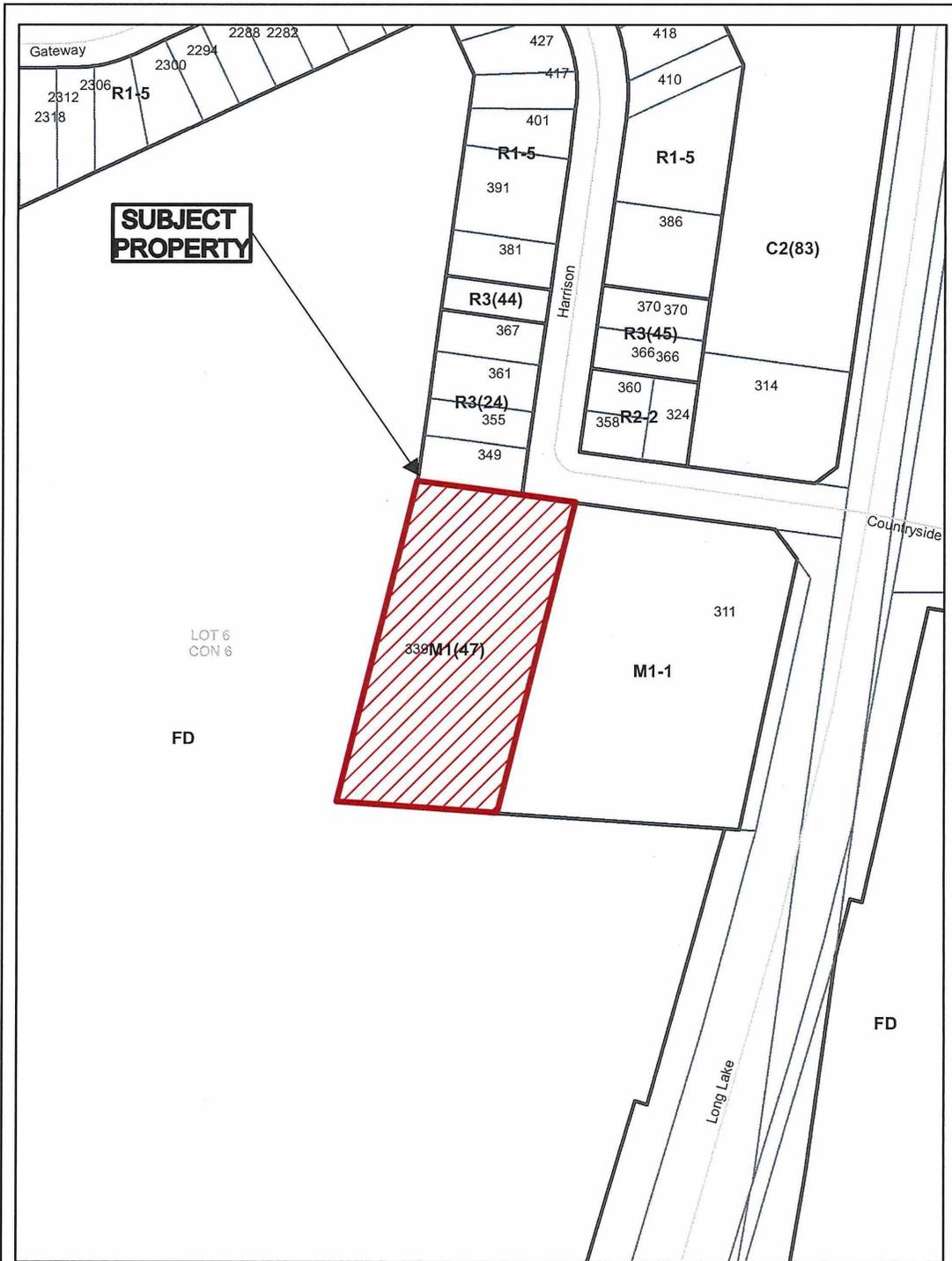
## Notes:

## Building Overview:



CLAD10





N

**Application for Minor  
Variance or Permission**

Subject Property being, PIN 73475-0205,  
Parcel 46093 SEC SES, Part Lot 6, Concession 6,  
Part 1, Plan 53R-9523, Township of Broder,  
339 Harrison Drive, Sudbury,  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0132/2023  
Date: 2023 12 14

Appendix 3 (New)  
 NEW WAREHOUSE  
 HARRISON TO FRONT  
 105 m

REAR TO REAR WAREHOUSE  
 - 6m  
 WEST  
 WEST TO SIDE WAREHOUSE  
 24.84 m

EAST TO EAST  
 SIDE WAREHOUSE  
 23.3 m

OFFICE  
 HARRISON - TO FRONT  
 26.75 m

EAST TO REAR OFFICE  
 106.25 m

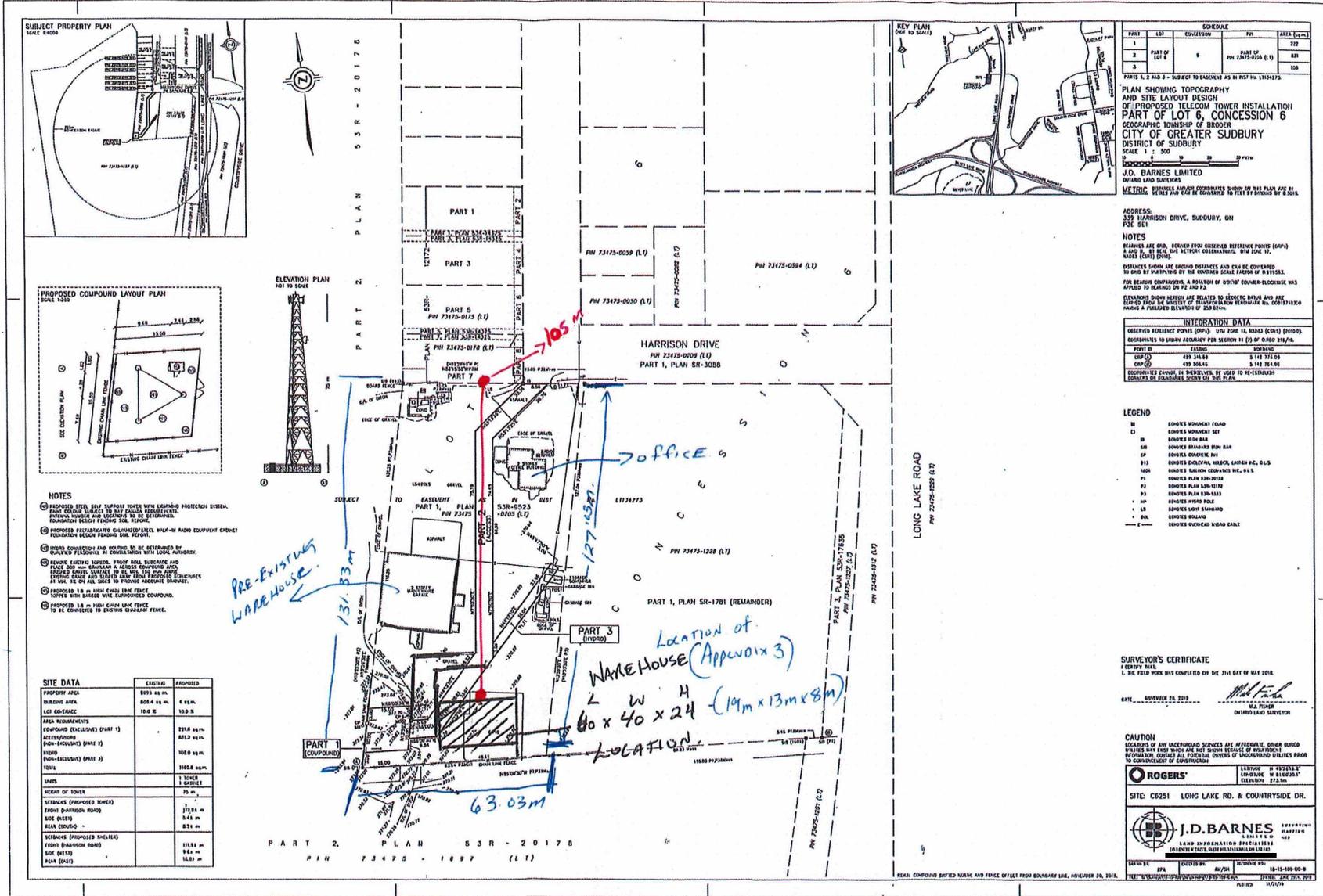
WEST TO WEST OFFICE  
 50.32 m  
 EAST TO EAST OFFICE  
 38.21 m

PRE-EXISTING WAREHOUSE  
 FRONT TO FRONT  
 63.50 m

ALL TO REAR  
 37.60 m

EAST TO WEST  
 .91 m

EAST TO EAST  
 38.21 m



A0132/2023  
 sketch 2



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 013312023	
S.P.P. AREA	
YES	<input checked="" type="checkbox"/> NO
NDCA REG. AREA	
YES	<input checked="" type="checkbox"/> NO

**City of Greater Sudbury**  
**APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Daron Construction Limited	Email: [REDACTED]
Mailing Address: 130 Elm Street	Home Phone: [REDACTED]
City: Sudbury	Business Phone: [REDACTED]
Postal Code: P3C 1T6	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A	Email:
Mailing Address:	Home Phone:
City:	Business Phone:
Postal Code:	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A	Postal Code:
Mailing Address:	City:

- 4) Current Official Plan designation: Living Area One      Current Zoning By-law designation: Living Area One **R2-2(44)**

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Lot Depth and rear yard setback	3.7m	3.5m +/-	0.2m +/-

- b) Is there an eave encroachment?     Yes     No    If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
 To provide relief from the minimum rear yard setback of 3.7m (zoning by-law 2021-542) to 3.5 due to an error during construction.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
 Error during construction.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73575-0692 Township: Neelon  
 Lot No.: Concession No.: Parcel(s):  
 Subdivision Plan No.: 53M-1442 Lot: 7 Reference Plan No.: Part(s):  
 Municipal Address or Street(s): 208 Eclipse Crescent

7) Date of acquisition of subject land. June 29, 2005

8) Dimensions of land affected.

Frontage 14.451+/- (m) Depth 25.840+/- (m) Area 784.3+/- (m<sup>2</sup>) Width of Street 20 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	157m <sup>2</sup> +/-	(m <sup>2</sup> )	157m <sup>2</sup> +/-	(m <sup>2</sup> )
Gross Floor Area:	472m <sup>2</sup> +/-	(m <sup>2</sup> )	472m <sup>2</sup> +/-	(m <sup>2</sup> )
No. of storeys:	3		3	
Width:	14.6m+/-	(m)	14.6m+/-	(m)
Length:	11m+/-	(m)	11m+/-	(m)
Height:	11m+/-	(m)	11m+/-	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	6.6m+/-	(m)	6.6m+/-	(m)
Rear:	3.5m+/-	(m)	3.5m+/-	(m)
Side:	2.4m+/-	(m)	2.4m+/-	(m)
Side:	2.8m+/-	(m)	2.8m+/-	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                          |
|---|-------------------------------------|--|--------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/> |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/> |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/> |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/> |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                          |
| Pit Privy   | <input type="checkbox"/>            |  |                          |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                          |

12) Date(s) of construction of all buildings and structures on the subject land.

Fall 2023

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): one building with two units Length of time: N/A

14) Proposed use(s) of the subject property.

Same as #13  OR, Two semi-detached units

15) What is the number of dwelling units on the property? One building with two units

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? N/A

17) Existing uses of abutting properties: residential

A0133/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): 751-6/20-17  
or, describe briefly, variances to minium rear yard and lot depth approved through rezoning - By-Law 2021-54Z

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): concurrent

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_  
Ramsey Lake Intake Zone, IPZ (Part IV)

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

We, Dalron Construction Limited (please print all

names), the registered owner(s) of the property described as \_\_\_\_\_  
Lot 7 Plan 53M-1442  
in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

- g) appoint and authorize Kristi Arnold (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 8 day of November, 2020

(witness)

Kristi Arnold  
signature of Owner(s) of Signing Officer or Authorized Agent

Print Name: Kristi Arnold

\*I have authority to bind the Corporation

A0133/2023

**PART B: OWNER OR AUTHORIZED AGENT DECLARATION**

I/We, Dalron Construction Limited (please print all names),

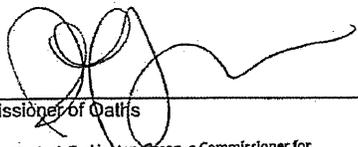
the registered owner(s) or authorized agent of the property described as \_\_\_\_\_

Lot 7 Plan 53M-1446

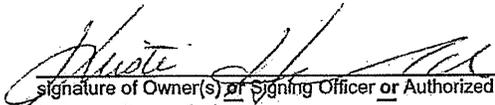
in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 8 day of December, 2023

  
\_\_\_\_\_  
Commissioner of Oaths

Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

  
\_\_\_\_\_  
signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

Print Name: Krista Arnold  
\*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

**FOR OFFICE USE ONLY**

Date of Receipt: <u>Dec 13/23</u>	Hearing Date: <u>Jan 17/24</u>	Received By: <u>S. Pinkerton</u>
Zoning Designation: <u>R2-2/44</u>	Resubmission: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Previous File Number(s): <u>see below</u>		
Previous Hearing Date:		
Notes:		
<u>Rezoning: 751-6/20-17</u>		
<u>also subject to concurrent Consent Application</u>		
<u>B0090/2023</u>		

A0133/2023

De



Planning Act
NOTICE OF THE PASSING OF A ZONING BY-LAW BY
THE CITY OF GREATER SUDBURY

TAKE NOTICE that the Council of the City of Greater Sudbury passed By-law 2021-54Z on April 13, 2021 under section 34 of the Planning Act.

The following schedules are attached hereto:

- (a) Schedule 1, being a copy of By-law 2021-54Z.
(b) Schedule 2, consisting of the following:
(i) An explanation of the purpose and effect of the by-law,
(ii) A key map which shows the location of the lands to which the by-law applies.

As no public comment, written or oral, has been received, there was no effect on the Planning Committee's decision.

AND TAKE NOTICE that any person or agency may appeal the by-law to the Local Planning Appeal Tribunal by filing a notice of appeal with the Clerk of the City of Greater Sudbury not later than May 5, 2021. The notice of appeal must set out the reasons for the appeal, and must be accompanied by the required fee of \$1100.00, which is prescribed under the Local Planning Appeal Tribunal Act, 2017. This fee should be made payable to the Minister of Finance. All comments will be treated as public records and given out upon request.

Only individuals, corporations and public bodies may appeal a by-law to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the council or, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

Dated at the City of Greater Sudbury April 15, 2021.

Brigitte Sobush
Manager of Clerk's Services/Deputy City Clerk
City of Greater Sudbury
P.O. Box 5000, Station "A"
Sudbury, Ontario P3A 5P3
(705) 674-4455, ext. 2010

A0133/2023

## SCHEDULE 1

The following is a copy of By-law 2021-54Z passed by the Council of the City of Greater Sudbury on April 13, 2021.

### By-law 2021-54Z

#### A By-law of the City of Greater Sudbury to Amend By-law 2010-100Z Being the Comprehensive Zoning By-law for the City of Greater Sudbury

Whereas Council of the City of Greater Sudbury deems it desirable to amend By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury;

Now therefore Council of the City of Greater Sudbury hereby enacts as follows:

1.-(1) That By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, and Schedule "A" attached thereto, be and the same is hereby amended by changing the zoning classification of the following lands from "R1-5", Low Density Residential One and "R2-2", Low Density Residential Two to "R2-2(44)", Low Density Residential Two Special.

- (2) Property Description: Part of PIN 73575-0664  
Parts 3 and 4, Plan 53R-21445  
Part of Lot 9, Concession 3  
Township of Neelon, City of Greater Sudbury.

2.-(1) That By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, and Schedule "A" attached thereto, be and the same is hereby amended by changing the zoning classification of the following lands from "R1-5", Low Density Residential One to "R2-2", Low Density Residential Two.

- (2) Property Description: Part of PIN 73575-0516 and Part of PIN 73575-0664  
Parts 1 and 2, Plan 53R-21445  
Part of Lot 9, Concession 3  
Township of Neelon, City of Greater Sudbury.

3. That the following paragraph be added to Part 11, Section 1, Subsection (8):

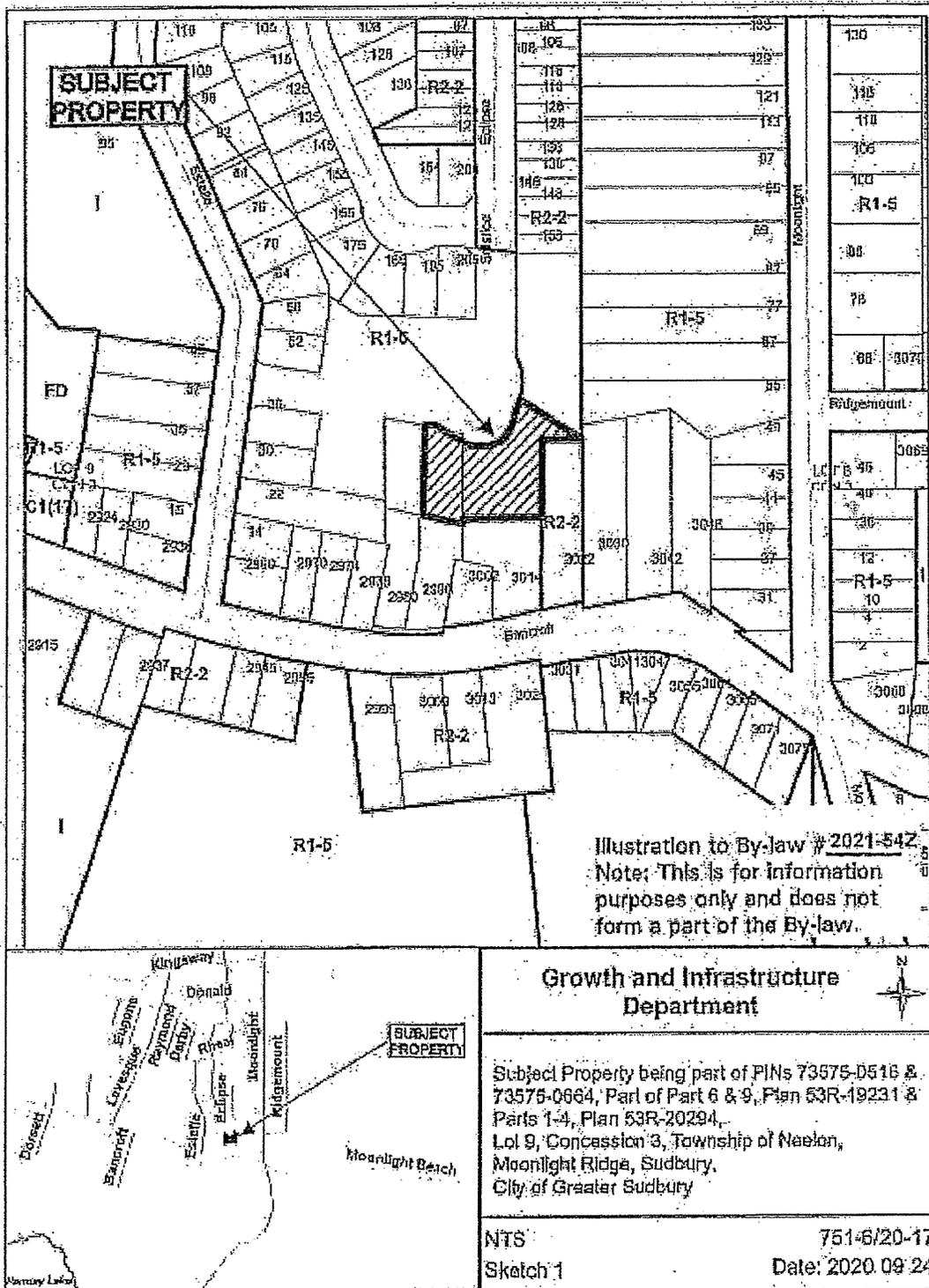
- (rr) R2-2(44) (Lot depth and rear yard setback)  
Neelon Township Maps Lot 9 Con 3; Lot 8 Con 3

Notwithstanding any other provision hereof to the contrary, within any area designated R2-2(44) on the *Zone Maps*, all provisions of this by-law applicable to the "R2-2", Low Density Residential Two zone shall apply subject to the following modifications:

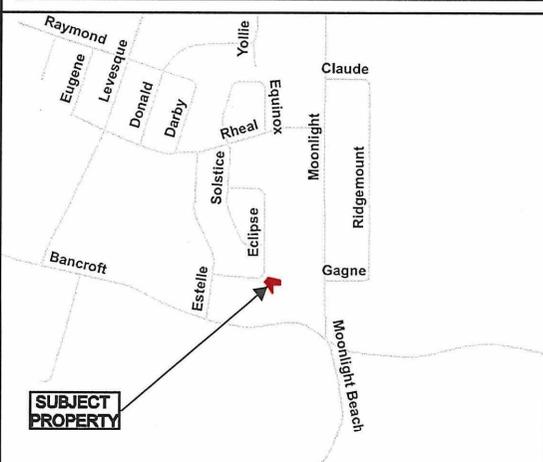
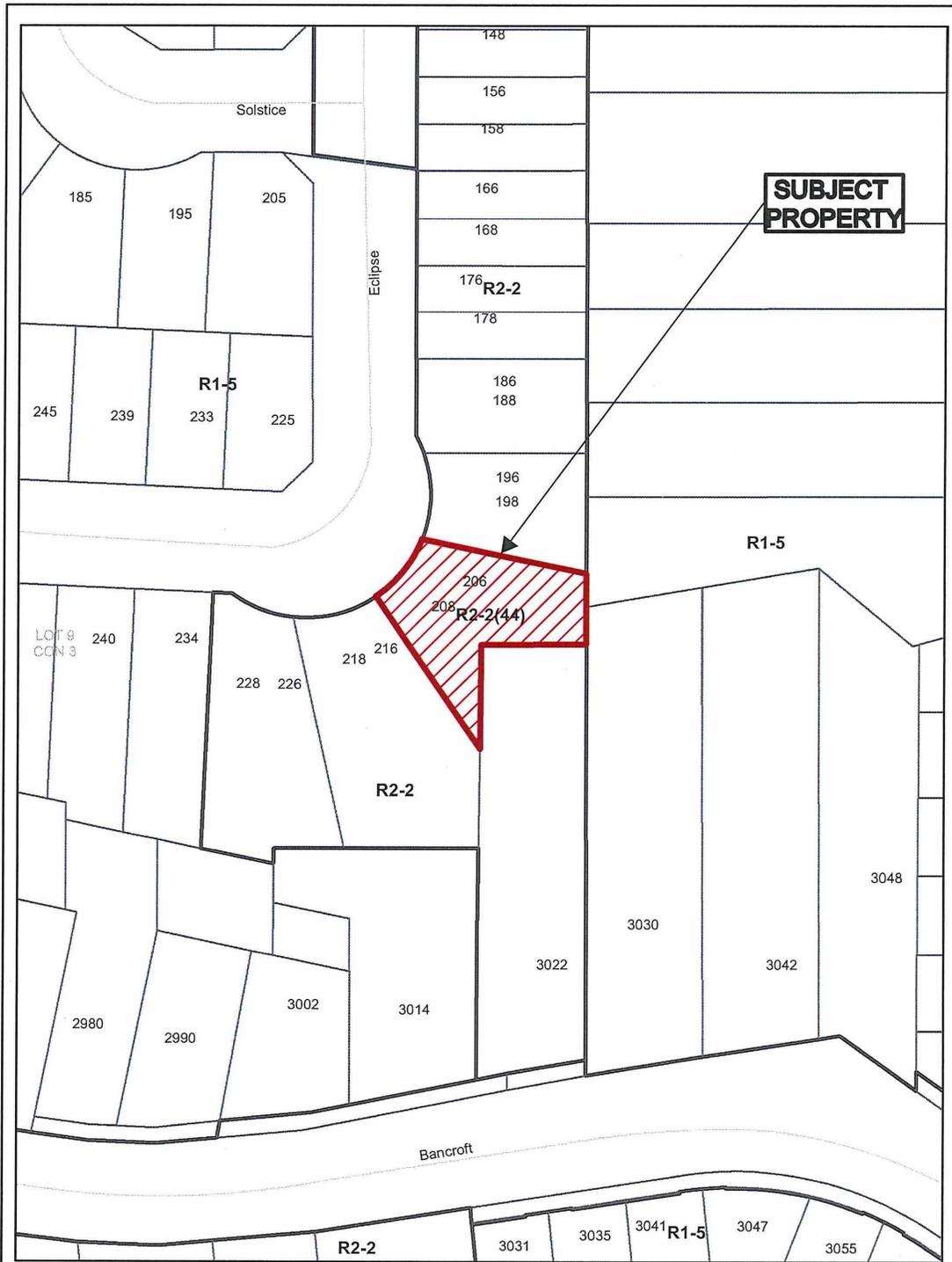
- (i) The minimum rear yard shall be 3.7 metres; and,  
(ii) The minimum lot depth shall be 25 metres.

**SCHEDULE 2**

**PURPOSE AND EFFECT:** This by-law rezones the subject property to "R2-2", Low Density Residential Two and "R2-2(44)", Low Density Residential Two Special in order to permit semi-detached dwellings with site-specific relief for lot depth and rear year setback on proposed Lot 7 (Dalron Construction Limited - Moonlight Ridge Subdivision, Sudbury).



A0133/2023



**Application for Minor Variance or Permission**

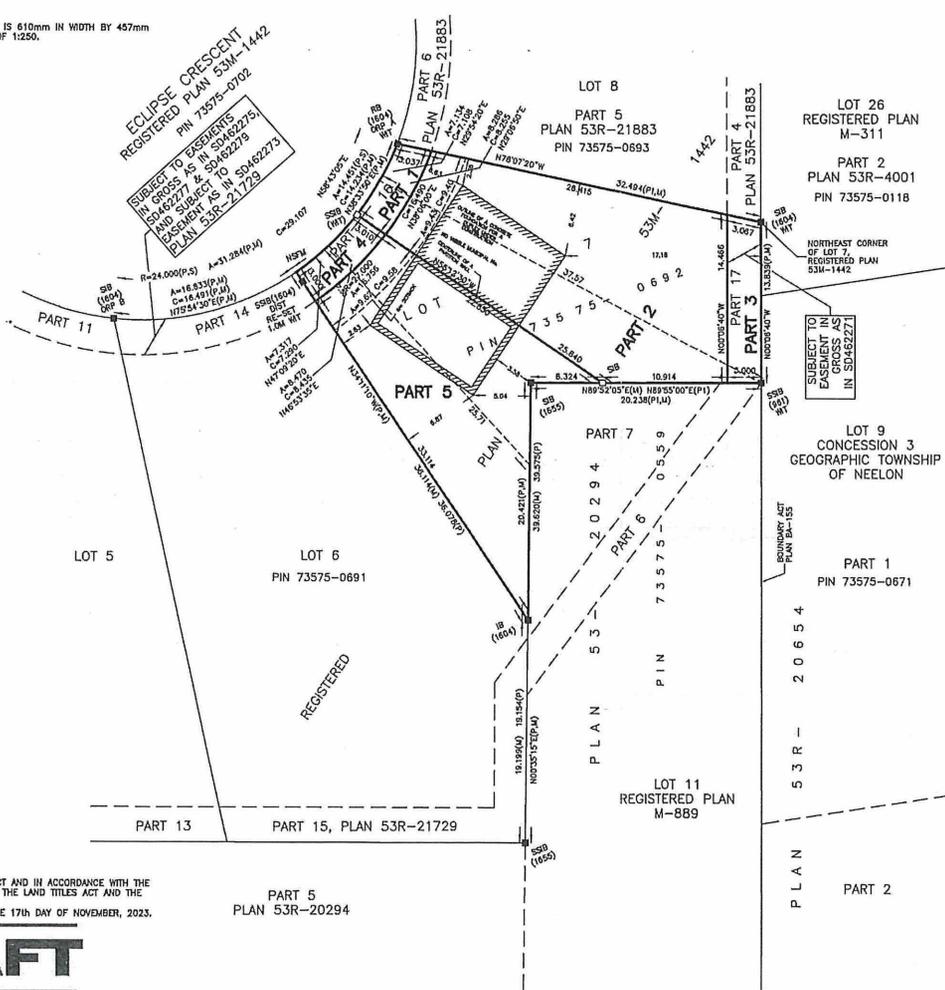
Subject Property being PIN 73575-0692, Lot 7, Plan 53M-1442, subject to easements over Parts 16 and 17, Plan 53R-21729, Lot 9, Concession 3, Township of Neelon, 206-208 Eclipse Crescent, Sudbury, City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0133/2023  
Date: 2023 12 14

PLAN OF SURVEY OF  
 LOT 7, REGISTERED PLAN 53M-1442  
 CITY OF GREATER SUDBURY  
 DISTRICT OF SUDBURY  
 TULLOCH GEOMATICS INC.  
 2023  
 SCALE 1:250

2m 0 2 10m  
 THE INTENDED PLOT SIZE OF THIS PLAN IS 610mm IN WIDTH BY 457mm  
 IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:250.



SCHEDULE				
PART	LOT	PLAN	PIN	AREA
1				23.1 m <sup>2</sup>
2				388.1 m <sup>2</sup>
3	ALL OF LOT 7	REGISTERED PLAN 53M-1442	ALL OF PIN 73575-0692	42.5 m <sup>2</sup>
4				23.7 m <sup>2</sup>
5				308.9 m <sup>2</sup>

PARTS 1 & 4: SUBJECT TO EASEMENTS IN GROSS AS IN SD462275, SD462277 & SD462279  
 AND SUBJECT TO EASEMENT AS IN SD462273,  
 PART 3: SUBJECT TO EASEMENT IN GROSS AS IN SD462271

**BEARING NOTE:**  
 BEARINGS ARE UTM GRID AND ARE DERIVED FROM OBSERVED REFERENCE POINTS A AND B  
 BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17 (81° WEST LONGITUDE), NAD83  
 (CSRS) (2010.0), HAVING A BEARING OF NS8°43'05"W AS SHOWN HEREON.

**METRIC:**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED  
 TO FEET BY DIVIDING BY 0.3048.

**DISTANCE NOTE:**  
 GROUND DISTANCES SHOWN HEREON CAN BE CONVERTED TO UTM GRID BY MULTIPLYING BY  
 A COMBINED SCALE FACTOR OF 0.999563.

**ROTATION NOTE:**  
 NO ROTATION HAS BEEN APPLIED TO THE GRID BEARINGS OF UNDERLYING PLANS.

- LEGEND:**
- DENOTES FOUND MONUMENT
  - DENOTES PLANTED MONUMENT
  - SIB DENOTES STANDARD IRON BAR 0.025 x 0.025 x 1.22
  - SSIB DENOTES SHORT STANDARD IRON BAR 0.025 x 0.025 x 0.61
  - IB DENOTES IRON BAR 0.015 x 0.015 x 0.61
  - RB DENOTES ROCK BAR 0.025 x 0.025 x 0.15
  - P DENOTES REGISTERED PLAN 53M-1442
  - P1 DENOTES PLAN 53R-21883
  - M DENOTES MEASURE
  - S DENOTES SET
  - 991 DENOTES R.G. HOLDER, O.L.S.
  - 1604 DENOTES TULLOCH GEOMATICS INC., O.L.S.
  - 1655 DENOTES TERRY DEL BOSCO, O.L.S.
  - WIT DENOTES WITNESS
  - CRP DENOTES OBSERVED REFERENCE POINT
  - NSFM DENOTES NOT SUITABLE FOR MONUMENTATION

INTEGRATION COORDINATE TABLE		
OBSERVED REFERENCE POINTS (CRP) ARE DERIVED FROM GNSS OBSERVATIONS USING THE REAL TIME NETWORK (RTN) SERVICE, UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0)		
COORDINATES TO URBAN ACCURACY IN ACCORDANCE WITH SEC. 14(2) OF O.REG 216/10.		
CRP	NORTHING	EASTING
A	5144073.05	507359.18
B	5148059.04	507334.32
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 (1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 (2) THE SURVEY WAS COMPLETED ON THE 17th DAY OF NOVEMBER, 2023.

**DRAFT**

DATE JACK F. CAVANAGH  
 CIVILIAN LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO ADLS PLAN SUBMISSION FORM NUMBER V-59273.

TULLOCH GEOMATICS INC.  
 1942 REGENT ST.  
 UNIT L  
 SUDBURY, ON  
 P3E 5V5

DRAWN BY: UK FILE: 232964

A0133/2023  
 sketch 2



Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

Office Use Only 2023.01.01
A0134/2023
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO ___

### City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): D'AGOSTINO, LISA CLAIRE; D'AGOSTINO, ROBERT JOHN Email: [REDACTED]  
Mailing Address: 4574 Lammis Road Home Phone: \_\_\_\_\_  
Business Phone: \_\_\_\_\_  
City: Sudbury Postal Code: P3G 1H3 Fax Phone: \_\_\_\_\_

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Email: [REDACTED]  
Mailing Address: 1942 Regent Street, Unit L Home Phone: \_\_\_\_\_  
Business Phone: [REDACTED]  
City: Sudbury Postal Code: P3E 5V5 Fax Phone: \_\_\_\_\_

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A  
Mailing Address: N/A  
City: N/A Postal Code: N/A

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Minimum Lot Frontage	90m (Table 9.3)	45m	45m

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal:  
Proposed minor variance would facilitate the creation of 2 severed + 1 retained lot over the subject property. A minimum lot frontage of 45 metres is proposed for lot 2 on the attached concept plan.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
The application conforms to the Rural and Waterfront Lot Creation policies in the OP for new lots located on a waterbody (Section 5.2.2.4) as all the proposed lots maintain a water frontage over 45 metres and a lot area over 0.8 hectares. However, the ZBL requires a minimum lot frontage of 90 metres for lots zoned RU (Rural), triggering the need for the proposed minor variance. Considering the application meets the intent of the waterfront lot creation policies in the OP, it is the applicants opinion that the proposed minor variance is technical in nature.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73472-0273 Township: BRODER  
 Lot No.: 12 Concession No.: 2 Parcel(s):  
 Subdivision Plan No.: Lot: Reference Plan No.: AS IN EP5827 Part(s):  
 Municipal Address or Street(s):

7) Date of acquisition of subject land. Sep 17, 2020

8) Dimensions of land affected.

Frontage ±238 (m) Depth<sup>±600</sup>(IRREGULAR)(m) Area ±23.73ha (m<sup>2</sup>) Width of Street 20 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	±384	(m <sup>2</sup> )	N/A	(m <sup>2</sup> )
Gross Floor Area:	±768	(m <sup>2</sup> )	N/A	(m <sup>2</sup> )
No. of storeys:	2		N/A	
Width:	±19.81	(m)	N/A	(m)
Length:	±22.86	(m)	N/A	(m)
Height:	±11.2	(m)	N/A	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	±58	(m)	N/A	(m)
Rear:	±125	(m)	N/A	(m)
Side:	±57.8 (SW)	(m)	N/A	(m)
Side:	±93.4 (NE from proposed lot line)	(m)	N/A	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input type="checkbox"/>            | Provincial Highway   | <input type="checkbox"/>            |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/>            | Municipal Road   | <input type="checkbox"/>            |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input checked="" type="checkbox"/> | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input checked="" type="checkbox"/> |
| Individual Septic System                            | <input checked="" type="checkbox"/> | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                                     |

12) Date(s) of construction of all buildings and structures on the subject land.

Unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: Unknown

14) Proposed use(s) of the subject property.

Same as #13  or,

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many?

17) Existing uses of abutting properties: Residential

A0134/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): Concurrent applications for consent (attached)

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, D'AGOSTINO, LISA CLAIRE; D'AGOSTINO, ROBERT JOHN (please print all names), the registered owner(s) of the property described as

PT LT 12 CON 2 BRODER AS IN EP5827 EXCEPT LT43520, LT49814, LT50136, LT60398, LT59232, LT61558, LT67436 & PTS 2, 3 & 4 53R20099- SUBJECT TO AN EASEMENT AS IN LT214069 CITY OF GREATER SUDBURY  
in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize TULLOCH (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 15<sup>th</sup> day of December, 2023

[Signature]  
(witness)

[Signature] Rob D'Agostino  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: LISA D'AGOSTINO

\*I have authority to bind the Corporation

A0134/2023

**PART B: OWNER OR AUTHORIZED AGENT DECLARATION**

I/We, TULLOCH (please print all names),

the registered owner(s) or authorized agent of the property described as PT LT 12 CON 2 BRODER AS IN EP5827 EXCEPT LT43520, LT49814, LT50138, LT50288, LT50338, LT51558, LT87438, PTS 2, 3 & 4 53R20093 SUBJECT TO AN EASEMENT AS IN LT214069 CITY OF GREATER SUDBURY

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 13 day of Dec, 2023

David Glen Tulloch  
Commissioner of Oaths

Aaron Ariganello  
signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

**David Glen Tulloch**  
a Commissioner, etc., Province of Ontario,  
for **TULLOCH Engineering Inc.**  
Expires Feb 20<sup>th</sup>, 2024

Print Name: Aaron Ariganello  
I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

**FOR OFFICE USE ONLY**

Date of Receipt: <u>Dec 19/23</u>	Hearing Date: <u>Jan 17/24</u>	Received By: <u>S. Pinkerton</u>
Zoning Designation: <u>RU</u>	Resubmission: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Previous File Number(s): <u>See below</u>		
Previous Hearing Date:		
Notes:		
<u>B0103/2012 (Aug 13/12)</u>	<u>A0362/1992 (Mar/93)</u>	
<u>B0468/1992 (Mar 1/93)</u>		
<u>B0469/1992 (Mar 1/93)</u>		
<u>B0123/2014 (Feb 9/15)</u>		
<u>B0124/2014 (Feb 9/15)</u>		
<u>B0125/2014 (Feb 9/15)</u>		

A0134/2023



PART 2 53R-20093

599.92

LOT 12 CONCESSION 3  
LOT 12 CONCESSION 2

PIN 73473-0312  
476.38

LOT LINE SURVEYED MAY 11, 1942  
BY ESTE, DLS AND BY BULL, DLS  
ON 53R-15497, ACCEPTED AS LINE  
BETWEEN LOTS 11 & 12, CONCESSION 2

TO BE TRANSFERRED  
TO CITY

SUNNYSIDE ROAD  
PIN 73472-0212

TO BE RETAINED  
(AREA = 14.18 ha.)

LOT 2  
(AREA = 4.00 ha.)  
INCLUDES PROPOSED R-D-W

LOT 1  
(AREA = 5.55 ha.)  
INCLUDES PROPOSED R-D-W

PIN 73472-0273

PIN 73472

52.0

54.0

45.0

103.0

53.9

PIN 73472-0190

PIN 73472-0211

PIN 73472-0199

PIN 73472-0061

PIN 73472-0208

PIN 73472-0212

PROPOSED  
MUTUAL ACCESS  
EASEMENT  
(0.58 ha.)

12m

LONG LAKE



SKETCH OF PROPOSED SEVERANCE  
PART OF LOT 12  
CONCESSION 2  
GEOGRAPHIC TOWNSHIP OF BRODER  
CITY OF GREATER SUDBURY

SCALE: 1 : 2000 METERS



2021



203±

200±

192±

303.95

198.5

100±  
WATER'S EDGE

158±

76.0

64.6

218.7

257.9

LOT 12  
LOT 11

CROWN

A0134/2023  
sketch 2



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A0135/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): <u>Komri Commercial Holdings Inc.</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>166 Douglas Street, Unit 2</u>	Home Phone: _____
City: <u>Sudbury</u>	Business Phone: <u>[REDACTED]</u>
Postal Code: <u>P3E 1G1</u>	Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: <u>Ryan Bell</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>3495 Rebecca Street, Unit 209</u>	Home Phone: _____
City: <u>Oakville</u>	Business Phone: <u>[REDACTED]</u>
Postal Code: <u>L6L 6X9</u>	Fax Phone: _____

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <u>N/A</u>
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: Mixed Use Commercial Current Zoning By-law designation: C2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Parking Spaces Requirement	11 Spaces	6 Spaces	5 Spaces
Permitted Unit Density	4 Units	8 Units	4 Units

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal:  
Conversion/renovation from old commercial bank to 4 residential units (total of 8 units will now be in the building).

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
The required landscape buffer along all streets greater than 10m in width only allows enough space on the property for 6 parking spaces.  
The permitted density of 60 units per Ha (this property is 0.058Ha) only allows for 4 units. This proposal adds 4 new units to the 4 existing units on the property for a total of 8 units.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):		Township:	
Lot No.:	Concession No.:	Parcel(s):	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 243 Regent Street, Sudbury, ON P3C 4C6			

7) Date of acquisition of subject land. July 1, 2023

8) Dimensions of land affected.

Frontage +/- 15.2 (m)    Depth +/- 38.1 (m)    Area +/- 580.8 (m<sup>2</sup>)    Width of Street +/- 22.0 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	+/- 272.44	(m <sup>2</sup> )	+/- 272.44	(m <sup>2</sup> )
Gross Floor Area:	+/- 506.04	(m <sup>2</sup> )	+/- 506.04	(m <sup>2</sup> )
No. of storeys:	2		2	
Width:	15.0	(m)	15.0	(m)
Length:	19.5	(m)	19.5	(m)
Height:	+/- 6.5	(m)	+/- 6.5	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	0	(m)	0	(m)
Rear:	+/- 22.8	(m)	+/- 22.8	(m)
Side:	0	(m)	0	(m)
Side:	0	(m)	0	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1930s

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Commercial, Residential                      Length of time: Since Construction

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 4

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Commercial

A0135/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Komri Commercial Holdings Inc. (please print all names), the registered owner(s) of the property described as 243 Regent Street, Sudbury, ON P3C 4C6

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Ryan Bell (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 13 day of December, 2023

Dylan Parent  
(witness)

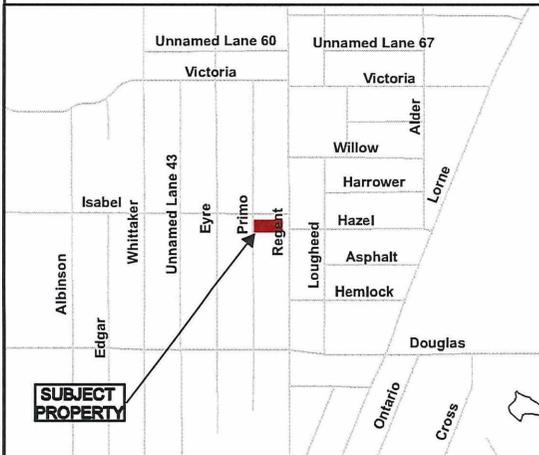
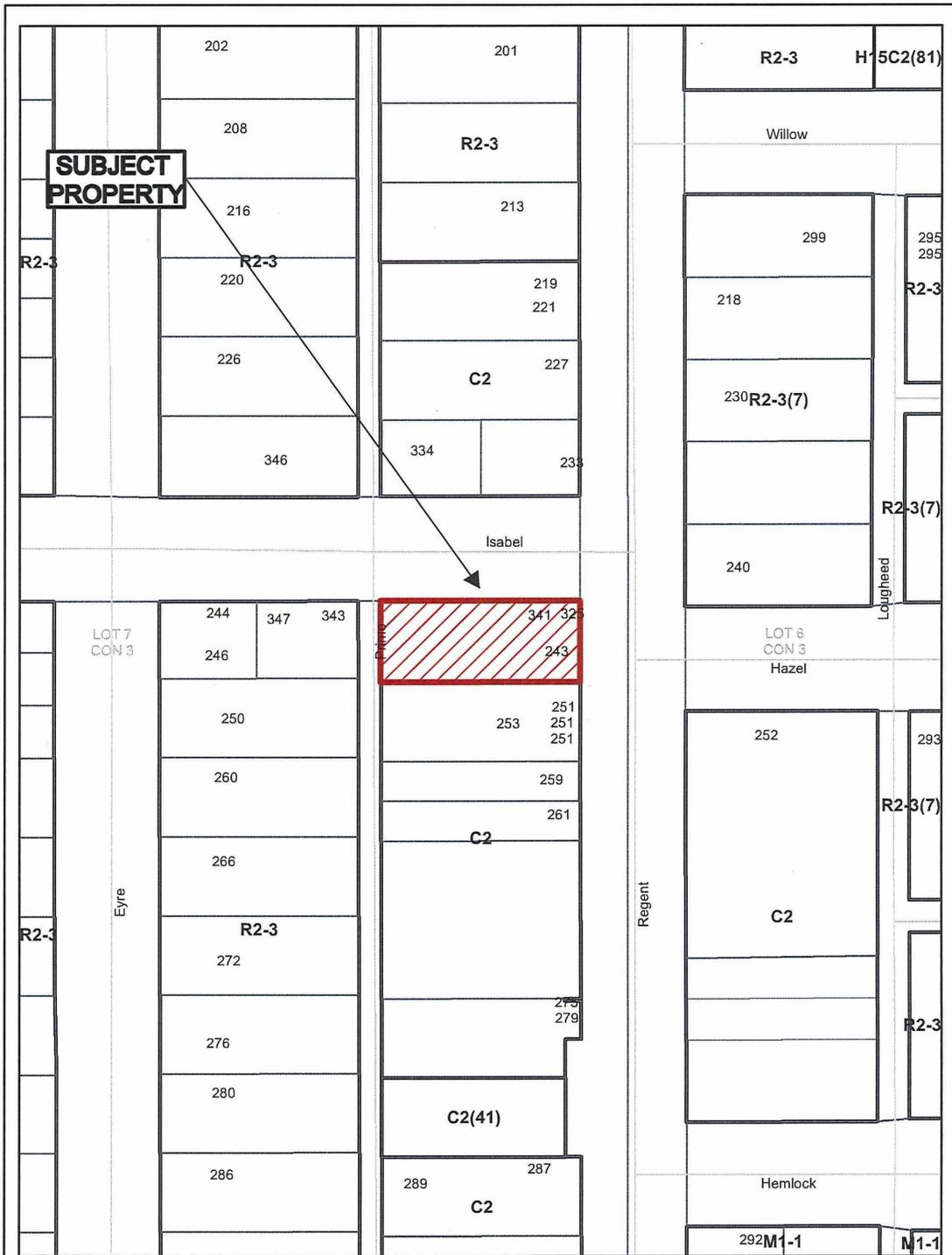
[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Karim Omri

\*I have authority to bind the Corporation

A0135/2023





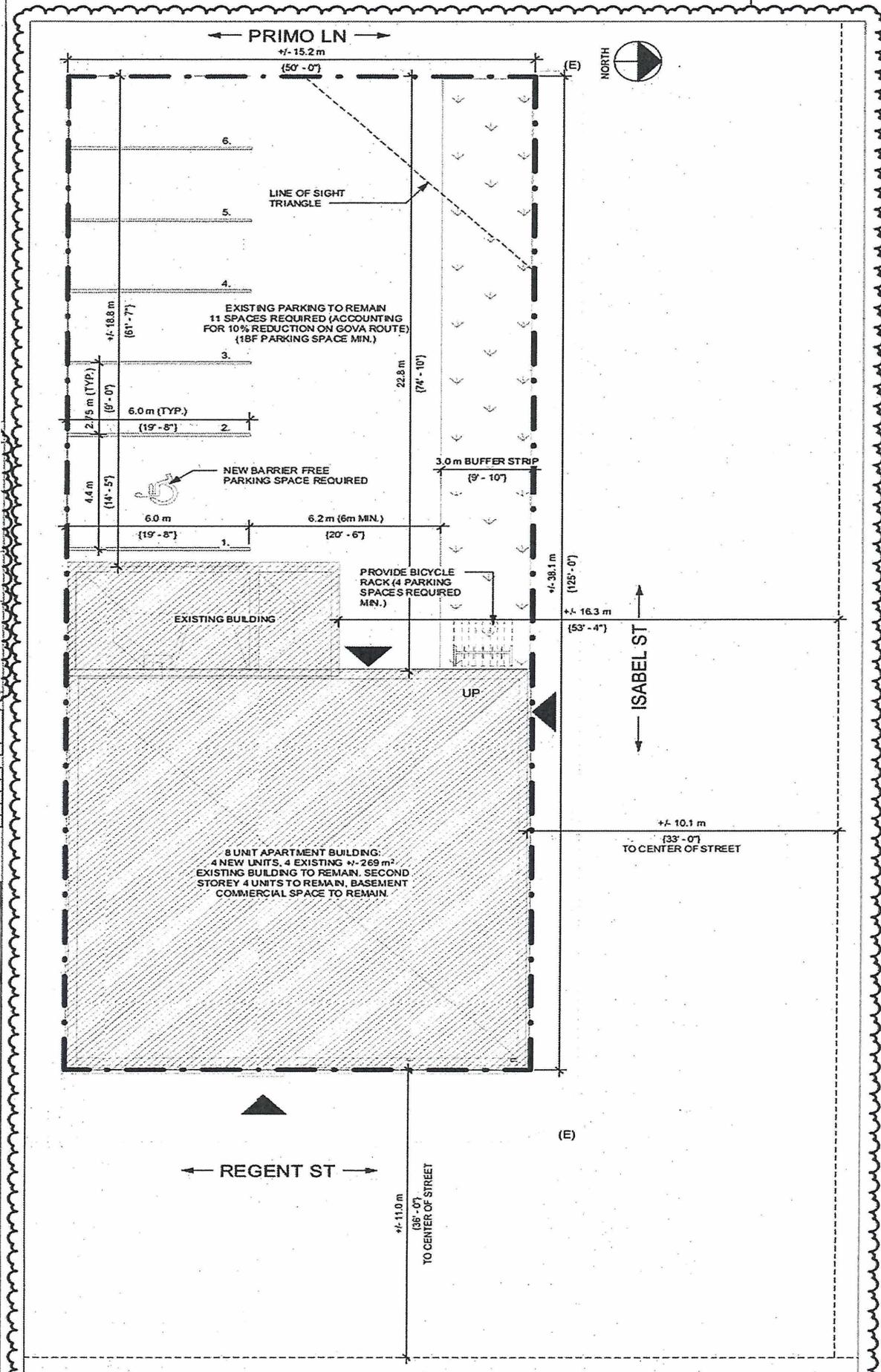
## Application for Minor Variance or Permission



Subject Property being PIN 73586-0635,  
 Lot 139, Plan 4-SC, Part Lot 7, Concession 3,  
 Township of McKim, 243 Regent Street, Sudbury,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0135/2023  
 Date: 2023 12 20



SITE PLAN  
1" = 10'-0"

A0135/2023  
Sketch 2

# KOMRI HOLDINGS

243 REGENT STREET, SUDBURY, ON  
PROJECT NO. KSI-023-232

ISSUED FOR REVISION 1- DECEMBER 20, 2023



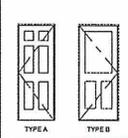
DOOR AND FRAME FINISH SCHEDULE											
NUMBER	DOOR TYPE	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	GLASS	FIRE RATING	COMMENTS
101A	B	2'-0"	6'-8"	AL	PT	F1	ALWID	PT	-	45MIN	INSULATED DOOR, WEATHERSTRIPPED, SELF CLOSING DEVICE, DEADBOLT
101B	C	4'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
104	C	4'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
105	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
105A	B	2'-0"	6'-8"	AL	PT	F1	ALWID	PT	-	45MIN	INSULATED DOOR, WEATHERSTRIPPED, SELF CLOSING DEVICE, DEADBOLT
105B	C	4'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
109	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
110B	C	4'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
110A	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
111B	C	4'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
111A	B	2'-0"	6'-8"	AL	PT	F1	ALWID	PT	-	45MIN	SELF CLOSING DEVICE, DEADBOLT
113B	C	4'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
114	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
115A	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
115B	C	4'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
115A	B	2'-0"	6'-8"	AL	PT	F1	ALWID	PT	-	45MIN	SELF CLOSING DEVICE, DEADBOLT
119	B	2'-0"	6'-8"	AL	PT	F1	ALWID	PT	-	-	INSULATED DOOR, WEATHERSTRIPPED
122	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
123	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
134	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-
135	A	2'-0"	6'-8"	WD	PT	F1	WD	PT	-	-	-

ROOM FINISH SCHEDULE										
NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL MATERIAL	WALL FINISH	CEILING MATERIAL	CEILING FINISH	CERNO HEIGHT	COMMENTS	
101	LIVING ROOM	LAM	WD	GB	PT	GB	PT	8'-10"		
103	KITCHEN	CT	WD	GB	PT	GB	PT	8'-10"		
104	BEDROOM	LAM	WD	GB	PT	GB	PT	8'-10"		
105	WC	CT	WD	GB	PT	GB	PT	8'-10"		
109	ENTRANCE	CT	WD	GB	PT	GB	PT	8'-10"		
107	HALLWAY	CT	WD	GB	PT	GB	PT	8'-10"		
108	WC	CT	WD	GB	PT	GB	PT	8'-10"		
109	LIVING ROOM	LAM	WD	GB	PT	GB	PT	8'-10"		
110	BEDROOM 1	LAM	WD	GB	PT	GB	PT	8'-10"		
111	BEDROOM 2	LAM	WD	GB	PT	GB	PT	8'-10"		
112	WC	CT	WD	GB	PT	GB	PT	8'-10"		
113	KITCHEN	CT	WD	GB	PT	GB	PT	8'-10"		
115	BEDROOM	LAM	WD	GB	PT	GB	PT	8'-10"		
117	LIVING ROOM	LAM	WD	GB	PT	GB	PT	8'-10"		
118	ENTRANCE	LAM	WD	GB	PT	GB	PT	8'-10"		
120	LIVING ROOM	LAM	WD	GB	PT	GB	PT	8'-10"		
121	KITCHEN	CT	WD	GB	PT	GB	PT	8'-10"		
122	WC	CT	WD	GB	PT	GB	PT	8'-10"		
123	BEDROOM	LAM	WD	GB	PT	GB	PT	8'-10"		
124	W/D	LAM	WD	GB	PT	GB	PT	8'-10"		
125	W/D	LAM	WD	GB	PT	GB	PT	8'-10"		

### DOOR SCHEDULE GENERAL NOTES:

- A WINDOW (W) IS USED IN ANY COLUMN THAT DOES NOT APPLY TO A PARTICULAR DOOR.
- DOOR WIDTH IS THE LEAF SIZE IN DOORS FOR SINGLE DOORS.
- DOOR TYPE REFERS TO DOOR ELEVATIONS SHOWN BELOW. THE PREFIX "F" INDICATES A PAIR OF DOORS (E.G. 101A). DOOR TYPE IS INDEPENDENT OF DOOR MATERIAL (E.G. A TYPE "B" DOOR MAY BE WOOD OR HOLLOW METAL). SEE ALSO DETAIL DRAWINGS.
- GLASS IN DOORS SHALL BE TAMPED GLASS EXCEPT THAT IN FIRE RATED DOORS IT SHALL BE THERMALLY STRENGTHENED GLASS. ALL EXTERIOR DOORS SHALL BE DOUBLE GLAZED.
- FRAME TYPE REFERS TO FRAME ELEVATIONS SHOWN BELOW.
- TYPICAL FRAME SECTIONS ARE SHOWN IN SERIES IN THIS SCHEDULE OR ON CONSTRUCTION DETAILS. FRAME DEPTHS FOR DOORS AND SCREENS SHALL BE DEPTH OF WALL FACE (TYPICAL).
- ALL EXTERIOR DOORS AND FRAMES ARE TO BE INSULATED AND WEATHERSTRIPPED UNLESS NOTED OTHERWISE.

### DOOR TYPES

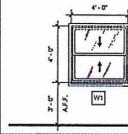


### FRAME TYPES



### WINDOW SCHEDULE

- FRAME DEPTHS FOR WINDOWS AND SCREENS SHALL BE DEPTH OF WALL PLUS 1" (25 MM) TYPICAL.
- FRAME THICKNESS TO BE 2" (50 MM).
- ALL DIMENSIONS SHOWN ON DRAWINGS ARE WINDOW SIZES. WINDOW OPENINGS MUST BE CALCULATED BY CONTRACTOR.
- ALSO, WINDOW FINISHED FLOOR.
- WINDOW WITH WIRE PANE GLASS AND CLOSURES NOTED ON PLANS.



### ABBREVIATIONS:

- ROOM FINISH SCHEDULE:
- CT CERAMIC TILE
  - LAM LAMINATE
  - GB GYPSUM BOARD
  - PT PART
  - NOT APPLICABLE
- DOOR SCHEDULE:
- HM HOLLOW METAL
  - WD WOOD
  - ALUM ALUMINUM
  - PAK ALUMINUM PAK
  - GLASS TYPE 1 GLAZING TYPE 1
  - GLS GLASS
  - WPG WIRE PANE GLASS
  - WPG WIRE PANE GLASS
  - NOT APPLICABLE

### GENERAL NOTES:

- EXISTING REFER TO DRAWING PREPARED BY DORTOLUSS SURVEYING FOR GRADING INFORMATION.
- PROVIDE NEW 3" WIDE (WHITE) LINE PATENTED ON ALL NEW ASPHALT.
- ALL SIDEWALKS & PATHWAYS TO BE 2'-0" MIN. WIDE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

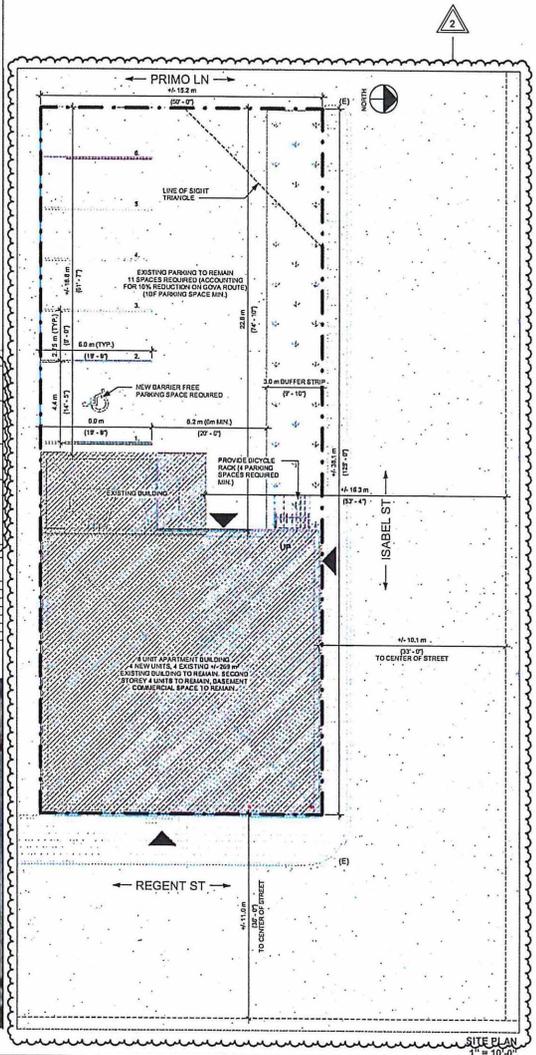
### SITE PLAN LEGEND

- PROPOSED NEW
- EXISTING BUILDING
- GRAVEL
- ASPHALT
- GRASS
- CONCRETE WALKWAY
- PROPERTY LINE
- SETBACK LINE
- EXISTING ITEM
- TYPICAL PARKING SPACE 9'-0" x 20'-0"
- BUILDING ENTRANCE

DISCREPANCIES ON SITE PLAN TO BE FIELD VERIFIED BY HOME OWNER, CONTRACTOR OR SITE SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO SURVEY ENGINEERING.

DESCRIPTION	AREA
ZONE	-42
TOTAL PROPERTY AREA	= 283,820 sq ft
EXISTING BUILINGS	= 27,437 sq ft
TOTAL LOT COVERAGE	= 4%
FIRST FLOOR	= 272,437 sq ft
SECOND FLOOR	= 233,801 sq ft
TOTAL	= 506,238 sq ft
MAXIMUM LOT COVERAGE	-50%
MAXIMUM HEIGHT	-10.2m
MINIMUM FRONT YARD	-2.0m
MINIMUM REAR YARD	-2.0m
MINIMUM SIDE YARD	-2.0m
MINIMUM CORNER SIDE YARD	-4.5m

SHEET NUMBER	SHEET NAME
ADD	INFORMATION SHEET
ADD	FLOOR PLANS
ADD	RESIDENTIAL SCOTT ELEVATIONS
ADD	EAST & WEST ELEVATIONS
ADD	MANY FLOOR REFLECTED CEILING PLAN



KOMRI HOLDINGS  
 243 REGENT STREET, SUDBURY, ON  
 PROJECT NO. KSI-023-232

INFORMATION SHEET

DRAWN: CB  
 CHECKED: DP  
 SCALE: As Indicated  
 SHEET:

KOMRI ENGINEERING  
 12.20.2023  
 OFFICE OF OTTAWA

ISSUED FOR REVISION 1- DECEMBER 20, 2023

A01

A0135/2023  
sketch 3

**GENERAL REQUIREMENTS**

- GENERAL CONTRACTOR & SUBCONTRACTOR SHALL EXAMINE THE SITE, VERIFY ALL DIMENSIONS, DRAWING DETAILS TO ASCERTAIN THE EXTENT AND NATURE OF WORK.
- ALL DISCREPANCIES, OMISSIONS, OR CONFLICTS SHALL BE REPORTED TO ARCHITECT PRIOR TO WORK.
- CONTRACTOR IS NOT TO PROCEED WITH ANY CHANGES OR MODIFICATIONS TO THE DESIGN UNLESS REVIEWED AND APPROVED BY ARCHITECT/ENGINEER.
- GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR REQUIRED. BREAKDOWN OF WORK IS NOT NECESSARILY COMPLETE AND IS FOR GUIDANCE ONLY.
- ALL SITE MEASUREMENTS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIAL OR BEGINNING THE WORK.

**CODE AND STANDARDS**

- GENERAL CONTRACTOR SHALL:
- COMPLY WITH THE ONTARIO BUILDING CODE REQUIREMENTS OR OTHER AUTHORITY HAVING JURISDICTION. HEREAFTER REFERRED TO AS CODE.
  - MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS IS SPECIFIED THEREIN. CODES ARE REFERENCED DOCUMENTS.
  - COMPLY WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT 1991 AND REGULATIONS FOR CONSTRUCTION PROJECTS.

**PERMITS AND INSPECTIONS**

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR BUILDING PERMIT AND ASSOCIATED INSPECTIONS.

**DESIGN DATA**

- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 SUPPLEMENTED BY THE MOST RECENT AND 2015 STRUCTURAL COMMENTARIES (PART 4 OF DIVISION 9).
- CLIMA RELOCATION: REGULAR, ONTARIO

**EXISTING STRUCTURES**

- PRIOR TO CONSTRUCTION VERIFY EXISTING CONDITIONS AND DIMENSIONS. TAKE ALL NECESSARY PRECAUTIONS TO ENSURE EXISTING STRUCTURES ARE PROTECTED DURING CONSTRUCTION.
- ENSURE ALL TEMPORARY SHORING AND BRACING ARE INSTALLED AND REMOVED TO MAINTAIN THE INTEGRITY OF EXISTING STRUCTURE.
- REPORT ANY VARIATIONS IN EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.

**SUBMITTALS**

- SUBMIT FOR REVIEW BEFORE STARTING WORK.
- SUBMIT 3 SETS OF DRAWINGS IN CONFORMANCE WITH THE REQUIREMENTS OF CONSTRUCTION.
- SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
- SHOP DRAWINGS WITHOUT CONTRACTOR'S STAMP WILL BE RETURNED WITHOUT BEING REVIEWED.
- CON REVIEW OF SHOP DRAWINGS DOES NOT INCLUDE DETAILED CHECKING OF DIMENSIONS OR CALCULATIONS OF ELEMENTS ENGINEERED BY OTHERS AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO CAREFULLY WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- BEFORE RESUBMITTING DRAWINGS, DISCUSS ALL CORRECTIONS REQUIRED BY ARCHITECT WITH THE CONSULTANT.
- DO NOT ADD DETAILS TO DRAWINGS WHICH HAVE NOT BEEN STAMPED AS NOTED OR DESIGN PARTIALS ON THE SET. ALL SHOP DRAWINGS HAVE BEEN EXAMINED. PROVIDE FINAL RECORD DRAWINGS AFTER ALL CONNECTIONS ARE MADE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP AND MAINTAIN A QUALITY CONTROL PLAN ASSOCIATED WITH THE STRUCTURE. THIS MUST BE PROVIDED TO THE CONSULTANT WITH THE SUBMITTALS.
- THIS SHOULD INCLUDE:
  - CALL AND NOT WEATHER CONSTRUCTION PROCEDURES
  - THIRD-PARTY INSPECTION AND TESTING PROCEDURES

**WALL PHASING**



**CONSTRUCTION ASSEMBLIES**

**PARTITION ASSEMBLIES NOTES:**

- ALL INTERIOR PARTITIONS ARE TO BE 1/2" UNLESS NOTED OTHERWISE.
- ATTENT TO ANY CONSIDERATIONS THAT REQUIREMENT BEHIND THE FIELD VERIFIED AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. REVISIONS TO CONSIDERATIONS AS REQUIRED IF DESIGN INTENT CANNOT BE MET.
- USE WATER RESISTANT GYPSUM WALL BOARD ON ALL VERT. SIDES OF PARTITIONS & CHAMFER EDGES BEHIND ALL WALL JOINTS.
- PROVIDE WOOD BLOCKING TO ACCOMMODATE WALL MOUNTED IN ACCESSORIES. COORDINATE LOCATIONS AS REQUIRED.
- ALL PARTITIONS TO EXTEND TO U/S OF STRUCTURE UNLESS OTHERWISE NOTED. BRACE AS REQUIRED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DATUM ELEVATION OF 0.
- ALL EXPOSED VERTICAL CORNERS IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNER GUARDS.
- ALL DOORS SHALL BE LOCATED 4" FROM WALL FACE TO DOORFRAME EDGE. TYPICAL UNLESS NOTED OTHERWISE.
- THESE NOTES PERTAIN TO PARTITION TAGS INDICATE PARTITIONS THAT ONLY EXTEND TO U/S OF CEILING.

**PARTITION ASSEMBLIES:**

- (A) TYPICAL INTERIOR WOOD STUD PARTITION
  - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2x4" SFC RIGID WOOD STUD @ 16" OC.
- (B) 1/2" FIRE RATED PARTITION (U.L.C. DESIGN NO. W04)
  - CONSTRUCT PARTITION IN ACCORDANCE WITH U.L.C. DESIGN NO. W04 HAVING A 1 HOUR RESISTANCE RATING.
  - 1" SFC TYPE 2" GYPSUM BOARD ON BOTH SIDES OF 2" METAL STUD SYSTEM @ 16" OC.
  - 2" GENERAL FIRE RESISTANCE.
  - PROVIDE FIRE STOP TO SEAL PORTION AT BASE AND TOP.
- (C) 1/2" SINGLE SIDED PARTITION WALL
  - 1/2" GYPSUM BOARD ON ONE SIDE OF 2x4" SFC RIGID WOOD STUD @ 16" OC.

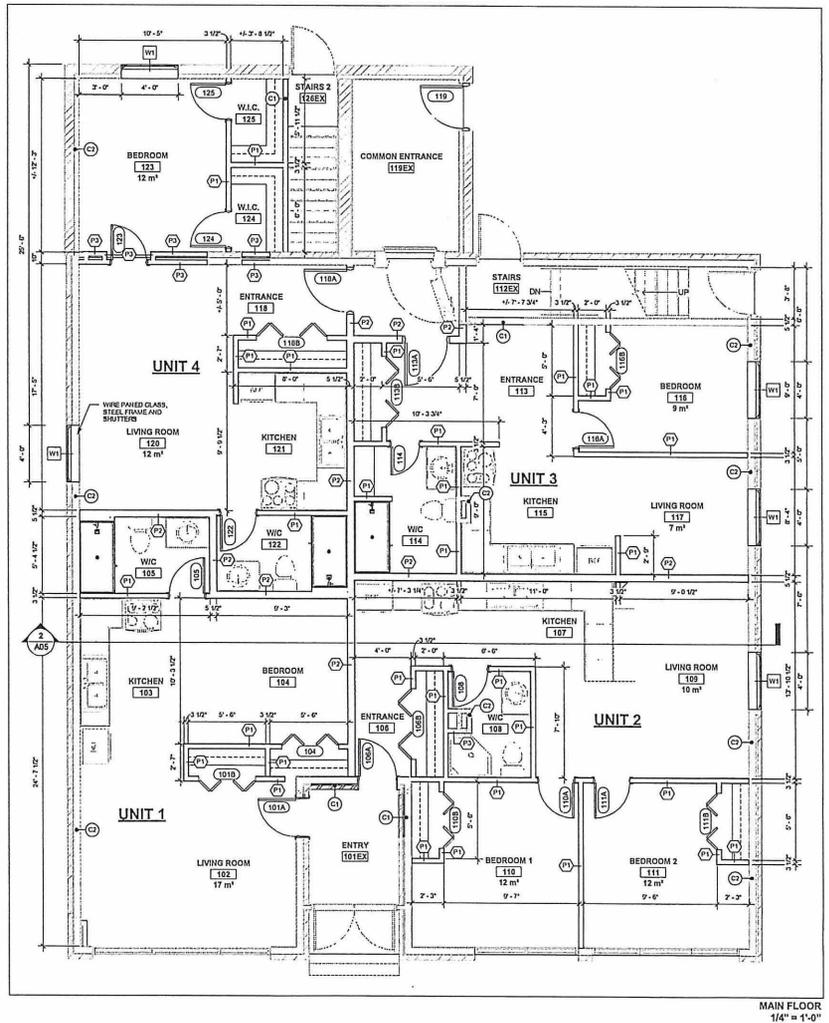
**CONSTRUCTION NOTES (TAGS):**

- (A) CONTRACTOR TO REEL EXISTING OPENING, MATCH NEW WALL MATERIALS TO EXISTING WITH LEAD AND QUALITY.
- (B) CONTRACTOR TO BRACE NEW FRAMING AGAINST ALL EXISTING COLUMN, ENCLINERS AND LOAD BEARING WALLS. REMOVE AND REPLACE GYPSUM BOARD AS REQUIRED.

**ONTARIO BUILDING CODE REVIEW - OBC 2012**

Item	Part Description	Code Reference	Compliance
1	Part Description	1.1.2 [A]	<input type="checkbox"/> New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use
2	Use/ Occupancy/ GROUP C RESIDENTIAL	3.1.2.1 (1)	5.0.2
3	Building Area (G.F.)	Editing: +1263m <sup>2</sup> New: Total: +1263m <sup>2</sup>	Div. A 1.4.1.2 Div. A 1.4.1.2
4	Grave Area	Editing: +1481m <sup>2</sup> New: Total: +1481m <sup>2</sup>	Div. A 1.4.1.2 Div. A 1.4.1.2
5	Number of Storeys	Above grade: 2 Below grade: 1	3.2.1.1 & Div. A 1.4.1.2 Div. A 1.4.1.2
6	Number of Stairs / Fire Fighter Access	3	3.2.2.0 & 3.2.5.5
7	Building Classification	GROUP C RESIDENTIAL	2.2.2.55
8	Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in top of roof rating <input type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX INDEX
9	Staircase required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9
10	Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4
11	Water Service / Supply in Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6
13	Permitted Construction	<input type="checkbox"/> Non-combustible <input type="checkbox"/> Combustible or both	3.2.2.20-83
14	Maximum Area (sq. ft.)	N/A	3.2.1.1 (D)(8)
15	Occupant load based on:	Basement: D Occupancy 1 Last persons 1st Floor: C Occupancy 10 Last persons 2nd Floor: C Occupancy 8 Last persons	3.1.17 3.1.3
16	Barrier Free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19(1)
18	Rated Fire Resistance (FRR) (Hours)	Horizontal Assemblies: U.S.D. Design No. or Description (SG-2) FRR of Supporting Members: U.S.D. Design No. or Description (SG-2)	3.2.2.20-83 & 3.2.1.4 3.10.8 3.10.9
19	Fire Separations:	Exit: N/A Rating Janitor Closets: N/A Rating Service Facility: N/A Rating Public Corridors: 1HR Rating Separation of Suites: 1HR Rating Other (Assembly Occupancy): Rating Other (Care & Detention Occupancy): Rating Other (Residential Occupancy): Rating	3.4.4. 3.3.1.20. 3.6.2. 3.1.1.40.3.2.5 3.3.1.1 3.3.2.2 3.3.3.2 3.3.4.2
20	Spatial Separation - Construction of Exterior Walls	3.2.3	3.10.14
21	Walkrooms: 1 PER UNIT	Occupied: 10	T.3.7.4

OBC REVIEW PART 3 & 9  
12" = 1'-0"



MAIN FLOOR  
1/4" = 1'-0"

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWING DETAILS TO ASCERTAIN THE EXTENT AND NATURE OF WORK. ALL DISCREPANCIES, OMISSIONS, OR CONFLICTS SHALL BE REPORTED TO ARCHITECT PRIOR TO WORK. CONTRACTOR IS NOT TO PROCEED WITH ANY CHANGES OR MODIFICATIONS TO THE DESIGN UNLESS REVIEWED AND APPROVED BY ARCHITECT/ENGINEER. GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR REQUIRED. BREAKDOWN OF WORK IS NOT NECESSARILY COMPLETE AND IS FOR GUIDANCE ONLY. ALL SITE MEASUREMENTS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIAL OR BEGINNING THE WORK.



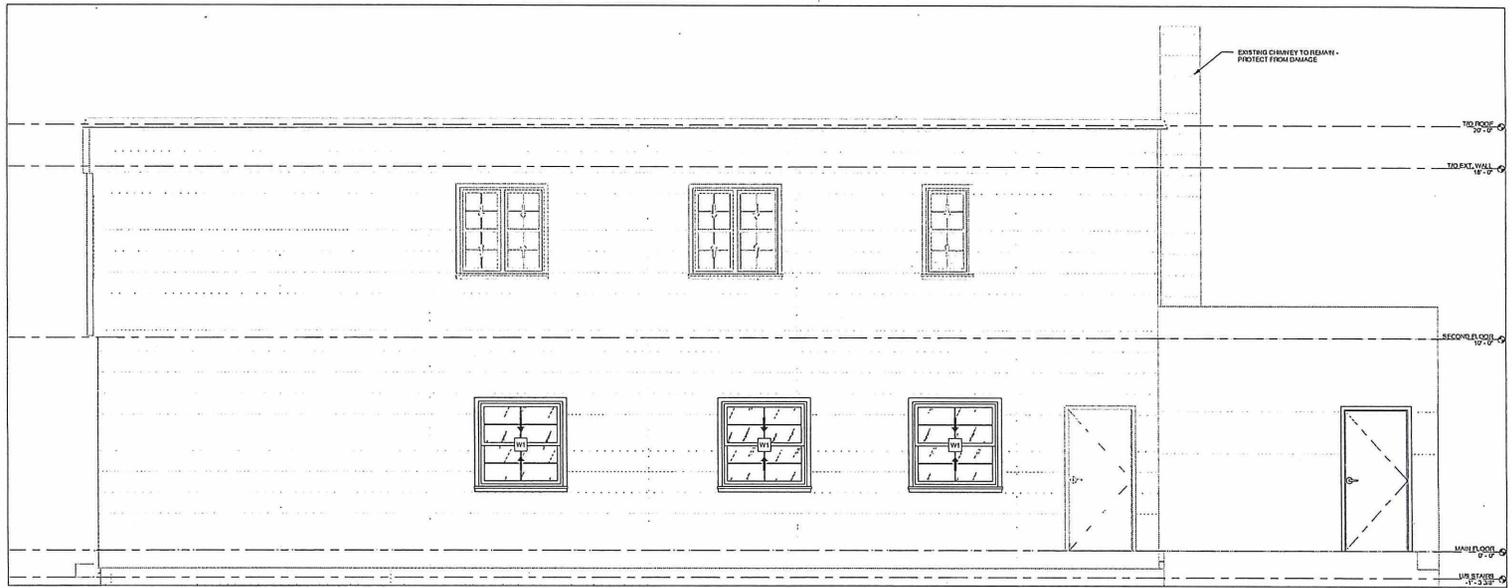
KOMRI HOLDINGS  
240 HURONTARIO STREET, SUITE 200, MISSISSAUGA, ONTARIO L4W 1M5  
PROFESSIONAL ENGINEER

DRAWN BY: DP  
CHECKED BY: KO  
SCALE: As Indicated  
SHEET: \_\_\_\_\_

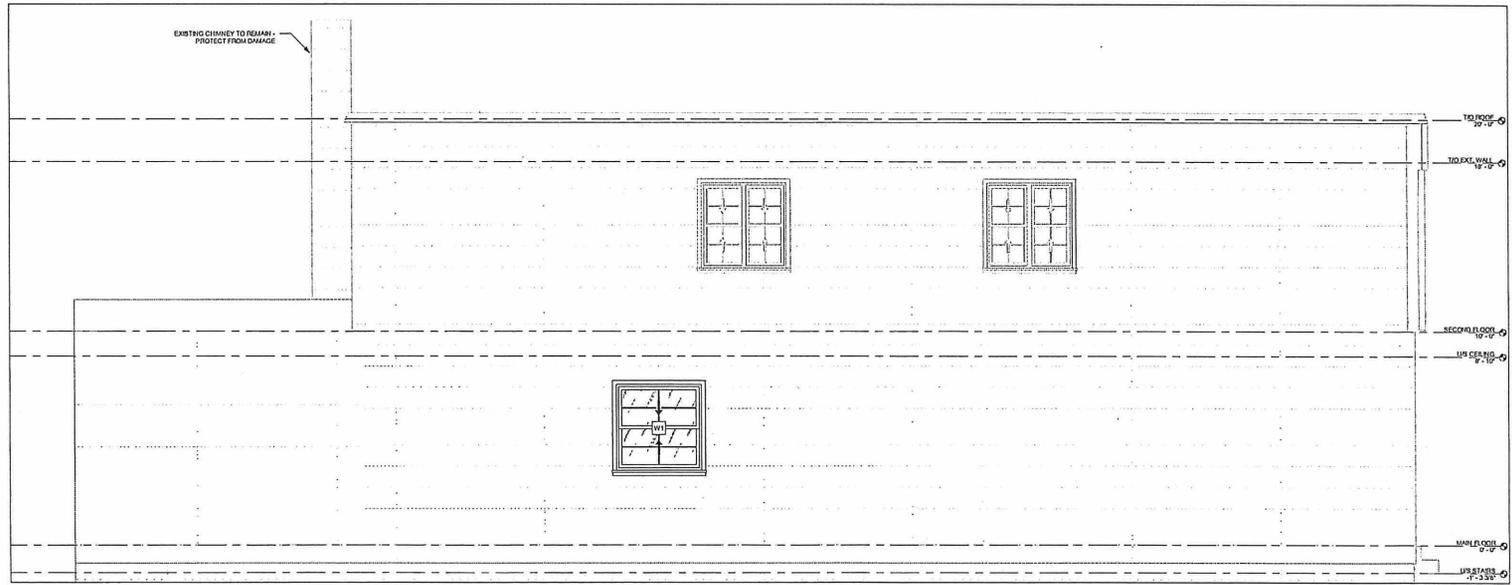
A02

ISSUED FOR REVISION 1- DECEMBER 15, 2023

A0135/2023  
Sketch 4

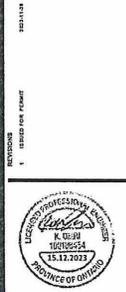


NORTH ELEVATION  
3/8" = 1'-0"



SOUTH ELEVATION  
3/8" = 1'-0"

GENERAL NOTES:  
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FROM THE CENTERLINE OF THE EXISTING CHIMNEY TO THE CENTERLINE OF THE EXISTING CHIMNEY.  
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FROM THE CENTERLINE OF THE EXISTING CHIMNEY TO THE CENTERLINE OF THE EXISTING CHIMNEY.  
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FROM THE CENTERLINE OF THE EXISTING CHIMNEY TO THE CENTERLINE OF THE EXISTING CHIMNEY.  
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FROM THE CENTERLINE OF THE EXISTING CHIMNEY TO THE CENTERLINE OF THE EXISTING CHIMNEY.



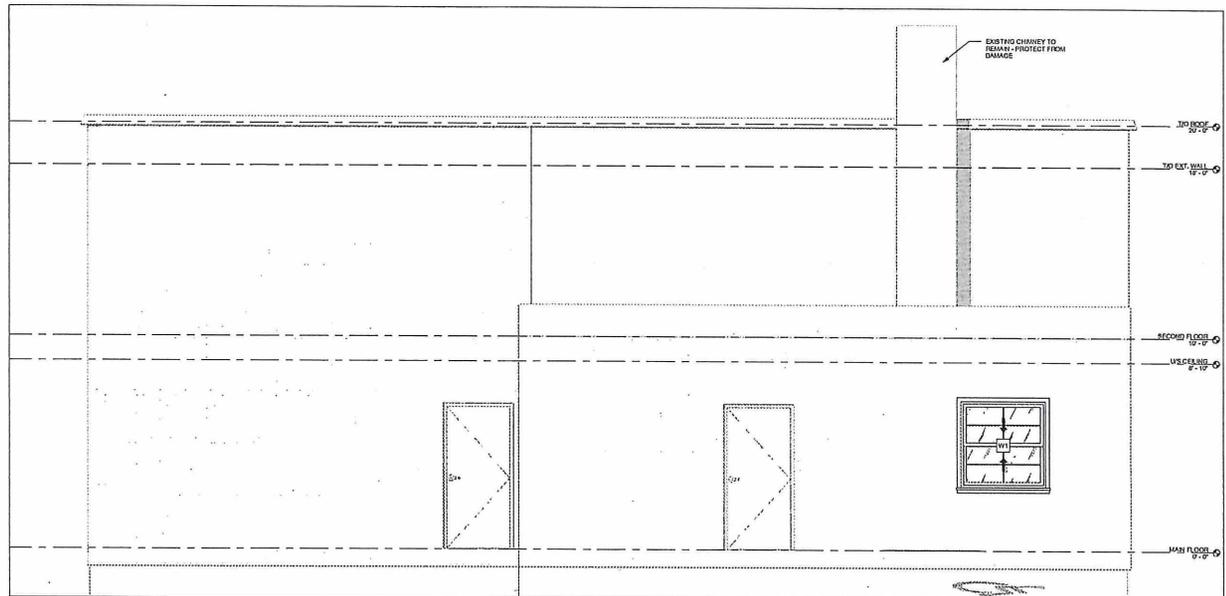
KOMRI HOLDINGS  
240 REGENT STREET, SUITE 200 ON  
ROCKY HILL, CONNECTICUT  
NORTH & SOUTH ELEVATIONS

DRAWN BY: DP  
CHECKED BY: KD  
SCALE: 3/8" = 1'-0"  
SHEET

A03

ISSUED FOR REVISION 1- DECEMBER 15, 2023

A0136/2023  
Sketch 5



WEST ELEVATION  
3/8" = 1'-0"



EAST ELEVATION  
3/8" = 1'-0"

CLIENT: AL  
PROJECT: 242 REGENT STREET, SUBURBY, ON  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 3/8" = 1'-0"  
SHEET: [Number]

REVISIONS  
1. [Description of Revision]



KOMRI HOLDINGS  
242 REGENT STREET, SUBURBY, ON  
PROJECT: 242 REGENT STREET

DRAWN BY: [Signature] CB  
CHECKED BY: [Signature] DP  
SCALE: 3/8" = 1'-0"  
SHEET: [Number]

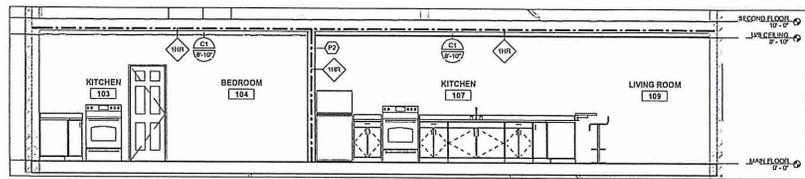
A04

ISSUED FOR REVISION 1- DECEMBER 15, 2023

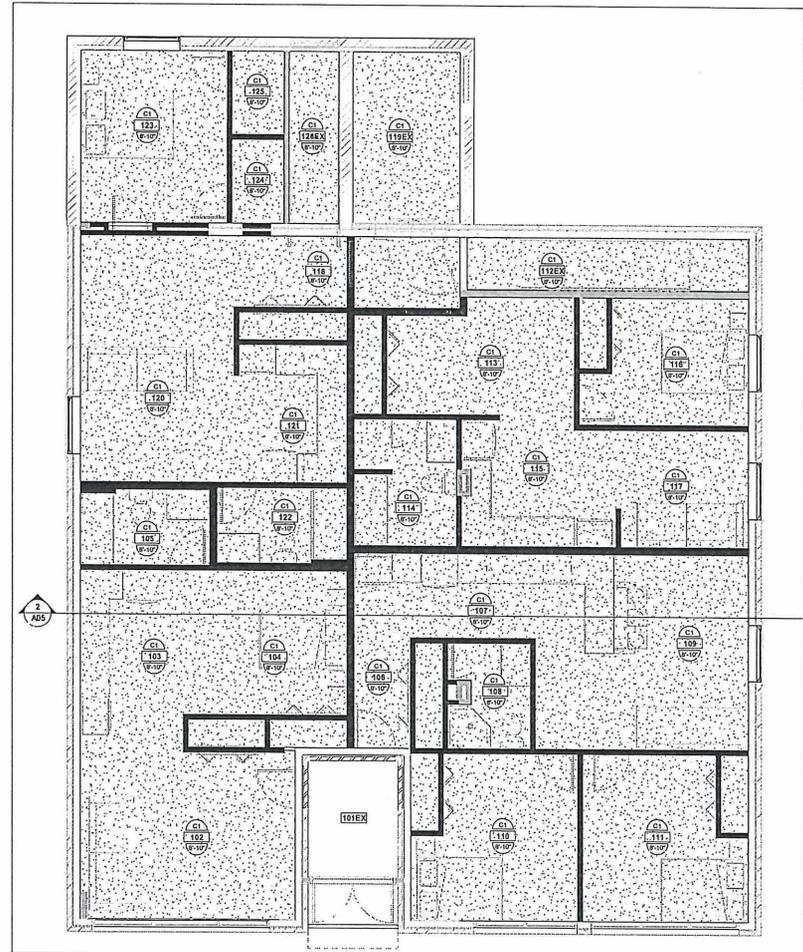
A0135/2023  
sketch 6

**CEILING ASSEMBLIES:**

1. 1/2" PREPARED CEILING MEMBRANE - SB-3  
 CONSTRUCT CEILING ASSEMBLY IN ACCORDANCE WITH SB-3 DESIGN,  
 HAVING A 1 HOUR FIRE RESISTANCE RATING.
- 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD
  - 7/8" FURRING CHANNELS @ 18" O.C.
  - 1/2" METAL FRAMING @ 18" O.C.
  - HANGERS W/RE SUPPORT AS REQUIRED
  - PROVIDE FIRE STOP TO SEAL WHERE REQUIRED



TYP. BUILDING SECTION  
1/4" = 1'-0"



MAIN FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"

GENERAL  
 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO THE DESIGNER'S DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY UPON DISCOVERY.  
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO THE DESIGNER'S DRAWINGS IMMEDIATELY UPON DISCOVERY.  
 3. THESE DIMENSIONS SHALL BE THE BASIS FOR THE CONTRACTOR'S WORK.  
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

REVISIONS  
 1. ISSUED FOR PERMIT  
 15.12.2023  
 LICENSURE PROJECT NO. 15.12.2023  
 R. 02-28  
 15.12.2023  
 PROVINCE OF ONTARIO

**KOMRI ENGINEERING**

KOMRI HOLDINGS  
 243 BELLEVILLE AVENUE, UNIT 204  
 PROJECT NO. A0135/2023  
 MAIN FLOOR REFLECTED CEILING PLAN

DRAWN BY: DP  
 CHECKED BY: KO  
 SCALE: 1/4" = 1'-0"  
 SHEET:

**A05**

ISSUED FOR REVISION 1- DECEMBER 15, 2023

A0135/2023  
 sketch 7



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A0136/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Tracy Hayes	Email: [REDACTED]
Mailing Address: 2153 Sunnyside Rd.	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P2G 1H8
	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent:	Email:
Mailing Address:	Home Phone:
2153 Sunnyside Rd.	Business Phone:
City:	Postal Code:
	Fax Phone:

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Scotiabank
Mailing Address: 57 Durham St.
City: Sudbury
Postal Code: P3E 4R3

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Section 4.41.2	2010-100Z	20.89	9.11

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:  
 Please see Schedule B

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
 Please see Schedule B

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73473-0184		Township: Broder	
Lot No.: 6	Concession No.: 3	Parcel(s):	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 2153 Sunnyside Rd.			

7) Date of acquisition of subject land. September, 2007

8) Dimensions of land affected.

Frontage 33.8 (m)    Depth 44.36 (m)    Area 1,499.37 (m<sup>2</sup>)    Width of Street 10.67 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	See Schedule B (m <sup>2</sup> )	(m <sup>2</sup> )
Gross Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	See Schedule A (m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

See Schedule B

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Primary Residence    Length of time: >16 years: since September 2007

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Primary Residences

A0136/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_  
 or, describe briefly, The road-side front entrance was added to the residence in 2012 as there was no existing 'front' entrance. The entrance encroached on the shared right-of-passage.

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Tracy Hayes (please print all names), the registered owner(s) of the property described as Lot 6, Concession 3, PIN 73473-0184, in the township of Broder, 2153 Sunnyside Rd., in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 14 day of December, 2023

John Macdonald  
 (witness)

Tracy Hayes  
 signature of Owner(s) or Signing Officer or Authorized Agent  
 Print Name: Tracy Hayes

\*I have authority to bind the Corporation

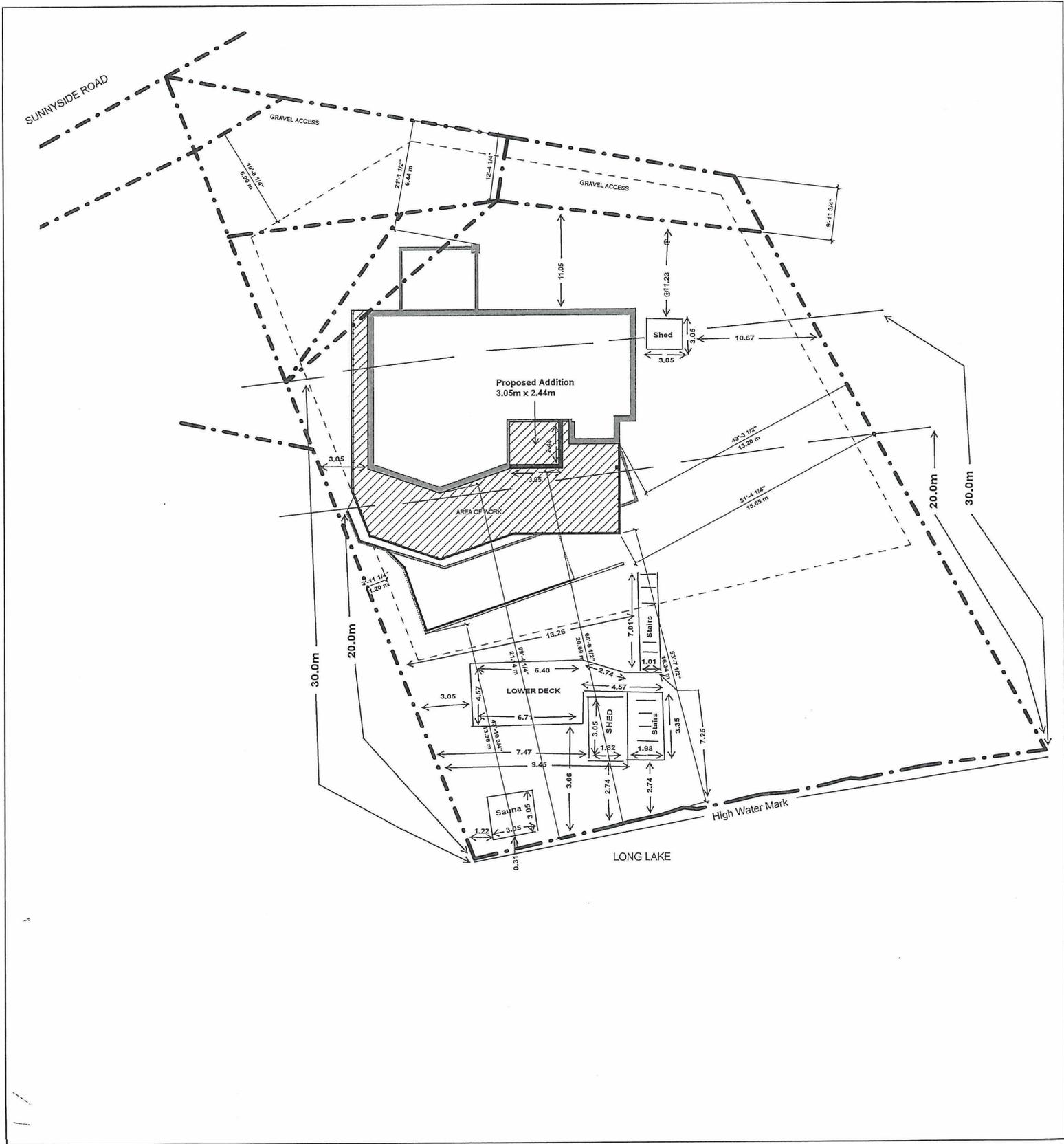
A0136/2023



## Schedule A: Location of all Buildings & Structures on or Proposed for the Project

Application for Minor Variance: PIN 73473-0184, Lot 6, Concession 3, Township of Broder,  
2153 Sunnyside Rd., Greater Sudbury

A0136/2023



SITE PLAN  
1" = 10'-0"

A0136/2023

## Schedule B: Additional Application Information

Questions: 5, 9, 10, & 12

Application for Minor Variance: PIN 73473-0184, Lot 6, Concession 3,  
Township of Broder, 2153 Sunnyside Rd., Greater Sudbury

Question #5-C: Description of Proposal

We are requesting to add a 3.05m x 2.44m glass sun-room within the center of our existing residence, filling a square void between the existing living room and the southwest-facing bedroom. The original design was not to alter the existing structure of the residence, but to replace two existing walls with custom sliding/opening glass walls through a company called NanaWall. The product is custom fabricated in Germany and the engineering firm we originally hired, KOMRI Engineering, signed-off on incorrect drawings resulting in the product being improperly fabricated.

The original cost of the product was approximately \$70,000CAD. To re-fabricate the custom track to correct the problem would cost an additional \$23,000CAD. The current application would allow us to use the product 'as-is,' which requires us to install it as an addition, rather than as a replacement for the existing wall structure.

Question #5-D: Provide reason why the proposal cannot comply with the provisions of the Zoning By-law

The house was constructed prior to the enactment of By-law 2010-100Z; the majority of the residence exists beyond 30.0m from the high-water mark of the waterway. The following proposal does not seek to encroach upon the waterway, neither neighbouring residence, nor in height more than has historically and currently exists.

Additionally, the manufacturer, NanaWall, cannot guarantee that the re-fabrication would solve the concerns with the sliding glass walls, as the installation would require additional manipulation that may degrade or ruin the integrity of the glass.

Question #9: Particulars of all buildings & Question 12: Date of Construction for all Buildings & Structures:

Building #1: Primary Residence (Constructed in early-to-mid 1990's)

<u>Existing</u>		<u>Proposed</u>
• Ground Floor Area:	382.21m <sup>2</sup>	389.65m <sup>2</sup>
• Gross Floor Area:	419.77m <sup>2</sup>	427.21m <sup>2</sup>
	(801.98m <sup>2</sup> with basement)	(816.86m <sup>2</sup> with basement)
• No. of Stories:	1.5	Same
	(2.5 with basement)	Same
• Width:	14.63m & 7.625m	Same
• Length:	6.1m & 3.05m	Same
• Height:	6.40m	Same

Building #2: Sauna (Constructed in 2018)

<u>Existing</u>	<u>Proposed</u>
• Ground Floor Area: 9.3m <sup>2</sup>	Same
• Gross Floor Area: 9.3m <sup>2</sup>	Same
• No. of Stories: 1	Same
• Width: 3.05m	Same
• Length: 3.05m	Same
• Height: 3.05m	Same

Building #3: Lakefront Storage Shed (Constructed in 2018)

<u>Existing</u>	<u>Proposed</u>
• Ground Floor Area: 5.55m <sup>2</sup>	Same
• Gross Floor Area: 5.55m <sup>2</sup>	Same
• No. of Stories: 1	Same
• Width: 1.82m	Same
• Length: 3.05m	Same
• Height: 3.05m	Same

Building #4: Driveway-adjacent Storage Shed (Constructed in 2010)

<u>Existing</u>	<u>Proposed</u>
• Ground Floor Area: 9.3m <sup>2</sup>	Same
• Gross Floor Area: 9.3m <sup>2</sup>	Same
• No. of Stories: 1	Same
• Width: 3.05m	Same
• Length: 3.05m	Same
• Height: 3.05m	Same

Structure #1: Lakefront Stairs (Constructed in 2018)

<u>Existing</u>	<u>Proposed</u>
• Ground Floor Area: 6.63m <sup>2</sup>	Same
• Gross Floor Area: 6.63m <sup>2</sup>	Same
• No. of Stories: 1	Same
• Width: 1.98m	Same
• Length: 3.35m	Same
• Height: 0.91m	Same

Structure #2: Second (mid-yard) Stairs (Constructed prior to ownership before 2007)

<u>Existing</u>	<u>Proposed</u>
• Ground Floor Area: 7.08m <sup>2</sup>	Same
• Gross Floor Area: 7.08m <sup>2</sup>	Same
• No. of Stories: 1	Same
• Width: 1.01m	Same
• Length: 7.01m	Same
• Height: 0.91m	Same

Structure #3: Lower Lake-side Deck (Constructed prior to ownership before 2007)

<u>Existing</u>	<u>Proposed</u>
• Ground Floor Area: 30.66m <sup>2</sup>	Same
• Gross Floor Area: 30.66m <sup>2</sup>	Same
• No. of Stories: 1	Same
• Width: 6.71m	Same
• Length: 4.57m	Same
• Height: 0.3-1.5m	Same

Structure #4: Upper Deck (New, 2023 - 2024)

<u>Existing</u>	<u>Proposed</u>
• Ground Floor Area: 42.87m <sup>2</sup>	Same
• Gross Floor Area: 42.87m <sup>2</sup>	Same
• No. of Stories: 1	Same
• Width: 12.72m	Same
• Length: 3.37m	Same
• Height: 2.74m	Same

Question #10: Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front:

Building #1: Primary Residence (Constructed in early-to-mid 1990's)

<u>Existing</u>	<u>Proposed</u>
• Front: 14.86m	Same
• Rear: 21.14m	20.89m
• Side: 3.05m	Same
• Side: 14.63	Same

Building #2: Sauna (Constructed in 2018)

<u>Existing</u>	<u>Proposed</u>
• Front: 41.0m	Same
• Rear: 0.31m	Same
• Side: 1.22m	Same
• Side: 29.53m	Same

Building #3: Lakefront Storage Shed (Constructed in 2018)

<u>Existing</u>	<u>Proposed</u>
• Front: 38.57m	Same
• Rear: 2.74m	Same
• Side: 7.47m	Same
• Side: 24.51m	Same

Building #4: Driveway-adjacent Storage Shed (Constructed in 2010)

<u>Existing</u>	<u>Proposed</u>
• Front: 15.04m	Same
• Rear: 26.27m	Same
• Side: 20.08m	Same
• Side: 10.67m	Same

Structure #1: Lakefront Stairs (Constructed in 2018)

<u>Existing</u>	<u>Proposed</u>
• Front: 38.27m	Same
• Rear: 2.74m	Same
• Side: 9.45m	Same
• Side: 22.37m	Same

Structure #2: Second (mid-yard) Stairs (Constructed prior to ownership before 2007)

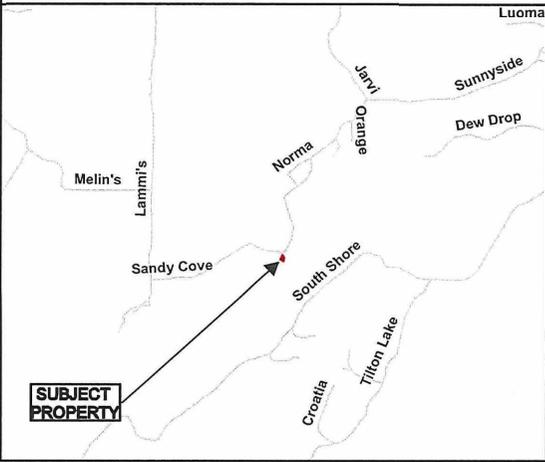
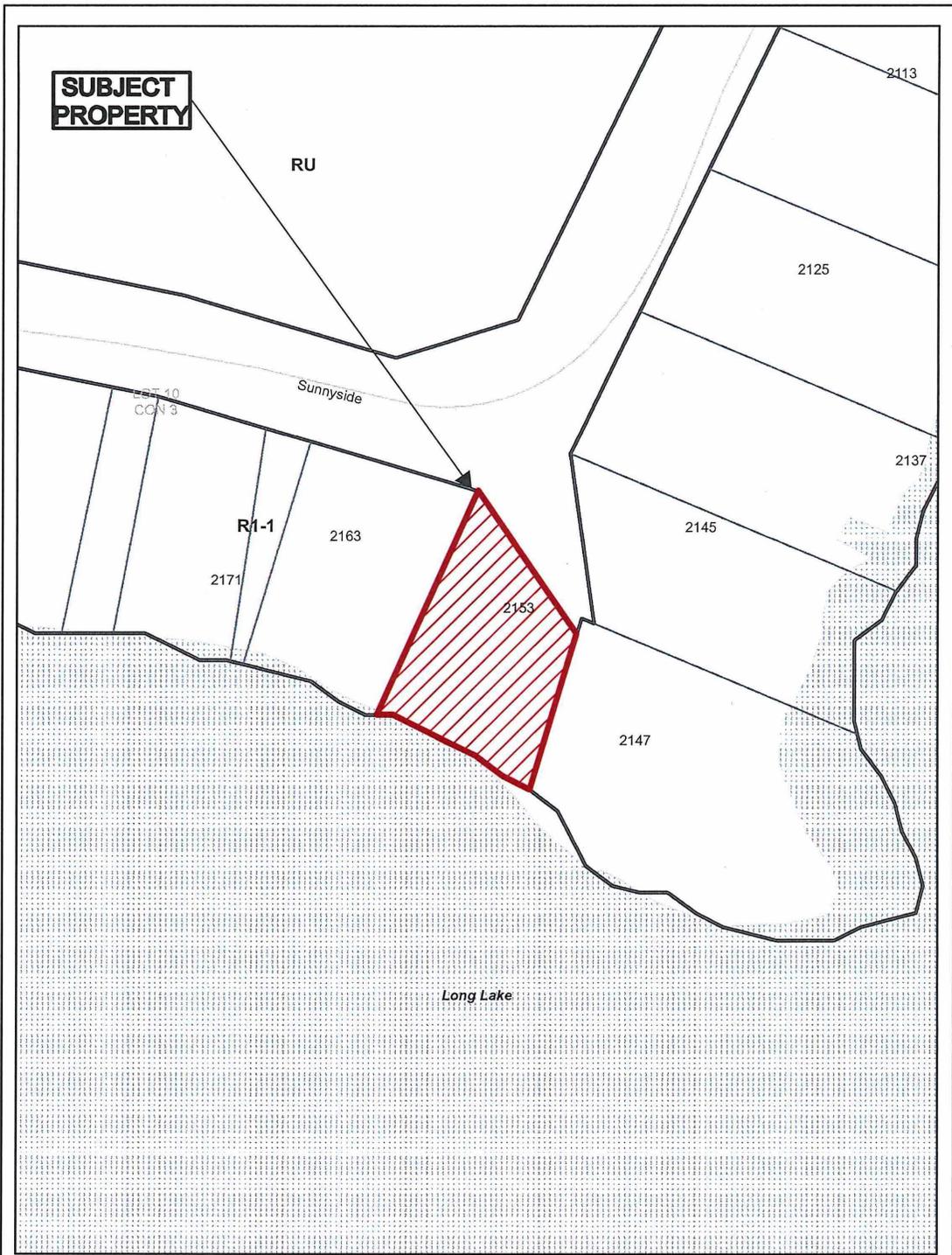
<u>Existing</u>	<u>Proposed</u>
• Front: 30.1m	Same
• Rear: 7.25m	Same
• Side: 13.26m	Same
• Side: 19.53m	Same

Structure #3: Lower Lake-side Deck (Constructed prior to ownership before 2007)

<u>Existing</u>	<u>Proposed</u>
• Front: 36.13m	Same
• Rear: 3.66m	Same
• Side: 3.05m	Same
• Side: 19.78m	Same

Structure #4: Upper Deck (New, 2023 - 2024)

<u>Existing</u>	<u>Proposed</u>
• Front: 23.22m	Same
• Rear: 16.34m	Same
• Side: 1.20m	Same
• Side: 15.65m	Same



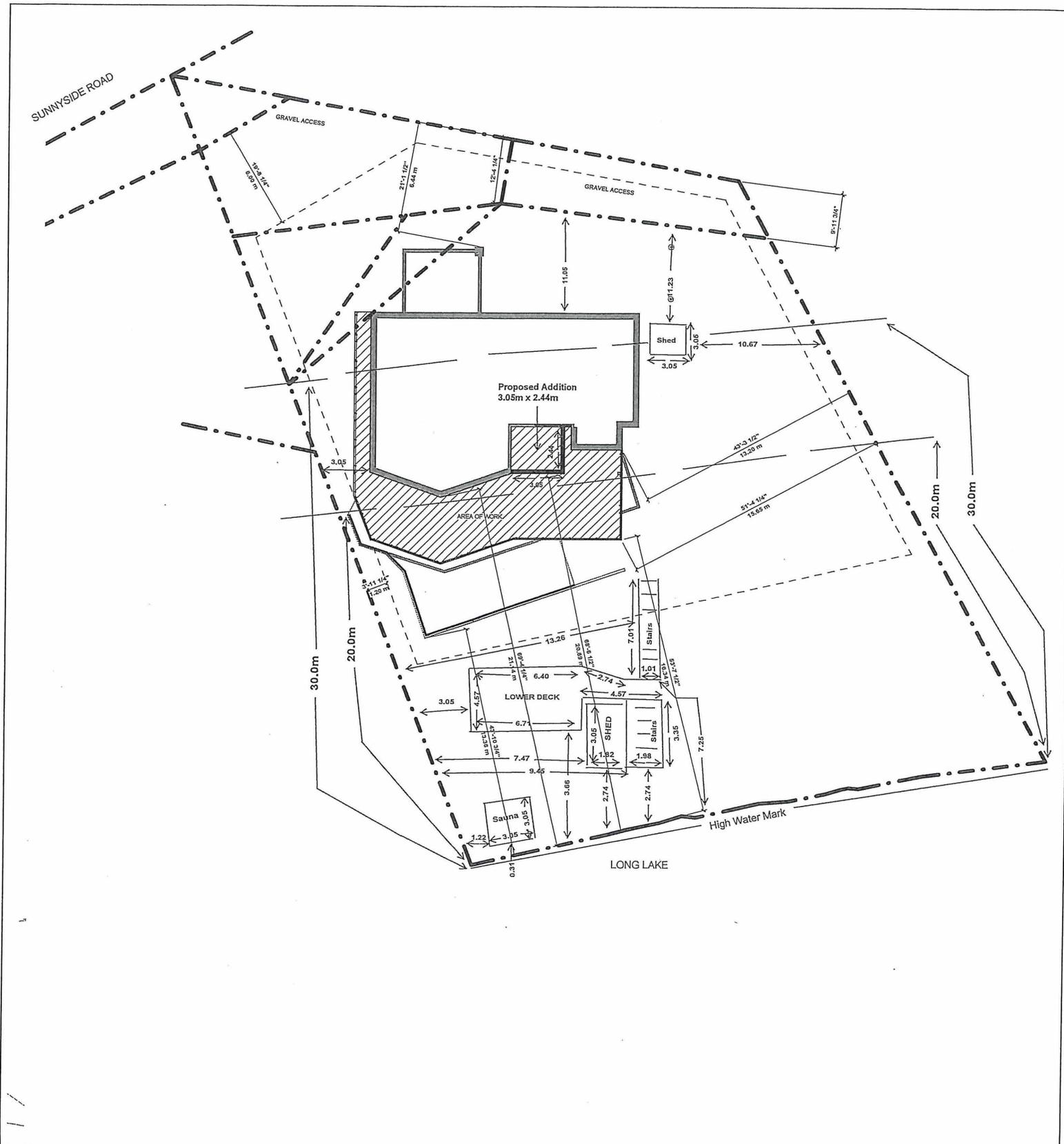


**Application for Minor Variance or Permission**

Subject Property being PIN 73473-0184,  
 Parcel 15614 SEC SES, Lot 6, Plan M-221,  
 Part Lot 10, Concession 3, Township of Broder,  
 2153 Sunnyside Road, Sudbury,  
 City of Greater Sudbury

---

Sketch 1, NTS A0136/2023  
 NDCA Date: 2023 12 20



SITE PLAN  
1" = 10'-0"

A0136/2023  
Sketch 2



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2023 01 01
A0137/2023
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES ___ NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

**APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)**  
**APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)**  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): <u>SUDBURY HOME BUYERS INC</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>114 PLUMTREE CRES</u>	Home Phone: <u>[REDACTED]</u>
	Business Phone: <u>[REDACTED]</u>
City: <u>SUDBURY</u>	Postal Code: <u>P3B 4G6</u> Fax Phone: <u>[REDACTED]</u>

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: <u>Brett Dillman (Sudbury Home Buyers)</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>4123 Old Hwy 69 North (Apt 3)</u>	Home Phone: <u>[REDACTED]</u>
	Business Phone: <u>[REDACTED]</u>
City: <u>Hammer</u>	Postal Code: <u>P3P 1A2</u> Fax Phone: <u>[REDACTED]</u>

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <u>PRIVATE MORTGAGE : AIME FERN MALETTE</u>
Mailing Address: <u>30 PREVOST STREET SOUTH</u>
City: <u>AZILDA</u> Postal Code: <u>P0M 1B0</u>

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-3

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
<del>MIN LOT FRONTAGE TABLE 6.4</del>	<del>18.0m</del>	<del>15.24m</del>	<del>2.76m</del>
<del>MIN FRONT YARD</del>	<del>6.0m</del>	<del>3.53m</del>	<del>2.47m</del>
<del>MIN INTERIOR SIDE YARD</del>	<del>1.2+0.6</del>	<del>1.2m</del>	<del>0.6m</del>

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: 0.40 (m)

c) Description of Proposal:  
PROPOSED SECOND STOREY ADDITION AND BASEMENT ALTERATION TO CREATE SECOND FLOOR APARTMENT AND BASEMENT APARTMENT CHANGING USE FROM SINGLE FAMILY HOUSE TO TRIPLEX PLUS 1.2 X 1.5 REAR ENTRANCE EXTERIOR STAIR TO SECOND FLOOR UNIT

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
TABLE 6.4 R2-3 MIN REQUIRED FRONT YARD 6m , EXISTING HOUSE BUILT 3.53m FROM PROPERTY LINE City's Zoning By-law 2121-152z  
TABLE 6.4 R2-3 MIN REQUIRED INTERIOR SIDE YARD FOR TWO STOERY 1.8m , EXISTING EAST PROPERTY LINE IS 1.2m

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 021790336		Township: MCKIM
Lot No.: 7	Concession No.: 4	Parcel(s): 22294
Subdivision Plan No.: M85	Lot: 483	Reference Plan No.:
Municipal Address or Street(s): 534 McKim St		Part(s):

7) Date of acquisition of subject land. NOV 1, 2023

8) Dimensions of land affected.

Frontage 15.24 (m)    Depth 33.53 (m)    Area 510 (m<sup>2</sup>)    Width of Street (m)

SEE ATTACHED PLOT PLAN

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	house 98.71	garage 25.58 (m <sup>2</sup> )	HOUSE 98.761	(m <sup>2</sup> )
Gross Floor Area:	house 98.71	garage 25.58 (m <sup>2</sup> )	296.13 (main fl +new second)	(m <sup>2</sup> )
No. of storeys:	1		2	
Width:	9.14m house	(m)	9.14	(m)
Length:	10.80m house	(m)	10.80	(m)
Height:	6.0	(m)	9.0	(m)

SEE ATTACHED PLOT PLAN

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	3.53	(m)	3.53	(m)
Rear:	20.85	(m)	20.85	(m)
Side:	3.2	(m)	3.20	(m)
Side:	1.2	(m)	1.2	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Unknown (1960 to early 1970s)

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SINGLE FAMILY DWELLING    Length of time: 50 YEARS+/-

14) Proposed use(s) of the subject property.

Same as #13  or  MULTI DWELLING TRI PLEX

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: SINGLE FAMILY HOMES

A0137/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, SUDBURY HOME BUYERS INC (please print all names), the registered owner(s) of the property described as 543 MCKIM STREET, SUDBURY

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Brett Dillman (Sudbury Home Buyers) (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

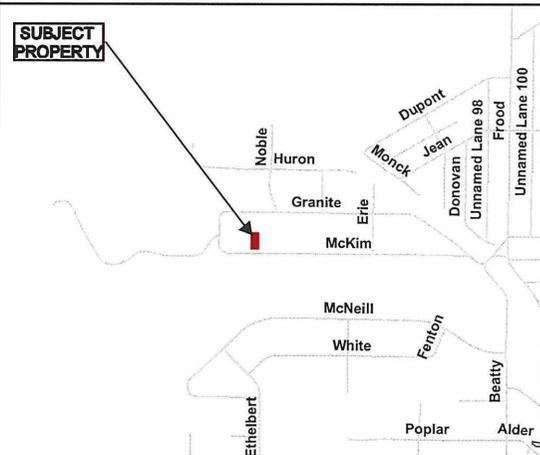
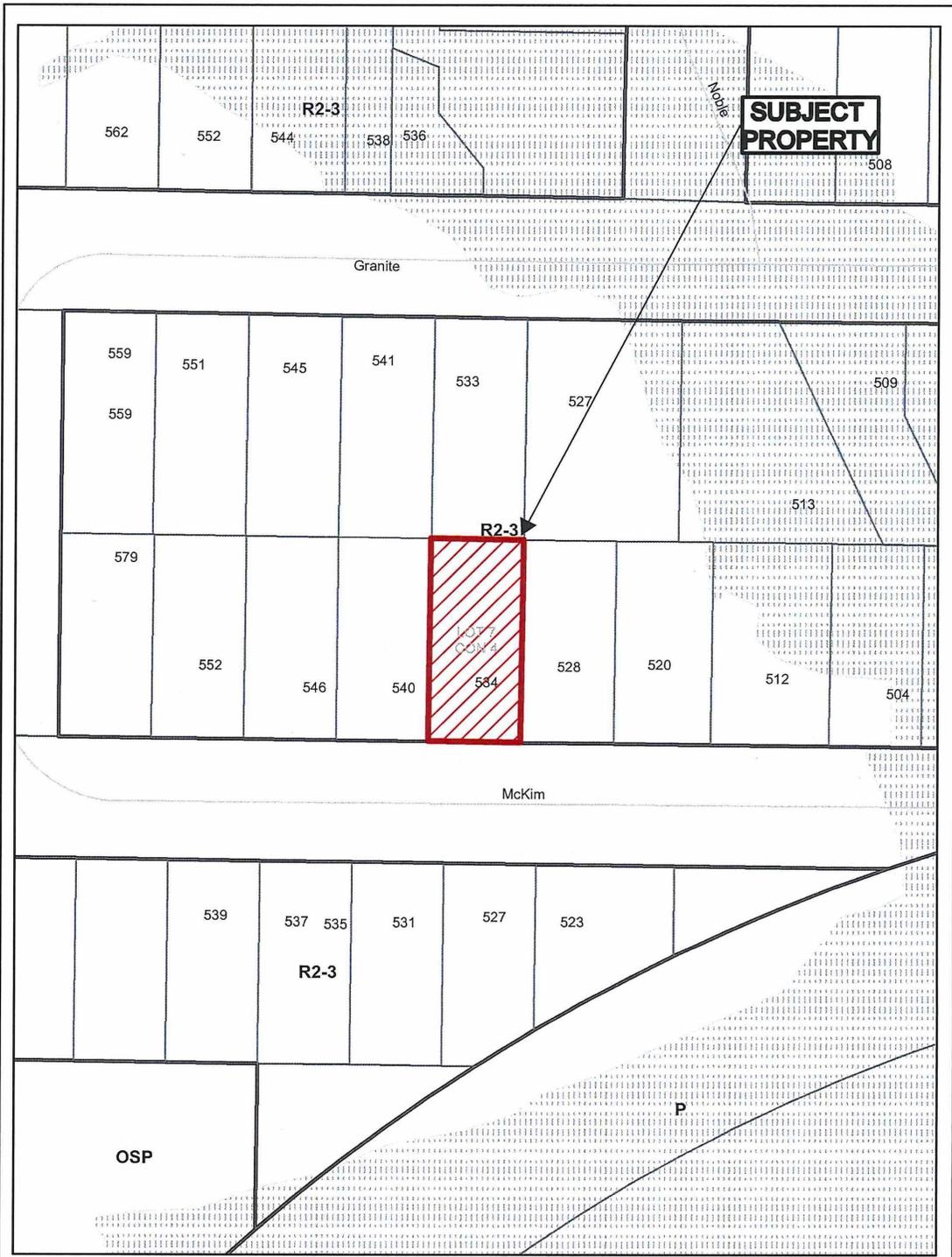
Dated this 20<sup>th</sup> day of December, 2023

Jennifer Dallaire  
(witness)

[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent  
Print Name: Jonathan Dillman  
\*I have authority to bind the Corporation

A0137/2023





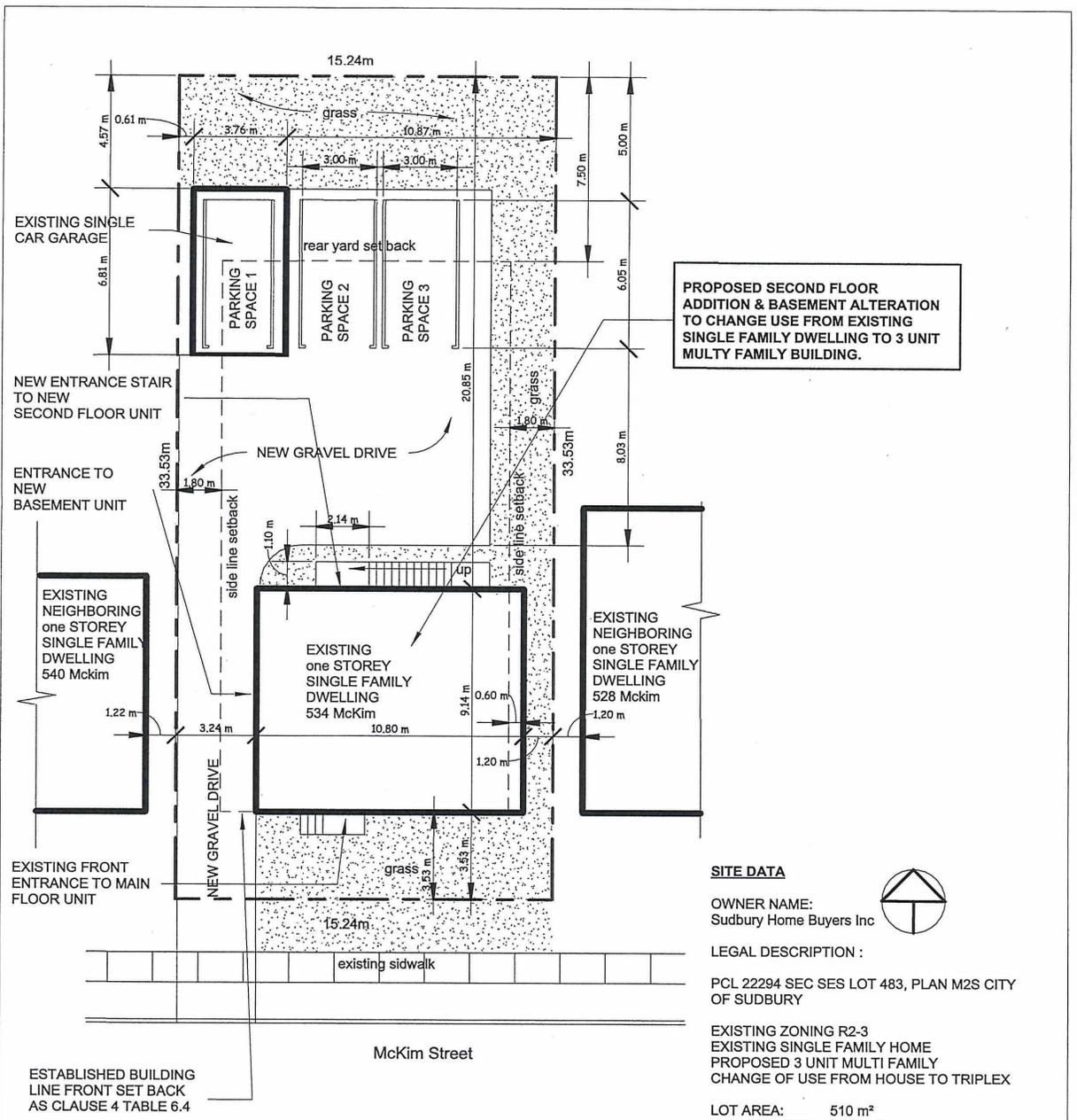
N

**Application for Minor  
Variance or Permission**

Subject Property being PIN 02179-0336,  
Parcel 22294 SEC SES, Lot 483, Plan M-2S,  
Part Lot 7, Concession 4, Township of McKim,  
534 McKim Street, Sudbury,  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0137/2023  
Date: 2023 12 21



**PROPOSED SECOND FLOOR ADDITION & BASEMENT ALTERATION TO CHANGE USE FROM EXISTING SINGLE FAMILY DWELLING TO 3 UNIT MULTI FAMILY BUILDING.**

**PLOT PLAN**  
1 : 200

**SITE DATA**

OWNER NAME:  
Sudbury Home Buyers Inc

LEGAL DESCRIPTION :  
PCL 22294 SEC SES LOT 483, PLAN M2S CITY OF SUDBURY

EXISTING ZONING R2-3  
EXISTING SINGLE FAMILY HOME  
PROPOSED 3 UNIT MULTI FAMILY  
CHANGE OF USE FROM HOUSE TO TRIPLEX

LOT AREA: 510 m<sup>2</sup>  
BUILDING AREA: 98.71m<sup>2</sup>  
GARGAGE AREA: 25.58m<sup>2</sup>  
TOTAL AREA 124.29m<sup>2</sup>  
BUILDING COVERAGE: 24.31 %  
LANDSCAPED AREA 200m<sup>2</sup> 40%  
GROSS FLOOR:  
MAIN FLOOR UNIT 1 98.71m<sup>2</sup>.  
SECOND FLOOR UNIT 2 98.71 m<sup>2</sup>.  
BASEMENT UNIT 3 85.00m<sup>2</sup>.

NO OF STOREY: 2 STOREY + BASEMENT  
NO OF DWELLING UNITS: 3

BUILDING CLASSIFICATION: C  
PARKING SPACE REQUIRED 3  
PARKING SPACE PROVIDED 3  
REQUIRED LOT COVERAGE PER UNIT 140m<sup>2</sup>  
PROPOSED LOT COVERAGE PER UNIT 170m<sup>2</sup>  
MAX HEIGHT 11.0 m PROPOSED 9.00m

*A013712023*  
*sketch 2*

<p>I PAUL PELLAND DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE FIRM REGISTERED UNDER SUBSECTION 2.17.4 OBC I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES</p> <p>EMAIL: [REDACTED] PHONE: [REDACTED] INDIVIDUAL BCIN 115884 FIRM BCIN 35810</p> <p>PAUL PELLAND. <i>[Signature]</i></p> <p>1582790 ONTARIO LTD Q/A NORTH SOUTH STUDIO</p>	<p>PROJECT <b>PROPOSED alteration/addition into triplex</b></p> <p>Sudbury Home Buyers Inc 534 McKim Street, Sudbury</p>	<p>DRAWN PAUL PELLAND</p>
	<p>ON THIS SHEET <b>PLOT PLAN</b></p>	<p>CHECKED AL MCCANN</p>
	<p>DATE Dec 18,23</p>	<p>SCALE 1 : 200</p>
	<p>WWW.NORTHSSOUTHSTUDIO.ONLINE</p>	



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

\*REVISED\*

Office Use Only 2023.01.01	
A 0104/2023	
S.P.P. AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Patric Lapointe, Gene Lapointe, Camille Lapointe Email: \_\_\_\_\_  
 Mailing Address: 327 Mountain Home Phone: \_\_\_\_\_  
 Business Phone: \_\_\_\_\_  
 City: Sudbury Postal Code: P3B 2T8 Fax Phone: \_\_\_\_\_

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Roger Boitras Email: \_\_\_\_\_  
 Mailing Address: 70 Baker st. unit 3 Home Phone: \_\_\_\_\_  
 Business Phone: \_\_\_\_\_  
 City: Sudbury Postal Code: P3C 2E7 Fax Phone: \_\_\_\_\_

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Caisse Alliance  
 Mailing Address: \_\_\_\_\_  
 City: Est. Ville de Postal Code: P0M 2M6

- 4) Current Official Plan designation: Living area 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
5.2.3.1 parking space	3m	2.7m	0.3m
5.5	1.5 x 3 = 5	2	3
minimum lot area	140 m <sup>2</sup> per unit	120 m <sup>2</sup> per unit	20 m <sup>2</sup>

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: 3m (m)

c) Description of Proposal: convert 2 family home into triplex  
adding a bachelor unit in basement

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
not enough space for parking required

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: McKhom  
 Lot No.: 19 Concession No.: \_\_\_\_\_ Parcel(s): 5686  
 Subdivision Plan No.: 53B-10918 Lot: \_\_\_\_\_ Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 327 Mountain St

7) Date of acquisition of subject land. Oct 2021

8) Dimensions of land affected.

Frontage 9.1 (m) Depth 29.68 (m) Area 360 (m<sup>2</sup>) Width of Street \_\_\_\_\_ (m)

9) Particulars of all buildings:

	Existing		Proposed
Ground Floor Area:	<u>house</u> 50.97	<u>shed</u> 13.12	(m <sup>2</sup> )
Gross Floor Area:	70.98	13.12	(m <sup>2</sup> )
No. of storeys:	3	1	
Width:	7.1	4.1	(m)
Length:	11.53	3.2	(m)
Height:			(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	<u>house</u> Existing	<u>shed</u> Existing	Proposed
Front:	2.77	7	(m)
Rear:	16.2	0.73	(m)
Side:	2.86	3.2	(m)
Side:	0.85	5.2	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input checked="" type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/>            |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/>            |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input checked="" type="checkbox"/> |  |                                     |

12) Date(s) of construction of all buildings and structures on the subject land.

house 1952 Shed unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Rentals, residential Length of time: 3 years

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property?

2

16) If this application is approved, would any existing dwelling units be legalized?

Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties:

residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

We, Patrick Lapointe, Jane Lapointe, Camille Lapointe (please print all names), the registered owner(s) of the property described as 327 Mountain

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Roger Poitras (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 7th day of August, 2023

C Lapointe  
(witness)

Patrick Lapointe, Jane Lapointe, Camille Lapointe  
signature of Owner(s) or Signing Officer or Authorized Agent

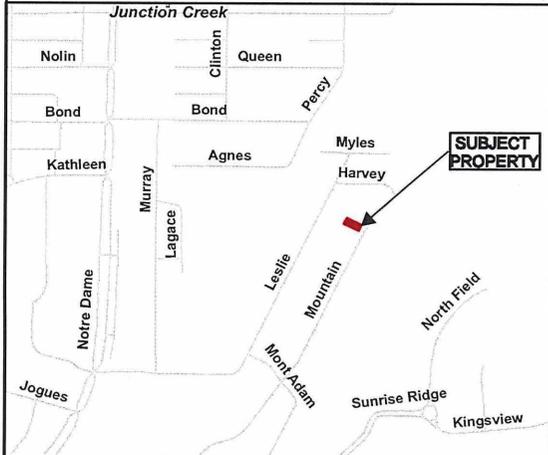
Print Name: Patrick Lapointe, Jane Lapointe

\*I have authority to bind the Corporation

Camille Lapointe

AO104/2023





**Application for Minor Variance or Permission**



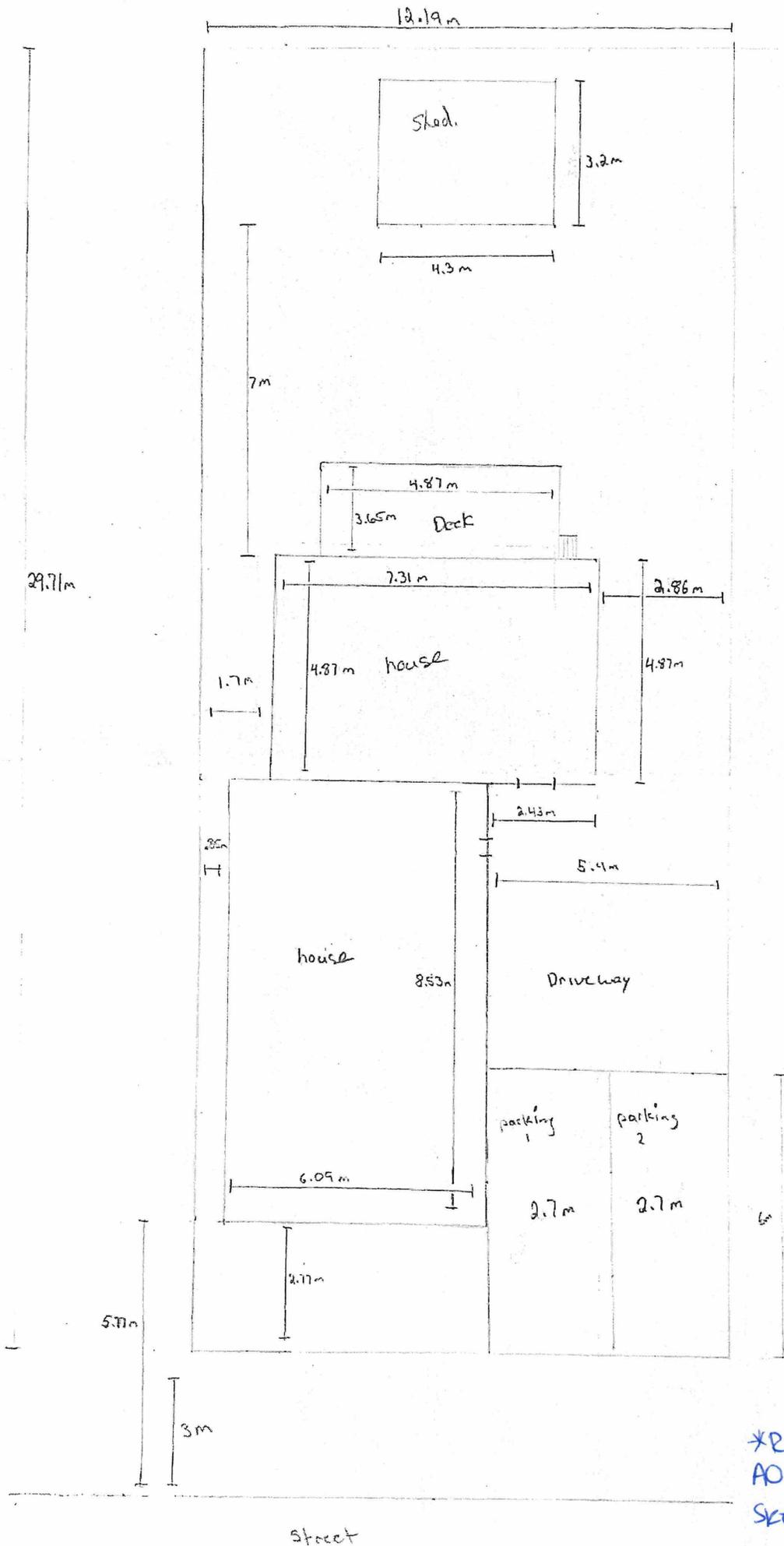
Subject Property PIN 02131-1037,  
 Parcel 5686 SES, part Lots 18 and 19, Plan M-55,  
 Part 1 on Plan 53R-10918,  
 Lot 4, Concession 4, Township of McKim,  
 327 Mountain Street, Sudbury,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0104/2023  
 Date: 2023 08 23

327 mountain

1/2-1



\*REVISED\*  
A0104/2023  
Sketch 2