

Tom Davies Square

200 Brady St

Wednesday, August 2, 2023

PUBLIC HEARINGS**A0083/2023****BROOKE GOUGEON**

Ward: 10

PIN 73581-0108, Parcel 802 SEC SES, Lot 10, Plan M-14, except LT49947 and LT55596, Part 11, Plan M-737, Part Lot 2, Concession 3, Township of McKim, 470 Lake Point Court, Sudbury, [2010-100Z, R1-3 Low Density Residential One]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing firstly, a maximum height of 8.5m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, and secondly, a minimum front yard setback of 2.96m, where a minimum front yard setback of 6.0m is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A106/17 (4 OCT 17)

A0084/2023**MATTHEW COMISSO
CHARLENE COMISSO**

Ward: 9

PIN 73476 0472, Parcel 20253 SEC SES, Lot(s) 12, Subdivision M-365, Lot 6, Concession 3, Township of Broder, 4882 Long Lake Road, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the single detached dwelling providing a maximum height of 12.09m, where the maximum height of 11.0m is permitted.

A0085/2023**JAMES MCCORMICK
CINDY NADEAU**

Ward: 3

PIN 73354 0503, Parcel 25120 SEC SWS SRO, Lot(s) 65, Subdivision M-1030, Lot 11, Concession 6, Township of Dowling, 32 Gill Avenue, Onaping, [2010-100Z, R2-2 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a 3.3m encroachment into the required corner side yard and maintaining a 1.2m corner side yard setback with eaves encroaching 0.41m into the proposed 1.2m corner side yard setback, where accessory structures greater than 2.5m in height are not permitted to encroach into the corner side yard, where a corner side yard of 4.5m is required and where eaves may encroach 1.2m into the required corner side yard, but not closer than 0.6m to the lot line.

A0086/2023

**NORMAN BYRNES
ELAINE BYRNES**

Ward: 3

PIN 73349-1334, Parcel 14664 SEC SWS SRO, Lot 79, Plan M-436, s/t LT117618 and LT128835, Lot 3, Concession 3, Township of Balfour, 180 Brookside Road, Chelmsford, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 5.67m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0087/2023

1973696 ONTARIO LTD.

Ward: 9

PIN 73478-1080, Lot 23 and Part Lot 24, Plan M-403, Parts 3 and 4 on Plan 53R-19197, subject to an easement as in LT119418 and LT121502, Lot 4, Concession 6, Township of Broder, 2167 Armstrong Street, Sudbury, [2010-100Z, M1-1 (Business Industrial)]

For relief from Part 5, Section 5.6.5 clause c) and e), and Part 8, Section 8.3, Table 8.2 of By-law 2010-100Z, as amended, in order to construct a loading bay addition to an existing two-storey industrial building on the subject property providing firstly, a front yard setback of 4.5m where a minimum front yard setback of 9.0m is required, secondly, to permit a loading space to be located in the front yard where loading spaces are not permitted in the front yard, and thirdly, to permit the loading space to be setback 6.5m from the street line, where a minimum 10.0m setback from any street line is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B130/09 (15 JAN 09)

A0088/2023

1650939 ONTARIO LTD.

Ward: 6

PIN 73503 1660, Survey Plan 53R-20676 Part(s) 1, Lot Part 1, Concession 1, Township of Hanmer, 0 Bodson Drive West, Hanmer, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve a lot to be severed subject to a future consent application, providing a minimum lot frontage of 73.0m, where 90.0m is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B94/15 (02 NOV 15), B95/15 (02 NOV 15), B96/15 (02 NOV 15) AND OPA 701-7/22-005

A0089/2023

**MICHELLE VIOLETTE
DAN LANDRY**

Ward: 9

PIN 73475-1725, Part Lot 6, Concession 6, Part 7 on Plan 53R-8872, except Part 1 on Plan 53R-9049, Township of Broder, 447 St Charles Lake Road, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit firstly, the retaining wall to provide a minimum eastern interior side yard setback of 0.3m, and the sauna to provide a minimum western interior side yard setback of 0.85m where an accessory structure greater than 2.5m in height shall be no closer than 1.2m from the side lot line, and secondly, the retaining wall to provide a minimum front yard setback of 3.66m, where 6.0m is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B74/16 (03 OCT 16)

A0090/2023

**LISA LEMAY
ROBERT LEMAY**

Ward: 2

PIN 73365-0076, Parcel 17618 SEC SWS, Part Lot 1, Concession 1 being Summer Resort Location J.E. 11 as in WP8268 and Location CL9820, Part 1, Plan 53R-15951, Township of Trill, 600 Park Road, Worthington, [2010-100Z, SLS(4)(Seasonal Limited Service)]

For relief from Part 9, Section 9.3, Table 9.3 and Part 11, Section 4, subsection 4, paragraph(d), clause (ii) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit existing retaining walls, privy and deck, as well as a proposed new deck on the existing single detached dwelling, firstly, a minimum front yard setback of 0.98m for an existing retaining wall and 3.35m for the existing and proposed deck, where 10.0m is required, secondly, a minimum interior side yard setback of 0.1m for the existing and proposed deck, where 3.0m is required, thirdly, a minimum high water mark setback of 2.95m for retaining wall 1, 14.9m for retaining wall 2, 4.4m for the existing and proposed deck, and 22.0m for the existing privy, where the minimum setback for main and accessory buildings, other than boathouses, pump houses and docks shall be no closer than 25.0m from the high water mark.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A73/02 (16 SEP 02)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
THURSDAY, AUGUST 17, 2023**



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0083/2023	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Brooke Gougeon Email: [REDACTED]
 Mailing Address: 470 Lake Point Court Home Phone: [REDACTED]
 Business Phone: _____
 City: Sudbury Postal Code: P3E 6J3 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Karim Omri Email: [REDACTED]
 Mailing Address: 166 Douglas Street Home Phone: [REDACTED]
 Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3E 1G1 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Garage Height Requirement	5.0M	8.5M	3.5M
Garage Front Yard Requirement	6.0M	2.96M	3.04M

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
Building new garage structure.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The minimum setback of the High Watermark places the structure in a position where it needs to exceed the setbacks.

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): A0106/2017
 or, describe briefly, Attached garage addition setback

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Brooke Gougeon (please print all

names), the registered owner(s) of the property described as 470 Lake Point Court, Sudbury, ON P3E 6J3

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Karim Omri (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

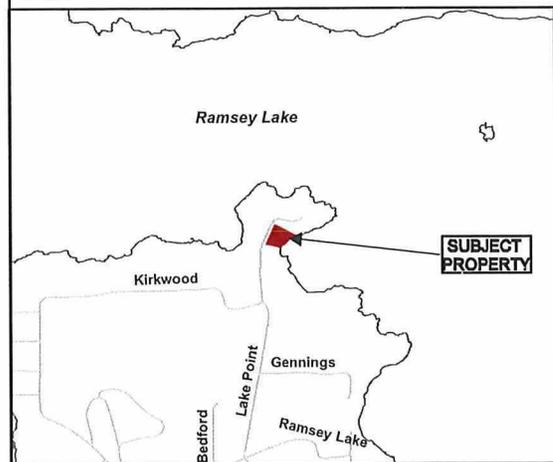
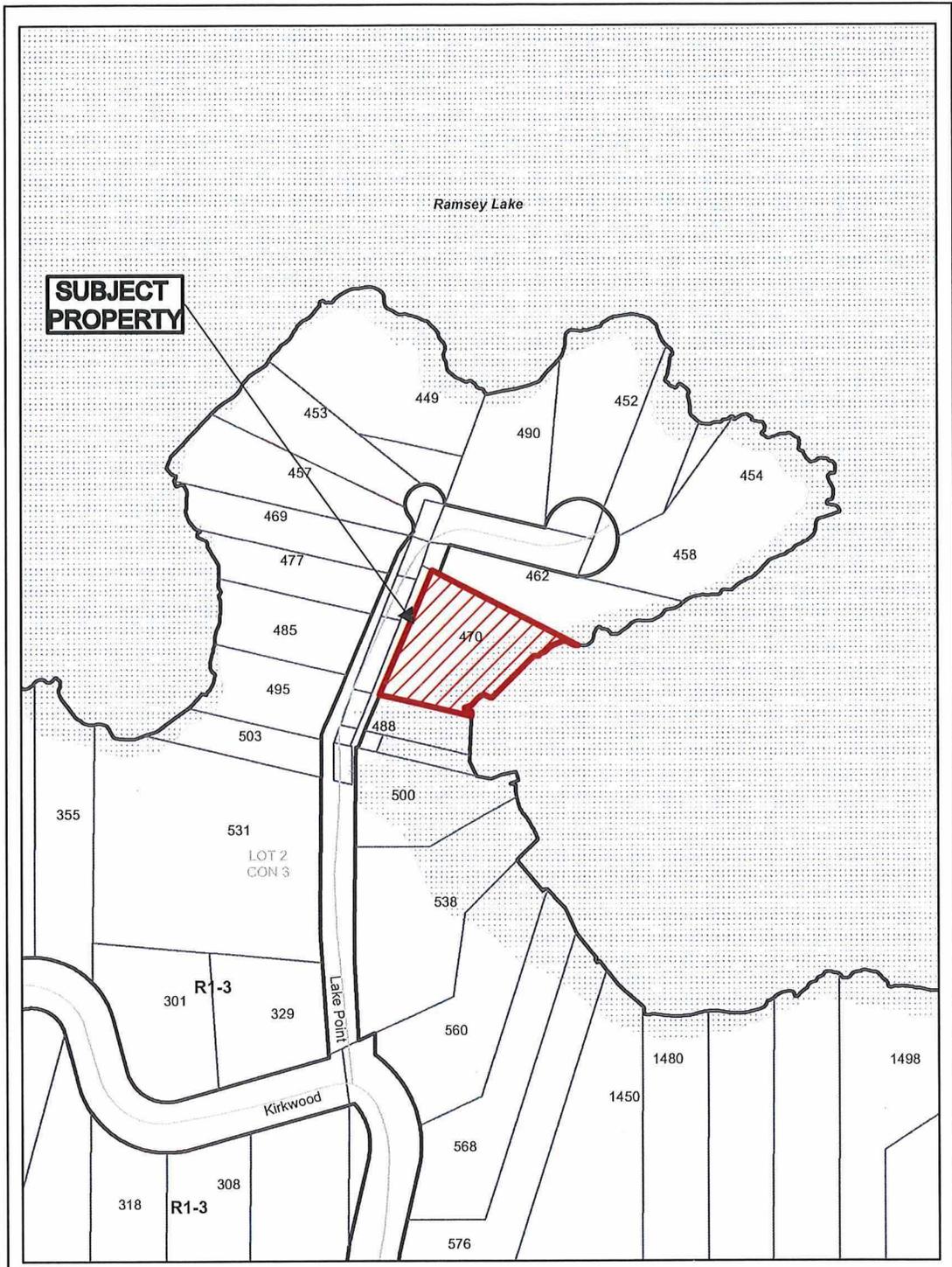
Dated this 13 day of June, 2023

[Signature]
 (witness)

[Signature: Brooke Gougeon]
 signature of Owner(s) or Signing Officer or Authorized Agent
 Print Name: Brooke Gougeon

*I have authority to bind the Corporation

A0083/2023



Application for Minor Variance or Permission



Subject Property being
 PIN 73581-0108,
 Parcel 802 SEC SES,
 Lot 10, Plan M-14, except LT49947 and LT55596,
 Part 11, Plan M-737,
 Part Lot 2, Concession 3,
 Township of McKim,
 470 Lake Point Court, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

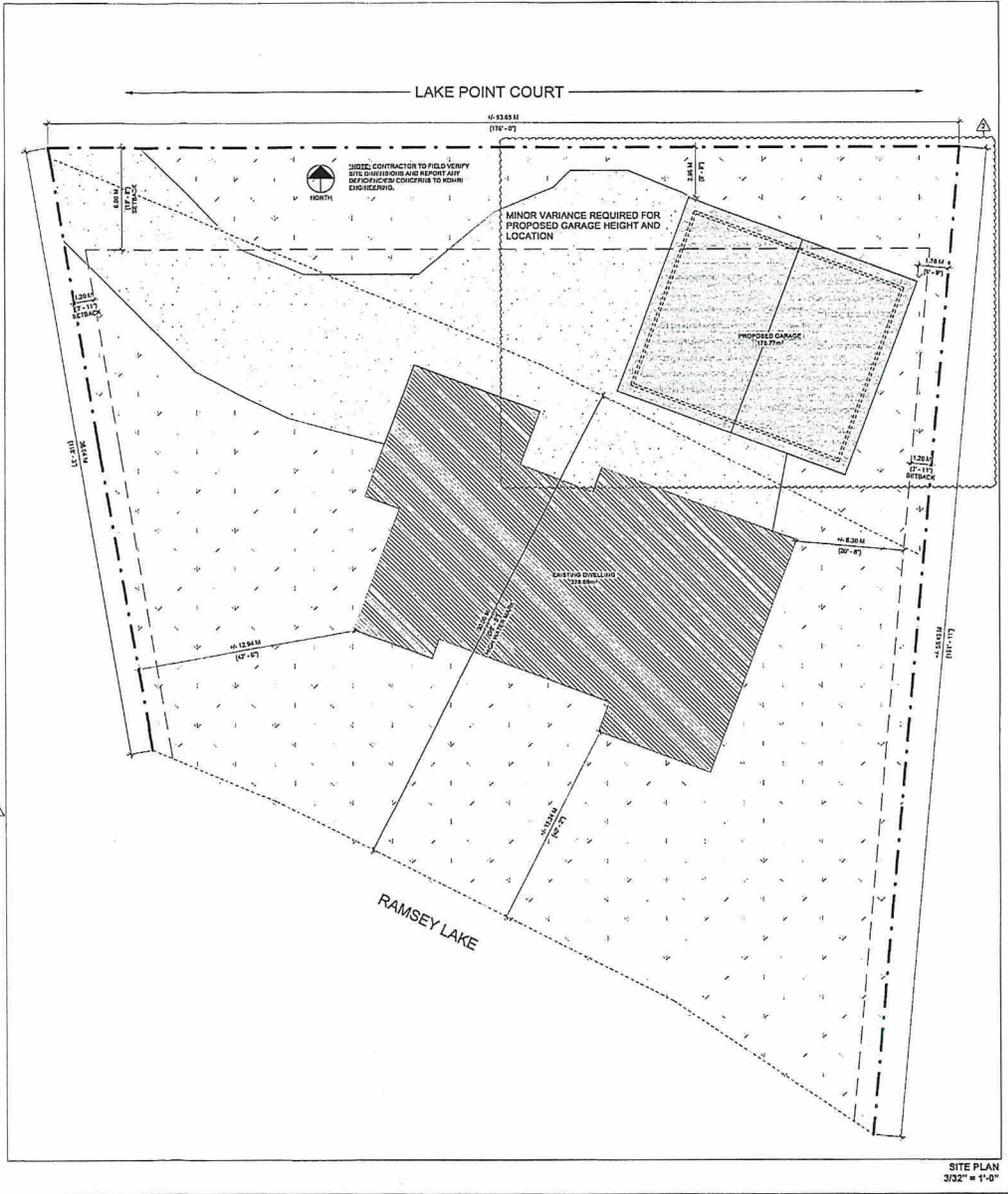
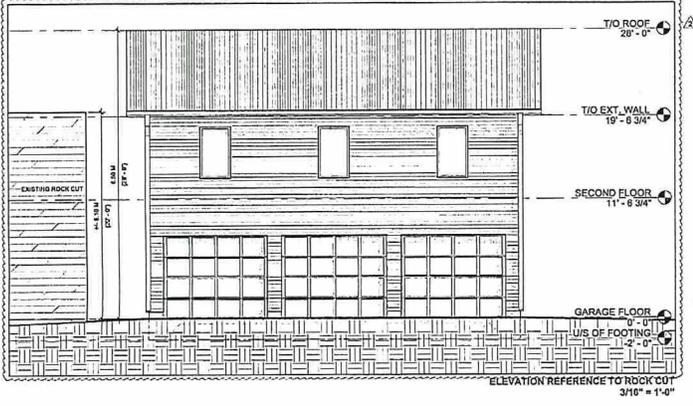
A0083/2023
 Date: 2023 07 12

DIMENSIONS ON SITE PLAN TO BE FIELD VERIFIED BY MOBILE SURVEY CONTRACTOR OR SITE SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING.	
EDGE -	-81.3
TOTAL PROPERTY AREA*	= 10,096.18sq-ft
EXISTING DEVELOPMENT	= 10,328.5sq-ft
PROPOSED NEW GARAGE	= 1,082.7sq-ft
NEW TOTAL LOT COVERAGE*	= 72.8%
MAXIMUM LOT COVERAGE*	= 60%
MINIMUM FRONT YARD*	= 1.0m
MINIMUM LOT FRONTAGE*	= 30m
MINIMUM FRONT YARD*	= 1.5m
MINIMUM REAR YARD*	= 1.5m
MINIMUM INTERIOR SIDE YARD*	= 1.2m
MINIMUM CORNER SIDE YARD*	= 4.8m

- GENERAL NOTES:**
- EXISTING REFER TO DRAWING PREPARED BY SORTELLUS SURVEYING FOR GRADING INFORMATION.
 - PROVIDE NEW 2" THICK CONCRETE SLAB FINISH ON ALL NEW ASPHALT.
 - ALL 8" DRAINAGE & PATHWAYS TO BE 6" Ø 12" SL UDR UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

SITE PLAN LEGEND

	PROPOSED NEW
	EXISTING BUILDING
	EXISTING ASPHALT
	EXISTING GRASS
	EXISTING PROPERTY LINE
	EXISTING SETBACK LINE



NOTES:
 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF WORK.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF WORK.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF WORK.
 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF WORK.

REVISIONS:
 1. REVISION 1 - 06/13/2023
 2. REVISION 2 - 06/13/2023
 3. REVISION 3 - 06/13/2023
 4. REVISION 4 - 06/13/2023

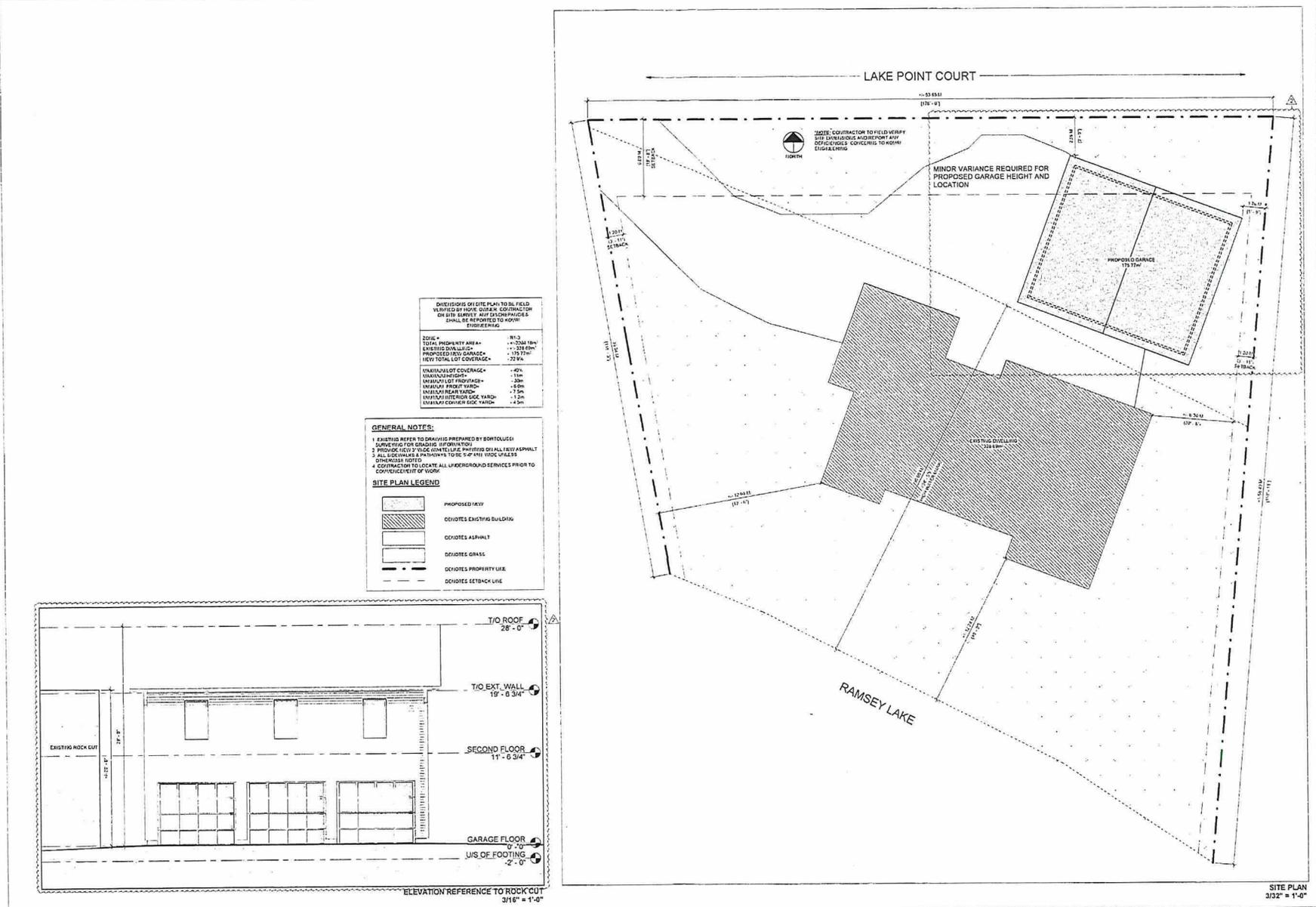


MIKE COUSEN
 416 LAKEVIEW DRIVE
 PROJECT NO. 23-03-001
 SITE PLAN

DRAWN BY: IN
 CHECKED BY: DP/KO
 SCALE: As Indicated
 SHEET: A02

ISSUED FOR REVISION 1 - JUNE 13, 2023

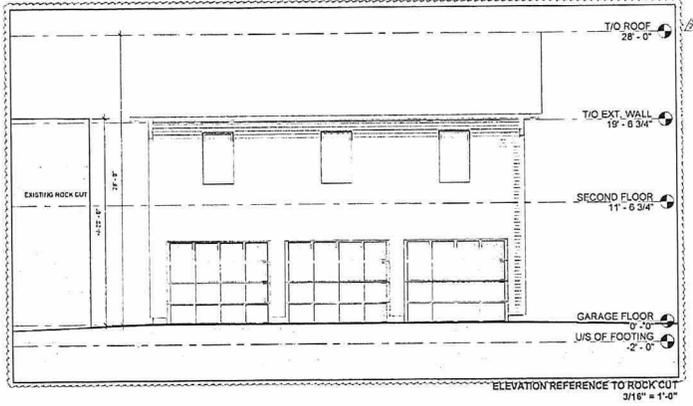
A0083/2023
 Sketch 2



DISCREPANCIES ON SITE PLAN TO BE FIELD VERIFIED BY HOME OWNER. CONTRACTOR ON SITE VERIFY ALL DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING.

ZONE*	R-1.3
TOTAL PROPERTY AREA*	11,528.16 sqm
EXISTING DWELLING*	1,128.00 sqm
PROPOSED ICV GARAGE*	18.77 sqm
NEW TOTAL LOT COVERAGE*	27.7%
MAXIMUM LOT COVERAGE*	40%
MINIMUM HEIGHT*	1.8m
MINIMUM LOT FRONTAGE*	30m
MINIMUM FRONT YARD*	4.0m
MINIMUM REAR YARD*	7.5m
MINIMUM INTERIOR SIDE YARD*	1.2m
MINIMUM EXTERIOR SIDE YARD*	4.5m

- GENERAL NOTES:**
- EXISTING REFER TO DRAWINGS PREPARED BY SORTELLI
 - SURVEYED FOR GRADING, UTILITIES
 - PROPOSED ICV 7.50M HEIGHT, 1.80M DEPTH OF ALL NEW ASPHALT
 - ALL SIDEWALKS & PATHWAYS TO BE 5" OF 100% VISC. UNLESS OTHERWISE NOTED
 - CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK
- SITE PLAN LEGEND**
- PROPOSED ICV
 - EXISTING BUILDING
 - ASPHALT
 - GRASS
 - PROPERTY LINE
 - SETBACK LINE



GENERAL

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GENERAL BUILDING CODE OF THE CITY OF OTTAWA, ONTARIO.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

REVISIONS

DATE: 05/05/2023

PROJECT NO: 2023-003

DATE: 05/05/2023

PROJECT NO: 2023-003

KOMRI ENGINEERING

ENGINEER: MIKE COUSSEN
416 LAKE POINT COURT, SUDBURY, ON
PROJECT NO. 2023-003

SITE PLAN

DRAWN: []
CHECKED: DPKO
SCALE: As Indicated
SHEET: []

ISSUED FOR CONSTRUCTION - MAY 5, 2023

A0083/2023
Sketch 4

LEGEND

- ROOM NAME**
[101]
DENOTES ROOM NAME AND NUMBER REFERENCE
- [W1]
DENOTES WINDOW TAG REFERENCE
- [W2]
DENOTES EXTERIOR WALL TAG REFERENCE
- [FD]
DENOTES FLOOR DRAIN
- [D1]
DENOTES DOOR AND DOOR NUMBER

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

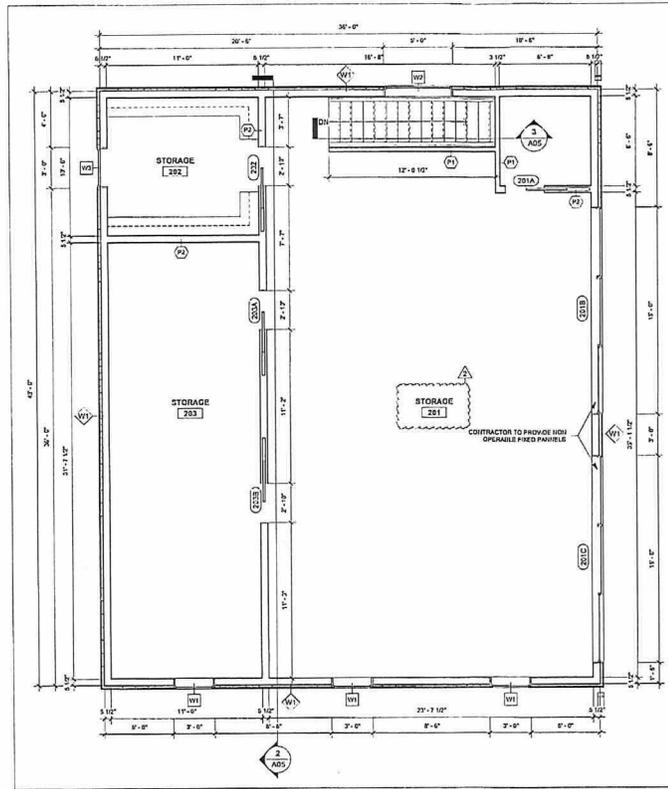
1. AS NEAR TO ANY DIMENSION INDICATE THAT MEASUREMENT SHOULD BE FIELD VERIFIED AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. REPORT TO OWNER. FIELDING AS REQUIRED IF DESIGN INTENT CANNOT BE IMPLEMENTED.
2. USE OTHER RELEVANT GYPSEUM BOARD TAGS ON ALL WALLS BASED ON PARTITIONS & CEILING BOARD HEIGHTS. ALL WALLS SHOULD BE FINISHED.
3. PROVIDE FLOOR BLOCKING TO ACCOMMODATE WALL JOINTS IN ACCESSORIES.
4. CORNER JAIL LOCATIONS AS REQUIRED.
5. ALL PARTITIONS TO EXTEND TO TOP OF STRUCTURE UNLESS OTHERWISE NOTED. BRACE AS REQUIRED.
6. ALL DOOR ELEVATIONS ARE REFERENCED TO AOD FROM FINISH FLOOR DATUM. ELEVATION OF AOD.
7. ALL EXPOSED VERTICAL EDGES IN GYPSEUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNER BOARD.
8. ALL DOORS SHALL BE LOCATED 4" FROM WALL FACE TO DOOR FRAME EDGE TYPICAL UNLESS NOTED OTHERWISE.

PARTITION ASSEMBLIES:

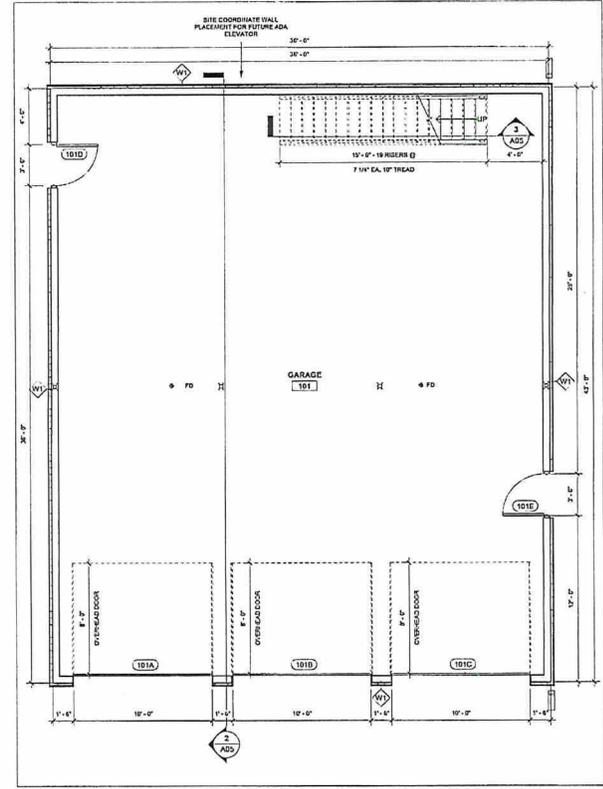
- [P1] TYPICAL INTERIOR 2x4 WOOD STUD PARTITION
- 1/2" GYPSEUM BOARD SHEATHING ON BOTH SIDES OF 2x4" SPF HD 11/16x3 WOOD STUD @ 16" OC
- [P2] TYPICAL INTERIOR 2x4 WOOD STUD PARTITION
- 1/2" GYPSEUM BOARD SHEATHING ON BOTH SIDES OF 2x4" SPF HD 11/16x3 WOOD STUD @ 16" OC

WALL ASSEMBLIES:

- [W1] REINFORCED CONCRETE WALL ASSEMBLY
- HORIZONTAL SCHED BY OWNER
 - 10 #4 #4 #10x10 VERTICAL 1000 STRAPP JIG @ 16" OC
 - 1/2" GYPSEUM BOARD SHEATHING (R-2)
 - ALL BARRERS REINFORCING - LAP & SEAL
 - 7/8" GCR SCHEDULE
 - 2x4" SPF HD 11/16x3 WOOD STUD @ 16" OC (DOUBLE TOP PLATE) GUY BRACING @ 16" HEIGHT
 - FLEEDIES FOR VENTILATION (R-2)
 - 6x6" POLY WOUND BARBER VULCANIZING - LAP & SEAL
 - 1/2" GYPSEUM BOARD SHEATHING



SECOND FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"



GARAGE FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

GENERAL

1. ALL DIMENSIONS ARE TO THE FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO THE FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO THE FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE FACE UNLESS OTHERWISE NOTED.

REVISIONS

NO.	DATE	DESCRIPTION
1	06/13/2023	ISSUED FOR REVISION 1 - JUNE 13, 2023



MIKE DODSON
478 LAKE FRONT COURT, SEASIDE, OR
PROJECT NO. 23123233

FLOOR PLANS

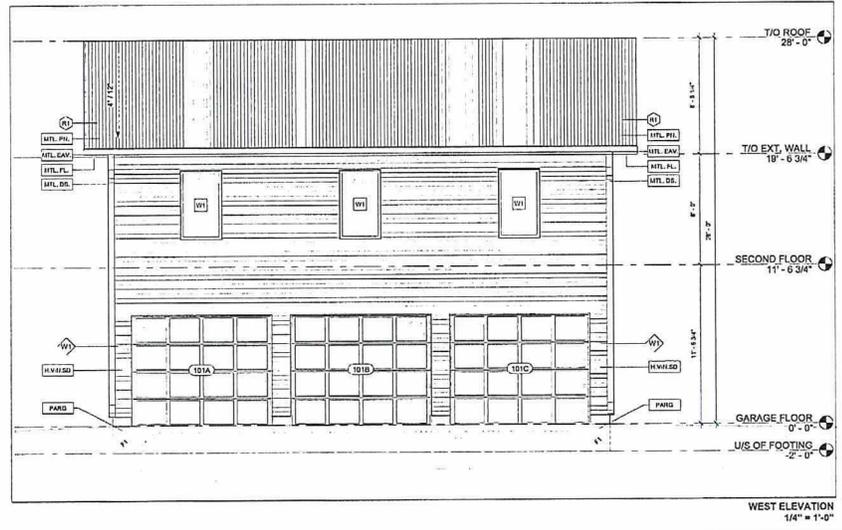
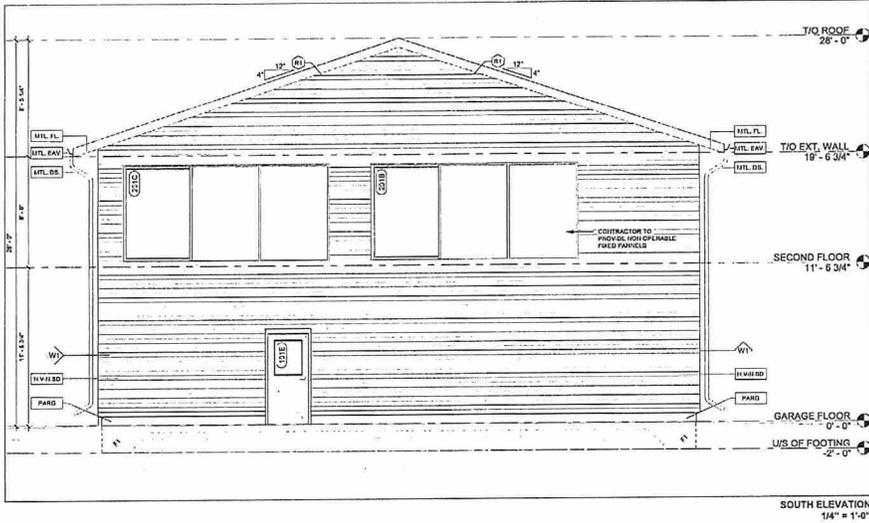
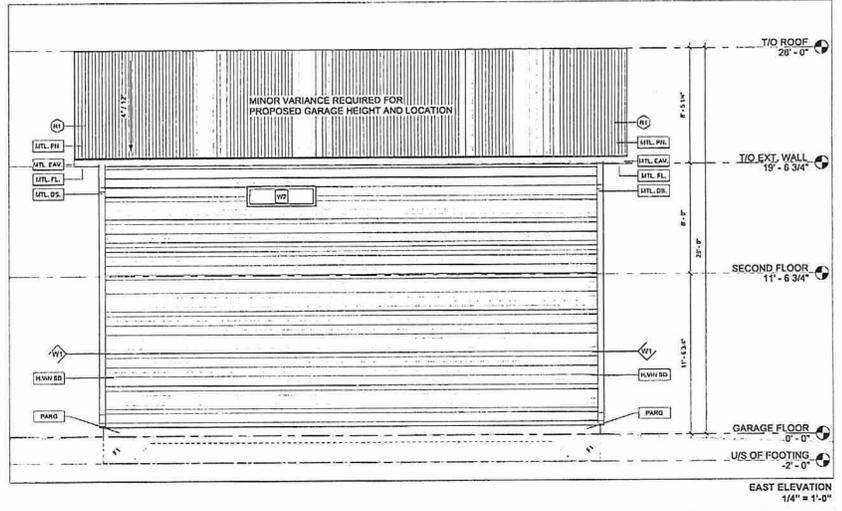
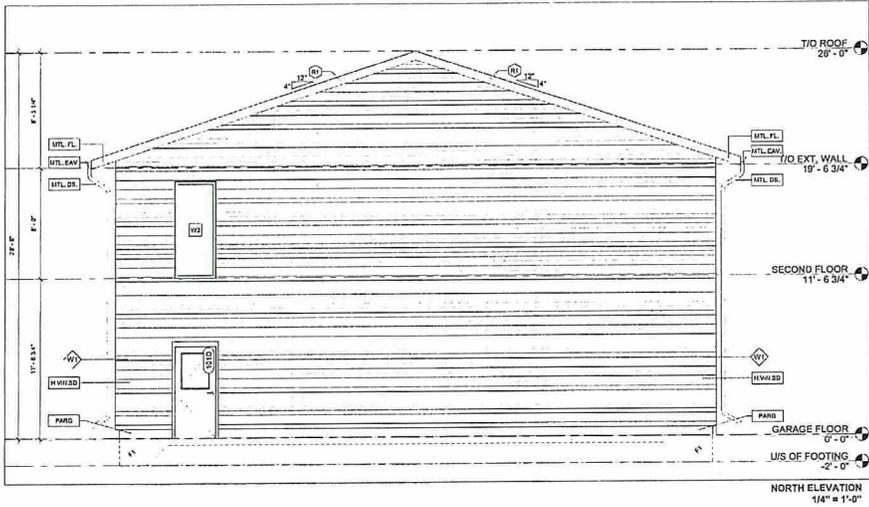
DRAWN BY: IN
CHECKED BY: DP/KO
SCALE: 1/4" = 1'-0"
SHEET

A03

ISSUED FOR REVISION 1 - JUNE 13, 2023

A008312023
sketch 5

LEGEND	
H.W.H.S.D.	DENOTES HORIZONTAL WOOD SIDING BY OWNER
P.A.R.G.	DENOTES PARKING LAYER
M.T.L.F.L.	DENOTES METAL FLASHING
M.T.L.P.H.	DENOTES METAL ROOFING
M.T.L.E.A.V.	DENOTES METAL EAVES/THROUGH
M.T.L.D.S.	DENOTES METAL DOWNSPOUT
W.I.	WINDOW IDENTIFICATION IN SCHEDULE
W.A.	WALL IDENTIFICATION IN SCHEDULE
D.	DOOR IDENTIFICATION IN SCHEDULE
R.	ROOF IDENTIFICATION IN SCHEDULE
F.	FOOTING IDENTIFICATION IN SCHEDULE



THESE DOCUMENTS ARE THE PROPERTY OF KOMRI ENGINEERING. ANY REUSE OR REPRODUCTION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF KOMRI ENGINEERING IS STRICTLY PROHIBITED. THE USER AGREES TO HOLD KOMRI ENGINEERING HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THESE DOCUMENTS.



PLEASE CONSULT THE PROJECT MANUAL FOR ALL NOTES AND SPECIFICATIONS.
ELEVATIONS

DRAWN BY: IM
CHECKED BY: DP/KKO
SCALE: 1/4" = 1'-0"
SHEET

A04

ISSUED FOR REVISION 1 - JUNE 13, 2023

PO083/2023
Sketch 6

ROOF PLAN LEGEND

- ALDPE DENOTES DRAINAGE FROM EAVES & ROOF SLOPE
- 4"X12" DENOTES DOWN SPOUTS OR SPLASH PAD
- E DENOTES EAVES THROUGH GUY DOWNSPOUT
- 3000000000 DENOTES R-DOC VOID

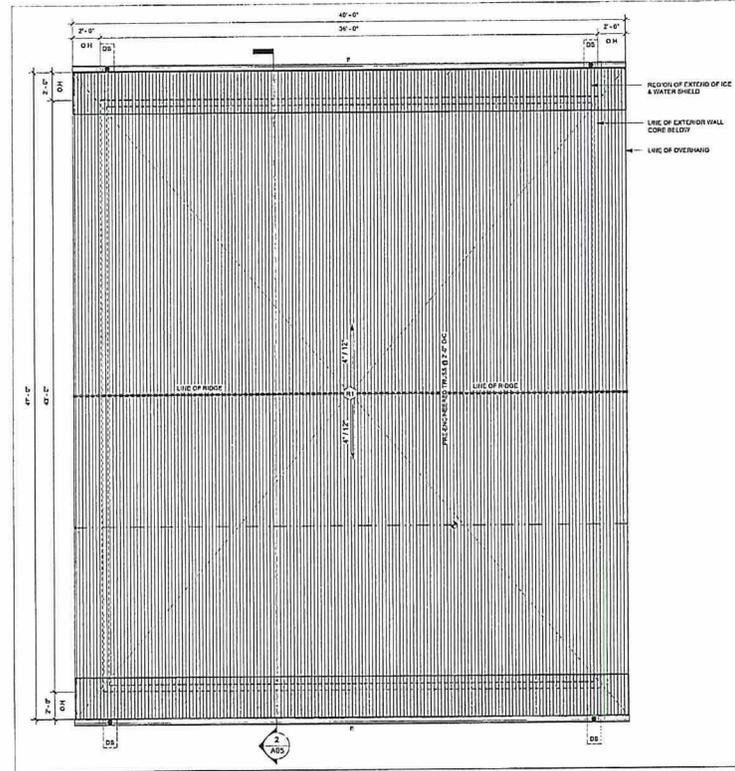
□ DENOTES MINIMUM EXTENT OF GAVE PROTECTION GAVE PROTECTION TO EXTEND A MINIMUM OF 1'0" PAST INTERIOR FACE OF EXTERIOR WALL.

NOTES:

1. CONTRACTOR TO SITE VERIFY EXISTING SLOPE AND DISCUSS TO PRIOR TO ORDER HIS TRUSSES. REPORT BACK TO KOMRI ENGINEERING IF ANY DISCREPANCIES OCCUR.
2. ICE AND WATER SHIELD TO EXTEND 1'0" PAST INTERIOR FACE OF EXTERIOR WALL (TYPICAL)
3. ALL ROOF VENTS TO HAVE GAVE PROTECTION AND FLASHING
4. THE MANUFACTURED ROOF TRUSS SUPPLIER SHALL PROVIDE MANUFACTURED ROOF TRUSSES SUITABLE TO THE DESIGN PARAMETERS PROVIDED BY KOMRI ENGINEERING AND IN ACCORDANCE WITH CBC PART 9 - 9.22.13.11 WOOD TRUSSES.

ROOF ASSEMBLIES:

- ①1
- METAL ROOFING
 - 1/2" GYP BOARD SHEATHING @ 12" O.C
 - EAVE PROTECTION AROUND PERIMETER
 - CONSTRUCTION DETAIL PANELS
 - 1/2" POLYURETHANE INSULATION @ 12" O.C
 - PRE-ENGINEERED TRUSS @ 24" O.C
 - 1/2" POLYURETHANE INSULATION @ 12" O.C
 - 60-1 POLYURETHANE EAVE FLASH & SEAL
 - 1/2" RIGID POLYURETHANE @ 12" O.C
 - 1/2" GYP BOARD SHEATHING



ROOF PLAN
1/4" = 1'-0"

GENERAL:
 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION.
 4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION.

REVISIONS:
 1. REVISION FOR QUANTITY
 2. REVISION FOR QUANTITY



MIKE EDGERTON
 PROFESSIONAL ENGINEER
 PROJECT NO. 18000-001
 ROOF PLAN

DRAWN BY: IN
 CHECKED BY: DP/RO
 SCALE: As Indicated
 TITLE:

A06

ISSUED FOR REVISION 1 - JUNE 13, 2023

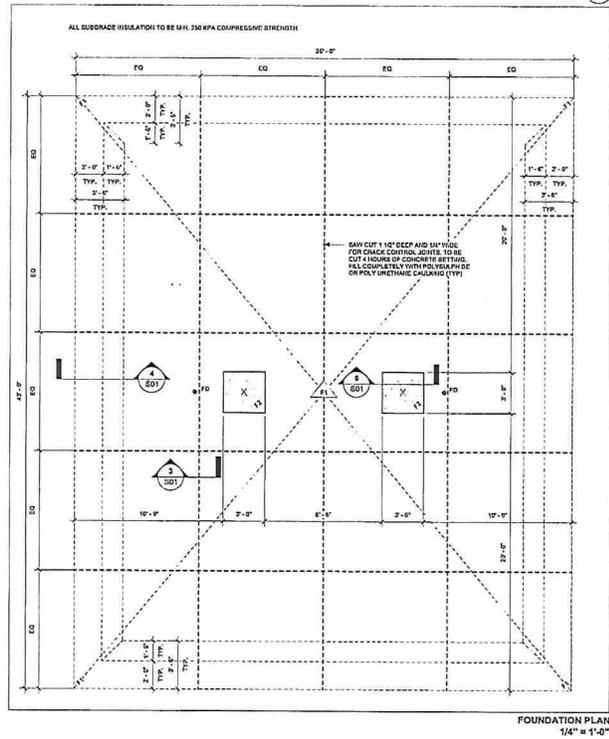
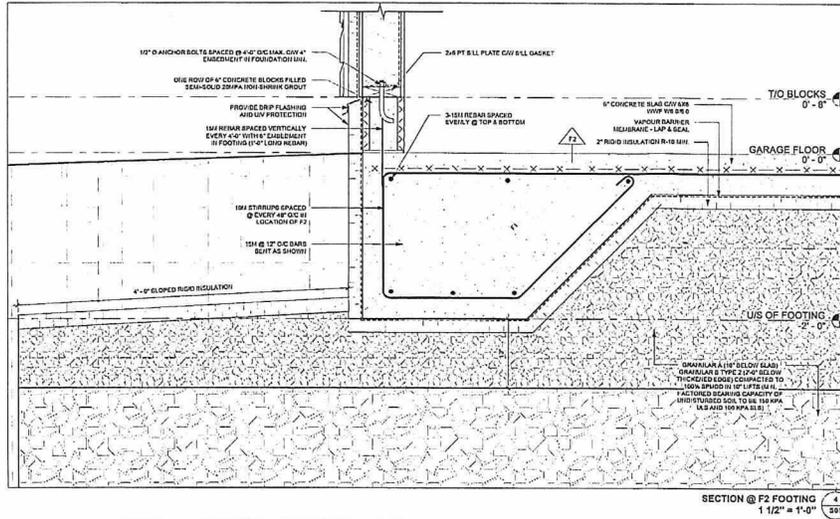
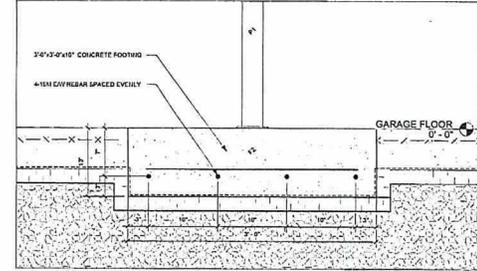
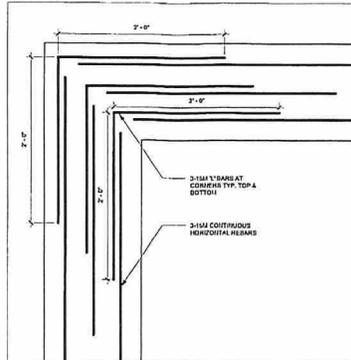
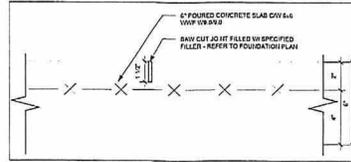
A0083/2023
 sketch 8

FLOOR ASSEMBLIES:

- F1**
- 6" CONCRETE GARAGE SLAB
 - 6" CONCRETE SLAB ON GRADE REINFORCED WITH WWP #4 - 4x8 @ 4'-0" - REFER TO STRUCTURAL DWG.
 - 15M TYP. W/SPACED BAR OR MECHANICAL - SEAL JOINTS (TYP.)
 - 2" RIGID INSULATION (R-10)
 - CRANGLAN 1/4" (1" BELOW SLAB) & CRANGLAN R TYPE 2 (PARAL. 2'-0")
- F2**
- PRE-ENGINEERED FLOOR HANGAR HEATED FLOOR JOISTS
 - FURNISH AS SCHEDULED
 - OPTIONAL 1/2" 180 PLYWOOD SHEATHING DEFINED ON FLOORING BY OWNER.
 - 1" CP CONCRETE TOP HANGAR GUY HEATING TUBES
 - 3/8" APA RATED SUBFLOOR SHEATHING - EXTERIOR BOND CLASSIFICATION
 - PRE-ENGINEERED T-JS BY OTHERS

COORING SCHEDULE

IDENTITY	SIZE
F1	2'-0" DEEP x 2'-0" WIDE THICKNESS 6 LEGS SLAB GUY 3-15M BARS TOP & BOTTOM CONTINUOUS & 15M STIRRUPS @ 4" O.C.
F2	2'-0" x 4'-0" x 16" FOOTING GUY 4-15M BARS EGV



NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS UNLESS OTHERWISE NOTED.

REVISIONS:
 1. 07.2023
 2. 07.2023
 3. 07.2023
 4. 07.2023
 5. 07.2023
 6. 07.2023
 7. 07.2023
 8. 07.2023
 9. 07.2023
 10. 07.2023



KOMRI ENGINEERING

MIKE COUGHLIN
 412 LAKE FRONT COURT, SUDBURY, ON
 PROJECT NO. 182425-018
 STRUCTURAL FOUNDATION PLANS

DRAWN BY: INSP
 CHECKED BY: DPJKO
 SCALE: As Indicated
 SHEET: THREE

S01

ISSUED FOR REVISION 1 - JUNE 13, 2023

A0083/2023
 sketch 9

FLOOR ASSEMBLIES:

CONCRETE GARAGE SLAB

- 4" CONCRETE SLAB ON GRADE REINFORCED WITH W1F 6.4 - 889 - REFER TO STRUCTURAL DRAW
- 1" POLY VAPOR BARRIER MEMBRANE - REAL JOINT (70%)
- 2" FIBER REINFORCED CONCRETE (R-10)
- MINIMUM 4" OF GROUND BENEATH & GRANULAR 5 TYPE 3 (FILL 2")

ENGINEERED FLOOR PARALLEL TO FLOOR JOIST

- FINISH AS SCHEDULED
- OPTIONAL 1/2" TAG BIT INSULATION SHEATHING ON FLOORING BY OWNER
- 1" OF CONCRETE TOPPING ON HEATING TILES
- 1/4" APA RATED SUBFLOOR SHEATHING - EXTERIOR DOOR CLASSIFICATION
- PRE-ENGINEERED T&S BY OTHERS

ROOF ASSEMBLIES:

PRE-ENGINEERED TRUSS BY MANUFACTURER

- METAL ROOFING
- 1/2" DRY ROG SHEET STRAPPAID @ 18" O.C
- FLAME PROTECTION PROVIDED PER MANUFACTURER'S INSTRUCTIONS
- CONSTRUCTION FELT PAPER
- 1/2" PLYWOOD SHEATHING ON TOP CHORDS
- PRE-ENGINEERED TRUSS @ 24" O.C
- 2" POLYURETHANE INSULATION @ 18" O.C
- 1/2" POLY VAPOR BARRIER - LAP & SEAL
- 1/2" GYP BOARD SHEATHING @ 24" O.C
- 1/2" GYP BOARD SHEATHING

WALL ASSEMBLIES:

DETACHED GARAGE WALL ASSEMBLY

- HORIZONTAL S.D.B.G BY OWNER
- 1/2" DRY ROG SHEATHING STRAPPAID @ 18" O.C
- 1/2" RIGID INSULATION @ 18" O.C
- AIR BARRIER MEMBRANE - LAP & SEAL
- DHS OSB SHEATHING
- 2" POLYURETHANE INSULATION @ 18" O.C (DOUBLE TOP PLATE) OR BRICK AND MORTAR
- 1/2" POLY VAPOR BARRIER - LAP & SEAL
- 1/2" GYP BOARD SHEATHING @ 24" O.C
- 1/2" GYP BOARD SHEATHING

BEAM SCHEDULE

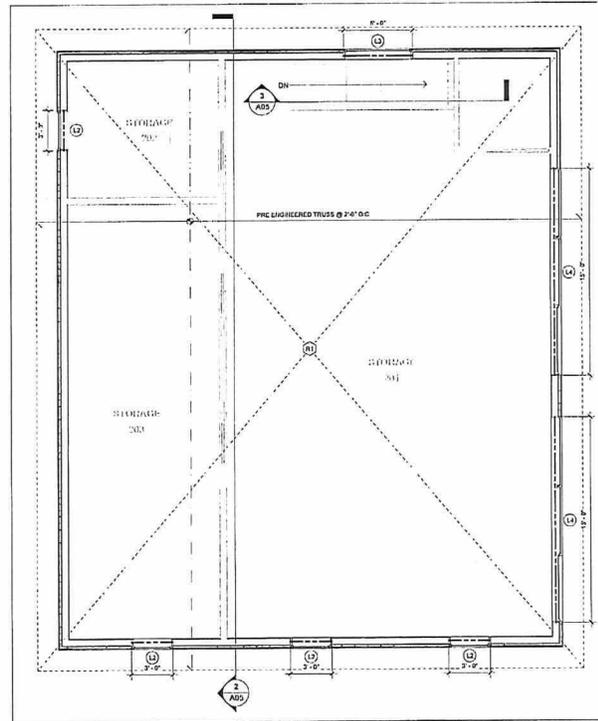
IDENTITY	SIZE
B1	W12x45
B2	3-PLY 1 3/4" x 11 1/4" WEST FRASER LVL 2.0 E

POST/COLUMN SCHEDULE

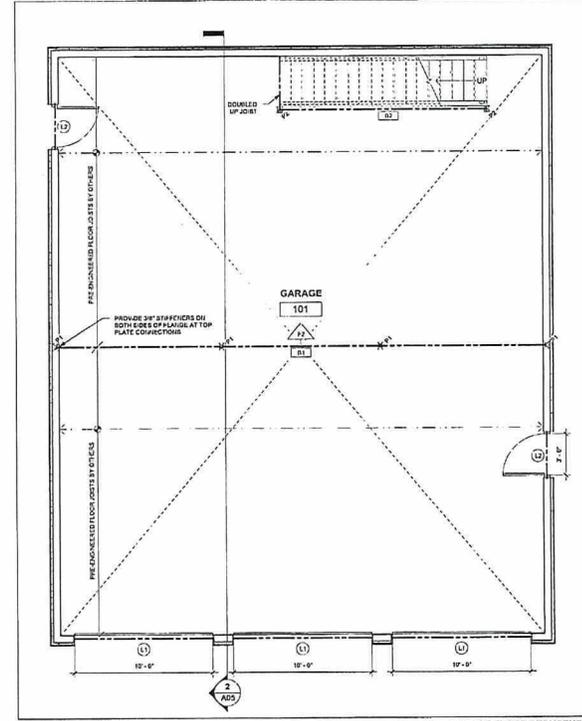
IDENTITY	SIZE
P1	JACKPOST SELECTED BY CONTRACTOR (MIN 11C1 - 13000 W4)
P2	3-PLY 2 1/4" SPS HD 110.2

LINTEL SCHEDULE

IDENTITY	SIZE
L1	3-PLY 1 3/4" x 11 1/4" WEST FRASER LVL 2.0 E
L2	2-PLY 2 1/4" SPS HD 110.2
L3	2-PLY 2 1/4" SPS HD 110.2
L4	3-PLY 1 3/4" x 11 1/4" WEST FRASER LVL 2.0 E



SECOND FLOOR STRUCTURAL
1/4" = 1'-0"



GARAGE FLOOR STRUCTURAL
1/4" = 1'-0"

NOTES:
1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING WITH WORK.
3. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

REVISIONS:
1. REVISIONS TO BE MADE BY CONTRACTOR.
2. REVISIONS TO BE MADE BY ARCHITECT.



MIKE EOUGEN
401 N. MAIN ST. SUITE 101
COLUMBUS, OH 43215
STRUCTURAL PLANS

DRAWN BY: IN
CHECKED BY: DP/RO
SCALE: 1/4" = 1'-0"
SHEET

S02

ISSUED FOR REVISION 1 - JUNE 13, 2023

A0083)2023
sketch 10



Greater Sudbury
www.greatersudbury.ca

Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0084/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended

Registered Owner(s): Matthew & Charlene Comisso Email: [REDACTED]
 Mailing Address: 4882 Long Lake Rd Home Phone: [REDACTED]
 Business Phone: _____
 City: Sudbury Postal Code: P3G 1K9 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Mat Comisso Email: [REDACTED]
 Mailing Address: 4882 Long Lake Rd Home Phone: [REDACTED]
 Business Phone: _____
 City: Sudbury Postal Code: P3G 1K9 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Royal Bank of Canada
 Mailing Address: 1879 Regent St
 City: Sudbury Postal Code: P3E 3Z7

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Height		39'8"	
	11 m	12.09 m	1.09 m

- b) Is there an eave encroachment? Yes (No) If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
We are proposing a second floor addition

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
In order to achieve a 12/12 pitch roof

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Brodent
 Lot No.: 6 Concession No.: 3 Parcel(s): 20253
 Subdivision Plan No.: M365 Lot: 12 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 4882 Long Lake Rd

7) Date of acquisition of subject land. March 31 2021

8) Dimensions of land affected.

Frontage 24.6 (m) Depth 69 (m) Area 1642.5 (m²) Width of Street - (m)

9) Particulars of all buildings:

	Existing			Proposed	
Ground Floor Area:	<u>5.9 m</u>	<u>106.28 m²</u>	<u>9.2 m²</u>	<u>106.28 m²</u>	<u>2</u> (m ²)
Gross Floor Area:	<u>5.4 m²</u>	<u>249.66 m²</u>	<u>9.2 m²</u>	<u>275.86 m²</u>	<u>2</u> (m ²)
No. of storeys:	<u>1</u>	<u>2</u>	<u>1</u>	<u>3</u>	<u>4</u>
Width:	<u>1.5 m</u>	<u>7.9 m</u>	<u>3 m</u>	<u>7.9 m</u>	<u>3</u> (m)
Length:	<u>3.6 m</u>	<u>3.4 m</u>	<u>3 m</u>	<u>13.4 m</u>	<u>3</u> (m)
Height:	<u>2.2 m</u>	<u>7.7 m</u>	<u>3 m</u>	<u>12.09 m</u>	<u>4</u> (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>House 15.8 m</u>	<u>Shed 31.3 m</u>	<u>Shed 52.9 m</u>	<u>EXISTING</u> (m)
Rear:	<u>41.6 m</u>	<u>30.7 m</u>	<u>11.8 m</u>	<u>EXISTING</u> (m)
Side:	<u>8.2 m</u>	<u>19.6 m</u>	<u>7.5 m</u>	<u>EXISTING</u> (m)
Side:	<u>7.3 m</u>	<u>2 m</u>	<u>21.6 m</u>	<u>EXISTING</u> (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1950's

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): residential Length of time: since original construction

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? one

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Matthew & Charlene Comisso (please print all names), the registered owner(s) of the property described as 4882 Long Lake Road

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
c) in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Matthew Comisso (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 30 day of June, 2023

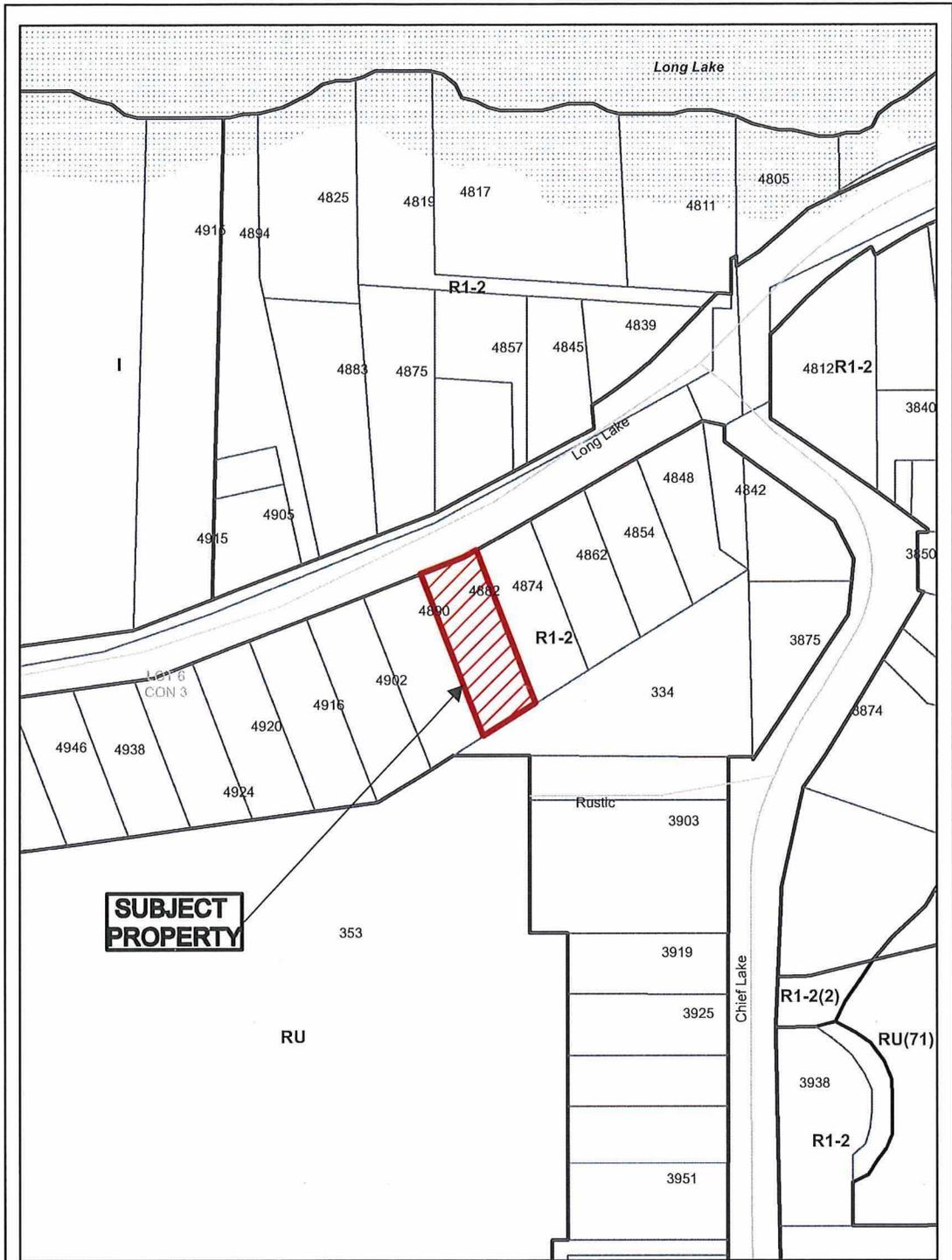
(witness) [Signature]

[Signatures] signature of Owner(s) or Signing Officer or Authorized Agent

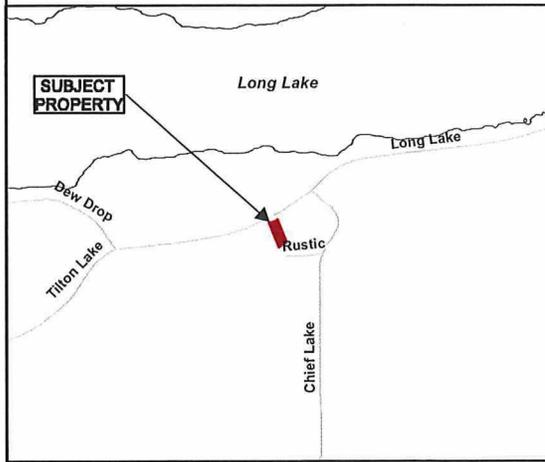
Print Name: x Charlene Comisso Matt Comisso

*I have authority to bind the Corporation

A0084/2023



SUBJECT PROPERTY



Application for Minor Variance or Permission



Subject Property being
 PIN 73476-0472,
 Parcel 20253 SEC SES,
 Lot 12, Plan M-365, Lot 6, Concession 3,
 Township of Broder,
 4882 Long Lake Road, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0084/2023
 Date: 2023 07 12



A0084/2023
Sketch 3



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0085/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Cindy Wadeau

Registered Owner(s): James McCormick Email: [REDACTED]
 Mailing Address: 32 Gill Onaping Home Phone: [REDACTED]
 City: Onaping Ont Postal Code: P0M2R0 Business Phone: _____
 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: James McCormick Email: _____
 Mailing Address: 32 Gill Onaping Home Phone: [REDACTED]
 City: Onaping Ont Postal Code: P0M2R0 Business Phone: _____
 Fax Phone: _____
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NA
 Mailing Address: _____
 City: _____ Postal Code: _____

4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R2-2

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 4.1 / Table 6.3	4.5m	1.2m	3.3m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Build new garage 1.2m from lot line.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Sitelane to back yard will be greatly restricted.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Dwelling
 Lot No.: 11 Concession No.: 6 Parcel(s): 25120
 Subdivision Plan No.: M030 Lot: 65 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 32 Gill Ave, Chaping

7) Date of acquisition of subject land. 1979

8) Dimensions of land affected.
 Frontage 19.73 (m) Depth 41.12 (m) Area 794.14 (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	<u>74.44</u>	(m ²)	<u>35.67</u>	(m ²)
Gross Floor Area:	<u>74.44</u>	(m ²)	<u>35.67</u>	(m ²)
No. of storeys:	<u>1</u>		<u>1</u>	
Width:	<u>10.10</u>	<u>7.37</u> (m)	<u>9.88</u>	(m)
Length:		<u>10.10</u> (m)	<u>7.32</u>	(m)
Height:	<u>4.57</u>	(m)	<u>4.27</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>7.10</u>	(m)	<u>28.19</u>	(m)
Rear:	<u>26.65</u>	(m)	<u>5.61</u>	(m)
Side:	<u>5.15</u>	(m)	<u>1.2</u>	(m)
Side:	<u>4.50</u>	(m)	<u>13.65</u>	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?
- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input checked="" type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swailes | <input checked="" type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.
1952

13) Existing use(s) of the subject property and length of time it / they have continued.
 Use(s): Personal home Length of time: 44 years

14) Proposed use(s) of the subject property.
 Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No
 If "yes", how many? _____

17) Existing uses of abutting properties: Residential

A0085/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, James McCormick, Cindy Nadeau (please print all names), the registered owner(s) of the property described as Lot No 11, Concession 6, Parcel 25/20 Subdivision M1030, Lot 65, Dowling Township, 32 Gill Ave, Oraping in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize James McCormick (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 29th day of June, 2023

[Signature]
(witness)

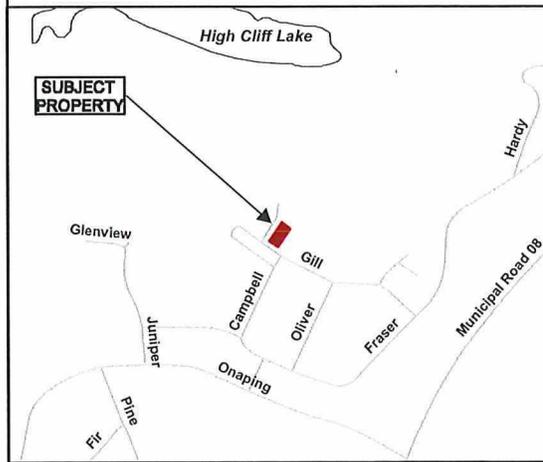
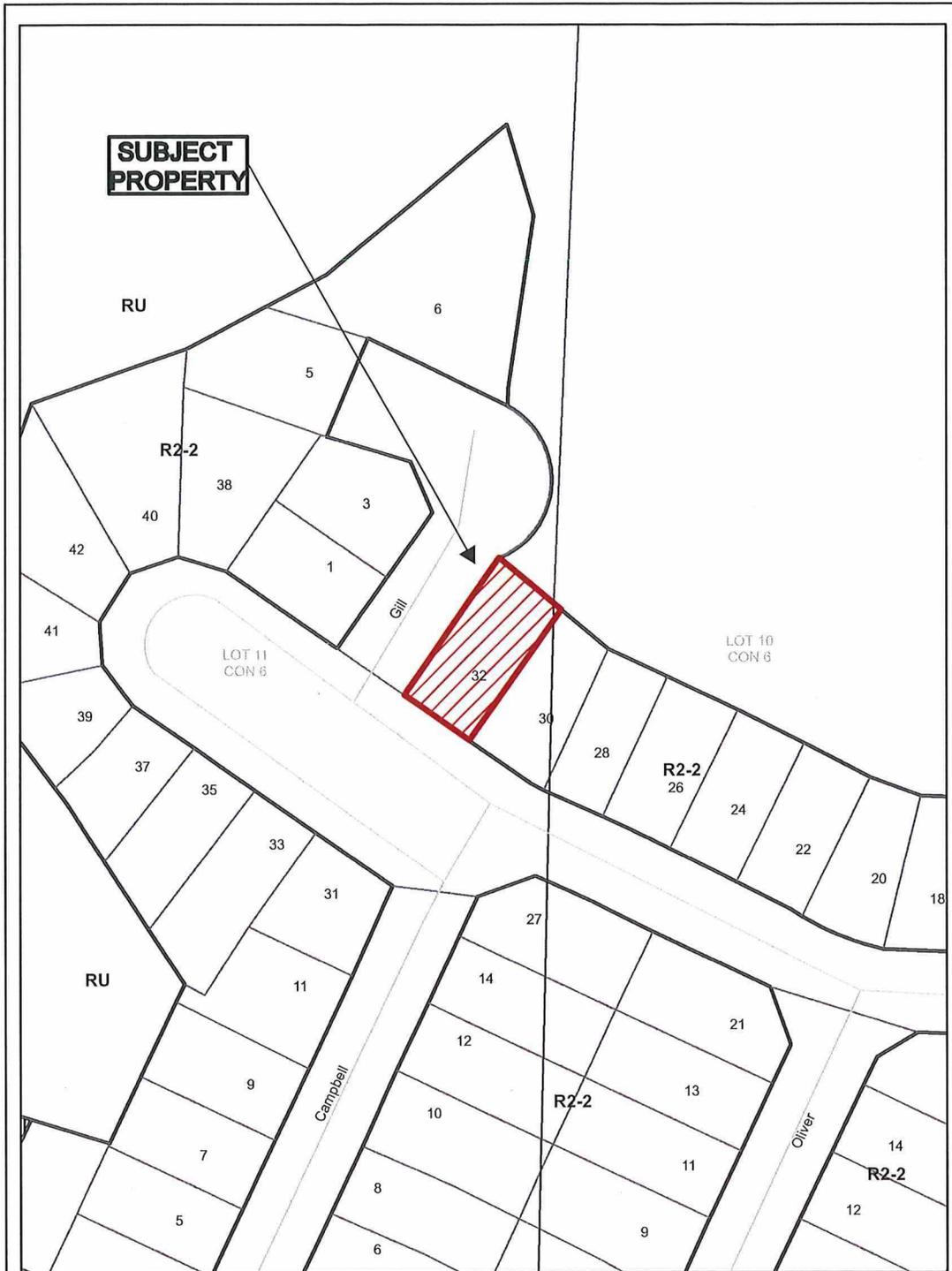
Lee Berthiaume
June 30, 2023

X James McCormick X C. Nadeau
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: James McCormick X CINDY NADEAU

*I have authority to bind the Corporation

A0085/2023



Application for Minor Variance or Permission

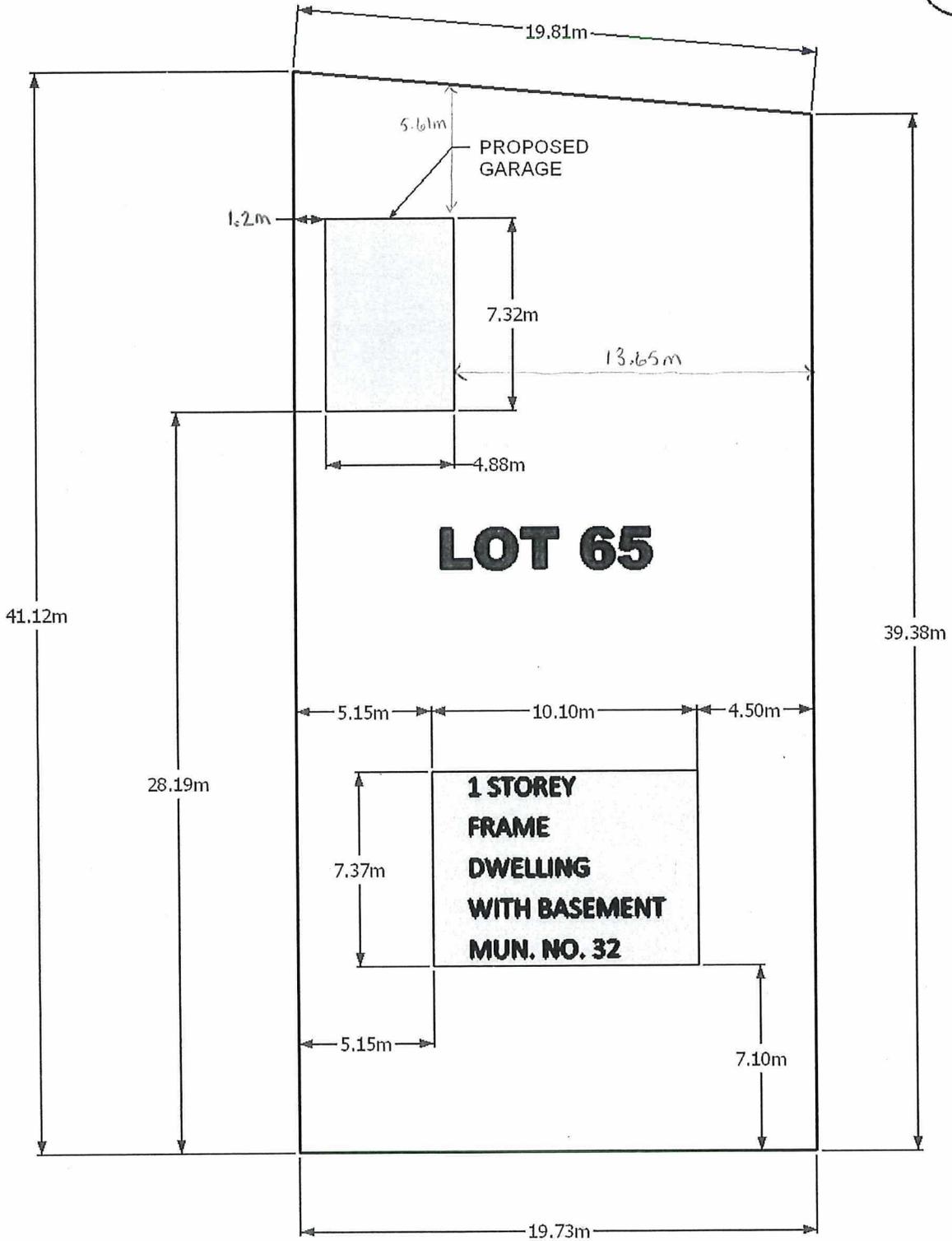
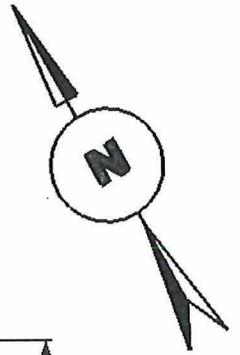


Subject Property being
 PIN 73354-0503,
 Parcel 25120 SEC SWS SRO,
 Lot 65, Plan M-1030,
 Part Lot 11, Concession 6,
 Township of Dowling,
 32 Gill Avenue, Onaping,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0085/2023
 Date: 2023 07 17

PROPOSED NEW 16' X 24' GARAGE
FOR 32 GILL AVENUE, ONAPING



GILL CRESENT

LOT 66

GILL AVENUE

JUNE 2023

A0085/2023
Sketch 2



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0086/2013	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Norman Burnes Email: [REDACTED]
 Mailing Address: 137 Laurier St. East Home Phone: [REDACTED]
 City: Azilda Postal Code: P0M1B0 Business Phone: [REDACTED]
 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Ryan McBane - McBane Group Inc Email: [REDACTED]
 Mailing Address: PO Box 1101 Home Phone: [REDACTED]
 City: Azilda, ON Postal Code: P0M1B0 Business Phone: [REDACTED]
 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
 Mailing Address: _____
 City: _____ Postal Code: _____

4) Current Official Plan designation: Living Area Current Zoning By-law designation: R1-S

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Increase height	5 m	5.67m	0.67m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
Increase height on garage (detached).

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Required for purpose of garage use.
To accommodate Big boat.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Baldwin
 Lot No.: 3 Concession No.: 3 Parcel(s): 19664
 Subdivision Plan No.: M436 Lot: 77 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 180 Brookside Rd. Chelmsford

7) Date of acquisition of subject land.

8) Dimensions of land affected.

Frontage 30.45 (m) Depth 45.72 (m) Area 1393.54 (m²) Width of Street 9.2 (m)

9) Particulars of all buildings:

	House Existing		Proposed	
Ground Floor Area:	<u>129.36</u>	(m ²)	<u>120.77</u>	(m ²)
Gross Floor Area:	<u>131.36</u>	(m ²)	<u>120.77</u>	(m ²)
No. of storeys:	<u>1</u>		<u>1</u>	
Width:	<u>13.88</u>	(m)	<u>7.9</u>	(m)
Length:	<u>9.32</u>	(m)	<u>15.2</u>	(m)
Height:	<u>4.0</u>	(m)	<u>5.0</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>6.3</u>	(m)	<u>29.26</u>	(m)
Rear:	<u>24.74</u>	(m)	<u>1.2</u>	(m)
Side:	<u>12</u>	(m)	<u>21.28</u>	(m)
Side:	<u>4.6</u>	(m)	<u>1.2</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water

If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

House 1957 garage 1980

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Single Dwelling Length of time: 66 years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property?

1 single family dwelling

16) If this application is approved, would any existing dwelling units be legalized?

Yes No

If "yes", how many? _____

17) Existing uses of abutting properties:

residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Norman Byrnes ELAINE BYRNES (please print all names), the registered owner(s) of the property described as 180 Brookside Rd., Chelmsford, ON. P0M 1L0 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Ryan McBane - McBane Group Inc (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

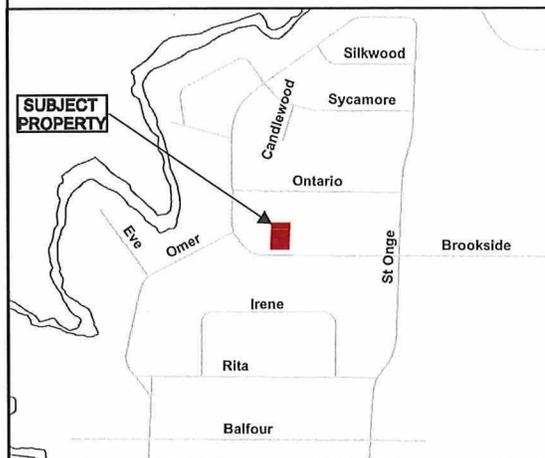
Dated this 16th day of June, 2023

Ashleigh Bowen
(witness)

Norman & Elaine Byrnes
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Norman Byrnes Elaine Byrnes

*I have authority to bind the Corporation



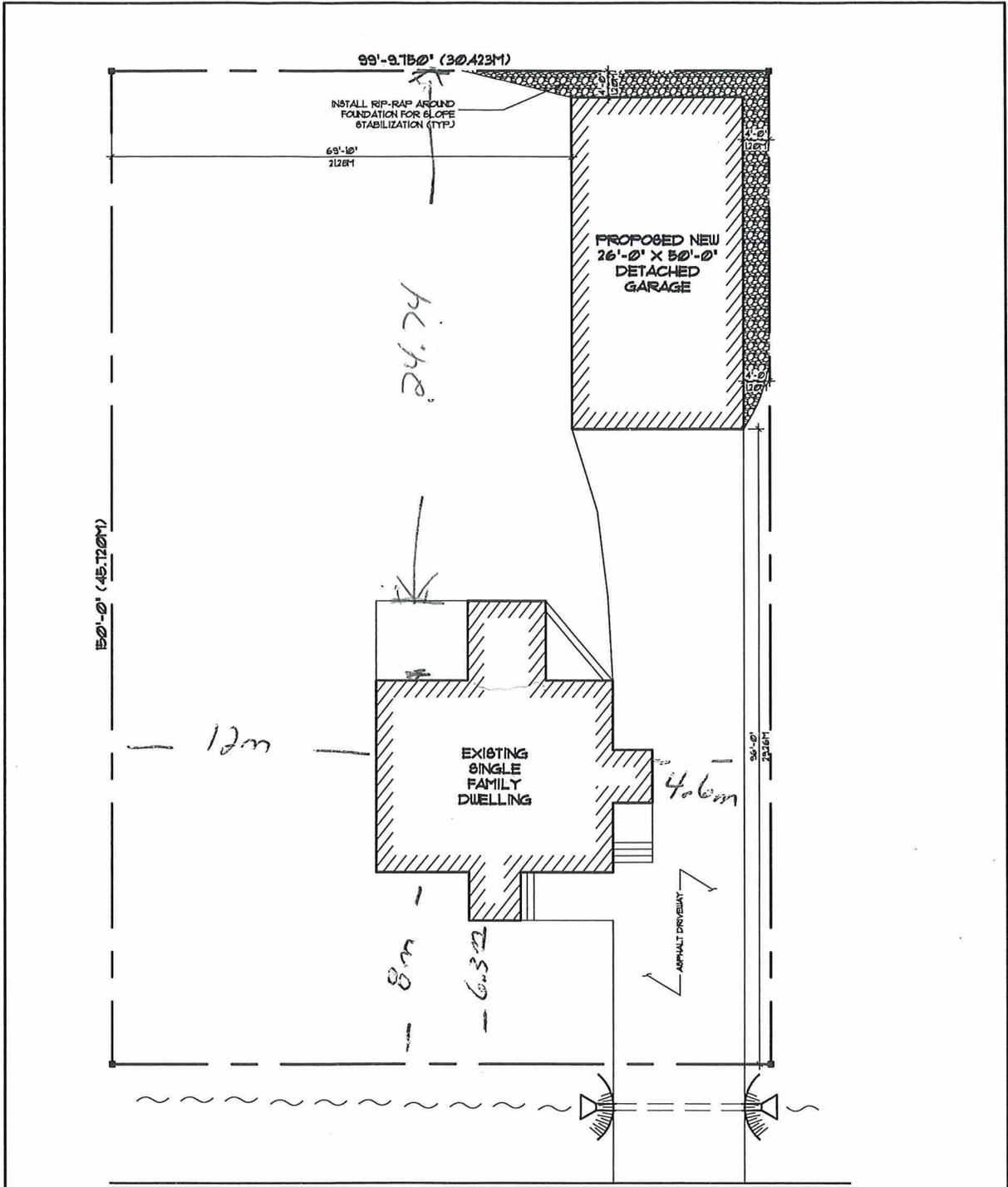
Application for Minor Variance or Permission



Subject Property being
 PIN 73349-1334,
 Parcel 14664 SEC SWS SRO,
 Lot 79, Plan M-436,
 Lot 3, Concession 3,
 Township of Balfour,
 180 Brookside Road, Chelmsford,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0086/2023
 Date: 2023 07 17



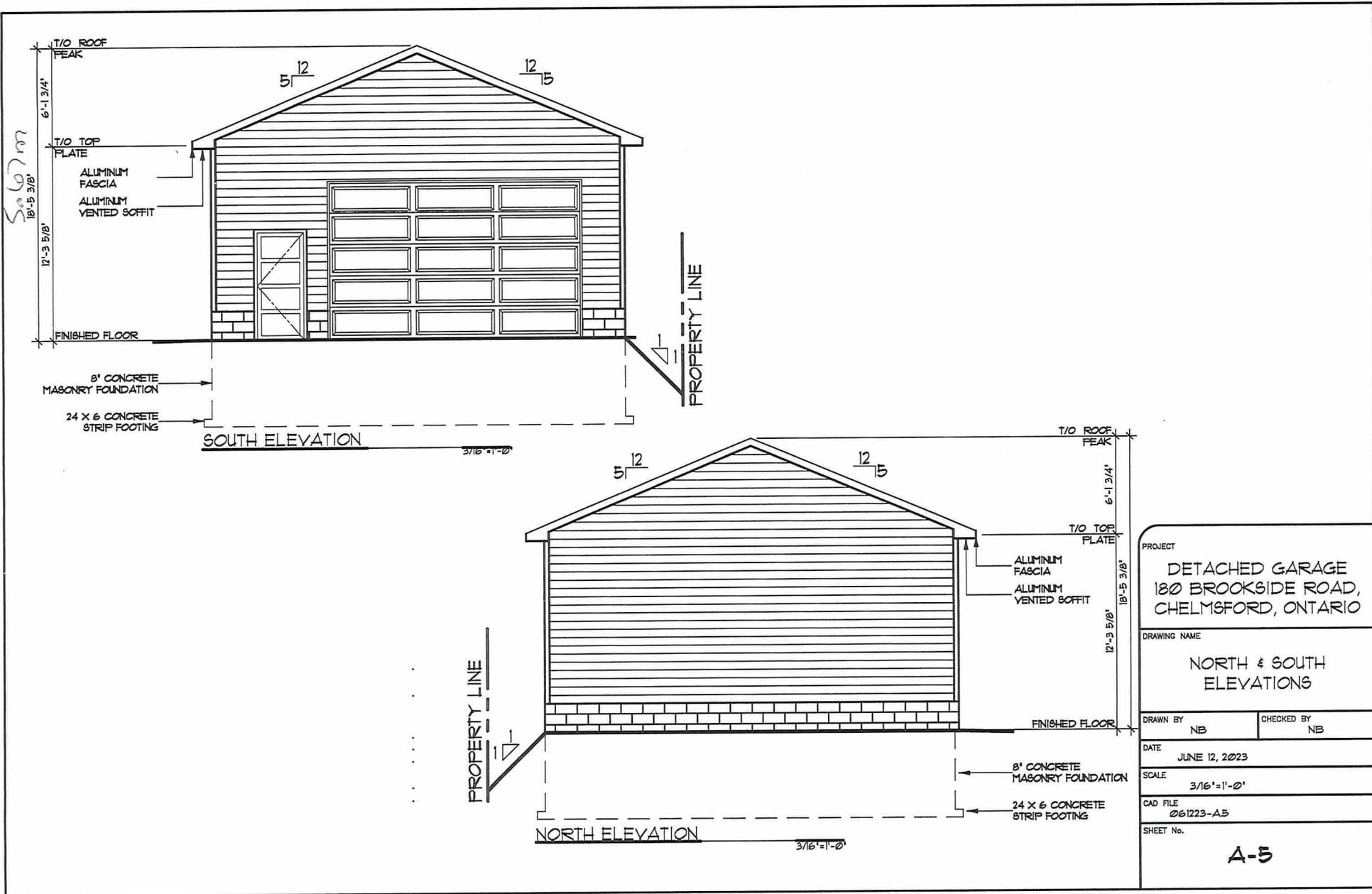
BROOKSIDE ROAD

SITE PLAN 1/8"=1'

House 4.95 meters High
 Existing garage 3.8m High!

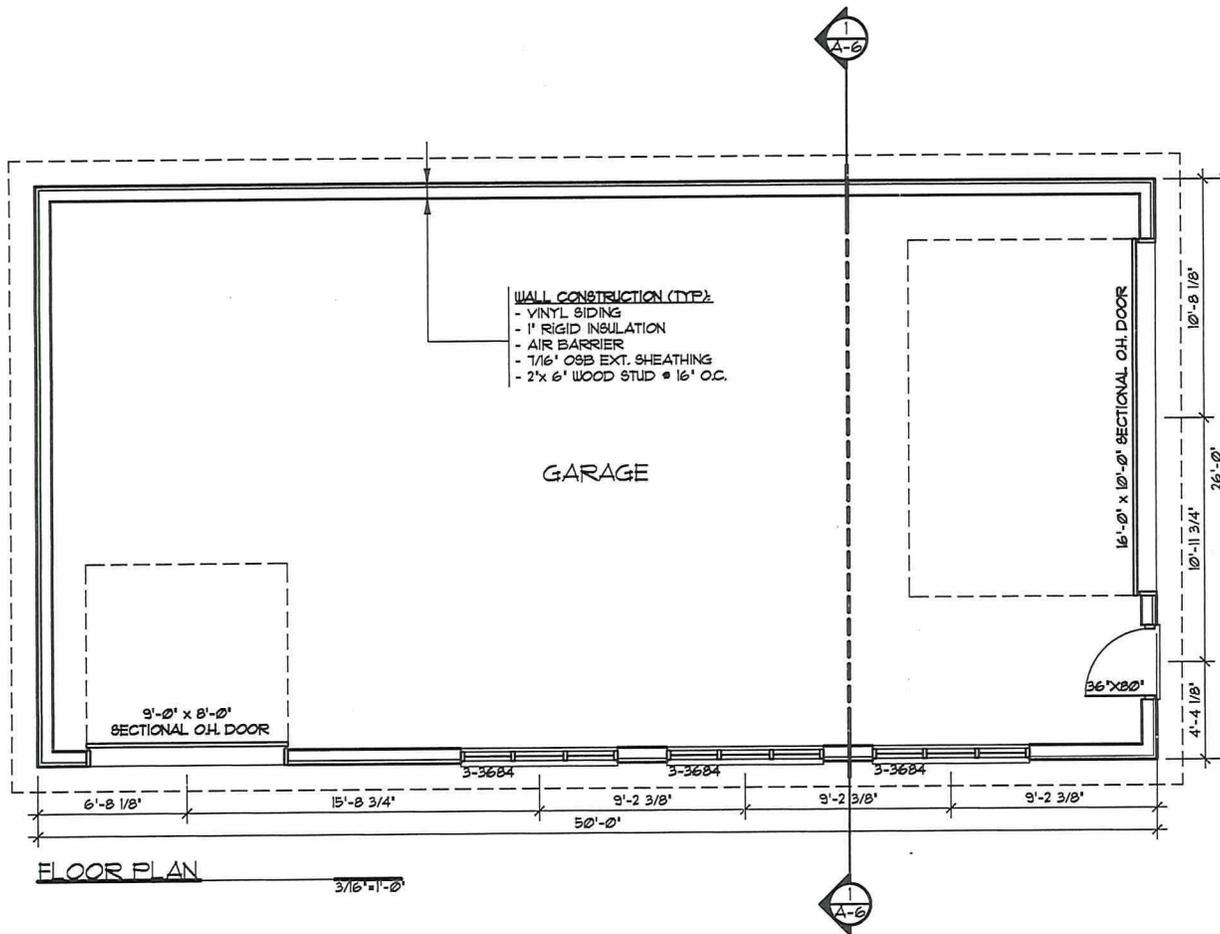
PROJECT	
DETACHED GARAGE 180 BROOKSIDE RD CHELMSFORD, ONTARIO	
DRAWING NAME	
SITE PLAN	
DRAWN BY	CHECKED BY
NB	NB
DATE	
JUNE 12, 2023	
SCALE	
1" = 15'-0"	
CAD FILE	
061223-SP.1	
SHEET No.	
SP-1	

A0086/2023
 sketch 2



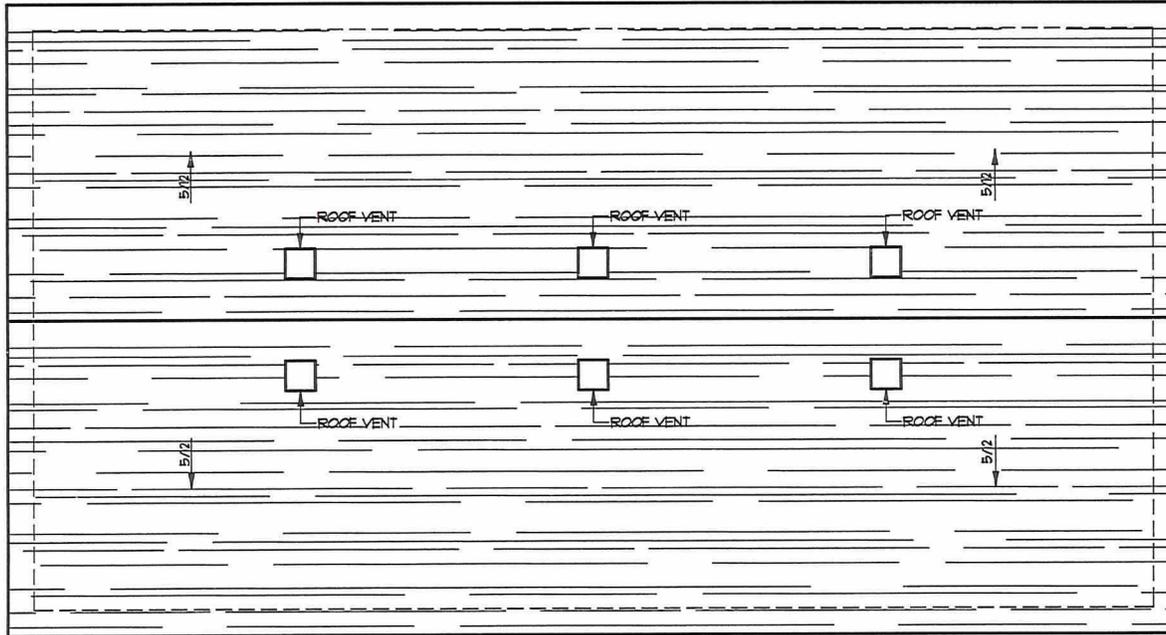
PROJECT	
DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
NORTH & SOUTH ELEVATIONS	
DRAWN BY	CHECKED BY
NB	NB
DATE	
JUNE 12, 2023	
SCALE	
3/16" = 1'-0"	
CAD FILE	
061223-A5	
SHEET No.	
A-5	

A008612023
Sketch 3



PROJECT	
DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
FLOOR PLAN	
DRAWN BY	CHECKED BY
NB	NB
DATE	
JUNE 12, 2023	
SCALE	
3/16" = 1'-0"	
CAD FILE	
061223-A.1	
SHEET No.	
A-1	

A0086/2023
Sketch 4



ROOF PLAN $\frac{3}{16}'' = 1'-0''$

PROJECT
 DETACHED GARAGE
 180 BROOKSIDE ROAD,
 CHELMSFORD, ONTARIO

DRAWING NAME
 ROOF PLAN

DRAWN BY NB CHECKED BY NB

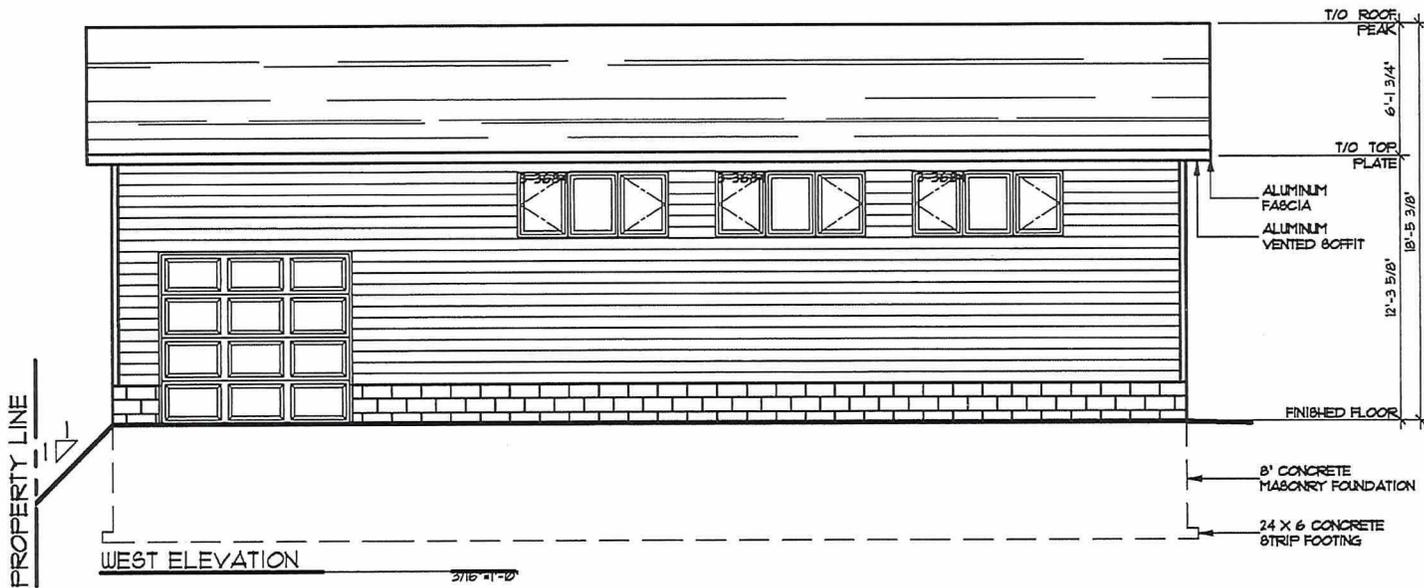
DATE JUNE 12, 2023

SCALE $\frac{3}{16}'' = 1'-0''$

CAD FILE 061223-A2

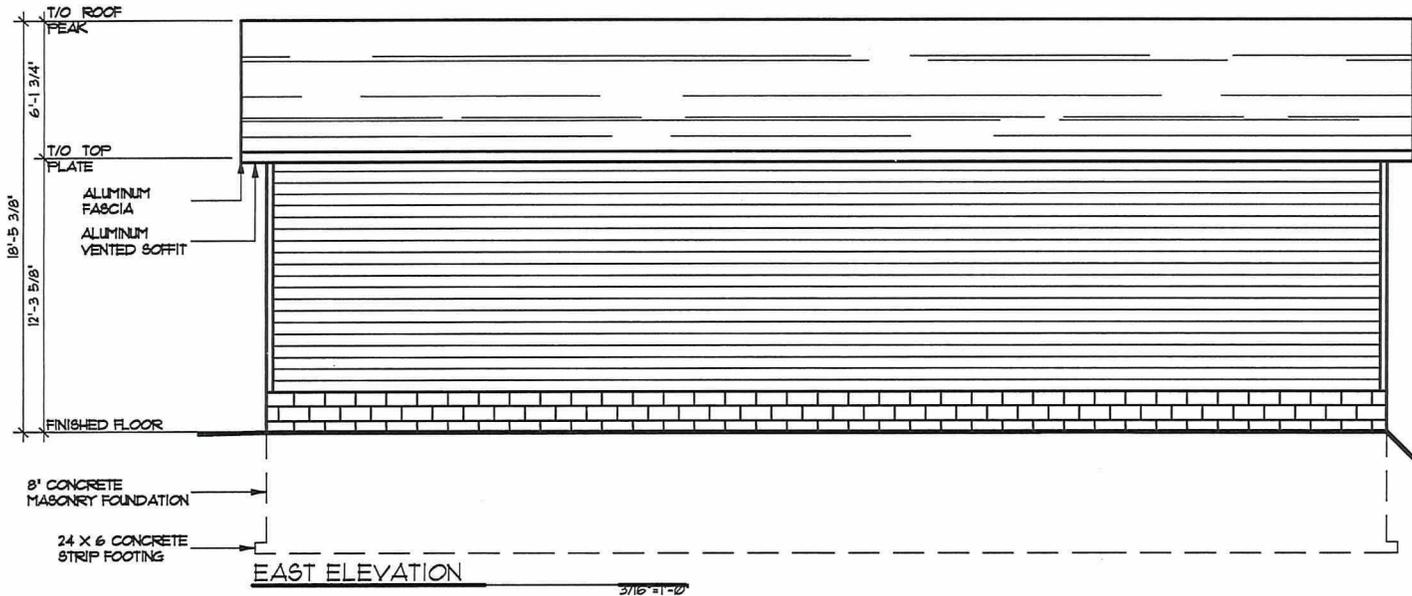
SHEET No.
 A-2

A0086 (2023
 sketch 5



PROJECT	
DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
WEST ELEVATION	
DRAWN BY	CHECKED BY
NE	NE
DATE	
JUNE 12, 2023	
SCALE	
3/16" = 1'-0"	
CAD FILE	
061223-A3	
SHEET No.	
A-3	

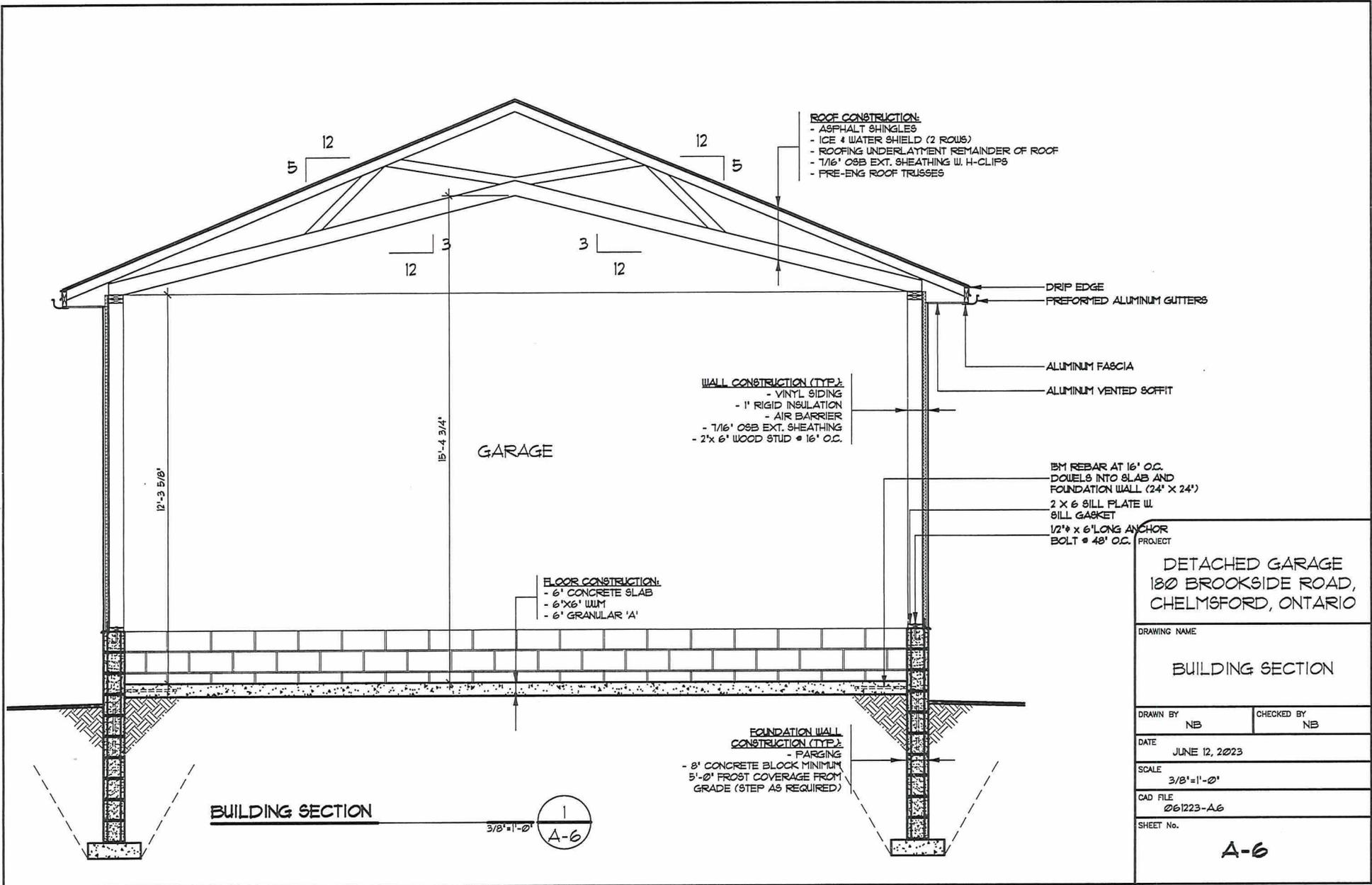
A008612023
Sketch 6



PROPERTY LINE

PROJECT	
DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
EAST ELEVATION	
DRAWN BY	CHECKED BY
NB	NB
DATE	
JUNE 12, 2023	
SCALE	
3/16" = 1'-0"	
CAD FILE	
061223-A.4	
SHEET No.	
A-4	

A008612023
Sketch 7

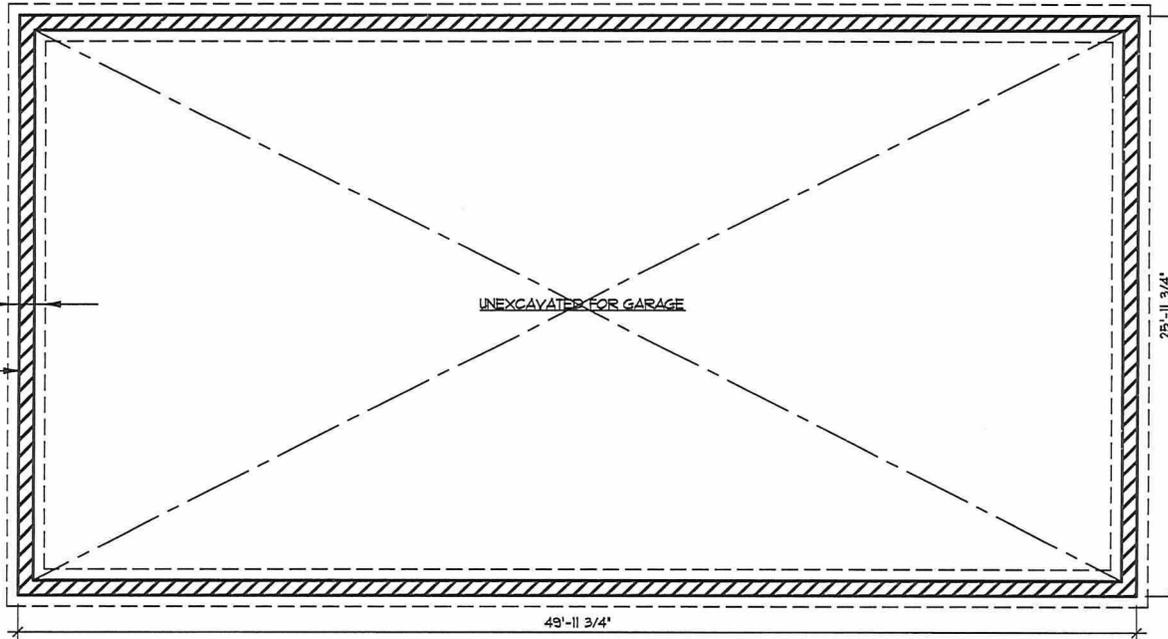


DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
BUILDING SECTION	
DRAWN BY	CHECKED BY
NB	NB
DATE	
JUNE 12, 2023	
SCALE	
3/8" = 1'-0"	
CAD FILE	
061223-A6	
SHEET No.	
A-6	

A008612023
Sketch 8

24" WIDE X 6" DEEP
STRIP FOOTING (TYP.)

8" WIDE CONCRETE
MASONRY UNIT
FOUNDATION WALL (TYP.)

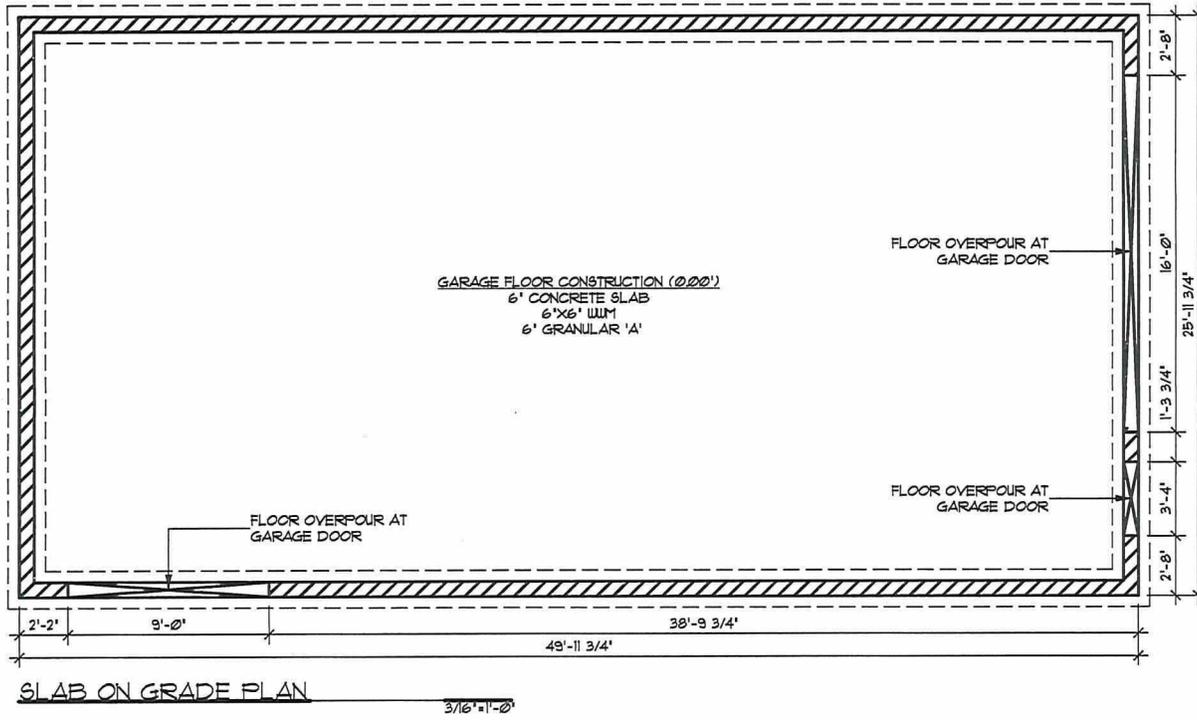


FOUNDATION PLAN

3/16" = 1'-0"

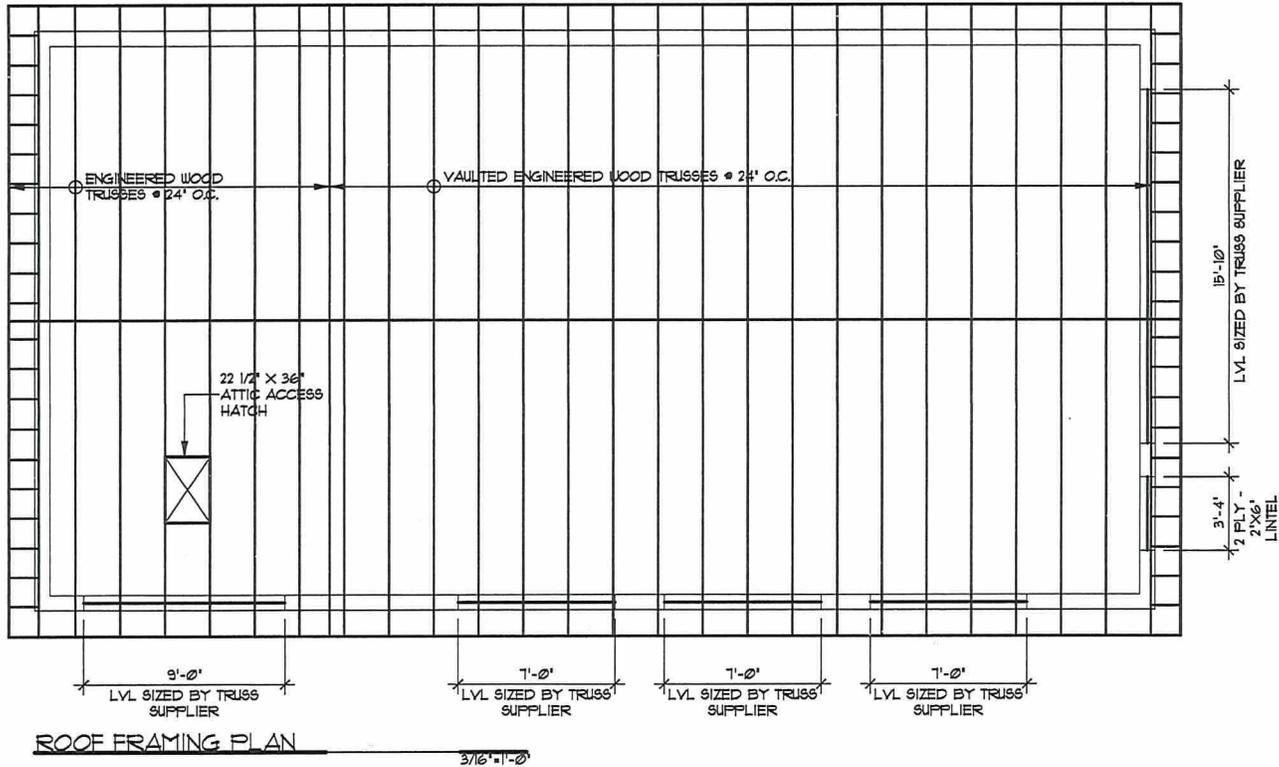
PROJECT	
DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
FOUNDATION PLAN	
DRAWN BY	CHECKED BY
NB	NB
DATE	
JUNE 12, 2023	
SCALE	
3/16" = 1'-0"	
CAD FILE	
061223-S.1	
SHEET No.	
6-1	

A008612023
Sketch 9



PROJECT	
DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
SLAB ON GRADE PLAN	
DRAWN BY NB	CHECKED BY NB
DATE JUNE 12, 2023	
SCALE 3/16" = 1'-0"	
CAD FILE 061223-S.2	
SHEET No.	
S-2	

A0086/2023
Sketch 10



PROJECT	
DETACHED GARAGE 180 BROOKSIDE ROAD, CHELMSFORD, ONTARIO	
DRAWING NAME	
ROOF FRAMING PLAN	
DRAWN BY	CHECKED BY
NB	NB
DATE	
JUNE 12, 2023	
SCALE	
3/16" = 1'-0"	
CAD FILE	
061223-6.3	
SHEET No.	
6-3	

A0086/2023
Sketch 11



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0087/7023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): 1973696 Ontario Ltd. Email: _____
 Mailing Address: 1001 Lasalle Blvd #2 Home Phone: _____
 Business Phone: _____
 City: Sudbury Postal Code: P3A 1Y1 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Patrick Danielson Email: _____
 Mailing Address: 217 Maki Ave. Home Phone: _____
 Business Phone: _____
 City: Sudbury Postal Code: P3E 2P3 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: Industrial Current Zoning By-law designation: M1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
8.3 Table 8.2 Row 1 Column 5 Front Yard Setback	9m	4.5m	4.5m
5.6.5 c) Location of Required Loading Spaces	Side or rear Yard only	Allow Front Yard	Allow Front Yard
5.6.5 e) 10m buffer from street	10m	6.5m	3.5m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: The client would like to install a loading bay, requiring a small addition to the existing building that would extend back the 9m setback by 4.5m. Additionally a loading area will be required in the front yard, partially within the 10m from road setback to accomplish this.
- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: The existing layout of the building and site elements do not allow any possible configuration that allows a tractor trailer to dock at a loading bay. The proposed addition makes use of an existing through-way that isn't being used to achieve this, however the above issues currently prevent this.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Broder
 Lot No.: 4 Concession No.: 6 Parcel(s): _____
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 2167 Armstrong St

7) Date of acquisition of subject land. January 2023

8) Dimensions of land affected.

Frontage 90m (m) Depth 65.5 (m) Area 2799.5 (m²) Width of Street ~9m (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>656.5 (m²)</u>	<u>34.5 (m²)</u>
Gross Floor Area:	<u>699.5 (m²)</u>	<u>34.5 (m²)</u>
No. of storeys:	<u>2</u>	<u>1</u>
Width:	<u>31.2 (m)</u>	<u>7.62 (m)</u>
Length:	<u>27.8 (m)</u>	<u>5.49 (m)</u>
Height:	<u>10.1 (m)</u>	<u>5.02 (m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>10m (m)</u>	<u>4.5m (m)</u>
Rear:	<u>N/A (triangular lot, see plan) (m)</u>	<u>N/A (triangular lot, see plan) (m)</u>
Side:	<u>19.5m (m)</u>	<u>42.6m (m)</u>
Side:	<u>3.7m (m)</u>	<u>26.2m (m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Fall of 2006

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Assembly (Its been changed to industrial this year) Length of time: 12 years (Industrial as a few months ago)

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 0

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: M1-1, M1-1, C1, C3(5), C3(12)

A0087/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, 1973696 Ontario Ltd. (please print all names), the registered owner(s) of the property described as 2167 Armstrong St

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

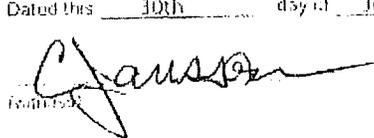
Authority to Enter Land and Photograph

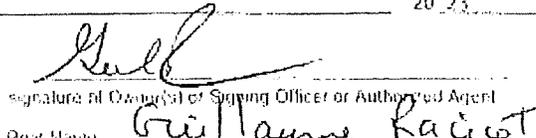
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Patrick Danielson (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

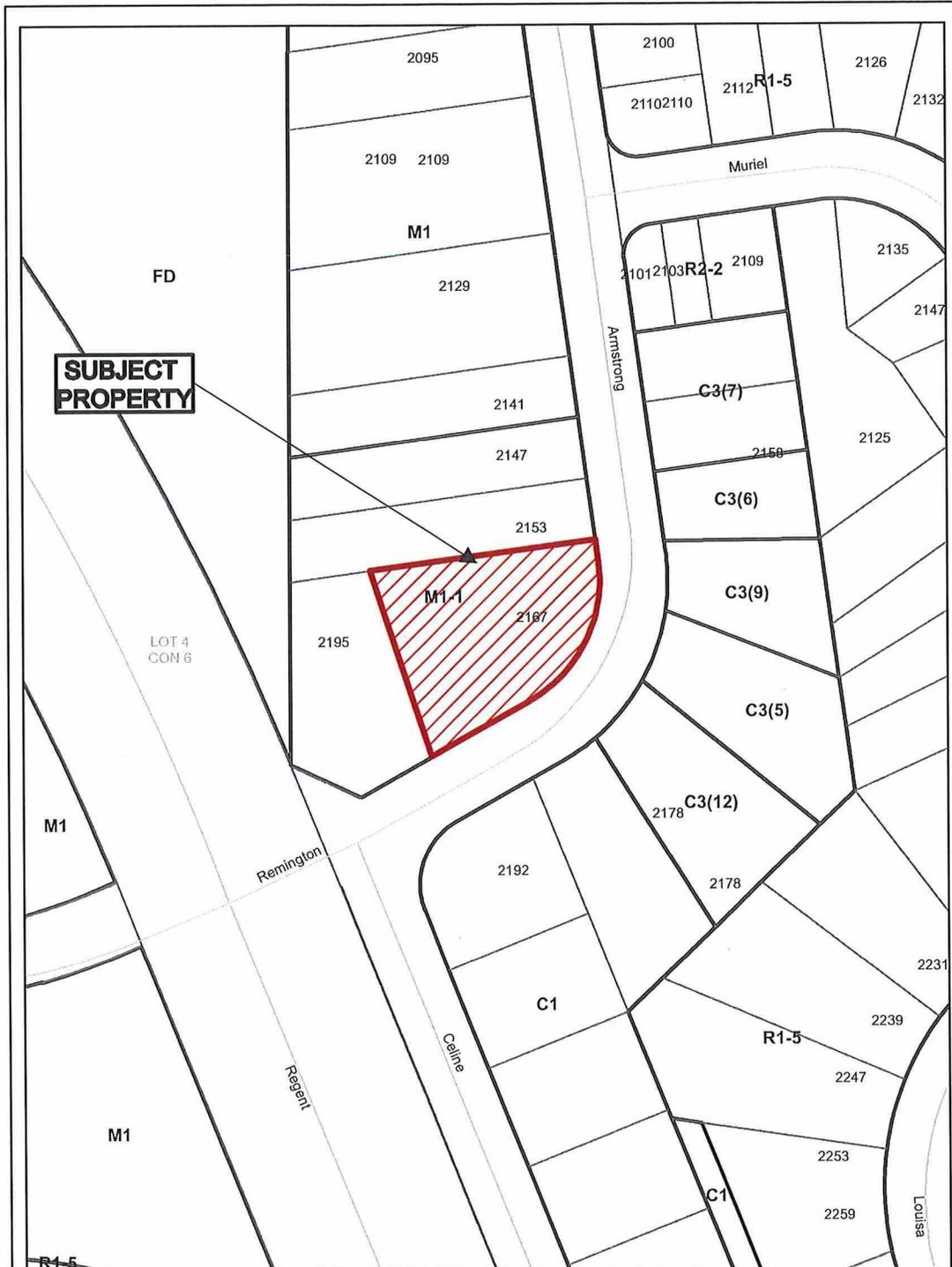
Dated this 30th day of June, 2023




Signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Guillaume Racicot

I have authority to bind the Corporation

A0087/2023



Application for Minor Variance or Permission



Subject Property being
 PIN 73478-1080,
 Lot 23 and Part Lot 24, Plan M-403,
 Parts 3 and 4 on Plan 53R-19197,
 subject to an easement as in LT119418
 and LT121502, Lot 4, Concession 6,
 Township of Broder,
 2167 Armstrong Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0087/2023
 Date: 2023 07 17

Minor Variance Drawing

Armstrong Industrial

2167 Armstrong S
Sudbury, ON P3E 4W2

CLIENT

Bloomington Developments

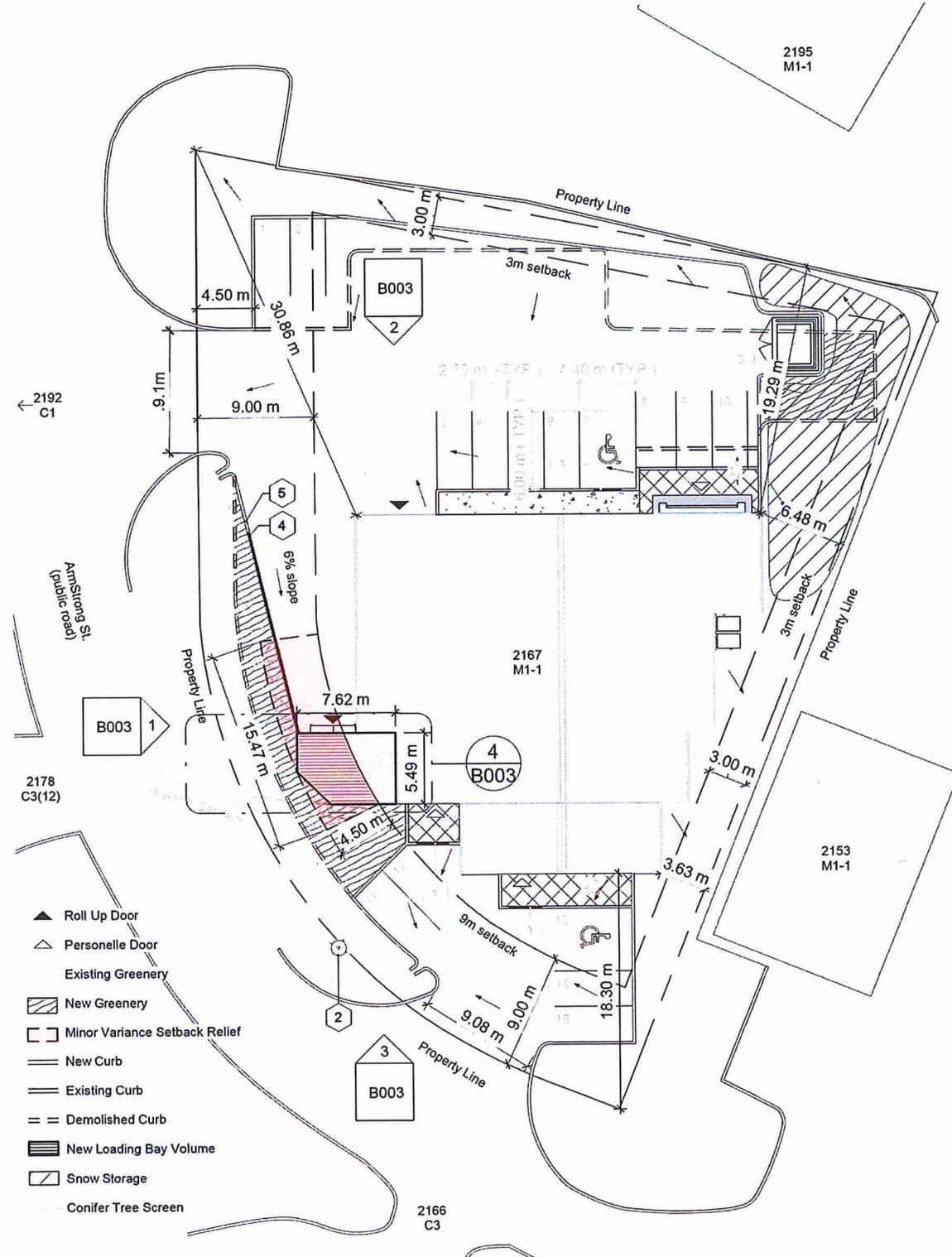
1001 Lasalle Blvd #2, Sudbury, ON P3A 1Y1

PROJECT	DRAWN BY	CHECKED BY	SCALE	DATE
203	JU	PD	1 : 350	221030



GENERAL NOTES

- | | |
|---------------------|------------------|
| 1 Drop Curb | 4 Guard Rail |
| 2 Fire Hydrant | 5 Retaining Wall |
| 3 Garbage Enclosure | |



- ▲ Roll Up Door
- △ Personelle Door
- Existing Greenery
- ▨ New Greenery
- Minor Variance Setback Relief
- New Curb
- Existing Curb
- == Demolished Curb
- ▨ New Loading Bay Volume
- ▨ Snow Storage
- Conifer Tree Screen

CONTACT
 Danielson Architecture Office Inc.
 217 Maki Avenue
 Sudbury, ON
 Canada P3E 2P3

DISCLAIMER
 This drawing as an instrument of service is the property of DAO / Danielson Architecture Office and may not be used, reproduced or revised without the firm's permission. All information shown on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job and this office shall be informed of any discrepancies and variations shown on this drawing prior to commencing work. Do not scale drawings.

Sheet Number

B001

*A0087/2023
 sketch 2*

MV Loading Diagram

Armstrong Industrial

2167 Armstrong S
Sudbury, ON P3E 4W2

CLIENT

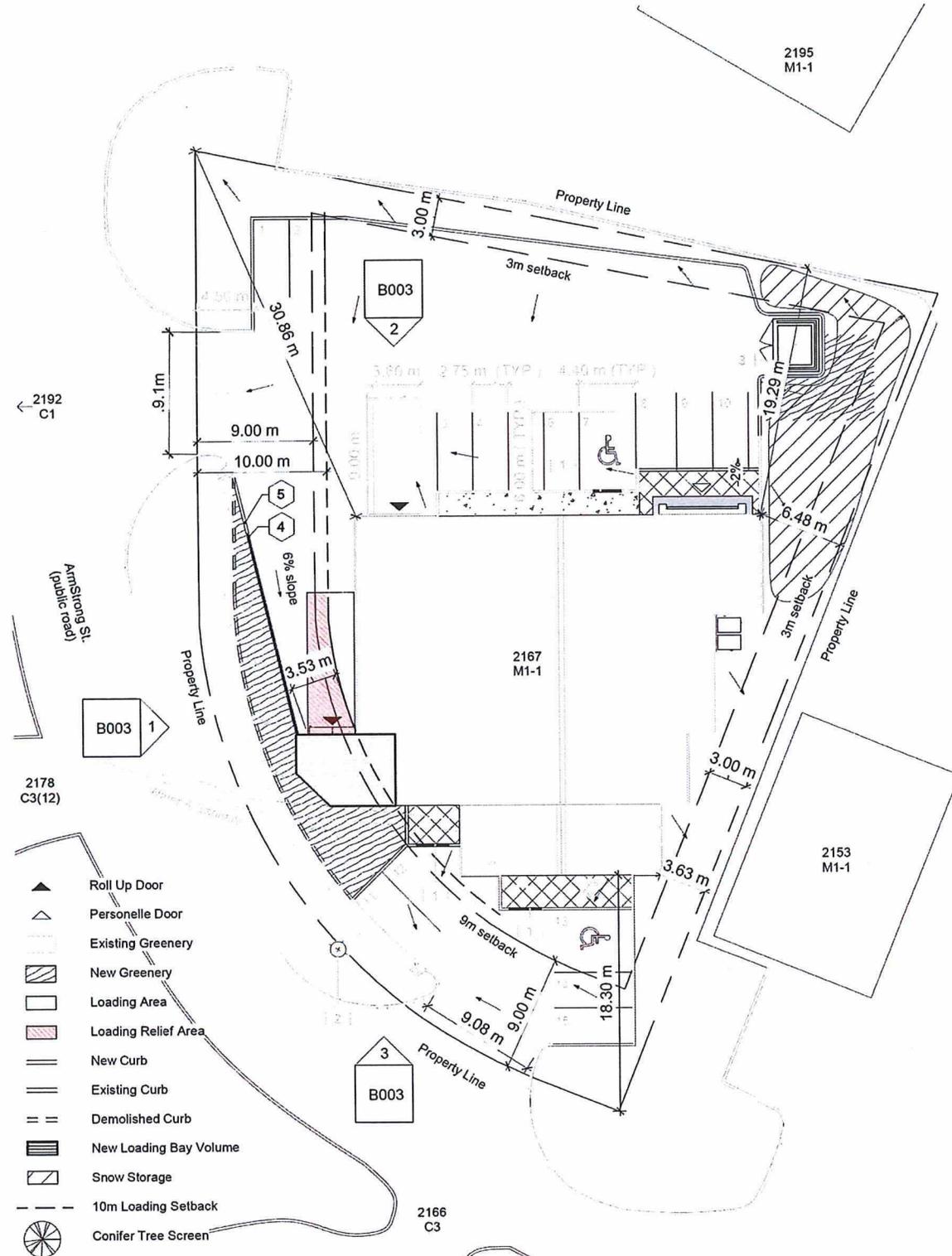
Bloomington Developments

1001 Lasalle Blvd #2, Sudbury, ON P3A 1Y1

PROJECT	DRAWN BY	CHECKED BY	SCALE	DATE	N
203	JU	PD	1:350	221030	

GENERAL NOTES

- | | |
|---------------------|------------------|
| 1 Drop Curb | 4 Guard Rail |
| 2 Fire Hydrant | 5 Retaining Wall |
| 3 Garbage Enclosure | |



CONTACT
Danielson Architecture Office Inc.
217 Main Avenue
Sudbury, ON
Canada P3E 2P3

DISCLAIMER

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Sheet Number

B002

*AC087/2023
Sketch 3*

MV Supplementary Drawings

Armstrong Industrial

2167 Armstrong S
Sudbury, ON P3E 4W2

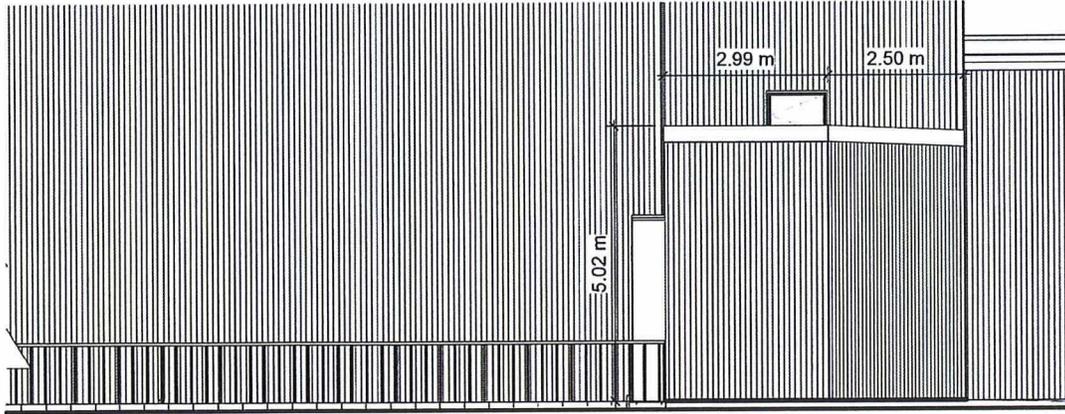
CLIENT

Bloomington Developments

1001 Lasalle Blvd #2, Sudbury, ON P3A 1Y1

PROJECT	DRAWN BY	CHECKED BY	SCALE	DATE	N
203	JU	PD	1:100	221030	

GENERAL NOTES

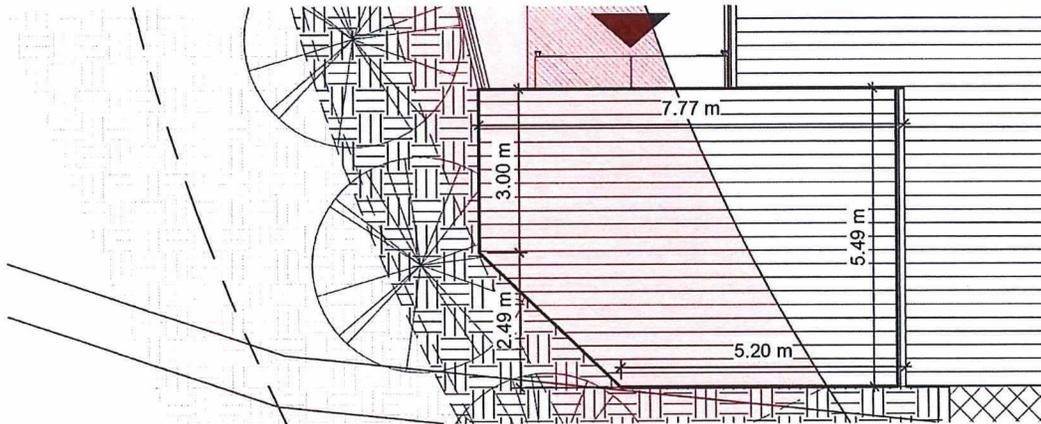


① North Elevation
1:100



② West Elevation
1:100

③ East Elevation
1:100



④ Plan Callout
1:100



CONTACT
Danielson Architecture Office Inc.
217 Makl Avenue
Sudbury, ON
Canada P3E 2P3



DISCLAIMER

This drawing as an instrument of service is the property of DAO / Danielson Architecture Office and may not be used, reproduced or revised without the firm's permission. All information shown on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job and this office shall be informed of any discrepancies and variations shown on this drawing prior to commencing work. Do not scale drawings.

Sheet Number

B003

A008712023
Sketch 4

MV Supplementary Renders

Armstrong Industrial

2167 Armstrong S
Sudbury, ON P3E 4W2

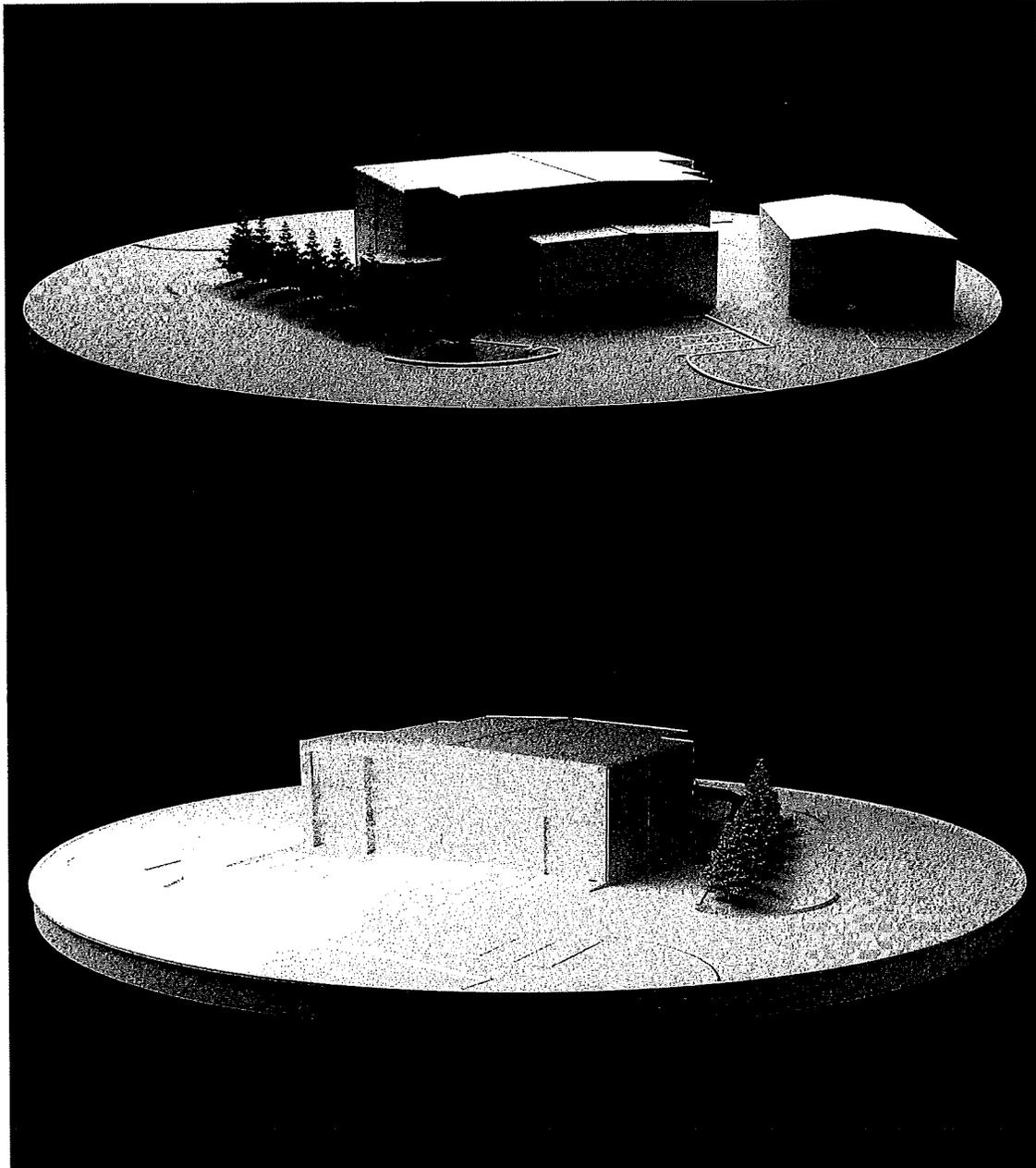
CLIENT

Bloomington Developments

1001 Lasalle Blvd #2, Sudbury, ON P3A 1Y1

PROJECT	DRAWN BY	CHECKED BY	SCALE	DATE	N
203	JU	PD		221030	

GENERAL NOTES



CONTACT

Danielson Architecture Office Inc.
217 Main Avenue
Sudbury, ON
Canada P3E 2P3

DISCLAIMER

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Sheet Number

B004

ACC08712023
Sketch 5



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 6P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2022.01.01	
A 008517018	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (Includes \$245.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (Includes \$245.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

\$320
 Total \$1500

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kevin Vis 1650939 Ontario Ltd. Email: [Redacted]
 Mailing Address: 2300 Dominion Drive Home Phone: [Redacted]
 Business Phone: [Redacted]
 City: Val Caron Postal Code: P3P 0A5 Fax Phone: n/a

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Ryan Vis Email: [Redacted]
 Mailing Address: [Redacted] Home Phone: [Redacted]
 No assigned municipal address Business Phone: [Redacted]
 City: Hanmer Postal Code: P3P 0A7 Fax Phone: n/a

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: none
 Mailing Address:
 City: Postal Code:

- 4) Current Official Plan designation: Urban Expansion Res Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
9.3 Zone Standards (By-law 2021-152Z)	90m	73.03m	16.97m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
 A minor variance is being requested as the proposed retained lands will not meet the minimum lot frontage of 90m.
 Please note that a Official Plan Amendment for the lot severance was approved on May 29, 20232 (file number 701-7/22-05)

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 The proposal can not comply with the provisions of the zoning by-laws due to an existing split frontage of the parcel.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 5307170012011020000 Township: Hanmer
 Lot No.: Part of Lot 1 Concession No.: 1 Parcel(s): RP 53R20676 Part 1
 Subdivision Plan No.: Lot: Reference Plan No.: 53R-20676 Part(s):
 Municipal Address or Street(s): No assigned municipal address

7) Date of acquisition of subject land, June 15, 2016

8) Dimensions of land affected.

Frontage 73.03 (m) Depth 835.94 (m) Area 149,326.78 (m²) Width of Street (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	0	(m ²)	0	(m ²)
Gross Floor Area:	0	(m ²)	0	(m ²)
No. of storeys:	0		0	
Width:	0	(m)	0	(m)
Length:	0	(m)	0	(m)
Height:	0	(m)	0	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	0	(m)	0	(m)
Rear:	0	(m)	0	(m)
Side:	0	(m)	0	(m)
Side:	0	(m)	0	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Plt Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Vacant Land

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Rural Length of time: 5 years +

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 0

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Rural

A008812023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): Application number not available, submitted at same time as minor variance

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kevin Vis 1650939 Ontario Ltd. (please print all names), the registered owner(s) of the property described as PIN 5307170012011020000

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Ryan Vis (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this Fifth day of July, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Kevin Vis

*I have authority to bind the Corporation

A008812023

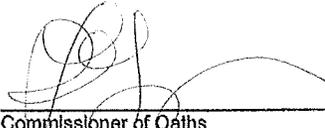
PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Ryan Vis (please print all names),
the registered owner(s) or authorized agent of the property described as 770 Dominion Drive

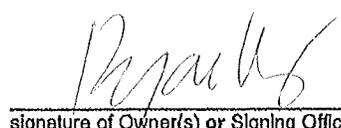
In the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 10 day of July, 2023



Commissioner of Oaths
Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.



signature of Owner(s) or Signing Officer or Authorized Agent (*where a Corporation)

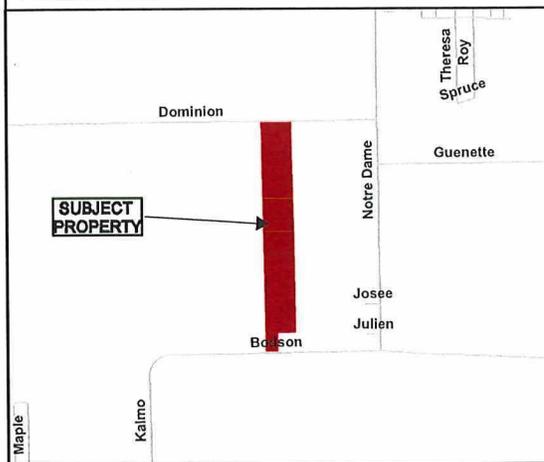
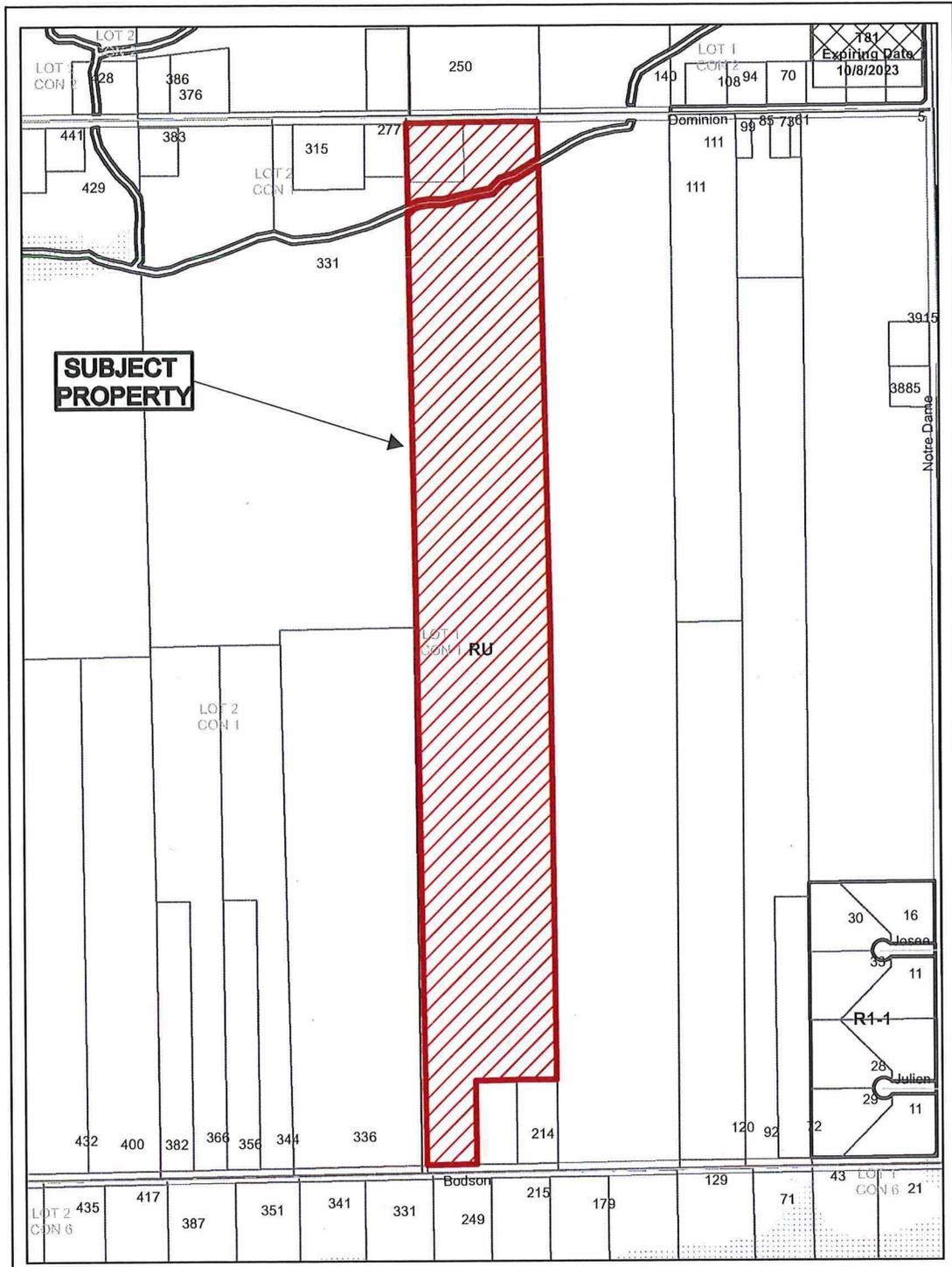
Print Name: Ryan Vis
*I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: <u>July 11/23</u>	Hearing Date: <u>Aug 2/23</u>	Received By: <u>S. Pinkerton</u>
Zoning Designation: <u>RU</u>	Resubmission: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Previous File Number(s): <u>See Below</u>		
Previous Hearing Date:		
Notes:		
<u>OPA 701-7/22-005</u>		
<u>B0094/2015</u>		
<u>B0095/2015</u>		
<u>B0096/2015</u>		
<u>Nov 2/15</u>		

A0088/2023

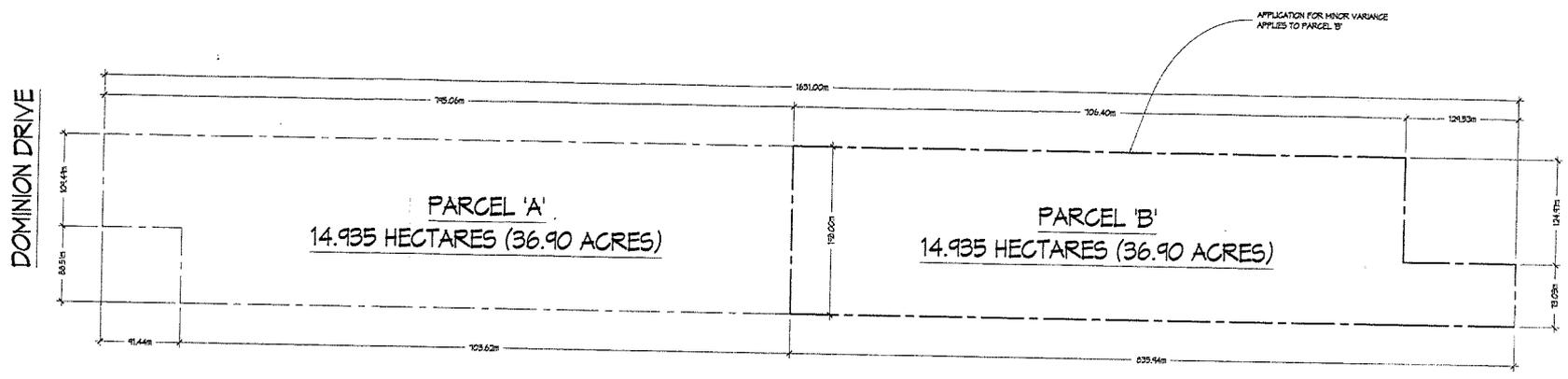
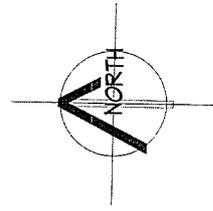




**Application for Minor
Variance or Permission**

Subject Property being
 PIN 73503-1660,
 Part Lot 1, Concession 1,
 Part 1 on Plan 53R-20676,
 Township of Hanmer,
 0 Bodson Drive West, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS A0088/2023
 NDCA Date: 2023 07 17



BODSON DRIVE

THE INFORMATION HAS BEEN REVIEWED AND TAKEN RESPONSIBILITY FOR THE
 DESIGN AND THE CONSTRUCTION OF THE PROJECTS AND THE REGULATIONS
 SET OUT IN THE OFFICIAL BUILDING CODE TO ALL A DESIGNER.

REGULATED PROFESSIONAL DESIGNER'S CERTIFICATE OF THE BUILDING CODE
 DESIGNER'S NAME: Ryan Vis
 NAME: Ryan Vis
 REGULATION NUMBER: 2018-01-01
 REGULATION NUMBER: 2018-01-01
 REGULATION NUMBER: 2018-01-01
 REGULATION NUMBER: 2018-01-01



MINOR VARIANCE

BODSON DRIVE, HANMER

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY
 DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE
 WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION
 OF THE PROPERTY AND THE PROTECTION OF THE PROPERTY OF
 THE ADJACENT PROPERTY.

PROJECT: 2210 R. VIS 26412/100640
 DATE: JULY 5, 2023 SCALE: 1" = 300'-0"
 DRAWING: PLOT PLAN

1 SITE PLAN
1:3600

1008801/2023
Sketch 2
A001



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0089	2023
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): MICHELLE VIOLETTE/DAN LANDRY Email: [REDACTED]
 Mailing Address: 329 BRENDA DRIVE Home [REDACTED]
 Business Phone: _____
 City: SUDBURY ONT Postal Code: P3E 5G8 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: DAN LANDRY Email: [REDACTED]
 Mailing Address: 329 BRENDA DRIVE Home [REDACTED]
 Business Phone: _____
 City: SUDBURY ONT Postal Code: P3E 5G8 Fax Phone: _____
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: RBC REGENT STREET
 Mailing Address: 1879 Regent St S
 City: Sudbury Postal Code: P3E 3A7

4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
SIDE YARD SETBACK	1.2 M	.3048 M	- .895 M
FRONT YARD SETBACK	6 M	3.66 M	- 2.34 M
SANNA 4.1 SIDE YARD	1.2 M	.85 M	.35 M

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: RETAINING WALL & SET BACK OF EXISTING SANNA

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
LOT SIZE IS NARROW AND THE HOME IS 1.83 METERS FROM BOTH SIDE PROPERTY LINES. LOT GRADING IS IRREGULAR. SANNA WAS ASSUMED TO BE 1.2 M FROM LOT LINE

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73475-1725 Township: BRDREN
 Lot No.: 6 Concession No.: 6 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: M-340 Part(s): 7
 Municipal Address or Street(s): 447 ST. CHARLES LAKE ROAD

7) Date of acquisition of subject land. APRIL 2021

8) Dimensions of land affected.
 Frontage 19.14 (m) Depth 51.2 (m) Area 717.9 (m²) Width of Street — (m)

Particulars of all buildings:	Existing	Existing	Proposed	Proposed
Ground Floor Area:	<u>457.29</u> (m ²)	<u>EXISTING</u>	<u>31.7 M² (104 sqft)</u> (m ²)	<u>WALL</u> (m ²)
Gross Floor Area:	<u>579.12</u> (m ²)	<u>EXISTING</u>	<u>31.7 m²</u> (m ²)	<u>WALL</u> (m ²)
No. of storeys:	<u>2</u>	<u>EXISTING</u>	<u>1</u>	<u>WALL</u>
Width:	<u>9.30</u> (m)	<u>EXISTING</u>	<u>2.43 (8')</u>	<u>1.52</u> (m)
Length:	<u>18.288</u> (m)	<u>EXISTING</u>	<u>3.94 (13')</u>	<u>18.28</u> (m)
Height:	<u>2.62</u> (m)	<u>EXISTING</u>	<u>3.65 (12')</u>	<u>2.44 M</u> (m)

Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).	Existing	Existing	Proposed	Proposed
Front:	<u>17.5</u> (m)	<u>EXISTING</u>	<u>6.0 M</u>	<u>3.66</u> (m)
Rear:	<u>18.50</u> (m)	<u>EXISTING</u>	<u>5.84 M</u>	<u>76.09</u> (m)
Side:	<u>1.8</u> (m)	<u>EXISTING</u>	<u>0.85 M</u>	<u>0.3848</u> (m)
Side:	<u>1.8 MIN irregular</u> (m)	<u>EXISTING</u>	<u>10.0 M</u>	<u>Approx 12</u> (m)

11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input checked="" type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.
IN PROCESS BP 21-0853

13) Existing use(s) of the subject property and length of time it / they have continued.
 Use(s): Residential Length of time: ~ 70 yrs.

14) Proposed use(s) of the subject property.
 Same as #13 or, RESIDENTIAL

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No
 If "yes", how many? _____

17) Existing uses of abutting properties: RESIDENTIAL

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18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, DANIEL LANDRY / MICHELLE VIOLETTE (please print all names), the registered owner(s) of the property described as 447 ST-CHARLES LAKE RD Sudbury in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Michelle Violette (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 10TH day of July, 2023

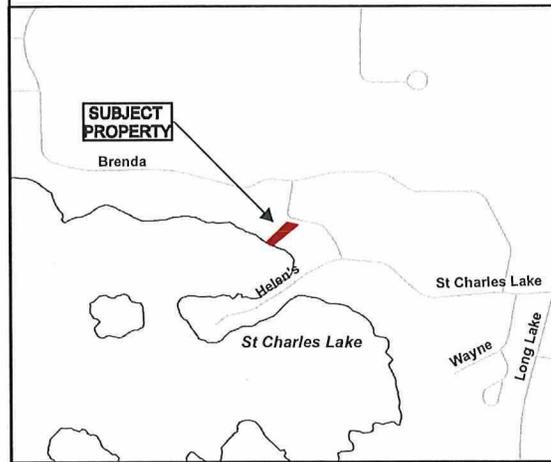
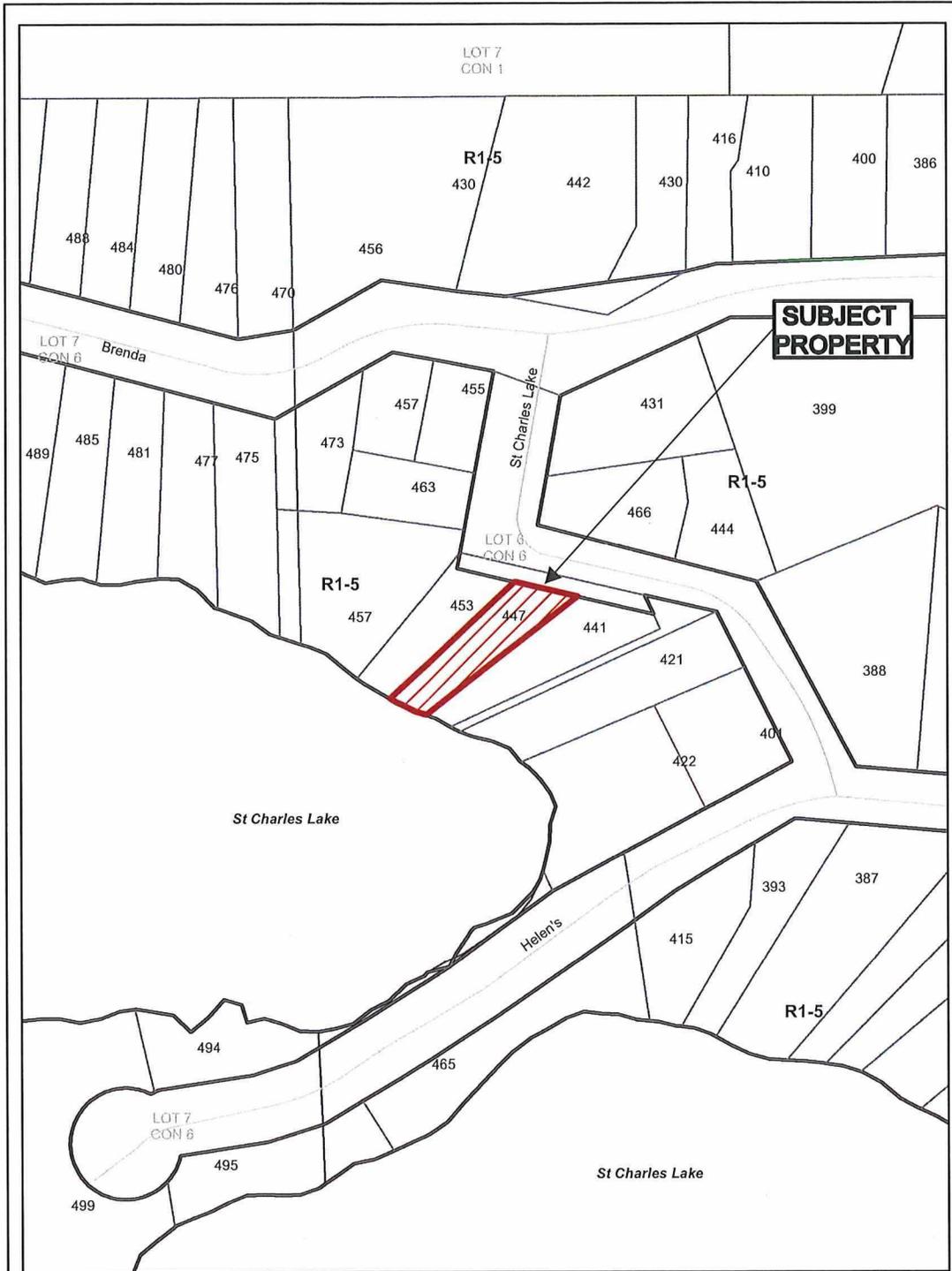
Lisa Steer
(witness)

DANIEL LANDRY
[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: DAN LANDRY

*I have authority to bind the Corporation

A0089/2023



Application for Minor Variance or Permission



Subject Property being
 PIN 73475-1725,
 Part Lot 6, Concession 6,
 Part 7 on Plan 53R-8872,
 except Part 1 on Plan 53R-9049,
 Township of Broder,
 447 St Charles Lake Road, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0089/2023
 Date: 2023 07 17

ST CHARLES LAKE ROAD

REGISTERED PLAN M-340

PIN 73475-1029

SURVEYOR'S REAL PROPERTY REPORT

PART OF LOT 6
CONCESSION 6

GEOGRAPHIC TOWNSHIP OF BRODER
CITY OF GREATER SUDBURY

DISTRICT OF SUDBURY

SCALE : 1 INCH = 20 FEET



2022

DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN
BE CONVERTED TO METERS BY MULTIPLYING BY 0.3048

LEGEND:

- SURVEY MONUMENT FOUND
- SURVEY MONUMENT PLANTED
- SIB STANDARD IRON BAR
- SSIB SHORT STANDARD IRON BAR
- IB IRON BAR
- RPL ROCK PLUG
- P PLAN 53R-8872
- FN FIELD NOTES BY D S DORLAND, OLS DATED MAY 9th 2011
- M MEASURED
- S SET
- 1400 D S DORLAND, OLS
- 1655 TERRY DEL BOSCO, OLS

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2201253



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1025, Section 29(3).

BEARING NOTE:

BEARINGS ARE GRID AND ARE REFERRED TO PART OF THE
WESTERLY LIMIT OF PARTS 8 & 9, PLAN 53R-8872, SHOWN ON
D S DORLAND FIELD NOTES, HAVING A BEARING OF N39°20'30"

SURVEYOR'S CERTIFICATE:

- I CERTIFY THAT:
- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - 2) THE SURVEY WAS COMPLETED ON OCTOBER 20, 2022

Terry Del Bosco
A BORTOLUSSI, OLS

NOVEMBER 14, 2022

REPORT

THIS PLAN & REPORT IS PREPARED FOR: MR DAN LANDRY

DESCRIPTION:

PIN 73475-1725, BEING PART OF LOT 6, CONCESSION 6
GEOGRAPHIC TOWNSHIP OF BRODER, BEING PART 7, 53R-8872
EXCEPT PART 1, 53R-9049, KNOWN AS 447 ST CHARLES LAKE RD

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:

THERE ARE NO REGISTERED EASEMENTS OR RIGHTS-OF-WAY

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:

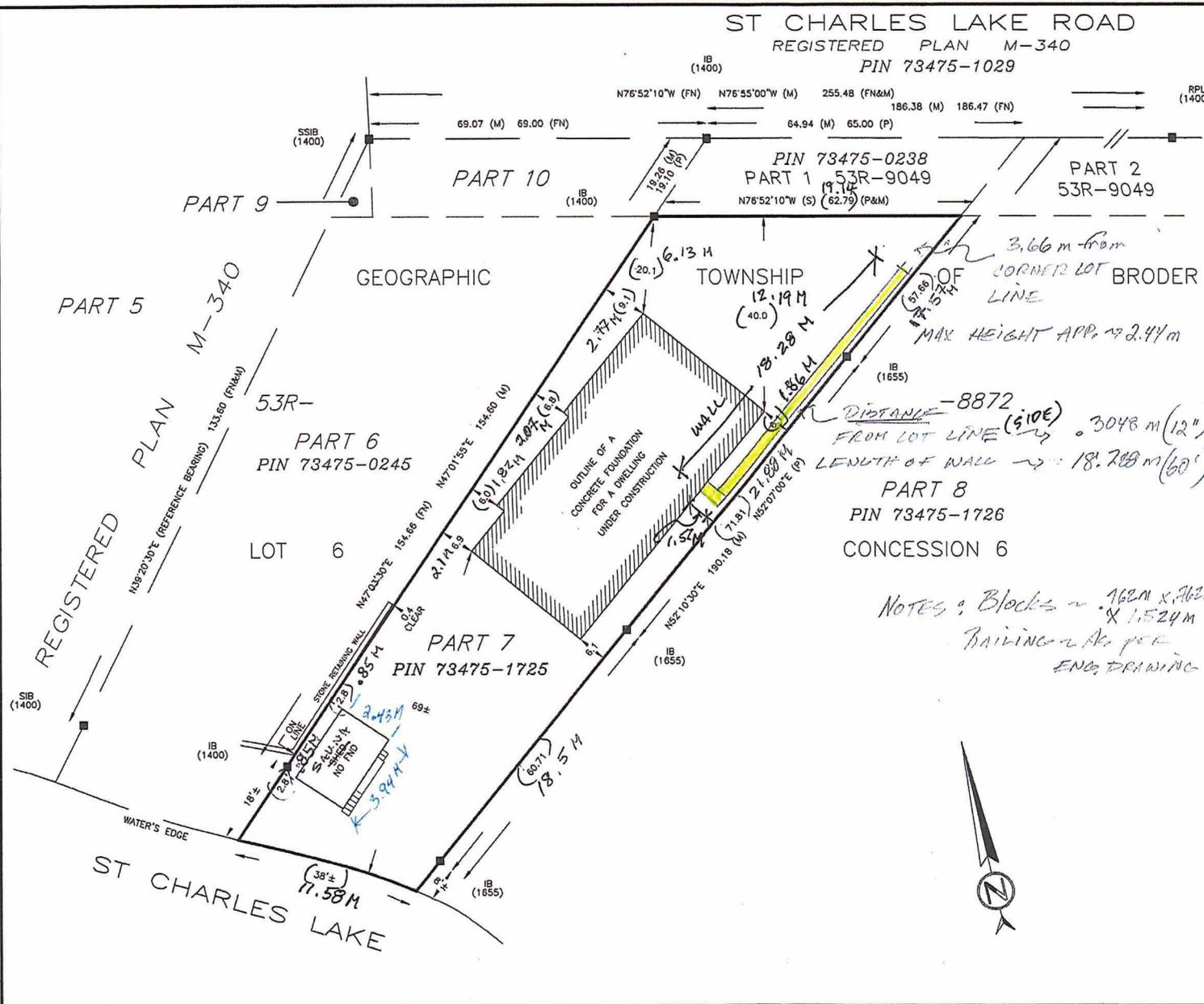
NOT CERTIFIED BY THIS REPORT

NOTES:

TIES TAKEN TO THE FOUNDATION

BORTOLUSSI
SURVEYING LTD.

FILE: 3356



NOTES: Blocks ~ 162m x 162m
x 1.524m
BAILING ~ As per
ENG DRAWING

A0089/2023
Sketch 2

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 733650076		Township: TRILL	
Lot No.: PT 1	Concession No.: 1	Parcel(s): 17618	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 600 Park Road, Worthington, ON			

7) Date of acquisition of subject land. Oct 14, 2016

8) Dimensions of land affected.

Frontage	92.038	(m)	Depth	76.632	(m)	Area	0.46ha	(m ²)	Width of Street	N/A	(m)
----------	--------	-----	-------	--------	-----	------	--------	-------------------	-----------------	-----	-----

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	74m ²	(m ²)	Same	(m ²)
Gross Floor Area:	148m ²	(m ²)	N/A	(m ²)
No. of storeys:	2		N/A	
Width:	11.84	(m)	N/A	(m)
Length:	6.2	(m)	N/A	(m)
Height:	6	(m)	N/A	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	3.35	(m)	Same	(m)
Rear:	21.9	(m)	**	(m)
Side:	0.1	(m)	**	(m)
Side:	12.12	(m)	**	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Not available.

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Cottage Length of time: 30+ Years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1 (Cottage)

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Resource-based recreational/camps

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18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, LEMAY, LISA; LEMAY, ROBERT (please print all names), the registered owner(s) of the property described as _____ PCL 17618 SEC SWS; PT LT 1 CON 1 TRILL BEING SUMMER RESORT LOCATION J.E.11 AS IN WP8268 PT LT 1 CON 1 TRILL BEING LOCATION CL5820 PT 1 53R15951, GREATER SUDBURY in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Kevin Radey -- Radey Renovation & Construction (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22 day of May, 2023

Christopher Lemay
(witness)
Christopher Lemay

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent:
Print Name: Robert Lemay / LISA LEMAY
*I have authority to bind the Corporation

ACC90/2023

9)

Particulars of all buildings:	EXISTING								PROPOSED							
	Barrel Sauna	Cottage	Deck	Bunkie	Privy	Retaining Wall 1	Retaining Wall 2	Garage	Barrel Sauna	Cottage	Deck	Bunkie	Privy	Retaining Wall 1	Retaining Wall 2	Garage
<i>Gross Floor Area</i>	3.9m ²	74m ²	77m ²	16.40m ²	2.24m ²	4.79m ²	0.9m ²	83.79m ²	Same as existing	Same as existing	77m ²	Same as existing				
<i>Ground Floor Area</i>	3.9m ²	148m ²	77m ²	16.40m ²	2.24m ²	4.79m ²	0.9m ²	83.79m ²	'''	'''	77m ²	'''	'''	'''	'''	'''
<i>Number of Storeys</i>	1	2	N/A	1	1	N/A	N/A	1	'''	'''	N/A	'''	'''	'''	'''	'''
<i>Width</i>	2.19m	11.84m	6.1m (irreg)	3.95m	1.59m	0.3m	0.1m	9.16m	'''	'''	6.1m (irreg)	'''	'''	'''	'''	'''
<i>Length</i>	2.5m	6.2m	13.26m (irreg)	4.15m	1.4m	12.83	5.3m	10.35m	'''	'''	13.26m (irreg)	'''	'''	'''	'''	'''
<i>Height</i>	2.19	6m	N/A	N/A	N/A	+1.0m	+1.0m	4m	'''	'''	N/A	'''	'''	'''	'''	'''

10)

Particulars of all buildings:	EXISTING								PROPOSED							
	Barrel Sauna	Cottage	Deck	Bunkie	Privy	Retaining Wall 1	Retaining Wall 2	Garage	Barrel Sauna	Cottage	Deck	Bunkie	Privy	Retaining Wall 1	Retaining Wall 2	Garage
<i>Front</i>	0m	8.3m	3.35m	11.76m	21.32m	0.98m	14.9m	22.89m	15m	Same as existing	3.35m	~ 30 m	Same as existing	Same as existing	Same as existing	Same as existing
<i>Rear</i>	56m	39.35m	46.0m	40.24m	38.1m	55.19m	39.80	21.90m	41m	'''	46.0m	~ 22 m	'''	'''	'''	'''
<i>Interior (E)</i>	20m	1.25m	0.1m	36.77m	67.4m	27.9m	17.18m	23.50m	18m	'''	0.1m	~ 12 m	'''	'''	'''	'''
<i>Interior (W)</i>	45m	66.08m	66.25m	38.68m	12.12m	57.2m	59.4m	44.52m	47m	'''	66.35m	~ 63.45 m	'''	'''	'''	'''

Sketch:

New Bunkie location highlighted in blue

New Sauna location highlighted in green

Sheds removed highlighted in red

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SCHEDULE A

VARIANCE TO	BY-LAW REQUIREMENT	PROPOSED	DIFFERENCE
Existing Retaining Walls			
Shoreline setback (for retaining walls greater than 1.0-metre in height)	25.0-metres	Retaining Wall 1: 2.95-metres Retaining Wall 2: 14.9-metres	Retaining wall 1: 22.05-metres Retaining wall 2: 9.1-metres
Front yard setback for accessory structure (retaining wall over 1-metre)	10.0-metres	Retaining Wall 1: 0.98-metres	9.02-metres
Existing and Proposed Deck			
Interior side yard setback for an accessory structure (existing and proposed deck)	3.0-metres	0.1-metres	2.9-metres
Shoreline setback for an accessory structure (existing and proposed deck)	25.0-metres	4.4-metres	20.6-metres
Front yard setback (existing and proposed deck)	10.0-metres	3.35-metres	6.65-metres
Existing Privy			
Shoreline setback for an accessory structure (existing privy)	25.0-metres	22.0-metres	3.0-metres
Existing Bunkie ***			
Shoreline setback for accessory structure (existing bunkie)	25.0-metres	13.3-metres	11.7-metres
Setback for shoreline structures to a permanently flowing stream (existing bunkie)	12.0-metres	3.6-metres	8.4-metres

** Sauna to be relocated
 *** Shed # 3 (Generator shed) removed
 *** Bunkie to be relocated

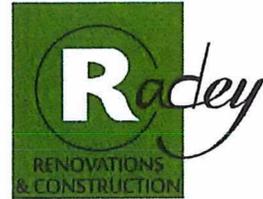
A0090/2023

Site Visit Report #1

Date: 21 November 2021

Attention: RC Adjusting, Marc Dicarlo

Insured: Robert Lemay
600 Park Rd,
Worthington, Ontario



Site Investigation:

On November 10th, 2021, I, Kevin Radey met with insured, Robert Lemay, at the address above.

The purpose of the site visit was to review highlighted structures noted in city comments in email dated 14 July 2021.

Highlighted Structures and labelled: (attached figure 1)

Items highlighted in green: city would like a minor variance

Items highlighted in pink: city would like a permit and a minor variance

Item highlighted in orange: Deck which we submitted permit, need a permit and minor variance

Green Highlighted Structures

Sheds 1, 2:

- Sheds have been removed by owner

Sheds 3:

- 4ft x 4ft enclosure for backup generator
- 4ft high
- Shed style roof, painted plywood siding
- Shed on blocks
- Attached figure 2

Privy (outhouse):

- 4ft x 4ft outhouse, 7ft high
- Shed style roof, painted plywood siding
- Shed on blocks / ground
- Attached figure 3

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Pink Highlighted Structures

Sheds 4:

- Shed has been removed by owner

Bunkie:

- 10'2" x 9'10" Bunkie kit, just under 100ft²
- 1 5/8" double T&G log walls
- Gable steel roof, log wall siding
- bunkie on deck blocks
- Permit is typically not required for structures under 108ft²
- Attached figure 4

Barrel Sauna:

- 8ft long and 7ft diameter wood sauna
- It is sitting on a 5.5ft x 10.5ft deck
- Deck is attached to dock.
- Attached figure 5, 6

Retaining wall 1:

- Most of wall is under 3'
- Small section about 5 linear ft is over 3'
- 6x6 timber wall and a concrete footing
- Concrete footing is on exposed footing
- Attached figure 7, 8

Retaining wall 2:

- 45ft long wall, approximately 4ft high
- Small stone mortared wall
- Attached figure 9

Disclaimer:

The opinions put forward in this report are those of a builder and tradesman, they are based on experience. They are not a professional opinion of a designer or engineer. There may be additional deficiencies not noted in this report.

Report written by:
Kevin Radey
Radey Construction

A0090/2023

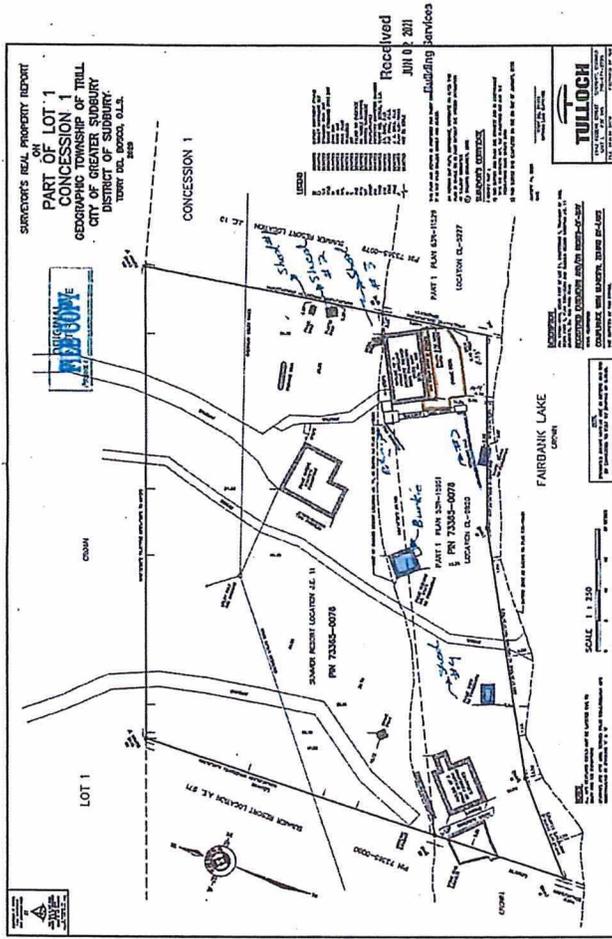


Figure 1

A0090/2023



Figure 2

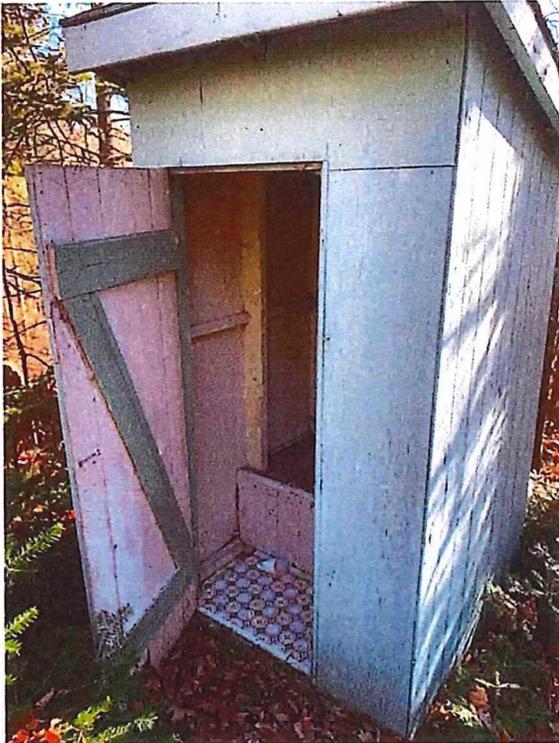


Figure 3

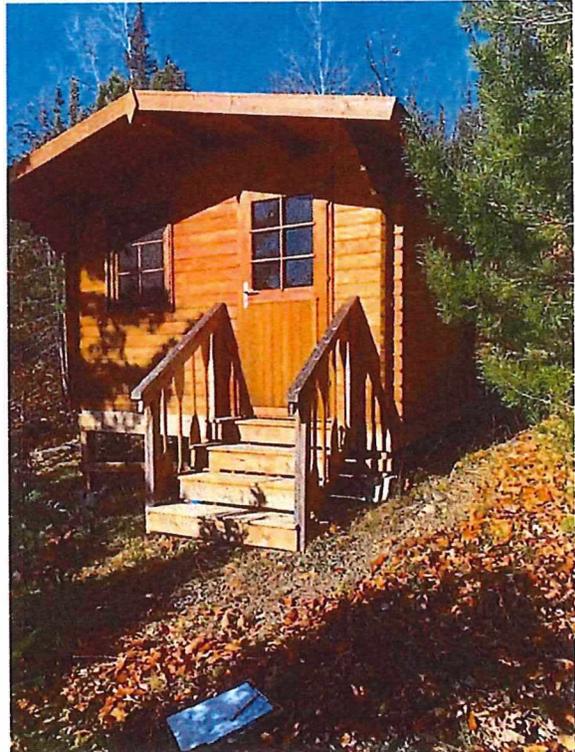


Figure 4



Figure 5



Figure 6



Figure 7

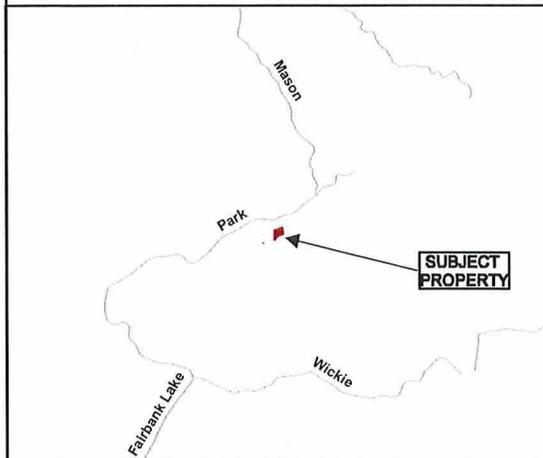
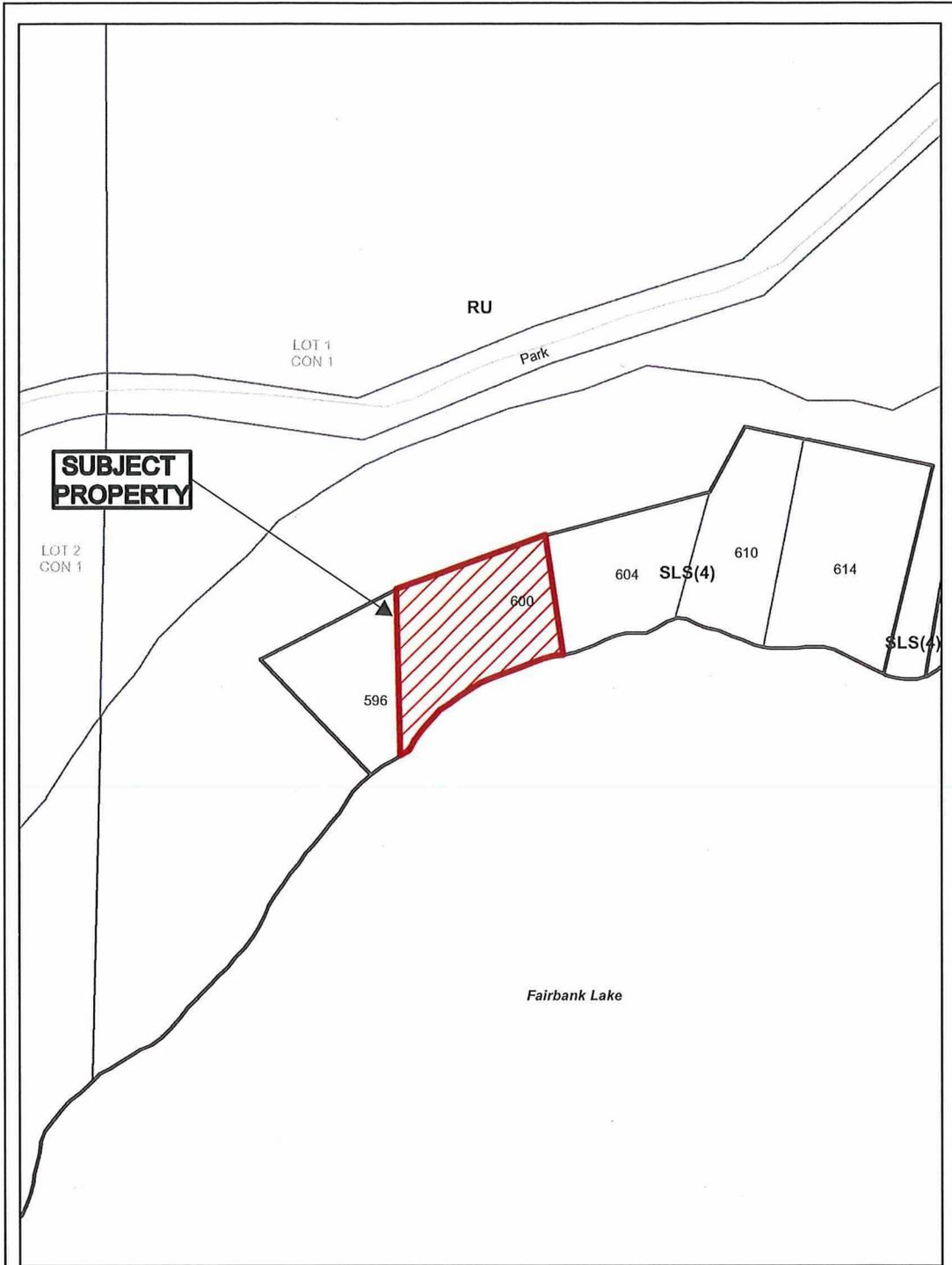


Figure 8



Figure 9

A0090/2023



Application for Minor Variance or Permission



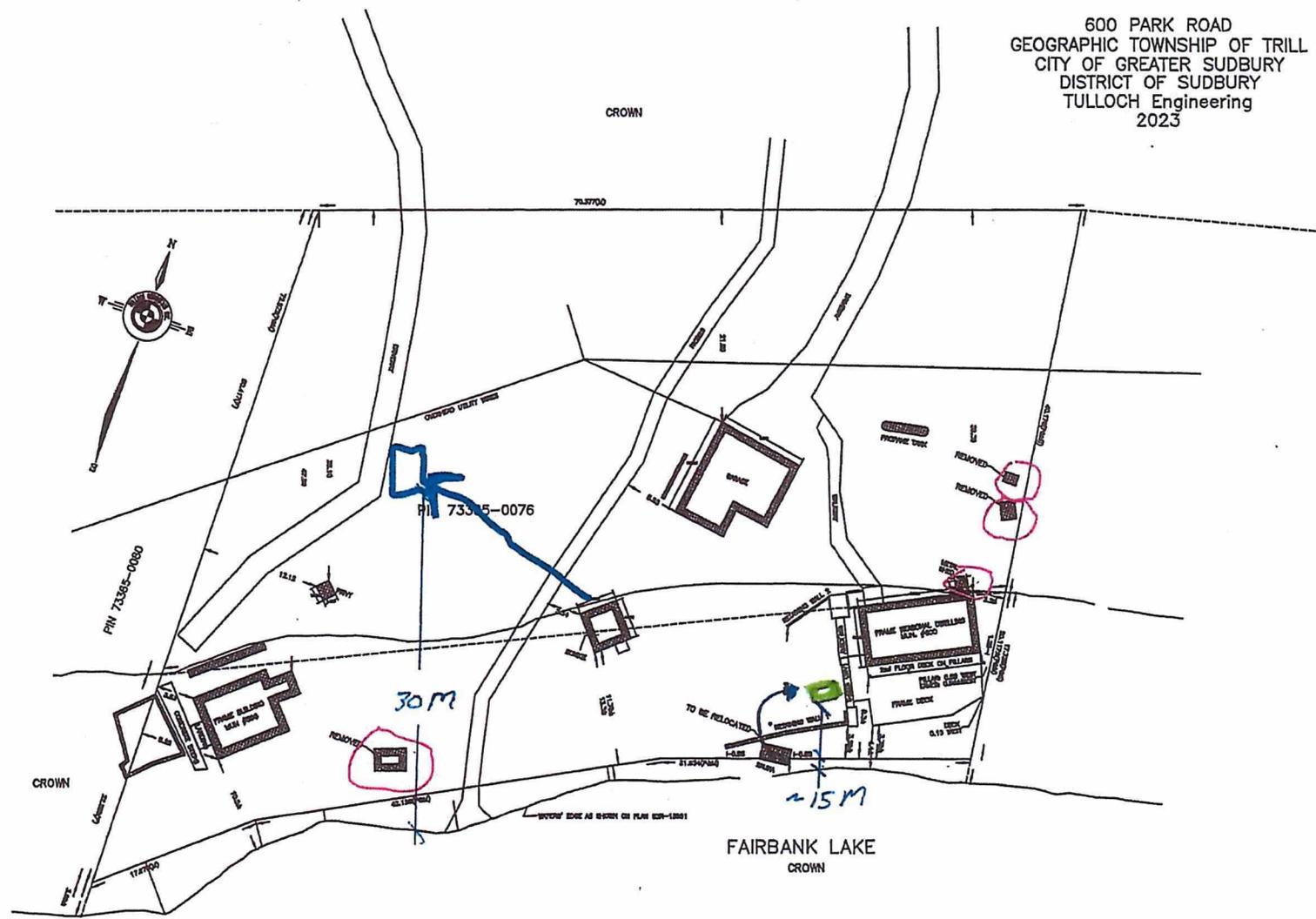
Subject Property being
 PIN 73365-0076,
 Parcel 17618 SEC SWS,
 Part Lot 1, Concession 1 being Summer Resort
 Location J.E. 11 as in WP8268 and
 Location CL9820, Part 1, Plan 53R-15951,
 Township of Trill, 600 Park Road, Worthington,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0090/2023
 Date: 2023 07 17

CONCEPTUAL SKETCH

600 PARK ROAD
GEOGRAPHIC TOWNSHIP OF TRILL
CITY OF GREATER SUBURRY
DISTRICT OF SUBURRY
TULLOCH Engineering
2023



NOTE
DISTANCES SHOWN HEREON ARE IN METERS AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



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sketch 2