



Detached Garage Guide Full Foundation

Document Submission Checklist – Detached Garage

Pursuant to Section G of an application to Construct or Demolish

Applicant's Name	Address of Project	Date
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The following is a list of drawings/documents required for the submission of an application for a building permit.

Description	Required	Received	Comments
**Plot Plan or Survey – Scaled with setbacks	✓		Sample Plot Plan Available
*Detailed Construction Drawings	✓		Includes plan view, elevations, section) * Typical Drawings <u>may</u> be eligible here.
Schedule 1 Designer Information	✓		When using * <i>Typical Drawings</i> package from the website, A Schedule 1 must be completed and signed by the Owner of the property
Letter of Authorization	✓		Is required if you as applicant are not the Owner of the property and must be signed by the Owner of the property.
Written Cost Estimate	✓		Required if you as the applicant are not the Owner of the property. This estimate should include material, labour, designer/consulting fees and HST.
Health Unit Approval	✓		Required at time of application for all properties without or only partially serviced by Municipal Sewer and Water – Please contact Public Health Sudbury & Districts for more information. 705-522-9200 ext. 398
Engineered Slab (if garage is > 55m ² or 592ft ² in area and being built with a slab on grade.)	✓		Requires drawing to be sealed and signed by a Professional Engineer
Requirements for Garages with Storage Lofts			
Detailed Construction Drawings by a qualified designer, in PDF format and drawn to scale.	✓		* <i>Typical Drawings</i> CAN NOT be used for garages with Storage Lofts.
Pre-Engineered Truss Layout	✓		Requires drawing to be sealed and signed by a Professional Engineer
Engineered Slab regardless of size of building.	✓		Requires drawing to be sealed and signed by a Professional Engineer

*Please be advised that additional information may be required following a full review of your application.

Please be advised:

According to the building code and the City's building by-law, if this application is incomplete, it may be either:

- a) refused since it is not complete, or
- b) accepted and processing commenced, provided the applicant acknowledges in writing that the application is incomplete and waives the time period prescribed in the building code within which the permit must be issued or refused.

HELPFUL HINTS

If you are using our **Typical Drawings* for your application, the drawings you will need to upload are titled as **Detached Garage Foundation-Footing** or **Detached Garage Slab on Grade** found on the *Building Permit Resources Page* of our website. Simply fill out the information in the drawing type that matches your project and upload to your *PRONTO* account as part of your application when you are ready to apply!

Document Submission Checklist – Detached Garage

Pursuant to Section G of an application to Construct or Demolish

MORE HELPFUL HINTS

The **Schedule 1: Designer Information** form can be found under **Supplementary Forms** on the *Building Permit Resources* page of our website. If you are the Property Owner, simply complete Sections A & B, & in Section D, check the third checkbox, filling the “Basis of exemption from registration and qualification line with “HOMEOWNER”, Date, and Sign. Now you can upload this document to your application in PRONTO!

Garages to be built with a foundation of Helical Piles (Screw piles) will need to supply a copy of the Approval Documents as required (CCMC, BMEC or Minister’s Ruling) You will also require a *Commitment Certificate* for the Engineer responsible for the review of the Helical Piles which you can often acquire from the company installing your Helical Piles – **Please Contact Building Services by calling 705-674-4455 Ext. 4278 for more information**

Not sure where to start? Don’t know what you need to get your application ready for PRONTO?

Let us help!

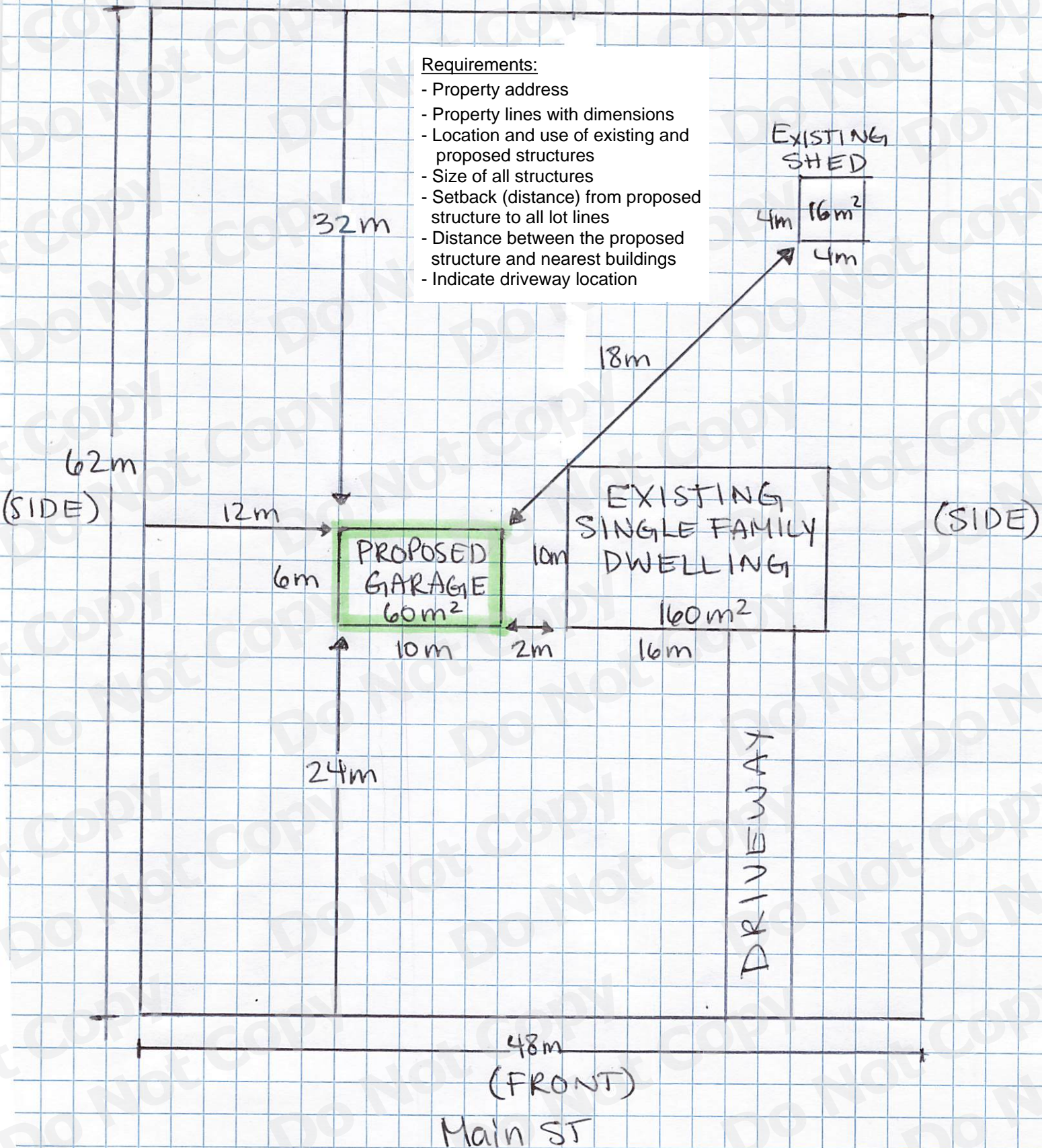
Visit the One Stop Services Centre located on the Main Floor of Tom Davies Square where staff are ready to assist you with your application questions.

Contact Building Services by calling 705-674-4455 Ext. 4278 for more information.

(REAR)

Requirements:

- Property address
- Property lines with dimensions
- Location and use of existing and proposed structures
- Size of all structures
- Setback (distance) from proposed structure to all lot lines
- Distance between the proposed structure and nearest buildings
- Indicate driveway location



Notes:

- 1) Floor Layout may Not Appear As Built. Garage Door, Man Door and Window Locations will vary.
- 2) Footing Inspection Required Prior to Pouring Concrete
- 3) Framing Inspection required once Roof Sheathing has been Installed
- 4) Steel Lintels Supporting Masonry Veneer as per OBC if applicable

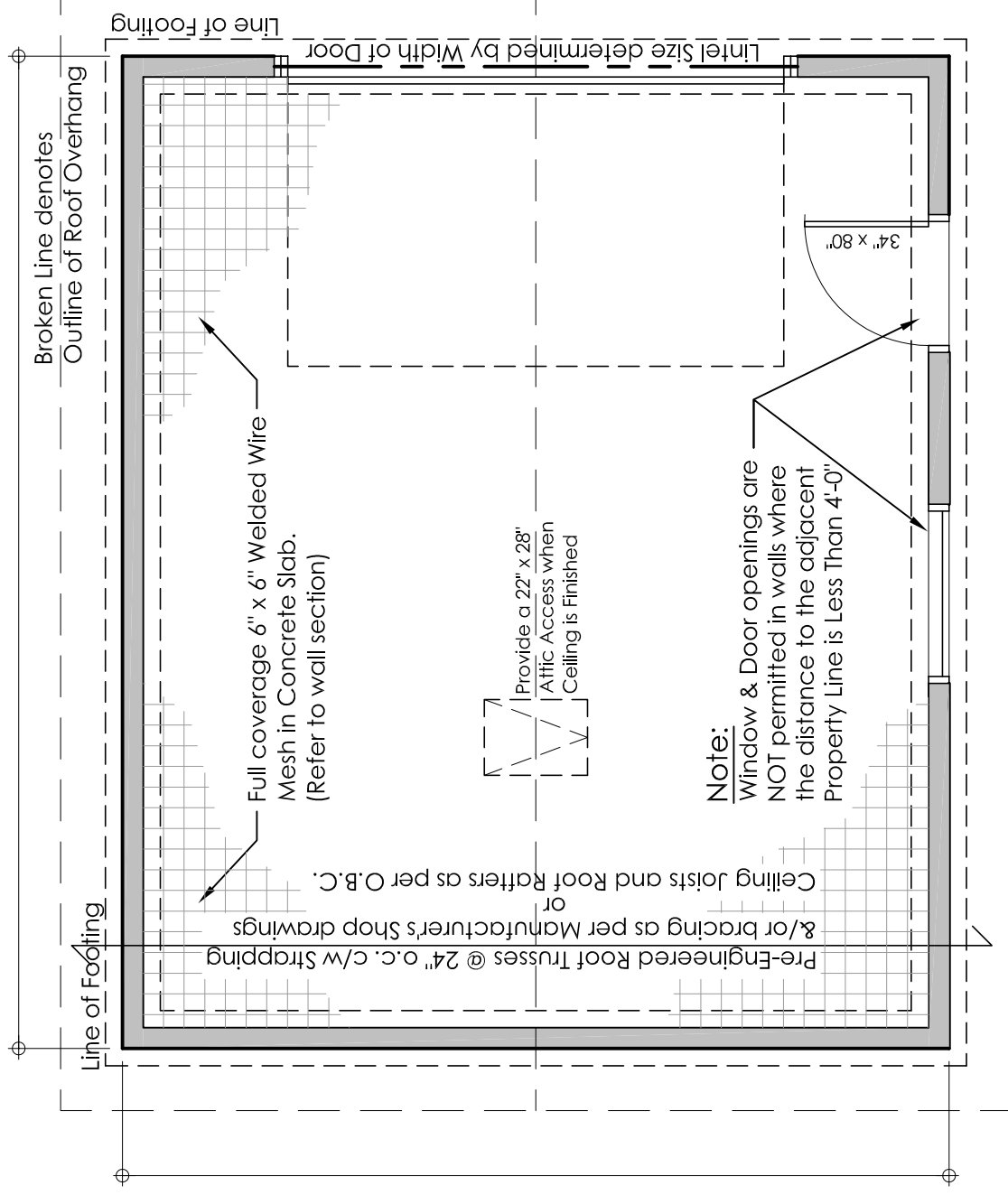
For Gable End Roofs

Garage Door Width	Lintel Size
10'	2 - 2 x 8's
12'	2 - 2 x 10's
14'	2 - 2 x 12's
16'	W6 x 15 steel beam

For Cottage Style Roofs

Garage Door Width	Lintel Size
10'	3 - 2 x 8's
12'	3 - 2 x 10's
14'	3 - 2 x 12's
16'	W6 x 15 steel beam

Lintels based on Maximum 16'-1" supported length of trusses or rafters if exceeded, contact Building Services



General Notes:

- 1) All lumber to be No. 2 Spruce or better. All lumber exposed to weather conditions must be pressure treated, painted or stained.
- 2) Technical Design Data for all Pre-engineered Framing Components must be submitted at the Framing Inspection for gable end roofs.
- 3) Minimum Bearing of all joists & double lintels to be min. 1 1/2"(38mm). Minimum Bearing of all Beams & Lintels with more than 2 ply to be min. 3 1/2"(89mm).
- 4) Moisture Barrier is required between all lumber in direct contact with or within 6"(150mm) of concrete which is in direct contact with the ground.
- 5) Floor drains within Detached Garages shall not be connected to Municipal Sewer Services. Discharge to a proper drainage swale or ditch.
- 6) All Concrete for Floor Slab to be 32 Mpa and shall have air entrainment of 5% to 8%.
- 7) Detached Garages of less than 592 ft² (55 m²) floor area and not more than 1 storey in height may be supported on wood mud sills provided the garage is not of masonry or masonry veneer construction.

NOTE: It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notations made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



Detached Garage

Full Foundation and Footing

FLOOR LAYOUT

(not to scale)

DRAWN BY: CS

DATE: 05/29/24

A-1 (FTG)

SHEET

Technical Design Data for all Pre-engineered Framing Components must be submitted at the Framing Inspection.

Note:

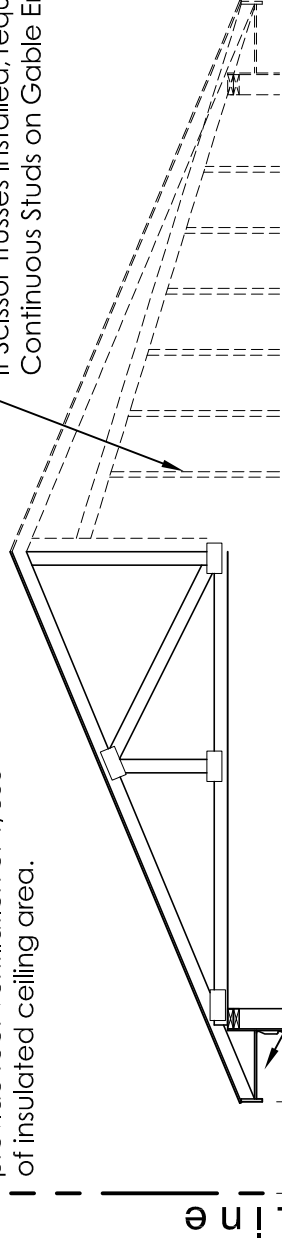
If Detached Garage is insulated, provide roof ventilation of 1/300 of insulated ceiling area.

Typical Roof Construction:

Asphalt shingles
 Roof sheathing
 Pre-Engineered Roof Trusses c/w bracing as per manufacturers specifications.

Note:

If Scissor Trusses installed, require Continuous Studs on Gable Ends.



Eave projections are not permitted closer than 2'-0" (0.6m) to any lot line.

2 x 4 or 2 x 6 sill plate c/w foam gasket and 1/2" Ø anchor bolts @ 7'-10" (2.4m) o.c.

4" (100mm) 32 Mpa concrete slab on grade c/w full coverage 6" x 6" welded wire mesh & slab thickening at perimeter

18" to 24" clean compacted Granular Fill material compacted at 12" lifts

Remove all Organics & Topsoil material prior to placement of Granular Fill

Surface Drainage must be Directed Away from Building

WALL SECTION (not to scale)

NOTE:

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Detached Garage

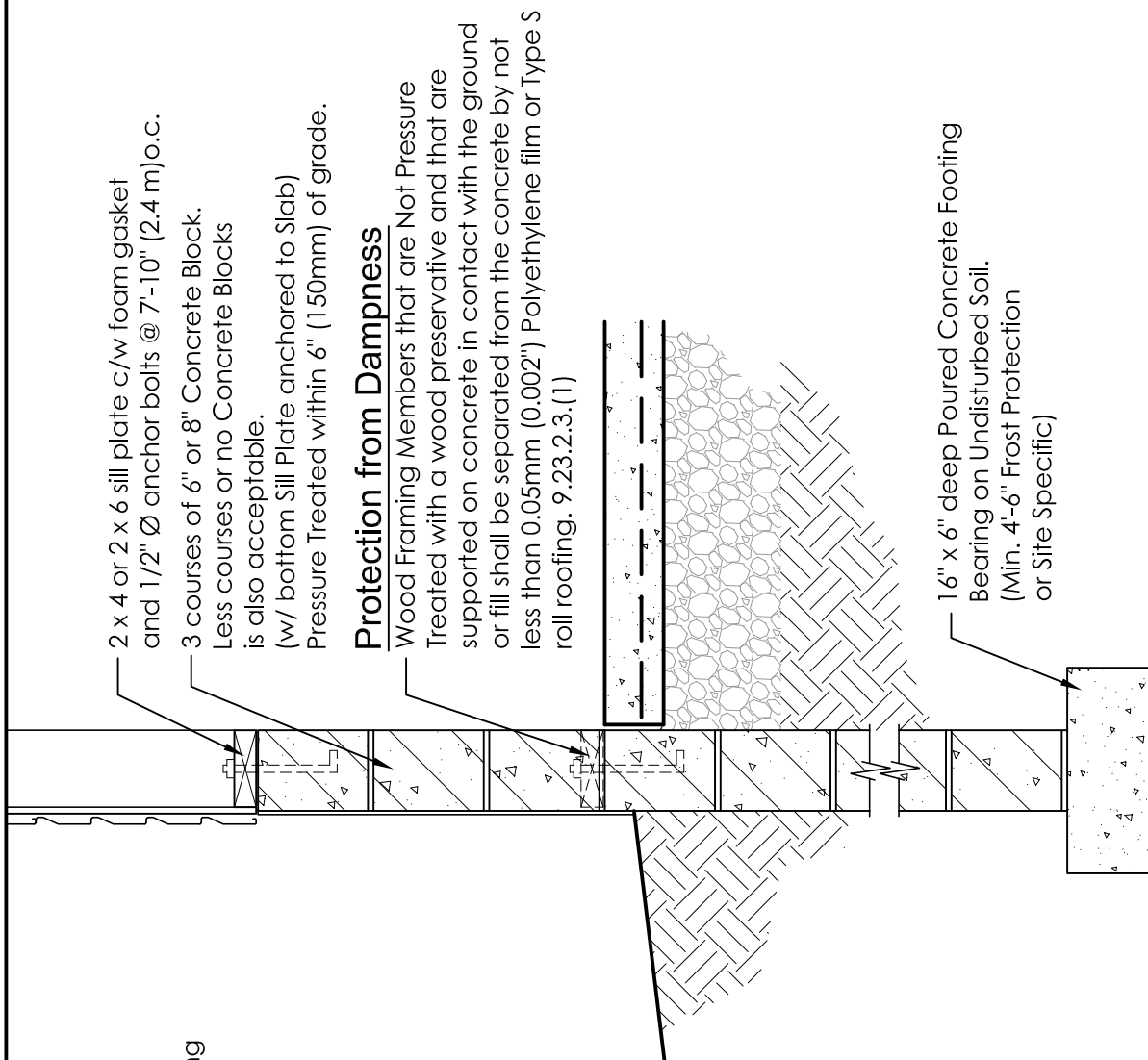
Full Foundation and Footing

Section and Detail (not to scale)

DRAWN BY: CS

DATE: 05/29/24

A-2 (FTC)
 SHEET



2 x 4 or 2 x 6 sill plate c/w foam gasket and 1/2" Ø anchor bolts @ 7'-10" (2.4 m) o.c.
 3 courses of 6" or 8" Concrete Block. Less courses or no Concrete Blocks is also acceptable.
 (w/ bottom Sill Plate anchored to Slab) Pressure Treated within 6" (150mm) of grade.

Protection from Dampness

Wood Framing Members that are Not Pressure Treated with a wood preservative and that are supported on concrete in contact with the ground or fill shall be separated from the concrete by not less than 0.05mm (0.002") Polyethylene film or Type S roll roofing. 9.23.2.3.(1)

16" x 6" deep Poured Concrete Footing Bearing on Undisturbed Soil. (Min. 4'-6" Frost Protection or Site Specific)

SECTION DETAIL (not to scale)

Notes:

- 1) Building Elevation may Not Appear As Built. Garage Door, Man Door and Window Locations will vary.
- 2) Footing Inspection Required Prior to Pouring Concrete
- 3) Framing Inspection required once Roof Sheathing has been Installed
- 4) Steel Lintels Supporting Masonry Veneer as per OBC if applicable

Note:

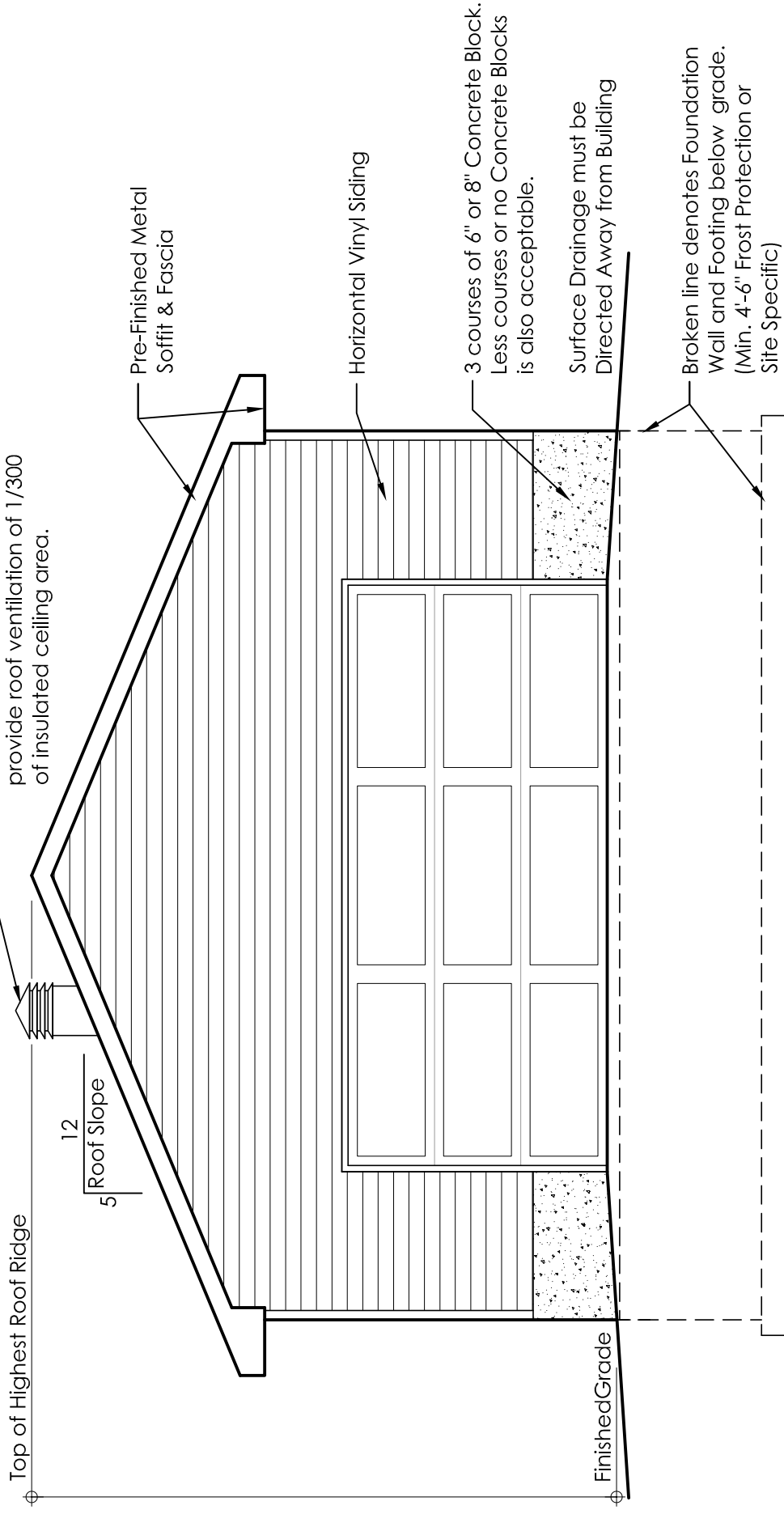
Height shall be measured between the Finished Grade of the Wall of a Building or Structure Facing the Front Lot Line and the Highest Point of the Building or Structure.

Max. Ht. on a Residential Lot
16'-5" (5m)

Max. Ht. within an Agricultural & Rural Zone
21'-4" (6.5m)

Note:

If detached garage is insulated, provide roof ventilation of 1/300 of insulated ceiling area.



Front Elevation

Scale: 1/4" = 1'-0"

NOTE:

It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notations made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



Detached Garage

Full Foundation and Footing

Building Elevation (Front) (not to scale)

DRAWN BY: CS

DATE: 05/29/24

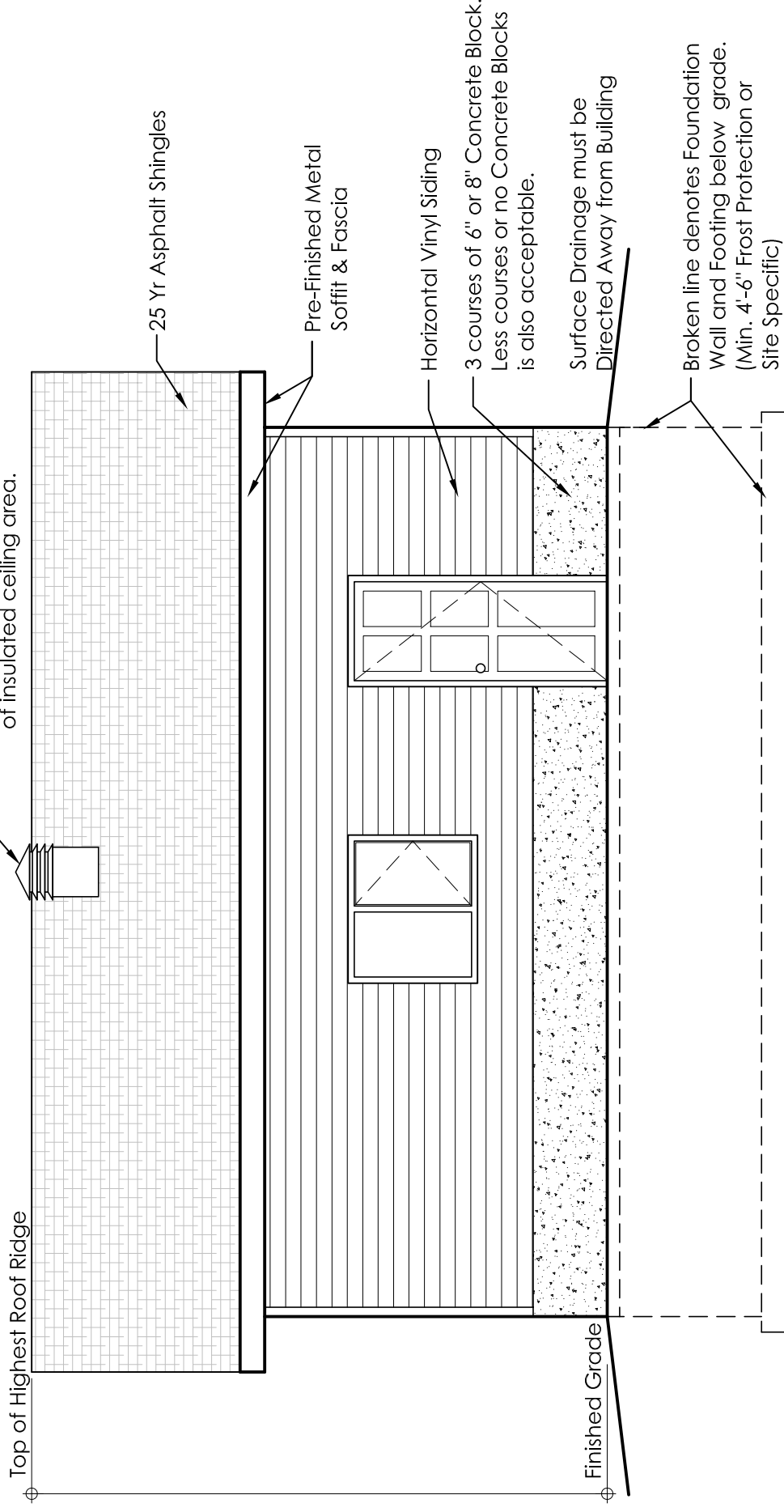
A-3 (FTG)
SHEET

Notes:

- 1) Building Elevation may Not Appear As Built. Garage Door, Man Door and Window Locations will vary.
- 2) Footing Inspection Required Prior to Pouring Concrete
- 3) Framing Inspection required once Roof Sheathing has been Installed
- 4) Steel Lintels Supporting Masonry Veneer as per OBC if applicable

Note:

If detached garage is insulated, provide roof ventilation of 1/300 of insulated ceiling area.



Side Elevation

Scale: 1/4" = 1'-0"

Note:

Height shall be measured between the Finished Grade of the Wall of a Building or Structure Facing the Front Lot Line and the Highest Point of the Building or Structure.

Max. Ht. on a Residential Lot
16'-5" (5m)

Max. Ht. within an Agricultural & Rural Zone
21'-4" (6.5m)

NOTE:

It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notations made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



Detached Garage

Full Foundation and Footing

Building Elevation (Side) (not to scale)

DRAWN BY: CS

DATE: 05/29/24

A-4
(FTG)
SHEET

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information		
Building number, street name	Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description
B. Individual who reviews and takes responsibility for design activities		
Name	Firm	
Street address	Unit no.	Lot/con.
Municipality	Postal code	Province
E-mail		
Telephone number	Fax number	Cell number
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]		
<input type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings	<input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection	<input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input type="checkbox"/> On-site Sewage Systems
Description of designer's work		
D. Declaration of Designer		
I _____ declare that (choose one as appropriate): <div style="text-align: center; margin-left: 100px;">(print name)</div> <input type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: _____ Firm BCIN: _____ <input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____ <input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____		
I certify that: <ol style="list-style-type: none"> 1. The information contained in this schedule is true to the best of my knowledge. 2. I have submitted this application with the knowledge and consent of the firm. <div style="display: flex; justify-content: space-between;"> Date Signature of Designer </div>		

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

LETTER OF AUTHORIZATION

I/WE, IT

Name of Registered Owner

No. Street City/Town Postal Code

Telephone Number

BEING THE REGISTERED OWNER OF THE BUILDING/LAND LOCATED AT:

ADDRESS _____
No. Street City/Town Postal Code

LEGAL DESCRIPTION _____
Township Lot Conc Parcel

Plan Lot Reference Plan Part

GIVE MY PERMISSION TO:

Name of Business/Individual Applying on Behalf of Registered Owner

No. Street City/Town Postal Code

Telephone Number

TO APPLY FOR A BUILDING PERMIT, ON MY BEHALF, TO CONSTRUCT/DEMOLISH:

Brief Description of Work

DECLARATION

I/WE, _____, Registered Owner(s), solemnly declare that the information above-stated is to the best of my knowledge and believe true, and acknowledge that the building permit could be revoked if certain procedures of the Building Code Act are contravened.

I further agree to assume responsibility for the construction unless the agent is performing work as a registered builder under the Ontario New Home Warranty Program.

IF YOU ARE DEMOLISHING A STRUCTURE, PLEASE NOTE THE FOLLOWING:

I acknowledge I am aware that pursuant to Section 357 of the Municipal Act, in order to obtain a tax adjustment, a separate application is to be filed at the City of Greater Sudbury, Tax Department, 200 Brady Street, 2nd Floor, Sudbury, ON P3A 5W5, 705-674-4455, extension 2601.

Signature of Owner(s)

Signature of Witness

Date



<Company Name>
 <Address>
 <Address>
 <Address>
 <Contact Number | Contact Number>
 <Default Email Address>
 <Website Address>

Construction Estimate Template

ESTIMATE NUMBER	DATE
FT018519	MM/DD/YYYY

SITE INFORMATION
 <Address>

CONTACT PERSON	CONTACT NUMBER	EMAIL ADDRESS
<Contact Person>	<Contact Number>	<Email Address>

Work Description	Type	Quantity	Unit	Unit Price (US\$)	Amount (US\$)
Erosion Control	Civil	1	Lot	510.00	510.00
Temporary Drivers & Sidewalks	Civil	2	Lots	400.00	800.00
Decomposed Granite, Sod Rock	Concrete	1	Lot	375.00	375.00
Top Soil Covering	Concrete	1	Lot	620.00	620.00
Building Masonry	Masonry	1	Lot	1,300.00	1,300.00
Screen Walls	Masonry	1	Lot	850.00	850.00
Retaining Walls	Masonry	4	Lots	375.00	1,500.00
Stone & Architectural Enhancements	Masonry	1	Lot	2,100.00	2,100.00
Main Gate	Steel	1	Lot	900.00	900.00
Service Gate	Steel	2	Lots	450.00	900.00
Steel Door Garage	Steel	1	Lot	900.00	900.00
Supervision & Administration	Misc.	1	Lot	500.00	500.00
Work Permit	Misc.	1	Lot	300.00	300.00
Hauling & Cleaning Fee	Misc.	1	Lot	730.00	730.00
TOTAL AMOUNT					12,285.00
				SALES TAX 12%	1,474.20
				DISCOUNT 3%	368.55
TOTAL AMOUNT DUE					13,390.65

This above is an estimate based on our inspection and does not cover any additional parts or labor which may be required after the work has been started. Occasionally, worn or damaged parts are discovered which may not be evident on the first inspection. Because of this, the above prices are not guaranteed. Estimates on parts and labor are current and subject to change.

PREPARED BY _____

SIGNATURE _____

DATE _____

CONFORME _____

SIGNATURE _____

DATE _____