

Tom Davies Square
200 Brady St

Thursday, February 15, 2024

PUBLIC HEARINGS

A0006/2024

**CAROLE FRAPPIER
MICHAEL MCDOWELL**

Ward: 11

PIN 73576 0041, Parcel 46521 SEC SES, Survey Plan 53R-9959 Part(s) 1, 2, and 3, Lot Part 10, Concession 3, Township of Neelon, 2403 Navanod Road, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsections 4.41.2 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the enclosure of a portion of the existing deck providing, firstly, a high water mark setback of 11.9m, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river, and secondly, to permit the portion of enclosed deck to be 11.9m setback from the high water mark of a lake, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3.

A0007/2024

**KIMBERLY DEAN
DONALD DEAN**

Ward: 9

PIN 73472 0119, Parcel 27859 SEC SES, Survey Plan 53R-21437 Part(s) 2, Lot Part 9, Concession 2, Township of Broder, 6179 Tilton Lake Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a detached garage providing a maximum height of 7.5m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0008/2024

2439088 ONTARIO INC.

Ward: 1

PIN 73586 1414, Survey Plan 53R-20253 Part(s) 1, Lot(s) 80, 81, 82, 83, and 84, Subdivision 29-SB, Lot 7, Concession 3, Township of McKim, 80 Brodie Avenue, Sudbury, [2010-100Z, C2(102) (General Commercial)]

For relief from Part 11, Section 2, subsection 2, paragraph (www), clause i) a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the conversion of a commercial unit to a residential dwelling on the main floor of the existing multiple dwelling, providing a maximum of 19 dwelling units, where only 18 dwelling units are permitted.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF SEPTEMBER 27, 2023 TO IN ORDER TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0102/2023

**ADAM FIELD
ANDRIA FIELD**

"REVISED"

Ward: 2

PIN 73381 0546, Parcel 28481 SEC SWS, Surveys Plan 53R-10947 Part(s) 3 & Plan 53R-12572 Part(s) 2, Lot Part 1, Concession 3, Township of Graham, 83 Simon Lake Drive, Naughton, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit firstly, the addition to the existing single detached dwelling providing a minimum interior side yard setback of 1.2m with eaves encroaching 0.6m into the proposed 1.2m interior side yard setback, where a minimum interior side yard setback of 1.8m is required and where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B321/89 (12 JUN 89)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
THURSDAY, FEBRUARY 29, 2024**



Greater Grand
Sudbury
 www.greatersudbury.ca
 Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2024 01 01	
A 0006/2024	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): MICHAEL McDOWELL / CAROLE FRAPPIER Email: [REDACTED]
 Mailing Address: 2403 NAVANUD RD Home: [REDACTED]
 Business Phone: _____
 City: SUDBURY Postal Code: P3B1Y4 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: ADRIAN BORTOLUSSI Email: [REDACTED]
 Mailing Address: 144 ELM ST Home: [REDACTED]
 Business Phone: _____
 City: SUDBURY Postal Code: P3C1T7 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SUDBURY CREDIT UNION
 Mailing Address: 1048 BARRYDOWN RD
 City: SUDBURY Postal Code: P3A 3V3

4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
BYLAW 2010-100 Z	30 m SETBACK FROM HIGH WATER MARK	11.90 m	17.90 m
BYLAW 2010-100 Z	SHOULDER STRUCTURES 20 m SETBACK FROM HIGH WATER MARK	11.90 m	8.1 m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
PART OF COVERED DECK TO BE ENCLOSED

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
EXISTING
NEW SETBACK OF 30 m FROM HIGH WATER MARK

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73576-0041 Township: WILLOW
Lot No.: 10 Concession No.: 3 Parcel(s):
Subdivision Plan No.: Lot: Reference Plan No.: 532-9959 Part(s): 1, 2, 3
Municipal Address or Street(s): 2403 WANAPOD RD

7) Date of acquisition of subject land. 2000

8) Dimensions of land affected.

Frontage 15.85 (m) Depth 46.78 (m) Area 741 7/8 (m^2) Width of Street 20.17 (m)

Table with 2 columns: Existing and Proposed. Rows include Ground Floor Area, Gross Floor Area, No. of storeys, Width, Length, and Height.

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

Table with 2 columns: Existing and Proposed. Rows include Front, Rear, Side, and Side distances in meters.

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- Municipally owned & operated piped water system [checked]
Municipally owned & operated sanitary sewage system [checked]
Lake [unchecked]
Individual Well [unchecked]
Communal Well [unchecked]
Individual Septic System [unchecked]
Communal Septic System [unchecked]
Pit Privy [unchecked]
Municipal Sewers/Ditches/Swales [unchecked]
Provincial Highway [unchecked]
Municipal Road [checked]
Maintained Yearly [checked]
Maintained Seasonal [unchecked]
Right-of-way [unchecked]
Water [unchecked]
If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1983

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SINGLE FAMILY DWELLING Length of time: 40 YRS

14) Proposed use(s) of the subject property.

Same as #13 [checked] or,

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? [unchecked] Yes [checked] No

If "yes", how many?

17) Existing uses of abutting properties: RESIDENTIAL

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18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Michael McDowell and Carole Frappier (please print all names), the registered owner(s) of the property described as 2403 NAUWOD RD

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Bortolussi Surveying (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

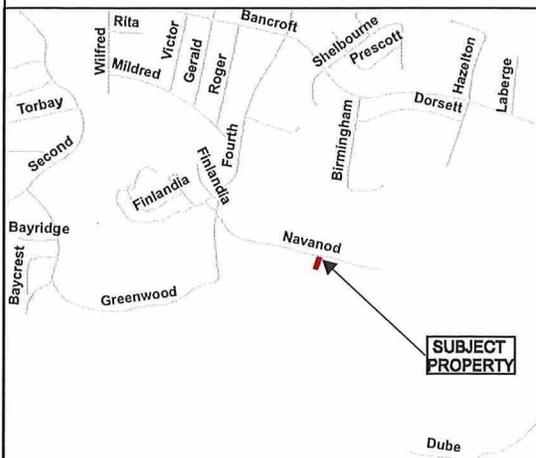
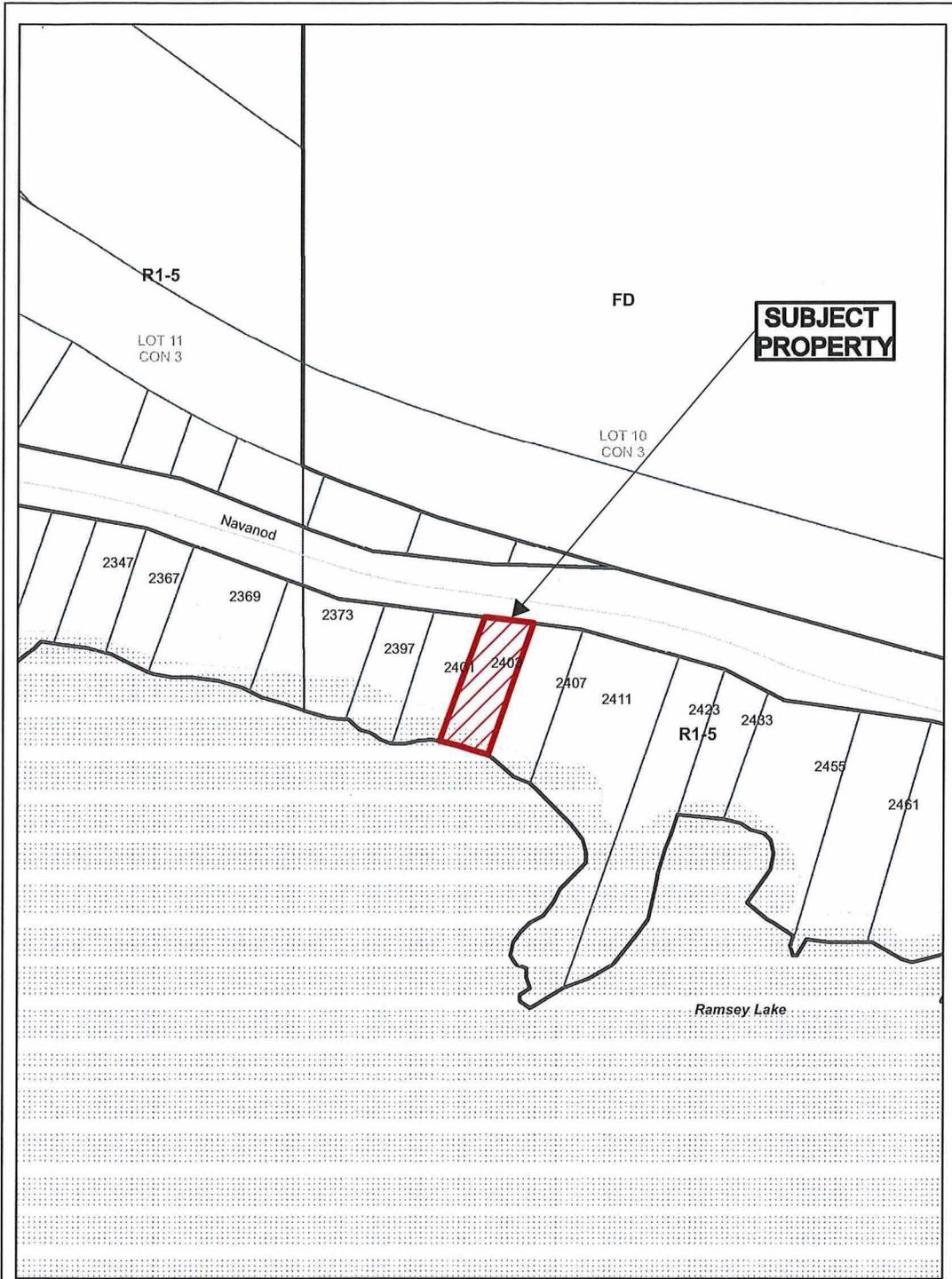
Dated this 12th day of January, 20 24

[Signature]
(witness)

DocuSigned by: <u>Michael McDowell</u>	DocuSigned by: <u>Carole Frappier</u>
<small>799F13EA28A045E...</small>	<small>333C99F282684EC...</small>
signature of Owner(s) or Signing Officer or Authorized Agent	
Print Name: <u>Michael McDowell Carole Frappier</u>	

*I have authority to bind the Corporation

A0006/2024



Application for Minor Variance or Permission



Subject Property being PIN 73576-0041,
 Parcel 46521 SEC SES,
 Part Lot 10, Concession 3,
 Parts 1, 2, and 3 on Plan 53R-9959 subject to
 easement LT526250, Township of Neelon,
 2403 Navanod Road, Sudbury,
 City of Greater Sudbury

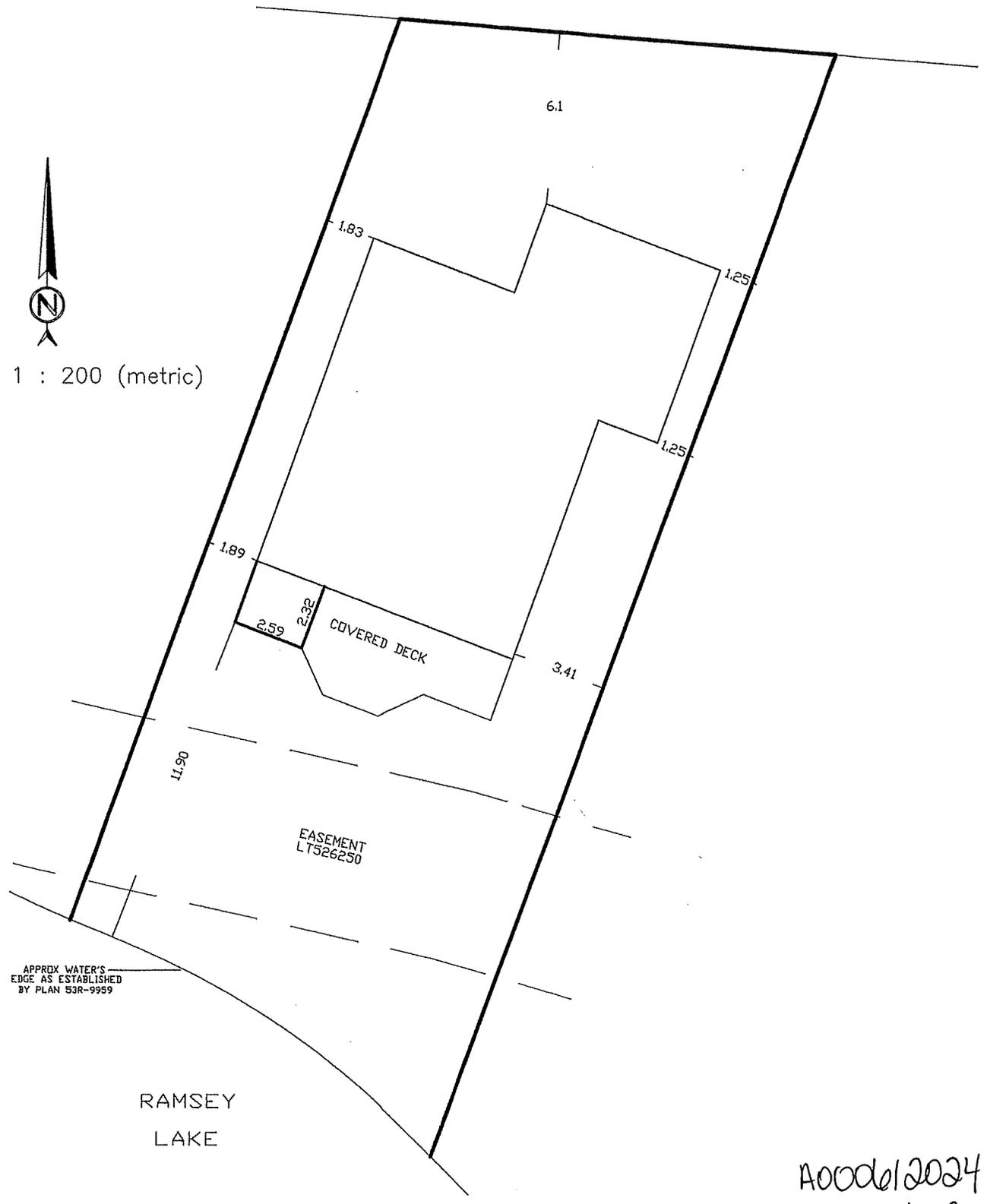
Sketch 1, NTS
 NDCA

A0006/2024
 Date: 2024 01 23

NAVANOD ROAD



SCALE : 1 : 200 (metric)



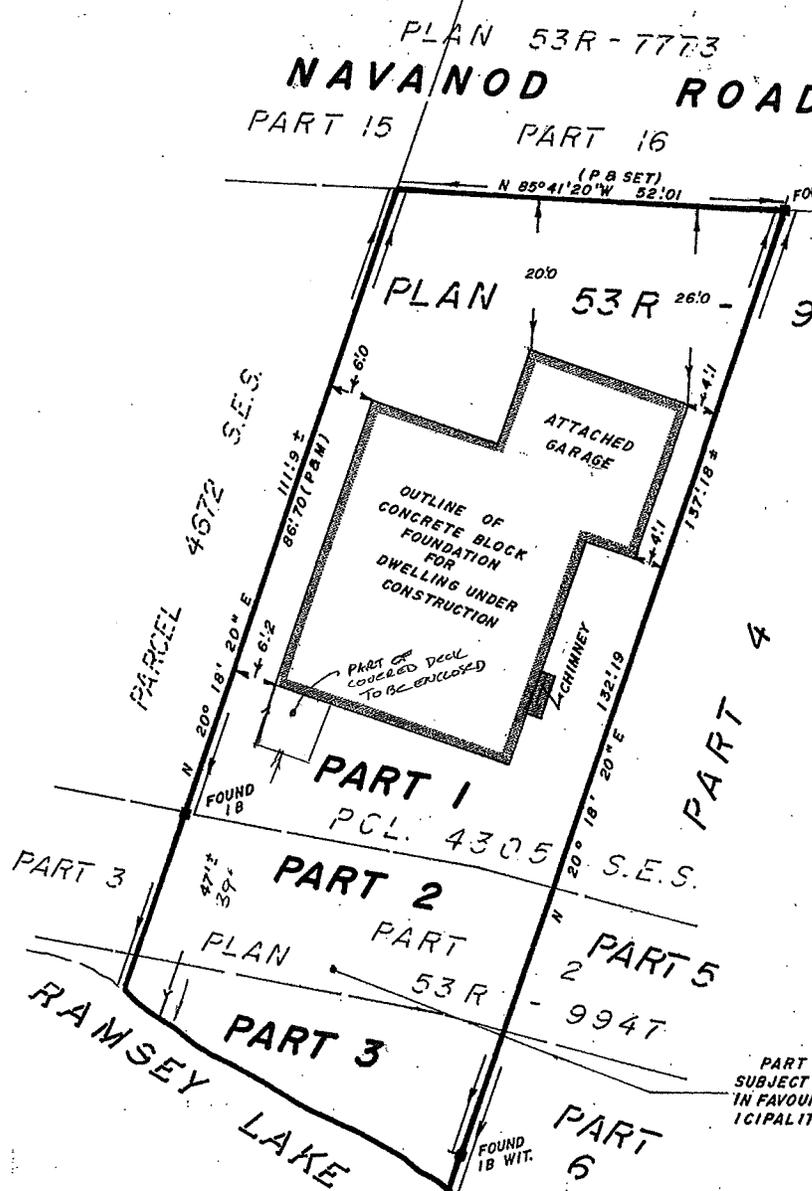
RAMSEY LAKE

A0006/2024
Sketch 2

PLAN OF BUILDING LOCATION ON
PARTS 1, 2 & 3 PLAN 53R-9959 BEING PART OF
 LOT 10, CONCESSION 3

TOWNSHIP OF NEELON, CITY OF SUDBURY
 REGIONAL MUNICIPALITY OF SUDBURY
 DISTRICT OF SUDBURY.

SCALE: 1 INCH = 20 FEET.



PART 2, PLAN 53R-9959 IS
 SUBJECT TO EASEMENT No. 526250
 IN FAVOUR OF THE REGIONAL MUN-
 ICIPALITY OF SUDBURY.

LEGEND

- SIB DENOTES 1" X 1" X 48" LONG IRON BAR
- IB DENOTES 5/8" X 5/8" X 24" LONG IRON BAR
- (P) DENOTES PLAN 53R-9959
- (M) DENOTES MEASURED.

NOTE

ALL BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE DERIVED FROM THE EASTERLY LIMIT OF PARTS 1, 2 & 3 ASSUMED TO BE N 20° 18' 20" E IN ACCORDANCE WITH PLAN 53R-9959 OF RECORD IN THE LAND REGISTRY OFFICE AT SUDBURY.

THERE ARE NO ENCROACHMENTS OR OTHER BUILDINGS UPON PARTS 1, 2, AND 3, PLAN 53R-9959.

NOTE.

THIS CERTIFICATE IS NOT
 VALID UNLESS SEALED.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
 THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON SEPT. 8, 1983.

SEPTEMBER 13, 1983.

D. S. DORLAND
 ONTARIO LAND SURVEYOR.

D. S. DORLAND LTD.,
 290 LARCH STREET
 SUDBURY, ONTARIO. 2858 JK

Approved/2024
 sketch 3



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2021.01.01	
A0007/2024	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)
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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kimberly Dean, Donald Dean Email: [REDACTED]
 Mailing Address: 6179 Lohi Lake Rd Home Phone: [REDACTED]
 Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3G 1L3 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: Kimberly Dean Email: [REDACTED]
 Mailing Address: 6179 Lohi Lake Rd Home Phone: [REDACTED]
 Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Desjardins
 Mailing Address: 40 Elm St, Suite 166
 City: Sudbury Postal Code: P3C 1S8

- 4) Current Official Plan designation: rural Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Garage <u>4.2.4(a)</u>	<u>5m</u>	<u>7.5m</u>	<u>+2.5m (7.5m height)</u>

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Changing second floor addition to not attach it to existing garage. Original garage design would be attached to home. No longer constructing. Therefore garage is detached from home.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

We purchased the house with the existing garage in 2021

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Broder
 Lot No.: 9 Concession No.: 2 Parcel(s): 27859
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 6179 Lohi Lake Rd

7) Date of acquisition of subject land. August 20, 2021

8) Dimensions of land affected.

Frontage 45 (m) Depth 86.87 (m) Area 3909.15 (m²) Width of Street 44.7 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>See attached</u> (m ²)	_____ (m ²)
Gross Floor Area:	_____ (m ²)	_____ (m ²)
No. of storeys:	_____	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>See attached drawing</u> (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

House & old garage : roughly 1967. Garage: 2007-2000? Unknown. The rest: unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residence Length of time: ~1967 - present

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? one

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: permanent residences

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18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kimberly Dean and Donald Dean (please print all names), the registered owner(s) of the property described as 6179 Lohi Lake Road

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Kimberly Dean (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of January, 2024

Alicia Tkachuk
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Donald Dean Kimberly Dean

*I have authority to bind the Corporation

FOR KIM: [Signature]

A000712024

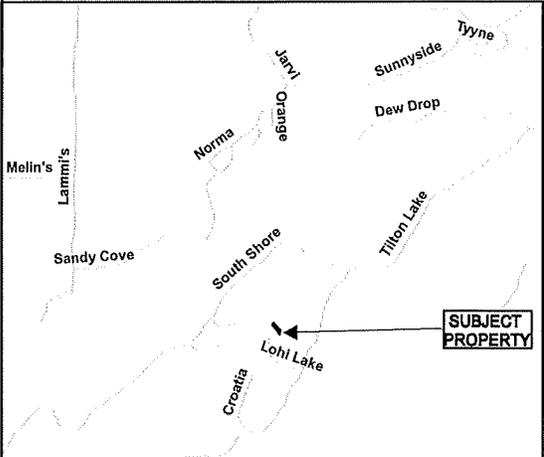
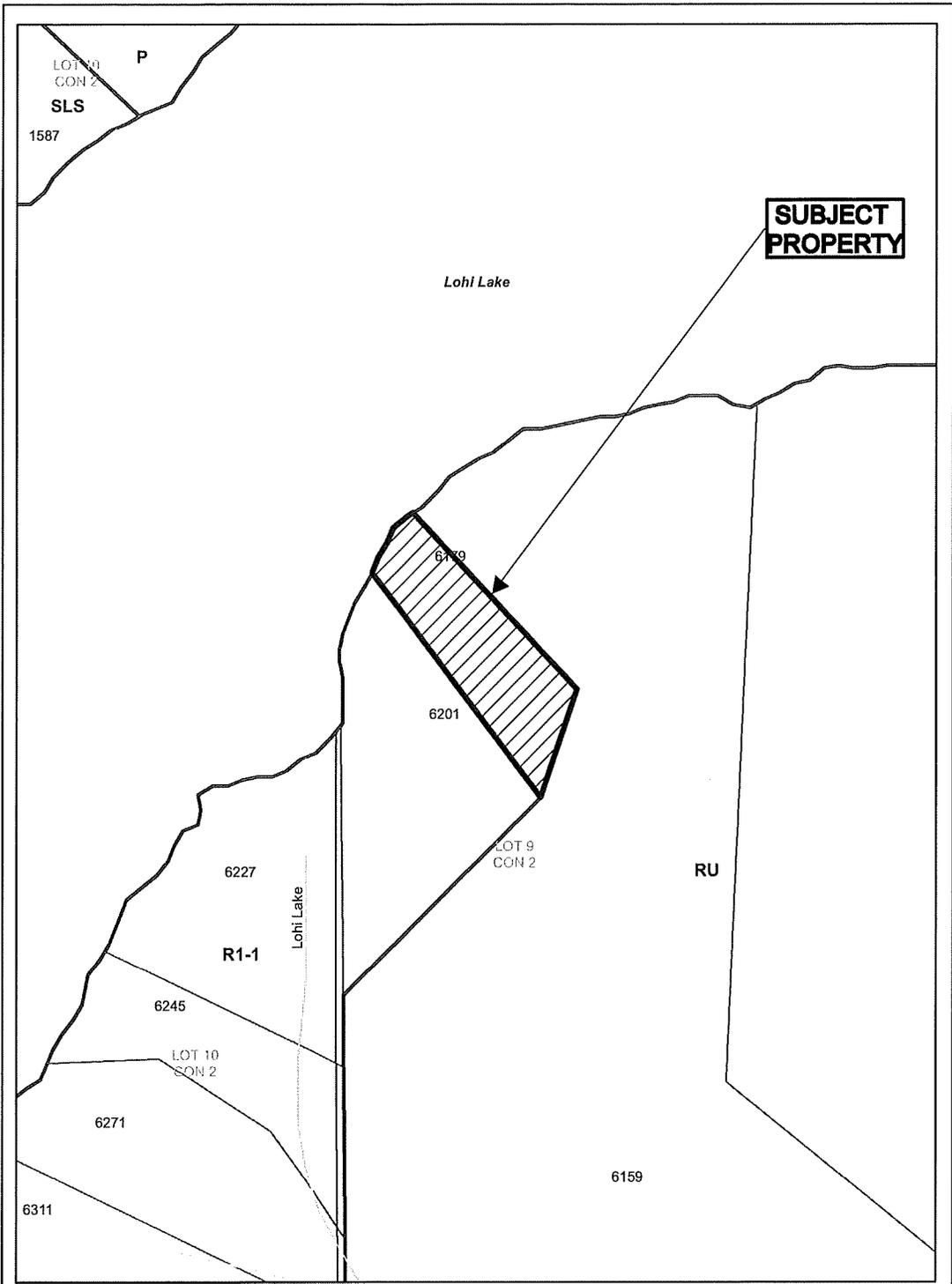
Particulars of all buildings

House	Existing	Proposed
Ground Floor Area:	113 m ²	113 m ²
Gross Floor Area:	113 m ²	193 m ²
No. of stories:	1	2
Width:	13.4 m	13.4 m
Length:	8.8 m	8.8 m
Height:	4.4 m	7.1 m
Garage	Existing	Proposed
Ground Floor Area:	74 m ²	no change
Gross Floor Area:	111 74 m ²	
No. of stories:	2	
Width:	8.6 m	
Length:	8.6 m	
Height:	7.5 m	
Old Garage	Existing	Proposed
Ground Floor Area:	8.5 m ²	no change
Gross Floor Area:	8.5 m ²	
No. of stories:	1	
Width:	5.5 m	
Length:	7 m	
Height:	3.3 m	
Shed 1	Existing	Proposed
Ground Floor Area:	10.8 m ²	no change
Gross Floor Area:	10.8 m ²	
No. of stories:	1	
Width:	3.6 m	
Length:	3 m	
Height:	2.4 m	
Shed 2	Existing	Proposed
Ground Floor Area:	13 m ²	no change
Gross Floor Area:	13 m ²	
No. of stories:	1	
Width:	3.6 m	
Length:	3.6 m	
Height:	3 m	
Woodshed	Existing	Proposed
Ground Floor Area:	6.4 m ²	
Gross Floor Area:	6.4 m ²	
No. of stories:	1	
Width:	2 m	
Length:	3.2 m	
Height:	3 m	

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Location of all buildings		
House	Existing	Proposed
Front	61.03 m	no change
Rear	17.04 m	
Side	28.8 m	
Side	2.72 m	
Garage	Existing	Proposed
Front	56.08 m	no change
Rear	33.4 m	
Side	34.2 m	
Side	2.2 m	
Old Garage	Existing	Proposed
Front	71.07 m	no change
Rear	8.8 m	
Side	14.3 m	
Side	25.2 m	
Shed 1	Existing	Proposed
Front	38.5 m	no change
Rear	44.77 m	
Side	1.1 m	
Side	40.7 m	
Shed 2	Existing	Proposed
Front	24.4 m	no change
Rear	35.6 m	
Side	58.87 m	
Side	5.8 m	
Woodshed	Existing	Proposed
Front	29.9 m	no change
Rear	54.97 m	
Side	0.3 m	
Side	41.5 m	

A0007/2024



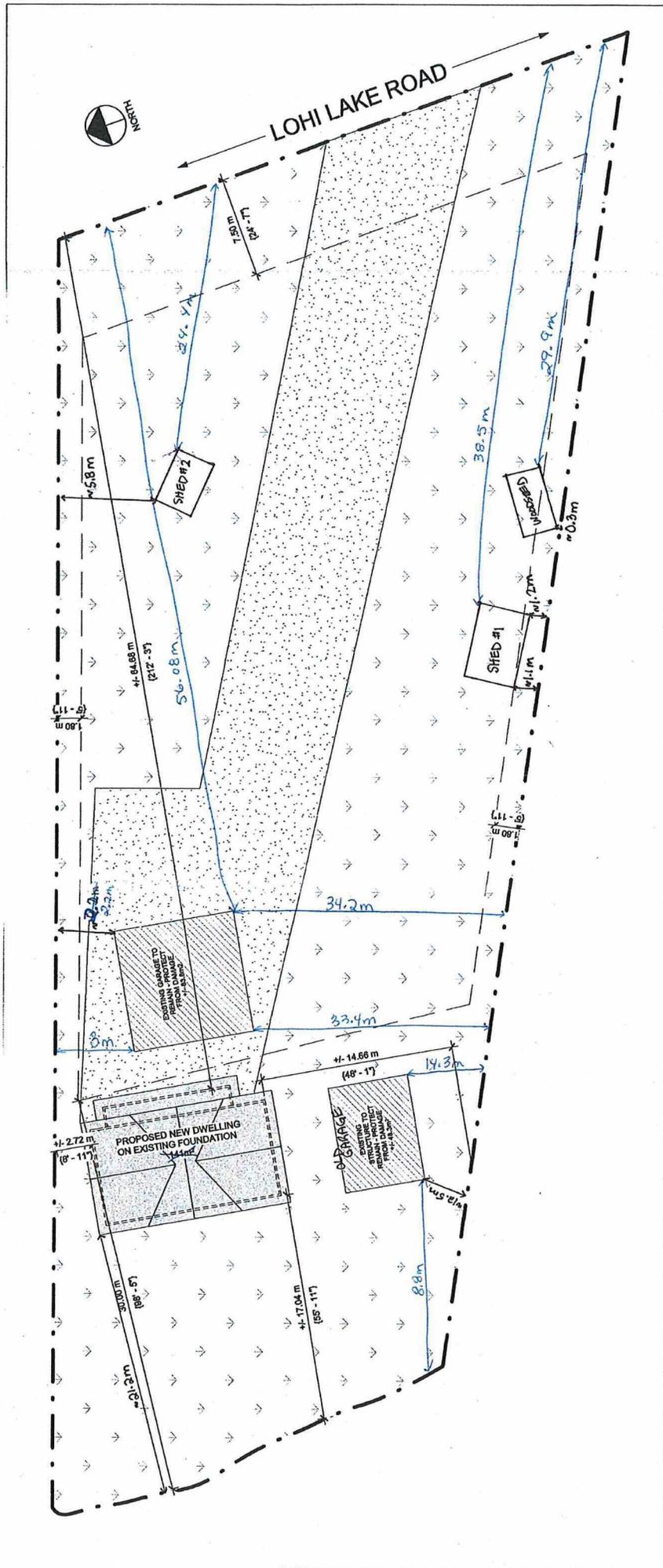
Application for Minor Variance or Permission



Subject Property PIN 73472-0119,
 Parcel 27859 SEC SES,
 Part Lot 9, Concession 2,
 Part 2 on Plan 53R-21437, Township of Broder,
 6179 Tilton Lake Road, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0007/2024
 Date: 2024 01 29



SITE PLAN
1" = 20'-0"

10/07/2024
Sketch 2

Grade to Peak $\approx 7.5m$



A000712024
sketch 3



A000712024
sketch 4



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2024.01.01	
A0008/2024	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): 2439088 Ontario Inc. c/o Andrea DeMarco Email: [REDACTED]
 Mailing Address: 378 Whittaker St. Home Phone: [REDACTED]
 City: Sudbury Postal Code: P3C 3X9 Business Phone: [REDACTED]
 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Geoff McCausland Email: [REDACTED]
 Mailing Address: 128 Pine Street Unit #300 Home Phone: [REDACTED]
80 Brodie Avenue, City of Greater Sudbury Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3C 1X3 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Northern Credit Union Limited
 Mailing Address: 280 McNaab Street
 City: Sault Ste. Marie Postal Code: P6B 1Y6

- 4) Current Official Plan designation: Mixed-Use Commercial Current Zoning By-law designation: C2(102)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Permit more residential units	2010-100Z (C2(102))	19	+1

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
Current C2(102) zoning permits 18 apts & limited commercial uses. Minor variance to increase # of apts permitted from 18 to 19 (a 5.56% increase) & provide flexibility to respond to market.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Limited to 18 apartments AND commercial, but seeking to convert vacant commercial unit. This change will not impact other zoning standards and will reduce net min. parking required.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735861414 Township: McKim
 Lot No.: _____ Concession No.: _____ Parcel(s): _____
 Subdivision Plan No.: 29SB Lot: 80-84 Reference Plan No.: 53R20253 Part(s): 1
 Municipal Address or Street(s): 80 Brodie Avenue, City of Greater Sudbury

7) Date of acquisition of subject land. Feb.27 2020

8) Dimensions of land affected.

Frontage 33.5 (m) Depth 57 (m) Area 1921 (m²) Width of Street 20 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	472.5	(m ²)	472.5	(m ²)
Gross Floor Area:	1418	(m ²)	1418	(m ²)
No. of storeys:	3		3	
Width:	26	(m)	26	(m)
Length:	19	(m)	19	(m)
Height:	10.5	(m)	10.5	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	19.26	(m)	19.26	(m)
Rear:	19.26	(m)	19.26	(m)
Side:	2.64	(m)	2.64	(m)
Side:	4.69	(m)	4.69	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

43 years

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Mixed-Use Commercial/Residential Length of time: 43 years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 18

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: S-City Parkland, E-R2-2 Residential, W-R2-2, N-R2-2 & C1

A0008/2024

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Andrea DeMarco & Greg Stitt (2439088 Ontario Inc.) (please print all names), the registered owner(s) of the property described as 80 Brodie Avenue, Sudbury, ON

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Geoff McCausland (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of January, 2024

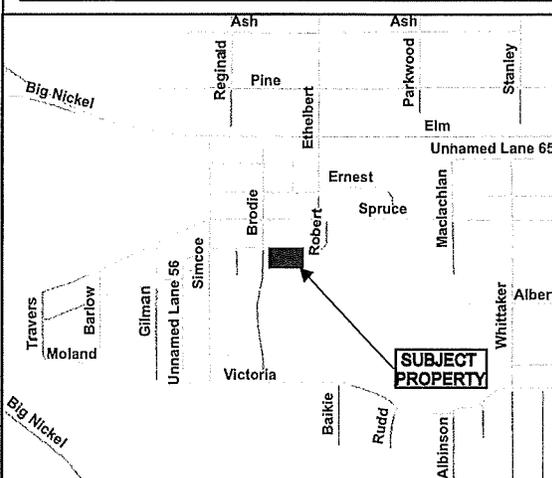
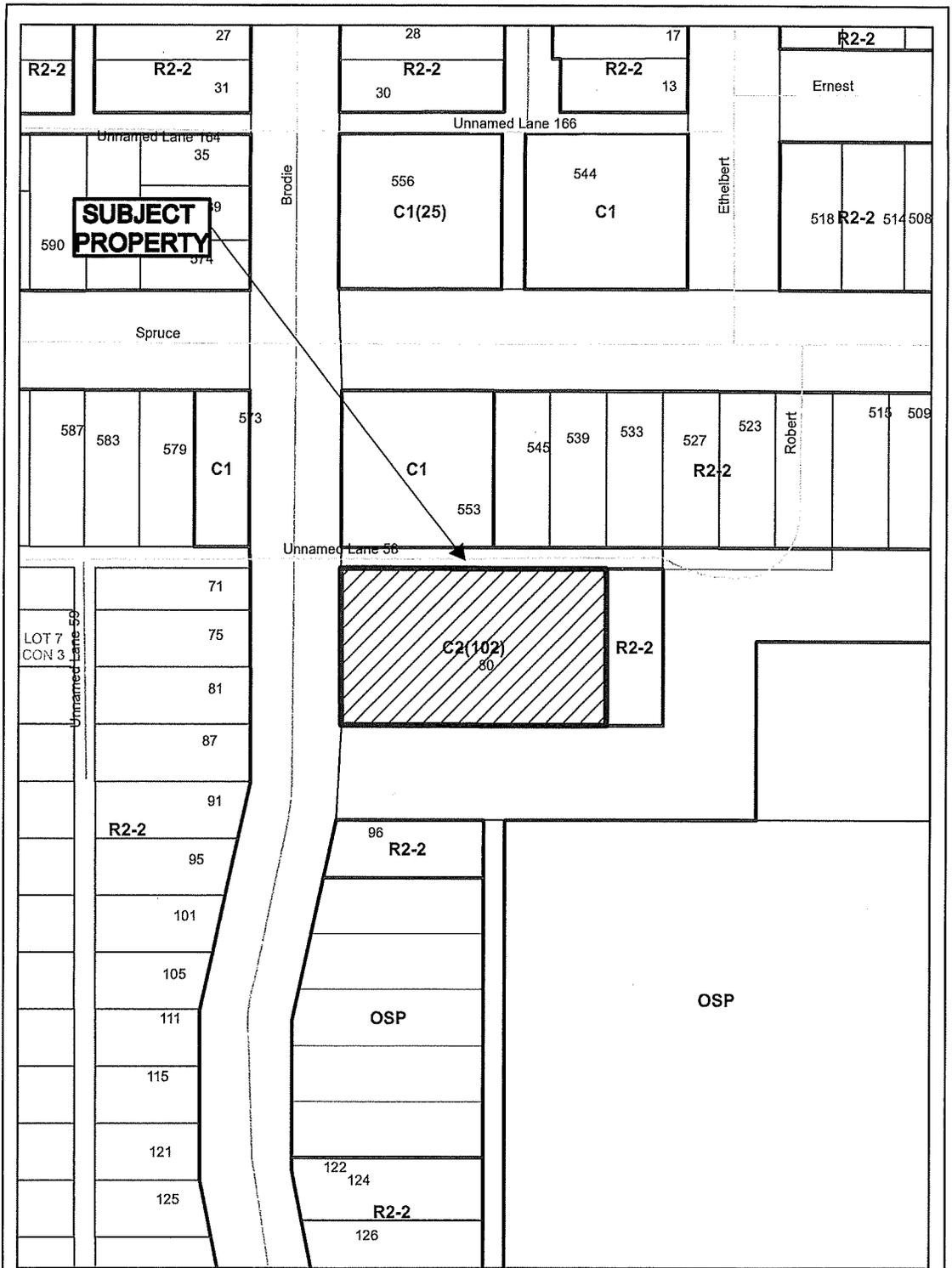
[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Andrea DeMarco

*I have authority to bind the Corporation

A0008/2024



Application for Minor Variance or Permission



Subject Property PIN 73586-1414,
 Lots 80, 81, 82, 83, and 84 on Plan 29-SB,
 Part 1 on Plan 53R-20253, Lot 7, Concession 3,
 Township of McKim, 80 Brodie Avenue, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0008/2024
 Date: 2024 01 29

REVISED January 2024



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

Office Use Only
2023.01.01
A 0102/2023
S.P.P. AREA
YES ___ NO [checked]
NDCA REG. AREA
YES [checked] NO ___

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Adam Field and Andria Field
Mailing Address: PO Box 326
83 Simon Lake Road
City: Naughton
Postal Code: P0M 2M0
Email: [redacted]
Home Phone: [redacted]
Business Phone: [redacted]
Fax Phone: [redacted]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Adam Field
Mailing Address: 500 King Street North Suite 500-MA P.O. Box 161
83 Simon Lake Road, Naughton
City: Naughton
Postal Code: [redacted]
Email: [redacted]
Home Phone: [redacted]
Business Phone: [redacted]
Fax Phone: [redacted]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Manulife Bank
Mailing Address: 500 King Street North Suite 500-MA P.O. Box 1602 STN
City: Waterloo
Postal Code: N2J 4C6

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Table with 4 columns: Variance To, By-law Requirement, Proposed, Difference. Row 1: see attached table, [blank], [blank], [blank].

b) Is there an eave encroachment? [checked] Yes [] No If 'Yes', size of eaves: 0.6096 (m)

c) Description of Proposal: An addition to the existing house that will be closer to the lake by 3.048m than the existing backside of the house. The addition will be 2 stories in height and the plans have a proposal to be at 1.22m from the lot line on the east side of the house.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: size of the addition is set and any smaller will create unusable space and then can't be built.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):		Township: Graham	
Lot No.: 28481	Concession No.: 3	Parcel(s):	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 83 Simon Lake Road, Naughton			

7) Date of acquisition of subject land. July 2022

8) Dimensions of land affected.

Frontage 31.62 (m) Depth 60.96 (m) Area 1927.56 (m²) Width of Street 6.52 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	see attached table 9) (m ²)	see attached table 9) (m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	see attached table 10) (m)	see attached table 10) (m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

house - 1986, garage 1994, gazebo - 2023,

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 37 years

14) Proposed use(s) of the subject property.

Same as #13 or,

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?

Yes No

If "yes", how many?

17) Existing uses of abutting properties: residential properties

A102/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Adam Field and Andria Field (please print all names), the registered owner(s) of the property described as 83 Simon Lake Road, Naughton

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

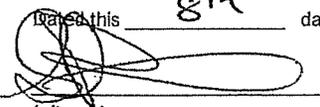
Authority to Enter Land and Photograph

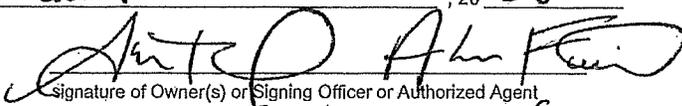
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Adam Field (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 8th day of August, 2023


(witness)
SCOTT BOIRIER


signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Adam Field Andria Field

*I have authority to bind the Corporation

AO102/2023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Adam and Andria Field (please print all names), the registered owner(s) or authorized agent of the property described as 83 Simon Lake Road

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 8th day of August, 2023

Commissioner of Oaths Karen Elizabeth Pigeau, Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

Signature of Owner(s) or Signing Officer or Authorized Agent (*where a Corporation)

Print Name: ADAM FIELD ANDRIA FIELD *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Form with fields for Date of Receipt (Aug 14/23), Hearing Date (Aug 30/23), Zoning Designation (R1-5), Resubmission (No), Previous File Number(s) (See below), Notes (B0321/1989 (Jun 12/89)), and Resubmitted dates (Sept 7/23).

A010212023

Table Section 5)

Section	Variance to	By-Law Requirement	Proposed	Difference
Table 6.2	Distance from Lot Line- Addition	1.828	1.22	0.608

A0102/2023

Table 9)

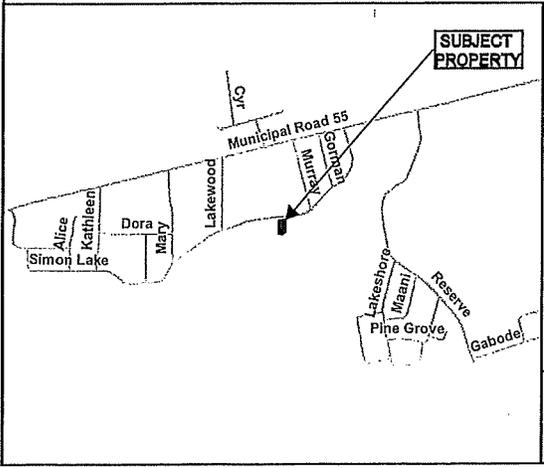
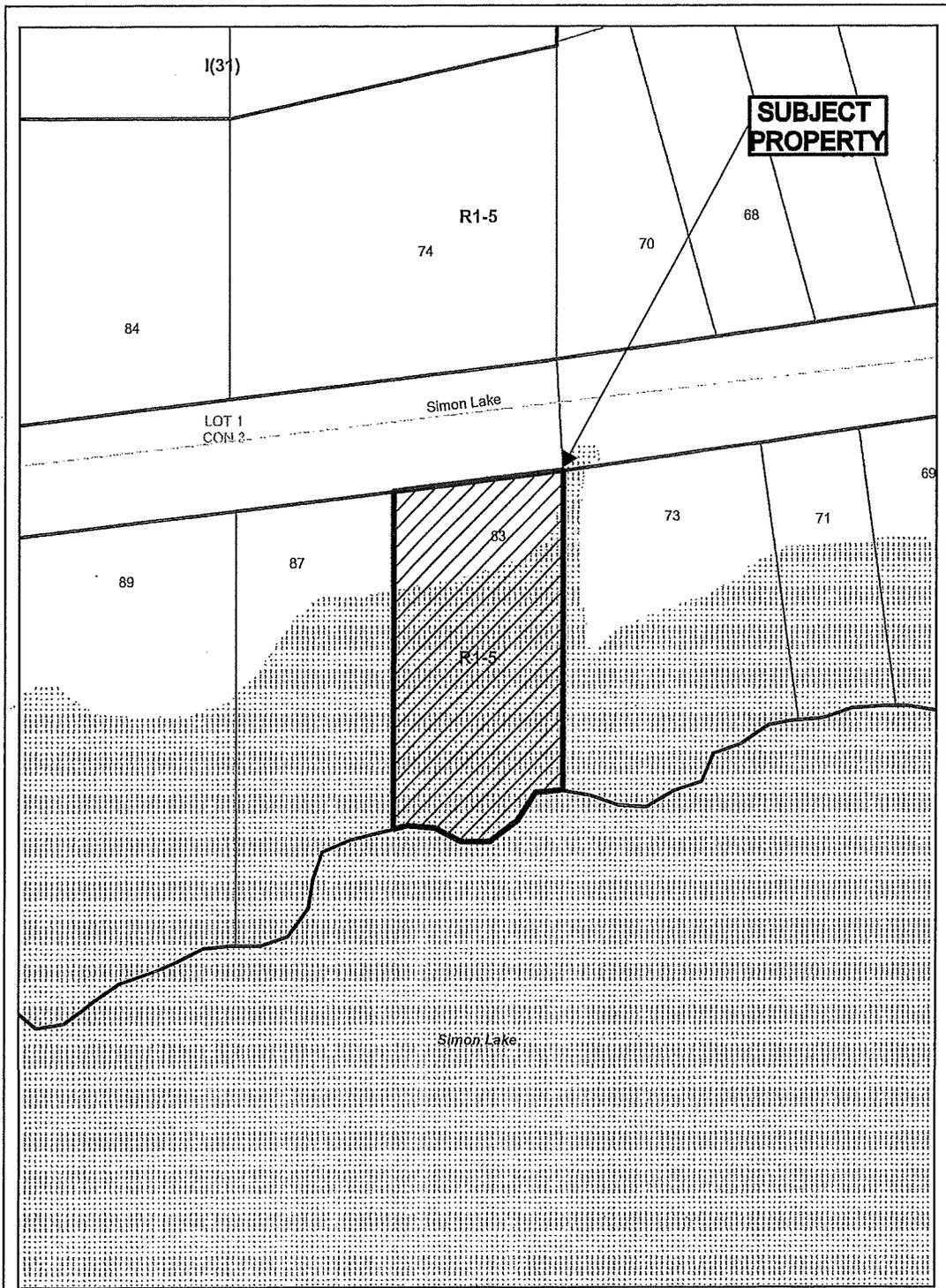
Particulars of all buildings	Exisitng				Proposed	
	Ex. House	Gazeebo			Garage	House+Addition
Ground Floor Area	102.19	28.9			53.064	154.22
Gross Floor Area	102.19	28.9			53.064	206.24
No. of Stories	1	1			1	2
Width	7.62	3.66			6.7	10.67
Length	13.41	7.92			7.92	18.29
Height	5.49	3.96			4.57	6.858

A0102/2023

Table 10)

Building Location	Exisitng				Proposed		
	Ex. House	Gazebo			Garage	Addition	Front Porch
Front	7.74	48.46			6.096	7.74	6.63
Rear	40.54	7.62			45.72	37.49	54.86
Side	6.197	3.05			2.4	1.22	23.26
Side	2.438	25.903			23.51	2.4	7.99

A0102/2023



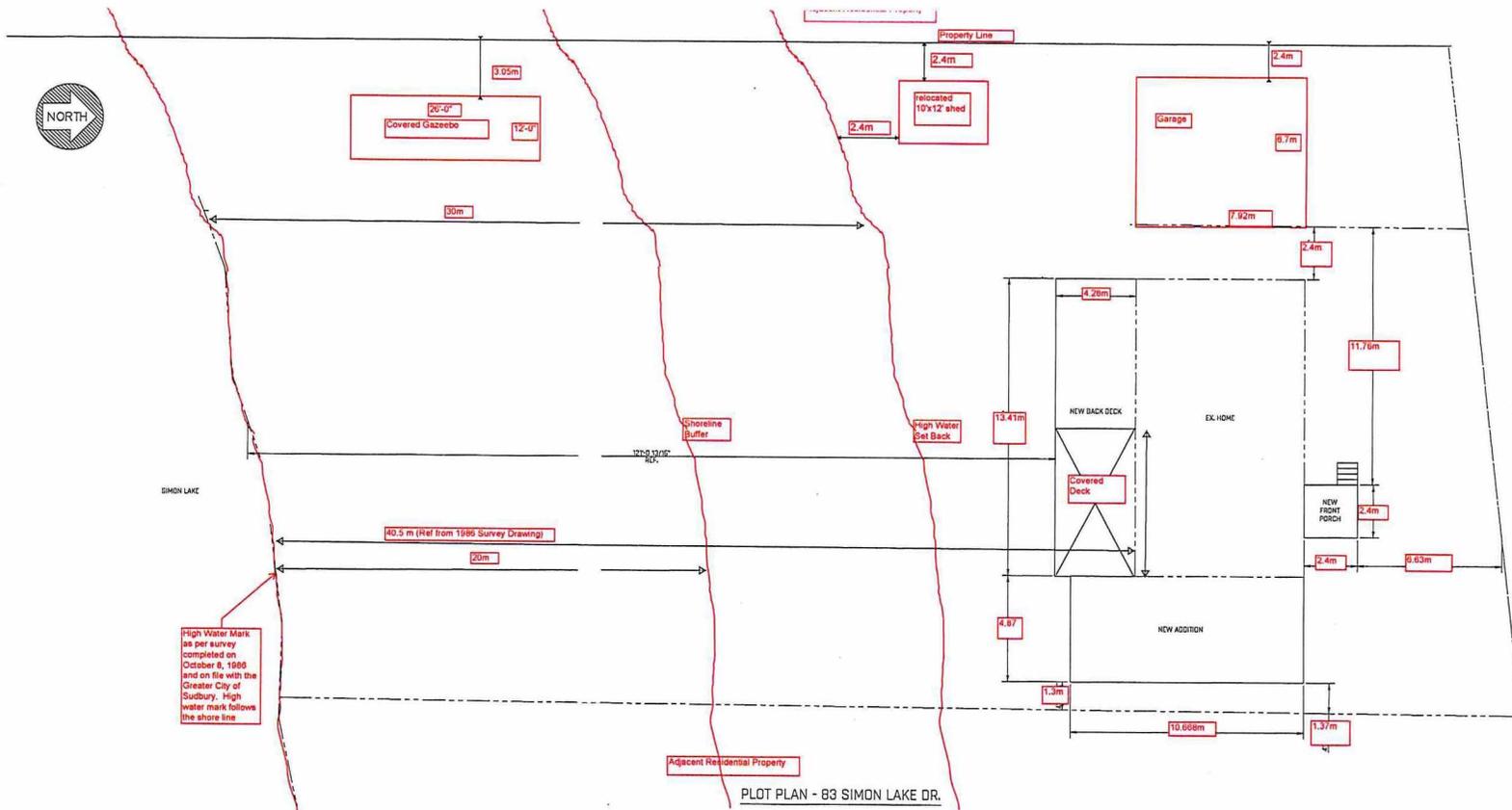
Application for Minor Variance or Permission



Subject Property PIN 73381-0546,
 Parcel 28481 SEC SWS, Part Lot 1, Concession 3,
 Part 3, Plan 53R-10947 and Part 2, Plan 53R-12572,
 Township of Graham, 83 Simon Lake Drive, Naughton,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0102/2023
 Date: 2023 08 14



PLOT PLAN - 83 SIMON LAKE DR.

A0102/2023
REVISED
January 2024
Sketch 2

23-0437

WALL ASSEMBLY LEGEND		
*REFER TO PLANS AND SECTIONS FOR THE LOCATION OF THE WALL ASSEMBLIES. ADDITIONAL DETAILS PROVIDED WITHIN PROJECT DRAWING PACKAGE IF ANY WALLS NOT LISTED		
TAG	DESCRIPTION	NOTES
W1	<ul style="list-style-type: none"> 1/2" GYPSON WALL BOARD 2x4 STUDS @ 16" C/C 1/2" GYPSON WALL BOARD 	2 X 4 EXTERIOR WALLS
W2	<ul style="list-style-type: none"> 1/2" GYPSON WALL BOARD 4 MIL POLYETHYLENE VAPOR BARRIER 2x6 STUDS @ 16" C/C WITH R-24 BATT INSULATION 1/2" FLYWOOD OR OSB SHEATHING 0.75 CONTINUOUS INSULATION (TAPED SEAM) ONE FINISHED HORIZONTAL SIDING (AS SELECTED BY OWNER) OR 1/2" TYPE HOUSE SIPS 	2 X 6 EXTERIOR WALLS NON-FIRE RATED NSH-R-24 + 25 CL
W3	<ul style="list-style-type: none"> 1/2" GYPSON WALL BOARD 2x6 STUDS @ 16" C/C 1/2" GYPSON WALL BOARD 	2 X 6 INTERIOR WALLS
W4	<ul style="list-style-type: none"> 1/2" GYPSON WALL BOARD 4 MIL POLYETHYLENE VAPOR BARRIER 2x4 STUDS @ 16" C/C WITH R-14 BATT INSULATION R-10 CONTINUOUS INSULATION 1" CHAU (NEW OR EXISTING) CONTINUOUS WATERPROOFING MEMBRANE 	2 X 4 EXTERIOR WALLS NSH-R-14 + 10 CL
F1	<ul style="list-style-type: none"> FLOOR FINISH 1/2" FLYWOOD OR OSB 2x12 FLOOR JOISTS @ 16" C/C 1/2" GYPSON BOARD 	FLOORING ASSEMBLY

DOOR SCHEDULE & LINTEL DETAILS		
DOOR SCHEDULE TAG: 1 DESCRIPTION: EXTERIOR FRONT DOORS ONLY FORCED ENTRY PROTECTION	DOOR SCHEDULE TAG: 2 DESCRIPTION: INTERIOR HOLLOW CORE DOOR	DOOR SCHEDULE TAG: 3 DESCRIPTION: INTERIOR HOLLOW CORE DOOR

*REFER TO PROPOSED MAIN FLOOR PLAN FOR THE LOCATION OF DOORS. DOOR SIZES MAY BE ADJUSTED TO ACCOMMODATE OWNER'S PREFERENCE PROVIDED THEY MEET OBC VIBR. REQUIREMENTS

WINDOW SCHEDULE & LINTEL DETAILS		
WINDOW SCHEDULE TAG: 1 DESCRIPTION: 2'-0" x 6'-0" DOUBLE GLAZED WINDOW	WINDOW SCHEDULE TAG: 2 DESCRIPTION: 2'-0" x 6'-0" DOUBLE GLAZED WINDOW	WINDOW SCHEDULE TAG: 3 DESCRIPTION: 2'-0" x 6'-0" DOUBLE GLAZED WINDOW

*LOCATION OF WINDOW AND HEIGHT OF WINDOW MAY BE ALTERED TO THE OWNER'S PREFERENCE. HOWEVER SHOULD THE WIDTH OF WINDOW CHANGE CONTACT ENGINEER TO ENSURE APPROPRIATE LINTEL IS INSTALLED.

GENERAL NOTES

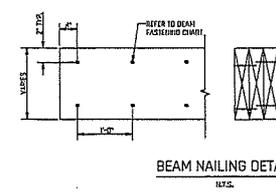
1. ANY REFERENCE DIMENSIONS SHOWN ON THE DRAWING ARE NOT TO BE USED FOR CONSTRUCTION.
2. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND FABRICATION.
3. ALL WORK, FABRICATION AND CONNECTIONS SHALL BE IN CONFORMANCE WITH THE OBC AND APPLICABLE CSA STANDARDS. WHERE THE DRAWING DEVIATES FROM THE OBC AND APPLICABLE STANDARDS, THE MORE STRINGENT SHALL GOVERN. ALL SPECIFIED AND PROPRIETARY PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
4. IF ANY MODIFICATIONS ARE REQUIRED WHICH DO NOT FOLLOW THE DRAWING INSTRUCTIONS CONTACT ENGINEER FOR APPROVAL PRIOR TO PROCEEDING WITH THESE CHANGES.
5. ELECTRICAL AND MECHANICAL ARE NOT INCLUDED WITH THIS DRAWING. PROPER E.S.A. INSPECTIONS ARE TO BE COMPLETED, AND ALL WORK TO COMPLY WITH O.B.C. (LATEST EDITION).
6. CONTRACTOR SHALL ENSURE ELECTRIC SMOKE AND CO DETECTOR W/VISUAL COMPONENT.
7. ATTIC ACCESS HATCH SHALL BE PROVIDED. HATCH SHALL BE 20"x28" WITH WEATHER STRIPPING & BACKED WITH R20 INSULATION.
8. ANY WOOD IN CONTACT WITH CONCRETE OR THE GROUND SHALL BE PRESURE TREATED. ALL TIMBER SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH CSA SPECIFICATION OBD-M "WOOD PRESERVATION", AS PER CATEGORY UC31 REQUIREMENTS FOR SPECIES AND PRESERVATION TYPE. SHIELD UNREATED WOOD BE USED. THE WOOD SHALL BE SEPARATED FROM THE CONCRETE BY A 2 MIL POLYETHYLENE FILM, #50 DR. OTHER DAMPROOFING MATERIAL.
9. CLEAN & MAKE GOOD ALL TRADES TO MATCH NEW AND EXISTING FINISHES, INCLUDING ANY DAMAGE CAUSED BY CONSTRUCTION.
10. SHOULD AT ANY TIME ANY DETAILS CONTAINED WITHIN THIS DRAWING PACKAGE ARE NOT UNDERSTOOD FULLY, CONTACT ENGINEER FOR GUIDANCE AND/OR CLARIFICATION.
11. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER TO CONTACT THE ENGINEER FOR INSPECTION AND TO NOTIFY THE ENGINEER WHEN THE PROJECT IS READY FOR INSPECTION PRIOR TO COMPLETION. CONTACT THE ENGINEER AND BUILDING OFFICIAL FOR THE APPROPRIATE INSPECTION INTERVALS TO SUIT THE CONSTRUCTION.

FRAMED CONSTRUCTION NOTES:

1. ALL FRAMING LUMBER SHALL BE GRADE NO. 1/2 SPF UNDO.
2. JOISTS TO HAVE A MINIMUM 1/2" END BEARING. BEAMS TO HAVE A MINIMUM 3/4" END BEARING.
3. DOUBLE STUDS TO BE AT ALL OPENINGS. DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN EXT WALLS, AND DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" AND 10'-6".
4. DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" AND 5'-7".
5. DOUBLE JOISTS TO BE PLACED UNDER PARALLEL PARTITIONS.
6. BEAMS TO BE PLACED UNDER LOAD BEARING WALLS WHEN WALL IS PARALLEL TO FLOOR JOISTS.
7. BEAM MAY BE A MAX 24" FROM A LOAD BEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS.
8. METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY ARE FRAMING INTO THE SIDE OF BEAMS, TRIMMERS AND HEADERS.
9. WALLS REQUIRE BLOCKING AT THEIR MIDSPAN. STAGGER BLOCKING UP AND DOWN TO PERMIT OPTIMAL NAILING.
10. BUILT-UP BEAMS SHALL BE CONSTRUCTED PER OBC REQUIREMENTS. REFER TO OBC CL. 9.23.8 FOR REFERENCE.

PRE-ENG ROOF TRUSS REQUIREMENT:

1. TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
2. CONNECTIONS TO BE DESIGNED BY TRUSS MANUFACTURER.
3. BRACING REQUIREMENTS TO SUIT APPLICABLE LOADS AND DESIGNED BY TRUSS ENGINEER.
4. TRUSS PACKAGE TO BE SHARED WITH, AND APPROVED BY, SHIELD CONSULTING ENGINEERS LTD PRIOR TO CONSTRUCTION.



BEAM FASTENING CHART	
• 1" DEPTH OR LESS: 2 ROWS OF 100 COMMON NAILS @ 3 1/2" LONG	IN ALL CASES ADD ADDITIONAL ROW IF SPIDER NAILS ARE USED. IF BEAM IS SIDE LOADED (E.G. JOIST FRAMING INTO MEMBER RATHER THAN BEARING ON TOP) ONE NAILING IS REQUIRED ON EACH SIDE OF BEAM.
• 1" TO 1 1/2" DEPTH: 3 ROWS OF 100 COMMON NAILS @ 3 1/2" LONG	
• 2" TO 2 1/2" DEPTH: 4 ROWS OF 100 COMMON NAILS @ 3 1/2" LONG	

FOUNDATION NOTES:

1. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE APPROPRIATE WATER CONTROL/DE-WATERING METHODS ON THE WORKSITE AS REQUIRED DURING THE PROJECT.
2. CONTACT ENGINEER ONCE REBAR/ENFORCEMENT AND FORMS ARE IN PLACE FOR FINAL INSPECTION PRIOR TO PLACING CONCRETE.
3. FOR ADDITIONAL DETAILS REGARDING ANCHORAGE OF STRUCTURE TO FOUNDATION REFER TO CLAUSE 9.23.6 OF THE ONTARIO BUILDING CODE. OWNER SHALL CONSIDER J-BOLTS, POST INSTALLED ANCHORS, OR MUDDILL ANCHORS FOR ANCHORING SILL PLATE TO CONCRETE. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE A55 OR BETTER. CONTRACTOR SHALL ENSURE ALL PROPER LOCATES ARE PERFORMED PRIOR TO CONSTRUCTION.
4. CO-ORDINATE ALL WORK WITH OWNER, AND SHOULD ANY SUBSTITUTIONS BE REQUIRED CONSULT AND SEEK APPROVAL IN WRITING FROM OWNER PRIOR TO PROCEEDING WITH THE WORK.
5. MIN ALLOWABLE BEARING PRESSURE OF 1000psf (TO BE CONFIRMED BY OWNER/OTHERS). IT IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER TO RENDER THE SERVICES OF A GEOTECHNICAL ENGINEER AS REQUIRED TO SATISFY THE SOIL AND DRAINAGE REQUIREMENTS OF THIS DRAWING, AND/OR TO SATISFY THE REQUIREMENTS OF LOCAL BUILDING OFFICIALS. THE GEOTECHNICAL ENGINEER SHALL ALSO PROVIDE RECOMMENDATIONS TO THE FILL AND SOIL SHOWN IN THIS DRAWING BASED ON THEIR INVESTIGATION.
6. A SOILS CONSULTANT SHALL APPROVE ON SITE THE ASSIGNED SAFE NET BEARING PRESSURE FOR EACH FOOTING, IF THE SAFE NET BEARING PRESSURE FOR DESIGN IS NOT APPROVED, THE FOUNDATION DETAILS WILL BE ADJUSTED BY THE ENGINEER ACCORDING TO SITE CONDITIONS.
7. SPECIFIED INSULATION TO BE APPROVED BY QUALIFIED GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE LOCAL SOIL CONDITIONS.
8. IF SOIL SOFTENING OCCURS BEFORE CONCRETE FOOTING CAN BE POURED, OR AS REQUIRED BY THE SOILS REPORT, CONSTRUCT FOOTINGS ON A LEVEL 2" THICK SKIN SLAB OF 2000psi MINIMUM 28 DAY STRENGTH. PLACE IMMEDIATELY AFTER COMPLETION OF EXCAVATION.
9. LOCATE FOOTING ELEVATIONS AS REQUIRED TO ACCOMMODATE BURIED ELECTRICAL OR MECHANICAL SERVICES AND PROTECT EXISTING AND ADJACENT FOOTINGS FROM BEING UNDERMINED AND OVERLOADED BY LIMITING THE SLOPE OF THE LINE BETWEEN THE ADJACENT FOOTING ELEVATIONS TO A 7 IN 10 MAXIMUM SLOPE WITH A MAXIMUM RISE OF 2'-0".
10. USE EXCAVATED MATERIALS AS BACKFILL ONLY AS APPROVED BY SOILS CONSULTANT.
11. PROTECT ALL STRUCTURAL STEEL EXPOSED TO EARTH WITH AT LEAST 2" OF CONCRETE COVER UNLESS NOTED OTHERWISE ON DRAWINGS.

CONCRETE NOTES:

1. ALL CONCRETE MATERIALS, WORK, DESIGN, AND TESTING SHALL CONFORM WITH CSA A23.2/23.3 (LATEST EDITIONS).
2. FORMWORK SHALL BE TIGHT, STRONG, LEVEL, AND BRACED ACCORDINGLY TO MAINTAIN SHAPE AND POSITION THROUGHOUT THE POUR. ONLY NEW MATERIAL SHALL BE UTILIZED FOR FORMWORK.
3. THE MINIMUM COMPRESSIVE STRENGTH SHALL BE 32 MPa AT 28 DAYS WITH AN EXPOSURE CLASS 'C' (CSA A23.1) AND AIR CONTENT BETWEEN 5% TO 8%. A SLUMP OF 3" (4" - 3/4") IS TO BE ACHIEVED WITH A MAX AGGREGATE SIZE, CRUSHED STONE OF 3/4". A TYPICAL DISCHARGE TEMPERATURE OF 15°C TO 25°C IS REQUIRED. A CLASS A FLOOR FINISH (CSA A23.1) SHALL BE APPLIED WHERE REQUIRED.
4. ALL 10M BARS SHALL BE SPLICED WITH A MINIMUM OVERLAP OF 15". ALL 10M BARS SHALL BE SPLICED WITH A MINIMUM OVERLAP OF 22". LAP SPLICE TO EQUAL CLASS B TENSION LAP PER CSA-A23.3.
5. DEFORMED BARS OF NEW BILLET STEEL SHALL CONFORM TO CAN/CSA C30.18 GRADE 400R.
6. WET CURE SLAB FOR A MIN OF 7 DAYS.



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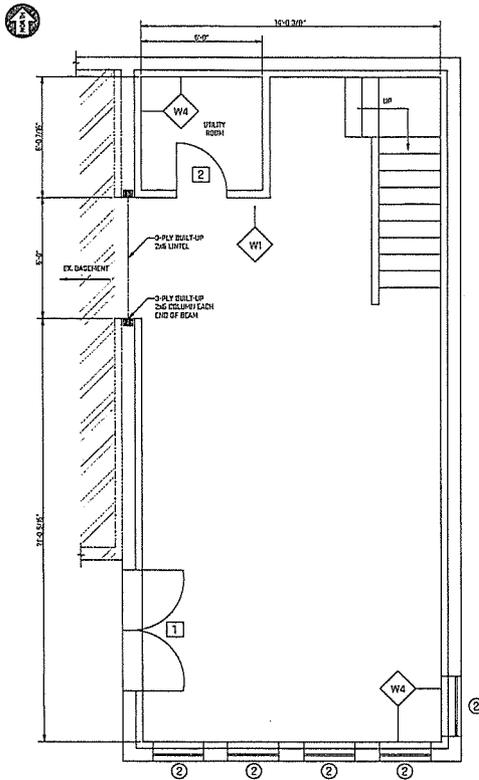
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			0	ISSUED FOR CONSTRUCTION	M.A.	M.A.	2023-02-16

CLIENT NAME	ADAM FIELD
DATE	83 SIMON LAKE DR., NAUGHTON
PROJECT DESCRIPTION	HOUSE ADDITION
QUANTITY DESCRIPTION	
GENERAL NOTES	
DRAWN BY	M. JUTAL
DATE DRAWN	2023-02-23
CHECKED BY	K. MAY
DATE CHECKED	2023-02-16
APPROVED BY	M. JUTAL
DATE APPROVED	2023-03-16
SCALE	N.T.S.
DRAWING NUMBER	2243-A4
REVISION	0

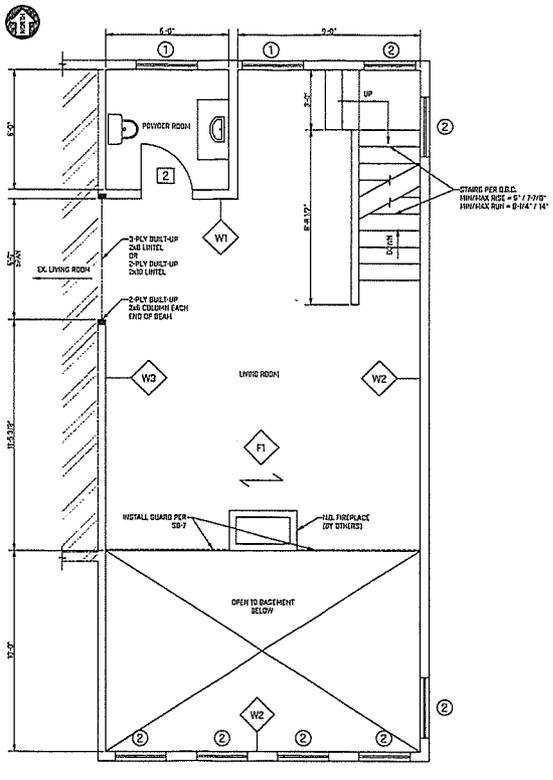
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23-0437

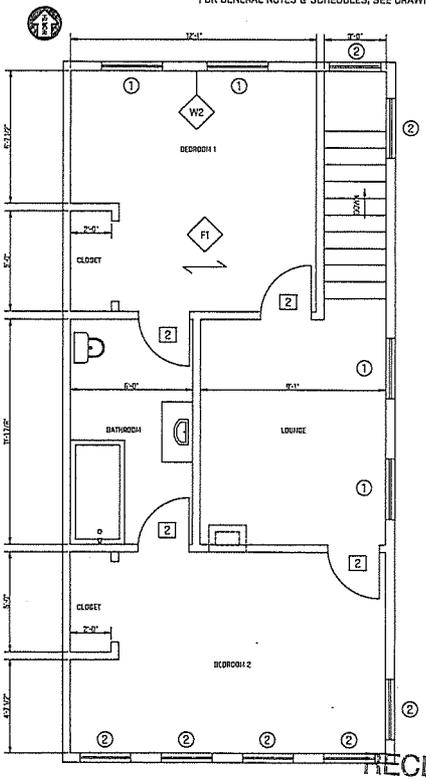
FOR GENERAL NOTES & SCHEDULES, SEE DRAWING 2243-A4



PLAN VIEW - ADDITION BASEMENT



PLAN VIEW - ADDITION MAIN FLOOR



PLAN VIEW - ADDITION SECOND FLOOR



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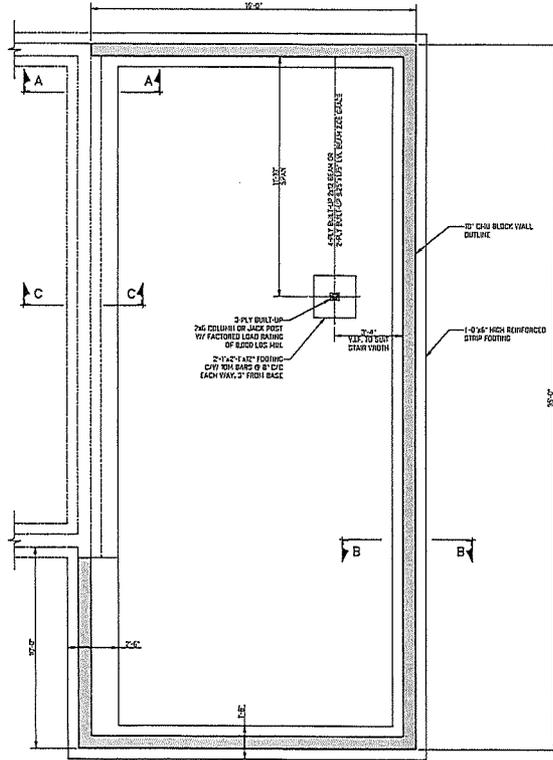
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			#	ISSUED FOR CONSTRUCTION	M.A.	M.A.	2023-02-16

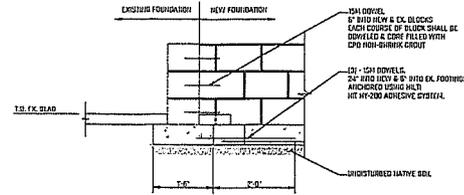


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M. JOTAL	2023-07-23	K. MAY	2022-02-16	M. JOTAL	2023-03-16	3/8"=1'-0"	2243-A1	0

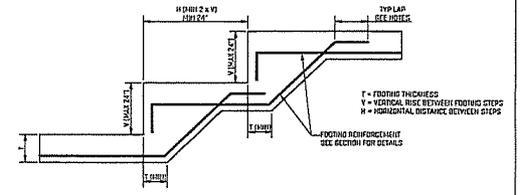
AD 102/2023
Sketch 5



FOUNDATION PLAN

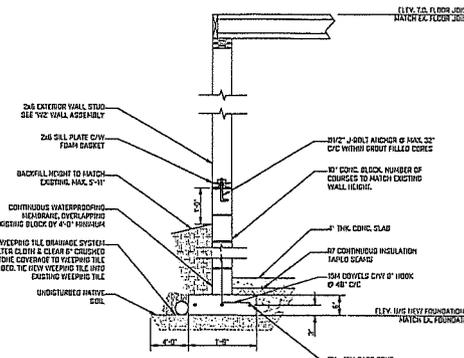


SECTION A-A - TIE-IN TO EX. FOUNDATION
SCALE: 3/4\"/>

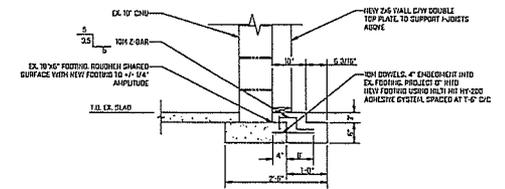


TYPICAL STEP FOOTING DETAIL
N.T.S.

NOTE: LOCATE FOOTINGS AT 0'-0\"/>



SECTION B-B - NEW FOOTING & BLOCK
SCALE: 3/4\"/>



SECTION C-C
SCALE: 3/4\"/>

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REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUED FOR CONSTRUCTION	M.L.	M.L.	2023-02-16



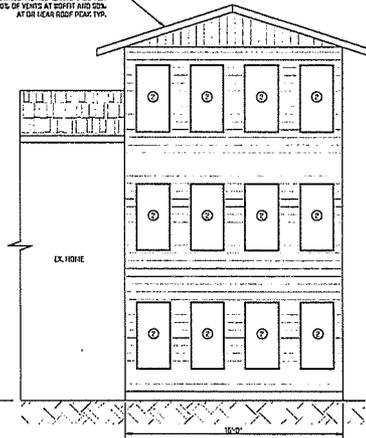
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M. JOYAL	2023-01-23	K. MAY	2023-02-16	M. JOYAL	2023-03-15	3/8\"/>		

A0102/2023
Sketch 6

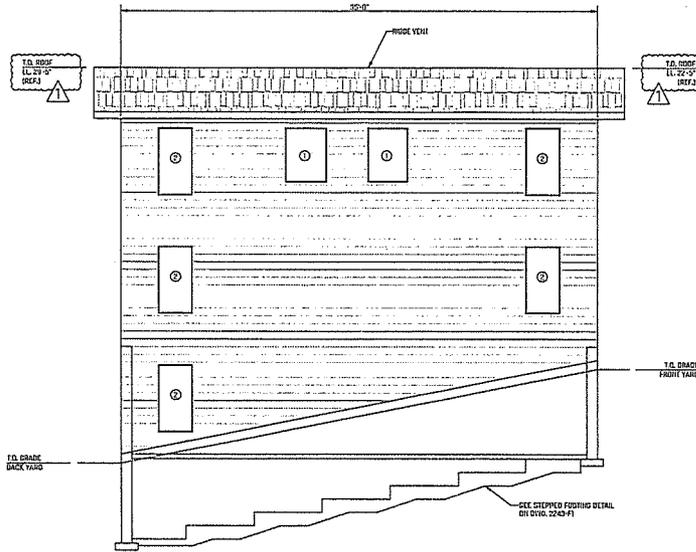
23-0437

FOR GENERAL NOTES & SCHEDULES, SEE DRAWING 2243-A2

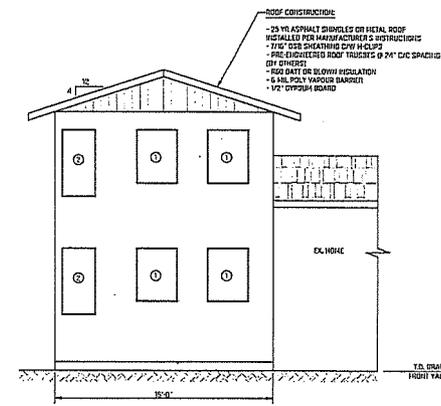
PROVIDE ROOF VENTILATION OF 1/300 OF INSULATED CEILING AREA FOR NON-CATHEDRAL ROOFS AND 1/100 FOR CATHEDRAL ROOFS WITH 50% OF VENTS AT ROOF AND 50% AT OR NEAR ROOF PEAK TOP.



ELEVATION VIEW - LOOKING NORTH



ELEVATION VIEW - LOOKING WEST



ELEVATION VIEW - LOOKING SOUTH

ROOF CONSTRUCTION:
 - 25 MM ASPHALT SHINGLES OR METAL ROOF
 - 2x10" OSB SHEATHING CW/ H CLIPS
 - INSULATED TO ROOF TRUSSES @ 2x4" CIRC BRACING
 (BY OTHERS)
 - 100 BATT OR EQV. INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" OSB/PA BOARD

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REFERENCE DRAWING NO	REFDWO	REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
				0	ISSUED FOR CONSTRUCTION	M.J.	M.J.	2022-03-16
				1	ADDED ELEVATION OF ROOF FROM FRONT AND BACK YARD GRABES (TO BE FIELD VERIFIED)	M.J.	M.J.	2023-04-24

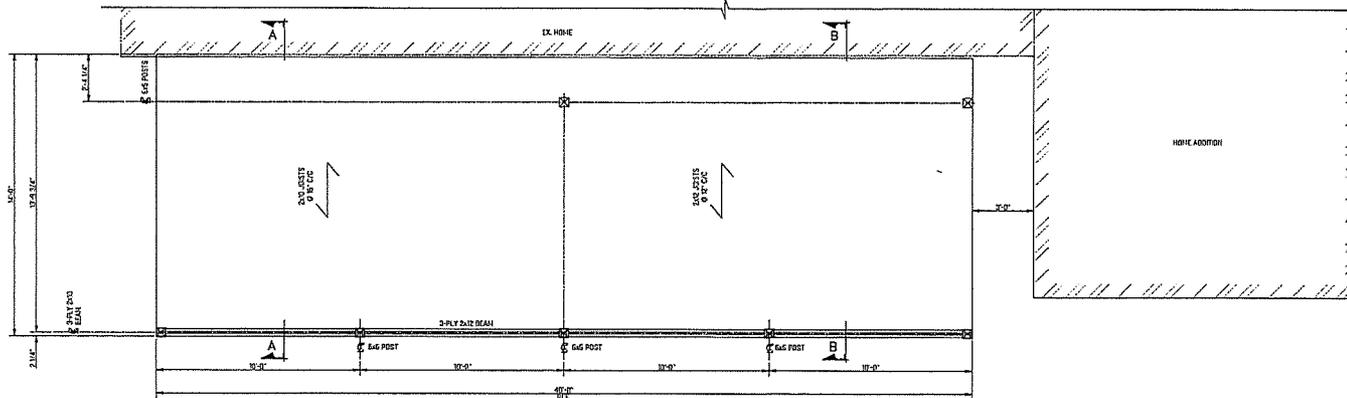


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M. JOYAL	2023-01-23	K. MAY	2023-02-16	M. JOYAL	2023-03-16	1/4"=1'-0"	2243-E1	1

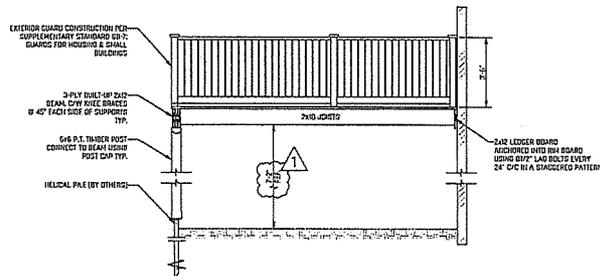
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23-0437

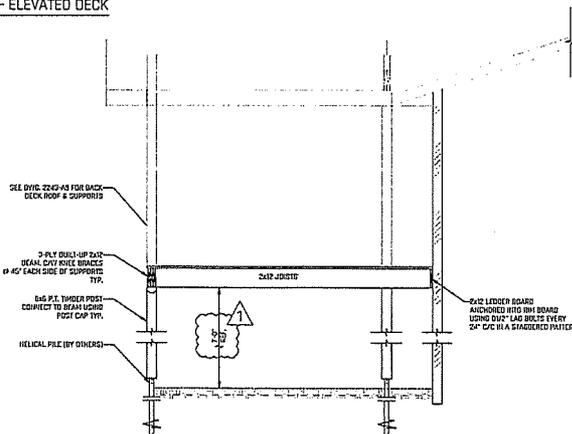
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PLAN VIEW - ELEVATED DECK



SECTION A-A



SECTION B-B



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REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUED FOR CONSTRUCTION	M.J.	M.J.	2023-03-16
			1	ADDED ELEVATION TO UNDERSIDE OF DECK	M.J.	M.J.	2023-04-24

SHIELD
CONSULTING ENGINEERS LTD.

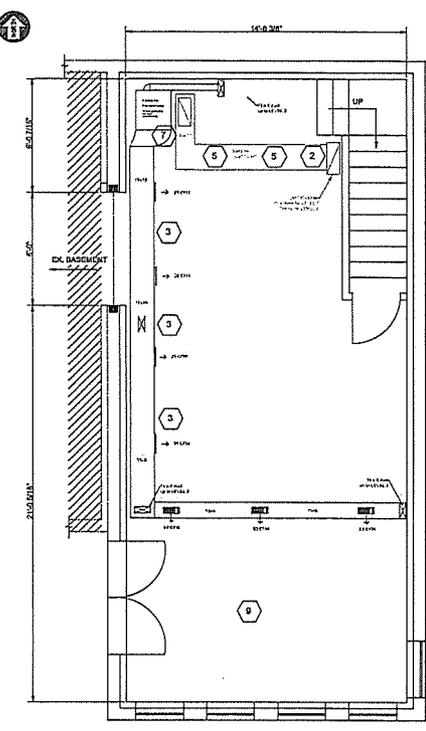
DRAWN BY: M. JAYAL | DATE DRAFT: 2023-01-23 | CHECKED BY: K. MIAT | DATE CHECKED: 2023-02-16 | APPROVED BY: M. JAYAL | DATE APPROVED: 2023-03-16 | SCALE: 3/8"=1'-0" | DRAWING NUMBER: 2243-A2 | REVISION: 1

CLIENT NAME	ADAM FIELD
SITE	83 SIMON LAKE DR., NAUGHTON
PROJECT DESCRIPTION	HOUSE ADDITION
MARKING DESCRIPTION	REAR DECK PLAN VIEW & SECTION

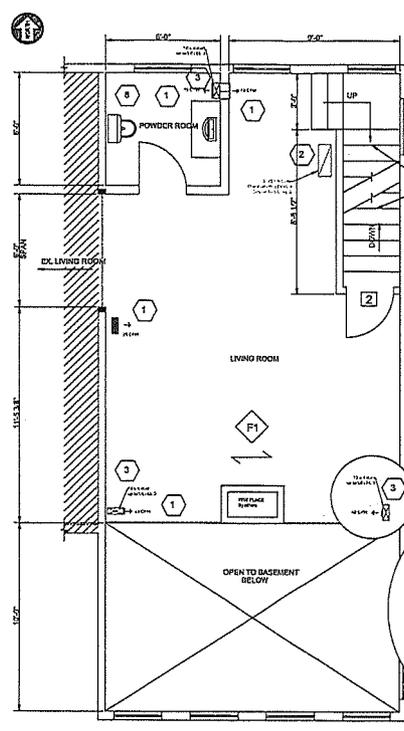
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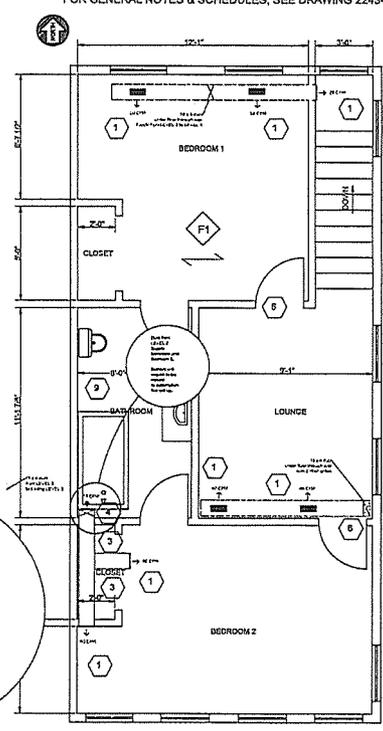
FOR GENERAL NOTES & SCHEDULES, SEE DRAWING 2243-A4



HVAC PLAN VIEW - ADDITION LEVEL 1
BASEMENT



HVAC PLAN VIEW - ADDITION LEVEL 2
MAIN FLOOR



HVAC PLAN VIEW - ADDITION LEVEL 3
SECOND FLOOR

HVAC NOTES:
 1. BATHROOM EXHAUSTS TO DISCHARGE OUTDOORS
 2. HVAC EQUIPMENT SHALL BE INSTALLED WITH NECESSARY CLEARANCES FOR GAS FLEED EQUIPMENT AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
 3. ALL MATERIALS, FABRICATION AND INSTALLATION SHALL BE CONSISTENT WITH APPLICABLE CODES, STANDARDS, AND REGULATIONS

GENERAL NOTE	ID	NOTE DESCRIPTION	ID
	0		
	1	Typical bar with Ropyly grille 18" x 4"	6
	2	Return Grille 25x8 per level LEVEL 1 and LEVEL 3 same size.	7
	3	Blowhead required.	8
	4	This Filter must move to accommodate new duct work.	9
	5	put the joint seal side light - using seal nails and dust felt tape.	

NOTE DESCRIPTION	REV BY	APP'D BY	DATE
Undercut 1" under the door for RA back to hallway.	CAL.		2023-01-25
ADD min. 85 CFM 100V system for fresh air - interlock with furnace - to side BA and RA			
ADD min. 45 CFM exhaust fan, 0-6 side light switch. Exhaust through side wall.			
ADD min. 72 CFM exhaust fan, 0-6 side light switch. Exhaust through soffit on West side.			

HVAC - PART 8 FOR CONSTRUCTION		THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE CLIENT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. THE CLIENT ACCEPTS ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND THE CLIENT'S USE OF THE INFORMATION IS AT THE CLIENT'S SOLE RISK.	
100 HULLFORD ROAD LEVEL 100, PO BOX 112 OFFICE: 782-22-4422 WEBSITE: www.a3hvac.ca CTRL JOB No. 22541		CLIENT NAME ADAM FIELD	
		PROJECT DESCRIPTION HOUSE ADDITION	
		DRAWING DESCRIPTION PLAN VIEWS	
DRAWN BY	CHECKED BY	DATE APPROVED	APPROVED BY

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 sketch 9