

Tom Davies Square
200 Brady St

Wednesday, December 6, 2023

PUBLIC HEARINGS

A0126/2023

ALAIN BOCK

Ward: 6

PIN 73503 0209, Parcel 53094 SEC SES SRO, Survey Plan 53R-16413 Part(s) 2 and 3, Lot(s) Part 18, Subdivision M-459, Lot Part 1, Concession 3, Township of Hanmer, 61 Colette Street, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, as amended, for approval of an existing single family dwelling on the subject property providing a minimum rear yard setback of 5.97m, where a minimum 7.5m setback is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A146/98 (2 NOV 98) AND CONSENT APPLICATION B93/98 (26 OCT 98)

A0127/2023

JENNIFER DOWDALL

Ward: 6

PIN 73507 1423, Parcel 12418 SEC SES, Survey Plan 53R-14192 Part(s) except 5, Lot Part 12, Concession 5, Township of Capreol, 40 Onwatin Lake Road East, Hanmer, [2010-100Z, RS(Rural Shoreline)]

For relief from Part 4, Section 4.2, Table 4.1, Section 4.41, subsections 4.41.2, 4.41.3 and 4.41.4 and Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit existing sunroom additions on the single family dwelling providing, firstly, a high water mark setback of 12.0m for sunroom addition #1, and 21.1m for sunroom addition #2, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river, secondly, to permit sunroom addition #1 to be 12.0m setback from the high water mark of a lake, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3 and thirdly, a minimum easterly interior side yard setback of 1.17m with eaves encroaching 0.2m into the proposed 1.17m easterly interior side yard setback, where 3.0m is required, and where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A66/84 (22 MAY 84) AND A311/77 (19 SEP 77)

A0128/2023

ANDREW INCH

Ward: 1

PIN 73589 0346, Parcel 18278 SEC SES, Lot(s) Part 280, Subdivision M-99, Lot Part 7, Concession 2, Township of McKim, 723 St. Clair Street, Sudbury, [2010-100Z, R2-3(Low Density Residential Two)]

For relief from Part 5, Section 5.5.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to allow the existing triplex providing zero (0) parking spaces, where three (3) parking spaces are required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A136/86 (21 JUL 86) AND A577/68 (14 FEB 68)

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF OCTOBER 12, 2023 TO AFFORD THE APPLICANTS THE OPPORTUNITY TO ADDRESS OPEN LANDSCAPE REQUIREMENTS.

A0114/2023

1039512 ONTARIO LTD.

"REVISED"

Ward: 1

PIN 73587 0349, Parcel 23076 SEC SES, Survey Plan 53R-13123 Part(s) 4, 6, 7, 10, 11, 12, 13, 14 and 15, Lot(s) 186, 187 and 188, Subdivision M-133, Lot Part 9, Concession 2, Township of McKim, 0 Ronald Avenue, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, subsection 4.2.6 c) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, in order to construct an approximate 415 sq.m. dwelling with attached garage on the subject property providing firstly, a maximum garage width of 74% of the lot frontage, where a maximum garage width of 50% is permitted facing a front lot line.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, DECEMBER 20, 2023**



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

**City of Greater Sudbury
 APPLICATION FOR MINOR VARIANCE**

Office Use Only 2023.01.01	
AO 126/2023	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Alain Bock Email: [REDACTED]
 Mailing Address: 61 Colette Street, Hanmer Home Phone: [REDACTED]
 Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3P 1K2 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Brianne Powell Email: [REDACTED]
 Mailing Address: 1 James Street South Home Phone: [REDACTED]
61 Colette Street, Hanmer, Ontario P3P 1K2 Business Phone: [REDACTED]
 City: Hamilton Postal Code: L9P 4R5 Fax Phone: [REDACTED]
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Computershare Trust Company of Canada
 Mailing Address: 8th Floor, 100 University Avenue
 City: Toronto, Ontario Postal Code: M5J 2Y1

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5 (Low Density Residential)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Allow rear yard depth of 5.97m	minimum 7.5m	5.97m	approx. 1.5m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: _____
Allow for approximate deficiency of 1.5m to the rear yard depth, which currently measures at 5.97m.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The backyard of the property does not comply with Zoning By-Law 2010-100Z. The rear yard setback on the survey provides 5.97m in depth where 7.5m is the minimum requirement. Therefore, a minor variance is required for minimum rear yard depth.

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- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73503-0209(LT)		Township: Hanmer	Ontario
Lot No.: 1	Concession No.: 3	Parcel(s): 53094	
Subdivision Plan No.: M459		Lot: 18	Reference Plan No.: 53R16413 Part(s): 2,3
Municipal Address or Street(s): 61 Colette Street, Hanmer, Ontario P3P 1K2			

- 7) Date of acquisition of subject land.
- 2023/ 01/27

- 8) Dimensions of land affected.

Frontage 27.432 (m) Depth 22.805 (m) Area 520.068 (m²) Width of Street 20.1168 (m)

- 9) Particulars of all buildings:

	Existing dwelling (house)		Garage	
Ground Floor Area:	<u>106.795</u>	<u>(m²)</u>	<u>48.774</u>	<u>(m²)</u>
Gross Floor Area:	<u>106.795</u>	<u>(m²)</u>	<u>48.774</u>	<u>(m²)</u>
No. of storeys:	<u>1</u>		<u>1</u>	
Width:	<u>12.802</u>	<u>(m)</u>	<u>6.4008</u>	<u>(m)</u>
Length:	<u>8.8392</u>	<u>(m)</u>	<u>7.6200</u>	<u>(m)</u>
Height:	<u>4.8768</u>	<u>(m)</u>	<u>3.8100</u>	<u>(m)</u>

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing Dwelling (house)		Garage	
Front:	<u>8.016</u>	<u>(m)</u>	<u>20.726</u>	<u>(m)</u>
Rear:	<u>5.974</u>	<u>(m)</u>	<u>1.8</u>	<u>(m)</u>
Side:	<u>13.898</u>	<u>(m)</u>	<u>1.8</u>	<u>(m)</u>
Side:	<u>1.31</u>	<u>(m)</u>	<u>21.031</u>	<u>(m)</u>

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system

Municipally owned & operated sanitary sewage system

Lake

Individual Well

Communal Well

Individual Septic System

Communal Septic System

Pit Privy

Municipal Sewers/Ditches/Swales

- What type of access to the land?

Provincial Highway

Municipal Road

Maintained Yearly

Maintained Seasonal

Right-of-way

Water

If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1999

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 23 years

- 14) Proposed use(s) of the subject property.

Same as #13 or, _____

- 15) What is the number of dwelling units on the property?

1 Dwelling and 1 Garage

- 16) If this application is approved, would any existing dwelling units be legalized?
-
- Yes
-
- No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- Residential

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18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. Located in the Nickle District

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Alain Bock (please print all names), the registered owner(s) of the property described as PCL 53094 SEC SES SRO; PT LT 18 PL M459 HANMER PT 2 & 3 53R16413; S/T LT134202 in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Brianne Powell (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf. 11/8/2023

Dated this _____ day of _____, 20____

DocuSigned by:
Nicole Pellizzari
EDEC2A3B2E951D0
(witness)
Nicole Pellizzari

DocuSigned by:
Alain Bock
CDF501914224FF
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

A0126/2023



A0126/2023



Distance between
right side of garage
and nearest lot line
(approximately 6 ft)

A0126/2023



Rear of garage

Distance between garage and
approximate lot line (fence
with rope) = 6 ft



A0126/2023



A0126/2023



A0126/2023



A0126/2023



PAID

JAN 10 2023

PROPERTY SEARCH REQUEST (Residential)

BUILDING SERVICES SECTION

To: Property Research, Building Services... Telephone No.: 705-674-4455... From: Poulson Law... Closing Date: 01/17/2023... Contact Person: Stacey... Present Owner: Rorison... Telephone No.: [redacted]... Roll Number: 530717001805501... Fax No.: [redacted]... Year Built: 1999... E-Mail: [redacted]

\$145.00 FEE PAYABLE TO THE CITY OF GREATER SUDBURY

Two updates are permitted within one year from date of original search without charge. A service charge of \$35.00 will apply to any further updates. A new request is required after one year. Twenty-one business days are required to process this search.

(TO BE COMPLETED BY APPLICANT)

MUNICIPAL ADDRESS OF PROPERTY TO BE SEARCHED: 61 Colette St Hanmer

LEGAL DESCRIPTION

Parcel No.: 53094 Township: Hanmer Conc.: 3 Lot: 1 Registered Plan No.: M459 Lot: 18 Reference Plan No.: 53R16413 Part(s): 2,3

CURRENT USE:

What is the current use of the building? SFD Unknown How many residential units are currently in use? N/A How many commercial units are currently in use? N/A

(FOR OFFICE USE)

CURRENT USE:

Does the current use align with Building Services Records? Yes [checked] No Unknown

SURVEY PLAN SUBMITTED: YES Date of Survey: NO [checked]

Are there any outstanding orders under the Ontario Building Code Act? Yes No [checked] Unknown

1. Are there any orders prohibiting occupancy of building? Yes No [checked] Unknown

2. Are there any outstanding tickets under the Ontario Building Code Act? Yes No [checked] Unknown

A0126/2023

3. Building Permits Issued:

No.:	99-05462	Description:	Single Family Dwelling with Deck	Completion Date:	1999-11-13
No.:		Description:	Deck	Completion Date:	
No.:	20-0993	Description:	Detached Garage	Completion Date:	2020-10-22
No.:		Description:		Completion Date:	
No.:		Description:		Completion Date:	
No.:		Description:		Completion Date:	
No.:		Description:		Completion Date:	

Applicable Zoning By-law Numbers and Effective Dates:

<input type="checkbox"/>	58-104 Aug. 26, 1958	<input checked="" type="checkbox"/>	83-300 July 13, 1983	<input type="checkbox"/>	95-500Z July 12, 1995
<input type="checkbox"/>	62-192 Feb. 26, 1963	<input type="checkbox"/>	83-301 July 11, 1984	<input type="checkbox"/>	2001-24Z Jan. 1, 2001
<input type="checkbox"/>	64-6 Mar. 2, 1964	<input type="checkbox"/>	83-302 Feb. 25, 1987	<input type="checkbox"/>	2001-25Z Jan. 1, 2001
<input type="checkbox"/>	69-124 Dec. 29, 1969	<input type="checkbox"/>	83-303 Mar. 12, 1986	<input checked="" type="checkbox"/>	2010-100Z Sept. 29, 2010
<input type="checkbox"/>	76-327 Dec. 22, 1976	<input type="checkbox"/>	83-304 c 9, 1987		

3. The property is zoned: B1-5 (Low Density Residential One)

Designated Flood Plain: Yes ___ No Flood Plain ___ Flood Fringe ___

(For further information contact Conservation Authority at 705-674-6149)

5. Does the location of the structure(s) comply with current zoning regulations?

Yes ___ No Unknown ___ Committee of Adjustment Decision

6. Is location of the structure(s) legal existing? Yes ___ No Unknown ___
 *Rear yard setback on survey provides 19.6' where 24.6' is required. A minor variance is required for setback.

7. Is location of the structure(s) legal non-complying? Yes ___ No ___ Unknown N/A

8. Is location of the structure(s) in a vulnerable area? Yes No ___ Unknown ___
 (For further information contact Water/Wastewater at 705-674-4455, ext. 3600)
 *Based on archived OUS survey dated Aug 4/99 (see attached)

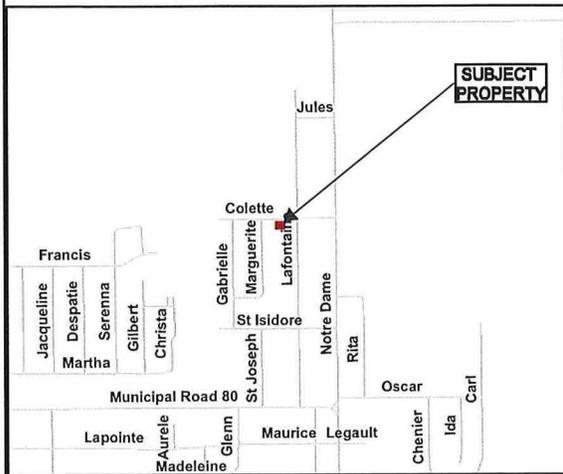
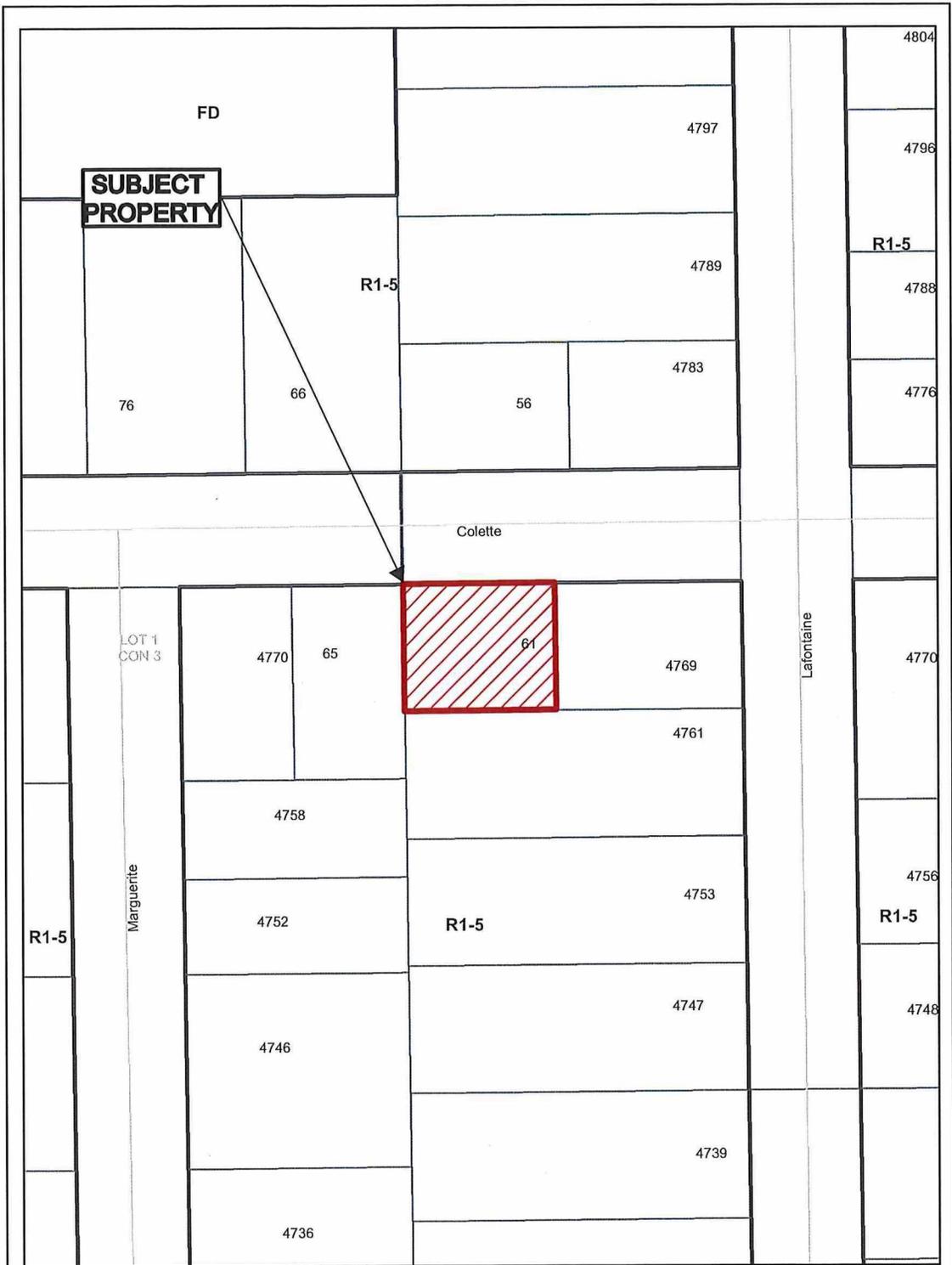
9. Have development charges been deferred? Yes ___ No Unknown ___

The above information is limited to our Building Services' files and information submitted. It does not include possible Occupancy Standard By-law violations. We have attempted to be as accurate as possible in providing the above information but can assume no liability for its correctness. The City of Greater Sudbury shall not be prevented from taking any required action if information is forthcoming indicating building or zoning infractions exist.

[Signature]
PROJECT RESEARCH CLERK

09.17.23
DATE

A0126/2023



Application for Minor Variance or Permission



Subject Property PIN 73503-0209,
 Parcel 53094 SEC SES SRO,
 Part Lot 18, Plan M-459, Part 2 & 3,
 Plan 53R-16413, Part Lot 1,
 Concession 3, Township of Hanmer,
 61 Colette Street, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 MNR

A0126/2023
 Date: 2023 11 16



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A0127/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Jennifer Dowdall	Email: [REDACTED]
Mailing Address: 40 Onwatin Lake Road	Home Phone: [REDACTED]
	Business Phone:
City: Hanmer	Postal Code: P3P 1J4
	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A	Email:
Mailing Address:	Home Phone:
	Business Phone:
City:	Postal Code:
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Royal Bank of Canada
Mailing Address: 5118 Highway 69 N Unit 3.
City: Hanmer, ON
Postal Code: P3P 0C8

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: Rural Shoreline

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Existing enclosed sunroom setback from highwater	30 m	12m	18m
Existing enclosed sunroom in shoreline buffer area	Not permitted	Permitted	
Existing addition #2 setback from highwater	30m	21.1m	8.9m
Existing addition #2 interior sideyard (East)	3.0m	1.17m	1.83m

- b) *eaves on existing dwelling on East side = 0.2m.*
 Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
 Two existing enclosed sunroom additions (one in rear yard and one in East interior side yard) *within the high water mark.*

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 Size of lot - narrow lot and as such causes setback issues (by-law states minimum lot frontage of 45.0m, however lot is approx 16m wide)
 Home is legal non complying within 30 m setback of waterbody.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73507-1423		Township: Capreol	
Lot No.: 12	Concession No.: 5	Parcel(s): 12418 SES	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s):			

7) Date of acquisition of subject land. April, 2012

8) Dimensions of land affected.

Frontage 15.2 (m) Depth 78.9 (m) Area 1,199.28 (m²) Width of Street 20.12 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	Please see attached schedule (m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	Please see attached schedule (m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Dwelling 1980 Garage 1984 Shed 2000 Sunrooms (2) 2018 (to be legalised)

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential /single family dwelling Length of time: 40 years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential/single family dwellings

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): A0311/1977, A0066/1984, A0069/2020 (deferred then not pursued) or, describe briefly, fourth MV not available from city archive

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s):

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s):

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan.

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Jennifer Dowdall (please print all names), the registered owner(s) of the property described as PIN 73507-1423, Part of Lot 12, Con.5, Twp. Capreol, Municipal #40 Onwatin lake Road in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
c) in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize N/A (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 14 day of November, 2023

Christine Lube (witness)

signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Jennifer Dowdall

*I have authority to bind the Corporation

Schedule to Application by Jennifer Dowdall – 40 Onwatin Lake Road, Hanmer, P3P 1J4

9) Particulars of all buildings and 10) Location of all buildings:

Existing

Dwelling:

Ground floor area: 149 m²
Gross floor area: 223 m²
No. of storeys: 2
Width: +/- 7.4m
Length: +/- 21.0m
Height: +/- 9.1m

Front: 45.85m

Rear: ~~16.5m~~ 15.58m

East Side: 3.81m

West Side: 3.63m

Garage

Ground floor area: 23.25 m²
No. of storeys: 1
Width: +/- 3.75m
Length: +/- 6.2m
Height: +/- 3.2m

Front: 10m

East Side: +/- 7.69m

West Side: +/- 3.8m

Rear: 72.7m

Shed

Ground floor area: 4m²
No. of storeys: 1
Width: +/- 2.16m
Length: +/- 1.8m
Height: +/- 2.6m

West Side: +/- 1.32m

East Side: 11.72m

Front: 43.1m

Rear: 34m

Relief for existing enclosed sunroom #1: - proposed

Ground floor area: 18.76 m²

Gross floor area: 37.52m²

No. of storeys: 1 with walk out below with same dimensions as top

Width: 5.24m

Length: 3.58m

Height: 5.4m

Front: N/A

Rear: 12.0m

East Side: 5.5m

West Side: 4.5m

Relief for existing addition #2 - proposed.

Ground floor area: 15.93m²

No. of storeys: 1

Width: 2.73m

Length: 5.90m

Height: 3.52m

Front: 52.0m

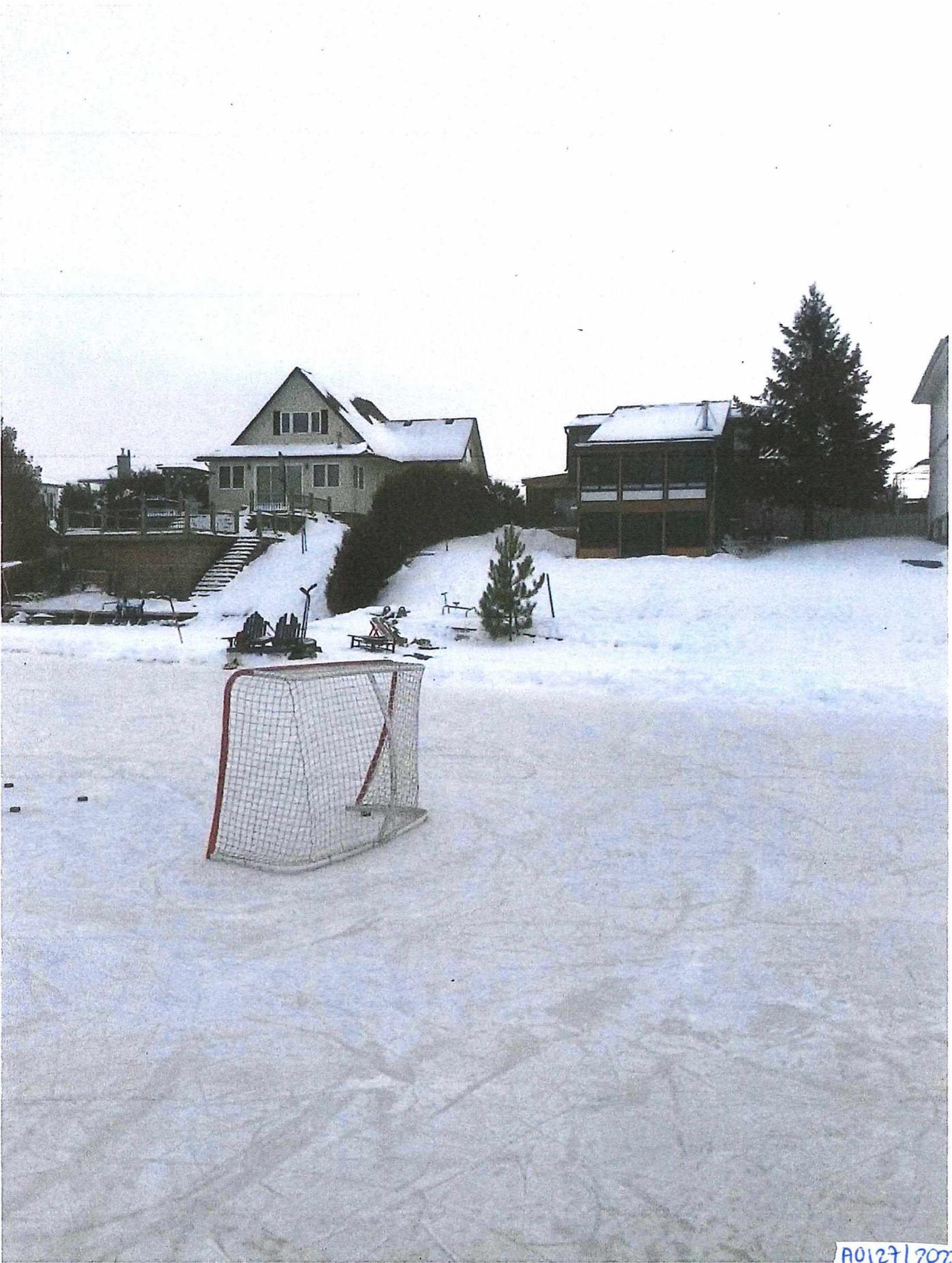
Rear: 21.1m

East Side: 1.17m

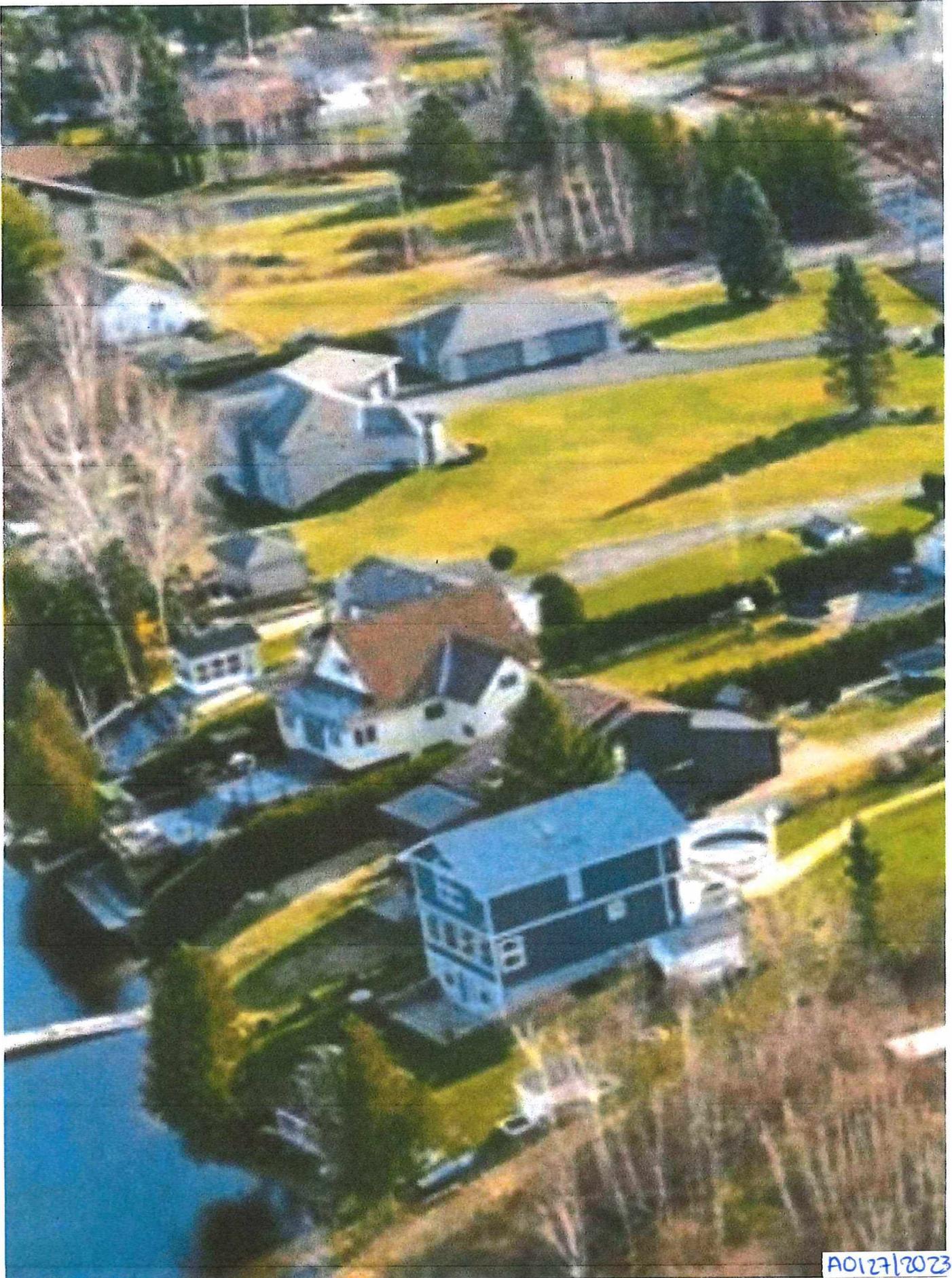
West Side: N/A



A0127/2023



A012712023



A0127|2023

Google Maps



Imagery ©2023 Maxar Technologies, Map data ©2023 Google 10 m

A0127/2023

To Whom it May Concern:

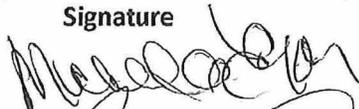
We the undersigned area residents have reviewed the Application for Minor Variance submitted by Jennifer Dowdall on November 14, 2023 to be heard by the committee on December 6, 2023 to seek relief from the by-laws for two existing additions (one in rear yard at the lake and one on East interior side yard) yard at #40 Onwatin Lake Road, being part of Lot 12, Con. 5, Capreol Township, City of Greater Sudbury and are not opposed to the application:

Name

Signature

Address

Michelle Tryon



99 Onwatin Lake Rd East

Perry Rietze



240 Onwatin Lake Rd

Lori Rietze



" "

Chris Morin



228 Onwatin Lake East

Jennifer Joly



210 Onwatin Lake Rd East

JEFF BILTON



160 ONWATIN LAKE RD EAST

Gloria Staskus



144 Onwatin Lake Rd E

Philip Scavone



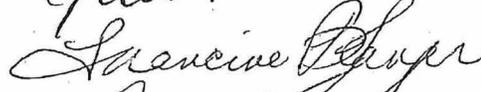
102 ONWATIN LAKE RD EAST

Gilles Péroud



96 Onwatin Lake Rd
705-969-3808

Francine Bélanger



60 Onwatin Lake Rd.

Lisa Y Duff



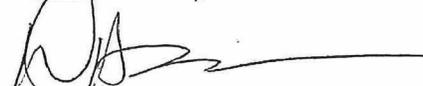
25 Onwatin Lake Rd E.

DIANE HANSON



12 Onwatin Lake Pl. E.

Douglas Hanson



28 Onwatin Lake Rd E.

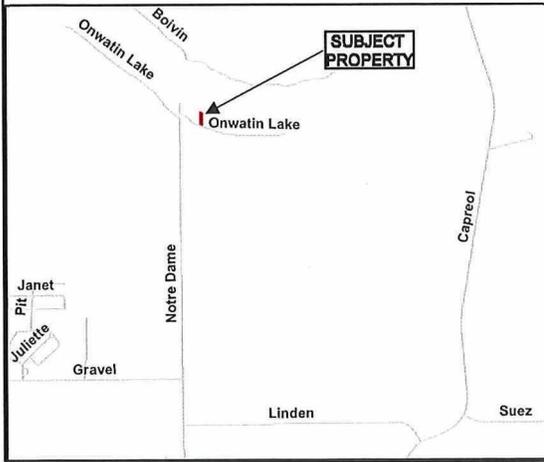
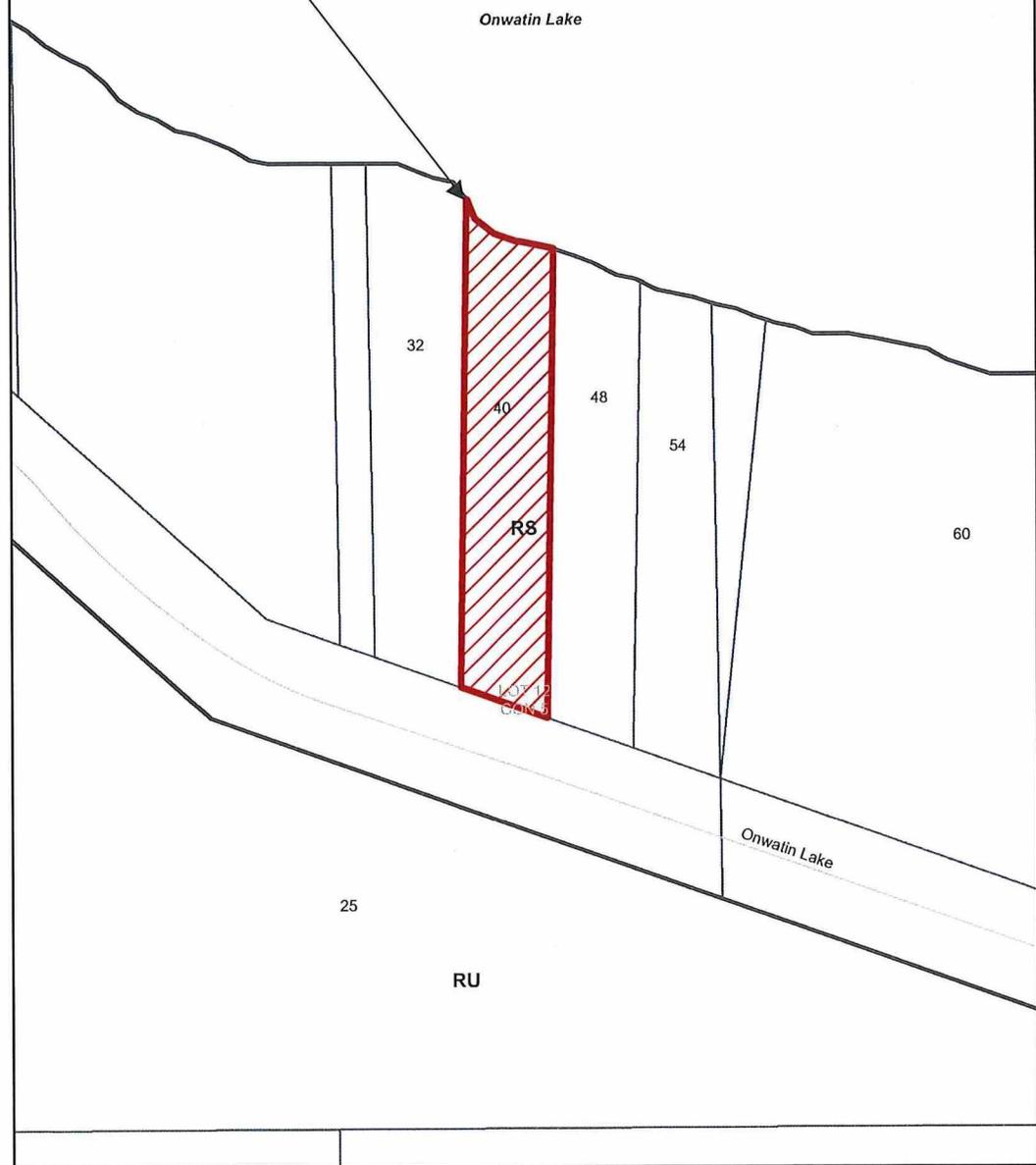
Lynne Dubéau



32 Onwatin Lake Rd E

**SUBJECT
PROPERTY**

OSC
Lot 12
CON



**Application for Minor
Variance or Permission**



Subject Property PIN 73507-1423,
Parcel 12418 SEC SES, Part Lot 12, Concession 5,
except Part 5, Plan 53R-14192, Township of Capreol,
40 Onwatin Lake Road East, Hanmer,
City of Greater Sudbury

Sketch 1, NTS
MNR

A0127/2023
Date: 2023 11 16



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0128/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

**City of Greater Sudbury
 APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Andrew Lach Email: [REDACTED]
 Mailing Address: 1-723 St Clair Street Home Phone: [REDACTED]
 City: Sudbury Postal Code: P3E 4G9 Business Phone: _____ Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Atta Nicola Munro Email: Please email owner
 Mailing Address: 106 Atta College Street Home Phone: _____
 City: Sudbury Postal Code: P3C 4T7 Business Phone: 705 674-9892 Fax Phone: _____
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Scotia bank
 Mailing Address: 1094 Barrydowne Road
 City: Sudbury Postal Code: P3A 3V3

4) Current Official Plan designation: Livingarea1 Current Zoning By-law designation: R-2-3

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
<u>Parking Bylaw</u>	<u>0.3</u>	<u>0</u>	<u>3</u>

b) Is there an eave encroachment? Yes No If "Yes", size of eaves: _____ (m)

c) Description of Proposal: Seeking relief from the parking bylaw in order to accommodate parking for 3 vehicles

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: The building was built 2.4m from the street line, this is the current setback

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):	Concession No.:	Township:	Parcel(s):
Lot No.: 7	2	MCLIM	18278 SES
Subdivision Plan No.: M-99	Lot: 280	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 723 St Clair Street			

7) Date of acquisition of subject land. May 11, 2007

8) Dimensions of land affected. 444.32
 Frontage 12.142 (m) Depth 36.576 (m) Area 446 (m²) Width of Street 20.1 (m)

Particulars of all buildings:	Existing	Proposed
Ground Floor Area:	<u>80 m² + CRAWL SPACE</u> (m ²)	
Gross Floor Area:	<u>200.84</u> (m ²)	
No. of storeys:	<u>2</u>	
Width:	<u>9.75 m</u> (m)	<u>N/A</u> (m)
Length:	<u>13.30 m</u> (m)	<u>N/A</u> (m)
Height:	<u>6.0 m</u> (m)	<u>N/A</u> (m)

Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).	Existing	Proposed
Front:	<u>2.4 m</u> (m)	
Rear:	<u>20.78 m</u> (m)	
Side:	<u>1.22 m</u> (m)	
Side:	<u>1.16 m</u> (m)	

11) What types of water supply, sewage disposal and storm drainage are available?	What type of access to the land?
Municipally owned & operated piped water system <input checked="" type="checkbox"/>	Provincial Highway <input type="checkbox"/>
Municipally owned & operated sanitary sewage system <input checked="" type="checkbox"/>	Municipal Road <input type="checkbox"/>
Lake <input type="checkbox"/>	Maintained Yearly <input checked="" type="checkbox"/>
Individual Well <input type="checkbox"/>	Maintained Seasonal <input type="checkbox"/>
Communal Well <input type="checkbox"/>	Right-of-way <input checked="" type="checkbox"/>
Individual Septic System <input type="checkbox"/>	Water <input type="checkbox"/>
Communal Septic System <input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used. <input type="checkbox"/>
Pit Privy <input type="checkbox"/>	
Municipal Sewers/Ditches/Swailes <input type="checkbox"/>	

12) Date(s) of construction of all buildings and structures on the subject land. 1959

13) Existing use(s) of the subject property and length of time it / they have continued.
 Use(s): triplex Length of time: 30 years ±

14) Proposed use(s) of the subject property.
 Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No
 If "yes", how many? One

17) Existing uses of abutting properties: Single family (east) Duplex (west)

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Andrew Iach (please print all names), the registered owner(s) of the property described as 723 St Clair Street in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Nicola Munro (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 14 day of November, 2023

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

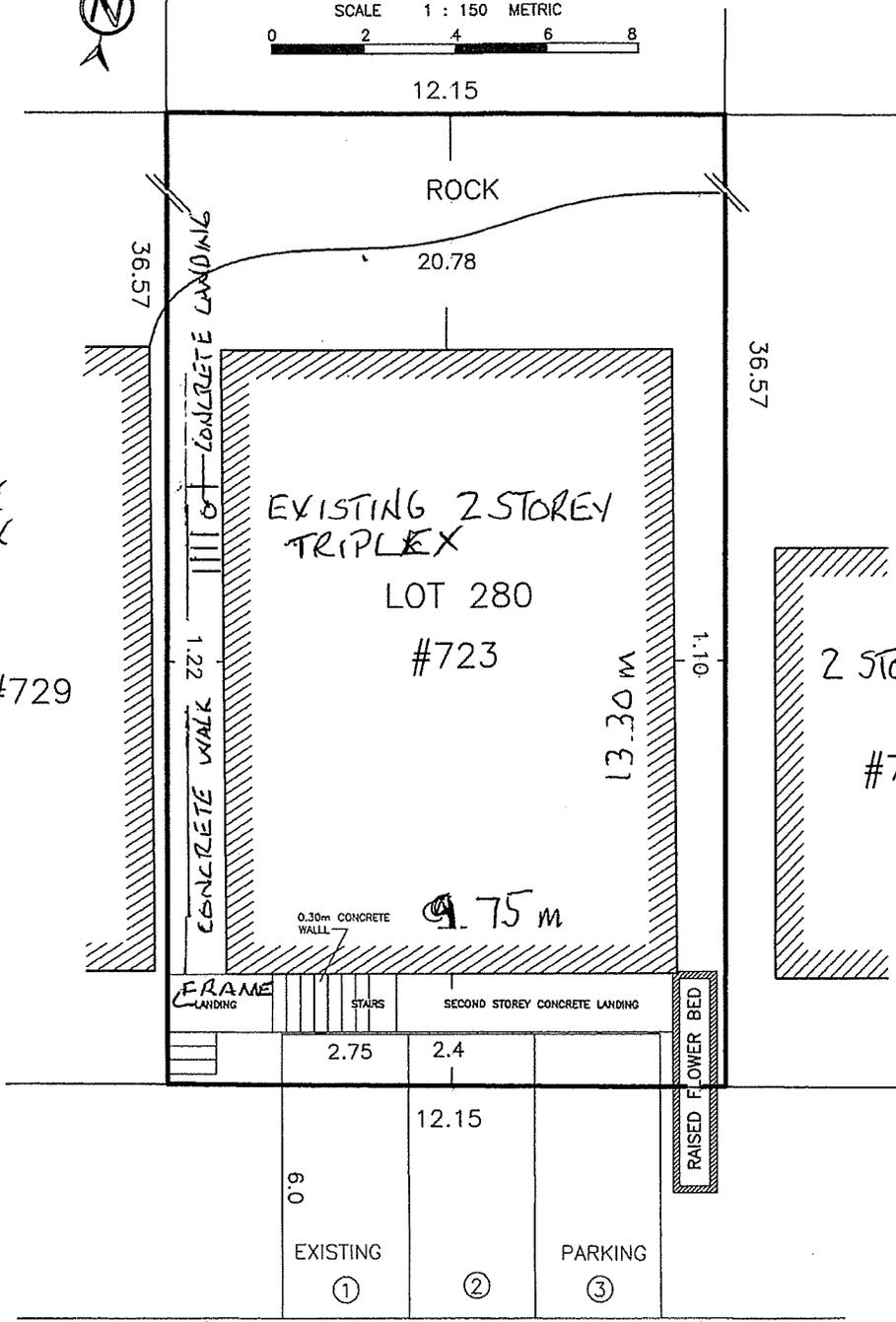
Print Name: Andrew Iach

*I have authority to bind the Corporation

PLOT PLAN
PART OF LOT 280
REGISTERED PLAN M-99

#723 ST CLAIR STREET

SCALE 1 : 150 METRIC



2 STOREY
~~TRIPLEX~~

#729

EXISTING 2 STOREY
 TRIPLEX

LOT 280

#723

2 STOREY SINGLE
 FAMILY

#717

FRAME LANDING STAIRS SECOND STOREY CONCRETE LANDING

0.6	2.75	2.4	
EXISTING			PARKING
①	②		③

CURB

ST CLAIR STREET

20.11m ROAD RIGHT OF WAY

A0128/2023
 sketch 2

Greater Sudbury
 www.greatersudbury.ca
 Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

REVISED

Office Use Only 2023.01.01	
A 1114/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

**City of Greater Sudbury
 APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): LUIGI TARINI (1039512 ONTARIO) LTD Email: [REDACTED]
 Mailing Address: 2130 SOUTH BAY RD. Home Phone: [REDACTED]
 City: SUDBURY, ONTARIO Postal Code: [REDACTED] Business Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please

Name of Agent: ARNAND RAYETTE Email: [REDACTED]
 Mailing Address: 6-544 BARRYBOONE RD. Home Phone: [REDACTED]
 City: SUDBURY, ONTARIO Postal Code: P3A 3T3 Business Fax Phone: [REDACTED]
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
<u>4.2.6 c)</u>	<u>50%</u>	<u>86% ± 74</u>	<u>36% ± 24%</u>
<u>Setback side yard</u>	<u>1.5m</u>	<u>7.2m</u>	<u>5.7m</u>
<u>4.15.2</u>	<u>50%</u>	<u>0</u>	<u>50%</u>

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: 2-BEDROOM SFD WITH R.V. GARAGE ATTACHED WITH INCREASED GARAGE FRONTAGE AND REDUCED SIDE YARD SET BACK

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: NARROW LOT FRONTAGE WILL NOT ALLOW FOR THE SIZE OF BUTCHING THAT I REQUIRE.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: MCKIM
 Lot No.: 9 Concession No.: 2 Parcel(s): 49604
 Subdivision Plan No.: M133 Lot: 196-188 Reference Plan No.: 53013123 Part(s): 4, 6, 7, 10-15
 Municipal Address or Street(s): 49 DEAN AVE. O'Connell

7) Date of acquisition of subject land. APPROXIMATELY 1983

8) Dimensions of land affected.

Frontage 19.42 (m) Depth 62.36 (m) Area 2016.7 (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m ²) <u>293.69</u>	(m ²) <u>378.9</u>
Gross Floor Area:	(m ²) <u>415.03</u>	(m ²) <u>293.8</u>
No. of storeys:	_____	<u>2</u>
Width:	(m) <u>18.28</u>	(m) <u>20.72</u>
Length:	(m) <u>18.28</u>	(m) <u>18.28</u>
Height:	(m) <u>10.36</u>	(m) <u>N</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m) <u>12.29</u>	(m) <u>12.59</u>
Rear:	(m) <u>28.96</u>	(m) <u>30.48</u>
Side:	(m) <u>1.8</u>	(m) <u>4.8</u>
Side:	(m) <u>7</u>	(m) <u>4.87</u>

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Pmpy
- Municipal Sewers/Ditches/Syales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land. N/A.

13) Existing use(s) of the subject property and length of time it/they have continued.

Use(s): VACANT Length of time: 50 YEARS

14) Proposed use(s) of the subject property.

Same as #13 or SINGLE FAMILY DWELLING

15) What is the number of dwelling units on the property? 1 PROPOSED

16) If this application is approved, would any existing dwelling units be legalized? Yes No

17. EXISTING USES OF ABUTTING PROPERTIES - RESIDENTIAL & INDUSTRIAL

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, LUIGI TARINI (please print all names), the registered owner(s) of the property described as 0 RONALD AVE in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

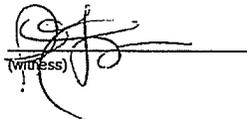
Authority to Enter Land and Photograph

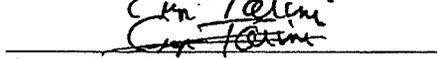
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize ARNAUD RACETTE (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18th day of SEPTEMBER, 2023


(Witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: LUIGI TARINI

*I have authority to bind the Corporation

Luigi Tarini
2130 South Bay Road
Sudbury, Ontario, P3E 6H7

October 5, 2023

Sarah Pinkerton
Consent Official/Secretary Treasurer of the Committee of Adjustment
Planning Services
City of Greater Sudbury

Greetings Ms. Pinkerton,

This letter is to further request and substantiate the grant of Variances for 0 Ronald Avenue, Greater Sudbury. The Variance requests are minor in nature.

As you know, my intention is to build a family home that fits within the Sudbury's community of Gatchell, an area that is next to my former business and my childhood family home. I look forward to personally occupying this residence in a familiar neighborhood community, next to family as I embark on my retirement years.

The pictures included below may help to explain the request for said Variances.

View south from back yard – open land, light industrial zoning.



A0114/2023

BELOW: View south from back yard – showing existing light industrial zoning



BELOW: View west from planned back yard – showing abutment to existing rock outcrop beyond is “Dynamic Earth”



BELOW: View east from planned back yard – showing abutment to existing residential out-buildings



BELOW: View north from planned front of residence yard – showing across the street residence



A0114/2023

BELOW: Current view of what is planned to be the new home property



I thank you for your care and consideration in this matter and I look forward to hearing from you.

Respectfully Submitted,

Luigi Tarini

A0114/2023



RV Garage Dimensions Cheat Sheet

Are you looking to build or purchase an RV garage but you're not sure what size is right? This will give you the basic understanding of RV sizes & things to think about to help you make a decision.

How large should the building be?

The general rule when building any type of garage, be it for a regular vehicle or a recreational vehicle, is that bigger is always better.

If you have limited space to build, the key is finding the balance between a generous enough size to accommodate your current RV, as well as room to grow in case you decide to upgrade to a larger RV in the future. Your smaller motor home may be an adequate size for now, but once you start to really enjoy the benefits of a transportable vacation home, upgrading to a larger luxury model may be a future option.

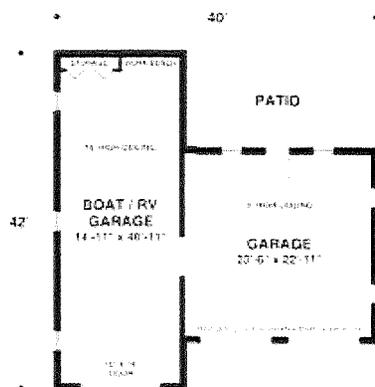
Remember— rarely does one ever complain about having too much storage space – our advice is always build as large as you can afford.

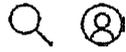
To begin determining the recommended size for your garage, you will need to first determine the clearance height, length and width of your RV.

- **A Class A Motorhome**, the largest and most luxurious of all RVs, has an average height of 10 feet, and can range from 21 to 45 feet in length. This RV typically requires a garage with a clearance height of at least 14 feet, and 45 to 50 feet in length depending on how much additional storage you wish to have.
- **A Class B Camper Van** has an average height of eight feet, and can range from 16 to 21 feet in length. This RV typically requires garage with a clearance height of at least 12 feet, and 25 to 30 feet in length.
- **A Class C Motorhome**, which has a distinctive cab-over bunk, has an average height of about 10 feet, and can range from 21 to 35 feet in length. This RV typically requires garage with a clearance height of at least 14 feet, and 40 to 45 feet in length.
- Most RVs range between 8 and 8 ½ feet in width, and require at least 10 feet for comfortable maneuverability around the vehicle inside the garage.

To determine the width of your RV garage, take into account the width of your RV as well as space to open the doors of the vehicle. Consider additional width space if your RV has slide outs that you wish to extend while the vehicle is parked in the garage.

Source: <https://www.buildingsguide.com/building-applications/residential-steel-buildings/rv-garages/>





FIND A DEALER

From The Road

Tips & Lifestyle

Explore RVs

How to Buy

Plan a Trip

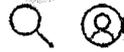
FIND A DEALER CAMPGROUNDS



CLASS A MOTORHOME

Class A RVs are constructed entirely on a specially designed motor vehicle chassis. They are large, spacious, and generally have residential-sized kitchens, large living areas, separate bedrooms, and large bathrooms. Another advantage is that a Class A can easily tow another vehicle behind it.

EXPLORE CLASS A MOTORHOME



FIND A DEALER

From The Road

Tips & Lifestyle

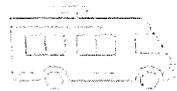
Explore RVs

How to Buy

Plan a Trip

FIND A DEALER

CAMPGROUNDS

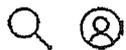


CLASS B MOTORHOME

Class B motorhomes, also known as camper vans, feature all the conveniences of a furnished motorhome but are compact enough to make driving one as easy as your regular van or SUV.

EXPLORE CLASS B MOTORHOME

A0114/2023



FIND A DEALER

From The Road

Tips & Lifestyle

Explore RVs

How to Buy

Plan a Trip



CLASS C MOTORHOME

Class C Motorhomes are easily recognizable by the over-the-cab area that is often an optional sleeping area. This type of RV is built on an automotive van frame with a wider body section attached to the original cab. Amenities are similar to those in conventional motorhomes with large kitchens, spacious living areas, large bathrooms, and a separate bedroom.

EXPLORE CLASS C MOTORHOME

→ GET OUR NEWSLETTER ←

A0114/2023

Name:

Date:

By:

Company:

Tel.:

Location:

Fax:



24" o.c.
at 1/4"
scale

16" o.c.
at 1/4"
scale

Garage Frontage

Measured in @ 6.0m (20'0") = 80'-10"

Meas. = 80'-10"

House = 60'-0"

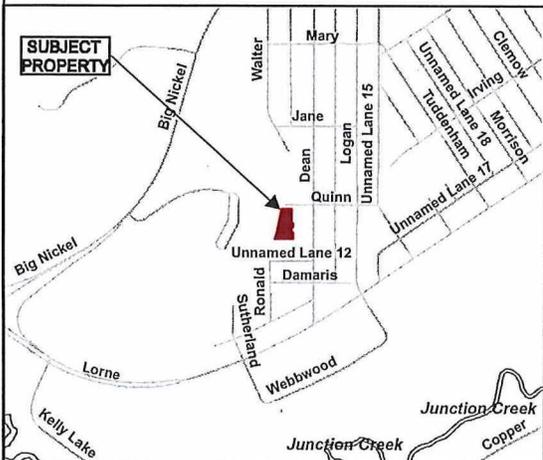
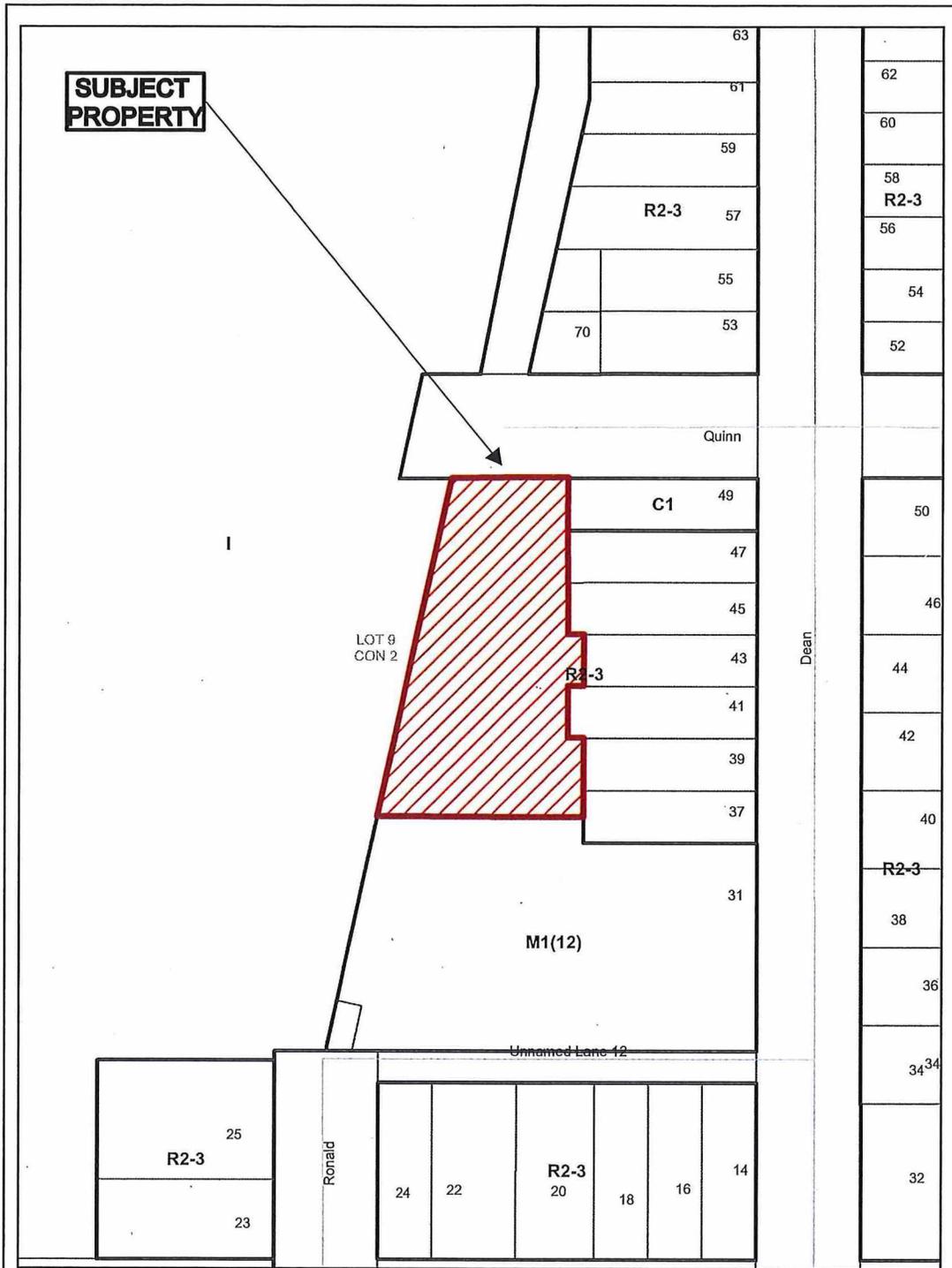
$$\frac{60'-0''}{80'-10''} = \underline{\underline{74.2\%}}$$

Measured in @ 18.3m (60'0") = 89'-1"

Meas. = 89'-1"

House = 60'-0"

$$\frac{60'-0''}{89'-1''} = \underline{\underline{67.4\%}}$$



N

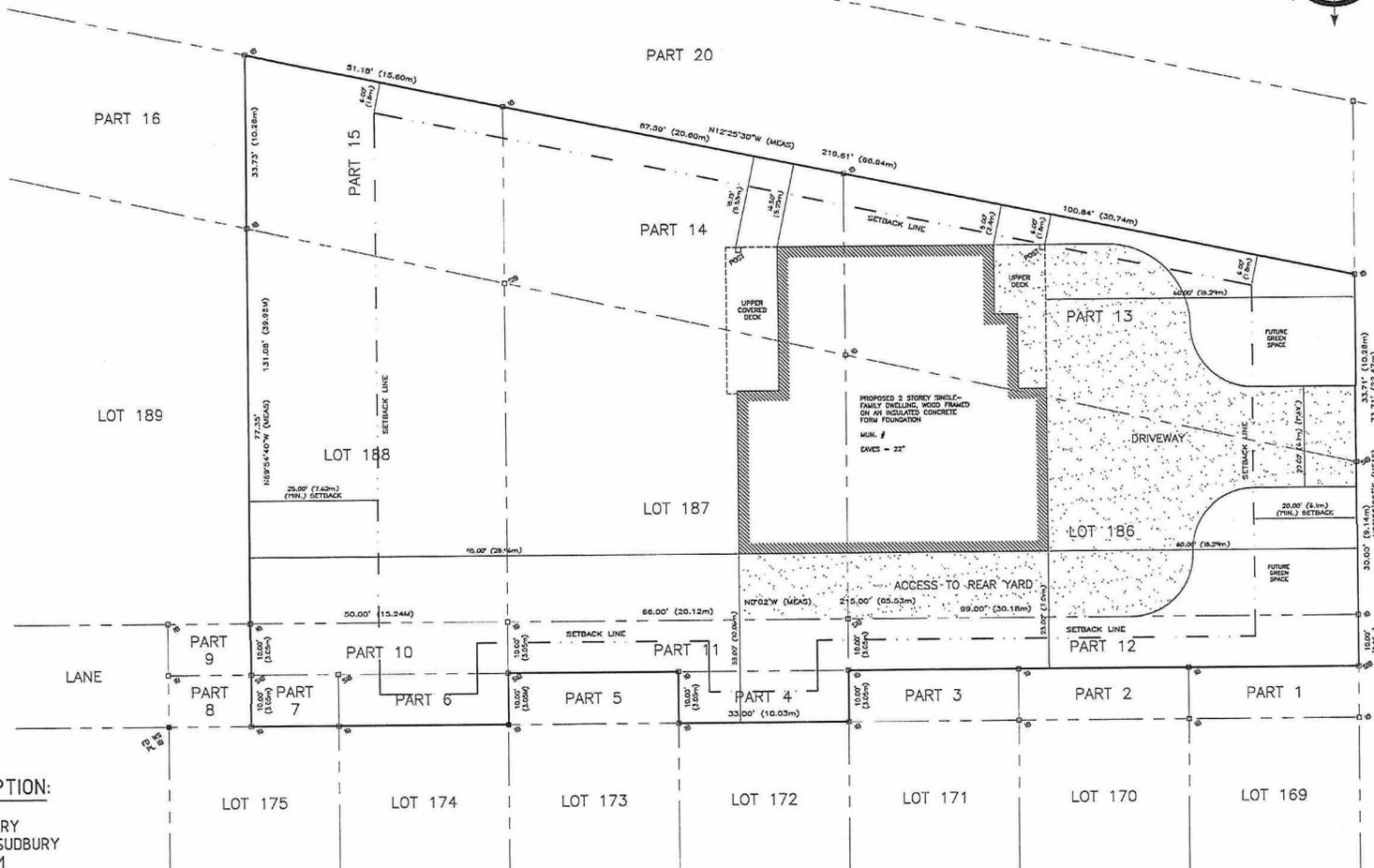
Application for Minor Variance or Permission

Subject Property PIN 73587-0349,
 Parcel 23076 SEC SES, Lots 186, 187 and 188,
 Plan M-133, Parts 4, 6, 7, 10, 11, 12, 13, 14 and 15,
 Plan 53R-13123, Part Lot 9, Concession 2,
 Township of McKim, 0 Ronald Avenue, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0114/2023
 Date: 2023 09 22

PRINTING ON 'C' SIZE - 18" x 24"



LEGAL DESCRIPTION:

DISTRICT OF SUDBURY
CITY OF GREATER SUDBURY
TOWNSHIP OF MCKIM
LOT 9 / CON 2
PARCEL 49604
LOT #186 to 188 of RP 53M-133
PARTS 4, 6, 7, 10 to 15 of RP 53R-13123
ZONING - R2-3
Mun. No. - QUINN STREET
FRONTAGE = 73.71' (22.47m)
LOT AREA = 22,092.43ft² (2,052.45m²)
LOT COVERAGE = 3,442.33ft² (319.80m²)
LOT COVERAGE (MAX.)
@ 4.0% = 8,836.97ft² (800.98m²)

LEGEND:

- DENOTES NOT TO SCALE
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WS DENOTES WOOD STAKE
- FD DENOTES FOUND
- PL DENOTES PLANTED
- MEAS DENOTES MEASURED
- DENOTES MONUMENT PLANTED
- DENOTES MONUMENT FOUND

TYP. (MIN.) SETBACKS:

- FRONT = 19.69' (6.0m)
- REAR = 24.61' (7.5m)
- SIDE (1 STOREY) = 3.94' (1.2m)
- SIDE (2 STOREY) = 5.91' (1.8m)
- SIDE (3 STOREY) = 7.87' (2.4m)
- CORNER SIDE = 14.76' (4.5m)
- HEIGHT (MAX.) = 36.01' (11.0m)

REFERENCE DRAWING(S):

REGISTERED PLAN 53R-13123
REGISTERED PLAN M-133

QUINN STREET

GENERAL NOTE

DATE: 10/20/2023

PROJECT TITLE: QUINN STREET, SUD. RT. 04

PROJECT NO.: A09-2023

DWG. No.: 0 OF 10

DWG. No. SP1

B.C.I.N. DESIGNER, CONSULTANT & PRINCIPAL
1238 HAVTHORNE DRIVE
SUDBURY, ONT. N3H 2K1
Tel: 519.471.1111
www.bcin.ca

DATE: OCTOBER 20, 2023

DWG. BY: MARC G. LEVASSEUR

DATE: 10-15-23

SCALE: 1" = 15'-0"

CADFILE NO.: A09-DP1-2023

CAD/PLOT RATIO: 1:100

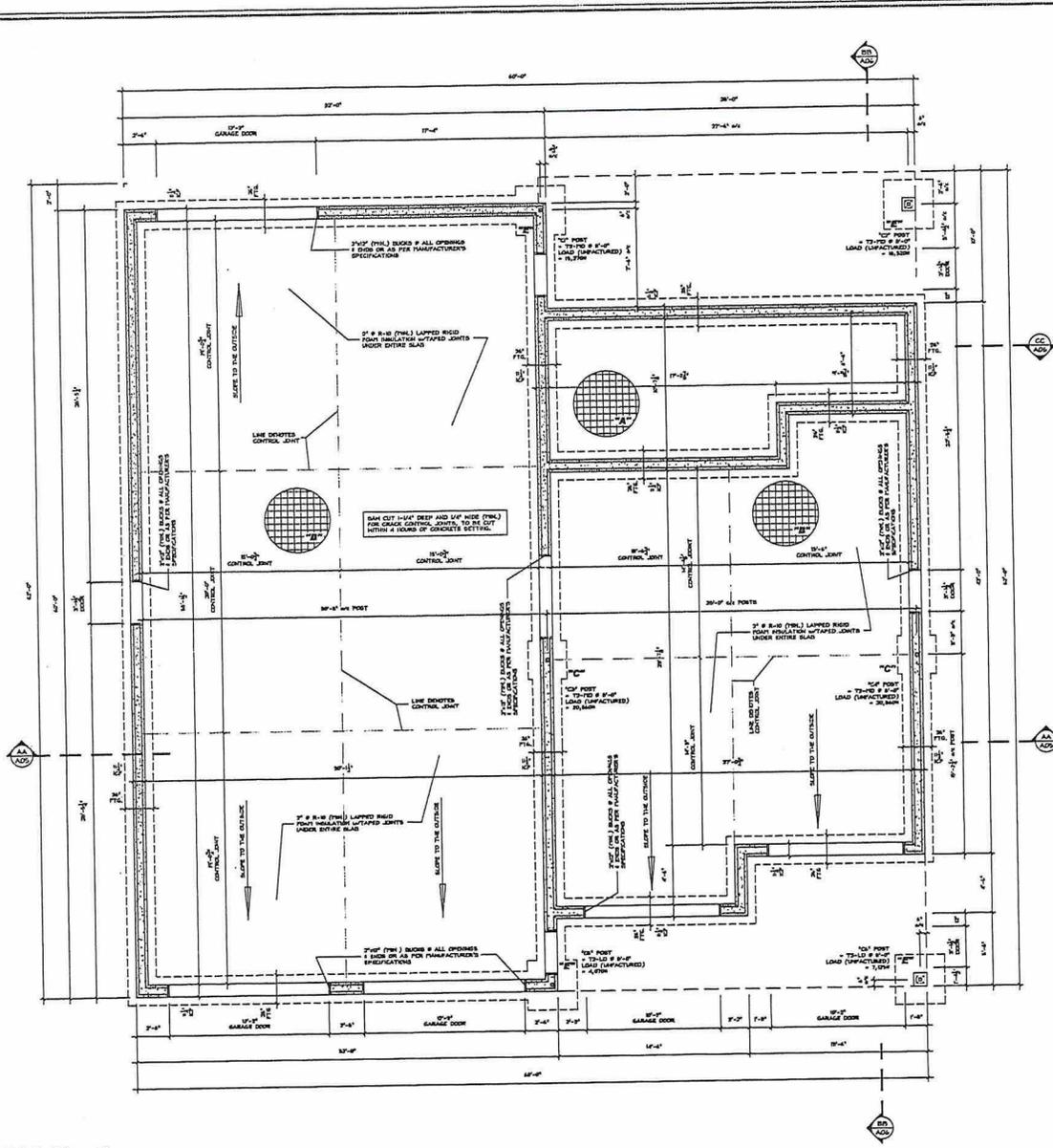
DATE: OCTOBER 20, 2023

DWG. BY: MARC G. LEVASSEUR

DWG. No.: 0 OF 10

DWG. No. SP1

* REVISED *
A0114/2023
sketch 2



NOTE:
 STEEL COLLARS AS PER PLAN (PRINTED) WITH
 1/2" DIA. 3/8" BARS PLACED AND WELDED
 TO 2" DIA. (FWS) POURED & REINFORCED CONCRETE
 AREA ENCLOSED WITH C/S BY REINFORCING BARS,
 AND JOINED INTO A "WADDER" BEAM (FWS) POURED
 & REINFORCED WITH 3" # 8 (FWS) WITH
 2" # 4 (FWS) STEEL REINFORCING BARS (1- EACH BAY)
 & 2" # 4 (FWS) STEEL REINFORCING BARS (1- EACH BAY)

CONCRETE SLAB ASSEMBLY "A" @ BASEMENT
 3" (FWS) (FWS) POURED CONCRETE SLAB @ 3" (FWS) COMPRESSIVE
 STRENGTH AFTER 28 DAYS, REINFORCED WITH FULL COVERAGE OF 3" # 8
 (FWS) - 10% MINIMUM AREA FROM BOTTOM THIRD OF SLAB
 REINFORCED BY 3" (FWS) POURED CONCRETE BARS TO BE
 REINFORCED SYSTEM AS PER MANUFACTURER'S SPECIFICATIONS
 2" # 4 (FWS) LAPPED REID FROM INSULATOR UNDER ENTIRE SLAB, DOWN
 TO 3" (FWS) SLAB FINISHED GRADE + FILL TO TOP OF POURED CONCRETE
 SLAB, AND LAPPED ENTIRE COVERAGE OF THE JOINTS WITH
 3" (FWS) FULL, UNDER BARS WITH (FWS) LAPPED LAPTED JOINTS
 4" (FWS) COMPACTED GRANULAR "A" ON UNDISTURBED SOIL

CONCRETE SLAB ASSEMBLY "B" @ GARAGE
 4" (FWS) (FWS) POURED CONCRETE SLAB @ 4" (FWS) COMPRESSIVE
 STRENGTH AFTER 28 DAYS, REINFORCED WITH FULL COVERAGE OF 3" # 8
 (FWS) - 10% MINIMUM AREA FROM BOTTOM THIRD OF SLAB
 REINFORCED BY 3" (FWS) POURED CONCRETE BARS TO BE
 REINFORCED SYSTEM AS PER MANUFACTURER'S SPECIFICATIONS
 2" # 4 (FWS) LAPPED REID FROM INSULATOR UNDER ENTIRE SLAB, DOWN
 TO 3" (FWS) SLAB FINISHED GRADE + FILL TO TOP OF POURED CONCRETE
 SLAB, AND LAPPED ENTIRE COVERAGE OF THE JOINTS WITH
 3" (FWS) FULL, UNDER BARS WITH (FWS) LAPPED LAPTED JOINTS
 4" (FWS) COMPACTED GRANULAR "A" ON UNDISTURBED SOIL

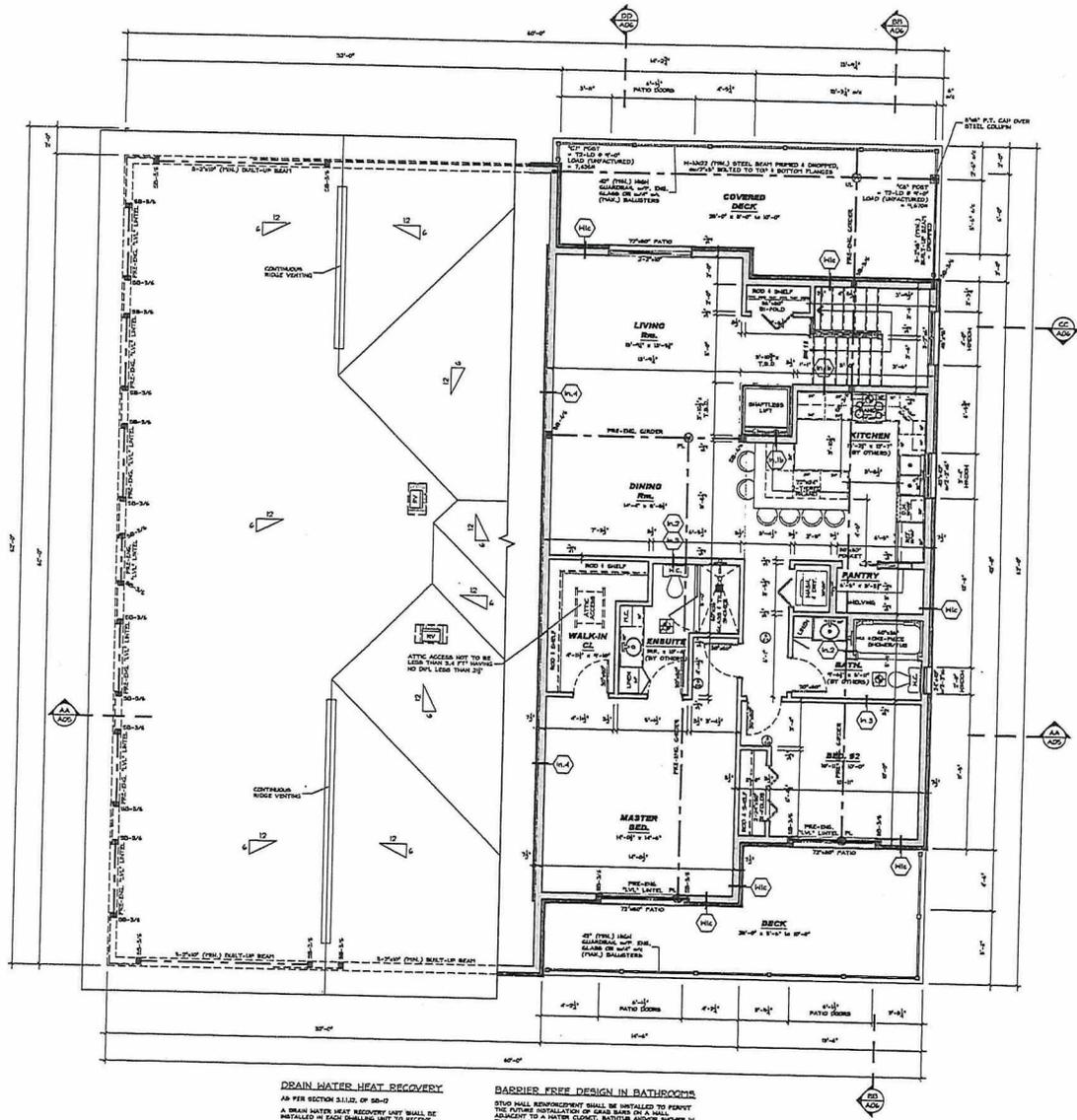
STRIP FOOTING ASSEMBLIES
 24" WIDE @ 3" DEEP (FWS) POURED CONCRETE (UNDERPOURED) @ 3" (FWS)
 (FWS) OR (UNDERPOURED) @ 3" (FWS) COMPRESSIVE STRENGTH AFTER 28
 DAYS, REINFORCED TO 3" # 8 (FWS) COMPASSA STEEL REINFORCING
 BARS @ 3" (FWS) ON CENTER, AND 3" (FWS) REINFORCING BARS @ 3" # 4
 (FWS) SET PERPENDICULAR @ 2' LONG FOR 4" BLOCKS AND 3" LONG FOR
 4" BLOCKS
 MAIN PARTS TO SOLID ROCK, PROVIDE ONE SET (FWS) REINFORCING BAR @
 3" # 8 (FWS), 3" # 4 (FWS) AND AN 8" DIA STRIP FOOTING AND DOWN 4"
 (FWS) TO 3" INTO THE SOLID ROCK
 ALL REINFORCING BARS ARE TO BE ENCASED IN 3" (FWS) OF CONCRETE TO
 RESIST CORROSION TO WEATHER

NOTE:
 THE LOCATIONS OF ALL ELECTRICAL, MECHANICAL
 AND PLUMBING INSTALLATIONS IS TO BE DETERMINED
 BY CERTIFIED TRADES AND OTHERS.

FOUNDATION = 3,161.25 ft² (293.69 m²)
LOT COVERAGE = 3,442.33 ft² (319.80 m²)

PROJECT TITLE LUGI TARINI CONSULTANT & PRINCIPAL 1008 HAWTHORNE DRIVE SUITE 201 EL PASO, TX 79905 TEL: (915) 762-1111 FAX: (915) 762-1112 WWW: WWW.LUGI-TARINI.COM	
PROJECT NO.: AB8-2023	FOUNDATION PLAN
CADFILE NO.: AB8-2023-ADT	
SCALE: 1/4" = 1'-0"	
DATE: FEBRUARY 14, 2023	
DWG. BY: MARC O. LEVASEUR	
DWG. NO.: 3 OF 10	
DWG. NO.: A01	

REVISED
A0114/2023
 sketch 3

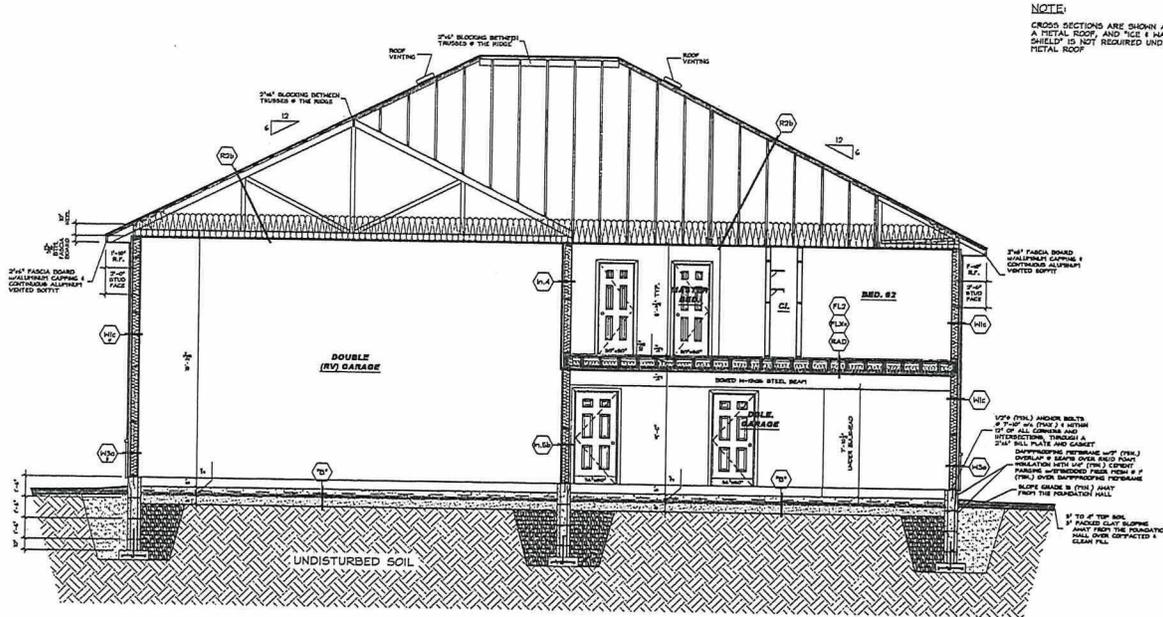


NOTE:
 THE LOCATION(S) OF ALL ELECTRICAL, MECHANICAL AND PLUMBING INSTALLATIONS IS TO BE DETERMINED BY IDENTIFIED TRADES AND GENSER.

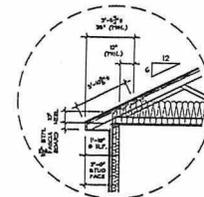
UPPER FLOOR = 1,306.08 ft² (121.34 m²)

<p>PROJECT TITLE: UPPER FLOOR PLAN</p>	
<p>PROJECT NO.: A03-2023</p>	<p>DATE: FEBRUARY 14, 2023</p>
<p>CLIENT: LUIGI TARINI</p>	<p>SCALE: 1/4" = 1'-0"</p>
<p>ADDRESS: 1208 HAYTHORNE DRIVE</p>	<p>DWG. NO.: 5 OF 10</p>
<p>CADFILE NO.: ANDREASINO</p>	<p>DWG. No. A03</p>
<p>CADPLOT RATIO: 1/8"</p>	<p>DATE: FEBRUARY 14, 2023</p>
<p>SCALE: 1/4" = 1'-0"</p>	<p>DRAWN BY: MARC C. LEVASSOUR</p>
<p>DATE: FEBRUARY 14, 2023</p>	<p>PROJECT NO.: A03-2023</p>
<p>CLIENT: LUIGI TARINI</p>	<p>PROJECT TITLE: UPPER FLOOR PLAN</p>
<p>ADDRESS: 1208 HAYTHORNE DRIVE</p>	<p>PROJECT NO.: A03-2023</p>
<p>CADFILE NO.: ANDREASINO</p>	<p>DATE: FEBRUARY 14, 2023</p>
<p>CADPLOT RATIO: 1/8"</p>	<p>SCALE: 1/4" = 1'-0"</p>
<p>SCALE: 1/4" = 1'-0"</p>	<p>DWG. NO.: 5 OF 10</p>
<p>DATE: FEBRUARY 14, 2023</p>	<p>DWG. No. A03</p>
<p>DRAWN BY: MARC C. LEVASSOUR</p>	<p>PROJECT TITLE: UPPER FLOOR PLAN</p>
<p>PROJECT NO.: A03-2023</p>	<p>CLIENT: LUIGI TARINI</p>
<p>ADDRESS: 1208 HAYTHORNE DRIVE</p>	<p>PROJECT NO.: A03-2023</p>
<p>CADFILE NO.: ANDREASINO</p>	<p>DATE: FEBRUARY 14, 2023</p>
<p>CADPLOT RATIO: 1/8"</p>	<p>SCALE: 1/4" = 1'-0"</p>
<p>SCALE: 1/4" = 1'-0"</p>	<p>DWG. NO.: 5 OF 10</p>
<p>DATE: FEBRUARY 14, 2023</p>	<p>DWG. No. A03</p>
<p>DRAWN BY: MARC C. LEVASSOUR</p>	<p>PROJECT TITLE: UPPER FLOOR PLAN</p>

REVISED
A0114/2023
Sketch 5



NOTE
 CROSS SECTIONS ARE SHOWN AS BEING A METAL ROOF, AND THE WATER SHIELD IS NOT REQUIRED UNDER A METAL ROOF.



EAVE PROTECTION FOR SLOPES OF 6/12 OR LESS

BARRIER FREE DESIGN IN BATHROOMS
 AS PER SECTION 903.2 OF THE IBC.
 BUILT WALL REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS ON A WALL ADJACENT TO A WATER CLOSET, BATHUB AND/OR SHOWER.

DRAIN WATER HEAT RECOVERY
 AS PER SECTION 909.0 OF IBC-19
 A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED BY EACH OWNER AND TO BE INSTALLED WITHIN 10 FEET OF THE DRAIN LINE. THE DRAIN LINE SHALL BE INSTALLED WITHIN 10 FEET OF THE DRAIN LINE.

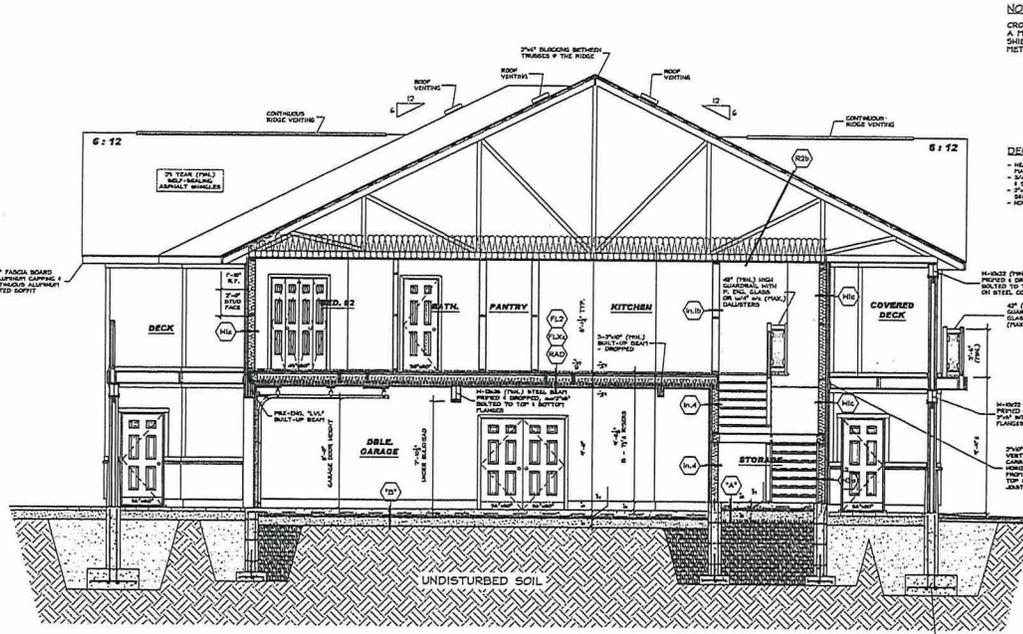
P. ENG. ROOF TRUSS ASSEMBLY
 ANY AND ALL DIMENSIONS UNDER TRUSSES THAT SPAN MORE THAN 20'-0" OR UNDER PARTIALLY SPANNED TRUSSES SHALL BE 2" DIA. VAC LATHS.

P. ENG. TIMBER ASSEMBLIES
 ALL JOINTS AND CONNECTIONS SHALL BE MADE BY THE JOINTS OF THE JOINTS. THE JOINTS SHALL BE MADE BY THE JOINTS OF THE JOINTS.

NOTE
 DOOR & WINDOW STYLES INCLUDING THE EXTERIOR CLADDING AND/OR MASONRY ARE TO BE DETERMINED ON-SITE BY BUILDER/CONTRACTOR WITH THE OWNERS.
 FINISHES SHOWN IN DRAWINGS ARE OF THE DESIGNER'S CONCEPT ONLY.

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT TITLE	SECTION DETAIL "AA"
PROJECT NO.	A0114/2023
CADFILE NO.	A0114/2023
ADDITIONAL NO.	
CAD PLOT RATIO	1:1
SCALE	1/4" = 1'-0"
DATE	FEBRUARY 14, 2023
DWG. BY	MARC G. LEVASTRO
DWG. NO.	7 OF 10
DWG. No.	A05

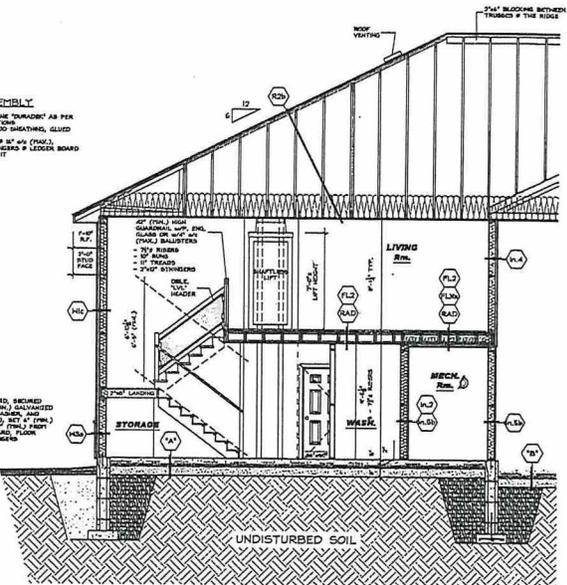
REVISED
 A0114/2023
 Sketch 7



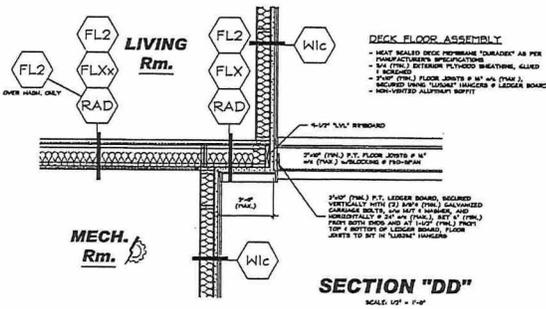
SECTION "BB"

NOTE:
CROSS SECTIONS ARE SHOWN AS BEING A METAL ROOF, AND "ICE & WATER SHIELD" IS NOT REQUIRED UNDER A METAL ROOF.

DECK FLOOR ASSEMBLY
- HEAT SEALED EDGE MEMBRANE "DURADEX" AS PER MANUFACTURER'S SPECIFICATIONS
- 3/4" (FNL) EXT. PLYWOOD SHEATHING, GLUED & NAILED
- 2x12 (FNL) FLOOR JOISTS @ 16" ON (FNL)
- 2x12 (FNL) LEDGER BOARD @ LEADER BOARD
- UNDISTURBED ALUMINUM SOFFIT



SECTION "CC"



SECTION "DD"

BARRIER FREE DESIGN IN BATHROOMS
AS PER SECTION 4.2.2.2 OF THE "IBC"
STUD WALL REINFORCEMENT SHALL BE INSTALLED TO PREVENT THE FUTURE INSTALLATION OF A WALL ADJACENT TO A WATER CLOSET, BATHING AND/OR SHOWER.

DRAIN WATER HEAT RECOVERY
AS PER SECTION 5.11.1.1 OF 16-03
A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DRAINING UNIT TO RECEIVE DRAIN WATER FROM ALL SINKS OR AT LEAST TWO SINKS WHERE THERE ARE TWO OR MORE SINKS IN THE DRAINING UNIT.

P. ENG. ROOF TRUSS ASSEMBLY
JOIST AND ALL OTHERS UNDER TRUSSES THAT SPAN MORE THAN 10' OR OVER FULLY SUPPORTED JOIST HAVE A P. ENG. TRUSS LATER.

P. ENG. TIMBER ASSEMBLIES
JOIST AND ALL MATERIALS USED IN THE DESIGN OF TYPICAL BEAMS, POSTS & TRUSSES ARE TO BE WEATHER RESISTANT.

NOTE:
DOOR & WINDOW STYLES, INCLUDING THE EXTERIOR CLADDING AND/OR FINISHES ARE TO BE DETERMINED ON-SITE BY BUILDER/CONTRACTOR WITH THE OWNER.
FINISHES SHOWN IN DRAWINGS ARE OF THE DESIGNER'S CONCEPT ONLY.

GENERAL NOTES	SCALE	DATE
<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL BUILDING CODE (IBC).</p> <p>2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND THE 2018 INTERNATIONAL ELECTRICAL CODE (IEC).</p> <p>3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).</p> <p>4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).</p> <p>5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SWEET'S CATALOG.</p>	<p>1/4" = 1'-0"</p>	<p>FEBRUARY 14, 2023</p>
<p>B.C.M. DESIGNER, CONSULTANT & PRINCIPAL</p> <p>LUIGI TARINI</p> <p>1308 HAWTHORNE AVE., SUITE 101, VAN COV</p> <p>PH: 949.441.1111</p> <p>WWW.HCL-ENGINEERING.COM</p>	<p>PROJECT NO.: A08-2023</p> <p>DATE: FEBRUARY 14, 2023</p> <p>DRAWN BY: MARIC LEVINSOHN</p> <p>CHECKED BY: LUIGI TARINI</p> <p>SCALE: 1/4" = 1'-0"</p> <p>DATE: FEBRUARY 14, 2023</p> <p>DRAWN BY: MARIC LEVINSOHN</p> <p>CHECKED BY: LUIGI TARINI</p> <p>SCALE: 1/4" = 1'-0"</p>	<p>SECTION DETAIL "BB", "CC" AND "DD"</p> <p>8 OF 10</p> <p>DWG. No. A06</p>

REVISED
A0114/2023
Sketch 8

ZONE 2 ENERGY EFFICIENCY DESIGN SUMMARY

B. PRESCRIPTIVE COMPLIANCE

Table with 3 columns: Item, Table Reference, Package. Includes 50-122 Prescriptive (50-12-3.1.1), 3.1.1.3.A (P), Package A/B.

C. PROJECT DESIGN CONDITIONS

Table with 3 columns: Heating Equipment Efficiency, Space Heating Fuel Source, and Energy Efficiency. Values include 92% AFUE, Gas/Propane/Solid Fuel, and 8.21%.

OTHER BUILDING CONDITIONS

Table with 3 columns: ICF Basement, ICF Above Grade, Air Sourced Heat Pump (ASHP), and Ground Sourced Heat Pump (GSHP).

D. BUILDING SPECIFICATIONS

Table with 3 columns: Thermal Insulation, R-Values, and Min. Effective. Includes Ceiling with Attic Space, Walls Above Grade, Basement Walls, Slab, and Windows/Doors.

MECHANICAL

Table with 3 columns: Heating Equip. (AFUE), HRV Efficiency, DHW Heater (EF), and DHWR (CAS855).

MECHANICAL

Table with 3 columns: Heating Equip. (AFUE), HRV Efficiency, DHW Heater (EF), and DHWR (CAS855).

MECHANICAL

Table with 3 columns: Heating Equip. (AFUE), HRV Efficiency, DHW Heater (EF), and DHWR (CAS855).

MECHANICAL

Table with 3 columns: Heating Equip. (AFUE), HRV Efficiency, DHW Heater (EF), and DHWR (CAS855).

MECHANICAL

Table with 3 columns: Heating Equip. (AFUE), HRV Efficiency, DHW Heater (EF), and DHWR (CAS855).

MECHANICAL

Table with 3 columns: Heating Equip. (AFUE), HRV Efficiency, DHW Heater (EF), and DHWR (CAS855).

AREAS

Table with 3 columns: Descriptions, m², and ft². Includes Lot Coverage, Foundation, Crawlspace, Basement, Lower Level, Deck, Roof Venting, Ground Floor, Main Floor, Upper Level, Second Floor, Third Floor, Loft Area, Attic Storage, Attached Garage, Detached Garage, Deck/Lanai/Patio, Covered Entry Porch, Covered Porch-Other, and Screened-in Porch/Sunroom.

GENERAL NOTES

THE OWNER SHALL REVIEW THESE DRAWINGS THOROUGHLY AND REPORT ANY ERRORS... THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION...

DETAILS & DIMENSIONS

ALL DIMENSIONS ARE TO THE CENTER OF THE MEMBER UNLESS NOTED OTHERWISE... THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION...

ELECTRICAL

INSTALLER SHALL SUPPLY ALL DEVICES FOR THE ELECTRICAL COMPONENTS & SYSTEMS... THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION...

MECHANICAL (HVAC) HEATING & VENTILATION

MECHANICAL CONTRACTOR SHALL VERIFY ALL PERMITS AND SECURE THE MECHANICAL VENTILATION... THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION...

PLUMBING

INSTALLER SHALL SUPPLY ALL DEVICES AND SUPPLY FOR THE PLUMBING COMPONENTS... THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION...

FOUNDATION ASSEMBLIES

FOUNDATION CONTRACTOR SHALL VERIFY ALL PERMITS AND SECURE THE FOUNDATION... THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION...

EXTERIOR WALL ASSEMBLIES

EXTERIOR WALL CONTRACTOR SHALL VERIFY ALL PERMITS AND SECURE THE EXTERIOR WALLS... THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION...

EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - R-24.5

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VERTICAL SCALE: 1/8" = 1'-0" (VERTICAL SCALE); HORIZONTAL SCALE: 1/8" = 1'-0" (HORIZONTAL SCALE); PROJECT NO.: A0114/2023; DATE: FEBRUARY 14, 2023; DWG. NO.: 1 OF 10; D01

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