

Tom Davies Square

200 Brady St

Thursday, February 24, 2022

PUBLIC HEARINGS

A0001/2022

NORMAN DOUCET CAROLINA BOHRER

Ward: 10

PIN 73592 0187, Parcel 33662, Surveys Plan SR-1228 Part(s) 3 & Plan SR-2515 Part(s) 1, Lot Pts 2 and 3, Concession 2, Township of McKim, 1140 Ramsey Lake Road, Sudbury, [2010-100Z, R1-3 Low Density Residential One]

For relief from Part 4, Section 4.2, Table 4.1 and Section 4.41, subsections 4.41.2 and 4.41.4 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling and covered deck on the subject property, firstly, to permit eaves to encroach 5.93m into the required yard, where eaves may only encroach 1.2m into the required yard but not closer than 0.6m to the lot line, secondly, providing a 12.6m setback from the high water mark of a lake or river, where no person shall erect any residential building closer than 30.0m to the high water mark of a lake or a river, thirdly, to permit a single detached residential dwelling to be 12.6m setback from the high water mark of a lake or a river, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3, fourthly, a minimum rear yard setback of 1.98m, where 7.5m is required, and fifthly, a maximum height of 12.82m, where 11.0 is permitted.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0578/1968 (JAN 6/69).

A0006/2022

JULIE ANNE DAY

Ward: 3

PIN 73352 0887, Parcel 31533 SEC SWS, Survey Plan 53R-17023 Part(s) 1, Lot Pt 1, Concession 5, Township of Dowling, 93 Blais Road, Dowling, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Application B0003/2022, providing a minimum lot frontage of 86.0m, where 90.0m is required.

A0008/2022

JACK ROCCA

Ward: 1

PIN 73586 0638, Lot(s) 297, Subdivision 4S, Lot Pt 7, Concession 3, Township of McKim, 331 Regent Street, Sudbury, [2010-100Z, C2 (General Commercial)]

For relief from Part 4, Section 4.2, Table 4.1, Part 5, Section 5.2, subsection 5.2.3.1 and Section 5.5, Table 5.5 and Part 7, Section 7.2, Table 7.1 and Section 7.3, Table 7.3 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the conversion of the existing building by removing a shared housing component having 10 guest rooms in favour of adding two residential dwelling units to the existing three residential dwelling units for a total of five residential dwellings units all contained within the existing building, firstly, providing a maximum net residential density of 86 units per hectare, where a maximum net residential density of 60 units per hectare is permitted, secondly, to recognize an existing minimum front yard setback of 0.06m, where 7.5m is required, thirdly, to recognize an existing southerly interior side yard setback of 0.3m, where 1.2m is required, fourthly, to provide for a minimum of 6 parking spaces, where 8 is required, fifthly, eaves to encroach 1.17m into the required southerly interior side yard setback (setback 0.03m from the lot line), where eaves may encroach 0.6m into the required yard but not closer than 0.6m to the lot line, and sixthly, to permit parking space #6 on the sketch submitted with the application to provide a reduced size of 2.9m by 6.0m, where the width of a required parking when the length abuts a wall or barrier shall be 3.0m and a length of 6.0m.

A0009/2022

AMERICAN IRON AND METAL COMPANY INC.

Ward: 6

PIN 73505 0795, Parcel 10207, Survey Plan 53R-8610 Part(s) Except 1, Lot Pt 7, Concession 3, Township of Hanmer, 1818 Kenneth Drive, Val Therese, [2010-100Z, RU (Rural), M6(1) (Disposal Industrial)]

For permission under Section 45(2) of the Planning Act, R.S.O.1990, c. P.13, to enlarge the legal non-conforming use of the subject property, being a salvage operation, by permitting the construction of an 840.0m2 storage building with accessory office space.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0311/1976 (JUNE 16/76) AND B0175/1979 (JUNE 11/79) AND PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A0099/1976 (JUNE 16/76) AND A0105/1979 (JUNE 11/79)

A0010/2022

CHANTELLE GORHAM

Ward: 3

PIN 73342 0853, Parcel 25317, Lot(s) 27, Subdivision M-1011, Lot Pt 8, Concession 1, Township of Levack, 35 Levack Drive, Levack, [2010-100Z, C2 (General Commercial)]

For relief from Part 4, Section 4.2, subsection 4.2.5, Table 4.1 and Part 7, Section 7.3, Table 7.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit, firstly, the existing balcony to encroach 5.48m into the required front yard, where balconies may encroach 1.8m into the required front yard, secondly, eaves with no setback from the front lot line, where eaves may encroach 1.2m into the required front yard but not closer than 0.6m to the lot line, and thirdly, the existing main building having a minimum front yard setback of 2.41m, where 6.0m is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A0140/1991 (JUNE 17/92) AND A0294/1992 (OCT 19/92)

A0011/2022

SUDBURY APARTMENT RENTALS LIMITED

Ward: 12

PINs 02133 0306 & 02133 0273, Lot(s) 68 to 70, Subdivision M-53, Lot 6, Concession 4, Township of McKim, 365 & 367 Morin Avenue, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.3 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0105/2021, providing, firstly, a minimum lot frontage of 0.0m, where 18.0m is required, and secondly, no frontage onto an assumed road, whereas no person shall erect any building on any lot that does not have frontage on an assumed road.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, MARCH 9, 2022**



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

Office Use Only 2021.01.01	
A000112020	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Norman Doucet & Carolina Bohrer	Email: [REDACTED]
Mailing Address: 1140 Ramsey Lake Road	Home Phone: [REDACTED]
City: Sudbury	Business Phone: [REDACTED]
Postal Code: P3E 6J7	Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent:	Email:
Mailing Address:	Home Phone:
City:	Business Phone:
Postal Code:	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Royal Bank of Canada
Mailing Address: 10 York Mills Rd. 3rd Floor
City: Toronto
Postal Code: M2P 0A2

4) Current Official Plan designation: Living Area I Current Zoning By-law designation: R1-3

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Height - Bylaw 2010-100Z	11.0 m	12.82 m	1.82 m
Rear Yard - Bylaw 2010-100Z	7.5 m	1.98 m	5.52 m
Water Setback - Bylaw 2021-152Z	30 m	12.6 m	17.4 m
Eaves Encroachment Bylaw 2010-100Z	1.2 m	5.93 m	-4.73 m
Permit Residential Dwelling in Shoreline Buffer Area 2021-152Z	Not Permitted	Permit	

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: 0.41 (m)

c) Description of Proposal:

Minor variance approval to facilitate the construction of a new residential home with a dwelling height of 12.82m where 11m is required, and rear yard setback of 1.98m where 7.5m is required at variance to By-law 2010-100Z

also to include approval for setback for residential buildings to the high water mark of a lake of 30m where 12.6m is required which is at variance to By-law 2021-152Z

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

For the rear yard setback, the architect and surveyor had a different interpretation of what the city has identified as the interpretation of the rear yard, and as such located the dwelling in the most appropriate location to take advantage of southern exposure and lake views. The minor variance application was submitted in December 2021 under bylaw 2010-100z, which did not include the updated water setbacks. Under bylaw 2021-152Z, we are seeking approval to build in the proposed location taking into account the revised setbacks and odd shape of the lot. Under the old bylaw the architect located the dwelling within the required water setbacks while respecting and orienting the dwelling in relation to the neighbouring properties.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73592-0187 Township: McKim Ward:
 Lot No.: 2 & 3 Concession No.: 2 Parcel(s): 33662
 Subdivision Plan No.: Lot: Reference Plan No.: 1228, 2515 Part(s): SR-1228 Part 3 SR-2515 Part 1
 Municipal Address or Street(s): 1140 Ramsey Lake Road

7) Date of acquisition of subject land. 18-Aug-2016

8) Dimensions of land affected.

Frontage 15.5 (m) Depth 79.1max (m) Area 2666.9 (m²) Width of Street 20 (m)

	Existing		Garage	Proposed
	House*			
Ground Floor Area:	94.2 (m ²)		39.9 (m ²)	263.5 (m ²)
Gross Floor Area:	94.2 (m ²)		39.9 (m ²)	539.4 (m ²)
No. of storeys:	1 + Basement		1	2 + Walkout
Width:	8 (m)		6.23 (m)	16.8 (m)
Length:	11.7 (m)		6.46 (m)	26.4 (m)
Height:	5 +/- (m)		4.6 (m)	12.8 (m)

* Existing house to be demolished upon construction of new residence

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing House*	Existing Garage	Proposed
Front:	54.6 (m)	33.5 (m)	59.7 (m)
Rear:	4.6 (m)	13 (m)	1.98 (m)
Side:	21.8 (m)	5.28 (m)	21.5 (m)
Side:	42.6 (m)	11.56 (m)	13.1 (m)

* Existing house to be demolished upon construction of new residence

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input checked="" type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

1950-1960's

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Home Length of time: Always

14) Proposed use(s) of the subject property.

Same as #13 or,

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. IPZ3

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Norman Doucet and Carolina Bohrer (please print all names), the registered owner(s) of the property described as 1140 Ramsey Lake Road, Sudbury, Ontario, P3E 6J7

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

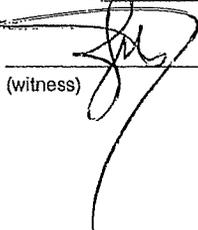
Authority to Enter Land and Photograph

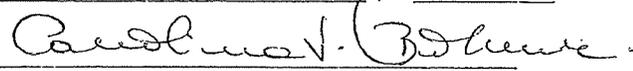
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Norman Doucet (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22 day of December, 2021

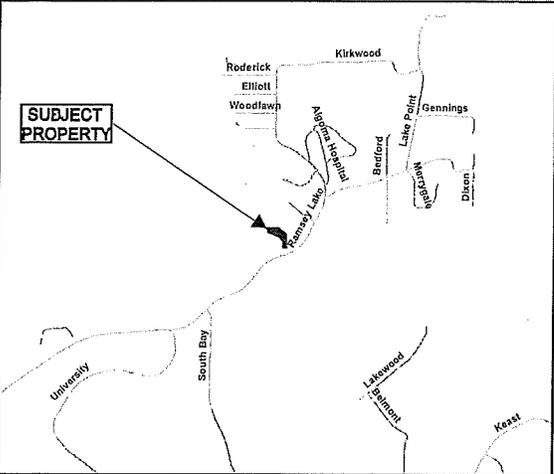
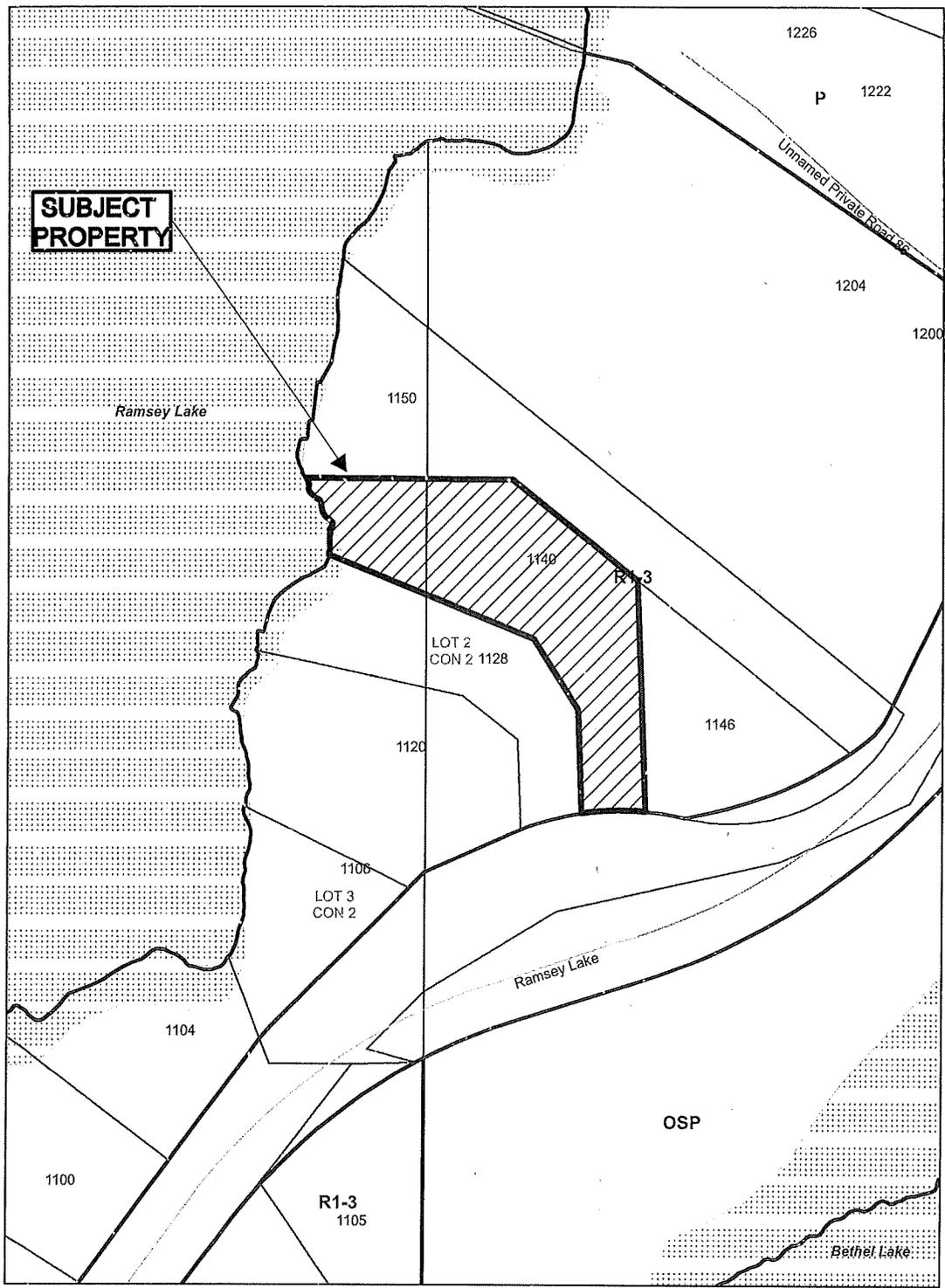

(witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Carolina Bohrer

*I have authority to bind the Corporation

A0001/2022



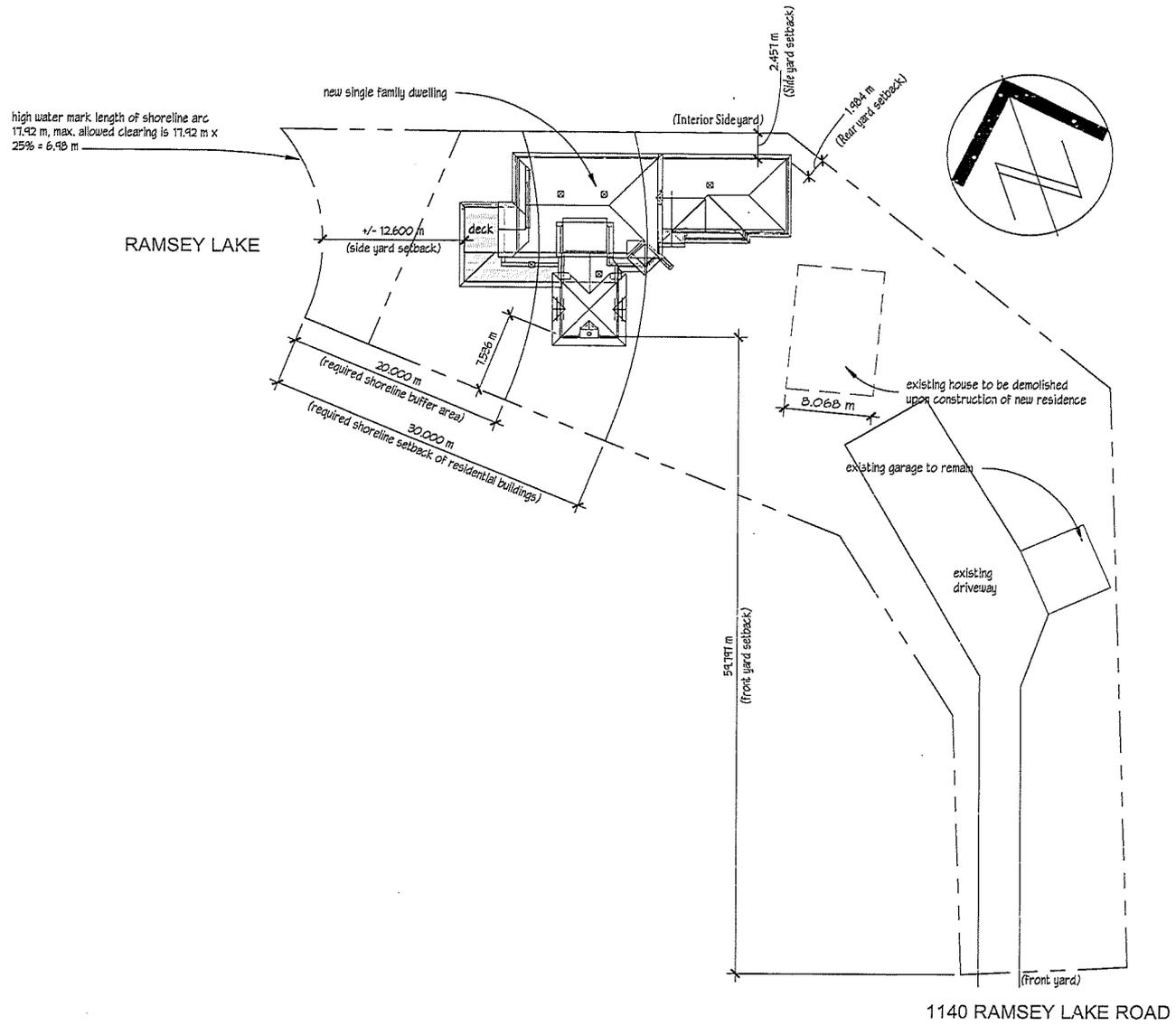
**Application for Minor
Variance or Permission**



Subject Property being
PIN 73592-0187, Parcel 33662,
Part Lot 2, Concession 2, Part 3,
Plan SR-1228, Part 1, Plan SR2515,
Township of McKim,
1140 Ramsey Lake Road, Sudbury
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0001/2022
Date: 2022 01 20



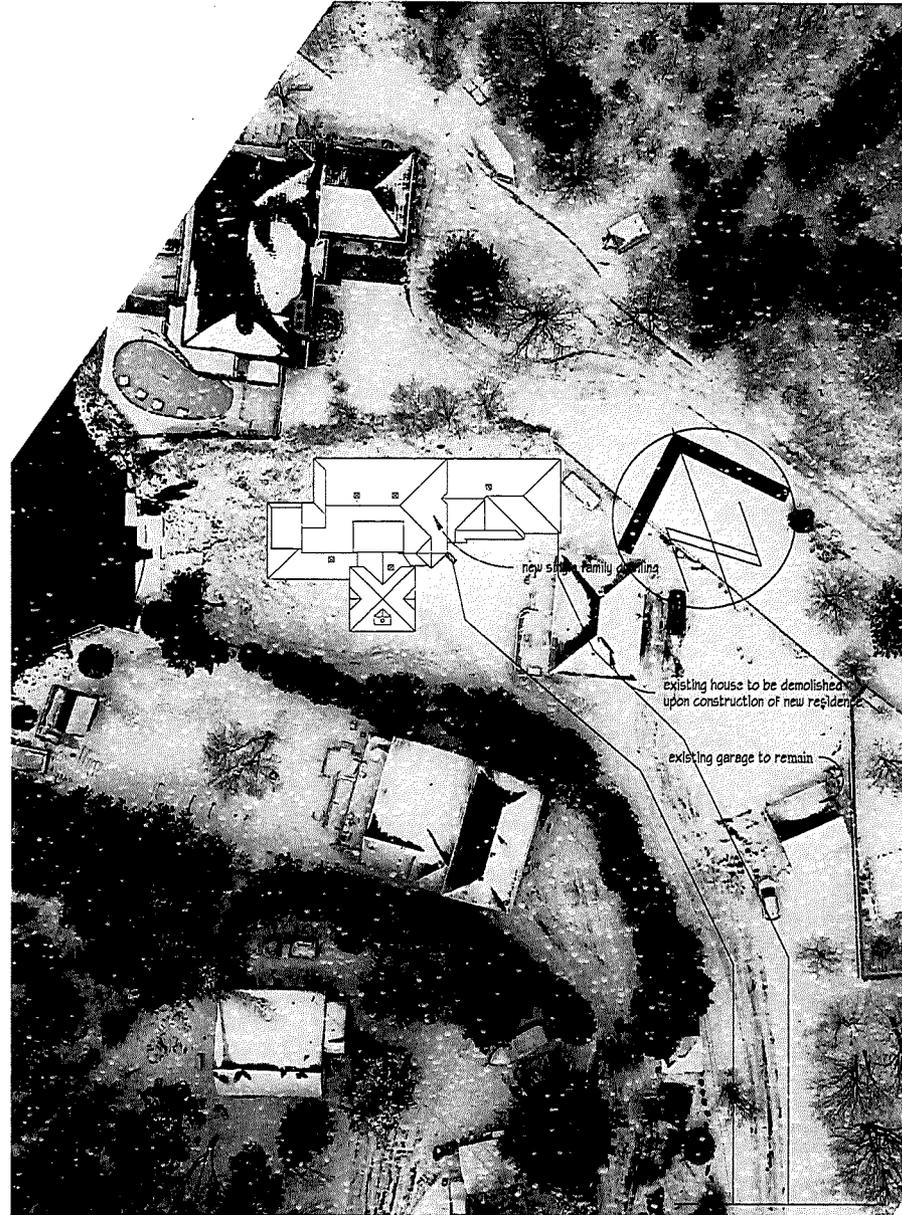
A0001/2022
 sketch 2



① SOUTH ELEVATION (metric)
1 : 150

A0001/2022
Sketch 3

RAMSEY LAKE



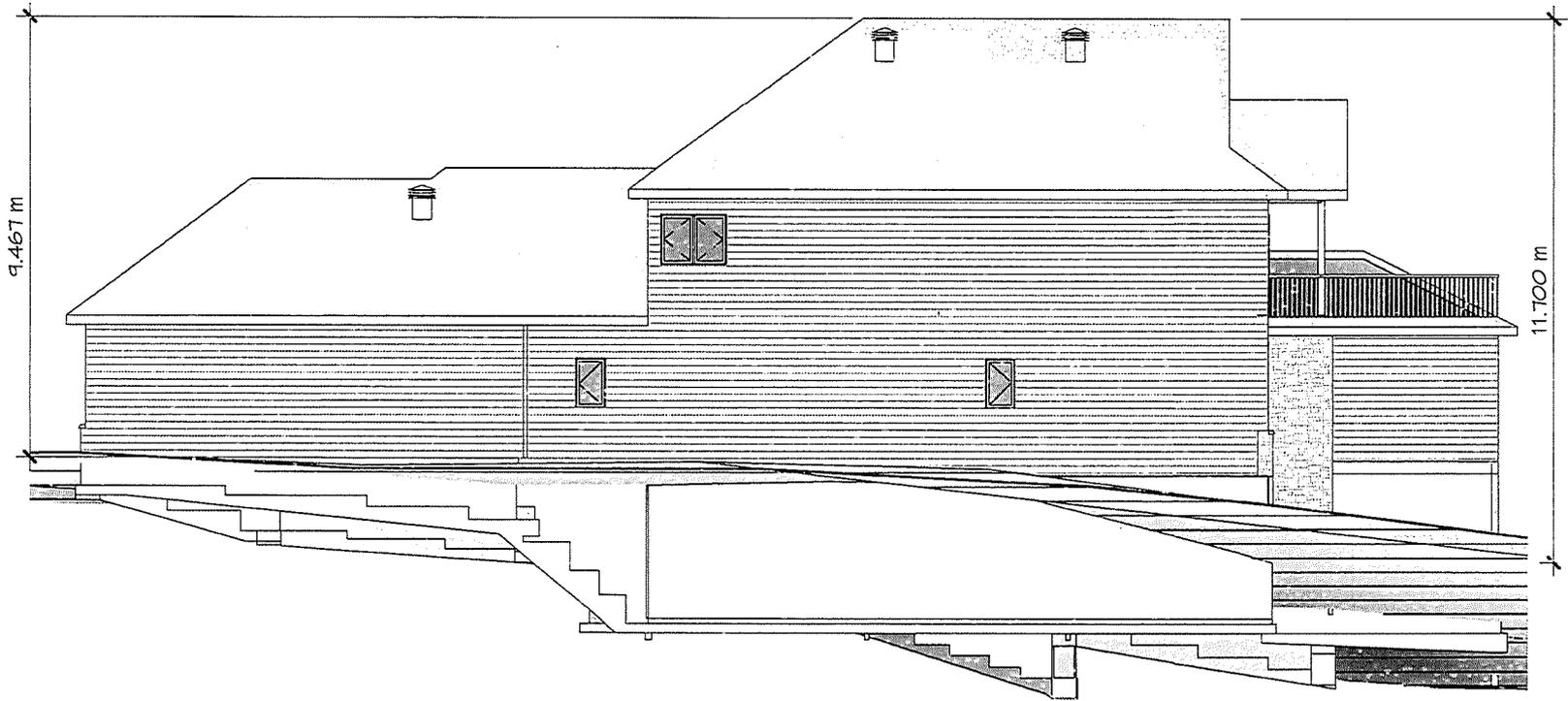
1140 RAMSEY LAKE ROAD

A0001/2022
Sketch 4



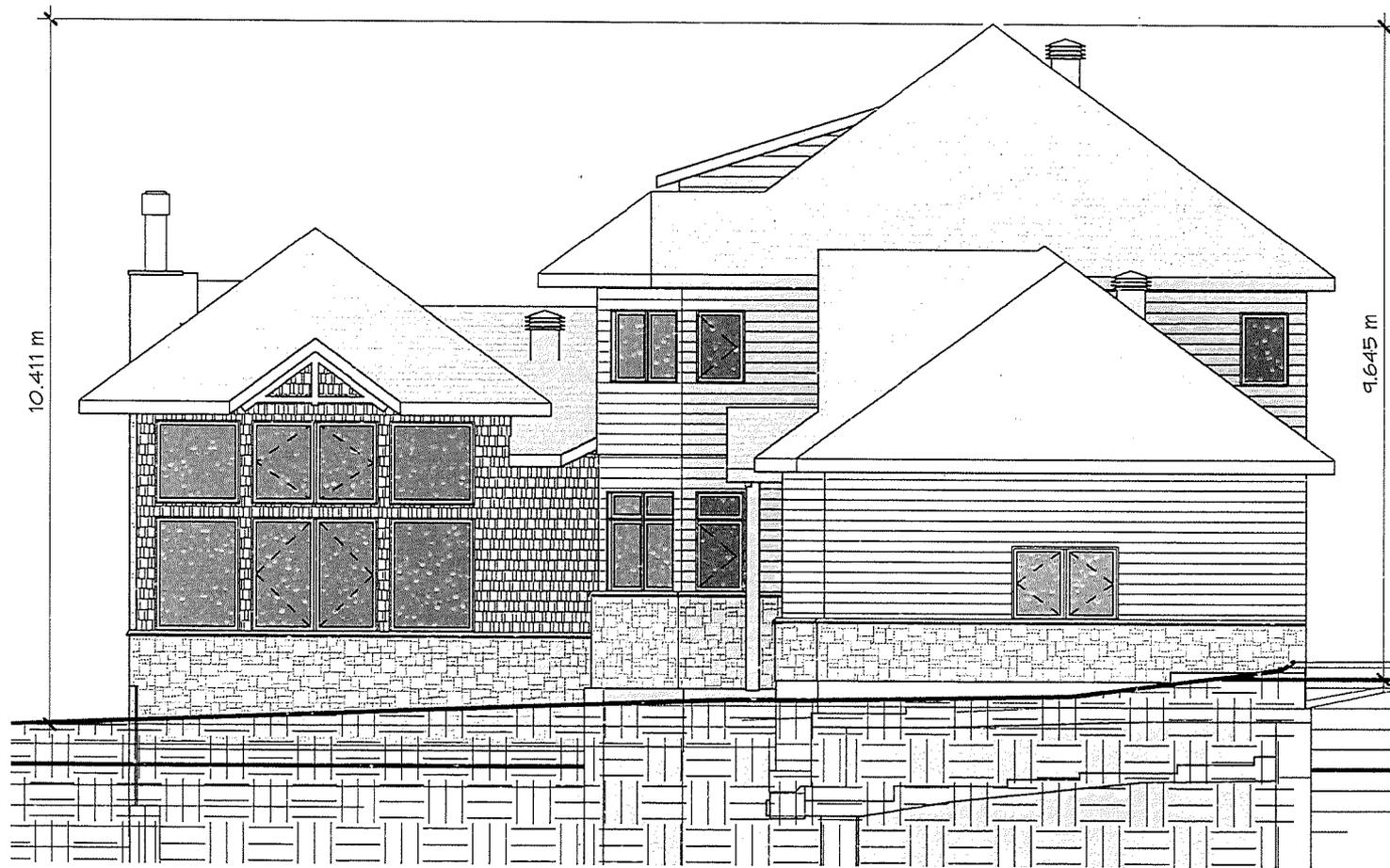
① WEST ELEVATION (metric)
1 : 100

A0001/2022
Sketch 5



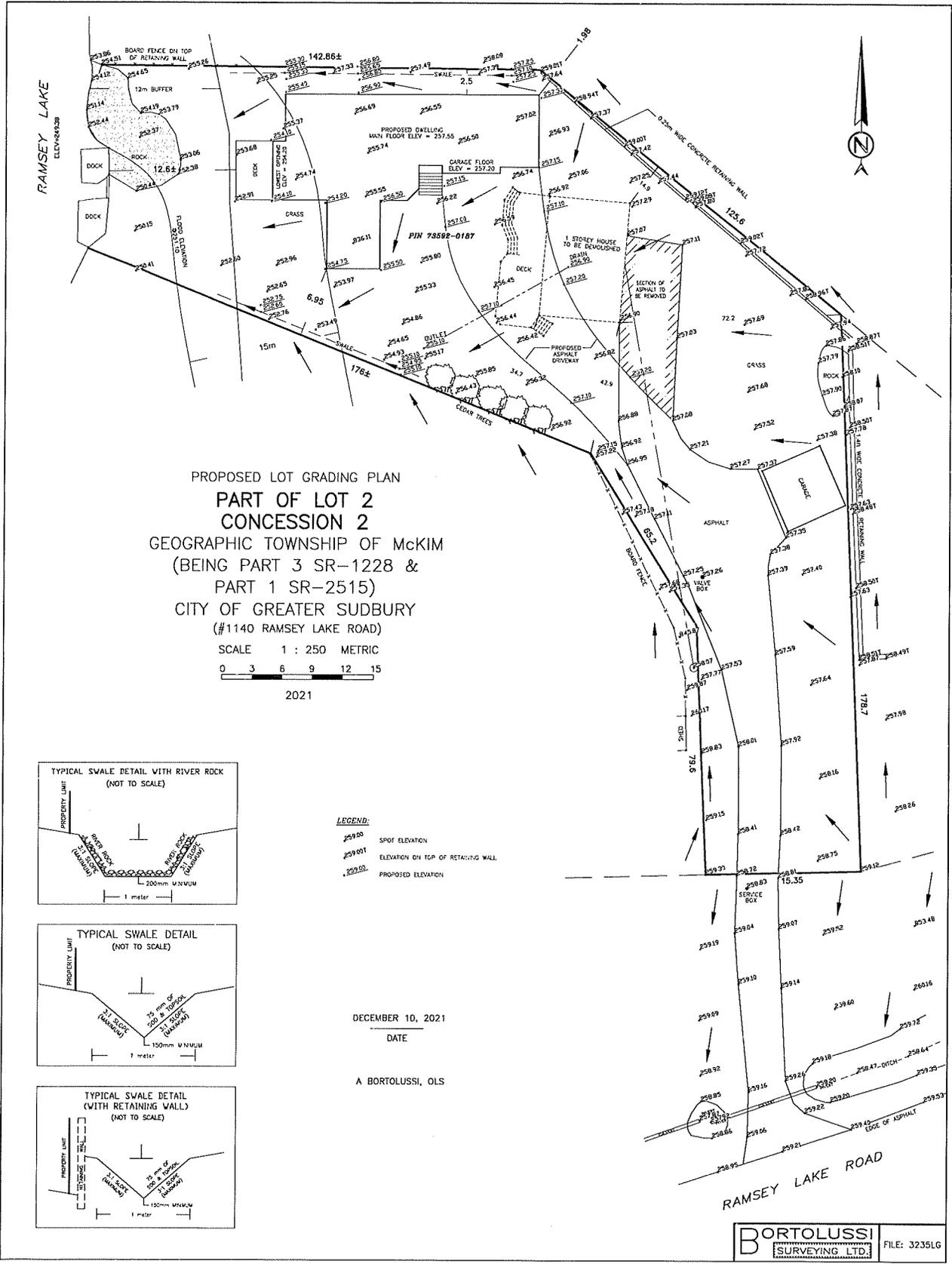
① NORTH ELEVATION (metric)
1 : 150

A 0001 / 2022
Sketch 6

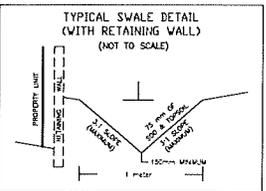
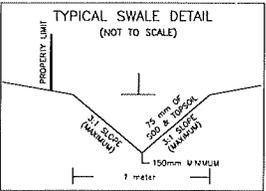
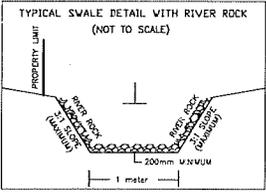


① EAST ELEVATION (metric)
1 : 100

A0001/2022
sketch 7



PROPOSED LOT GRADING PLAN
**PART OF LOT 2
 CONCESSION 2**
 GEOGRAPHIC TOWNSHIP OF MCKIM
 (BEING PART 3 SR-1228 &
 PART 1 SR-2515)
 CITY OF GREATER SUDBURY
 (#1140 RAMSEY LAKE ROAD)
 SCALE 1 : 250 METRIC
 0 3 6 9 12 15
 2021



LEGEND:
 25900 SPOT ELEVATION
 259001 ELEVATION ON TOP OF RETAINING WALL
 25900 PROPOSED ELEVATION

DECEMBER 10, 2021
 DATE
 A BORTOLUSSI, OLS

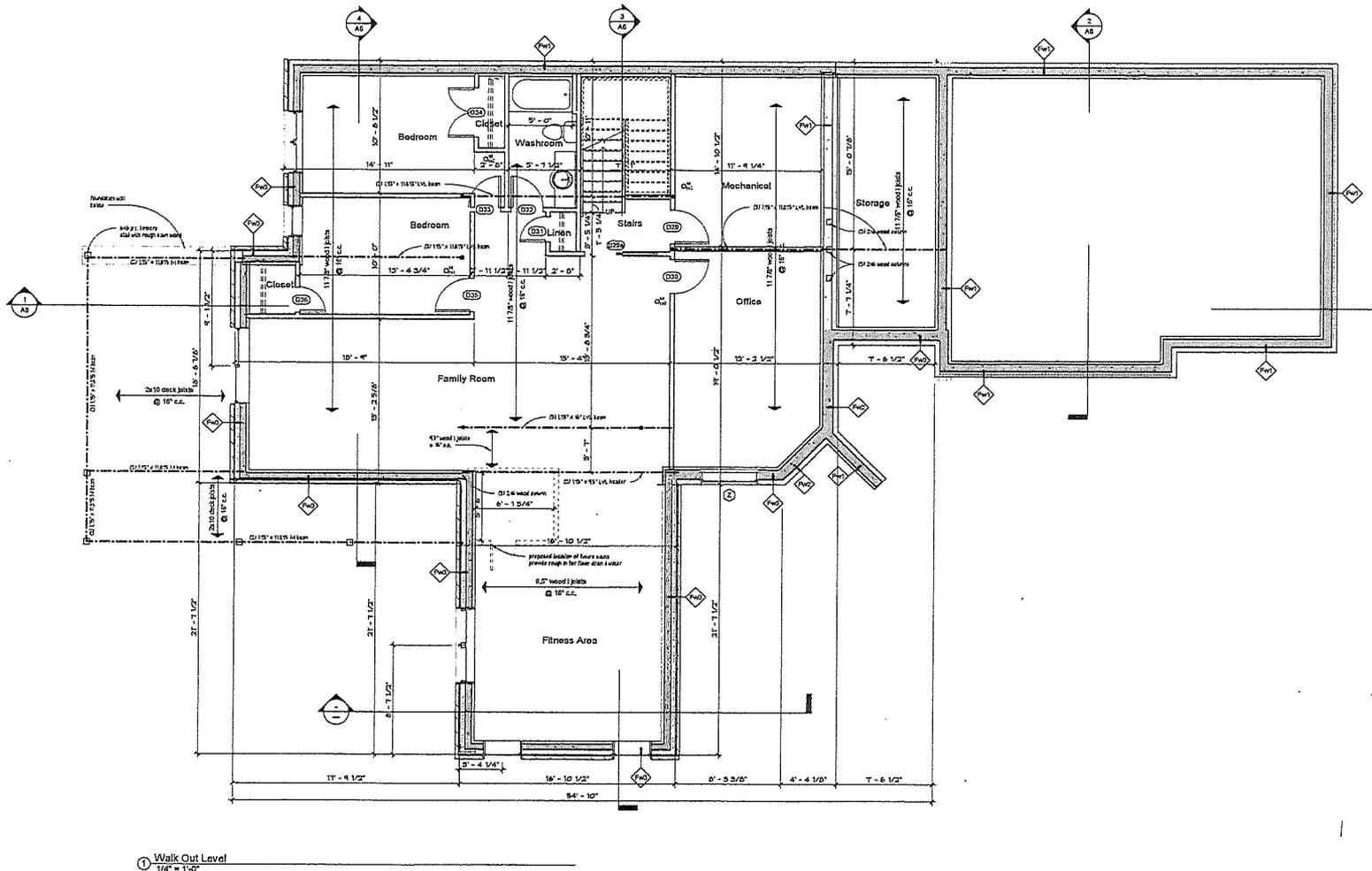
BORTOLUSSI
 SURVEYING LTD.
 FILE: 3235LG

A0001/2022
 sketch B

Existing



A000/2022
Sketch 9



1 Walk Out Level
1/4" = 1'-0"

This drawing is an instrument of service and shall remain the property of the architect. It shall not be used for construction or reproduction in any form or by any other person without the written consent of the architect.

DRAWINGS NOT TO BE SCALED

REVISION SCHEDULE	
REVISION NUMBER	REVISION DATE



roch belain
architects

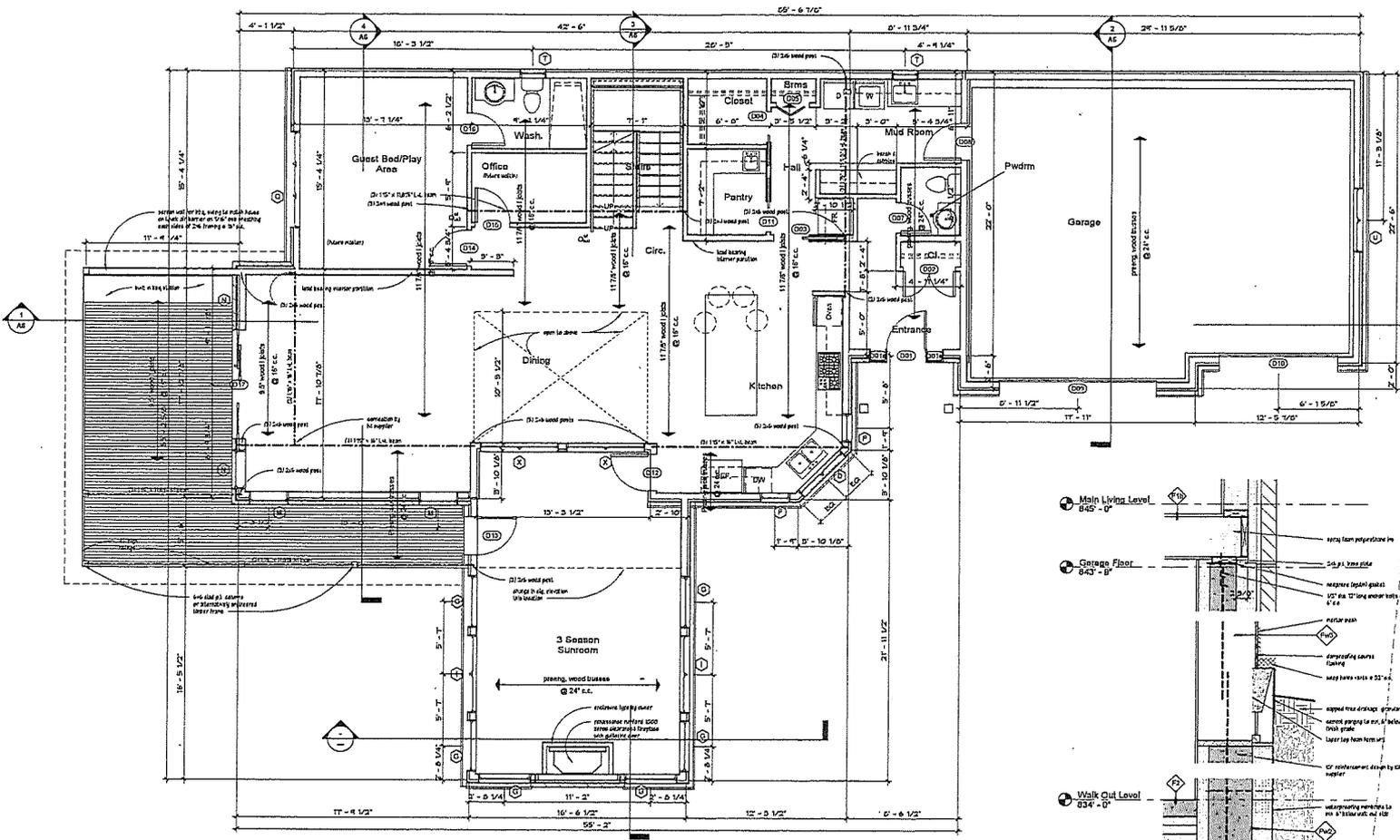
1140 Ramsey Lake Rd.
Scarborough, Ontario M1S 4Z8

Doucet Residence (rev. 1)
1140 Ramsey Lake Rd.

Walk Out Level

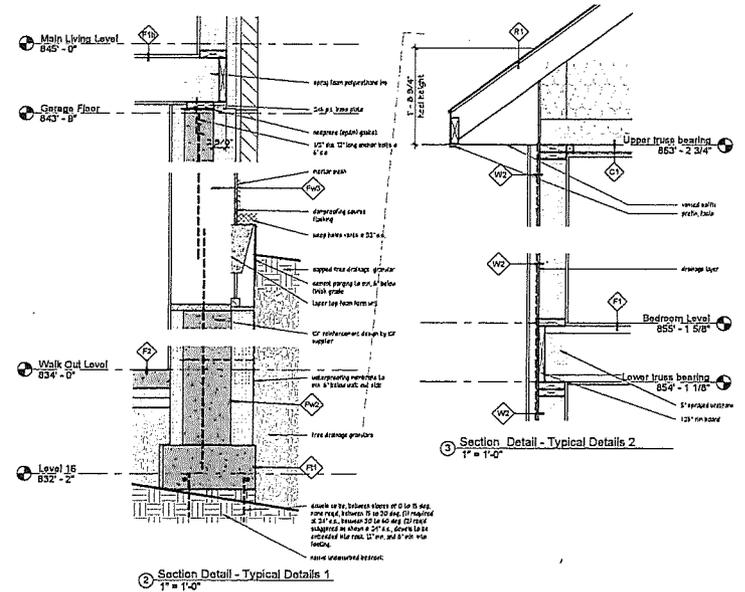
DATE	REV.	BY	CHK.	DATE
July 2021	rev.	rcb	rcb	2021
1/4" = 1'-0"		rcb	rcb	A2

*100012022
sketch 12*



Lintel Schedule		
Width of Opening	Quan Itty	Member Size (")
Up to 3'	2	2 x 4
3' to 4.4'	2	2 x 6
4.4' to 5.3'	2	2 x 8
5.3' to 6.6'	2	2 x 10
6.6' to 7.6'	3	2 x 10
7.6' to 12.0'	2	1.75 x 11.25 M

1 Main Living Level
1/4" = 1'-0"



2 Section Detail - Typical Details 1
1" = 1'-0"

3 Section Detail - Typical Details 2
1" = 1'-0"

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for addition or alterations to the project without the written consent of the Architect. The Contractor shall check and verify all existing conditions on site and the Client, before any construction begins. All drawings and specifications shall be read in conjunction with the drawings and specifications to the Architect before proceeding with the work.

DRAWINGS NOT TO BE SCALED

REVISION SCHEDULE	
REVISION NUMBER	REVISION DATE



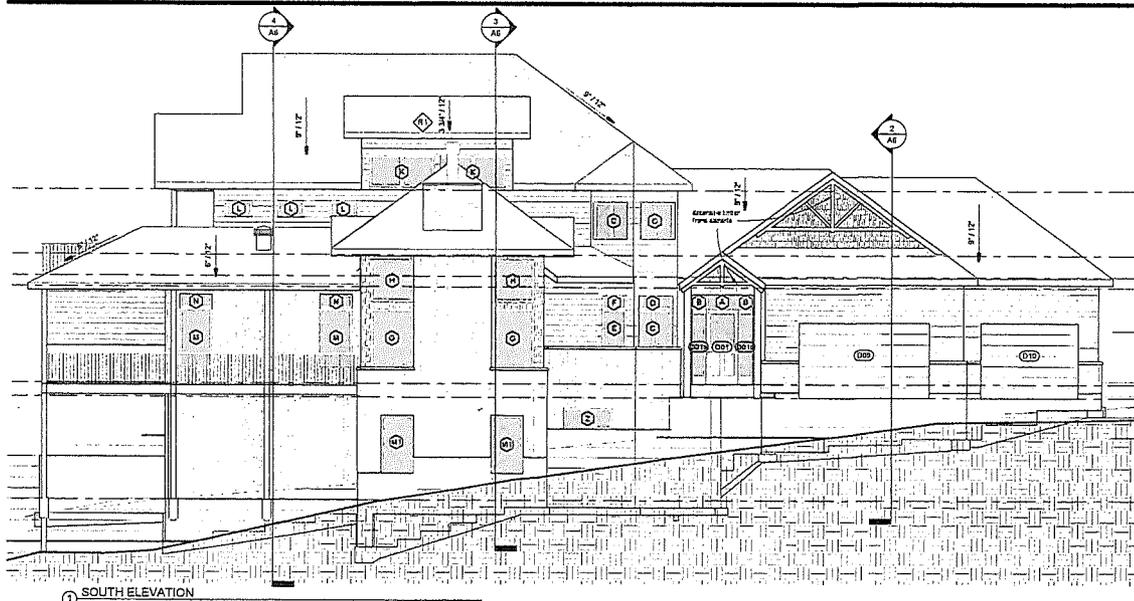
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architect o architectes

Doucet Residence (rev. 1)
1140 Ramsey Lake Rd.

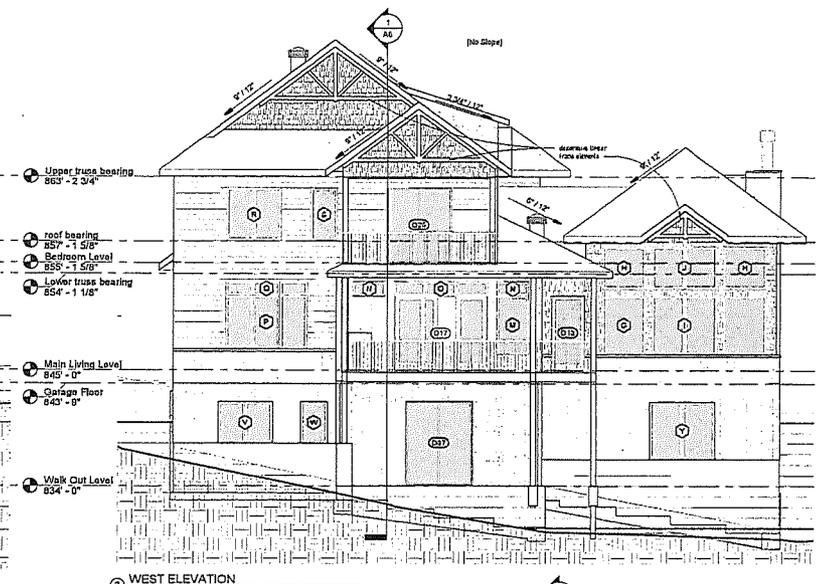
Main Floor Plan, Typical Details

Date	By	Checked By	Scale
July 2021	rcb	rcb	2021
As Indicated	rcb	rcb	A3

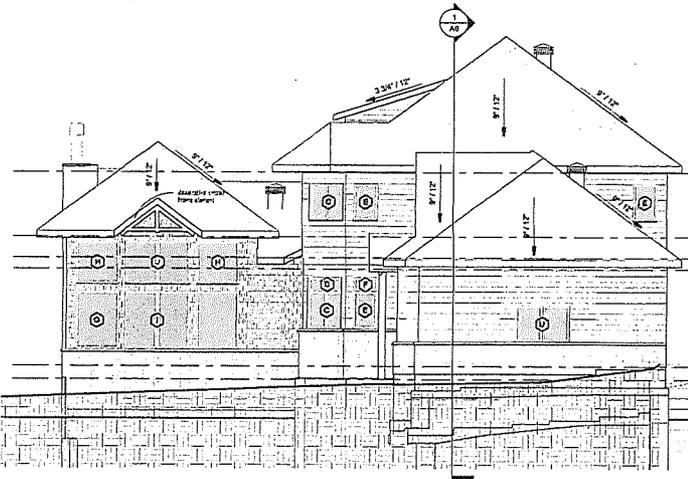
Handwritten: A0001/2022 sketch B



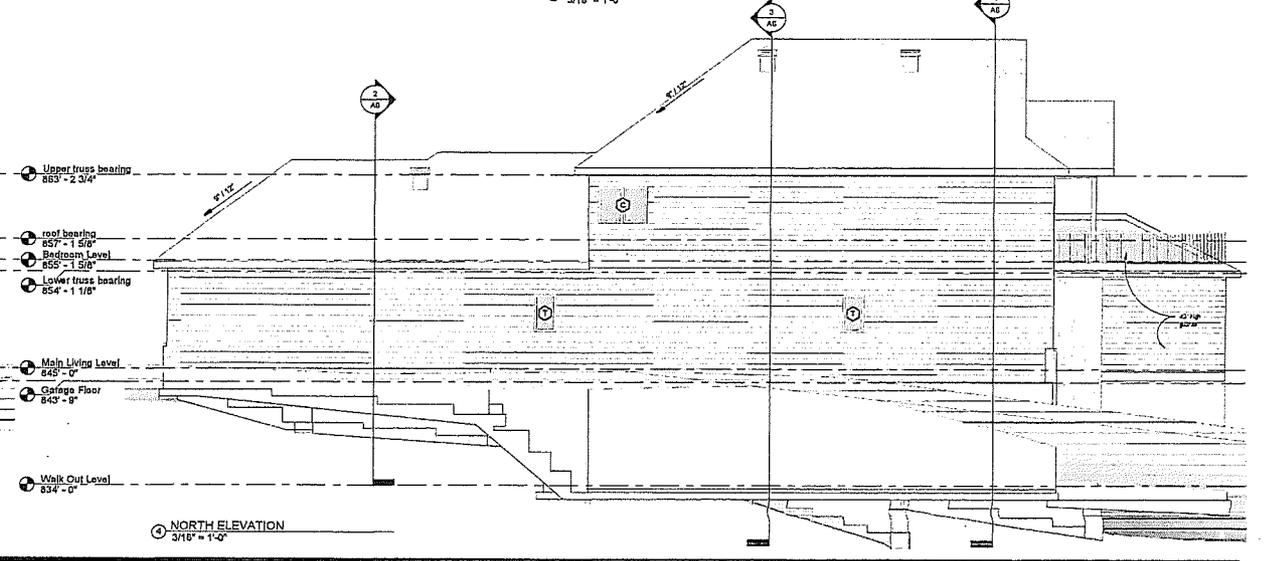
1 SOUTH ELEVATION
3/16" = 1'-0"



1 WEST ELEVATION
3/16" = 1'-0"



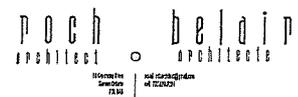
2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for addition or alteration in any other project without the Architect's permission in writing.
The contractor shall verify the accuracy of all existing conditions on site and shall check and verify all dimensions on the drawings and specifications to the Architect before proceeding with the work.
DRAWINGS NOT TO BE SCALED

REVISION SCHEDULE	
REVISION NUMBER	REVISION DATE

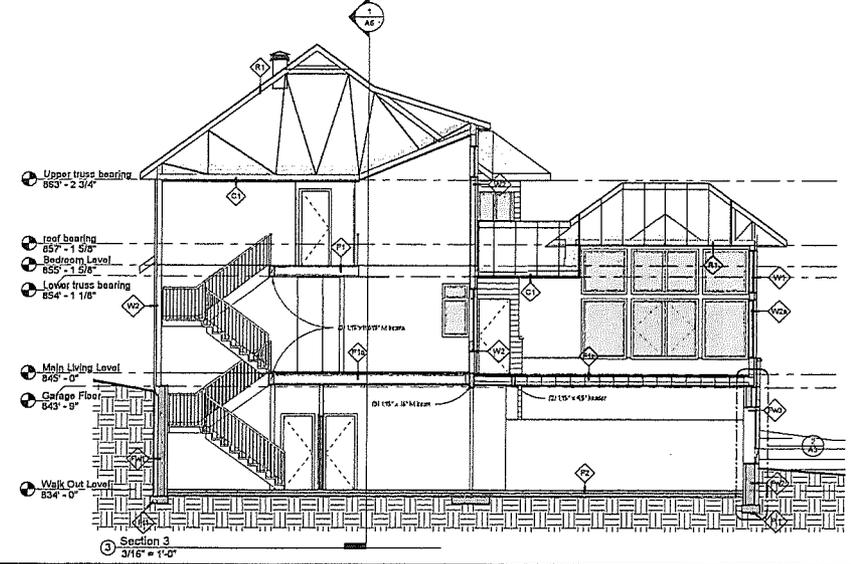
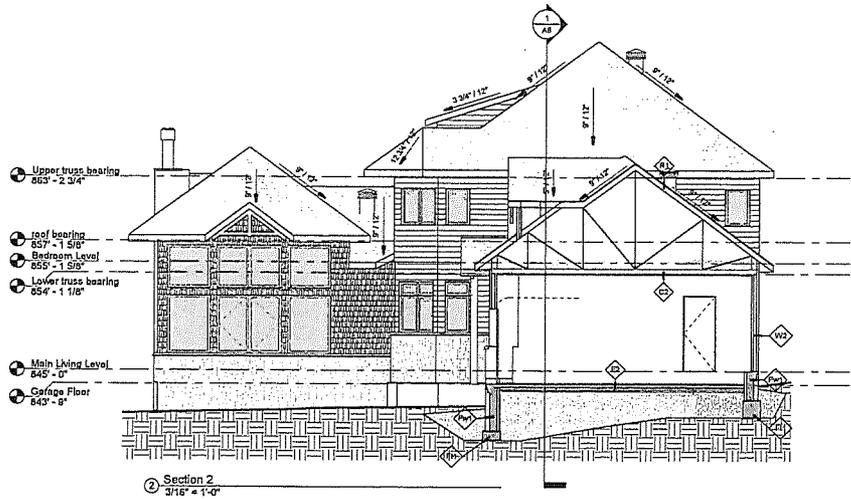
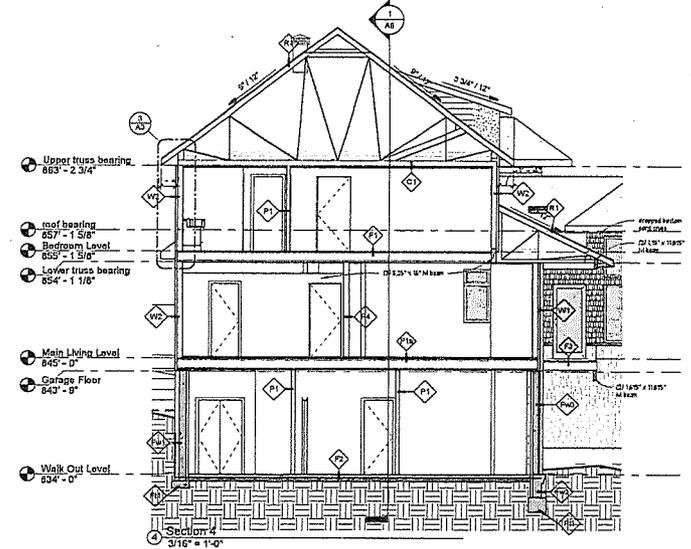
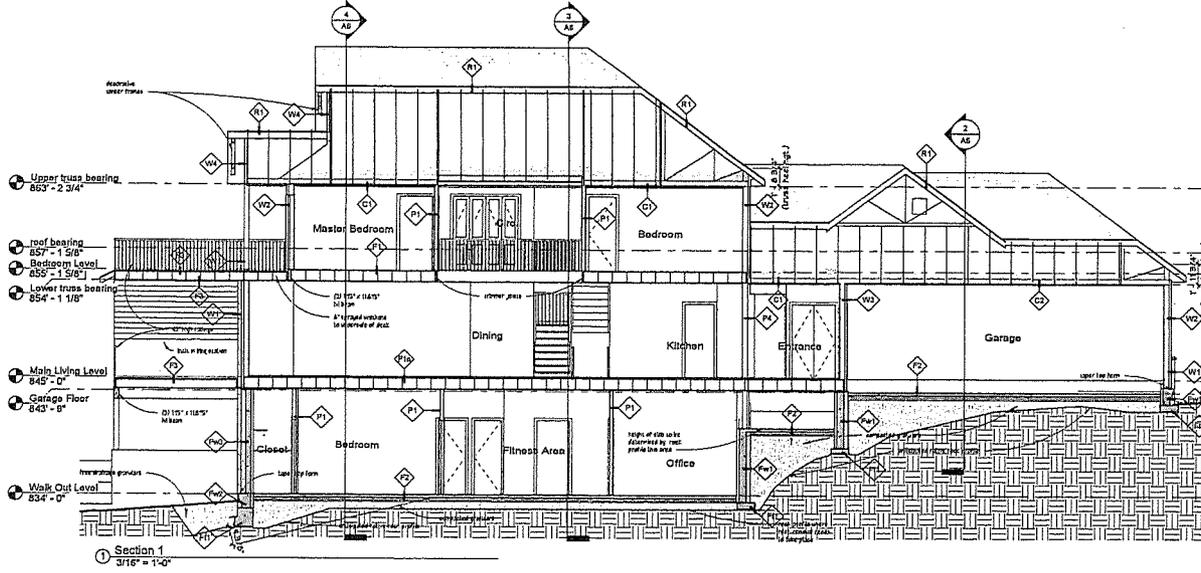


Doucet Residence (rev. 1)
1140 Ramsey Lake Rd.

Elevations

Drawn by	July 2021 rev.	rcb	2021
Checked by		rcb	
Scale	3/16" = 1'-0"		A5

PROJECT 2022
sketch 15



This drawing is an instrument of service and shall remain the property of the architect. It shall not be used for advertising or otherwise in total or in any other project without the architect's permission in writing.

FOR ANY OTHER PROJECTS AND FOR ALL OTHER PROJECTS, THE ARCHITECT SHALL BE ADVISED IN WRITING AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMISSIONS AND APPROVALS FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

DRAWINGS NOT TO BE SCALED

REVISION SCHEDULE	
REVISION NUMBER	REVISION DATE



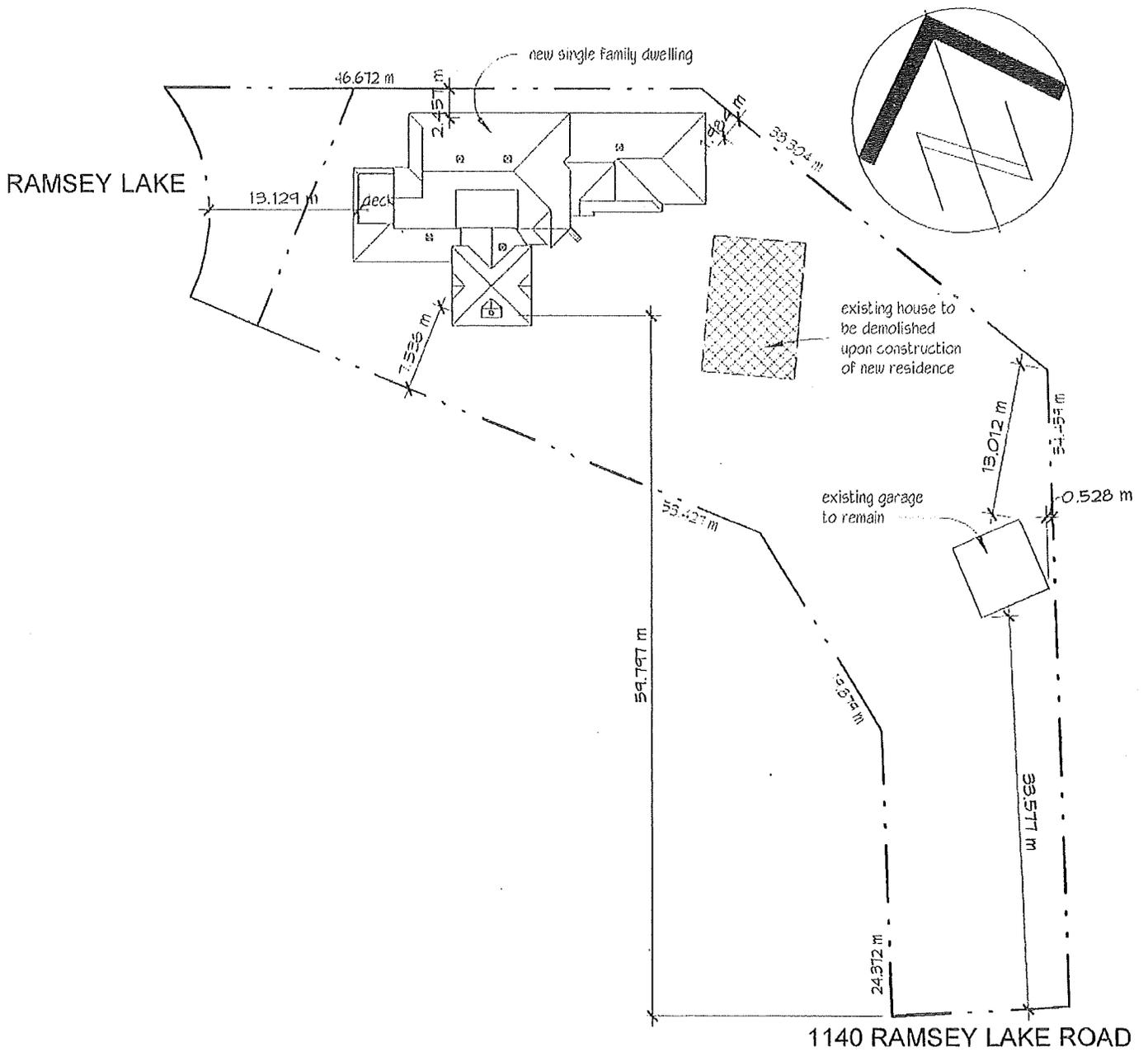
POCH DELAIP
architect o architect

Doucet Residence (rev. 1)
1140 Ramsey Lake Rd.

Sections

July 2021	rcb	2021
3/16\"/>		

POCH 2022
Sketchfile

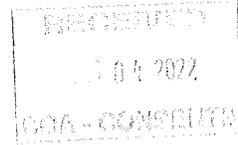


① Site Plan (minor variance)
1:500

A0001/2022
Sketch 17



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200



Office Use Only 2021.01.01	
A 0006/2022	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

**City of Greater Sudbury
 APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Julie Anne Day	Email:
Mailing Address: 71 Blais Road	Home Phone: 705-919-4573
	Business Phone:
City: Dowling	Postal Code: P0M 1R0
	Fax Phone:

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: D.S. Dorland Limited	Email: [REDACTED]
Mailing Address: 298 Larch Street	Home Phone:
	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3B 1M1
	Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address:
City: Postal Code:

4) Current Official Plan designation: Rural/Parks & Open Space Current Zoning By-law designation: Rural

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Minimum Lot Frontage	90	86	4

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
 Boundary realignment to eliminate encroachment of a paved driveway

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 Driveway has been in place for many years

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73352-0887	Township: Dowling	Ward: 3
Lot No.: 1	Concession No.: 5	Parcel(s): 31533 SWS
Subdivision Plan No.: N/A	Lot: N/A	Reference Plan No.: 53R-17023 Part(s): 1
Municipal Address or Street(s): 93 Blais Road		

7) Date of acquisition of subject land. May 23 2003

8) Dimensions of land affected.

Frontage	91.4+/-	(m)	Depth	222.5	(m)	Area	26902 +/-	(m ²)	Width of Street	20.12	(m)
----------	---------	-----	-------	-------	-----	------	-----------	-------------------	-----------------	-------	-----

9) Particulars of all buildings:	Existing	See Attached Sketch	Proposed
Ground Floor Area:	300 +/-	(m ²)	(m ²)
Gross Floor Area:		(m ²)	(m ²)
No. of storeys:	1		
Width:		(m)	(m)
Length:		(m)	(m)
Height:		(m)	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	86.7 +/- (m)	No Change (m)
Rear:	16 +/- (m)	No Change (m)
Side:	73 +/- (m)	No Change (m)
Side:	37.5 +/- (m)	No Change (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swailes

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water

If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: UNKNOWN

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Rural Residential

A0006/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): Concurrent

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. Intake Protection Zone 3 - Score is 1, Significant Groundwater Recharge Area, Highly Vulnerable Aquifer, - Score is 6

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Julie Anne Day (please print all names), the registered owner(s) of the property described as PCL 31533 SEC SWS; PT LT 1 CON 5 DOWLING PT 1, 53R17023 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize D.S. Dorland (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

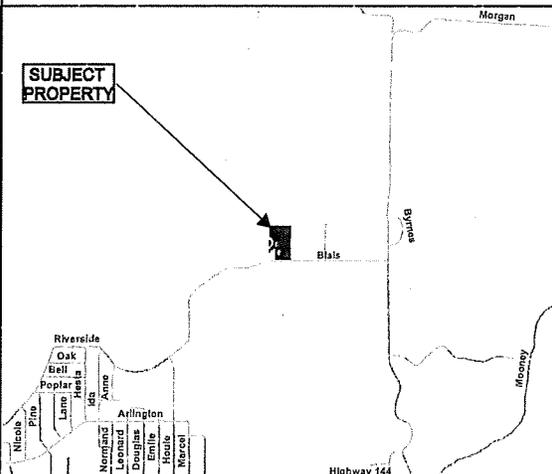
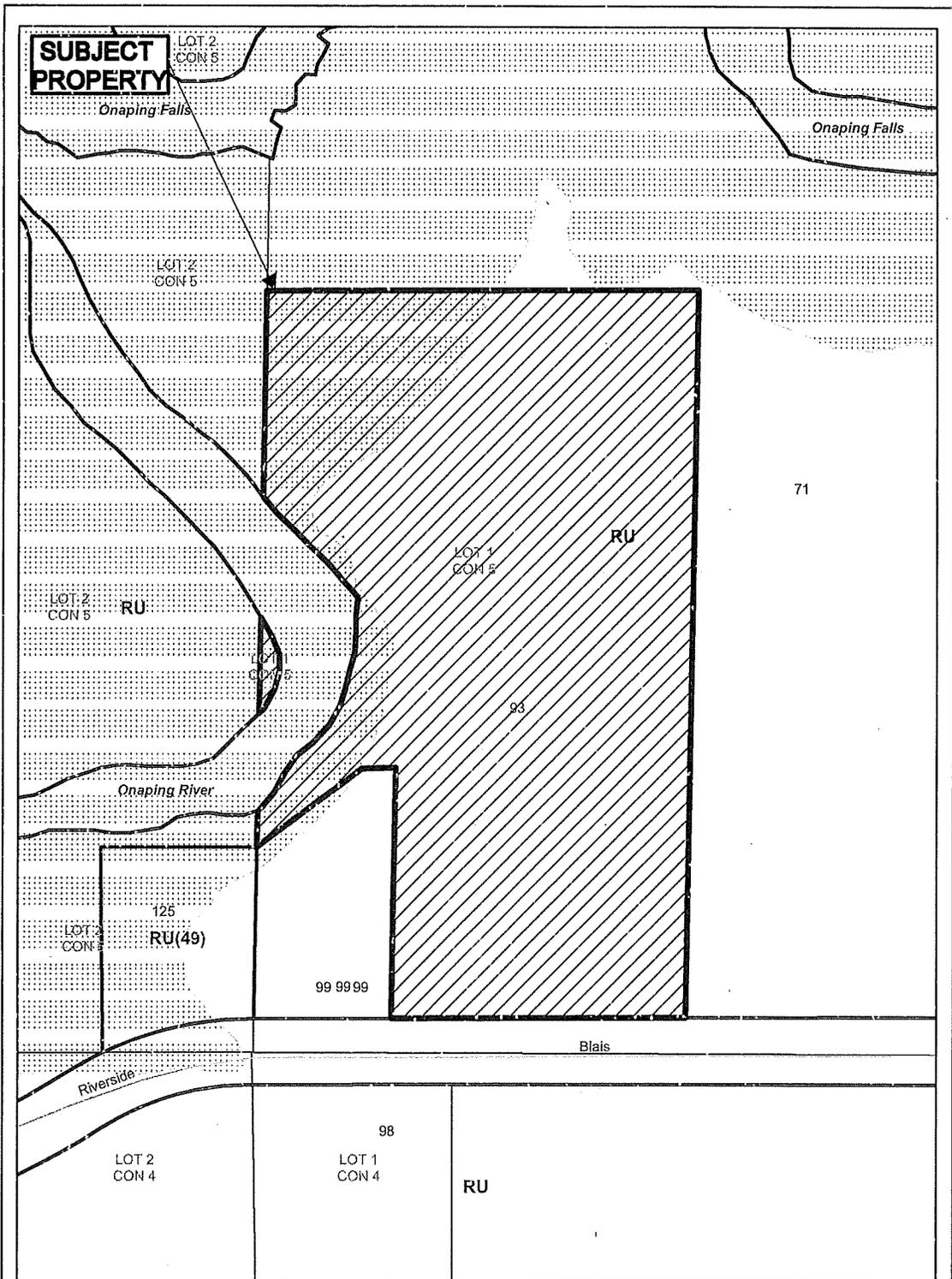
Dated this 18th day of January, 2022

David Dorland
(witness)

Julie Beaudoin Day
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Julie Beaudoin Day

*I have authority to bind the Corporation 10006/2022



Application for Minor Variance or Permission

Subject Property being
 PIN 73352-0887,
 Parcel 31533 SEC SWS,
 Part Lot 1, Concession 5,
 Part 1, Plan 53R-17023
 Township of Dowling,
 93 Blais Road, Dowling,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

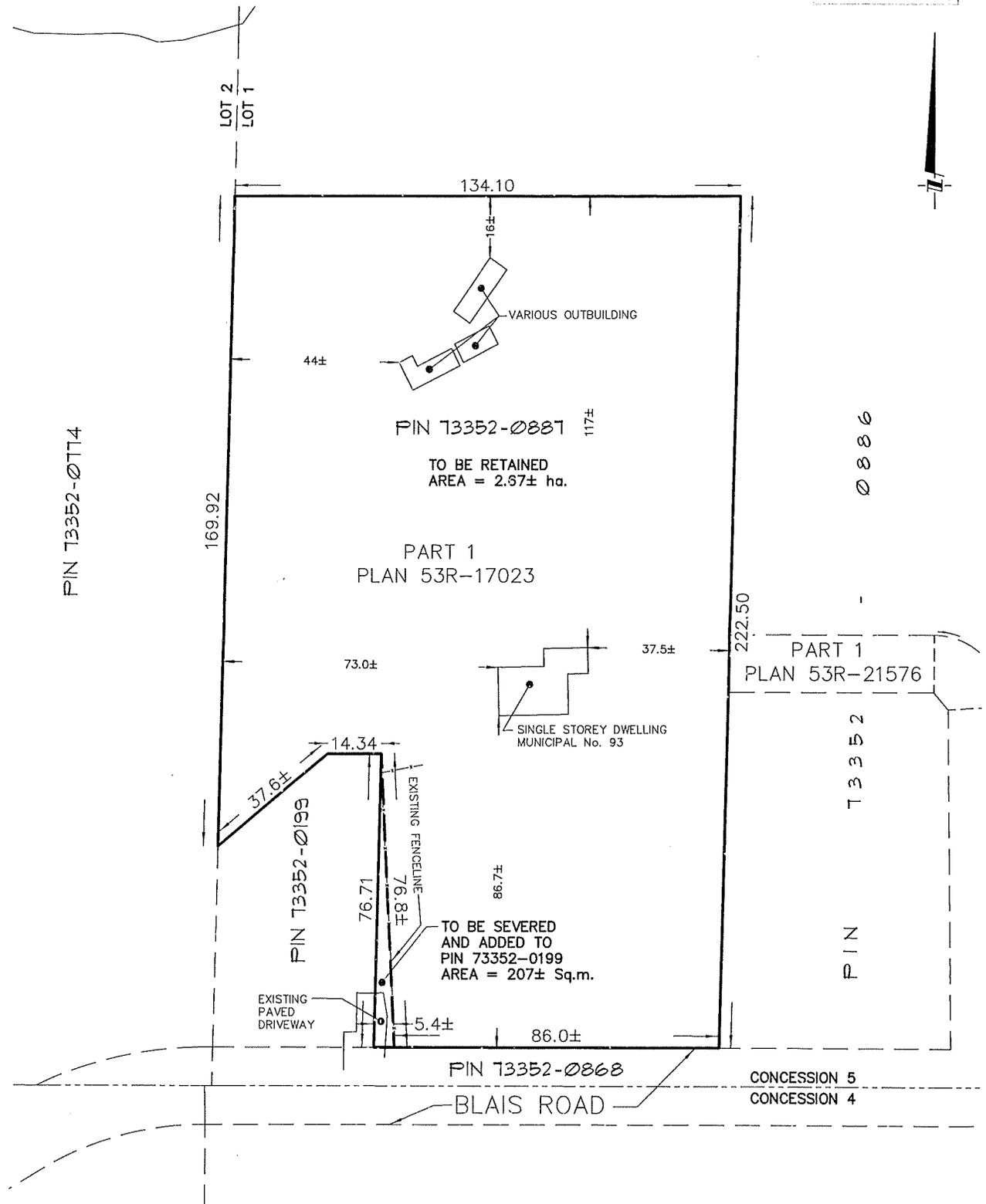
A0006/2022
 Date: 2022 01 25

SKETCH FOR PLANNING ACT APPLICATION
PART OF LOT 1
CONCESSION 5
 GEOGRAPHIC TOWNSHIP OF DOWLING
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY

NOTE

THIS IS NOT A PLAN OF SURVEY AND
 SHOULD ONLY BE USED FOR THE PURPOSE
 STATED IN THE TITLE BLOCK.

RECEIVED
 JAN 24 2022
 COA - CONSENTS



*Approved 2022
 Sketch 2*

D.S. DORLAND LIMITED		ONTARIO LAND SURVEYORS GEOMATICS PROFESSIONALS
298 LARCH STREET SUDBURY, ONTARIO, P3B 1M1 PHONE (705) 673-2556 FAX (705) 673-1051 WWW.DSDORLANDLIMITED.CA		
PREPARED BY : WJM	SCALE : 1:1000 METRIC	
CHECKED : ****	CAD FILE : 17215 RPLAN.dwg	
DATE : JANUARY 20, 2022	P.S. TAB : CONSENT SKETCH 73352-0887	

SCALE 1:1000





Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

86.00 uph
 60 permit

8 pkg spaces
 ask with 3.1m
 office floor space all
 or eliminate?
 yards?
 legal existing?

Office Use Only 2020 01 01
APPROVED
S.P.P. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Jack Rocca Email: [REDACTED]
 Mailing Address: 87 Baywest Road Home Phone: [REDACTED]
 City: Sudbury, Ont. Postal Code: N3B 3X7 Business Phone: [REDACTED]
 Fax Phone: [REDACTED]

If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
 Mailing Address: _____ Home Phone: _____
 City: _____ Postal Code: _____ Business Phone: _____
 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
 Mailing Address: N/A
 City: _____ Postal Code: _____

Current Official Plan designation: Mixed Use Commercial Current Zoning By-law designation: C-2

a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
① C2 residential density	60 uph	86.00 uph	26.00 uph
② Front yard setback	7.5 m	0.0 m	7.5 m
③ Left side yard setback	1.2 m	0.7 m	0.5 m
④ Parking required	8 spaces	6 spaces	2
⑤ Eaves encroachment	0.6 m	0.7 m setback	0.1 m

R.
(5 units)
R.
R.

b) Is there an eave encroachment? Yes No
 Encroach. 1.17 m
 If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Convert 10 renting rooms into 2 apt. units
legalize all the apt. units. Front yard should be 0.1 meters,
is 0.1 m; left side yard should be 1.2 m, is 0.1 m.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: 8 parking spaces
are required for 5 residential units. Zoning only allows 3 veh. units.
Front and left side yard requirements, front should be 0.1 m
and is 0.0 m, left side yard should be 1.2 m, and is 0.1 m.

331 Regent St. - Jack Rocca

⑥ 5 a)	Variance To	Bylaw Requirement	Proposed	Difference
	Width parking	3 m.	2.9 m.	.1 m.
	Spot No. 6			

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73586-0638 Township: McKiim Ward: _____
 Lot No.: _____ Concession No.: _____ Parcel(s): _____
 Subdivision Plan No.: 45C Lot: 297 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 331 Regent Street, Sudbury

7) Date of acquisition of subject land. March 5, 2021

8) Dimensions of land affected.

Frontage 15.24 (m) Depth 38.1 (m) Area 580.66 (m²) Width of Street 20.1168 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	<u>278.71</u>	(m ²)	<u>278.71</u>	(m ²)
Gross Floor Area:	<u>same x 2 (Basement)</u>	(m ²)	<u>same x 2 (Basement)</u>	(m ²)
No. of storeys:	<u>1</u>		<u>1</u>	
Width:	<u>12.192</u>	(m)	<u>12.192</u>	(m)
Length:	<u>22.86</u>	(m)	<u>22.86</u>	(m)
Height:	<u>4.26</u>	(m)	<u>4.26</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>0.06</u>	(m)	<u>same</u>	(m)
Rear:	<u>15.14</u>	(m)	<u>same</u>	(m)
Side:	<u>2.95</u>	(m)	<u>same</u>	(m)
Side:	<u>0.09</u>	(m)	<u>same</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input checked="" type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | <input type="checkbox"/> |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

Unknown.

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential 3 apts. + 10 renting rooms. Length of time: 15 years plus.

14) Proposed use(s) of the subject property.

Same as #13 or, Residential, 5 apt. units.

15) What is the number of dwelling units on the property? 3 apts. + 10 renting rooms.

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? 5

17) Existing uses of abutting properties: Commercial and mixed comm. - residential, residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Jack Rocca (please print all names), the registered owner(s) of the property described as 931 Regent Street, Sudbury in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize NA (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

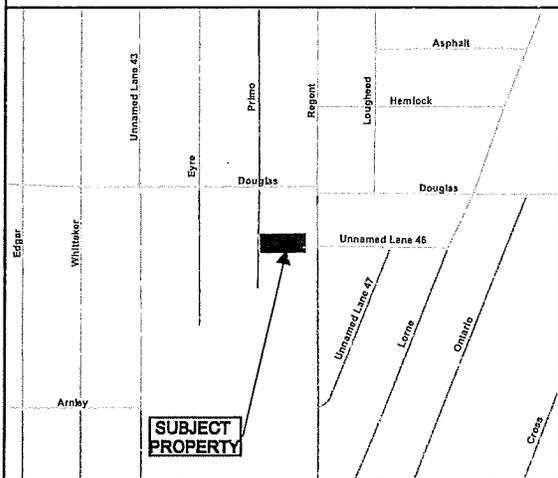
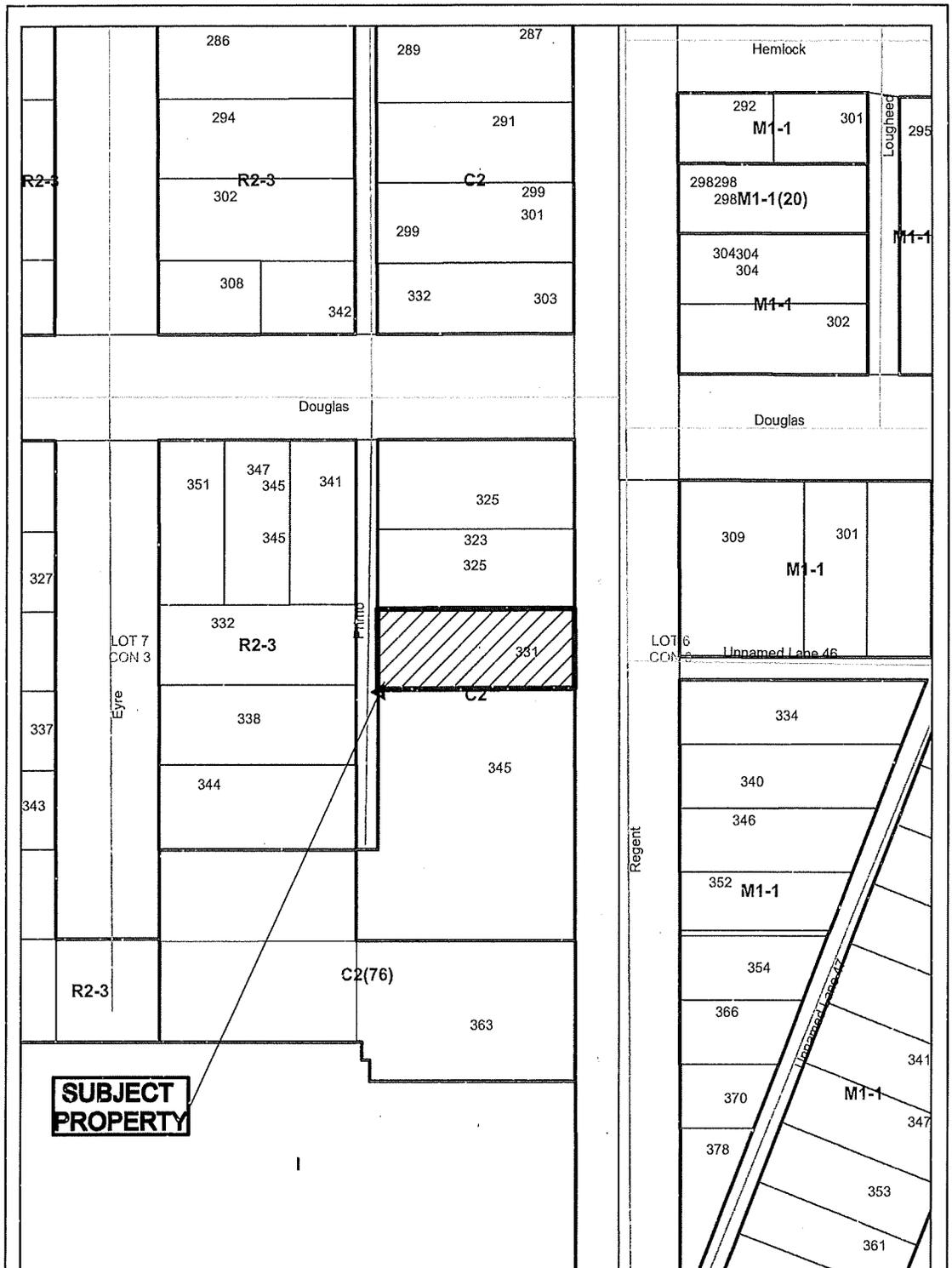
Dated this 27 day of January, 2022

Susan Labelle
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Jack Rocca

*I have authority to bind the Corporation

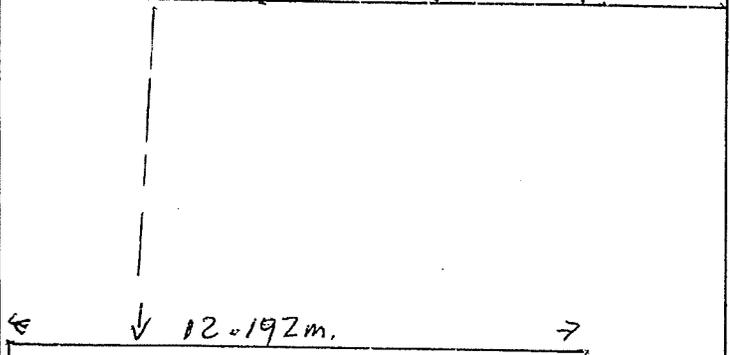
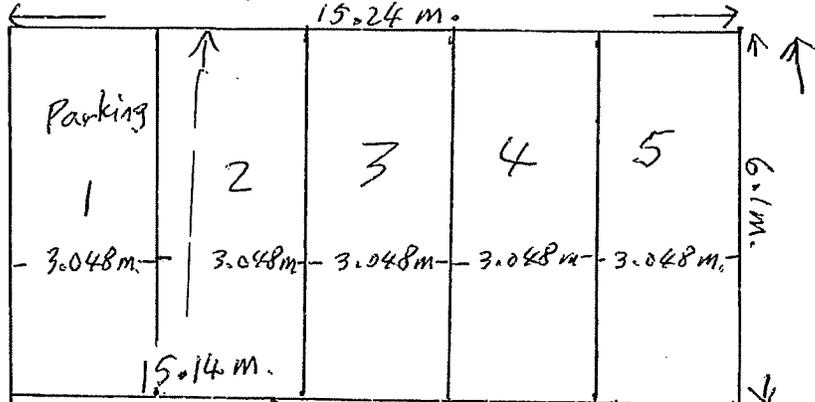


Application for Minor Variance or Permission

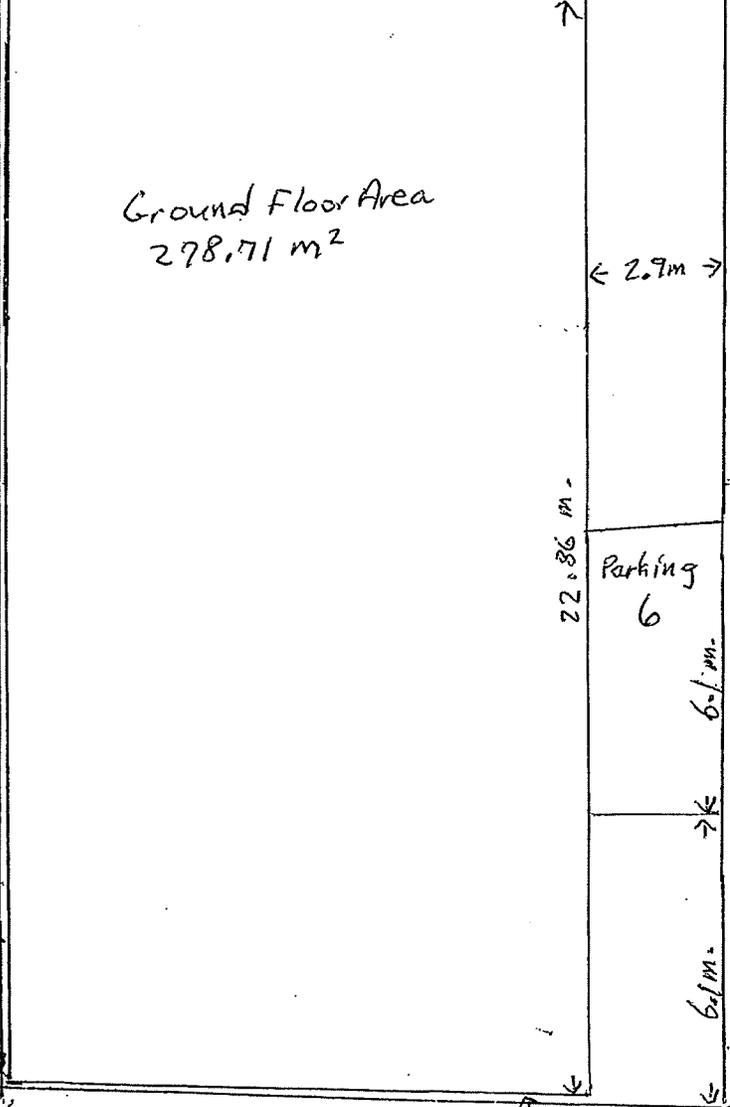
Subject Property being
 PIN 73586-0638, Lot 297, Plan 4S,
 Part Lot 7, Concession 3,
 Township of McKim,
 331 Regent Street, Sudbury
 City of Greater Sudbury

Sketch 1, NTS A0008/2022
 NDCA Date: 2022 02 07

Municipal Laneway



Ground Floor Area
278.71 m²



38.1m.

Eaves Encro. 0.03m

0.3m.

15.24 m. 0.06m

Regent street.

10008/2022
Sketch 2



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2021.01.01	
A 0009/2021	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT: SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): American Iron and Metal Company Inc.	Email: [REDACTED]
Mailing Address: 75 Steel City Court	Home Phone: _____
	Business Phone: [REDACTED]
City: Hamilton	Postal Code: L8H 3Y2
	Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: IBI Group c/o Jared Marcus	Email: [REDACTED]
Mailing Address: 200-360 James Street North	Home Phone: _____
	Business Phone: [REDACTED]
City: Hamilton	Postal Code: L8L 1H5
	Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: General Industrial Current Zoning By-law designation: Disposal Industrial M6(1)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
Expansion of a legal non-conforming salvage operation. The proposed is for the construction of a 840m² storage building with accessory office space

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The lands are a legal non-conforming use, due to the Wellhead Protection policies which prohibit salvage operations on the lands.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Hanmer Ward: _____
 Lot No.: Pt. Lot 7 Concession No.: 3 Parcel(s): _____
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 1818 Kenneth Drive, Val Therese

7) Date of acquisition of subject land. 2020

8) Dimensions of land affected.

Frontage 126 (m) Depth VARIES (m) Area 15,180 (m²) Width of Street 20.7 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	<u>Combined 432.5</u>	(m ²)	<u>747</u>	(m ²)
Gross Floor Area:	<u>±580.1</u>	(m ²)	<u>840</u>	(m ²)
No. of storeys:	<u>1 to 2</u>		<u>1</u>	
Width:	<u>varies</u>	(m)	<u>32.46</u>	(m)
Length:	<u>Varies</u>	(m)	<u>26.13</u>	(m)
Height:	<u>varies</u>	(m)		(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>3.71</u>	(m)	<u>37.11</u>	(m)
Rear:	<u>734.28</u>	(m)	<u>727.77</u>	(m)
Side:	<u>85.54</u>	(m)	<u>47.72</u>	(m)
Side:	<u>2.85</u>	(m)	<u>46.33</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Automobile and metal recycling Length of time: _____

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? _____

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Rural Residential

A0009/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. WHPA Kenneth B & C

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, American Iron and Metal Company Inc. (please print all names), the registered owner(s) of the property described as Part of Lot 7 Concession 3, Geographic Township of Hanmer, City of Greater Sudbury, District of Sudbury in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize IBI Group (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of November, 2021

(witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: American Iron & Metal inc.

*I have authority to bind the Corporation

10009/2022



IBI GROUP
200 East Wing - 360 James Street North
Hamilton ON L8L 1H5 Canada
tel 905 546 1010
ibigroup.com

November 22, 2021

Chair and Members of Committee of Adjustment
c/o Ms. Nia Lewis, Consent Official, Secretary-Treasurer
City of Greater Sudbury
200 Brady Street
Sudbury, Ontario P3A 5P3

Dear Chair and Members of Committee of Adjustment:

**APPLICATION FOR MINOR VARIANCE - EXPANSION OF LEGAL NON-CONFORMING USE
1818 KENNETH DRIVE, VAL THERESE**

On behalf of the owner, American Iron and Metal Company Inc. (AIM), we are pleased to submit the enclosed application of Minor Variance, under Section 45(2) of the *Planning Act, R.S.O. 1990, c. P.13*, for the expansion of a legal non-conforming use, for the lands located at 1818 Kenneth Drive, Val Therese.

Expansion of an Existing Use

Section 45(2)(a) of the *Planning Act* states:

In addition to its powers under subsection (1), the committee, upon any such application,

- (a) where any land, building or structure, on the day the by-law was passed, was lawfully used for a purpose prohibited by the by-law, may permit,
 - (i) the enlargement or extension of the building or structure, if the use that was made of the building or structure on the day the by-law was passed, or a use permitted under subclause (ii) continued until the date of the application to the committee, but no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the by-law was passed

The subject lands are currently regulated by the City of Sudbury Zoning By-law 2010-100Z which came into force and effect on September 29, 2010. Prior to this date the lands were regulated by the former City of East Valley and the Town of Onaping Falls Zoning By-law 83-300. A zoning amendment was passed on April 24, 1991 on the subject lands which permitted the lands to be used for, among other things, a salvage Business (By-law 91-114). The subject lands commenced operation as a salvage yard that same year:

Within the Current City of Sudbury Zoning By-law 2010-100Z, the subject lands are zoned Disposal Industrial M6(1) and Rural (RU), with Wellhead Protection Area B Overlays, vulnerability score 10, and Area C, vulnerability score 8. While the Disposal Industrial Zone M6(1) permits the lands to be developed for only a few uses, which include a salvage yard (along with a saw mill, a planning mill, a lumber yard, including the sale of lumber products and the customizing of vans and their sale and a single detached dwelling).

While a salvage yards is, on its face, a permitted, use, the subject lands are also subject to with Section 4.42 Wellhead Protection Areas. Significantly, Section 4.42.1 removes permitted uses from the site, specifically including any "salvage or wrecking yard."

100091/2022

Chair and Members of Committee of Adjustment – November 22, 2021

As such, although the subject lands have historically operated as a salvage yard pursuant to By-law 91-114, and although a salvage yard is a permitted use within the Disposal Industrial M6(1) Zone, the use is no longer permitted, and, as such, triggers a requirement for an application pursuant to section 45(2).

Application will Permit Revisions to Site that will reduce Impacts of Current Operations

Currently, the site operations include the acceptance of scrap metal, End-of-Life Vehicles (ELV), equipment, batteries, electronics, etc. All items are processed to recycle the metals they contain. Once processed the recyclable metal materials are loaded on to trucks and shipped off site for final processing. It is also noted that as part of a revision to the on site processes undertaken by our client, as the new owner of the property, the processing/decontamination of ELVs no longer occurs on the subject lands - all vehicles stored on site will be devoid of contaminants (fuel, oil, fluids, batteries, etc.).

The proposal before the Committee will permit the construction of a new 335m² storage building. The proposed building will be used as a drop off location for public customers, a non-ferrous warehouse, and a small portion being used for offices, lunchroom and lockers for employees.

These noted operations, with exception of the office uses, have historically taken place outdoors on the subject lands. By moving these operations indoors, the owners will be able to better sort materials from small dealers indoors reducing the noise emanating from the site and reducing any risk of leaks from the materials, including providing an improved environment for employees.

AIM has been working with the City's Water Wastewater Treatment and Compliance Services department to update the Risk Management Plan (RMP) for the subject lands. The final RMP was submitted to the City in September 2021. Based on correspondence with municipal staff, it is expected that the updated RMP will be approved and in place on the subject lands by the end of December 2021. The updated RMP specifically contemplates the value of an indoor storage facility for use in reducing the risk of leaks from the materials and ensure that any such emission is kept safely out of the ground.

Proposed Storage Building is Good Planning

Given that the use of the lands as a salvage yard is a legal non-conforming use, it is our opinion that the expansion of such use, in the form of a new building that will reduce the impacts of the existing operations, would be considered an appropriate expansion of the use on the subject lands.

The expansion of a legal non-conforming use is permitted through an application to the committee of adjustment under section 45(2) of the *Planning Act*, provided that the proposed expansion does not expand beyond the limit of the lands which are owned by and used in connection therewith. It is noted that the limits of the operation are not being expanded, but rather a new building is being proposed, which will reduce the overall outdoor operations on-site. The proposed new building will not negatively impact the environment, or the surrounding lands and will conform with all other performance standards of the Zoning By-law.

Material in Support of the Application

In support of the application for Minor Variance, Expansion of a Legal Non-Conforming Use, under Section 45(2) of the *Planning Act*, please find enclosed the following:

- Completed Application Form;
- Proposed Site Plan; and,
- A copy of the Draft Risk Management Plan for the subject lands.

A0009/2022

Chair and Members of Committee of Adjustment – November 22, 2021

- One (1) cheque in the amount of \$985.00, made payable to the City of Greater Sudbury, which represents the application fee and the statutory newspaper notice fee.

We trust that the enclosed is in order. However, should you have any questions or require further information, please do not hesitate to contact the undersigned.

Regards,

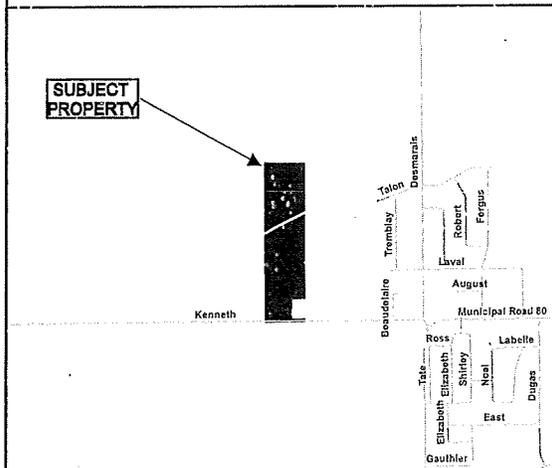
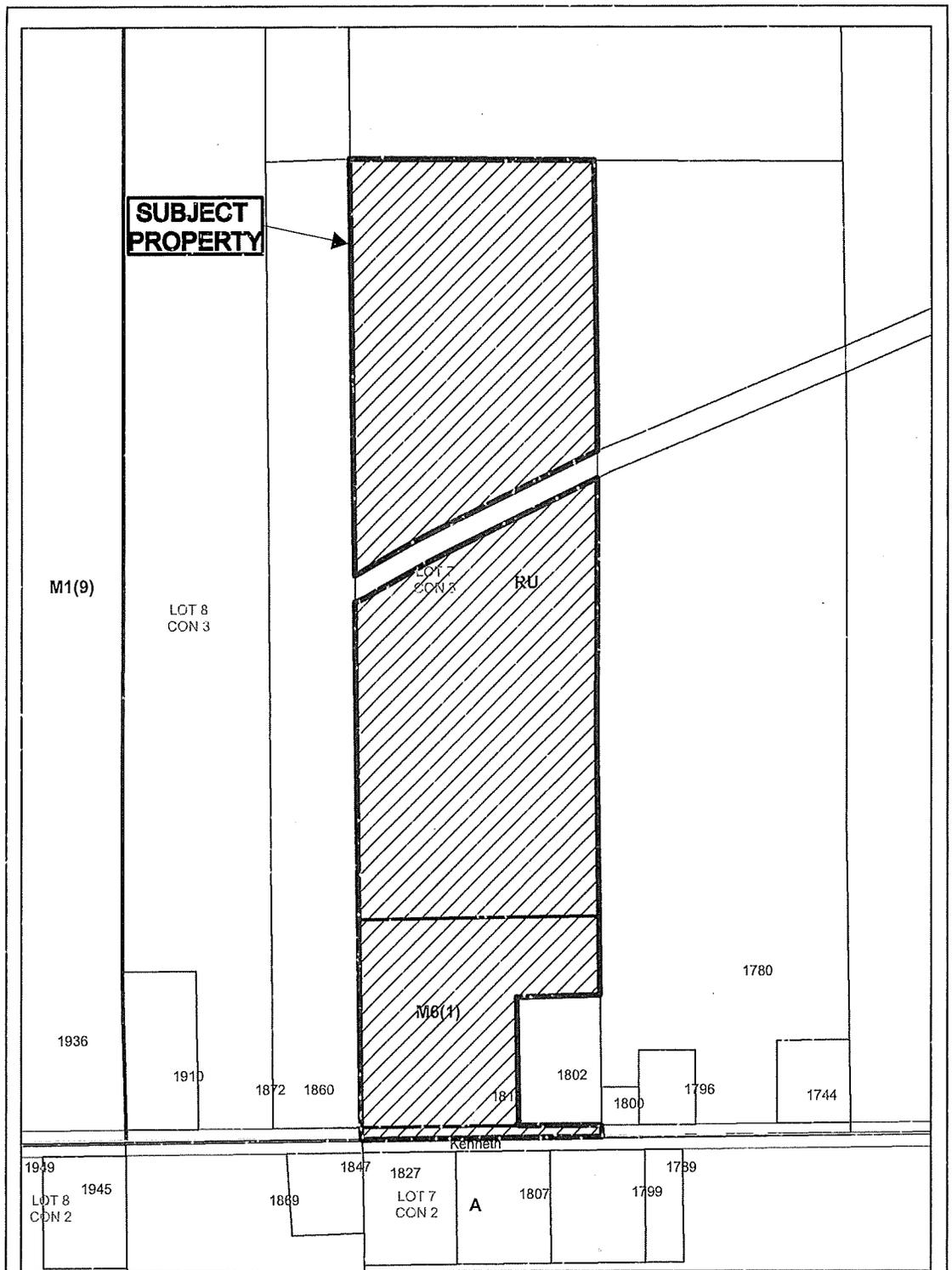
IBI Group



Tracy Tucker, BAA, CPT
Sr. Project Manager

Cc: Mr. Shady Rophail, American Iron and Metal Company Inc.;
Mr. Andrew Jeanrie, Bennett Jones LLP

170009/2022



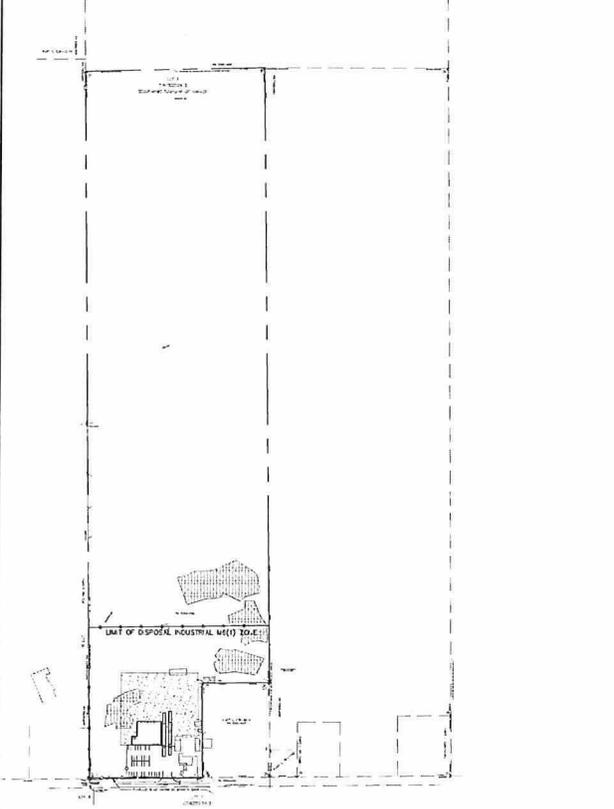
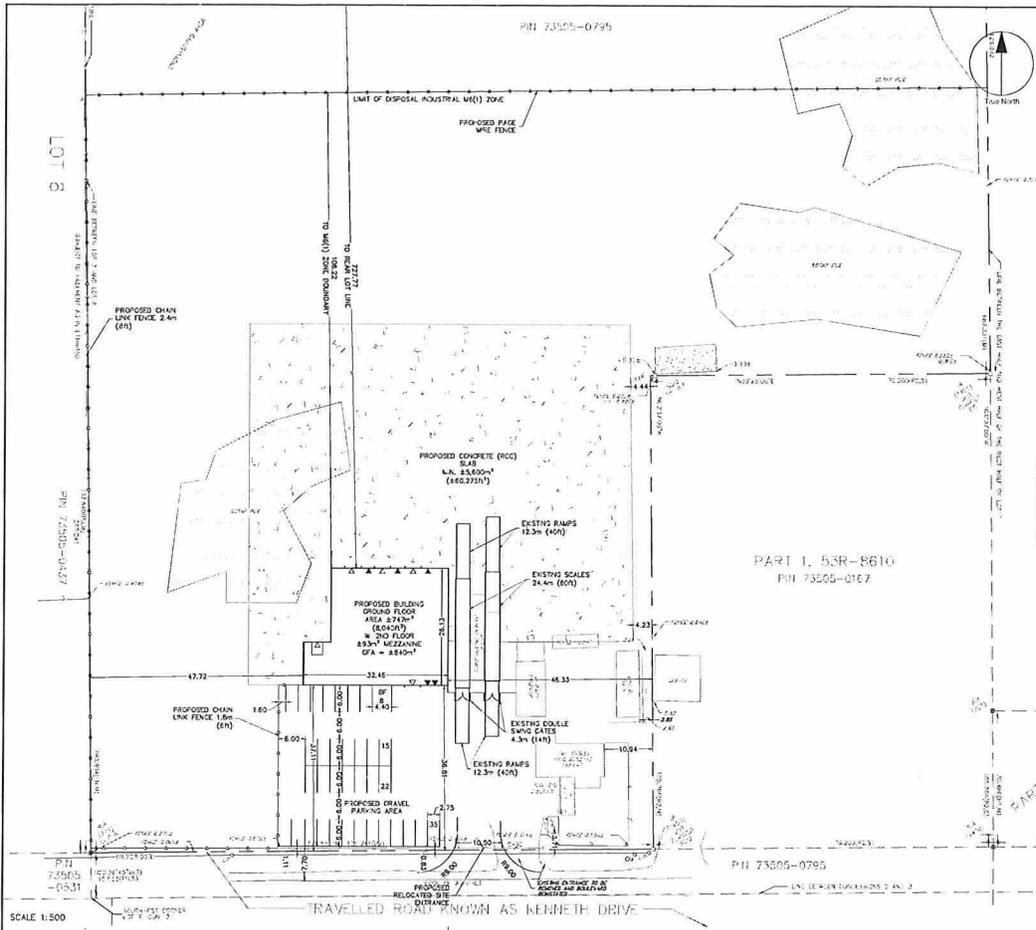
Application for Minor Variance or Permission



Subject Property being
 PIN 73505-0795, Parcel 10207,
 Part Lot 7, Concession 3,
 except Part 1, Plan 53R-8610,
 Township of Hanmer,
 1818 Kenneth Drive, Val Therese
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0009/2022
 Date: 2022 02 02



ZONING BY-LAW		
DISPOSAL INDUSTRIAL ME(1)	REQUIRED	PROVIDED
USE	WALVAGE YARD, SAW MILL, PLANING MILL, LUMBER YARD, SINGLE DETACHED DWELLING	WALVAGE YARD
MINIMUM LOT AREA	2.0 ha	15.18 ha (6151,600m ²)
MINIMUM LOT FRONTAGE	45.0 m	126.7 m
MINIMUM LOT DEPTH	NO MINIMUM	N/A
FRONT YARD (M)	15.0 m	3.31 m (10.53 FT)
REAR YARD (M)	15.0 m	32.33 m TO REAR LOT LINE 136.22 m TO ZONE BOUNDARY
INTERIOR SIDE YARD (M)	15.0 m	2.53 m (8.28 FT)
LOT COVERAGE (MAX)	5%	8.8%
HEIGHT (MAX)	20.0 m	8.1725 m
LANDSCAPED OPEN SPACE (MIN)	NO MINIMUM	420.0 m
SETBACK TO RESIDENTIAL ZONE (M)	150.0m	N/A
MINIMUM PARKING REQUIREMENT		
WALVAGE YARD	1 SPACE / 90m ² NET FLOOR AREA = 16 SPACES	35 SPACES
STALL SIZE (W x L)	2.75 m x 6.0 m	2.75 m x 6.0 m
DRIVEWAY	3.0 m x 6.0 m	3.0 m x 6.0 m
WALK DRIVE WHEEL WIDTH	6.0 m	6.0 m
SETBACK TO HIGHWAY OR	4.5 m	0.83 m TO LOT LINE (EXISTING) 7.7 m TO EDGE OF PAVEMENT
MIN. NO. ACCESSIBLE STALLS	1 - 8 SPACES, 0 SPACES 10-20 SPACES, 1 SPACE	1 SPACE
STALL SIZE (W x L)	4.4 m x 6.0 m	4.4 m x 6.0 m

*Approved 2022
Sketch 2*

CLIENT
AMERICAN IRON & METAL
9100, BOUL. HENRI-BOURASSA EST
MONTREAL, QC

COPYRIGHT
The Project Information is the property of the Client. It is not to be used for any other purpose without the written consent of the Client. The Client is responsible for the accuracy of the information provided. The Engineer is not responsible for the accuracy of the information provided by the Client. The Engineer is not responsible for the accuracy of the information provided by the Client.

ISSUES	NO.	DESCRIPTION	DATE
	1	ISSUED FOR CLIENT REVIEW	2021.11.25
	2	MIN. REVISED APPLICATION	2021.11.22
	3	SUBMITTED FOR CLIENT REVIEW	2022.01.19
	4	REVISED MINOR REVISED APP.	2022.03.27

NOT FOR CONSTRUCTION

KEY PLAN
LEGEND
A: OVERHEAD
▲: COOR

SCALE 1:500

SCALE 1:2500

SOURCE: LEGAL AND TOPOGRAPHIC INFORMATION OBTAINED FROM TULLOCH GEOMATICS INC. SURVEY DATED JUNE 23, 2005, FILE NO. 19-2491-163

ENGINEER CONSULTANT
IBI
IBI GROUP
200-200 300 James Street North
Hamilton ON L8R 1G5 Canada
416-563-1811 Fax 905-545-1311
ibi@ibi.com

PROJECT
AIM VAL THERESE
1918 KENNETH DRIVE, VAL THERESE

PROJECT NO. 127093	SCALE 1:500
DRAWN BY T. TUCKER	CHECKED BY J. MARCUS
PROJECT MGR. T. TUCKER	APPROVED BY S. ARBUCKLE

SHEET TITLE
SITE PLAN
PART OF LOT 7, CONCESSION 3
GEOGRAPHIC TOWNSHIP OF HANMER
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY

SHEET NUMBER
SP1.0

ISSUE
2



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only 2022.01.01
A0010/2022
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES ___ NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): CHANTELLE GORHAM Email: [REDACTED]
 Mailing Address: 35 LEVACK DRIVE, BOX 220 Home Phone: [REDACTED]
 Business Phone: [REDACTED]
 City: LEVACK ON Postal Code: P0M 2C0 Fax Phone: N/A

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: DAVID KURTIS (HUSBAND) Email: _____
 Mailing Address: SAME AS ABOVE Home Phone: _____
 Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SUDBURY CREDIT UNION
 Mailing Address: 37 LEVACK DR.
 City: LEVACK ON Postal Code: P0M 2C0

4) Current Official Plan designation: _____ Current Zoning By-law designation: CZ/R1

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
BALCONY ENCRoACHMENT	1.8 m	5.48 m	3.68 m
EAVE ENCRoACHMENT	1.2 m	0.0 m	1.2 m
FRONT YARD SETBACK	6.0 m	2.41 m	3.59 m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: TO FULFIL REQUIREMENT FOR BUILDING CONSTRUCTED 1991 TO MEET OCCUPANCY PERMIT.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
CONSTRUCTED TO CODE OF 1982 BUILD IN 1991, UNCHANGED SINCE CONSTRUCTION

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: _____
 Lot No.: L27 Concession No.: PLM 1011 Parcel(s): PCL 25317 SW5
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 35 LEVACK DR LEVACK ON POMZCO

7) Date of acquisition of subject land. MAR. 15, 2004

8) Dimensions of land affected.

Frontage 71' / 21.6408m ^{88'} Depth 26.822m Area _____ (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>2300 sq'</u> <u>213.667</u> (m ²)	
Gross Floor Area:	<u>4600 sq'</u> <u>427.334</u> (m ²)	
No. of storeys:	<u>2</u>	
Width:	<u>46'</u> <u>14.0208</u> (m)	
Length:	<u>50'</u> <u>15.240</u> (m)	
Height:	<u>18'</u> <u>5.4864</u> (m)	

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>8'</u> <u>2.4384</u> (m)	
Rear:	<u>30'</u> <u>9.144</u> (m)	
Side:	<u>19'</u> <u>5.7912</u> (m)	
Side:	<u>6'</u> <u>1.8288</u> (m)	

MEASUREMENTS - CLAUDE TRUMBLE - (CITY INSPECTOR) COFA 10/91

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input checked="" type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

Approx Aug 1991 Const. Completed

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): RESTAURANT 1991 - 2004 Length of time: _____
FOOD MANUF. / REST 2004 to Present

14) Proposed use(s) of the subject property.

Same as #13 or, SAME

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: BANK / RESIDENTIAL

A0010/2000

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): A-140/91 FRONT YD 8' APPROVED SIDEYD. 183
or, describe briefly, ~~A-294/92~~ APPROVAL 1.83 where 3m required.
A 294/92 APPROVAL 1.83 m setback side YARD. w/0.61 m EAVE APPROVED

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. LOCATED WITHIN DOWLING DRAPING WELHEAD PROTECTION AREA.

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, CHARTELLE GORHAM (please print all names), the registered owner(s) of the property described as 35 LEVACK TR.

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize DAVID KURTIS (HUSBAND) (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of JAN, 2022

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: CHARTELLE GORHAM

*I have authority to bind the Corporation

00010/2022

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, CHARTELLE GERVAIS & DAVID KURTZ (please print all names), the registered owner(s) or authorized agent of the property described as 35 LEVACK DR.

LEVACK, ON

in the City of Greater Sudbury;

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 25 day of JANUARY, 20 22

Nia Lewis Commissioner of Oaths

Nia Sian Lewis, a Commissioner, etc., Province of Ontario, for the City of Greater Sudbury. Expires May 20, 2023.

Signature of Owner(s) or Signing Officer or Authorized Agent (*where a Corporation)

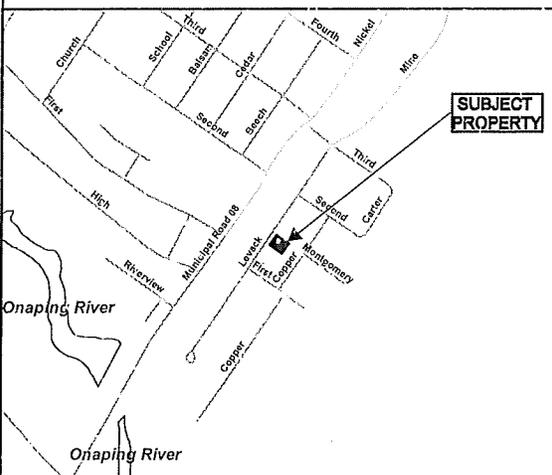
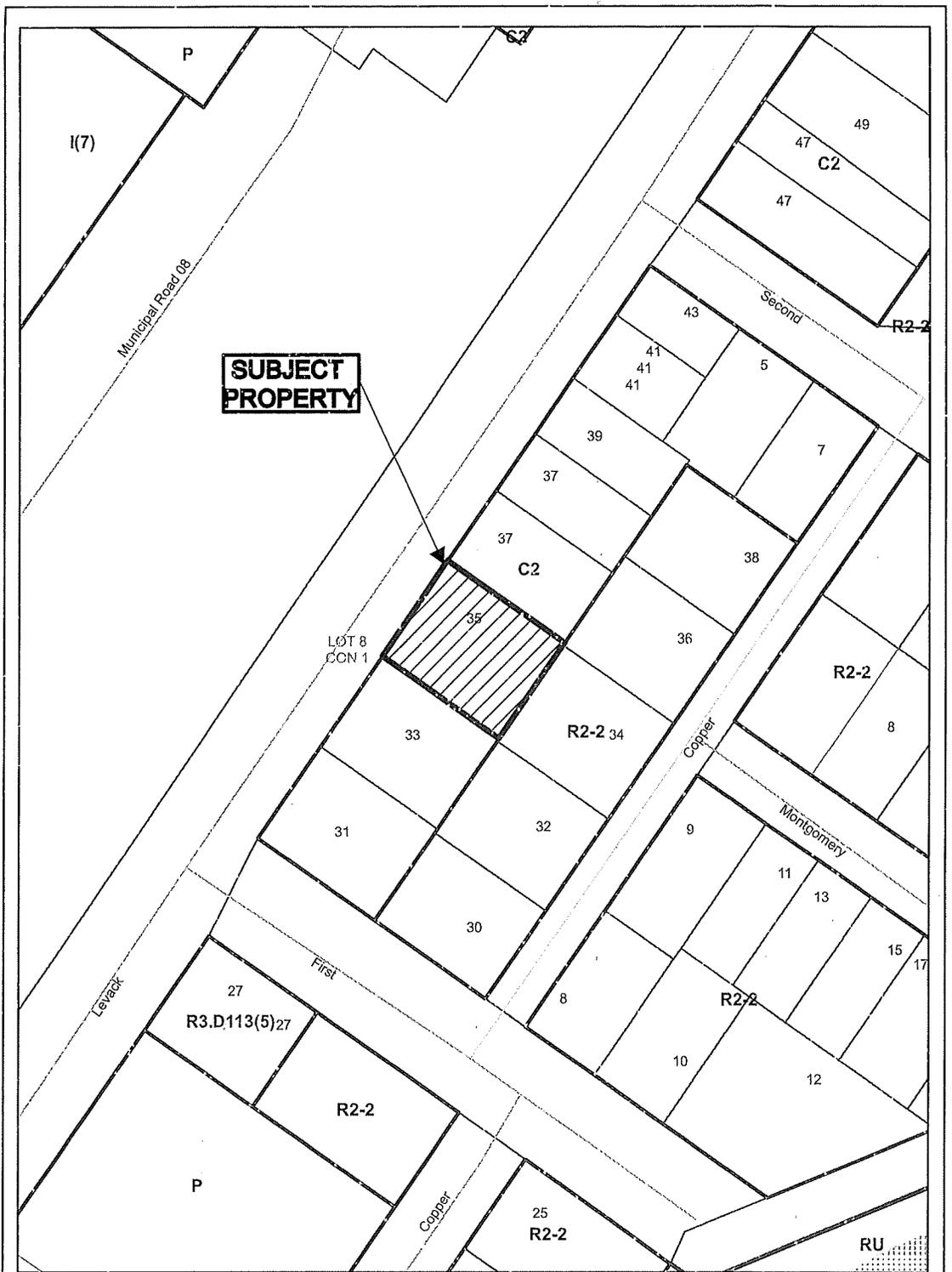
Print Name: CHARTELLE GERVAIS & DAVID KURTZ *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Form with fields: Date of Receipt: Jan 25/22, Hearing Date: Feb 24/22, Received By: N. Lewis, Zoning Designation: ca, Resubmission: Yes, Previous File Number(s): A0140/1991 and A0294/1992, Previous Hearing Date: June 17/91 and Oct. 19/92, Notes:

A0010/2022

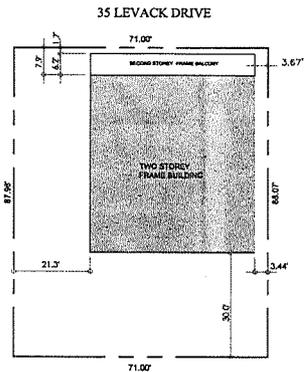


Application for Minor Variance or Permission

Subject Property being
 PIN 73342-0853,
 Parcel 25317, Lot 27, Plan M-1011,
 Part Lot 8, Concession 1,
 Township of Levack,
 35 Levack Drive, Levack,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0010/2022
 Date: 2022 02 01



NOTE:
 Plot Plan Illustrates/Summarizes Existing Setbacks (air-built) obtained from Ontario Land Surveyor dated September 10, 1991, City of Hamilton Planning.

REQUIRED MINOR VARIANCES BASED ON AIR-BUILT CONDITION and INFORMATION ABOUT PROPOSED CONSTRUCTION to the COMMITTEE OF ADJUSTMENT and at BUILDING PERMIT ISSUANCE

REQUIRED MINOR VARIANCE ①

- 1) Required for Eaves that are encroaching 4' onto City right-of-way. Letter of Tolerance required.
- Minor Variance for 0' setback from Property Line.
- Letter of Tolerance will then be provided by Chief Building Official for Encroachment.

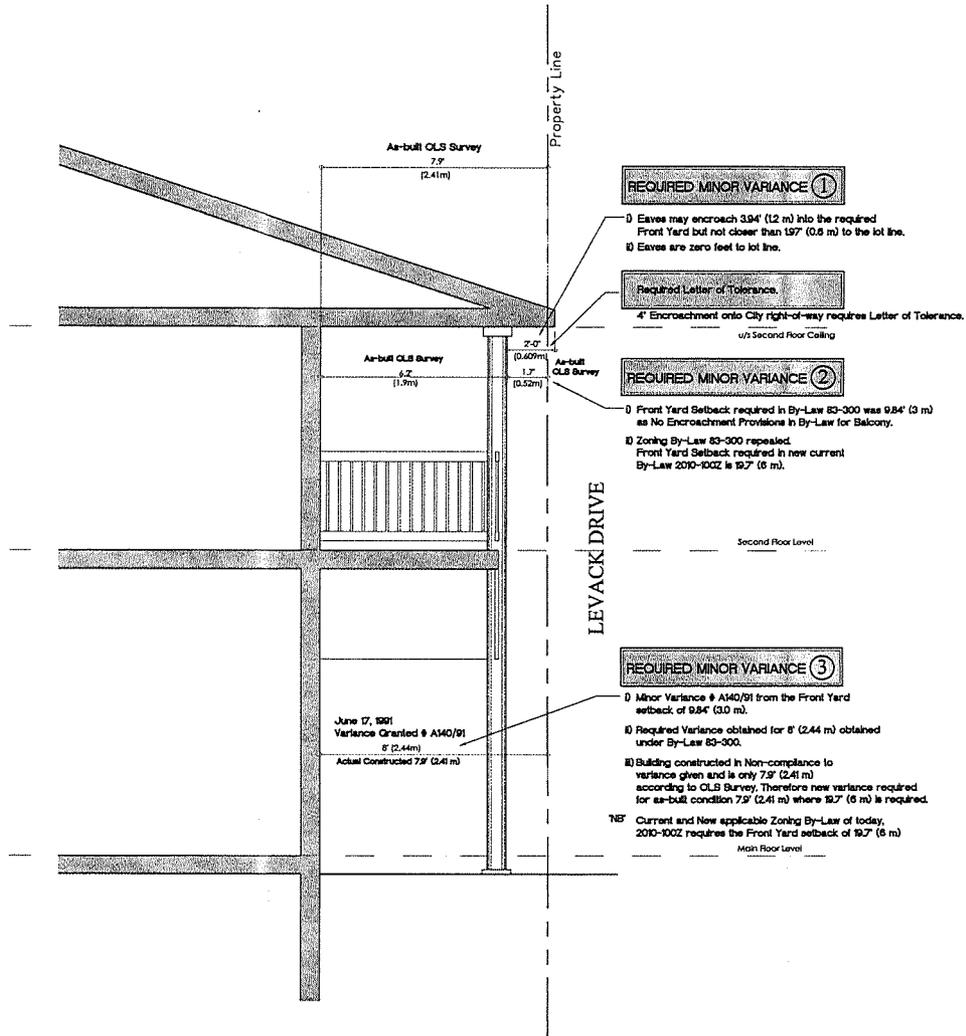
REQUIRED MINOR VARIANCE ②

- 1) Required Front Yard Setback in Zoning By-Law 2010-100Z is 19.7' (6 m)
- 1) Old Zoning By-Law 83-300 was 9.84' (3 m)
- 1) Balconies may encroach in Front Yard 5.9' (1.8 m)
- 1) Balconies as Constructed Encroach 6.2' (1.9 m)

NOTE:
 Zoning By-Law 83-300 was Repealed and replaced by Zoning By-Law 2010-100Z. In either case, Air-Built conditions of Construction require a Minor Variance for required Front Yard Setback.

REQUIRED MINOR VARIANCE ③

- 1) Minor Variance obtained from Committee of Adjustment # A140/91 dated June 17, 1991, to build building 8' (2.44 m) from Front Yard Property Line.
- 1) Building was constructed 7.9' (2.41 m) from Front Yard Property Line.
- 1) Re-application required to Committee for Reduced Distance.



REQUIRED MINOR VARIANCE ①

- 1) Eaves may encroach 3.94' (1.2 m) into the required Front Yard but not closer than 19.7' (6.0 m) to the lot line.
- 1) Eaves are zero feet to lot line.

REQUIRED LETTER OF TOLERANCE

- 1) 4' Encroachment onto City right-of-way requires Letter of Tolerance.
- 1) w/2 Second Floor Ceiling

REQUIRED MINOR VARIANCE ②

- 1) Front Yard Setback required in By-Law 83-300 was 9.84' (3 m) as No Encroachment Provisions in By-Law for Balcony.
- 1) Zoning By-Law 83-300 repealed. Front Yard Setback required in new current By-Law 2010-100Z is 19.7' (6 m).

REQUIRED MINOR VARIANCE ③

- 1) Minor Variance # A140/91 from the Front Yard setback of 9.84' (3.0 m).
- 1) Required Variance obtained for 8' (2.44 m) obtained under By-Law 83-300.
- 1) Building constructed in Non-compliance to variance given and is only 7.9' (2.41 m) according to OLS Survey. Therefore new variance required for air-built condition 7.9' (2.41 m) where 19.7' (6 m) is required.
- 1) Current and New applicable Zoning By-Law of today, 2010-100Z requires the Front Yard setback of 19.7' (6 m)

NOTE:
 This Sketch is provided for illustrative purposes only.

35 LEVACK DRIVE, ONAPING

A0010/2022
 sketch 3



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2022 01 01	
A0011/2022	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): SUDBURY APARTMENT RENTALS LIMITED	Email: [REDACTED]
Mailing Address: O'Neil Drive East	Home Phone: [REDACTED]
City: Sudbury	Business Phone: [REDACTED]
Postal Code: P3L 1H6	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Engineering	Email: [REDACTED]
Mailing Address: 1942 Regent Street Unit L	Home Phone: [REDACTED]
City: [REDACTED]	Business Phone: [REDACTED]
Postal Code: P3E 5V5	Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SUDBURY APARTMENT RENTALS LIMITED
Mailing Address: [REDACTED]
City: [REDACTED]
Postal Code: [REDACTED]

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Reduce Lot frontage (Lot 68/69)	18.0m	0.0m	18.0m
Section 4.2(a) (Lot 68/69)	Requires access onto to an assumed road	No access on to an assumed road	No access on to an assumed road

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
 Proposal to permit 0.0m lot frontage in order to facilitate severance application of lots 70 and 68/89.
 Property also does not benefit from access onto an assumed road (given lane-way).

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 Property does not benefit from required assumed road frontage.

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6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 021330306	Township: MCKIM		
Lot No.: 68 & 69	Concession No.:	Parcel(s):	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 365 land 367 Morin Avenue			

7) Date of acquisition of subject land. 02/07/2020

8) Dimensions of land affected.

Frontage 0.0m	(m)	Depth 36.7	(m)	Area 738m2	(m ²)	Width of Street N/A	(m)
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9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	Unknown (m ²)	No new development proposed. (m ²)
Gross Floor Area:	" (m ²)	
No. of storeys:	3	
Width:	Unknown (m)	
Length:	Unknown (m)	
Height:	Unknown (m)	

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	±2.0m (m)	No new development proposed. (m)
Rear:	±3.0m (m)	
Side:	±0.0m (m)	
Side:	±10.35m (m)	

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>	See relief requested	
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

Unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: Unknown

14) Proposed use(s) of the subject property.

Same as #13 or,

15) What is the number of dwelling units on the property? 5-units

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many?

17) Existing uses of abutting properties: Residential and Vacant

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18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): Deferred until variances obtained

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, SUDBURY APARTMENT RENTALS LIMITED (please print all

names), the registered owner(s) of the property described as _____
LOT 68 AND LOT 69, PLAN M-13, EXCEPTING PART 1 OF S-70-1587, TOWNSHIP OF WOOD, CITY OF SUDBURY.
in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act, R.S.O. 1990, c.P.13* for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act, R.S.O. 1990, c.P.13*, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize TULLOCH Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

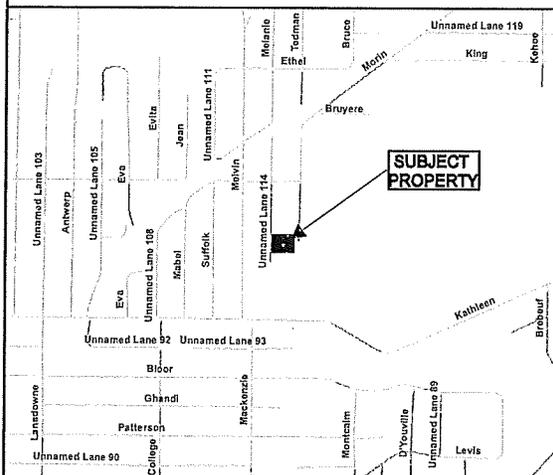
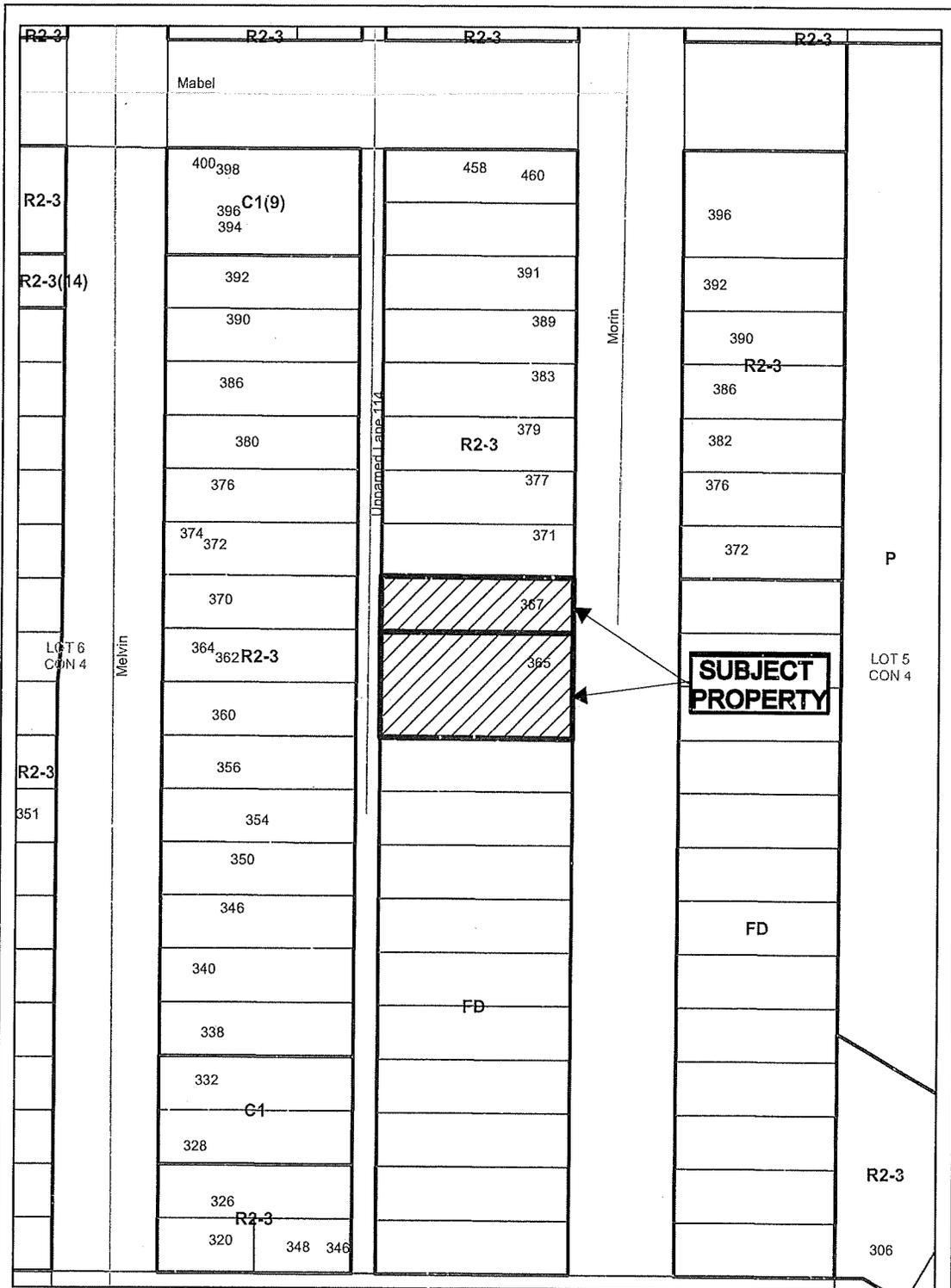
Dated this 25th day of January, 2022

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Paul Charbonneau

*I have authority to bind the Corporation



Application for Minor Variance or Permission



Subject Property being
 PINs 02133-0306 and 02133-0273,
 Lots 68 to 70, Plan M-53,
 Lot 6, Concession 4
 Township of McKim, 365 and
 367 Morin Ave, Sudbury
 City of Greater Sudbury

Sketch 1, NTS
 NDCA
 A0011/2022
 Date: 2022 02 07

