



## Shed Guide

Applicant's Name	Address of Project	Date
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The following is a list of drawings/documents which are required to submit an application to obtain a building permit.

Description	Required	Received	Comments
**Plot Plan or Survey	✓		Drawn to scale and to include location of the shed and all setbacks to the property lines. <b>**Sample Plot Plan available on Website</b>
*Detailed Construction Drawings (including anchoring or tie downs)	✓		If using a pre-constructed, pre-engineered building, please provide the engineered stamped designs. <b>*Typical Drawings available on website</b>
Schedule 1 Designer Information (signed by Qualified Designer or homeowner)	✓		When using Typical Drawings package from the website, A Schedule 1 must be completed and signed by the Owner of the property.
Letter of Authorization (if applicant is not the owner of the property)	✓		Is required if you as applicant are not the Owner of the property and must be signed by the Owner of the property
Written Cost Estimate	✓		Required if you as the applicant are not the Owner of the property. This estimate should include material, labour, designer/consulting fees and HST.
Health Unit Approval	✓		Required at time of application for all properties without or only partially serviced by Municipal Sewer and Water – Please contact Public Health Sudbury & Districts for more information. 705-522-9200 ext. 398

*Please be advised that additional information may be required following a full review of your application.*

***Please be advised:***

According to the building code and the City's building by-law, if this application is incomplete, it may be either:  
a) refused since it is not complete, or  
b) accepted and processing commenced, provided the applicant acknowledges in writing that the application is incomplete and waives the time period prescribed in the building code within which the permit must be issued or refused.

**HELPFUL HINTS**

The drawing(s) you will need to upload for your application are titled as **Basic Shed** and is listed as **Shed** on the *Building Permit Resources Page* of our website. Simply select this drawing type, fill in the blanks and upload to your PRONTO account as part of your application when you are ready to apply!

The **Schedule 1: Designer Information** form can be found under **Supplementary Forms** on the *Building Permit Resources* page of our website. If you are the Property Owner, simply complete Sections A & B, & in Section D, check the third checkbox, filling the "Basis of exemption from registration and qualification line with "HOMEOWNER", Date, and Sign. Now you can upload this document to your application in PRONTO!

**NOTE: A shed is exempt from the requirement to obtain a permit provided that,**

- \*is not more than 15m<sup>2</sup> in gross area,*
- \*is not more than one storey in building height,*
- \*is not attached to a building or any other structure,*
- \*is used only for storage purposes ancillary to a principal building on the lot, and does not have plumbing.*

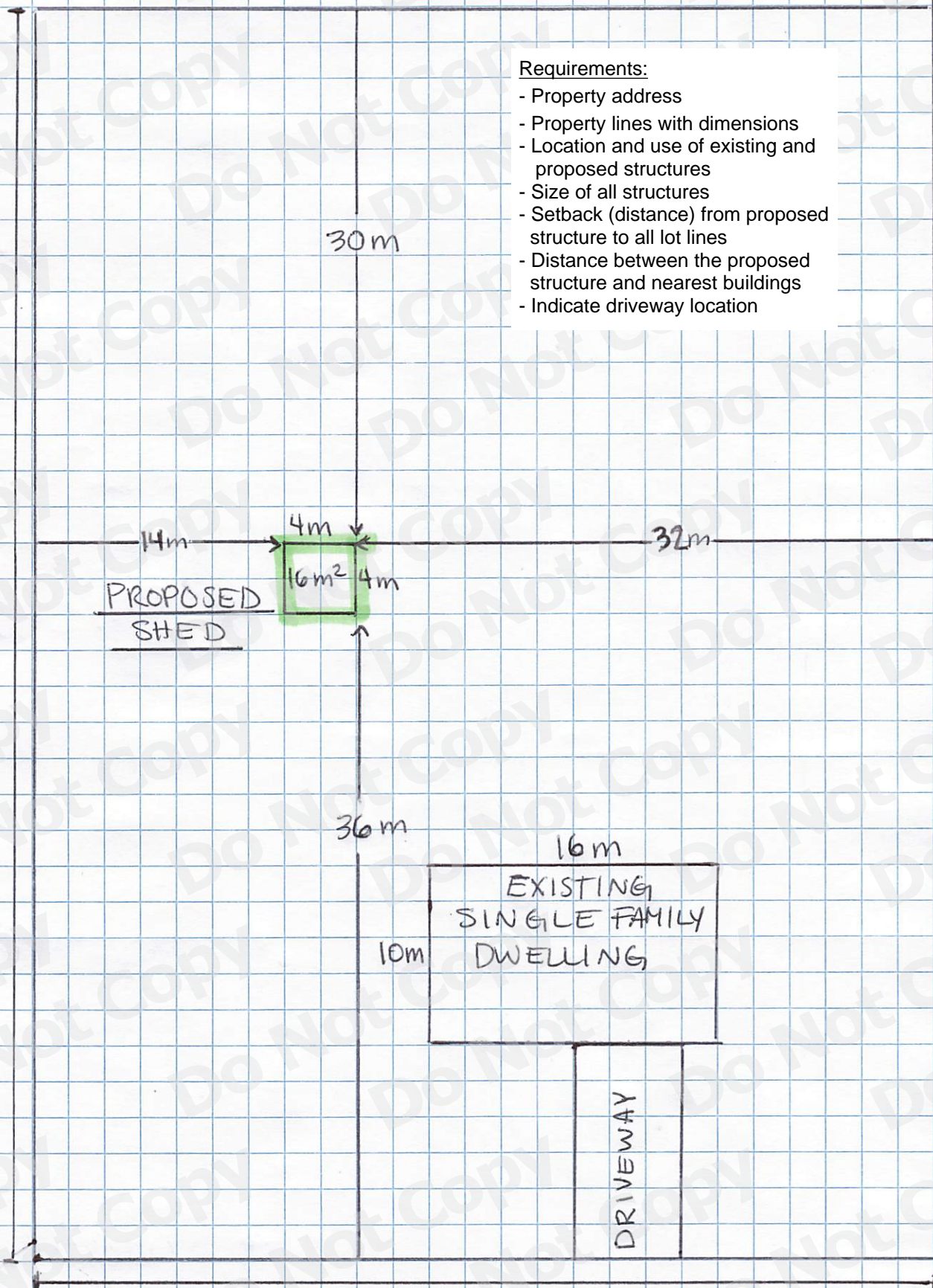
N ↑

(REAR)

Requirements:

- Property address
- Property lines with dimensions
- Location and use of existing and proposed structures
- Size of all structures
- Setback (distance) from proposed structure to all lot lines
- Distance between the proposed structure and nearest buildings
- Indicate driveway location

70 m  
(SIDE)



30 m

14 m

4 m

32 m

PROPOSED  
SHED

16 m<sup>2</sup>

36 m

16 m

EXISTING  
SINGLE FAMILY  
DWELLING

10 m

DRIVEWAY

(SIDE)

50 m  
(FRONT)

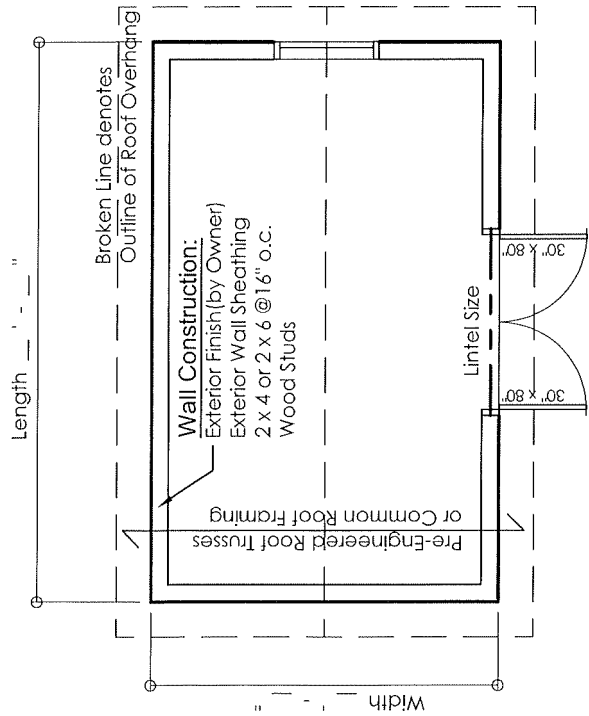
MAIN STREET

**Notes:**

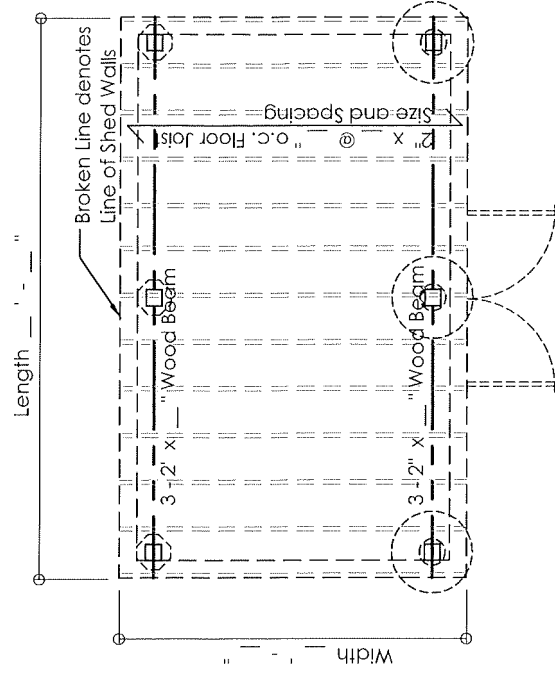
- 1) Sheds Less Than 14.86 m<sup>2</sup> (160 ft.<sup>2</sup>) Do NOT Require Building Permits but Must Conform to Zoning Setbacks.
- 2) Floor Layout may Not Appear As Built. Shed Doors and Window Locations may vary.
- 3) If Concrete Footing or Piers are used for supports of Shed, an Inspection is Required Prior to Pouring Concrete
- 4) Framing Inspection required once Roof Sheathing has been installed

**General Notes:**

- 1) All lumber to be No. 2 Spruce or better. All lumber exposed to weather conditions must be pressure treated, painted or stained.
- 2) Technical Design Data for all Pre-engineered Framing Components must be submitted at the Framing Inspection for gable end roofs.
- 3) Minimum Bearing of all joists & double lintels to be min. 1 1/2" (38mm). Minimum Bearing of all Beams & Lintels with more than 2 ply to be min. 3 1/2" (89mm).
- 4) Moisture Barrier is required between all lumber in direct contact with or within 6" (150mm) of concrete which is in direct contact with the ground.
- 5) All Concrete for Floor Slab to be 32 Mpa and shall have air entrainment of 5% to 8%.
- 6) Sheds of less than 592 ft<sup>2</sup> (55 m<sup>2</sup>) floor area and not more than 1 storey in height may be supported on wood mud sills



**Floor Plan** (not to scale)



**Floor Framing Plan** (not to scale)



**Denotes**  
6 x 6 Pressure Treated Posts on Concrete filled Sono Tubes and 28" dia. Bigfoot Pier Base



**Denotes**  
6 x 6 Pressure Treated Posts on Deck Blocks

**Note**

Also refer to other Shed Support Options on Drawing **A-3**

**NOTE:**

It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notations made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



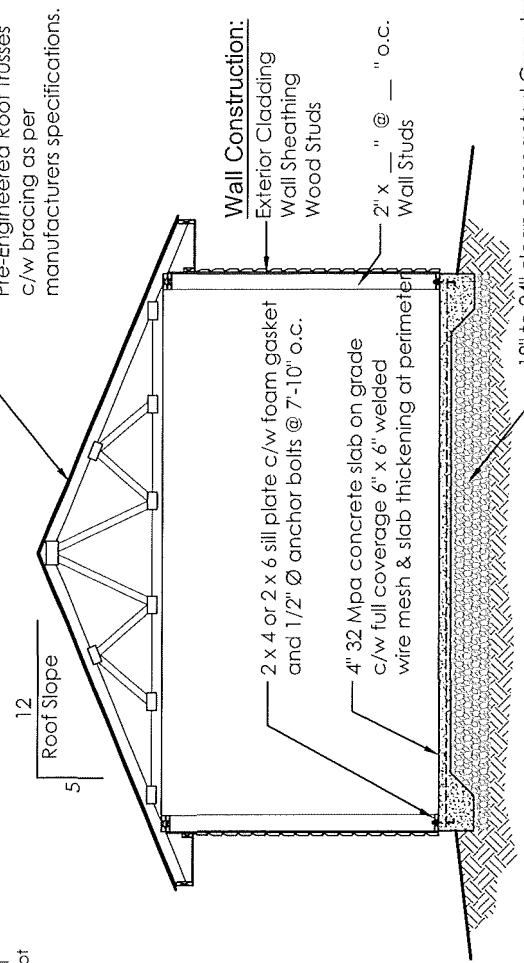
**Basic Shed**  
Floor Framing Plan  
Floor Layout (not to scale)

DRAWN BY: E.P.

DATE: 14/02/23

**A-1** (SHED)  
SHEET

**Typical Roof Construction:**  
 Asphalt shingles  
 Roof Sheathing  
 Pre-Engineered Roof Trusses  
 c/w bracing as per  
 manufacturers specifications.



**Gable Style Roof** (not to scale)  
 (Pre-Engineered Roof Trusses)

2" x \_\_\_" Ridge Board (ridge board to be min. one size larger than roof rafters)

Roof Slope 12/5

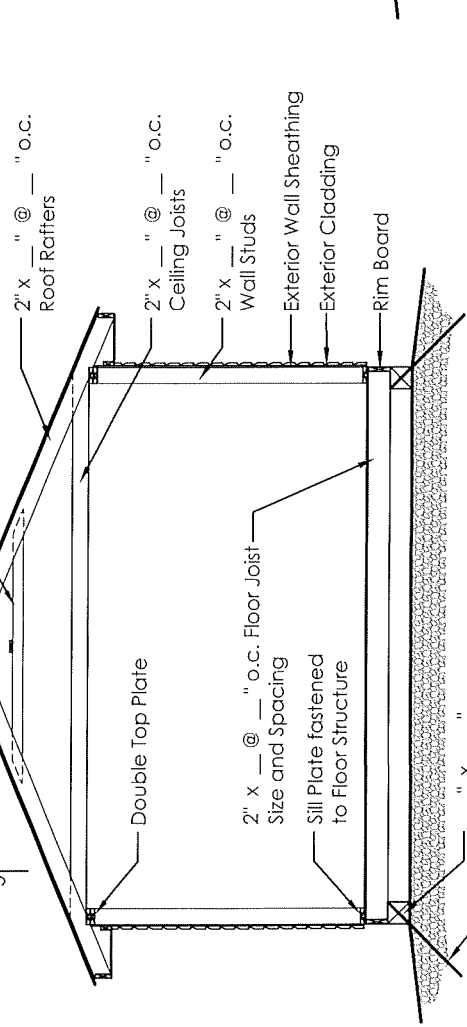
2" x 4" Collar Ties Secured to Rafters (collar ties more than 7'-10" long shall be supported near their centres by not less than 1 x 4 strapping)

2" x \_\_\_" @ \_\_\_" o.c. Roof Rafter

2" x \_\_\_" @ \_\_\_" o.c. Ceiling Joists

2" x \_\_\_" @ \_\_\_" o.c. Wall Studs

Exterior Wall Sheathing  
 Exterior Cladding  
 Rim Board



- Notes:**
- Supports for Sheds may vary:
    - Pressure Treated Lumber
    - Concrete Deck Blocks
    - Sono Tubes w/ Bases
    - Helical Piles
    - Concrete Floor Slab
  - Beam Size will be Determined by Distance between Supporting Posts

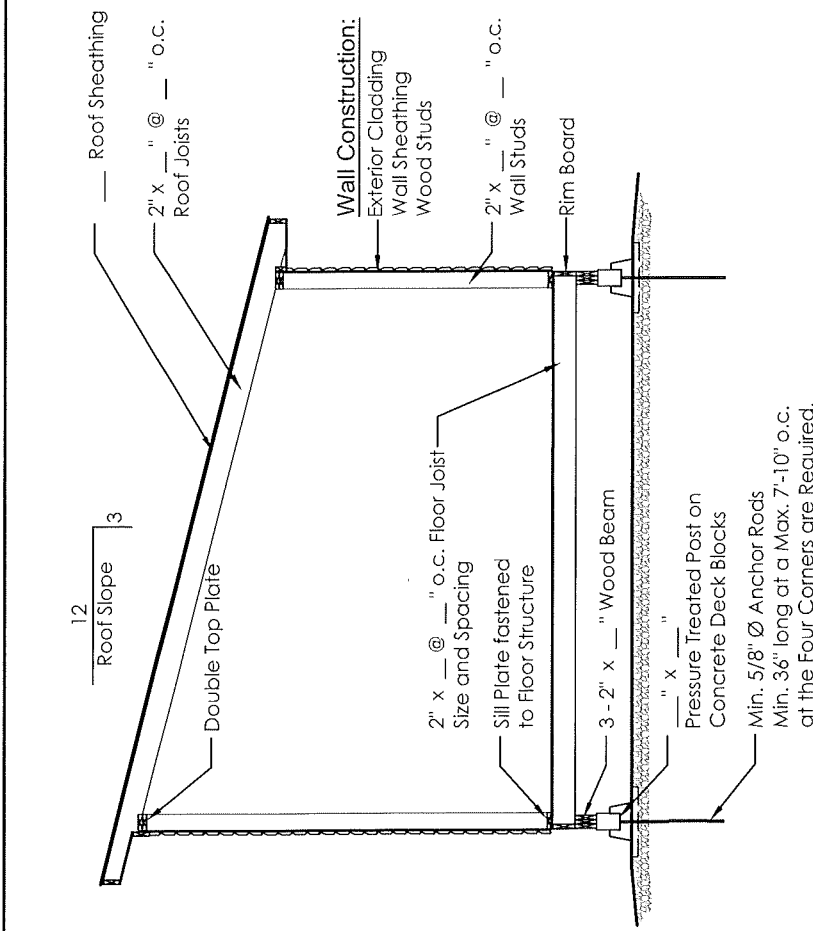
**Gable Style Roof** (not to scale)  
 (Conventional Roof Framing)

DRAWN BY: E.P.  
 DATE: 14/02-23  
 A-2 (SHED)  
 SHEET

**Basic Shed**  
 Building Cross Sections  
 Sections and Details (not to scale)

**Sudbury**  
 www.greatersudbury.ca  
 BUILDING SERVICES

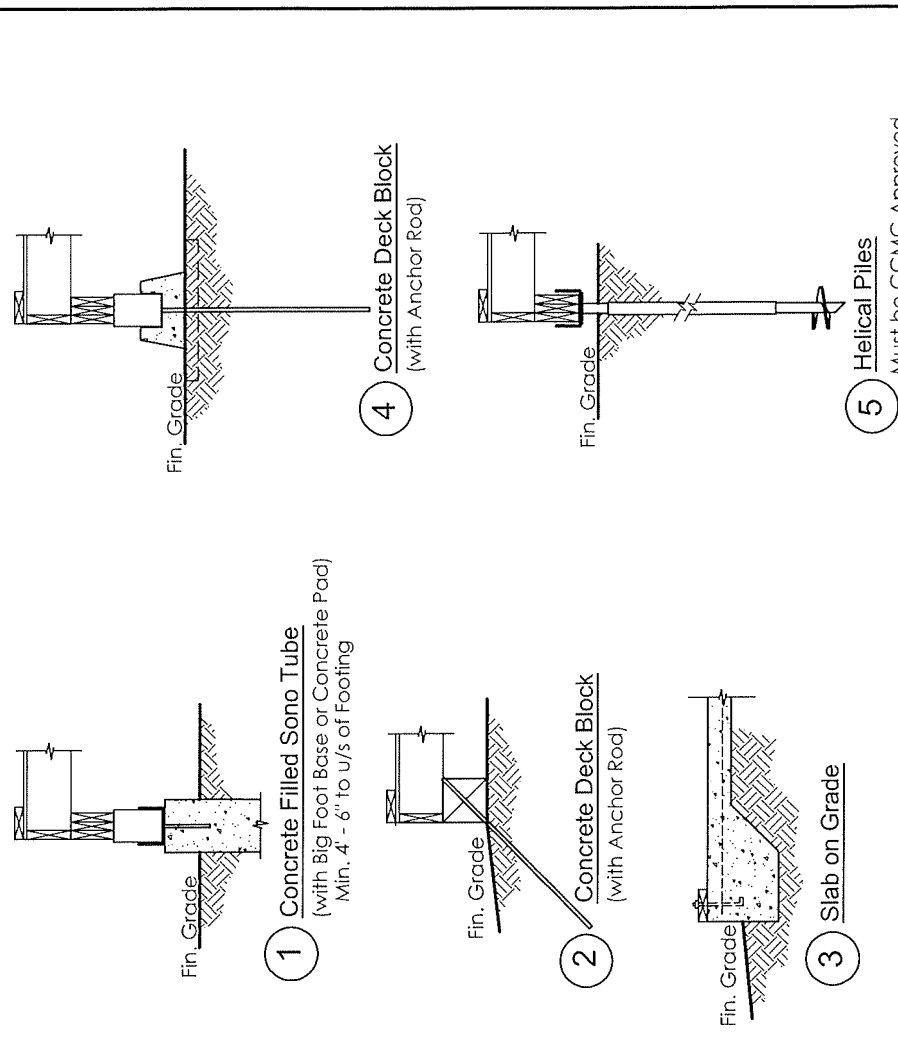
**NOTE:**  
 It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notations made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



**Slanted Style Roof**  
(Conventional Roof Framing)

(not to scale)

**Note:**  
All Wood within 6" (150mm) of Grade shall be Pressure Treated Lumber



**Shed Support Options**

Must be CCMC Approved Engineers report required after installation.

**NOTE:**  
It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notifications made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



**Basic Shed**  
Building Cross Sections and Support Options  
*Sections and Details* (not to scale)

## Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

<b>A. Project Information</b>		
Building number, street name	Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description
<b>B. Individual who reviews and takes responsibility for design activities</b>		
Name	Firm	
Street address	Unit no.	Lot/con.
Municipality	Postal code	Province
Telephone number	Fax number	Cell number
<b>C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]</b>		
<input type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings	<input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection	<input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input type="checkbox"/> On-site Sewage Systems
Description of designer's work		
<b>D. Declaration of Designer</b>		
I _____ declare that (choose one as appropriate): <div style="text-align: center;">(print name)</div> <input type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: _____ Firm BCIN:       _____  <input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____  <input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____		
I certify that: <ol style="list-style-type: none"> <li>1. The information contained in this schedule is true to the best of my knowledge.</li> <li>2. I have submitted this application with the knowledge and consent of the firm.</li> </ol> <div style="display: flex; justify-content: space-between;"> <span>_____ Date</span> <span>_____ Signature of Designer</span> </div>		

**NOTE:**

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

# LETTER OF AUTHORIZATION

I/WE, IT

\_\_\_\_\_  
Name of Registered Owner

\_\_\_\_\_  
No. Street City/Town Postal Code

\_\_\_\_\_  
Telephone Number

**BEING THE REGISTERED OWNER OF THE BUILDING/LAND LOCATED AT:**

ADDRESS \_\_\_\_\_  
No. Street City/Town Postal Code

LEGAL DESCRIPTION \_\_\_\_\_  
Township Lot Conc Parcel

\_\_\_\_\_  
Plan Lot Reference Plan Part

**GIVE MY PERMISSION TO:**

\_\_\_\_\_  
Name of Business/Individual Applying on Behalf of Registered Owner

\_\_\_\_\_  
No. Street City/Town Postal Code

\_\_\_\_\_  
Telephone Number

**TO APPLY FOR A BUILDING PERMIT, ON MY BEHALF, TO CONSTRUCT/DEMOLISH:**

\_\_\_\_\_  
Brief Description of Work

\_\_\_\_\_  
\_\_\_\_\_

## DECLARATION

I/WE, \_\_\_\_\_, Registered Owner(s), solemnly declare that the information above-stated is to the best of my knowledge and believe true, and acknowledge that the building permit could be revoked if certain procedures of the Building Code Act are contravened.

*I further agree to assume responsibility for the construction unless the agent is performing work as a registered builder under the Ontario New Home Warranty Program.*

**IF YOU ARE DEMOLISHING A STRUCTURE, PLEASE NOTE THE FOLLOWING:**

I acknowledge I am aware that pursuant to Section 357 of the Municipal Act, in order to obtain a tax adjustment, a separate application is to be filed at the City of Greater Sudbury, Tax Department, 200 Brady Street, 2<sup>nd</sup> Floor, Sudbury, ON P3A 5W5, 705-674-4455, extension 2601.

\_\_\_\_\_  
Signature of Owner(s)

\_\_\_\_\_

\_\_\_\_\_  
Signature of Witness

\_\_\_\_\_  
Date



<Company Name>  
 <Address>  
 <Address>  
 <Address>  
 <Contact Number | Contact Number>  
 <Default Email Address>  
 <Website Address>

## Construction Estimate Template

ESTIMATE NUMBER	DATE
<b>FT018519</b>	MM/DD/YYYY

**SITE INFORMATION**

<Address>

CONTACT PERSON	CONTACT NUMBER	EMAIL ADDRESS
<Contact Person>	<Contact Number>	<Email Address>

Work Description	Type	Quantity	Unit	Unit Price (US\$)	Amount (US\$)
Erosion Control	Civil	1	Lot	510.00	510.00
Temporary Drivers & Sidewalks	Civil	2	Lots	400.00	800.00
Decomposed Granite, Sod Rock	Concrete	1	Lot	375.00	375.00
Top Soil Covering	Concrete	1	Lot	620.00	620.00
Building Masonry	Masonry	1	Lot	1,300.00	1,300.00
Screen Walls	Masonry	1	Lot	850.00	850.00
Retaining Walls	Masonry	4	Lots	375.00	1,500.00
Stone & Architectural Enhancements	Masonry	1	Lot	2,100.00	2,100.00
Main Gate	Steel	1	Lot	900.00	900.00
Service Gate	Steel	2	Lots	450.00	900.00
Steel Door Garage	Steel	1	Lot	900.00	900.00
Supervision & Administration	Misc.	1	Lot	500.00	500.00
Work Permit	Misc.	1	Lot	300.00	300.00
Hauling & Cleaning Fee	Misc.	1	Lot	730.00	730.00
<b>TOTAL AMOUNT</b>					<b>12,285.00</b>
<b>SALES TAX 12%</b>					<b>1,474.20</b>
<b>DISCOUNT 3%</b>					<b>368.55</b>
<b>TOTAL AMOUNT DUE</b>					<b>13,390.65</b>

*This above is an estimate based on our inspection and does not cover any additional parts or labor which may be required after the work has been started. Occasionally, worn or damaged parts are discovered which may not be evident on the first inspection. Because of this, the above prices are not guaranteed. Estimates on parts and labor are current and subject to change.*

\_\_\_\_\_  
 PREPARED BY

\_\_\_\_\_  
 SIGNATURE

\_\_\_\_\_  
 DATE

\_\_\_\_\_  
 CONFIRME

\_\_\_\_\_  
 SIGNATURE

\_\_\_\_\_  
 DATE