

Tom Davies Square
200 Brady St

Thursday, August 17, 2023

PUBLIC HEARINGS

A0092/2023

PAUL LOISELLE

Ward: 3

PIN 73368 0330 SRO, Survey Plan 53R-21130 Part(s) 1, Lot Part 12, Concession 6, Township of Creighton - Davies, 1445 Vermilion Lake Road, Chelmsford, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) and Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to construct a single detached dwelling and detached garage providing, firstly, a maximum height of 8.38m for the detached garage with loft, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m and secondly, a minimum interior side yard setback of 6.0m from the western lot line for the single detached dwelling and 6.0m from the eastern lot line for the detached garage, where 10.0m is required.

A0093/2023

**CYNTHIA WINN
JASON MCKENZIE**

Ward: 10

PIN 73585 1180, Lot(s) 295 and 296, Subdivision M-95, Lot 6, Concession 3, Township of McKim, 178 Kingsmount Boulevard, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing firstly, a maximum height of 6.7m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m and secondly, a minimum corner yard setback of 1.57m, where a minimum 4.5m setback is required.

A0094/2023

SADDIA RAHMANYAR

Ward: 5

PIN 73500 0428, Parcel 631, Part Lot 11, Concession 6, except Parts 1, 2, and 3, on Plan 53R-12429, Parts 1 and 2 on Plan 53R-15421, Part 13 on Plan 53R-17482, Parts 1 and 2 on Plan 53R-17961, subject to LT195464, Township of Blezard, 2884 Main Street, Blezard Valley, [2010-100Z, A (Agricultural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) and Section 4.2.10.3 (c)(i) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage with secondary dwelling unit providing firstly, a maximum height of 10.0m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m and secondly, the secondary dwelling unit having a net floor area of 111.4 sq.m. being 54 percent of the gross floor area of the primary dwelling on the lot, where the maximum allowable net floor area of 45 percent is permitted.

PREVIOUSLY SUBJECT TO MINOR VARIANCE AND CONSENT APPLICATIONS A125/05 (30 JAN 06), B171/05 (30 JAN 06), B172/05 (30 JAN 06), B97/95 (15 MAY 95), AND B98/95 (15 MAY 95)

A0095/2023

**CLAUDIO CORSI
JOANNE SERVANT**

Ward: 4

PIN 73347 1971, Survey Plan 53R-21487 Part(s) 2, Lot Part 10, Concession 1, Township of Rayside, 0 Bishop Road, Azilda, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.3m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B3/21 (15 FEB 21), B4/21 (15 FEB 21), AND B5/21 (15 FEB 21)

A0096/2023

**MIKE FAUGHT
ROSANNA FAUGHT**

Ward: 10

PIN 73590 0344, Parcel 25043 SEC SES SRO, Lot(s) 64, Subdivision M-487 SRO, Township of McKim, 90 Windsor Crescent, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.3, Table 4.1 and subsection 4.2.11 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to install a pool, pool enclosure and pool house providing firstly, a pool enclosure in the front yard, maintaining a front yard setback of 0.0m and consisting of a fence with a maximum height of 2.0m, where fences higher than 1.0 m are not permitted within the required front yard, secondly, an interior side yard setback of 1.0m for a pool house containing pumping equipment, where no pumping equipment shall be located closer than 1.5m to any side lot line and accessory buildings and structures greater than 2.5m in height shall be no closer than 1.2m from the side lot line, and thirdly, a front yard setback of 1.0m for the pool and 2.0m for the pool house, where a minimum front yard setback of 6.0m is required.

A0097/2023

**ISIBHAKHOME AJUEZE
PETER AJUEZE**

Ward: 10

PINs 73581 0205 & 73581 0218, Parcels 2484 & 23825 SEC SES, Lot(s) 10 and Part Lot 11, Subdivision M-38, Lot 2, Concession 3, Township of McKim, 491 Kirkwood Drive, Sudbury, [2010-100Z, R1-3 Low Density Residential One]

For relief from Part 4, Section 4.2, Table 4.1 and Section 4.41, subsection 4.41.2 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with attached deck and retaining walls providing, firstly, a minimum interior side yard setback of 0.0m for the western retaining wall and the eastern retaining wall, where accessory structures 2.5m and less in height shall be no closer than 0.6m from the side lot line, secondly, a front yard setback of 0.0m for the western retaining wall, where accessory structures 2.5m and less in height are not permitted to encroach into the required front yard setback of 6.0m, and thirdly, a high water mark setback of 20.0m, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF JUNE 22, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0068/2023

**DANIEL LEGAULT
MICHELE LEGAULT**

"REVISED"

Ward: 6

PIN 73504 1921, Parcel 26178 SEC SES SRO, Lot(s) 50, Plan M-537, subject to LT118794 and LT157498, Lot 5, Concession 2, Township of Hanmer, 1076 Jeanne D'Arc Street, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with attached garage on lands to be severed subject of a Consent Application B0118/2022, providing a minimum rear yard setback of 5.76m, where a minimum 7.5m setback is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B118/22 (30 JAN 23)

THIS APPLICATION WAS DEFERRED PRIOR TO THE MEETING OF JULY 19, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0075/2023 **MELISSA ALKHOURY**
NICOLA ALKHOURY

"REVISED"

Ward: 7 PIN 73495 1318, Part Lot 12, Plan M-50, being Part 1, Plan 53R-21061, Lot Part 5, Concession 2, Township of Garson, 170 Birch Street, Garson, [2010-100Z, C2(112) (General Commercial)]

For relief from Part 4, Section 4.15, subsection 4.15.1 (e), Part 7, Section 7.3, Table 7.3 and Part 11, Section 2, subsection 2, paragraph (ggggg), clause (i) (b), and (e) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a four-plex providing firstly, a 1.6m wide landscaped open space adjacent to the full length of the lot line abutting Birch Street, where a 3.0m wide landscaped area adjacent to the full length of the lot line shall be required abutting all public roads having a width greater than 10.0m, secondly, a minimum lot area of 611 sq.m., where the minimum lot area required is 617 sq.m., thirdly, a rear yard setback of 1.6m, where a minimum rear yard setback of 7.5m is permitted, and fourthly, a maximum residential density of 65.6 dwelling units per hectare, where a maximum residential density of 65 dwelling units per hectare is permitted.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B71/17 (10 OCT 17) AND REZONING APPLICATION 751-3/18-01 AND OPA 701-3/18-02

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF JULY 19, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0081/2023 **DOMINIQUE LALANDE**
JENNIFER EDWARDS

"REVISED"

Ward: 6 PINs 73504 3172 and 73504 3173, SRO, Part Lot 4, Concession 1, Part 1 on Plan SR-1672, Parts 1, 2 and 3 on Plan 53R-21589, Township of Hanmer, 841 Dominion Drive, Hanmer [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.10.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a secondary dwelling unit providing a 45.3m setback from the primary dwelling, where a secondary dwelling unit in an "RU", Rural zone shall be located no more than 30.0m from the primary dwelling.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B66/2021 (02 AUG 2021)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, AUGUST 30, 2023**



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 009212023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

**City of Greater Sudbury
 APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended

Registered Owner(s): Paul Loisel Email:

Mailing Address: 1-3028 Emerald Cr. Home Phone:

City: Chelmsford Postal Code: P0M 1L0 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____

Mailing Address: _____ Home Phone: _____

City: _____ Postal Code: _____ Business Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges, or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Lise Gosselin

Mailing Address: 1381 Vermillion Lake Rd

City: Chelmsford Postal Code: P0M 1L0

4) Current Official Plan designation: Municipal Reserve & Rural Current Zoning By-law designation: RU

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

	Variance To	By-law Requirement	Proposed	Difference
Garage	Height Variance	6.50 m	8.38 m	1.88 m
House	Side lot clearance	10 m	6 m	4 m
Garage	Side lot clearance	10 m	6 m	4 m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: To build house 6m from side lot and build garage 6m from lot line. The height of the garage.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The height of the garage to accomodate a loft
The house and garage needs to be so i can put my field bed in front of house and garage

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73368-0330 LT Township: Creighton - Davies
Lot No.: 12 Concession No.: 6 Parcel(s):
Subdivision Plan No.: 53R21130 Lot: 12 Reference Plan No.: Part(s): 1
Municipal Address or Street(s): 1445 Vermillion lake road Chelmsford

7) Date of acquisition of subject land. June 15/21

8) Dimensions of land affected.

Frontage 46.802 (m) Depth 417.843 (m) Area (m²) Width of Street 30.480 (m)

9) Particulars of all buildings:

	Existing	Proposed	
Ground Floor Area:	(m ²)	Garage 83.612	House 111.42 (m ²)
Gross Floor Area:	(m ²)	52.955	111.42 (m ²)
No. of storeys:		1 1/2	1
Width:	(m)	9.144	9.14 (m)
Length:	(m)	9.144	12.19 (m)
Height:	(m)	8.382	6.09 (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed	
Front:	(m)	Garage 1.89	207.3 (m)
Rear:	(m)	203.43 - 185.44	185.44 (m)
Side:	(m)	6 - 19.86	6m (m)
Side:	(m)	6	19.86 (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well ✓
- Communal Well
- Individual Septic System ✓
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly ✓
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

proposed - vacant land

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Land Length of time: vacant

14) Proposed use(s) of the subject property.

Same as #13 or, residential

15) What is the number of dwelling units on the property? currently zero

16) If this application is approved, would any existing dwelling units be legalized? Yes (No)

If "yes", how many? residential both sides

17) Existing uses of abutting properties: residential both sides

A0092/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Paul Loiseille (please print all names), the registered owner(s) of the property described as 53 R21130 LOT 12, CONC. 6 1445 Vermillion Lake Road, Chelmsford in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18 day of July, 2023

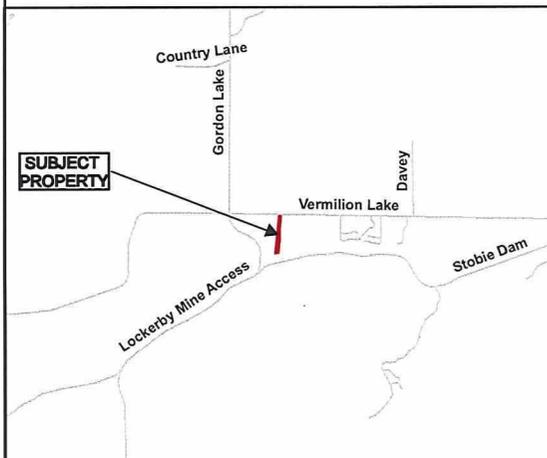
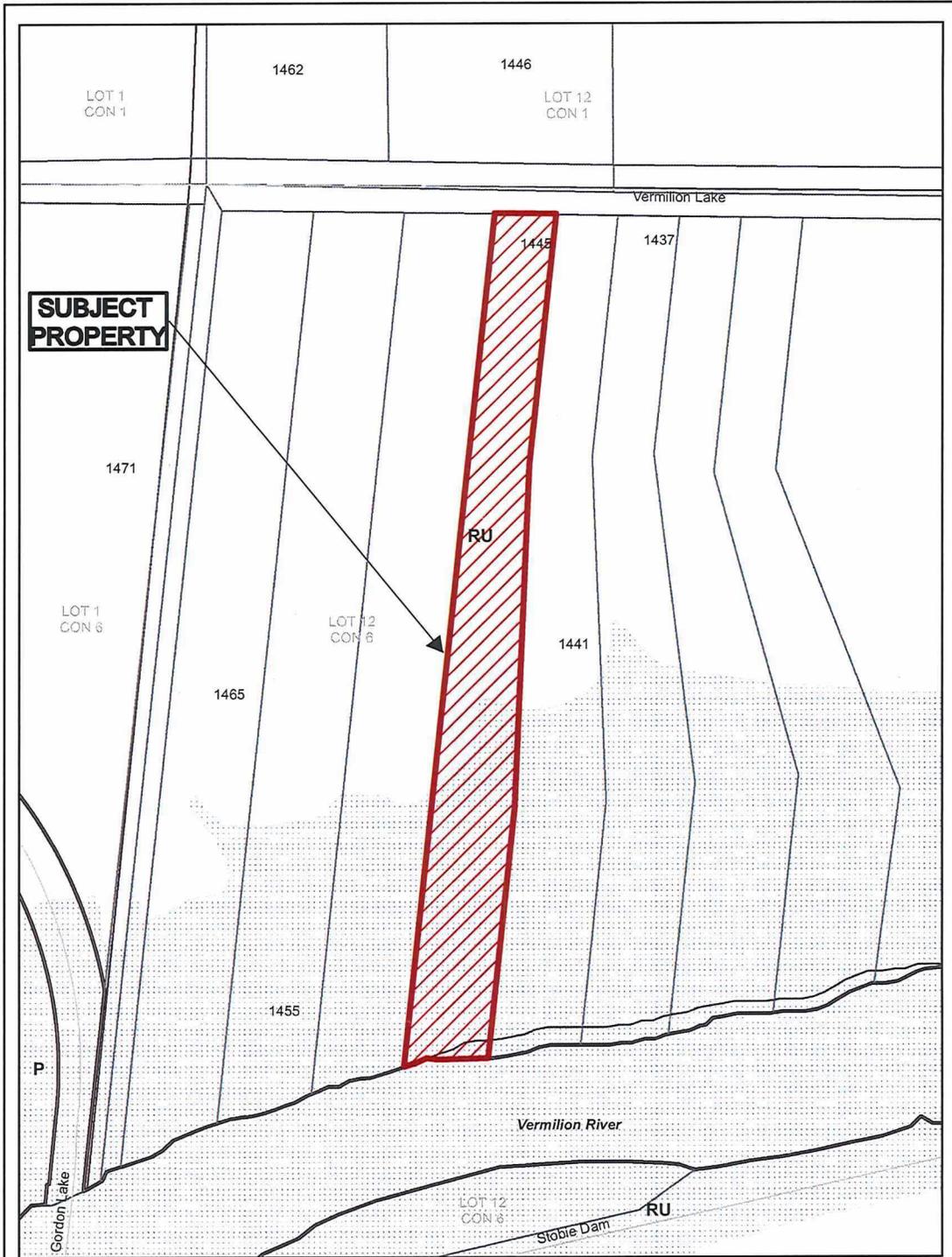
[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Paul Loiseille

*I have authority to bind the Corporation

A0092/2023



Application for Minor Variance or Permission

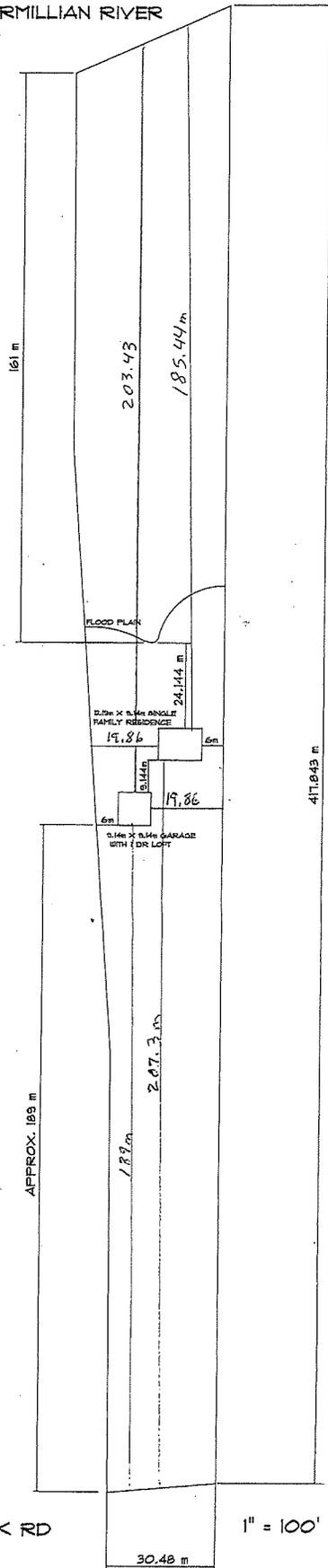


Subject Property being
 PIN 73368-0330, SRO,
 Part Lot 12, Concession 6,
 Part 1 on Plan 53R-21130,
 Township of Creighton-Davies,
 1445 Vermilion Lake Road, Chelmsford,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0092/2023
 Date: 2023 07 27

VERMILLIAN RIVER



1445 VERMILLIAN LK RD

1" = 100'

6 METRE SIDELOT CLEARANCE

PART 1 - 53R - 21130
LOT 12 - CONCESSION 86
GEOGRAPHIC TUNSP OF CEIGHTON

A009212023
Sketch 2



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

21-03-17-2016
 A 009312023
 S.P.P. AREA
 YES ___ NO
 NDCA REG. AREA
 YES ___ NO

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended

Registered Owner(s): Cynthia Winn & Jason Mckenzie Email: [REDACTED]
 Mailing Address: 178 Kingsmount Blvd Home Phone: [REDACTED]
 Business Phone: _____
 City: Sudbury Postal Code: P3E 1K9 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

2217 South Lane Rd,
 Sudbury ON P3G 1C8

Name of Agent: The General Dave Ricard Email: [REDACTED]
 Mailing Address: 79 Durham St. Home Phone: [REDACTED]
178 Kingsmount Blvd Sudbury On Business Phone: [REDACTED]
 City: Greater Sudbury Postal Code: P3G 1C8 Fax Phone: [REDACTED]
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: BMO Bank of Montreal Ont lending
 Mailing Address: 79 Durham St.
 City: Sudbury ON Postal Code: P3E 3M5

4) Current Official Plan designation: Living area 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
By-laws 2012-176Z, 2018-180Z corner side yard	4.5m	1.57m	2.93m
4.2.4 Height	5m	6.7m	1.7m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
 To construct a 24x30' detached garage. The subject property abuts an unopened rd along the south west side of property, Resulting in increased side yard requirement of 4.5m. Seeking relief to reduce the side yard requirement of 4.5 meters to 1.57m. The unopened road has a frontage of 4.5m where typically a road allowance of 6.0m is required. The unopened rd does not meet this requirements

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
 Current placement of house on property does not allow construction of a 24 wide garage within the required setbacks. Location of garage has been placed 6 feet away from existing house to allow for a walk way back yard. Rear of property consist of bedrock and would become cost prohibitive to locate in rear yard.

See Attached
 page for
 larger text

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Mckim
 Lot No.: lot 6 Concession No.: Con 6 Parcel(s): PCL 7973 PCL20635
 Subdivision Plan No.: _____ Lot: 295&296 Reference Plan No.: M95 Part(s): _____
 Municipal Address or Street(s): 178 Kingsmount Blvd Sudbury On

7) Date of acquisition of subject land. September 2021

8) Dimensions of land affected.

Frontage 68.9 (m) Depth 36.52 (m) Area 891.9 (m²) Width of Street 10.4 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	<u>144.9</u>	(m ²)	<u>Garage 67</u>	(m ²)
Gross Floor Area:	<u>253.5</u>	(m ²)	<u>Garage 67</u>	(m ²)
No. of storeys:	<u>1.5</u>	<u>1.5</u>	<u>1</u>	<u>1</u>
Width:	<u>10.9</u>	(m)	<u>7.32</u>	(m)
Length:	<u>13.7</u>	(m)	<u>9.15</u>	(m)
Height:	<u>7.1</u>	(m)	<u>6.7</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>8.5</u>	(m)	<u>6.53</u>	(m)
Rear:	<u>14.23</u>	(m)	<u>20.84</u>	(m)
Side:	<u>10.73</u>	(m)	<u>1.57</u>	(m)
Side:	<u>1.27</u>	(m)	<u>15.5</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

House built in the 1940's

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): residential dwelling unit Length of time: Approximately 80 years

14) Proposed use(s) of the subject property.

Same as #13 or, same as #13 Same as #13

15) What is the number of dwelling units on the property? 1 dwelling unit

1 dwelling unit

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: residential

residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): none known
 or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Jason Mckenzie and Cynthia Winn (please print all names), the registered owner(s) of the property described as 178 Kingsmount Blvd Sudbury, ON
 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize The General Dave Ricard (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 12th day of July, 2023

C. Ricard
 (witness)

Cynthia Winn
 signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Cynthia Winn Jason Mckenzie

*I have authority to bind the Corporation

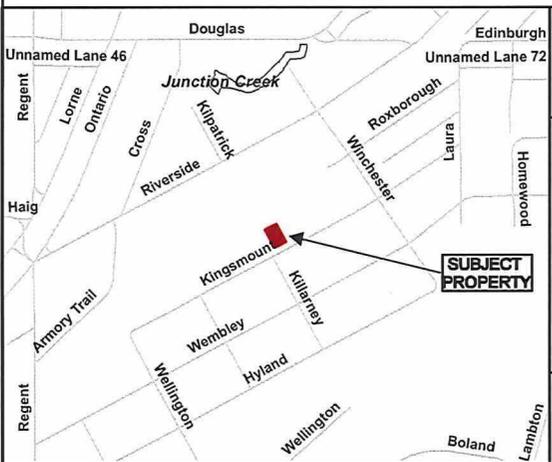
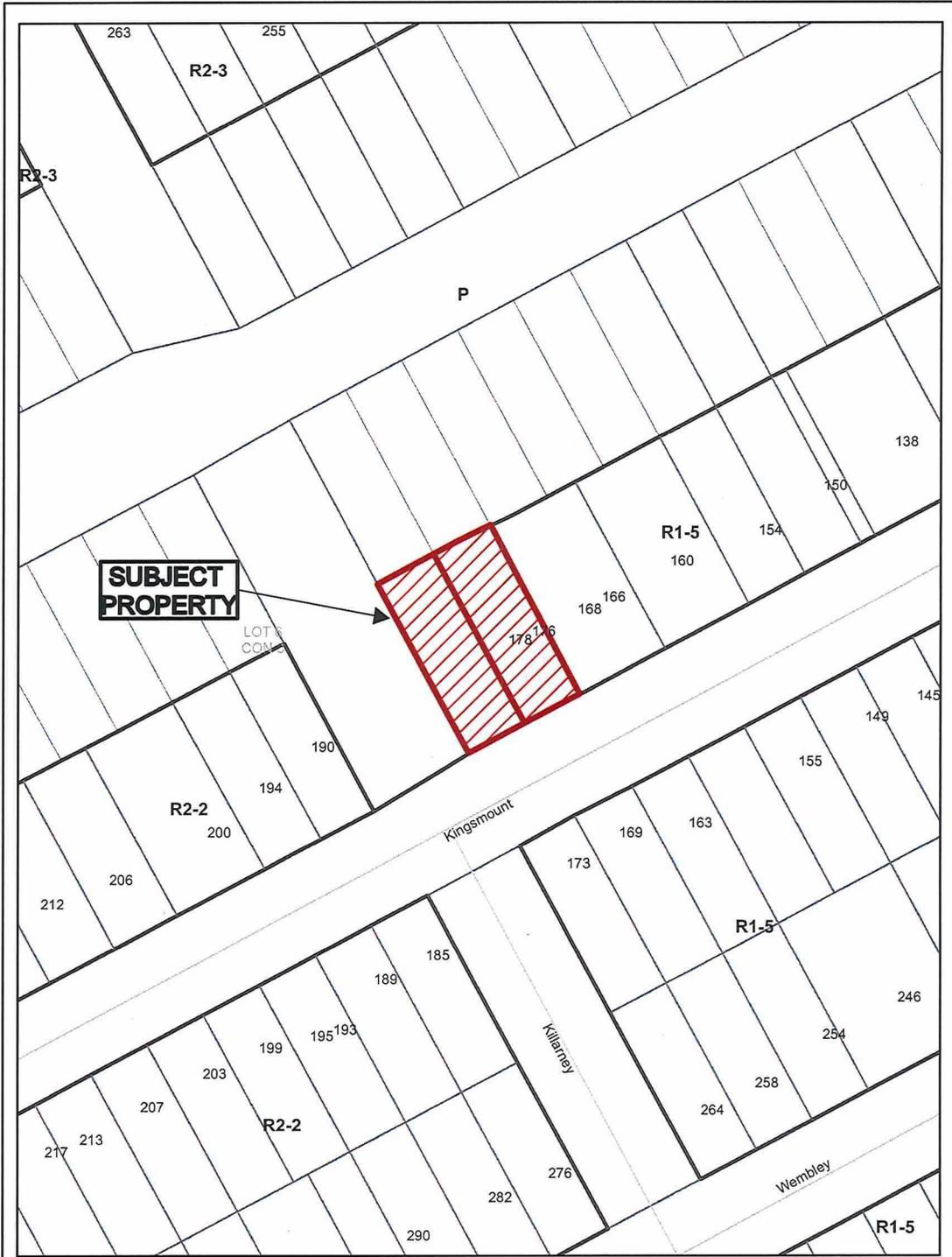
A0093/2023

Answers to questions 5 C&D

C) Description of proposal: To construct a 24'x30' detached garage. The subject property abuts an unopened rd along the south west side of property. Resulting in increased side yard requirement of 4.5m. We are seeking relief to reduce the side yard requirement of 4.5 meters to 1.57m. The unopened road triggering this application has a frontage of 12.2 where typically a road allowance of 20m is required. The unopened rd does not meet general requirements and will likely never be opened. Furthermore, the abutting neighbour house at municipal address 190 Kingsmount Blvd is approximately 3.9m away front the property line, measuring from the dwelling unit to the unopened road boundary. See attached photo.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Current placement of house on property does not allow construction of a 24 wide garage within the required setbacks. Location of garage has been placed 6 feet away from existing house to allow for a walk way back yard. Rear of property consist of bedrock and would become cost prohibitive to locate in rear yard.

A0093/2023



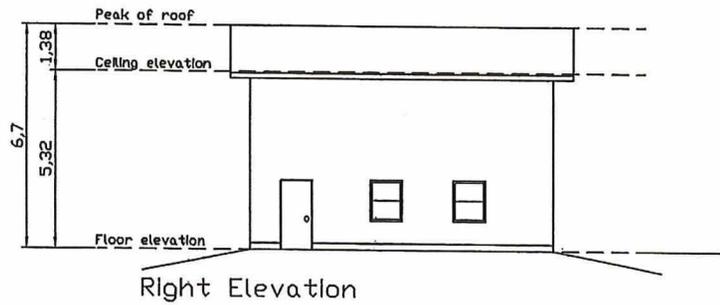
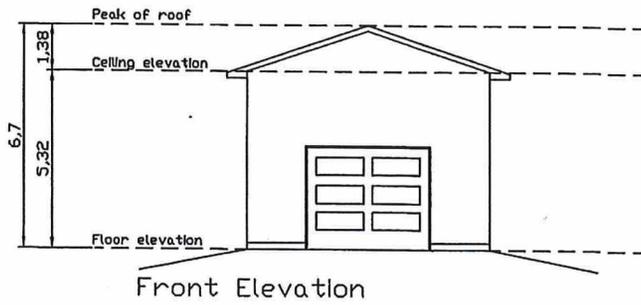
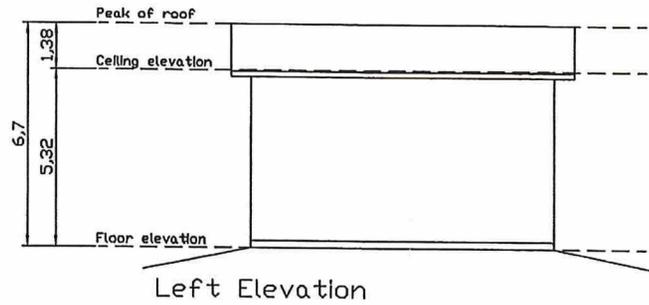
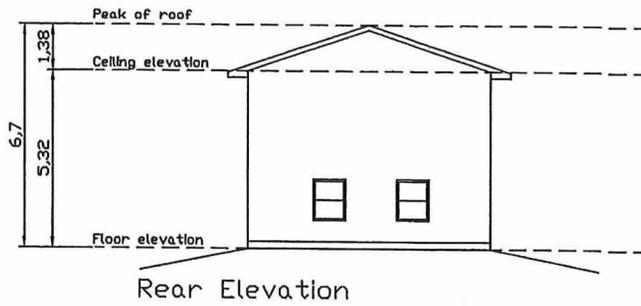
Application for Minor Variance or Permission



Subject Property being
 PIN 73585-1180,
 Lots 295 and 296, Plan M-95,
 Lot 6, Concession 3,
 Township of McKim,
 178 Kingsmount Blvd, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0093/2023
 Date: 2023 07 27



A0093/2023
 sketch 2

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LOT 295 AND LOT 296
REGISTERED PLAN M-95
 GEOGRAPHIC TOWNSHIP OF MCKIM
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY

SCALE 1:150
 0 1 2 3 4 5 METRES

D.S. DORLAND LIMITED
 ONTARIO LAND SURVEYORS

- LEGEND**
- # DENOTES MONUMENT FOUND
 - DENOTES MONUMENT PLANTED
 - DENOTES NOT TO SCALE
 - DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - RB DENOTES ROCK BAR
 - RPL DENOTES ROCK PLUG
 - DISTO DENOTES DISTURBED MONUMENT
 - WT DENOTES WITNESS MONUMENT
 - OU DENOTES ORIGIN UNKNOWN
 - PN DENOTES PROPERTY IDENTIFICATION NUMBER
 - LT DENOTES LAND TILES
 - NEF DENOTES NO EVIDENCE FOUND
 - M DENOTES MEASURED
 - R DENOTES REGISTERED
 - S DENOTES SET
 - P DENOTES PLAN OF SURVEY FILE No.17472, DATE JANUARY 7, 2016 BY D.S.DORLAND LIMITED, O.L.S.
 - P2 DENOTES PLAN OF SURVEY FILE No.10381, DATE JULY 18, 1992 BY D.S.DORLAND LIMITED, O.L.S.
 - P3 DENOTES REGISTERED PLAN M-95
 - C DENOTES CALCULATED FROM PLAN P
 - OSB DENOTES D.S. DORLAND LIMITED, O.L.S.
 - REF DENOTES REFERENCE BEARING
 - B DENOTES BELL POLE
 - X DENOTES WOOD FENCE

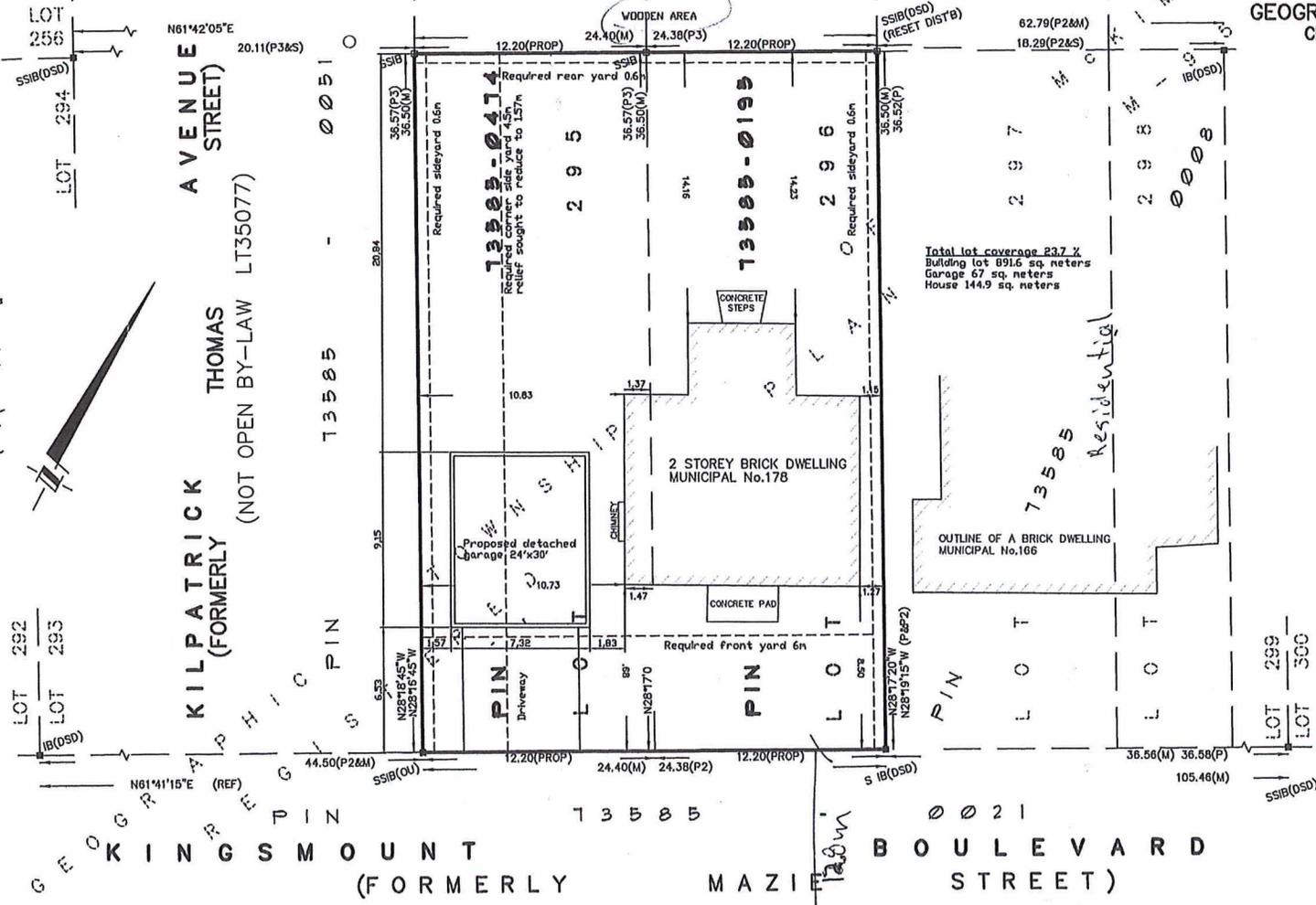
NOTE

ALL BEARINGS AND COORDINATES SHOWN HEREON ARE UTM GRID DERIVED FROM REAL TIME NETWORK OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (61° WEST LONGITUDE), NAD 83 (CSRS) (VER. 4/2002). REAL TIME NETWORK OBSERVATIONS HAVE BEEN CONFIRMED THROUGH VARIOUS MEASUREMENTS TO CITY OF GREATER SUDBURY CONTROL MONUMENTS IN THE AREA OF THE SURVEY.

FOR BEARING COMPARISONS, A ROTATION OF 0°02'45" COUNTER-CLOCKWISE WAS APPLIED TO ASTRONOMIC BEARINGS ON PLAN P2 AND P3.

DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999565.

THIS PLAN IS NOT VALID UNLESS SEALED AND IS PREPARED FOR JASON MCKENZIE AND DYNITHA WINN ALL OTHERS CONNECTED WITH THIS TRANSACTION AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.



NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF D.S. DORLAND LTD.

D.S. DORLAND LIMITED
 ONTARIO LAND SURVEYORS
 GEOMATIC PROFESSIONALS

208 LARCH STREET
 SUDBURY, ONTARIO, P3G 1L1

WWW.DSORLANDLIMITED.CA

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
2199453

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH Regulation 1072, Section 29(2).

SURVEYOR'S REAL PROPERTY REPORT - PART 2) REPORT SUMMARY	
DESCRIPTION OF LAND	PROPERTY FEATURES
THE SUBJECT LANDS ALL LOT 295, REGISTERED PLAN M-95, GEOGRAPHIC TOWNSHIP OF MCKIM. THE SUBJECT LANDS ALL LOT 296, REGISTERED PLAN M-95, GEOGRAPHIC TOWNSHIP OF MCKIM.	THE HOUSE MUNICIPAL No.178 APPURTENANT TO LOT 296, REGISTERED PLAN M-95 EXTENDS ON TO LOT 295, REGISTERED PLAN M-95 AS SHOWN HEREON.
REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY	COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
THERE ARE NO EASEMENTS AND/OR RIGHTS-OF-WAY REGISTERED ON TITLE AS OF AUGUST 11, 2022.	NOT CERTIFIED BY THIS REPORT.
	ADDITIONAL REMARKS
	PH 73585-0474 IS SUBJECT TO THE RESERVATIONS SET OUT IN THE CROWN GRANT FOR THE PARENT PARCEL. PH 73585-0195 IS SUBJECT TO THE RESERVATIONS SET OUT IN THE CROWN GRANT FOR THE PARENT PARCEL.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYS ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON **NOVEMBER 8, 2022**.

FOR COMMENT

NOVEMBER 8, 2022

SUDBURY, ONTARIO

J.H. DORLAND
 ONTARIO LAND SURVEYOR

A0093/2023
 sketch 3



A0093/2023
sketch 4



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 009912023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): <u>Saddia Rahmanyar</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>132-2 Dunsheath Way</u>	Home Phone: <u>[REDACTED]</u>
	Business Phone: _____
City: <u>Markham</u>	Postal Code: <u>ON</u>
	Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: <u>Kristin Beites</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>151 JOHN STREET</u>	Home Phone: <u>[REDACTED]</u>
<u>2884 Main Street, Blezard Valley</u>	Business Phone: _____
City: <u>Sudbury, Ontario</u>	Postal Code: <u>P3e 1P5</u>
	Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <u>Saddia Rahmanyar — HELOC Mortgage with TD Bank</u>	
Mailing Address: <u>45 Overlea Blvd</u>	
City: <u>Toronto, ON</u>	Postal Code: <u>M4H 1C3</u>

- 4) Current Official Plan designation: Agricul. Reserve & Living Area 2 Current Zoning By-law designation: Agricultural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Height of accessory structure	6.5m	10m	3.5m
Floor area of Accessory Dwelling Unit	1006 sq ft	1200 sq ft	194 sq ft
	93.4 m ²	111.4 m ²	18 m ²

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
Proposing to build a garage with a secondary dwelling unit above.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The garage will be used to store miscellaneous farm vehicles/ equipment, with the potential for boat storage, therefore the height relief is being requested. We are requesting 111.4 m² for the accessory dwelling unit, to provide 2 bedrooms + den. This represents 54% of the Primary Unit's GFA, rather than the allowable 45%

6) Legal Description (include any abutting property registered under the same ownership).

Township: Bleazard
 PIN(s): _____
 Lot No.: 11 Concession No.: 06 Parcel(s): _____
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 2884 Main Street, Bleazard Valley

7) Date of acquisition of subject land. August 31 2020

8) Dimensions of land affected.

Frontage 82.1 (m) Depth 1,437 (m) Area 278792 (m²) Width of Street 20m (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	<u>157.8</u>	(m ²)	<u>Garage: 297.3</u>	(m ²)
Gross Floor Area:	<u>207.8</u>	(m ²)	<u>ADU: 111.4</u>	(m ²)
No. of storeys:	<u>1 + basement + garage</u>		<u>2 (Garage + ADU)</u>	
Width:	<u>9.2</u>	(m)	<u>12.2 GARAGE; 9.1 ADU</u>	(m)
Length:	<u>17</u>	(m)	<u>24.4 GARAGE; 12.2 ADU</u>	(m)
Height:	<u>approx 6.5</u>	(m)	<u>10m</u>	(m)

**Note these dimensions are for the Main Dwelling Unit, please refer to the plan for existing shed dimensions*

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>35</u>	(m)	<u>35</u>	(m)
Rear:	<u>>1300</u>	(m)	<u>>1300</u>	(m)
Side:	<u>43.1</u>	(m)	<u>21.7</u>	(m)
Side:	<u>21.9</u>	(m)	<u>48.3</u>	(m)

**Note these distances are for the Main Dwelling Unit, please refer to the plan for existing shed distances*

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input checked="" type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

1964

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): farm with one farmhouse Length of time: 60 YEARS

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?

Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Agricultural with dwelling units

A0094/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, SADDIA RAHMANYAR (please print all names), the registered owner(s) of the property described as 2884 Main Street, Blezard Valley

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

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Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Kristin Beites (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

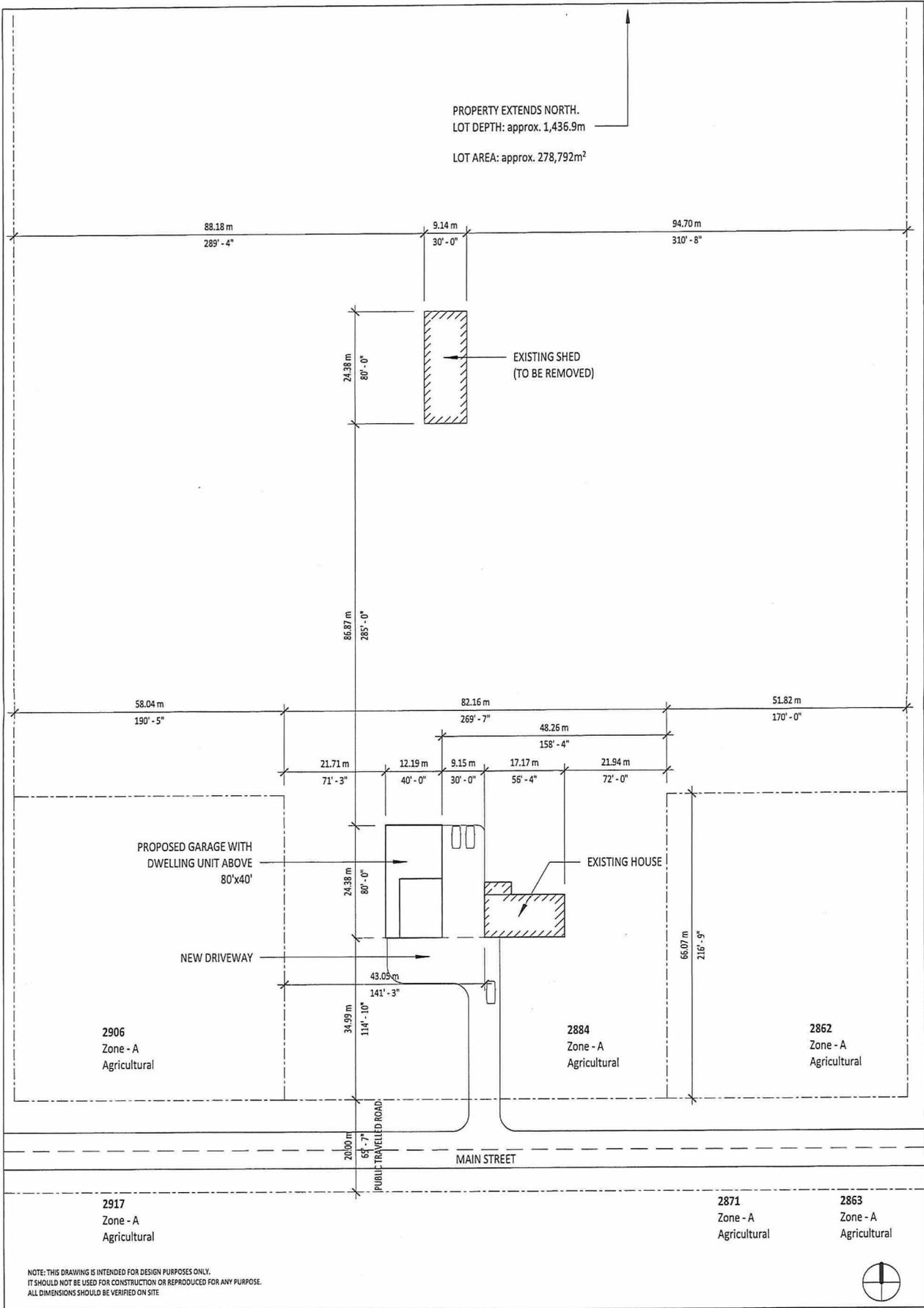
Dated this 21 day of July, 2023

Ali
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Saddia Rahmanyar

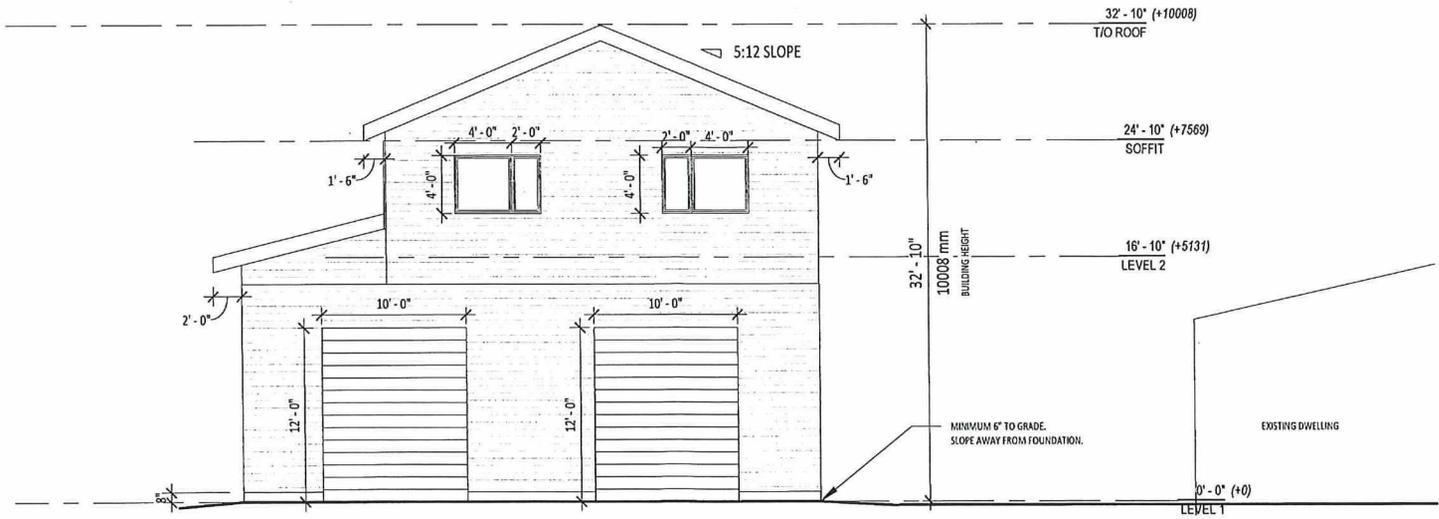
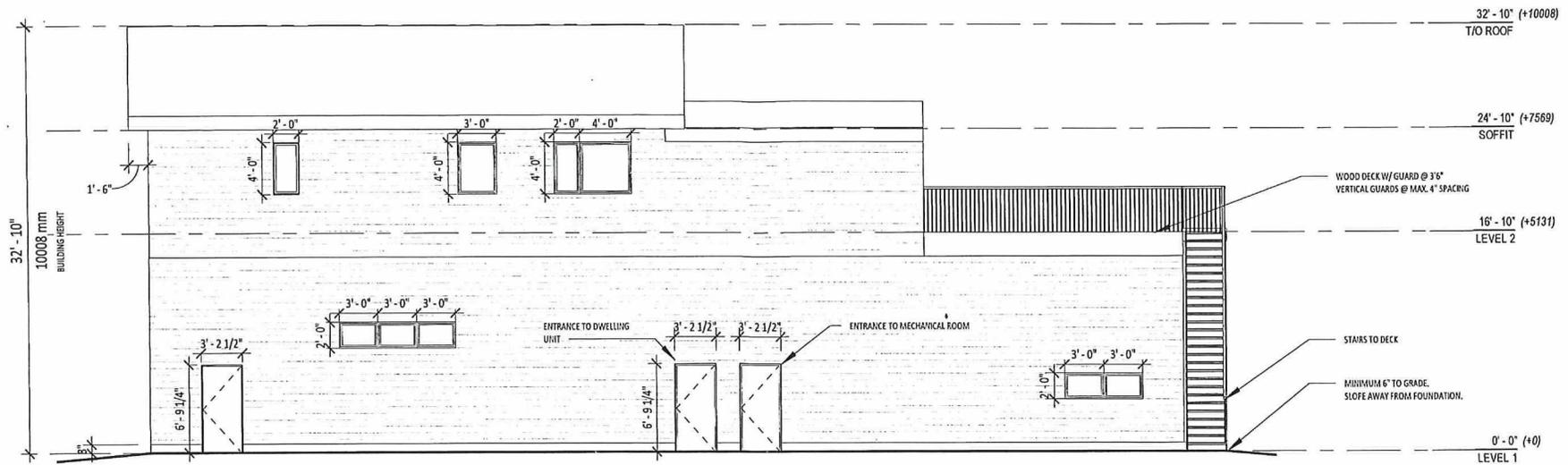
*I have authority to bind the Corporation



A0094/2023
 Sketch 2

MAIN STREET GARAGE
 2884 MAIN STREET
 BLEZARD VALLEY, ONTARIO
 P0M 1E0

VARIANCE OVERALL SITE PLAN



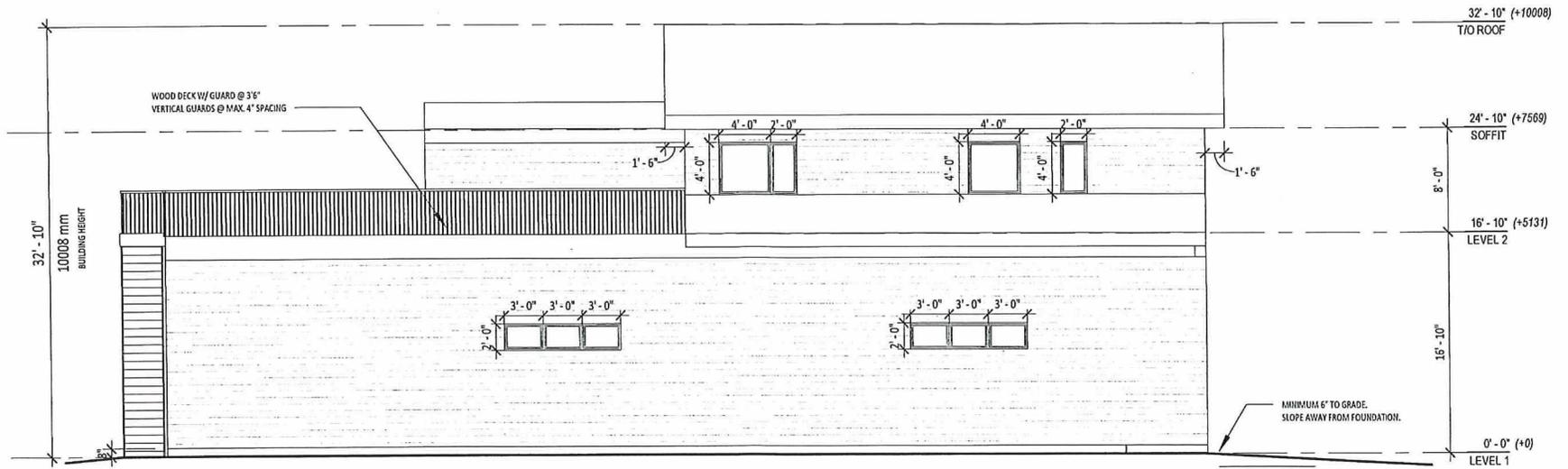
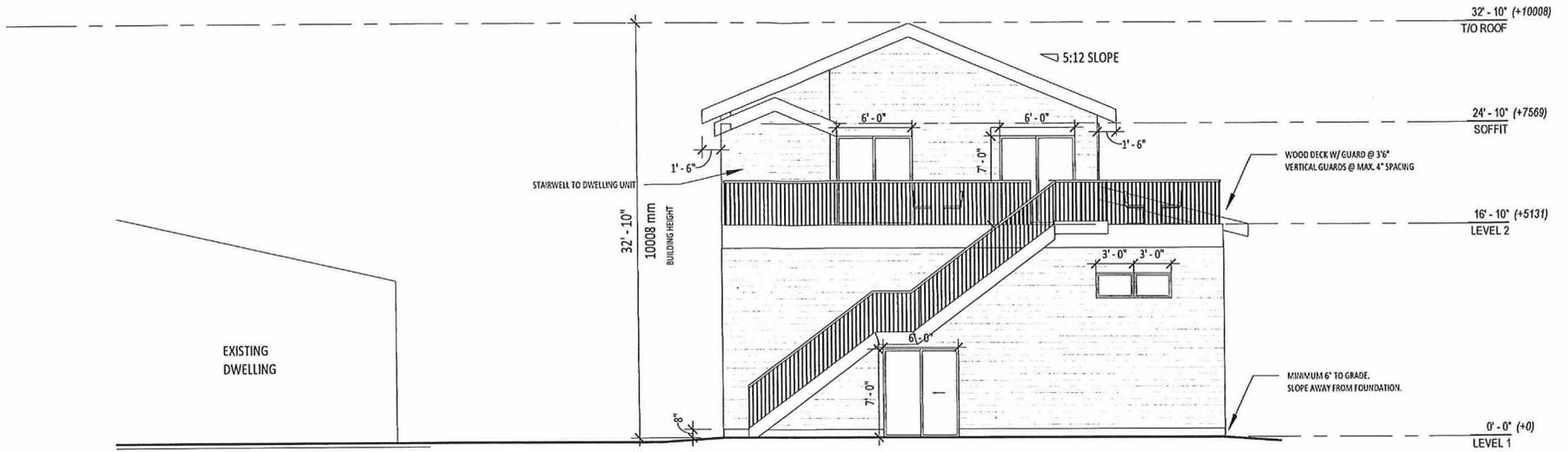
NOTE: THIS DRAWING IS INTENDED FOR DESIGN PURPOSES ONLY.
 IT SHOULD NOT BE USED FOR CONSTRUCTION OR REPRODUCED FOR ANY
 PURPOSE. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE

MAIN STREET GARAGE
 studio kimiis

V3_VARIANCE - EAST & SOUTH ELEVATION

1 : 100
 07/10/23

A0094/2023
 sketch 3



NOTE: THIS DRAWING IS INTENDED FOR DESIGN PURPOSES ONLY.
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 PURPOSE. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE

MAIN STREET GARAGE

studio kimiis

V4_VARIANCE - NORTH & WEST ELEVATION

1 : 100

A0094/2023
 sketch 5



Greater Sudbury
www.greatersudbury.ca
Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01
A 0095/2023
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO ___

\$320

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Claudio Corsi Jaume Servant Email: [REDACTED]
 Mailing Address: 800 Notre Dame St W Home Phone: _____
 Business Phone: _____
 City: Azilda Postal Code: P0M1B0 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A Email: _____
 Mailing Address: _____ Home Phone: _____
 Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: RU

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Maximum Garage Height 4.2.4(b) Height	6.5 m	8.3 m	1.8 m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Increase maximum garage height to 8.3 m

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: To accommodate internal architectural details of garage roof structure.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73347-0188 Township: ~~St. Johns~~ Rayside
 Lot No.: 10 Concession No.: 1 Parcel(s):
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53R2178 Part(s): 2
 Municipal Address or Street(s): Bishop Road

7) Date of acquisition of subject land. June 6, 2023

8) Dimensions of land affected. 130062 m²
 Frontage 101.35 (m) Depth 1283.3 (m) Area ~~125501~~ (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	_____ (m ²)		<u>111.5</u>	<u>135</u> (m ²)
Gross Floor Area:	_____ (m ²)		<u>111.5</u>	<u>72</u> (m ²)
No. of storeys:	_____		<u>1.5</u>	
Width:	_____ (m)		<u>9.14</u>	<u>12.2</u> (m)
Length:	_____ (m)		<u>12.2</u>	<u>12.2</u> (m)
Height:	_____ (m)		<u>8.3</u>	<u>4.2</u> (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	_____ (m)		<u>55.5</u>	<u>38m</u> (m)
Rear:	_____ (m)		<u>1170</u>	<u>1200</u> (m)
Side:	_____ (m)		<u>50</u>	<u>41.5</u> (m)
Side:	_____ (m)		<u>41.5</u>	<u>50</u> (m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input checked="" type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input checked="" type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

August 2023

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Length of time: _____

14) Proposed use(s) of the subject property.

Same as #13 or, Single Family Dwelling

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Vacant

ACC9512023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Claudio Corsi and Joanne Servant (please print all names), the registered owner(s) of the property described as 0 Bishop

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24 day of July, 2023

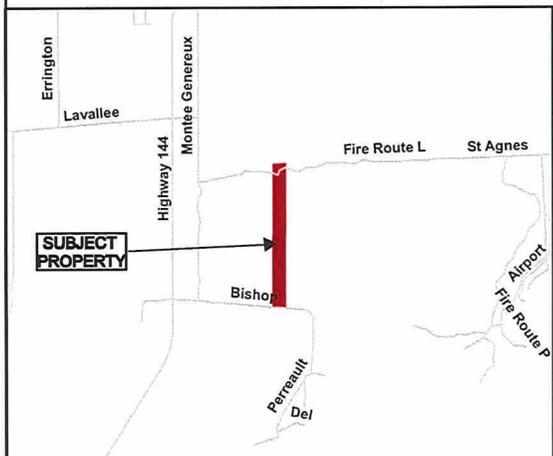
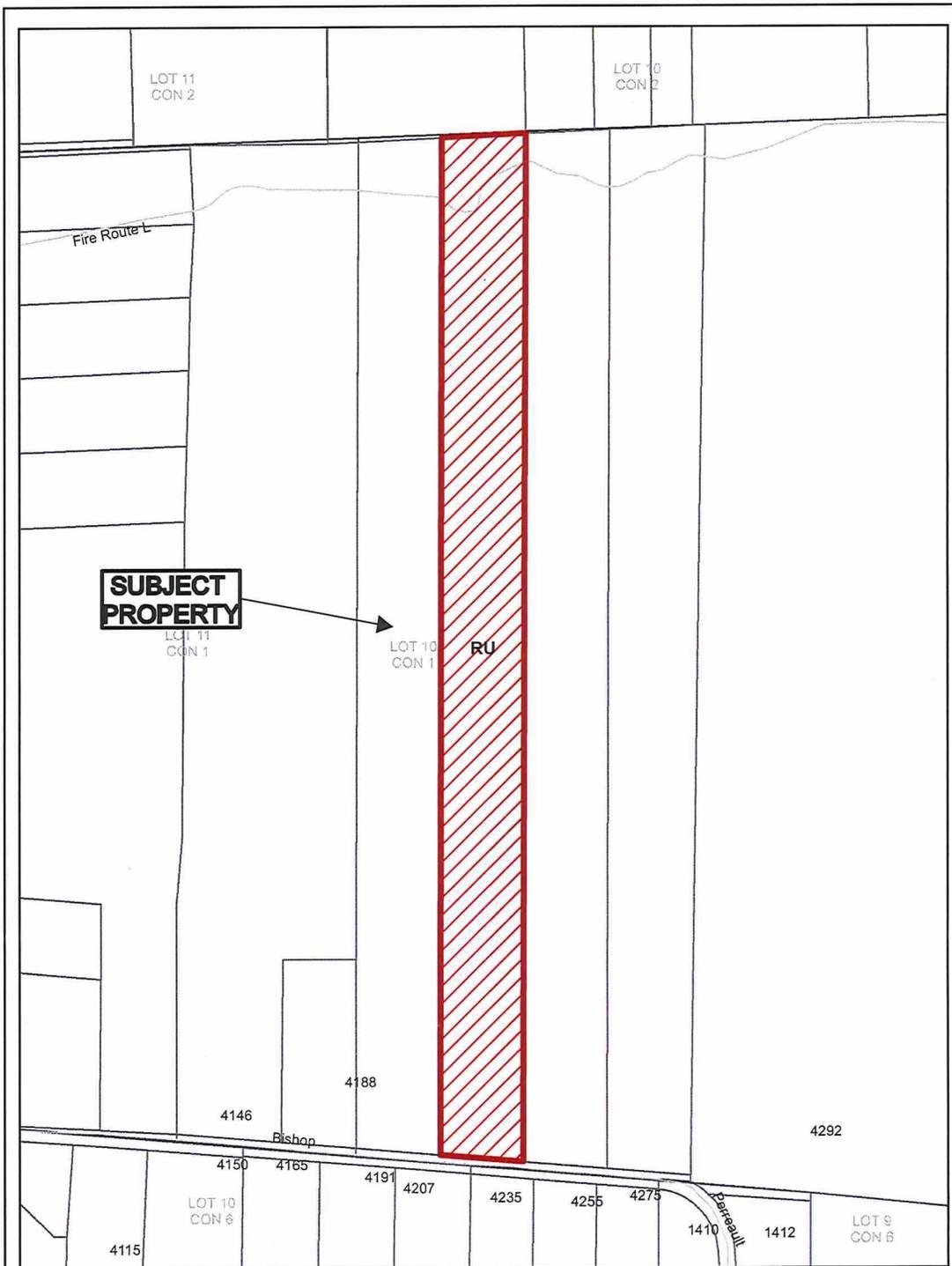
[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Claudio Corsi Joanne Servant

*I have authority to bind the Corporation

A0095/2023



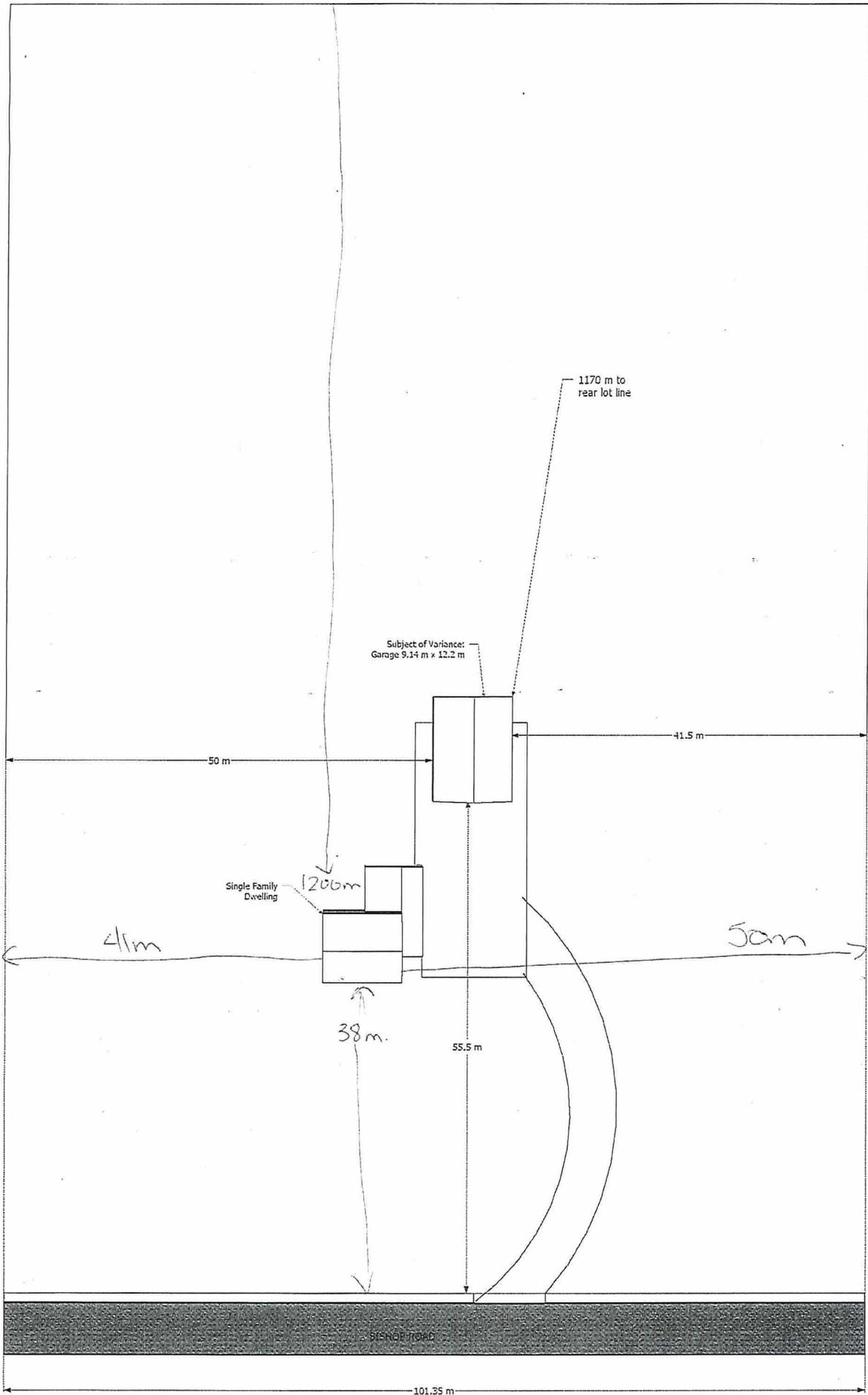
Application for Minor Variance or Permission



Subject Property being
 PIN 73347-1971,
 Part Lot 10, Concession 1,
 Part 2 on Plan 53R-21487,
 Township of Rayside,
 0 Bishop Road, Azilda,
 City of Greater Sudbury

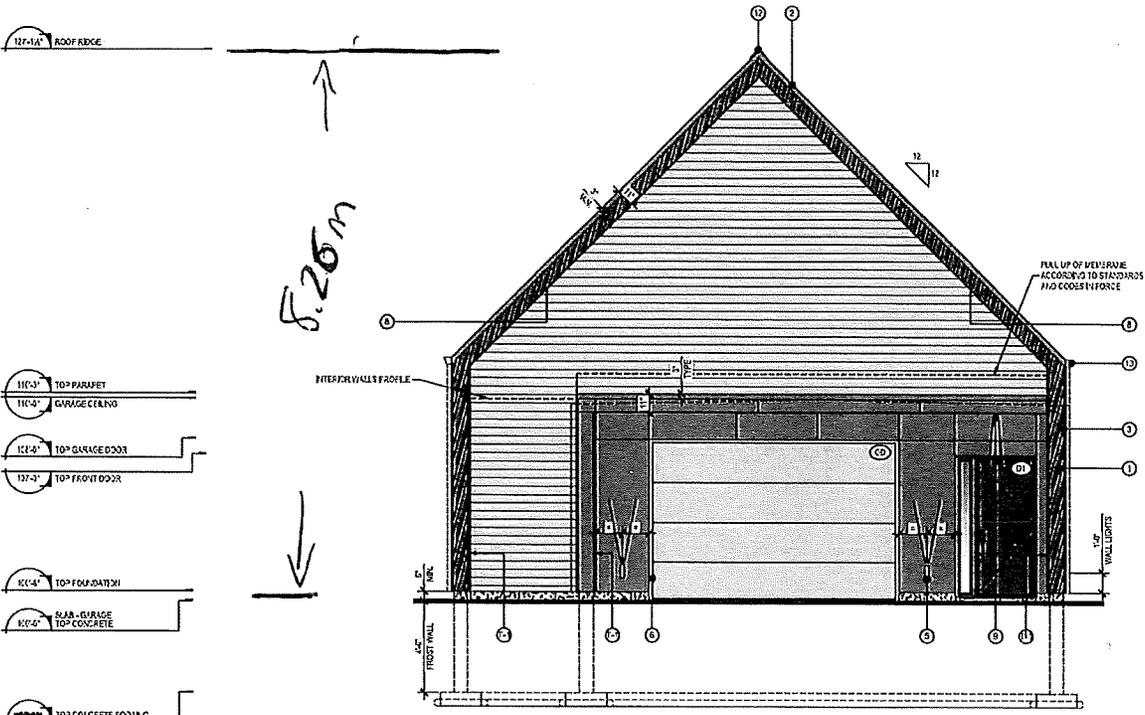
Sketch 1, NTS
 NDCA

A0095/2023
 Date: 2023 07 31



P0095/2023
 sketch 2

NOTES
 1. ALL DIMENSIONS TO BE MATCHED TO DRAWING
 2. ALL DIMENSIONS TO BE MATCHED TO DRAWING



- 12'-11 1/2" ROOF RIDGE
- 11'-0 1/2" TOP PARAPET
- 11'-0 1/2" GARAGE CEILING
- 1'-6 1/2" TOP GARAGE DOOR
- 1'-7 1/2" TOP FRONT DOOR
- 1'-0 1/4" TOP FOUNDATION
- 1'-0 1/2" SLAB - GARAGE TOP CONCRETE
- 1'-0 1/2" TOP CONCRETE FOOTING
- 1'-0 1/2" CONCRETE FOUNDATION

A
 AS
 ELEVATION - FRONT FACADE
 SCALE: 1/4" = 1'-0"

EXTERNAL CLADDING LEGEND

<p>CLADDING - TYPE M-1</p> <p>METAL CLADDING COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARDS</p>	<p>CLADDING/PANEL - TYPE P-1</p> <p>METAL PANEL COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARDS</p>
<p>CLADDING - TYPE T-1</p> <p>TIMBER CLADDING COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARDS</p>	<p>FASCIA</p> <p>REFER TO NOTE ①</p>
	<p>CONCRETE FOUNDATION</p>

MATERIAL SPECIFICATIONS

- ① FASCIA STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING. COLOR MATCHES M-1 CLADDING
- ② FLASHING STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING. COLOR TO MATCH CLADDING
- ③ INSULATED STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING. COLOR TO MATCH CLADDING
- ④ OCCASIONAL VENTILATION Louvers: PREPARED ALUMINUM VENTILATION Louvers, COLOR TO MATCH ADJACENT CLADDING
 REFER TO VENTILATION CALCULATIONS IF REQUIRED FOR ROOF VENTILATION
- ⑤ WALL LIGHT TO BE CHOSEN BY CLIENT
- ⑥ GARAGE DOOR FRAME PAIR-PURIFIED STEEL, BLACK CO. OR TO MATCH DOORS & WINDOWS
- ⑦ NA
- ⑧ SOFFIT TYPE T-1 CLADDING
- ⑨ DOWNLIGHTS TO BE CHOSEN BY CLIENT
- ⑩ NA
- ⑪ NA
- ⑫ EDGE VENTILATION: COLOR TO MATCH ROOFING COVERING MATERIAL IN SET, SEE DETAIL 2A10
- ⑬ GUTTER AND DOWNPIPE: COLOR TO MATCH ADJACENT CLADDING
- ⑭ SIGN BOARD: CLIENT TO SPECIFY MODEL, FINISH, REQUIRED ANCHORAGES



TALO

Tout commence par un plan.



ON NE MESURE PAS SUR LES PLANS.
 L'ENTREPRENEUR DOIT VÉRIFIER TOUTES LES MESURES SUR LE CHANTIER ET RAPPORTER AU DÉSIGNÉER TOUTES CORRECTIONS OU VARIATIONS PAR RAPPORT À CES PLANS.
 TOUTS LES PLANS DOIVENT ÊTRE AFFIRMÉS PAR LE LOCATAIRE, PROPRIÉTAIRE ET/OU L'INGÉNIEUR DE L'IMMEUBLE.
 LE DÉSIGNÉER N'EST PAS RESPONSABLE DES INSTALLATIONS ÉLECTRIQUES, MÉCANIQUES, TÉLÉPHONIQUES, ETC.
 L'ENTREPRENEUR DEVRA OBTENIR TOUTES LES PERMIS REQUIS POUR LES TRAVAUX DÉCRIS SUR CES PLANS.

CONTACT
TALO PLANS
 247 rue St-Vallier Est, suite 300
 Québec, Qc G1K 3P4
 taloplans.ca

CLIENT
 CLAUDIO CORSI
 65 LAURIER ST EAST PO BOX 1039
 AZILDA, ON, P0M 1B0

PROJET
 T-1475, N-202
 GARAGE CUSTOMIZED

DESSIN
 ELEVATION - FRONT FACADE

DATE MAY 2023 CONÇU PAR S.G & B.L.

ÉCHELLE: 1/4" = 1'-0" DESSINÉ PAR A00

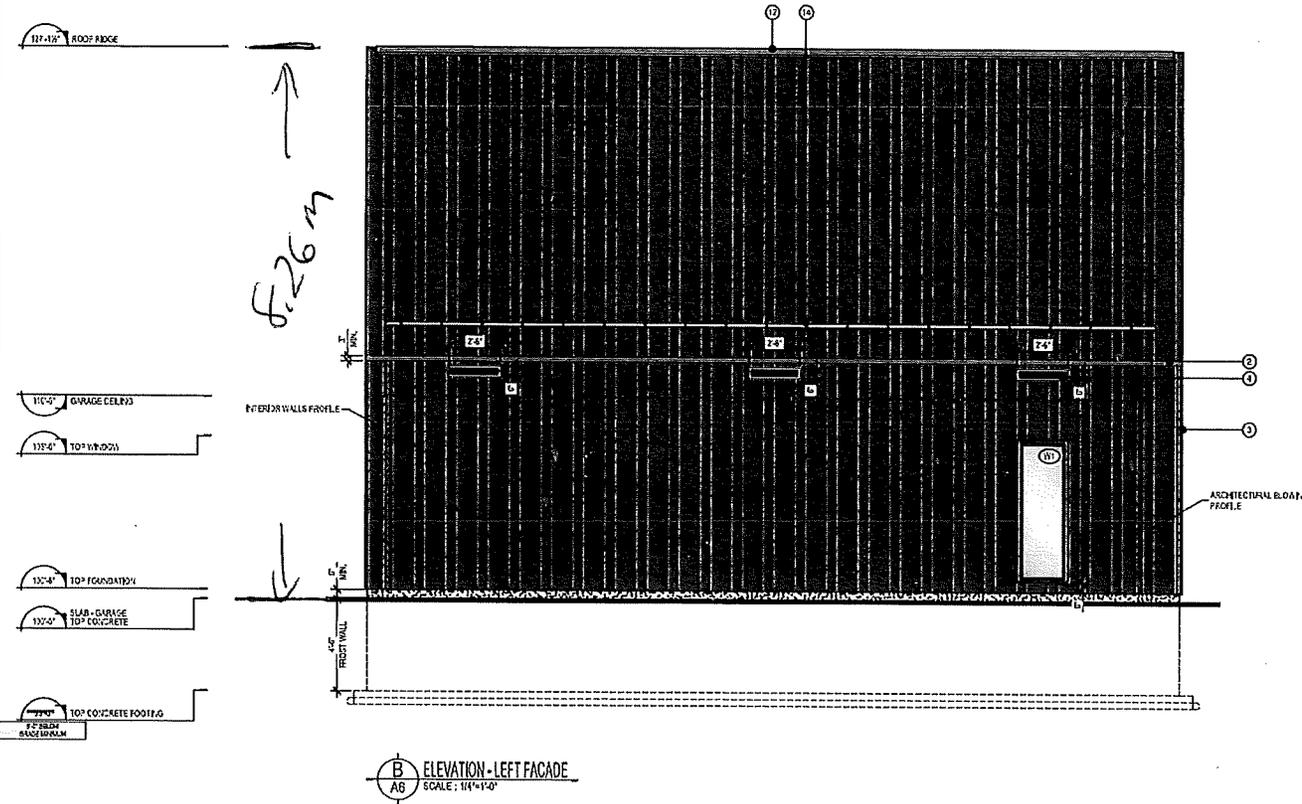


A0095/2023
 sketch 3

CONSULTER LE PLAN DE DÉTAILS ET LES DIMENSIONS DES ÉLÉMENTS DE DÉTAILS POUR PLUS D'INFORMATIONS. CONSULTER LE PLAN DE DÉTAILS POUR PLUS D'INFORMATIONS.

TALO

Tout commence par un plan.



ON NE MESURE PAS SUR LES PLANS.
L'ENTREPRENEUR DOIT VÉRIFIER TOUTES LES MESURES SUR LE CHANTIER ET S'APPUYER AU DÉVELOPPEMENT DE TOUTES LES MESURES. ON VÉRIFIE LES DIMENSIONS SUR RAPPORT À CES PLANS.

TOUTS LES PLANS DOIVENT ÊTRE APPROUVÉS PAR LE LOCATAIRE, PROPRIÉTAIRE ET/OU L'INGÉNIEUR DE L'ÉCHELLE.
LE DÉSIGNÉ NE SE PAS RESPONSABLE DES INSTALLATIONS ÉLECTRIQUES, MÉCANIQUES, TÉLÉPHONIQUES, ETC.

L'ENTREPRENEUR DEVRA OBTENIR TOUTS LES PERMIS REQUIS POUR LES TRAVAUX DÉCRITS SUR CES PLANS.

CONTRACT
TALO PLANS
247 rue St-Vallier Est, suite 300
Québec, Qc G1K 3P4

CLIENT
CLAUDIO CORSI
65 LAURIER ST EAST PO BOX 1039
AZILDA, ON, P0M 1B0

PROJET
T-1475, N-202
GARAGE CUSTOMIZED

DESSIN
ELEVATION - LEFT FACADE

DATE MAY 2023 CONÇU PAR S.G.A.B.L.
ÉCHELLE: 1/4" = 1'-0"

DESSINÉ PAR ADG



A6
A11
FEUILLE

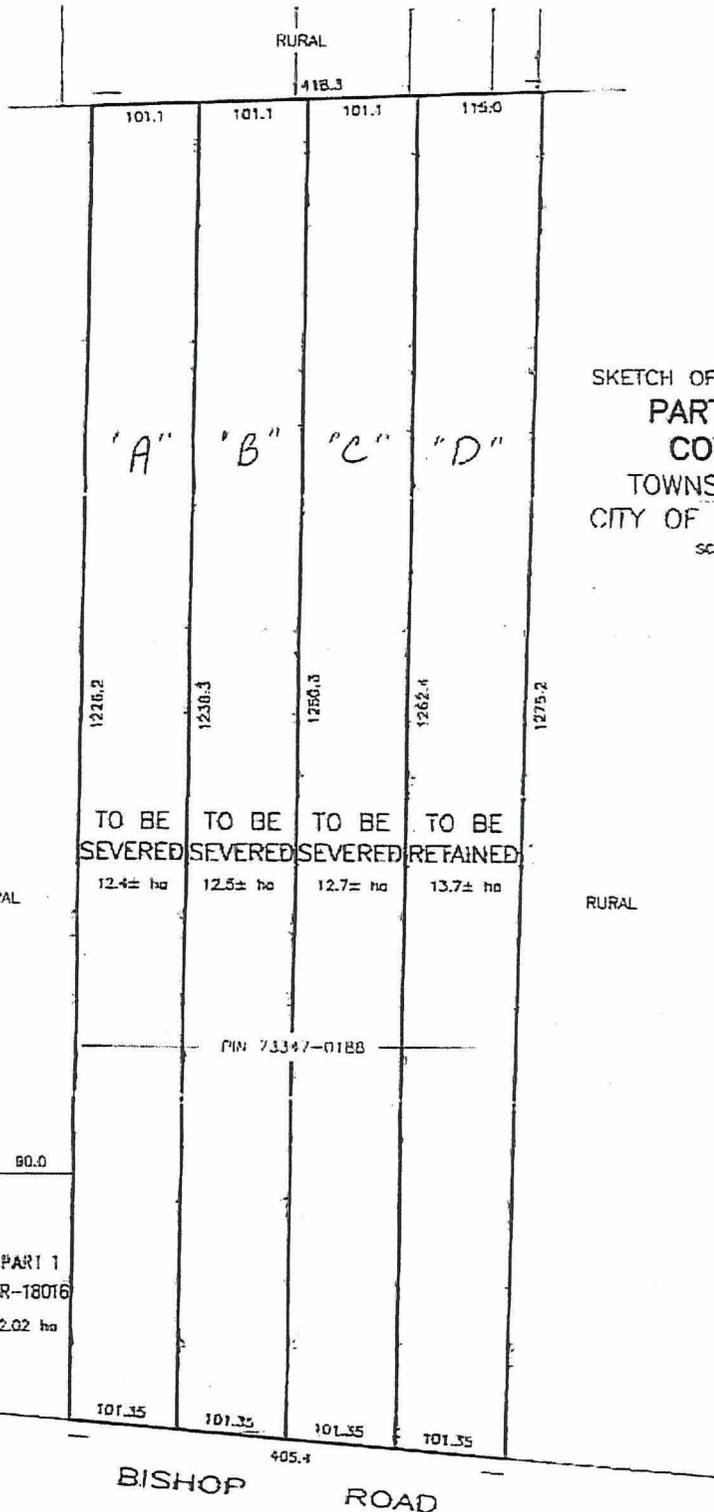
EXTERNAL CLADDING LEGEND

	CLADDING - TYPE M-1 METAL CLADDING COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARDS		CLADDING/PANEL - TYPE P-1 METAL PANEL COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARDS
	CLADDING - TYPE T-1 TYPICAL CLADDING COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARDS		FASCIA REFER TO NOTE ①
			CONCRETE FOUNDATION

MATERIAL SPECIFICATIONS

- | | | |
|---|--|---|
| ① FASCIA STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING, COLOR TO MATCH ADJACENT CLADDING | ④ GARAGE DOOR FRAME PRE-PANCHED STEEL BLACK COLOR TO MATCH DOORS & WINDOWS | ⑩ EDGE VENTILATION COLOUR TO MATCH ROOFING COVERING MATERIALS. SEE DETAIL 2.413 |
| ② FLASHING STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING, COLOR TO MATCH CLADDING | ⑦ N/A | ⑪ CUTTER AND DOWN PIPE COLOR TO MATCH ADJACENT CLADDING |
| ③ FASCIA STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING, COLOR TO MATCH CLADDING | ⑧ SOFFIT LIKE T-1 CLADDING | ⑫ SWIM GUARD
CLIENT TO SPECIFY MODEL, FRAME REQUIRED AND BRACES |
| ④ DECORATIVE VENTILATION Louvre
PREPARED ALUMINUM VENTILATION LOUVRE, COLOR TO MATCH ADJACENT CLADDING
REFER TO VENTILATION CALCULATIONS IF REQUIRED FOR ROOF VENTILATION | ⑨ DOWNPIPES TO BE CHOSEN BY CLIENT | |
| ⑤ WALL LIGHT TO BE CHOSEN BY CLIENT | ⑩ N/A | |
| | ⑪ N/A | |

A0095/2023
Sketch 4



SKETCH OF PROPOSED SEVERANCE
 PART OF LOT 10
 CONCESSION 1
 TOWNSHIP OF RAYSIDE
 CITY OF GREATER SUDBURY
 SCALE : 1 : 4000 METRIC



B0003/2021 to
 B0005/2021
 sketch 2

A0095/2023
 sketch 5



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01
A 009612023
S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Mico Faught Rosanna Faught Email: [REDACTED]
 Mailing Address: 90 WINDSOR CROS Home Phone: [REDACTED]
 City: Sudbury Postal Code: P3B 1Z7 Business Phone: _____
 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
 Mailing Address: _____ Home Phone: _____
 _____ Business Phone: _____
 City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
 Mailing Address: _____
 City: _____ Postal Code: _____

- 4) Current Official Plan designation: LIVING AREA "1" Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Setback POOL (6M)	2010-100Z	1.0m	5.0m
FENCE (POOL FENCE) (2M)	6m	0	6.0m
POOL SHED (SIDE)	1.2m	1.0m	0.2m
POOL SHED (FRONT)	6.0m	5.0m	1.0m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: POOL & SHED & FENCE NOW INSTALL

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
POOL WILL NOT FIT ANYWHERE ON THE LOT. USED A FENCE ON THE LOT BECAUSE POOL SHED IS TO HOUSE PUMP & FILTER.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73590-0344 Township: McKim
 Lot No.: 6 Concession No.: 2 Parcel(s):
 Subdivision Plan No.: 17487 Lot: 64 Reference Plan No.: Part(s):
 Municipal Address or Street(s): 90 WINDSOR CRESSM

7) Date of acquisition of subject land. Nov-2022

8) Dimensions of land affected.

Frontage 51.82 (m) Depth 34.14 (m) Area 700 (m²) Width of Street (m)

9) Particulars of all buildings:	Existing (House)		Pool		STEP	
			Proposed			
Ground Floor Area:	<u>132.78 (m²)</u>		<u>37</u>		<u>17.8 (m²)</u>	
Gross Floor Area:	<u>267.56 (m²)</u>					
No. of storeys:	<u>1</u>					
Width:	<u>12.2 (m)</u>		<u>5.5 m</u>		<u>3.65 (m)</u>	
Length:	<u>13.7 (m)</u>		<u>6.026 m</u>		<u>4.87 (m)</u>	
Height:	<u>3.0 (m)</u>				<u>3.0 (m)</u>	

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>9.75 (m)</u>	<u>(Pool)</u>	<u>1.0</u>	<u>1.0 (STEP) (m)</u>
Rear:				
Side:	<u>3.35 (m)</u>		<u>4.6</u>	<u>1.0 (m)</u>
Side:	<u>1.2 (m)</u>			

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

House (1960)

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): RESIDENTIAL Length of time: 1960

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? ONE (1)

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: RESIDENTIAL

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Rosanna Fayett, Mike Fayett (please print all names), the registered owner(s) of the property described as 90 WINDSOR CREST

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
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Appointment of Authorized Agent

g) appoint and authorize N/A. (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24th day of July, 2023

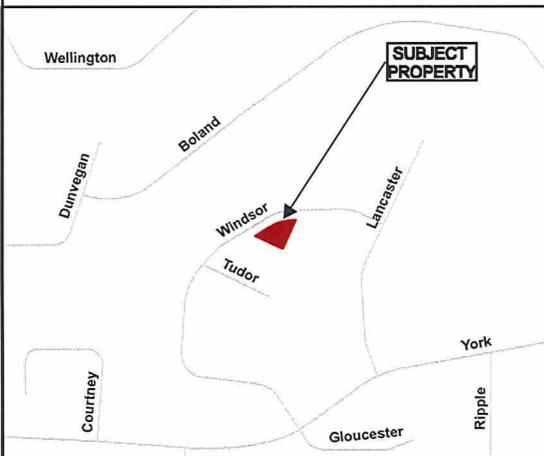
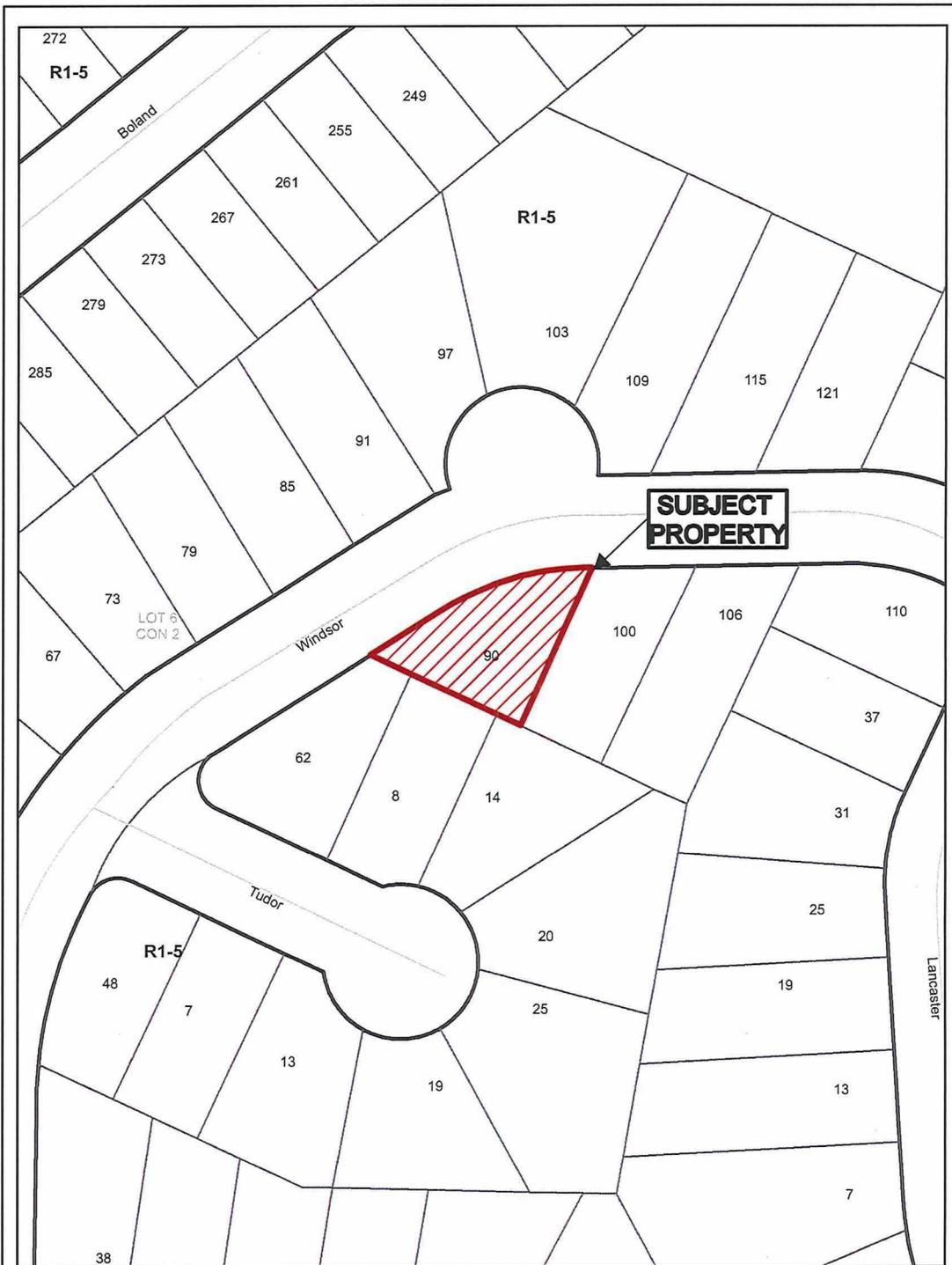
[Signature]
(witness)

Rosanna Fayett
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

A009612023



Application for Minor Variance or Permission



Subject Property being
 PIN 73590-0344,
 Parcel 25043 SEC SES SRO,
 Lot 64, Plan M-487, SRO,
 Township of McKim,
 90 Windsor Crescent, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA, IPZ 3

A0096/2023
 Date: 2023 07 31



A009612023
Sketch 4



A0096/2023
Sketch 5



A0096/2023
sketch 6



A009612023
sketch 7



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 009712023	
S.P.P. AREA	
YES	<input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA	
YES	<input checked="" type="checkbox"/> NO <input type="checkbox"/>

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): AJUEZE, ISIBHAKHOME; AJUEZE, PETER	Email: [REDACTED]
Mailing Address: 1128 Ramsey Lake Road	Home Phone: _____
	Business Phone: _____
City: Sudbury	Postal Code: P3E 6J7
	Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Engineering	Email: [REDACTED]
Mailing Address: 1942 Regent Street Unit L	Home Phone: _____
	Business Phone: _____
City: Sudbury	Postal Code: P3E 5V5
	Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <u>No longer any mortgages etc...</u> <i>27/07</i>
Mailing Address: <u>Not applicable</u>
City: <u>Not applicable</u>
Postal Code: <u>Not applicable</u>

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Reduced Shoreline Setback	30.0m	20.0m	10.0m
To permit a 2.5m tall retaining wall (W) w/ a reduced interior side yard setback	0.6m	0.0m	0.6m
To permit a 2.5m tall retaining wall (W) in the front yard	Not permitted	0.0m	Permitted (0.0m)
To permit a 1.5m tall retaining wall (E) w/ a reduced interior side yard setback	0.6m	0.0m	0.6m

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
Development of single detached dwelling with attached deck, and accessory sauna with attached deck.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Site conditions require the installation of a specialized septic system with an area of 375m2 (13m x 28.85m). Given the required septic design and OBC setbacks to the dwelling and lot lines, the dwelling must be in the proposed location. Dwelling has been reduced in size and reconfigured to be outside of the shoreline buffer area. Retaining walls required to facilitate the development of the lot.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735810205 & 735810218 Township: MCKIM
 Lot No.: Concession No.: Parcel(s): 23825
 Subdivision Plan No.: M38 Lot Reference Plan No.: Part(s):
 Municipal Address or Street(s): 491 Kirkwood Drive, Sudbury, ON

7) Date of acquisition of subject land. 31/03/2015

8) Dimensions of land affected.

Frontage 22.85 (m) Depth 102.48 (m) Area 2138.0m (m²) Width of Street 20 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	No existing structures (m ²)	See Schedule A (m ²)
Gross Floor Area:	"" (m ²)	"" (m ²)
No. of storeys:	""	""
Width:	"" (m)	"" (m)
Length:	"" (m)	"" (m)
Height:	"" (m)	"" (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	No existing structures (m)	See Schedule A (m)
Rear:	"" (m)	"" (m)
Side:	"" (m)	"" (m)
Side:	"" (m)	"" (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

N/A

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Length of time: 1.5 years

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential (Single Detached Dwellings)

A0097/2023

APPLICATION FOR MINOR VARIANCE

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No 06 27/07

If "yes", indicate application number(s) and status of application(s): N/A

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): LT 10 and 11 PL M3

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. SPR App Attached

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, AJUEZE, ISIBHAKHOME; AJUEZE, PETER (please print all names), the registered owner(s) of the property described as PCL 23825 SEC SES; LT 11 PL M38 MCKIM EXCEPT THE WEST 1/2 OF LOT; GREATER SUDBURY & PCL 2484 SEC SES; LT 10 PL M38 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize TULLOCH Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25th day of JULY, 2023

DocuSigned by:
Nick McFadyen 7/25/2023
3A38EF7AF1524BF...
(witness)

DocuSigned by:
Isibhakhome Ajueze 7/25/2023
DocuSigned by:
Peter Ajueze 7/25/2023

signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Isibhakhome Ajueze Peter Ajueze

*I have authority to bind the Corporation

10007/2023

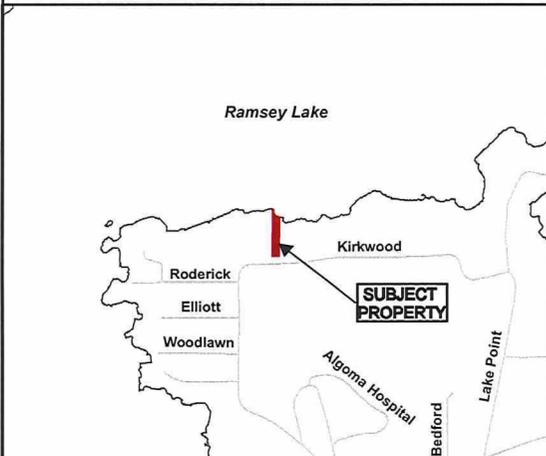
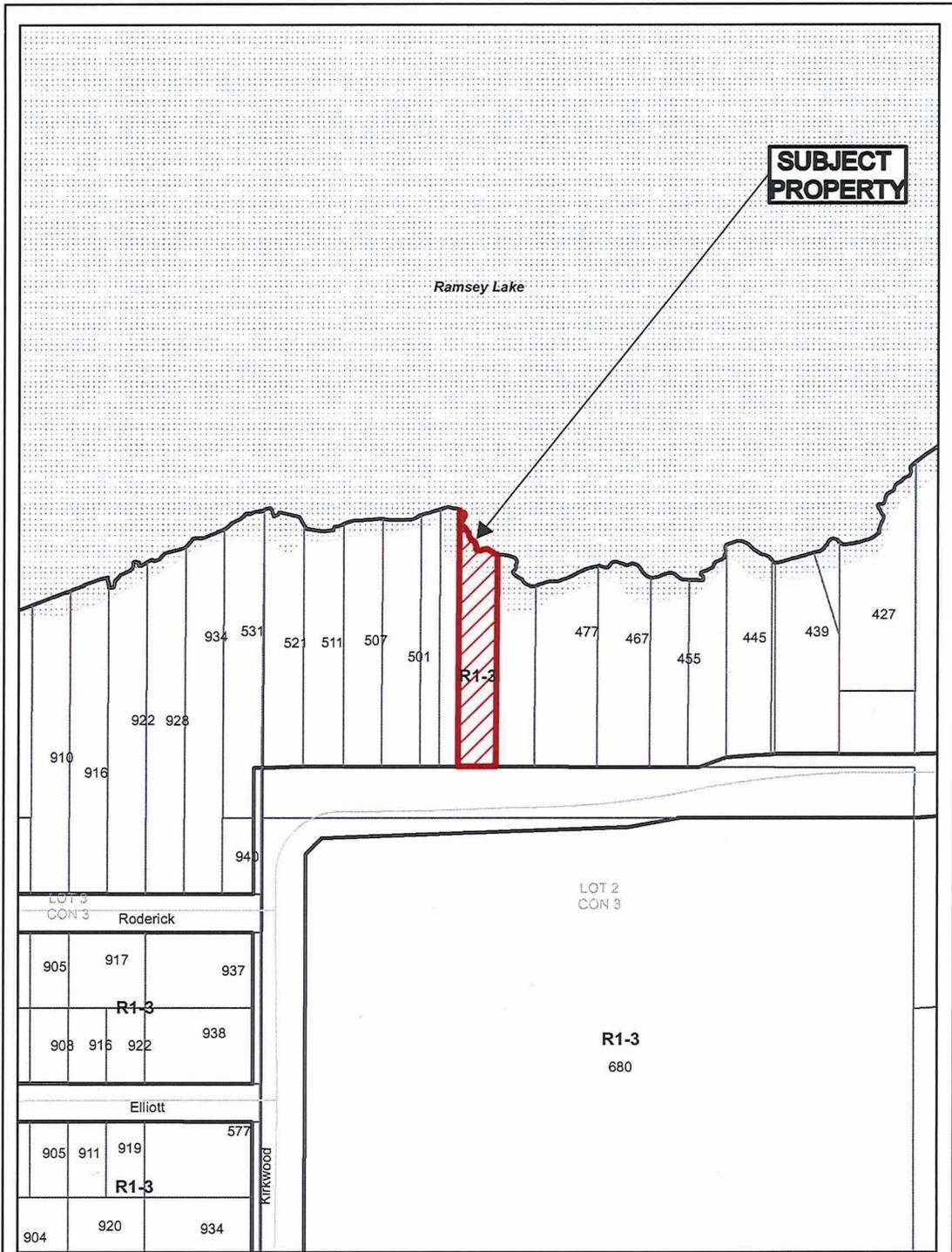
SCHEDULE A

	Single Detached Dwelling	Attached Deck	Sauna/ Attached Deck	Retaining Wall (W)	Retaining Wall (E)
<i>Ground Floor Area</i>	299.5m ²	48.6m ²	127m ²	23.64m ²	3m ²
<i>Gross Floor Area</i>	599m ²	48.6m ²	127m ²	n/a	n/a
<i>No of storeys</i>	2	n/a	1-storey	n/a	n/a
<i>Width</i>	18.2m	3.29m	9.39m	0.3m	0.3m
<i>Length</i>	26.5m	14.85m	17.1m	78.8m	10.0m
<i>Height</i>	7.0m	n/a	3.04m	2.5m max	1.5m

10)

	Single Detached Dwelling	Attached Deck	Sauna/Attached Deck	Retaining Wall (W)	Retaining Wall (E)
<i>Front (Street)</i>	36.85m	66.6m	78.79m	0.0m	36.85m
<i>Rear (Shoreline)</i>	21.0m	17.7m	2.86m	36.0m	37.91m
<i>Side (W)</i>	2.65m	2.65m	1.28m	0.0m	22.43m
<i>Side (E)</i>	1.99m	5.34m	12.18m	22.85m	0.42m

A0097/2023



Application for Minor Variance or Permission



Subject Property being
 PINs 73581-0205 and 73581-0218,
 Parcels 2484 and 23825 SEC SES,
 Lot 10 and Part Lot 11, Plan M-38,
 Part Lot 2, Concession 3, Township of McKim,
 491 Kirkwood Drive, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 IPZ 3

A0097/2023
 Date: 2023 07 31

SKETCH FOR MINOR VARIANCE APPLICATION
 491 KIRKWOOD DRIVE, SUDBURY
 TULLOCH GEOMATICS INC., O.L.S.
 2023

2m 0 2 10m
 SCALE 1 : 250

CAUTION:
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE
 INDICATED IN THE TITLE BLOCK.

METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048.

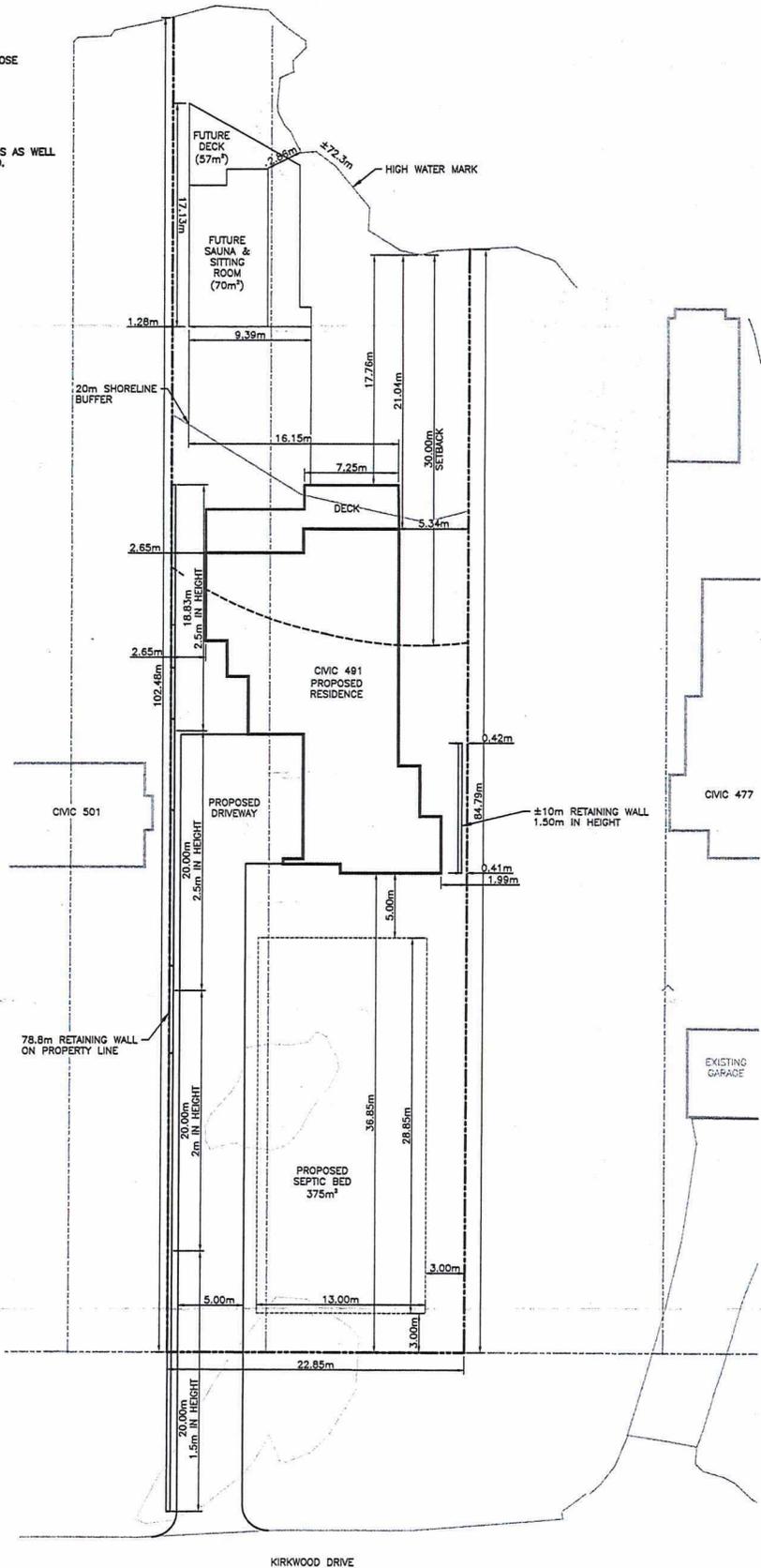
NOTE:
 THIS SKETCH HAS BEEN COMPILED FROM TULLOCH GEOMATICS INC. SURVEY RECORDS AS WELL
 AS ACTUAL SURVEY. BOUNDARIES AND DIMENSIONS SHOWN HAVE NOT BEEN VERIFIED.

SITE STATISTICS:

LOT AREA & COVERAGE:
 LOT AREA = 2138.0m²
 LOT COVERAGE = 475.1m²
 LOT COVERAGE PERCENTAGE = 22.2%

SHORELINE BUFFER:
 20m SHORELINE BUFFER AREA = ±618m²
 20m SHORELINE AREA COVERAGE = ±138m²
 20m SHORELINE BUFFER COVERAGE PERCENTAGE = 22.3%

STRUCTURE AREAS:
 PROPOSED DWELLING = 299.5m²
 PROPOSED SAUNA & SITTING ROOM = 70.0m²
 PROPOSED DECK (DWELLING) = 48.6m²
 PROPOSED DECK (SAUNA) = 57.0m²



A0097/2023
 sketch 2

THE REPRODUCTION, ALTERATION, OR USE OF THIS SKETCH IN
 WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF
 TULLOCH GEOMATICS INC., O.L.S. IS STRICTLY PROHIBITED. 2023.

	TULLOCH GEOMATICS INC.	
	1942 REGENT ST. T.	F.
	SUDBURY, ON	
	P3E 5V5	
DRAWN BY: NM	FILE: 222823	



491 Kirkwood Dr, Sudbury, P3E6J5



Owner Name

AJUEZE, ISIBHAKHOME; AJUEZE, PETER



Last Sale

\$435,000

Mar 31, 2015



Lot Size

1,440 m²

Area

225 m

Perimeter

View More Details

Legal Description

PCL 2484 SEC SES; LT 10 PL M38 MCKIM; GREATER SUDBURY

A009712023
sketch 3



91 Kirkwood Drive, Sudbury



Owner Name

AJUEZE, ISIBHAKHOME; AJUEZE, PETER



Last Sale

\$435,000

Mar 31, 2015



Lot Size

457 m²

Area

209 m

Perimeter

View Requirements

Legal Description

CL 23825 SEC SES. LT 11 PL M38 MCKIN1 EXCEPT THE WEST 1/2 OF LOT; GREATER SUDBURY

A009712023
Sketch 4

Amendment



Box 6000, Station A1 200 Lady Street
Sudbury ON P2A 5H7
Tel: (705) 671-2419, Ext. 4275/4345
Fax: (705) 670-2200

REVISED
Office Use Only
2023.01.01
A0008/2023
C.D.P. AREA
YES NO
C.D.P. AREA
YES NO

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$200.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.3.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act, R.S.O. 1990, c.P. 13 for relief, as described in the application, from the By-Law, as amended:

Registered Owner(s) Daniel Legault Michele Legault
Mailing Address 846 Gravel Dr
City Hammer, On Postal Code P3P 1R8 Fax Phone _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent Michele Legault Email _____
Mailing Address _____
1076 Jeanne D'Arc St, Val Therese
City Hammer, On Postal Code P3P 1R8 Fax Phone _____
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Name and mailing addresses of any mortgagees, holders of charges or other encumbrances (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application)

Name: RBC Hammer Branch
Mailing Address: 5014 Highway 24 North Unit 3
City: HAMMER Postal Code: P3P 0E8

4) Current Official Plan designation _____ Current Zoning By-law designation: R-1

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Rear Yard Requirement	7.5 m	7.5 m <u>1.74 m</u>	0.00 <u>-5.76 m</u>
Front yard Requirement <u>Setback</u>	6.0	6.48 m	0.52

Cancelled ->

b) Is there an easement? Yes No If Yes, size of easement _____ (m)

c) Description of Proposal: garage 1.74m
The Conservation Authority's requirement in order to meet

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law
requires that the garage be away from the floodplain by 1m.

8) Legal Description (include any abutting property registered under the same ownership)

#WV# 73504-1921 Township: GREATER ST
 Lot No. 50 Concession No. 2 Parcel(s) 25179 SEC SES SHO
 Subdivision Plan No. M537 Lot P/T5 Reference Plan No. Part(s)
 Municipal Address or Street(s) 1076 Jeanne D'Arc St, Val Theresu

9) Date of acquisition of subject land Sept. 15, 2021

10) Dimensions of land affected

Frontage 18.29 (m) Depth 31.86 (m) Area 579.36 (m²) Width of Street (m)

11) Particulars of all buildings

	Existing	Proposed
Ground Floor Area:	(m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

12) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines)

	Existing	Proposed
Front:	(m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

13) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated flood water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and stacking facilities to be used.

14) Date(s) of construction of all buildings and structures on the subject land

open based on information received 09/15/2021

15) Existing use(s) of the subject property and length of time if they have continued.

Use(s) residential vacant Length of time

16) Proposed use(s) of the subject property.

Same as #13 or

17) What is the number of dwelling units on the property?

1

18) If this application is approved, would any existing dwelling units be legalized?

es No

If "yes", how many?

19) Existing uses of abutting properties:

residential

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permit/etc? Yes No

If "yes", indicate the application number(s) _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): B0118/2022

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s) _____

21) Is this property located within an area subject to the Greater Sault Ste Marie Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

aw Daniel & Michele Legault (please print all names) the registered owner(s) of the property described as 1076 Jeanne D'Arc St, Hammer, On, P3P 1R8 in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application.
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 7.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of the application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my stakeholders.
- c) in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request.
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application.

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application.
- f) acknowledge that, in the event of a third party appeal of this application (where applicable), to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing.

Appointment of Authorized Agent

g) appoint and authorize Daniel Legault Michele Legault (please print name of Agent) to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, signing any consents, and providing any approvals or consents and ratify, confirm and accept as my/our own, the bids, representations, replies and commitments made by the agent on my/our behalf.

Dated this May 24 day of _____, 2023

[Signature]
Witness

[Signature] [Signature]
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name DANIEL Legault, Michele Legault
I have authority to bind the Corporation

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

We, Daniel & Michele Legault (please print all names) the registered owner(s) or authorized agent(s) of the property described as 1776 Terrace D'Arc St Hammer On, P3P 151 in the City of Greater Sudbury

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 24 day of May 2023

[Signature]
Commissioner of Statute
I have this day signed a Certificate for taking Affidavits in and for the Courts of Ontario, while within the Territorial Jurisdiction of Sudbury, and have appeared as a Deputy Clerk for the City of Greater Sudbury.

[Signature] Daniel Legault
signature of Owner(s) or Spouse/Partner or Authorized Agent(s) (Where a Corporation)

Print Name: Michele Legault, Daniel Legault
I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Form with fields: Date of Receipt (May 24/23), Hearing Date (Jun 22/23), Received By (S. Pinkerton), Zoning Designation (R15), Resubmission (Yes/No), Previous File Number(s) (See below), Previous Hearing Date, Notes (BU18/21/22 (Jan 30/23), resubmitted, July 21, 2023, Revised Hearing Date: Aug 17/23)

From: Michele [REDACTED]
Sent: Wednesday, July 19, 2023 4:13 PM
To: Phillipa Cryderman [REDACTED]
Subject: Michele & Daniel Legault 1076 Jeanne D'Arc St

Hi Phillipa

I've included the sketch for the minor variance amendment for 1076 Jeanne D'Arc St, Hanmer.

Please let us know if further modifications are required.

We'd like to send this to the city tomorrow if possible.

Thank you for your time

Michele Legault

 Amended Minor Variance Application .pdf
98K

Michele [REDACTED] Fri, Jul 21, 2023 at 11:41 AM
To: Phillipa Cryderman [REDACTED]
Cc: Melanie Venne [REDACTED]

Thank you for getting back to me!
[Quoted text hidden]

A0068|2023

RE: Michele & Daniel Legault 1076 Jeanne D'Arc St (File 46658)

2 messages

Phillipa Cryderman <[REDACTED]>

Fri, Jul 21, 2023
at 10:27 AM

To: Michele <[REDACTED]>

Cc: Melanie Venne <[REDACTED]>

Hi Michele,

My apologies, I was out of the office yesterday, and am in the field most of the day today.

I can confirm that based on the information provided the front yard setback of 7.0 m appears to be sufficient to provide the required 1 m apron between the flood plain and the garage foundation.

As discussed previously, changes to the grading plan dated May 19, 2023 will be required to depict the post-development floodplain through the proposed side yard swales and ensure the existing and proposed houses have a minimum of 2 m between the foundation footprint and the floodplain.

Regards,

Phillipa

Phillipa Cryderman, P.Eng.

Regulations and Planning Officer

Conservation Sudbury- Nickel District Conservation Authority

401 - 199 Larch Street

Sudbury, Ontario P3E 5P9

Tel: [REDACTED]

A0068/2023

May 16/23

Re: Daniel and Michele Legault House plans.

This letter is to inform direct neighbors regarding plans for our house construction on a new lot being severed between 1076 and 1078 Jeanne D'Arc St, Hanmer. This letter will be given to the city when applying for 2 minor variances.

The 2 minor variances are 0.3048m less than the city's requirement for the back yard and 0.6096m less for the driveway. Therefore the driveway would be 5.4864m and the back yard would be 7.2758m.

We are asking the above mentioned neighbor to sign this letter confirming that there are no objections.

Mr and Mrs Lemega

Steve Lemega STEVE LEMEGA
Anne Lemega ANNE LEMEGA

See attached lot plan

A0068/2023

May 16/23

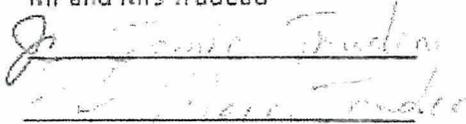
Re: Daniel and Michele Legault House plans.

This letter is to inform direct neighbors regarding plans for our house construction on a new lot being severed between 1076 and 1246 Jeanne D'Arc St, Hanmer. Our backyard neighbor is at 4344 Hector Cresc. This letter will be given to the city when applying for 2 minor variances.

The 2 minor variances are 0.3048m less than the city's requirement for the back yard and 0.6096m less for the driveway. Therefore the driveway would be 5.4864m and the back yard would be 7.2758m.

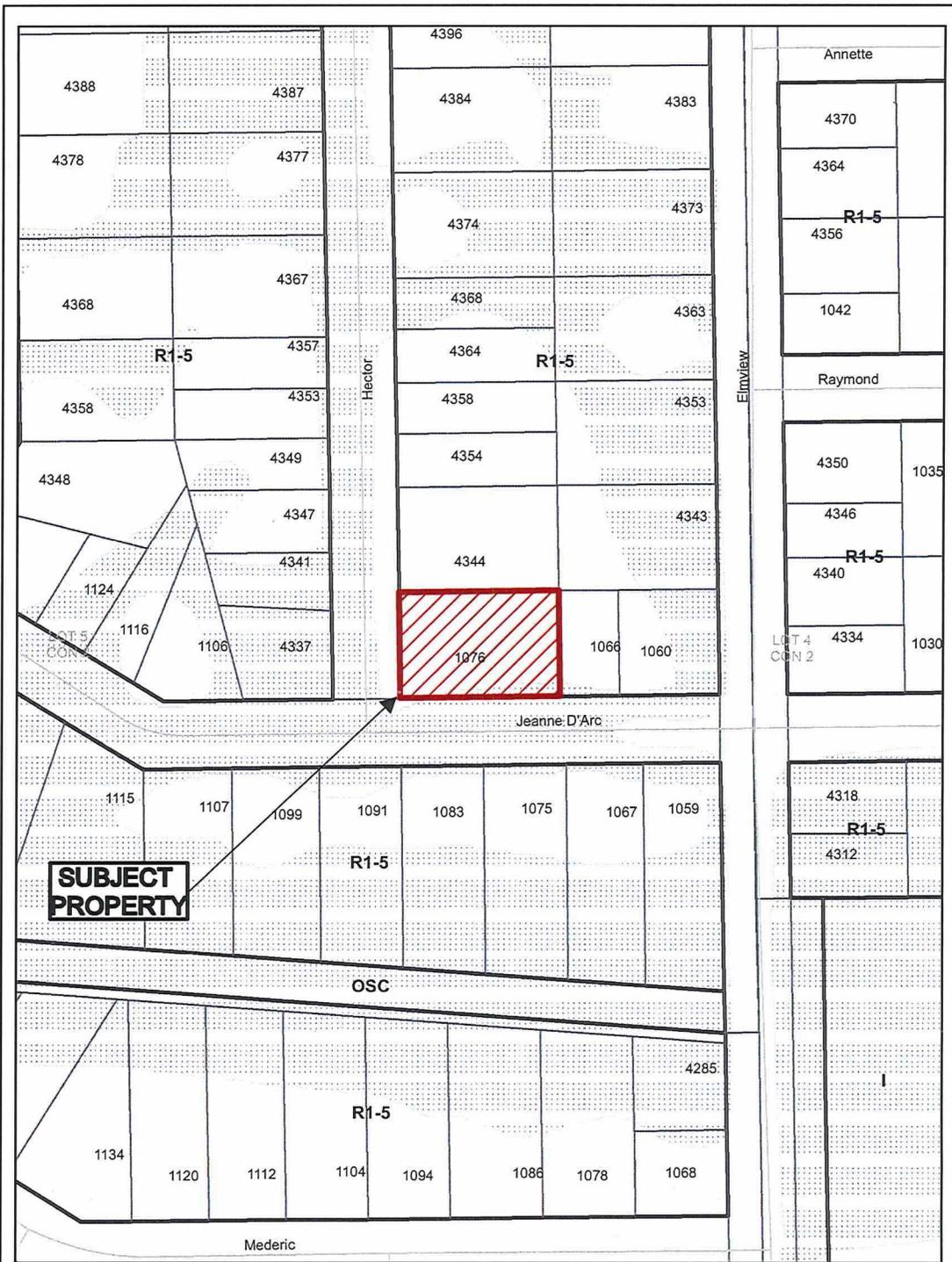
We are asking the above mentioned neighbor to sign this letter confirming that there are no objections.

Mr and Mrs Trudeau

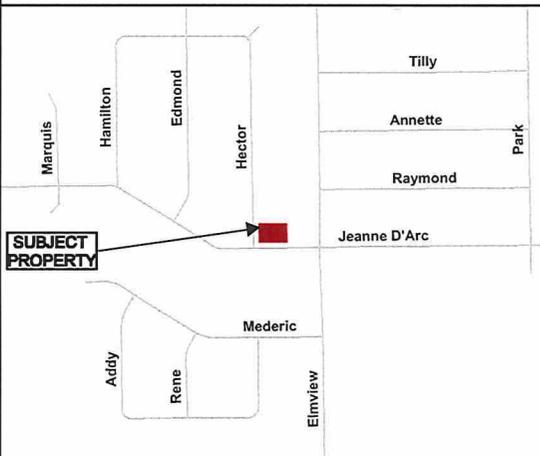
Handwritten signatures of Daniel and Michele Trudeau, with horizontal lines drawn under each signature.

See attached lot plan

A0068/2023



SUBJECT PROPERTY



Application for Minor Variance or Permission

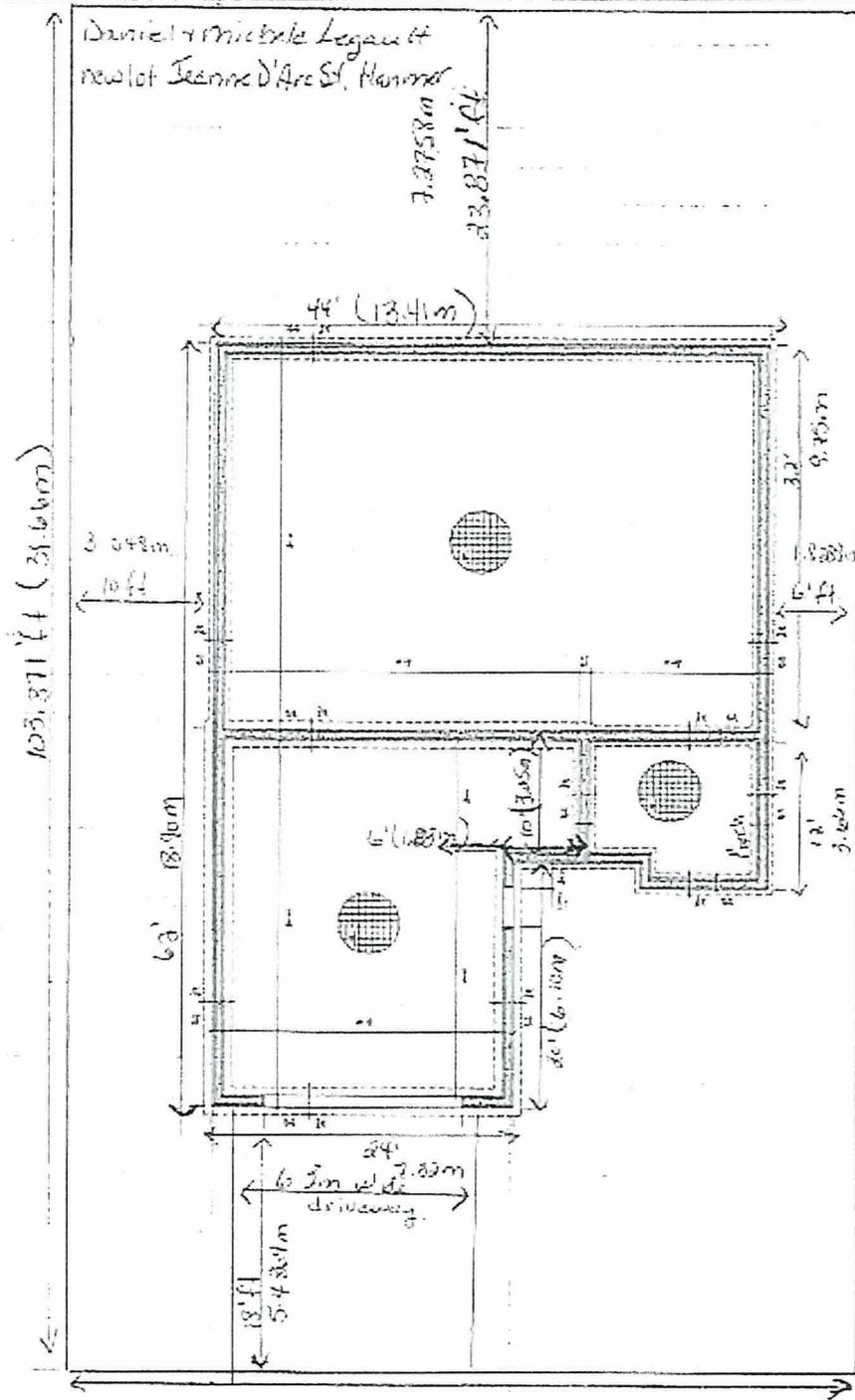


Subject Property being
 PIN 73504-1921,
 Parcel 26178 SEC SES SRO,
 Lot 50, Plan M-537,
 subject to LT118794 and LT157498,
 Lot 5, Concession 2, Township of Hanmer,
 1076 Jeanne D'Arc Street, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0068/2023
 Date: 2023 06 05

Lotissement 501810000



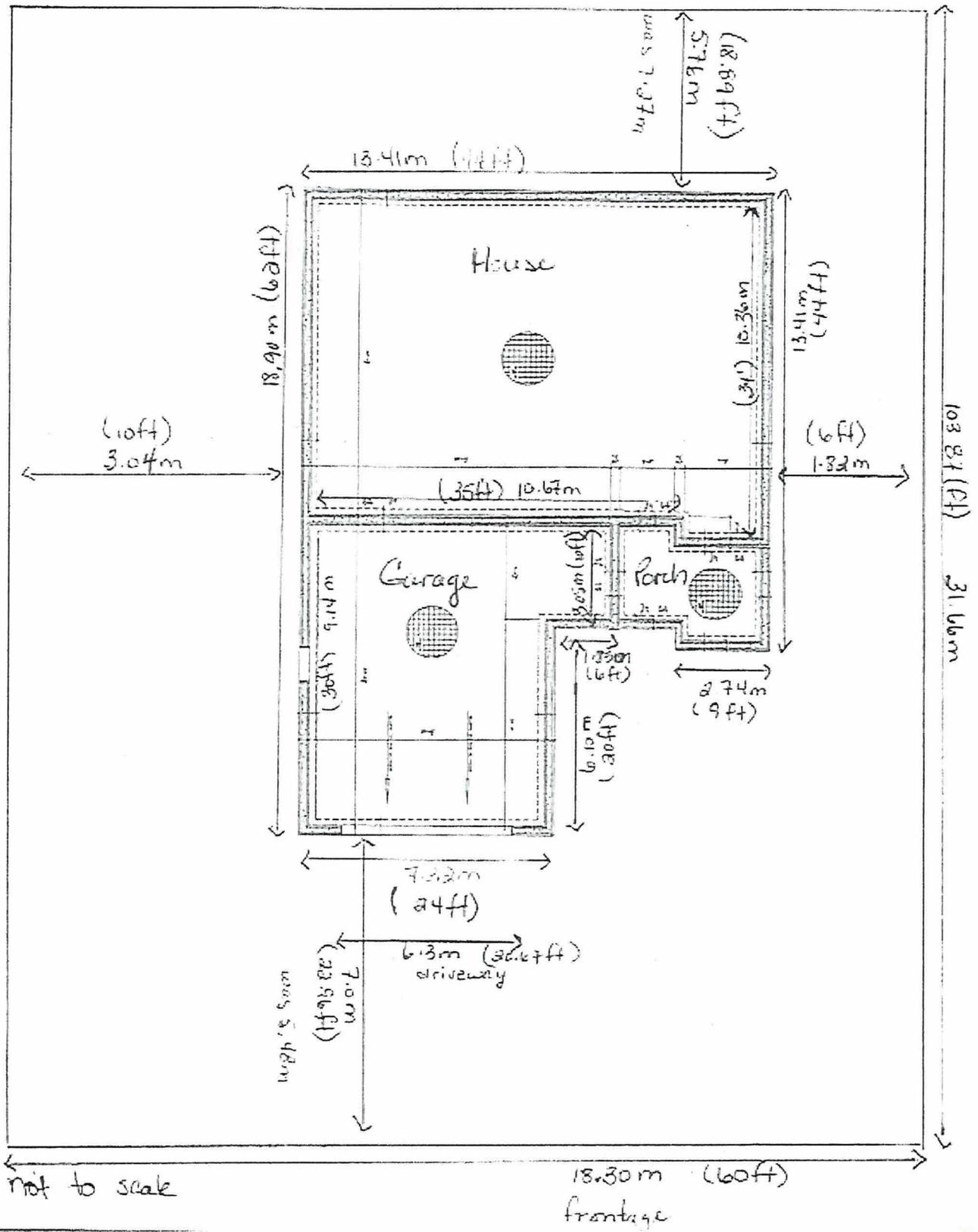
not 100% to scale

60 ft (frontage) 18.288 m

REVISED
A0068/2023
sketch 2

not to scale
 Daniel + Michèle Legault
 1076 Jeanne D'Arc
 new lot creation new house

July 19 2023
 Amended minor variance application



not to scale

REVISED
 A0068/2023
 sketch 3

Revised



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0075/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Nicola Alkhoury Melissa Alkhoury Email: [redacted]
Mailing Address: 10 Wilfred Ave Unit 2 Home: [redacted]
City: Garrison Postal Code: P3L1A9 Fax Phone: [redacted]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: MELISSA ALKHOURY Email: [redacted]
Mailing Address: 10 Wilfred Ave Unit 2 Home: [redacted]
City: Garrison ON Postal Code: P3L1A9 Fax Phone: [redacted]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application). N/A - no mortgage on 170 Birch St vacant land

Name: _____
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: m50 Current Zoning By-law designation: C2-112

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
lot Area	617	611	6
NO. 1 REAR yard setback	2.8 7.5 m ²	1.6	5.9 m ²
density	65	65.6	0.5
landscape open space	3.0	1.6	1.4

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
application to suit construction of new 4plex

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Sidewalk and frontage provided to city at original rezoning application C2-112

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73495-0352 Township: GARSON
 Lot No.: 5 Concession No.: 2 Parcel(s): 4555
 Subdivision Plan No.: _____ Lot: 12 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 170 BIRCH ST GARSON

7) Date of acquisition of subject land. 2018.

8) Dimensions of land affected.
 Frontage ^{14.86 N.A.} 25.95 (m) Depth 30.206 (m) Area 611 (m²) Width of Street (m)

9) Particulars of all buildings:	Existing	Proposed
Ground Floor Area:	(m ²) <u>238</u>	(m ²) <u>238</u>
Gross Floor Area:	(m ²) <u>462</u>	(m ²) <u>462</u>
No. of storeys:	<u>2</u>	<u>2</u>
Width:	(m) <u>14.32</u>	(m) <u>14.32</u>
Length:	(m) <u>17.68</u>	(m) <u>17.68</u>
Height:	(m) <u>7.62</u>	(m) <u>7.62</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).	Existing	Proposed
Front:	(m) <u>13.3 N.A.</u>	(m) <u>13.3 N.A.</u>
Rear:	(m) <u>12.49</u>	(m) <u>1.6 + N.A.</u>
Side:	(m) <u>1.8</u>	(m) <u>1.8</u>
Side:	(m) <u>3.4</u>	(m) <u>3.4</u>

11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input checked="" type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.
tbd

13) Existing use(s) of the subject property and length of time it / they have continued.
 Use(s): vacant Length of time: _____

14) Proposed use(s) of the subject property.
 Same as #13 or, multi-use residential

15) What is the number of dwelling units on the property? proposed 4, currently none

16) If this application is approved, would any existing dwelling units be legalized? Yes No
 If "yes", how many? _____

17) Existing uses of abutting properties: residential, multi-use

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): A108/17
or, describe briefly, to rezone for proposed use as duplex multi-use residential

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Nicola Alkhoury, Melissa Alkhoury (please print all names), the registered owner(s) of the property described as 170 BIRCH ST GARSON ON PSLIAA in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize MELISSA ALKHOURY (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

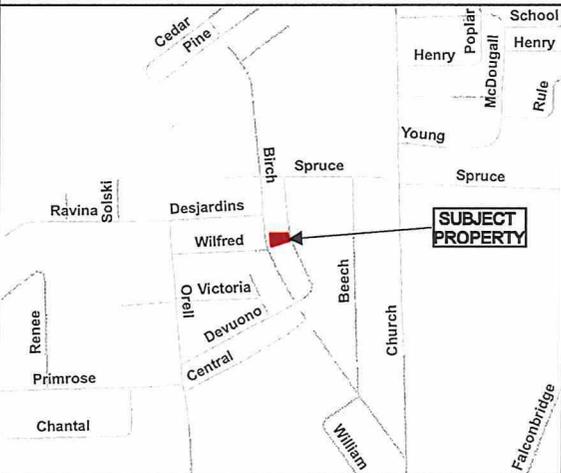
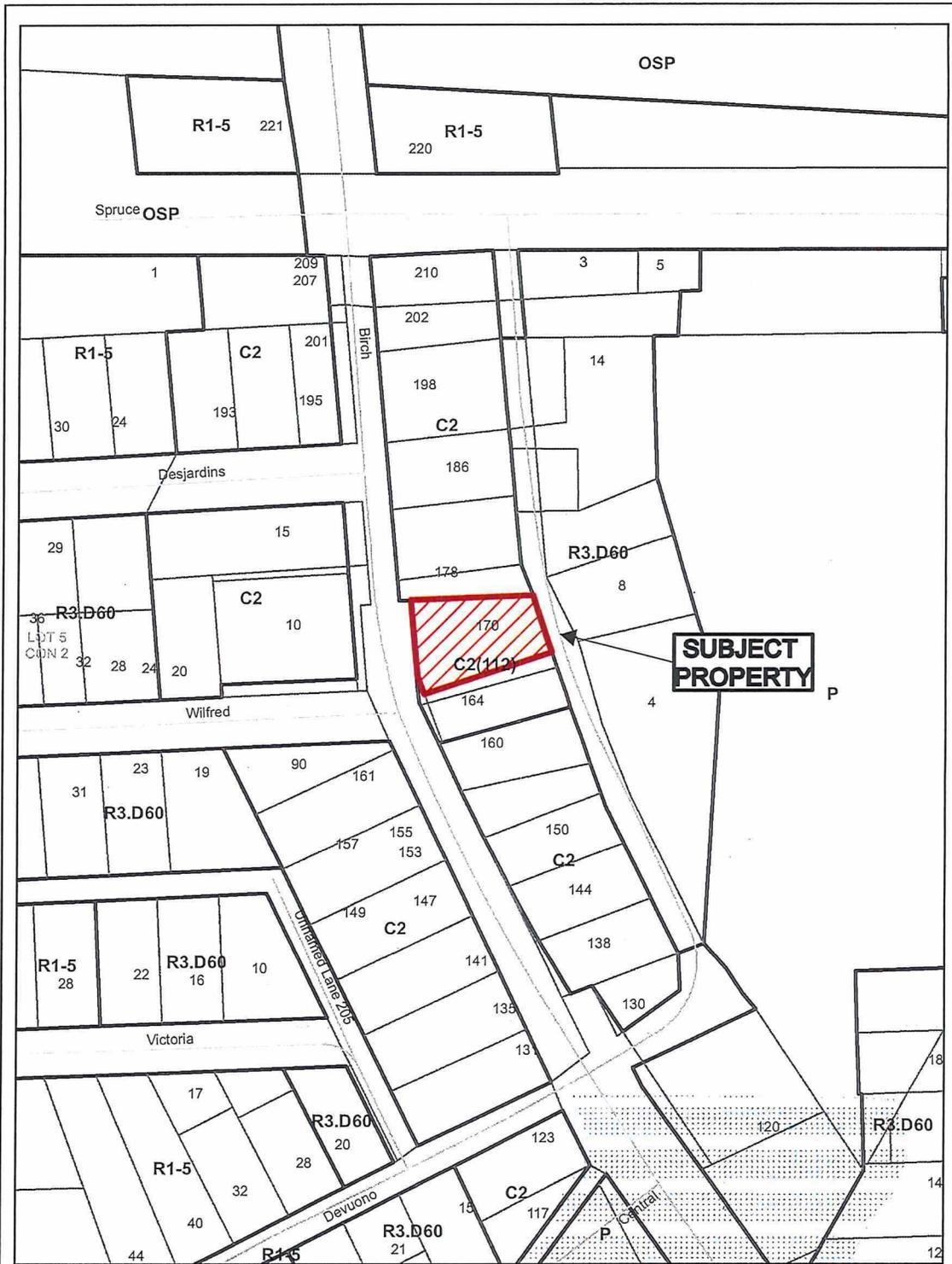
Dated this 24th day of MAY, 2023

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Nicola Alkhoury MELISSA ALKHOURY
*I have authority to bind the Corporation

A00751/2023



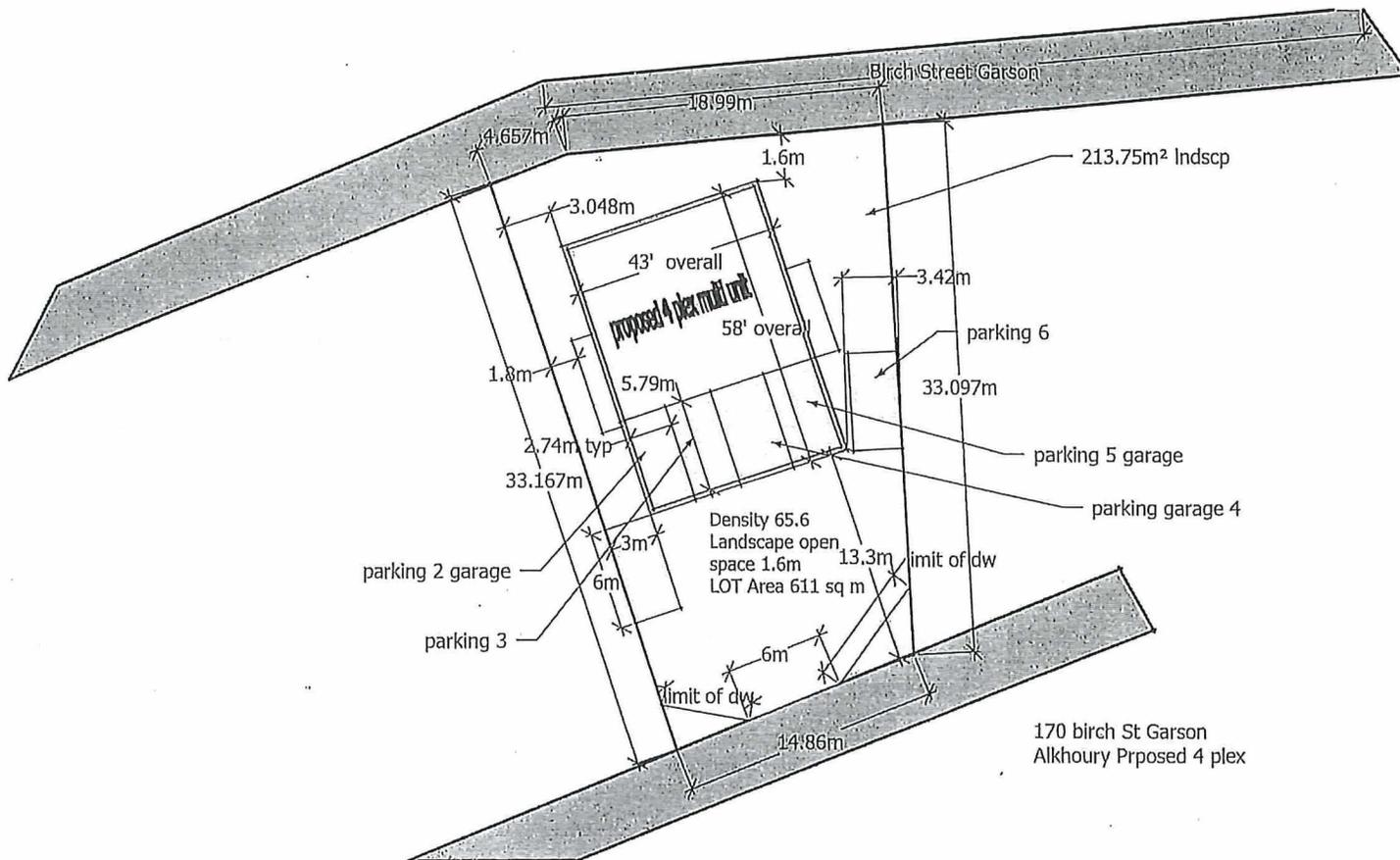
Application for Minor Variance or Permission



Subject Property being
 PIN 73495-1318,
 Part Lot 12, Plan M-50,
 being Part 1, Plan 53R-21061,
 Part Lot 5, Concession 2,
 Township of Garson,
 170 Birch Street, Garson,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0075/2023
 Date: 2023 06 16



REVISED
 A0075/2023
 sketch #2

Revised



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0081/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dominique Lalonde + Jennifer Edwards Email: [Redacted]
Mailing Address: 841 Dominion Dr Home Phone: [Redacted]
City: HANMER Postal Code: P3P0A6 Business Phone: [Redacted]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: Dominique Lalonde Email: [Redacted]
Mailing Address: 841 Dominion Dr Home Phone: [Redacted]
City: HANMER Postal Code: P3P0A6 Business Phone: [Redacted]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: DESJARDINS CAISSE POPULAIRE VOYAGEURS
Mailing Address: 24 AMANDA STREET
City: CONISTON, ONTARIO Postal Code: P6M 1M0

- 4) Current Official Plan designation: Parkside / Expansion Reserve Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.10.3Cii	NO MORE 30mtrs	47.40mtr	17.40mtr
	NO MORE 30mtr	45.30mtr	15.30mtr

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Permanently situate a 40x11ft mobile home further than the 30mtr rule. Install a septic system south of new dwelling as water point must be a minimum 100 ft from field bed

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: We have a very big property and would like to situate it near garage

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: HANMER
 Lot No.: 4 & 8 Concession No.: 1 Parcel(s): 2309
~~Subdivision Plan No. S21672/5521589 of Pt 1 + 3~~ Reference Plan No.: SRI672/ Part(s): PT 1
 Municipal Address or Street(s): 841 Dominion Dr 5SR12589 1-3

7) Date of acquisition of subject land. original property Approx 15yrs ago
New parcel behind original property JAN 2022

8) Dimensions of land affected.

Frontage 76.344 (m) Depth 1609.37 (m) Area 122309.84 (m²) Width of Street (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:	<u>See Schedule</u>	<u>SAME</u>
Width:	(m)	(m)
Length:	(m)	(m)
Height:	<u>A</u> <u>Attached</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m)	(m)
Rear:	<u>See Schedule B</u>	<u>SAME</u>
Side:	(m)	(m)
Side:	<u>Attached</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1992 Prestige Modular Home 1998 40x11 mobile HOME
GARAGE DATE UNKNOWN

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Personal / Farming Length of time: 16yrs

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential / Rural

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If 'Yes', indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Dominique Lalonde & Jennifer Edwards (please print all names), the registered owner(s) of the property described as 841 Dominion Dr, Hanmer Ontario P3P0A6 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
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- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
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Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
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Appointment of Authorized Agent

g) appoint and authorize Dominique Lalonde (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 23rd day of JUNE, 2023

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Dominique Lalonde JENNIFER EDWARDS.

*I have authority to bind the Corporation

A0081/2023

Schedule A

Section 9

Particulars of buildings	Existing	Proposed
		MAIN HOUSE
Ground Floor Area	174.0074 m ²	61.6881 m ²
Gross Floor Area		
No of stories	1	1
width	10.9728 m	7.602484 m
Length	20.045 m	12.192 m
Height:	3.962 m	3.962 m
	garage	
Ground Floor Area	84.179445 m ²	
Gross Floor Area		
No of stories	1	
width 10.9728	6.95 m	
Length	12.50 m	
Height	6.0096 m	
	Shed 1	
Ground Floor Area	9.29 m ²	
Gross Floor Area		
No of stories	1	
width	3.048 m	
Length	3.048 m	
Height	4.267	
	Sited 2	
Ground Floor Area		
Gross Floor Area	9.29 m ²	
No of stories	1	
width	3.048 m	
Length	3.048 m	
Height	2.438	

Schedule B

Section 10

Location of All buildings and structures on or proposed for the subject land.

Main Dwelling

Front 32.75m
Rear 40.25 - 1 mile Deep
Side 15mtr
Side. 35.75mtr

garage

Front 38mtr
Rear ~~1.25mtr~~ 50.5 - 1 mile deep.
Side 1.25mtr
Side 68mtr.

Shed I

Front 15mtr
Rear 18.5 - 1 mile deep m
Side 11.750m
Side 61.25m

Particulars of Buildings	Existing	Proposed
--------------------------	----------	----------

	SAUNA SAUNA	
Ground Floor Area	8.919 m ²	
Gross Floor Area		
No of Stories	1	
width	2.438 m	
Height	3.658 3.658 m	
Length	3.658 m	

Kiosk (Garden)		
----------------	--	--

Ground Floor Area	26 4387 m ²	
Gross Floor Area		
No of Stories	1	
width	2.47 m	
Height	3.048 m	
Length.	8 412 m	

Sted 2

Front 42mtr
Rear 45 - 1 mile deep at
Side ~~74mtrs~~ 2mtr
Side ~~45 - 1 mile Deep mt - 71mtrs~~

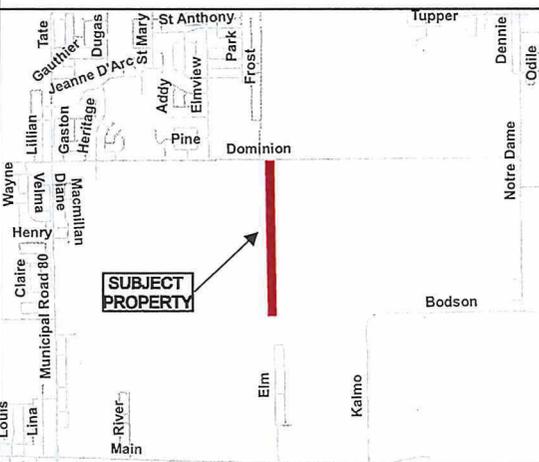
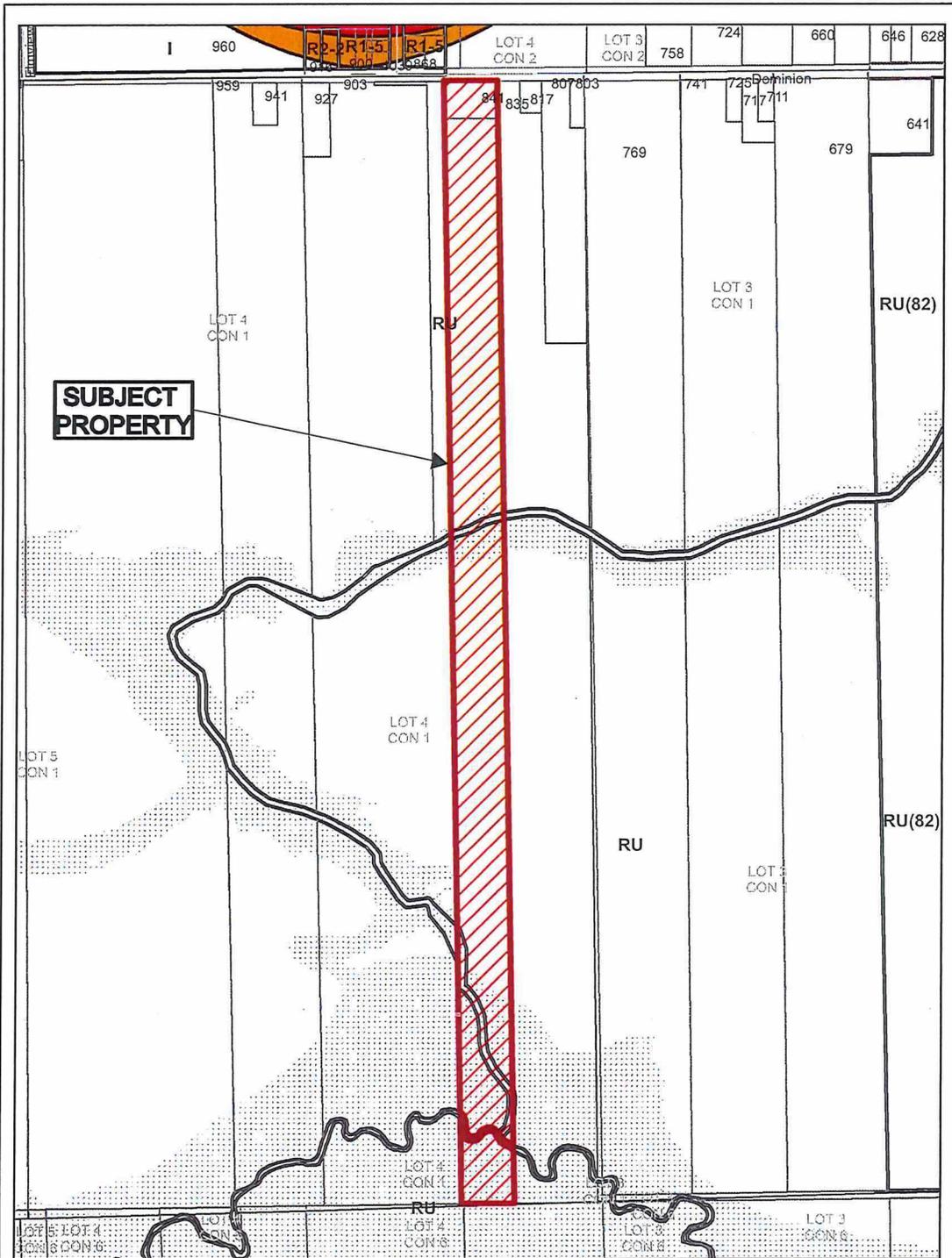
Kiosk

Front 42mtr
Rear 50.5 - 1 mile Deep
Side 10.5 m
Side 6.2 m

Proposed new dwelling

Front ~~42mtr~~ 72.5mtr
Rear ~~50.5 - 1 mile deep~~ 84.50 - 1 mile deep
West Side ~~10.5~~ 4.5mtr ~~8.40mtr~~ 8.40mtr
East Side ~~6.2mtr~~ 6.3mtr 5.9mtr

Dwelling west side to
top of Dominion Drainage Ditch 15mtrs.
as per NCA Recommendations



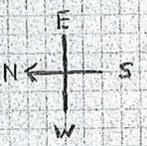
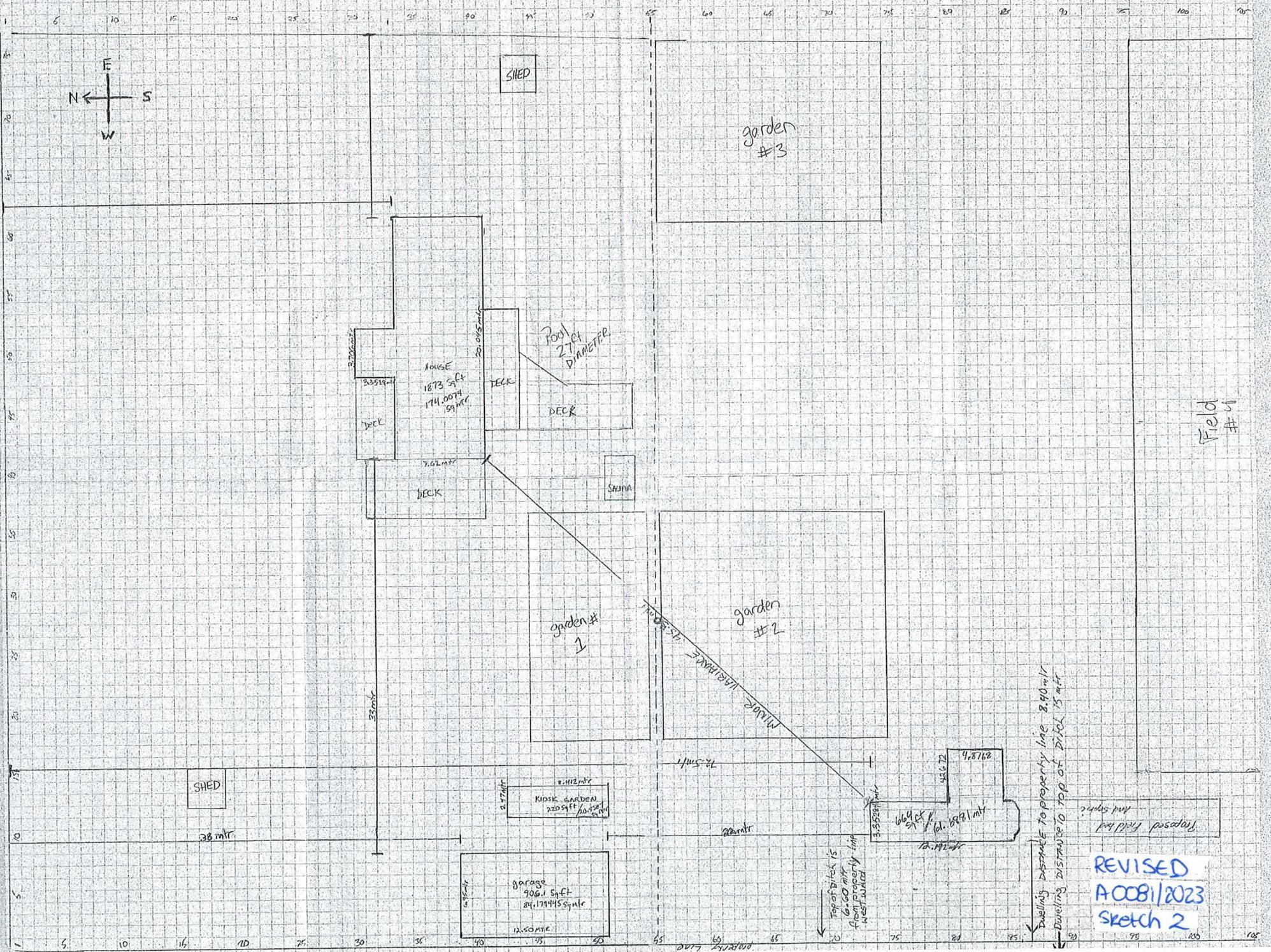
Application for Minor Variance or Permission



Subject Property being
 PINs 73504-3172 and 73504-3173, SRO,
 Part Lot 4, Concession 1,
 Part 1 on Plan SR-1672,
 Parts 1-3 on Plan 53R-21589,
 Township of Hanmer,
 841 Dominion Drive, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0081/2023
 Date: 2023 06 29



SHED

garden #3

Pool 21' DIAMETER

HOUSE
1873 sqft
174.0074 sqm

DECK

SAUNA

DECK

garden #1

garden #2

Field #4

SHED

KIOSK GARDEN
220 sqft / 20.42 sqm

Garage
906.1 sqft
84.17445 sqm

606.9 sqft
56.18971 sqm

Top of deck is
6.00 mtr
from property line
westward

Swelling distance to property line 8.90 mtr
Dwelling distance to top of pool 15 mtr

REVISED
A0081/2023
Sketch 2