



## Weeping Tile Guide

## Document Submission Checklist Weeping Tiles and Sump Pit

Pursuant to Section G of an application to Construct or Demolish

<b>Applicant's Name</b>	<b>Address of Project</b>	<b>Date</b>
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The following is a list of drawings/documents required for the submission of an application for a building permit.

Description	Required	Provided	Comments
**Key plan – Area of Work (See Key Plan)	✓		**Sample Key Plan Available on Website
*Drawings (See Standard Drawings)	✓		*Typical Drawings Available on Website
Letter of Authorization	✓		If you as the applicant are not the owner of the property
Written Cost Estimate	✓		Required if you as the applicant are not the Owner of the property. This estimate should include material, labour, designer/consulting fees and HST.

*Please be advised that additional information may be required following a full review of your application.*

***Please be advised:***

According to the Ontario Building Code and the City's Building By-law 2005-165, if this application is incomplete, it may be either:

- a) refused since it is not complete, or
- b) accepted and processing commenced, provided the applicant acknowledges in writing that the application is incomplete and waives the time period prescribed in the building code within which the permit must be issued or refused.

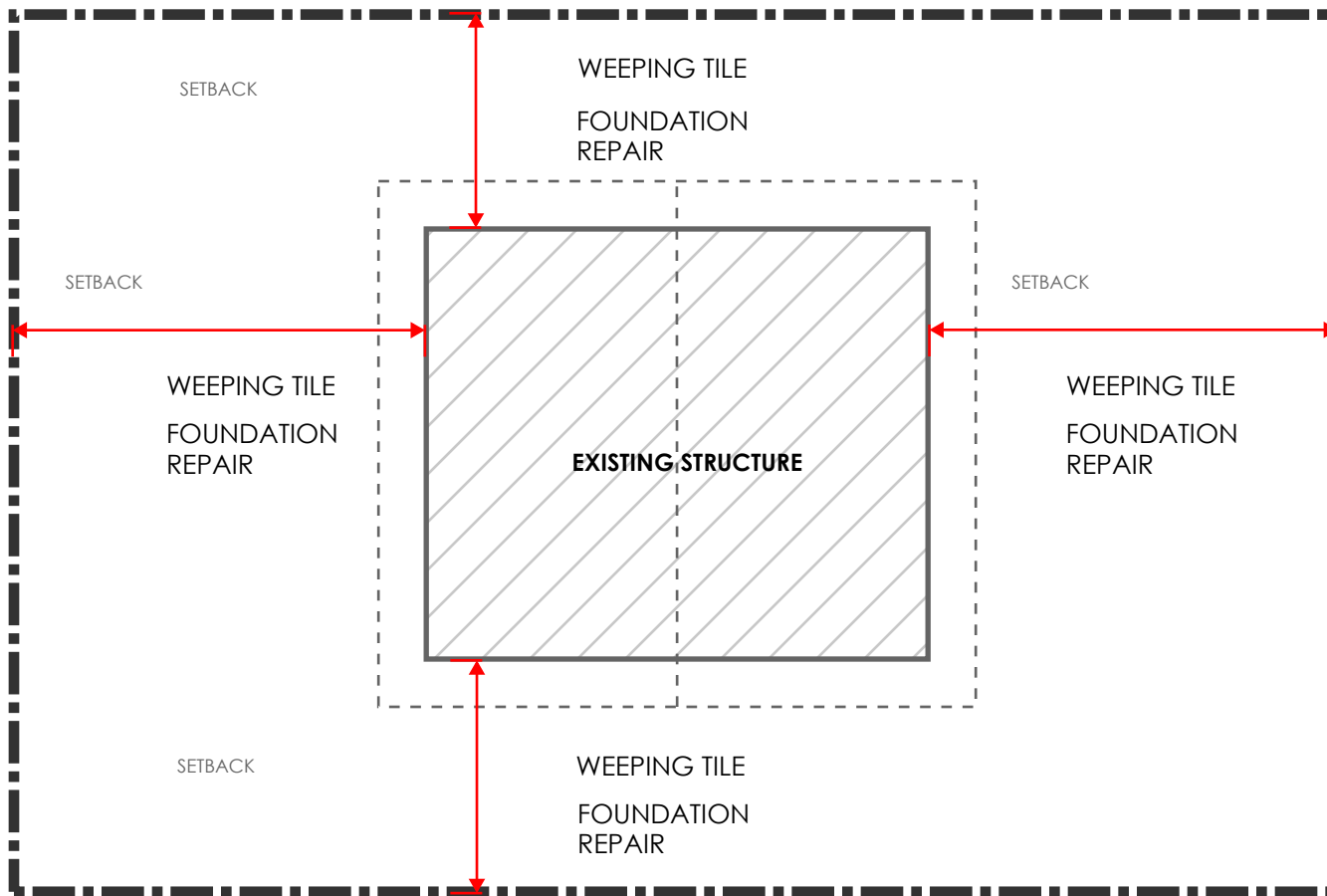
**HELPFUL HINTS**

The drawing(s) you will need to upload for your application are noted in **RED** beside the repair type check boxes on the Key Plan. Simply select this drawing type from our website and upload to your PRONTO account as part of your application when you are ready to apply!

**ON THE KEY PLAN PROVIDED, INDICATE THE LOCATION OF ALL APPLICABLE STREET(S).**

**IDENTIFY ALL SIDES OR EACH SPECIFIC SIDE OF THE STRUCTURE WHERE THE PROPOSED WEeping TILE AND / OR FOUNDATION WORK WILL OCCUR**

STREET NAME



STREET NAME

**ALL SIDES**

- WEeping TILE
- FOUNDATION REPAIR

**CHECK ALL BOXES WHICH APPLY TO THE PROPOSED WORK**

**SUMP PIT**

- NEW
- EXISTING
- NONE

**WEeping TILE**

- EXTERIOR
- \* INTERIOR
- \* INTERIOR WEeping TILE REQUIRES ADDITIONAL DRAWINGS AND INFORMATION

**FOUNDATION REPAIR**

- PARGING
- DAMPPROOFING
- CRACK REPAIR
- \* CORE FILL
- \* BOWING / BUCKLING WALL
- \* UNDER PINNING
- OTHER \_\_\_\_\_
- \* REQUIRES APPROVED ENGINEERS DESIGN AND SEAL

STREET NAME

STREET NAME

KEY PLAN

**NOTE:**  
IT IS THE CONTRACTOR'S/OWNER'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTIONS CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION.



**WTKP-1**  
MAY 2024

**NOTE:**  
4" PERFORATED WEeping TILE WITH SOCK  
6" CLEAR STONE COVER PLACED ABOVE AND SIDE OF WEeping TILE DAMPPROOFING  
CONTRACTOR/OWNER TO ENSURE THAT WEeping TILES ARE NOT CONNECTED TO MUNICIPAL SEWER SYSTEM  
THE OUTLINE OF THE EXISTING STRUCTURE SHOWN IS FOR GRAPHIC ILLUSTRATION PURPOSES ONLY AND MAY NOT BE AN EXACT REPRESENTATION OF THE ACTUAL STRUCTURE ON SITE.

# PARGING AND FINISHING

## BUILDING CODE REFERENCES

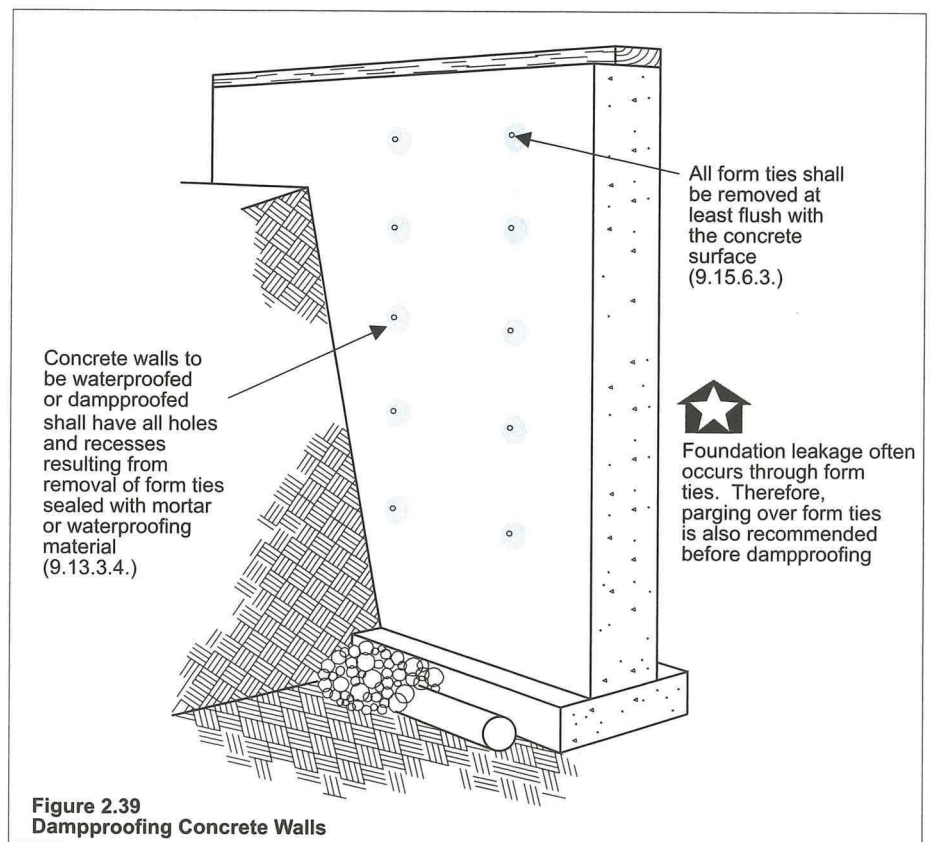
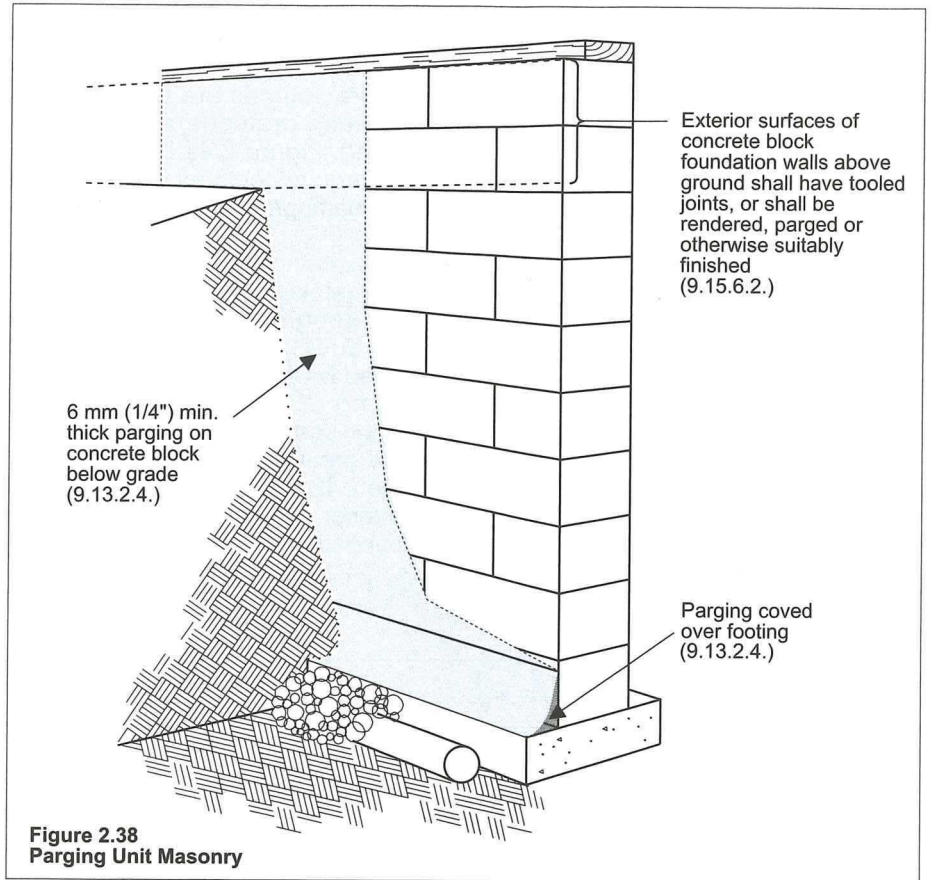
### DIVISION B

- 9.13.2.4. Preparation of Surface
- 9.13.3.4. Preparation of Surface
- 9.15.6.1. Foundation Walls below Ground
- 9.15.6.2. Foundation Walls above Ground
- 9.15.6.3. Form Ties

Concrete block foundation walls must be rendered, parged or suitably finished for the following reasons:

1. Above grade walls must be parged or finished to reduce the likelihood that water does not penetrate through cracks, holes or recesses. Before parging, care must be taken to remove form ties and to seal ties rod holes to create a uniform concrete surface.
2. Below grade concrete block walls must be parged before damp-proofing is applied in order to fill joints and provide a smooth surface comparable to solid concrete finish.
3. Where below grade walls are to be waterproofed, the exterior surfaces must be parged or sealed smooth to prevent accumulations of water and possible rupture of the water proofing material at sharp edges or openings.

Proper parging and surface finishing are the first step in controlling moisture penetration through foundation walls. Refer to Figures 2.38 and 2.39.



# WATERPROOFING

## BUILDING CODE REFERENCES

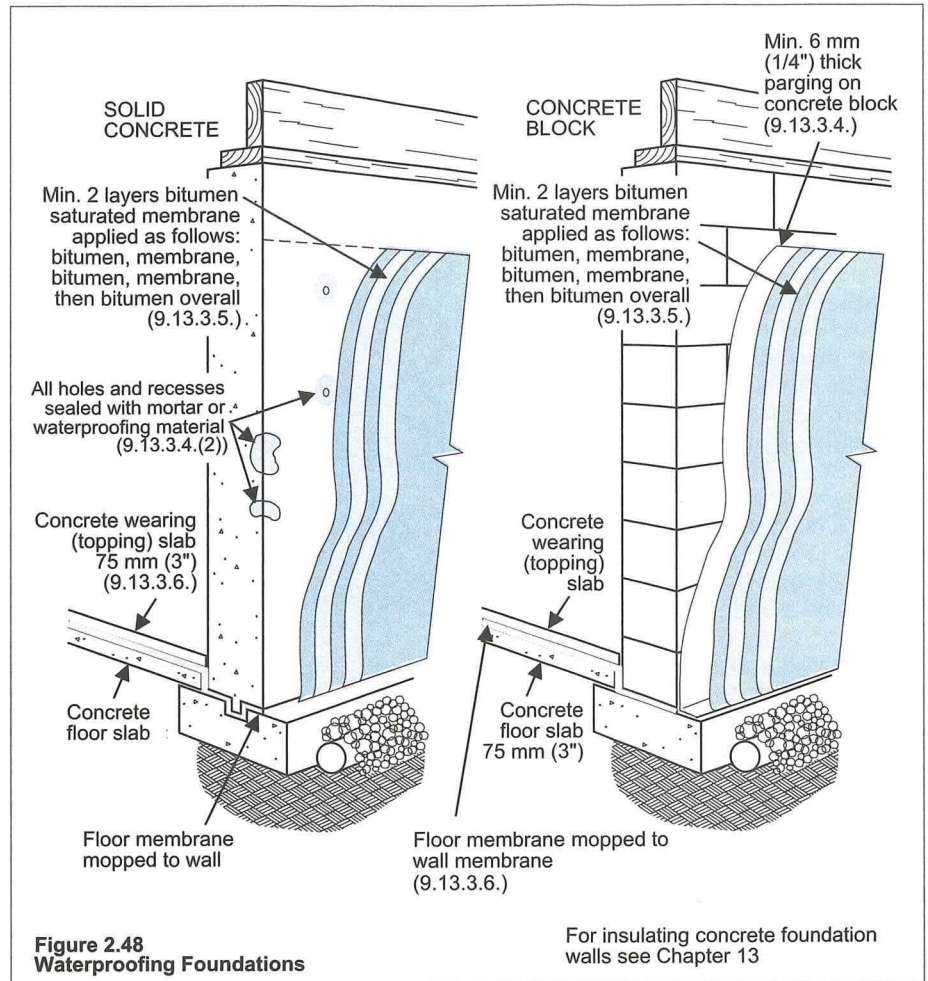
### DIVISION B

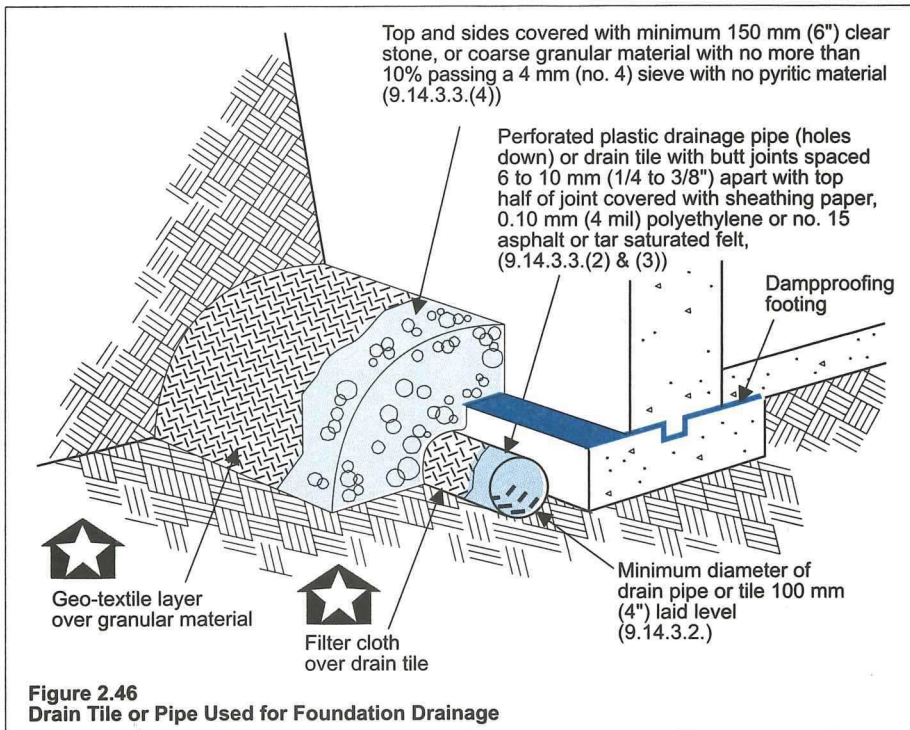
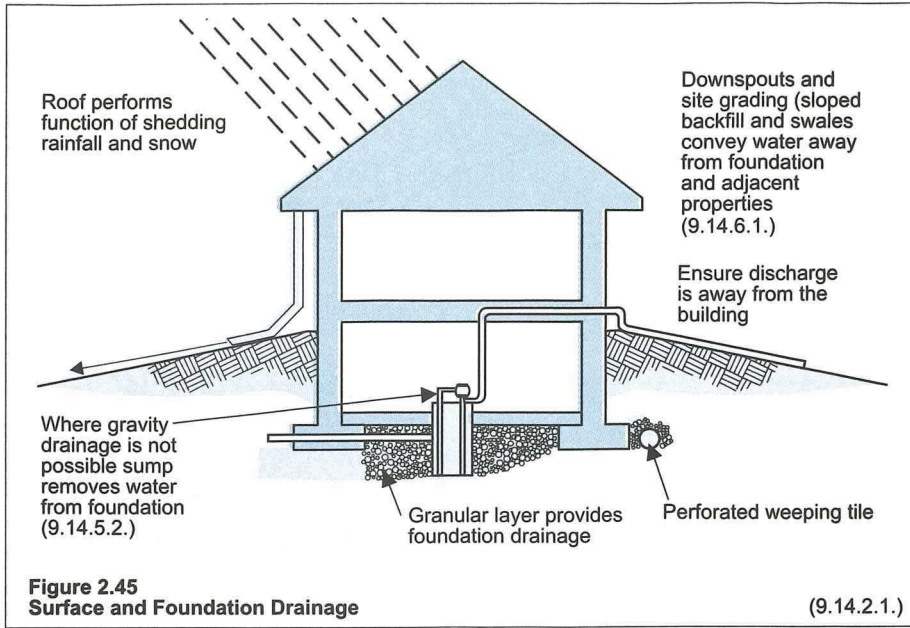
- 9.13.3.1. Required Waterproofing
- 9.13.3.4. Preparation of Surface
- 9.13.3.5. Application of Waterproofing Membranes
- 9.13.3.6. Floor Waterproofing System

Steps must be taken where a high water table imposes a hydrostatic pressure on building elements. Where the exterior finished grade is higher than interior ground level and a high water table exists, floors-on-ground, roofs of underground structures and below grade walls must be waterproofed.

Waterproofing is best applied to smooth, uniform surfaces. Accordingly, unit masonry foundation walls must be parged, solid concrete walls must be sealed of all holes and cracks, and insulating concrete form walls must be repaired with no projections and depressions. Requirements for the waterproofing of floors and walls are illustrated in Figure 2.48. Where hydrostatic pressure occurs beneath the floor slab, a means of relieving this pressure must be provided or the slab must be designed to resist uplift pressures.

Extreme care must be taken to ensure compatibility between insulation on ICFs and waterproofing dampproofing membranes.





# LETTER OF AUTHORIZATION

I/WE, IT

\_\_\_\_\_  
Name of Registered Owner

\_\_\_\_\_  
No. Street City/Town Postal Code

\_\_\_\_\_  
Telephone Number

**BEING THE REGISTERED OWNER OF THE BUILDING/LAND LOCATED AT:**

ADDRESS \_\_\_\_\_  
No. Street City/Town Postal Code

LEGAL DESCRIPTION \_\_\_\_\_  
Township Lot Conc Parcel

\_\_\_\_\_  
Plan Lot Reference Plan Part

**GIVE MY PERMISSION TO:**

\_\_\_\_\_  
Name of Business/Individual Applying on Behalf of Registered Owner

\_\_\_\_\_  
No. Street City/Town Postal Code

\_\_\_\_\_  
Telephone Number

**TO APPLY FOR A BUILDING PERMIT, ON MY BEHALF, TO CONSTRUCT/DEMOLISH:**

\_\_\_\_\_  
Brief Description of Work

\_\_\_\_\_  
\_\_\_\_\_

## DECLARATION

I/WE, \_\_\_\_\_, Registered Owner(s), solemnly declare that the information above-stated is to the best of my knowledge and believe true, and acknowledge that the building permit could be revoked if certain procedures of the Building Code Act are contravened.

*I further agree to assume responsibility for the construction unless the agent is performing work as a registered builder under the Ontario New Home Warranty Program.*

**IF YOU ARE DEMOLISHING A STRUCTURE, PLEASE NOTE THE FOLLOWING:**

I acknowledge I am aware that pursuant to Section 357 of the Municipal Act, in order to obtain a tax adjustment, a separate application is to be filed at the City of Greater Sudbury, Tax Department, 200 Brady Street, 2<sup>nd</sup> Floor, Sudbury, ON P3A 5W5, 705-674-4455, extension 2601.

\_\_\_\_\_  
Signature of Owner(s)

\_\_\_\_\_

\_\_\_\_\_  
Signature of Witness

\_\_\_\_\_  
Date