

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

Z&M FOOD LTD.

The Owner(s) of: PIN(s) 021310149, Part Lots 7-9, Plan 18-SB as in S68464, Part Lot 5, Concession 4, Township of McKim, 497 Notre Dame Avenue, Sudbury P3C 2W1, 499 Notre Dame Avenue, Sudbury, 501 Notre Dame Avenue, Sudbury, 507 Notre Dame Avenue, Sudbury

For the following reason(s): Approval to permit existing and proposed uncovered stairs and landing providing setbacks at variance to the By-law.

Anyone interested in this matter may attend the public hearing at which time additional information regarding the application will be available for inspection. The public hearing has been scheduled as follows:

DATE: Wednesday, May 13, 2026
TIME: 05:00 PM
LOCATION: Council Chamber, Lionel E Lalonde Centre, 239 Montee Principale, Azilda and via electronic participation.

The media and the general public can view the Committee of Adjustment webcast via the City of Greater Sudbury's livestream: <http://video.isilive.ca/sudbury/live.html>

Participate in the Committee of Adjustment Meeting

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- **Attend in person:** Attend in person at Council Chamber, Lionel E Lalonde Centre, 239 Montee Principale, Azilda;
- **Submit comments in writing:** Written comments are to be submitted to **Nia Lewis, Secretary-Treasurer, Committee of Adjustment**, Box 5000, Station A, Sudbury, Ontario, P3A 5P3, prior to this meeting or by email to coa_mv@greatersudbury.ca. Comments received **by 3:00 p.m. on May 8, 2026** will be provided to Members of the Committee of Adjustment prior to the meeting; and/or
- **Register to speak at the Committee of Adjustment Meeting via electronic participation:** Please go to the City of Greater Sudbury website at <https://www.greatersudbury.ca/do-business/planning-and-development/committee-of-adjustmentsign-variance-committee/> for instructions to register for electronic participation. Interested members must register prior to 12:00 p.m. one business day prior

to the date of the hearing.

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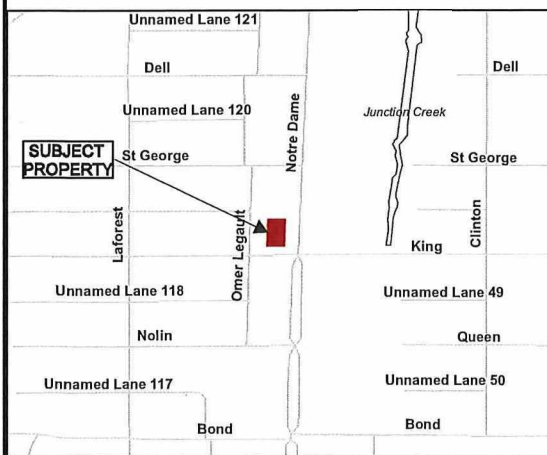
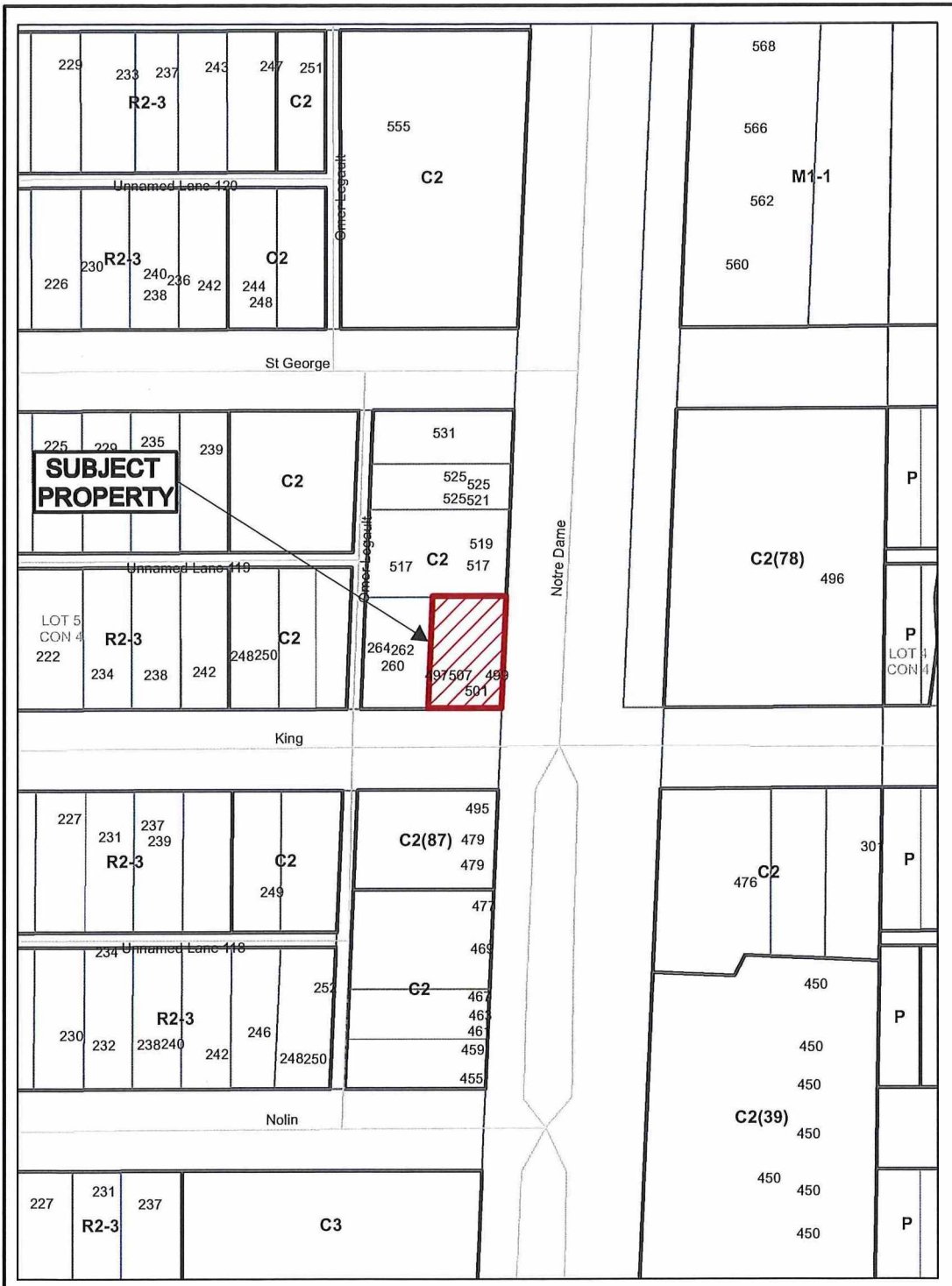
A certified copy of the decision will be sent to each person who files with the Secretary-Treasurer a written request for notice of the decision. This will also entitle you to be notified of any appeal of the decision to the Ontario Land Tribunal.

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For more information about this matter contact Nia Lewis, Secretary-Treasurer, Committee of Adjustment, City of Greater Sudbury, (705) 674-4455 x4315, fax to 673-2200 or attend at the offices at 200 Brady Street, Tom Davies Square, Sudbury, ON P3A 5P3 during regular office hours.

C2

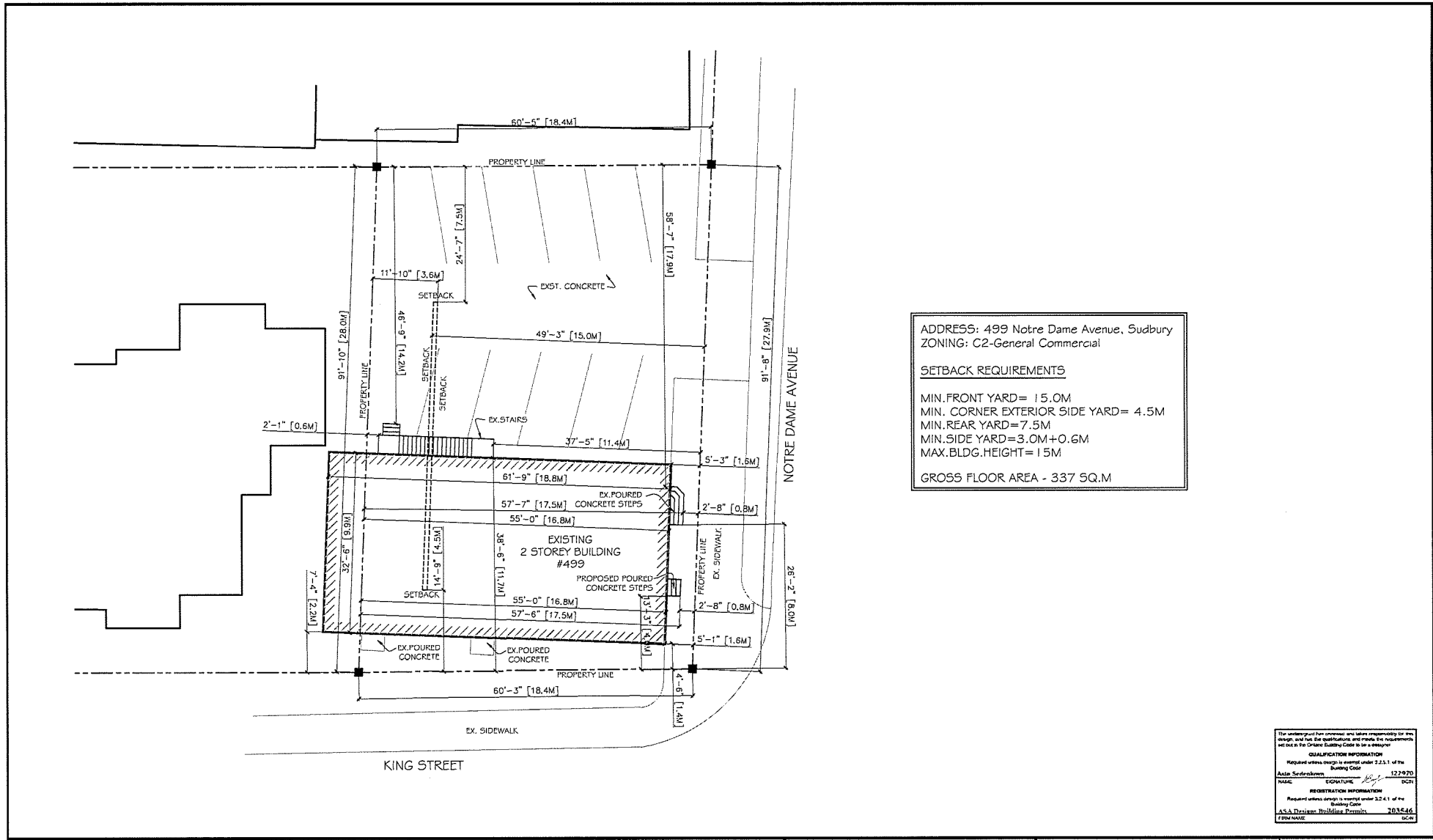


N

Application for Minor Variance or Permission

Subject Property being PIN 02131-0149, Part Lots 7-9, Plan 18-SB as in S68464, Part Lot 5, Concession 4, Township of McKim, 497, 499, 501 and 507 Notre Dame Avenue, Sudbury, City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00042
 NDCA Date: 2026 04 10



ADDRESS: 499 Notre Dame Avenue, Sudbury
 ZONING: C2-General Commercial

SETBACK REQUIREMENTS

MIN. FRONT YARD = 15.0M
 MIN. CORNER EXTERIOR SIDE YARD = 4.5M
 MIN. REAR YARD = 7.5M
 MIN. SIDE YARD = 3.0M + 0.6M
 MAX. BLDG. HEIGHT = 15M

GROSS FLOOR AREA - 337 SQ.M

The undersigned firm assumes sole liability responsibility for this design, and for the qualifications, and meets the requirements set out in the Ontario Building Code for a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.2.1.1 of the Building Code
 Auto. Self-Declaration: 122970
 NSIC: EXP/PLM/DCR
REGISTRATION INFORMATION

Required unless design is exempt under 2.2.4.1 of the Building Code
 AS/A Designer: Building Permit: 7035416
 FIRM NAME: DCN

SCOPE OF WORK: CONVERSION OF EXISTING WALK IN PAPA JOHN'S PIZZA SPACE TO WALK IN SHAWARMA PLACE. CONSTRUCTION OF NEW POURED CONCRETE STEPS	AREA OF PROJECT: 406 SQ.FT/ 38 SQ.M	PROJECT ADDRESS: 499 NOTRE DAME AVE., SUDBURY, ON	SITE PLAN		REVISION-0
			DATE: MARCH 24/ 2026	SCALE: 1/16" = 1'-0"	SHEET No: 51

PL-MV-2026-00042
 Sketch 2

Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

SUDBURY APARTMENT RENTALS LIMITED

The Owner(s) of: PIN(s) 021350242, Lot 45, Block B, Plan 3-SA, Part Lot 6, Concession 4, Township of McKim, 101 Pine Street, Sudbury P3C 1W9

For the following reason(s): Permission under Section 45(2) of the Planning Act, R.S.O. 1990, c. P.13, to expand the legal non-conforming use of the existing lot, including the building, to increase the number of dwelling units within the existing building, providing an increase in residential density and maintain current parking.

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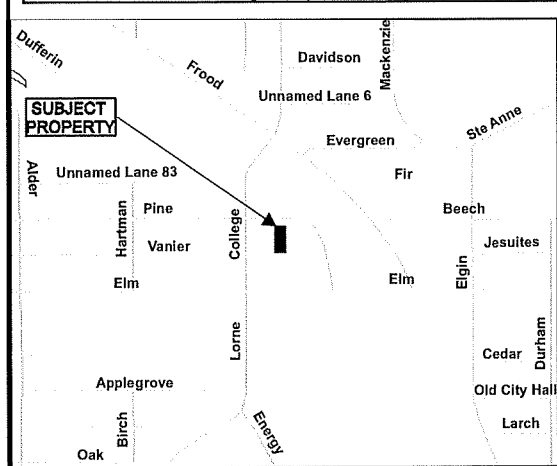
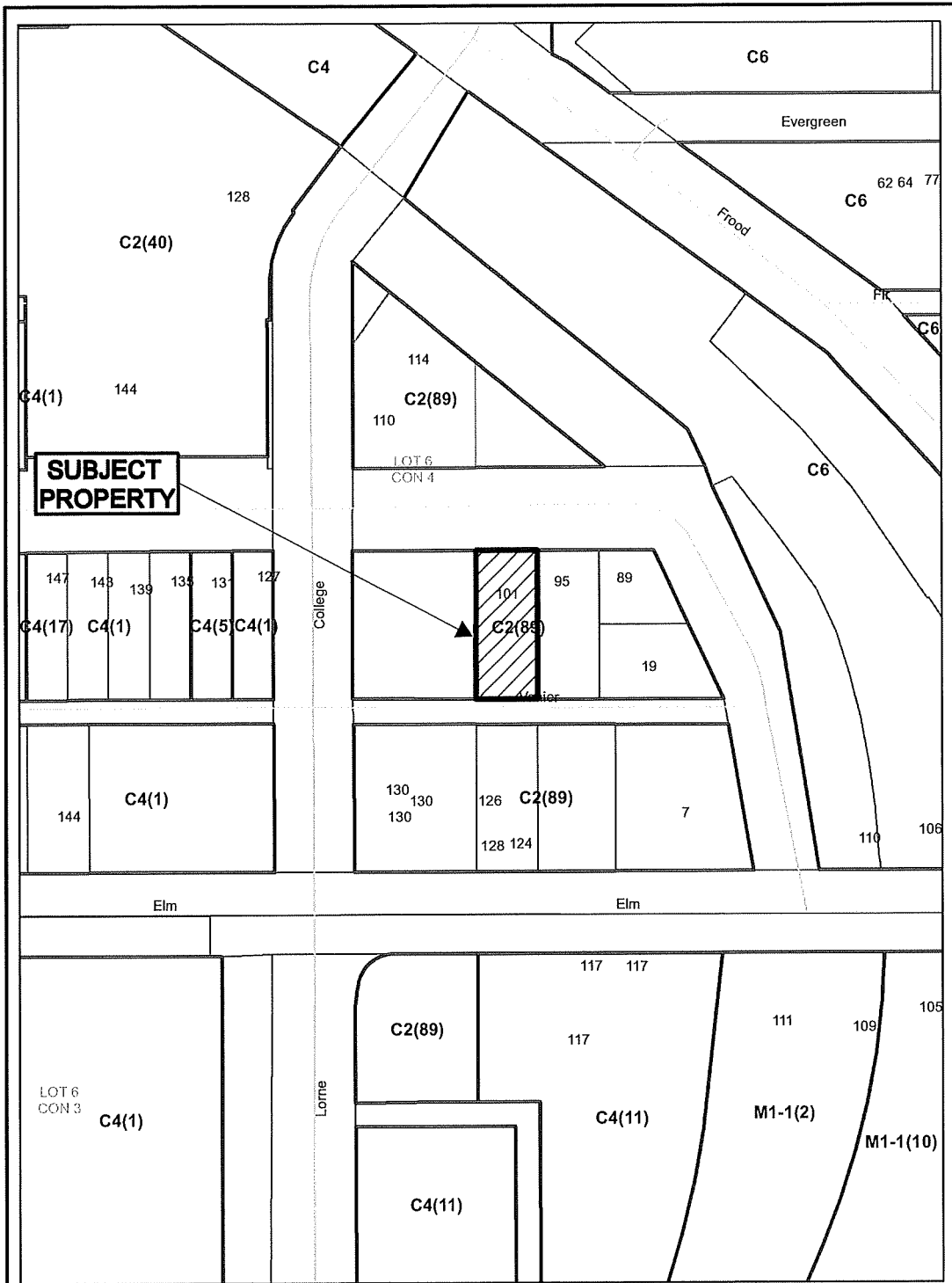
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C2(89)



**Application for Minor
Variance or Permission**

N

Subject Property being PIN 02135-0242,
Lot 45, Block B, Plan 3-SA,
Part Lot 6, Concession 4,
Township of McKim,
101 Pine Street, Sudbury,
City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00043
NDCA Date: 2026 04 13

Pine Street

15.24±

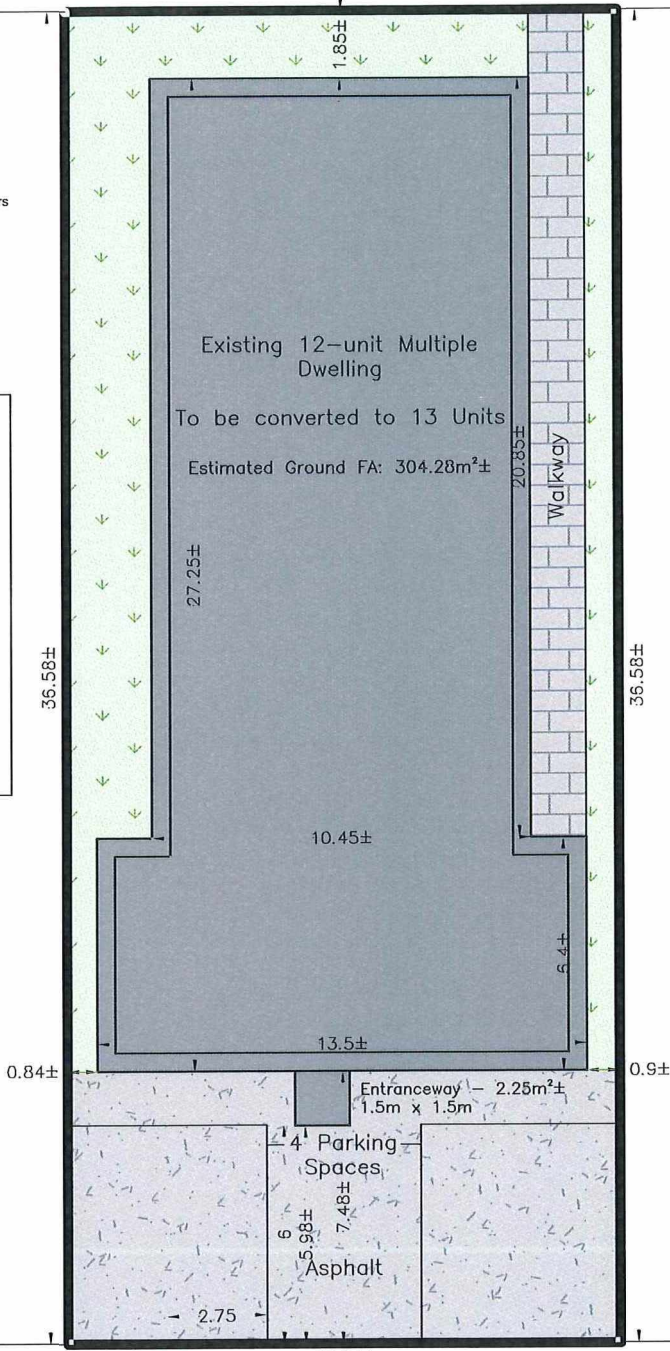


0 4 8 Meters

LOT AREA: 557.42m²±

SITE PLAN DATA

ZONING:	REQUIRED	EXISTING	PROPOSED (Where applicable)
LOT AREA:	MIN 1,350m ²	557.42m ² ±	
LOT FRONTAGE:	MIN 30m	15.24m±	
LOT COVERAGE:	MAX 50%	55%±	
GROSS FA:	MAX 2x Lot Area	=615.05m ²	
LOT DENSITY:	MAX 150units/ha	215.3units/ha (As approved)	235units/ha
BUILDING HEIGHT:	MAX 8m	0m±	
LANDSCAPING:	MIN 5%	25%	
SETBACKS:			
FRONT YARD:	5m	1.05m	
INTERIOR YARD:	1.2m±(0.5/storey)	0.04m	
REAR YARD:	7.5m	5.00m	
LANDSCAPING			
LANDSCAPE BUFFER:	MIN 3m	1.05m	
PARKING CALCULATIONS:			
MULTIPLE DWELLING	1.5/Unit @ 13 Units	4	
ACCESSIBLE SPACES (1-S SPACES)	=20	0	
BICYCLE SPACES	0.5/UNIT	Unknown	



CAUTION

THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM REGISTRY PLANS AND HAVE NOT BEEN CONFIRMED.
 THE FEATURES ILLUSTRATED ON THIS PLAN ARE BASED ON AERIAL IMAGERY AND HAVE NOT BEEN CONFIRMED.
 THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.
 NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF TULLOCH ENGINEERING, © TULLOCH ENGINEERING, 2026.

P:\2025\251157\Planning\07 Drawing\251157 - 101 Pine - 13 Unit - 2025-03-31.dwg

Vanier Lane

15.24±



T. 705-522-8303

131 FIELDING ROAD
LIVELY, ONTARIO
P3Y 1L7

PROJECT: **101 Pine Street
Lot 45, Block B, Plan 3SA
Former Village of Sudbury
City of Greater Sudbury**

DRAWING: **Site Sketch**

DRAWN BY:
MDJ

SCALE:
1:200

CHECKED BY:
BC/VS

PLOT SIZE:
8.5x11

PROJECT NUMBER:
25-1167

DATE:
Apr 22, 2026

PL-MV-2026-00043 sketch 2

Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

DENISE ST. AMANT AND MARTY GIGNAC

The Owner(s) of: PIN(s) 734941090, Lot 19, Plan 53M-1431, Part Lot 5, Concession 1, Township of Garson, 51 Bluejay Way, Garson P3L 0A8

For the following reason(s): Approval to construct a second-storey addition on the existing dwelling providing setbacks and encroachments at variance to the By-law.

Anyone interested in this matter may attend the public hearing at which time additional information regarding the application will be available for inspection. The public hearing has been scheduled as follows:

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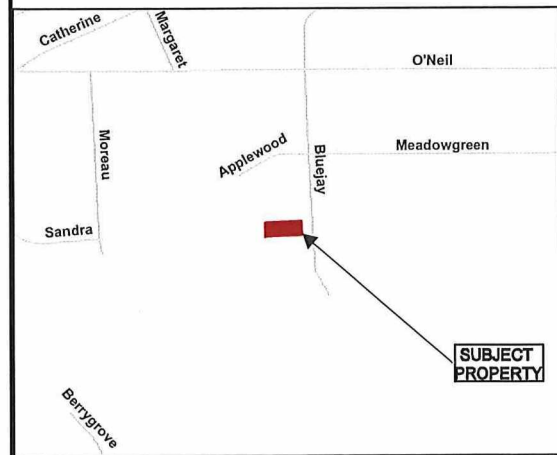
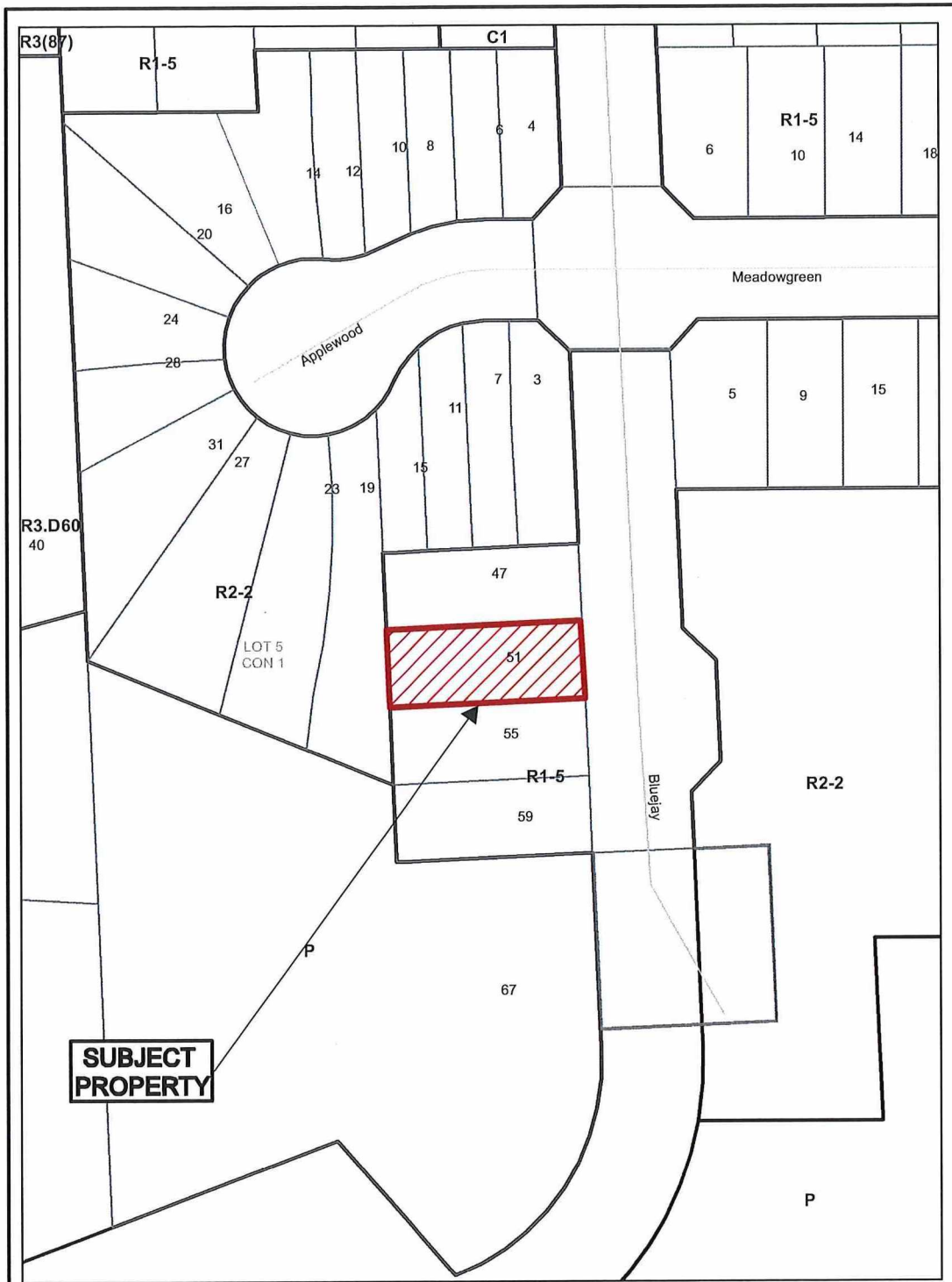
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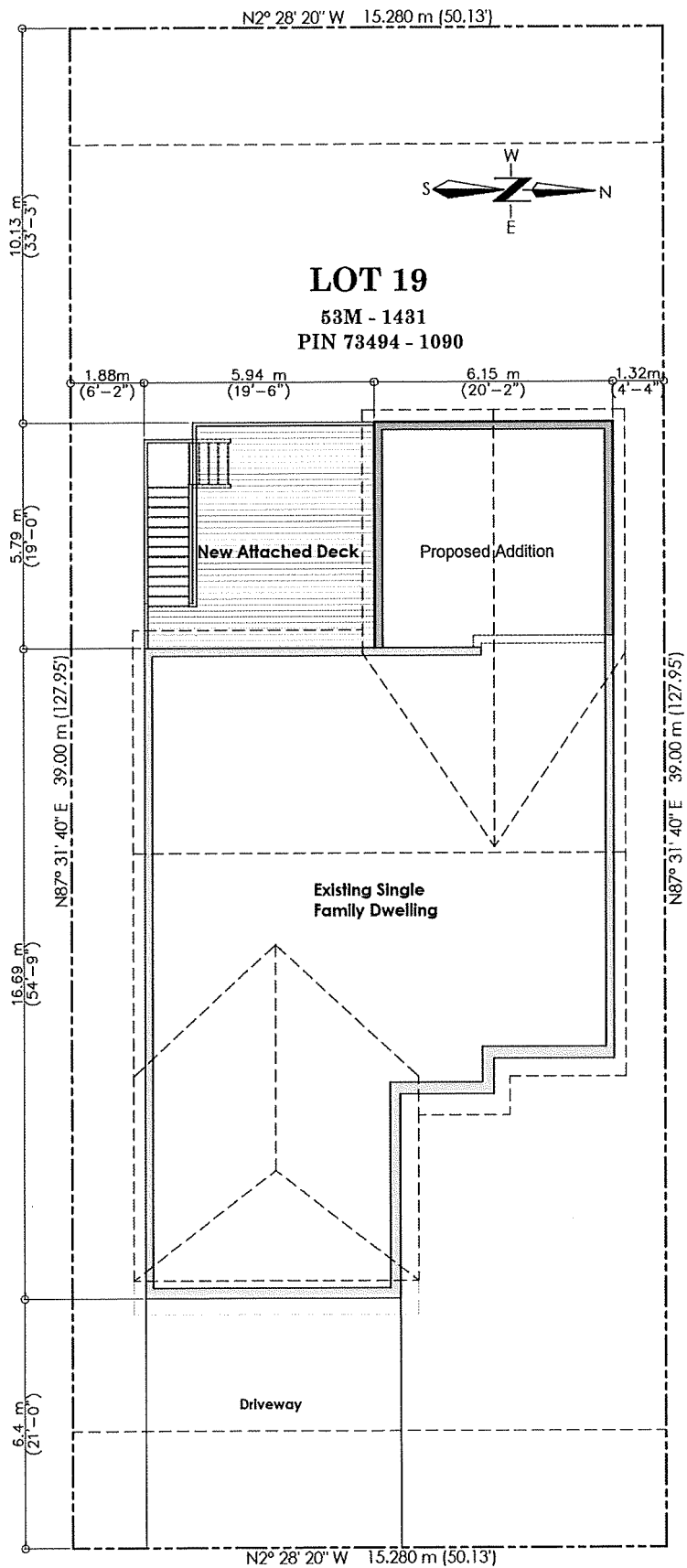
R1-5



Application for Minor Variance or Permission

Subject Property being PIN 73494-1090, Lot 19, Plan 53M-1431, Part Lot 5, Concession 1, Township of Garson, 51 Bluejay Way, Garson, City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00045
 NDCA Date: 2026 04 15



Bluejay Way

51 Bluejay Way

Plot Plan 1 : 100 metric
 (1/8" = 1'-0")

PL-MV-2026-00045
 Sketch

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

NORMAND POITRAS AND KATHERINE HUCAL

The Owner(s) of: PIN(s) 021710245, Parcel 23684 SEC SES SRO, Lot 4, Plan M-397, Part Lot 3, Concession 6, Township of McKim, 795 Lavoie Street, Sudbury P3A 2B8

For the following reason(s): Approval to construct an addition on the existing detached garage providing setbacks, encroachments, accessory lot coverage and height at variance to the By-law.

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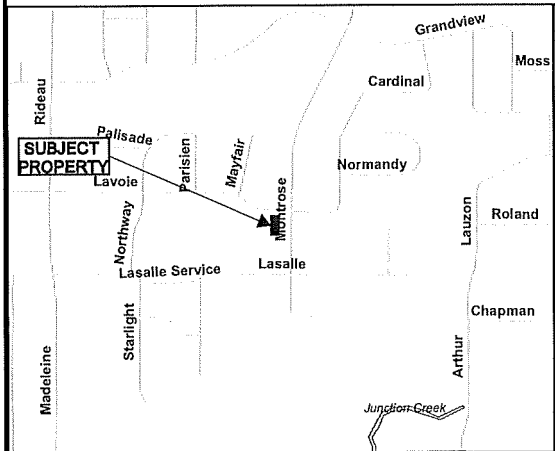
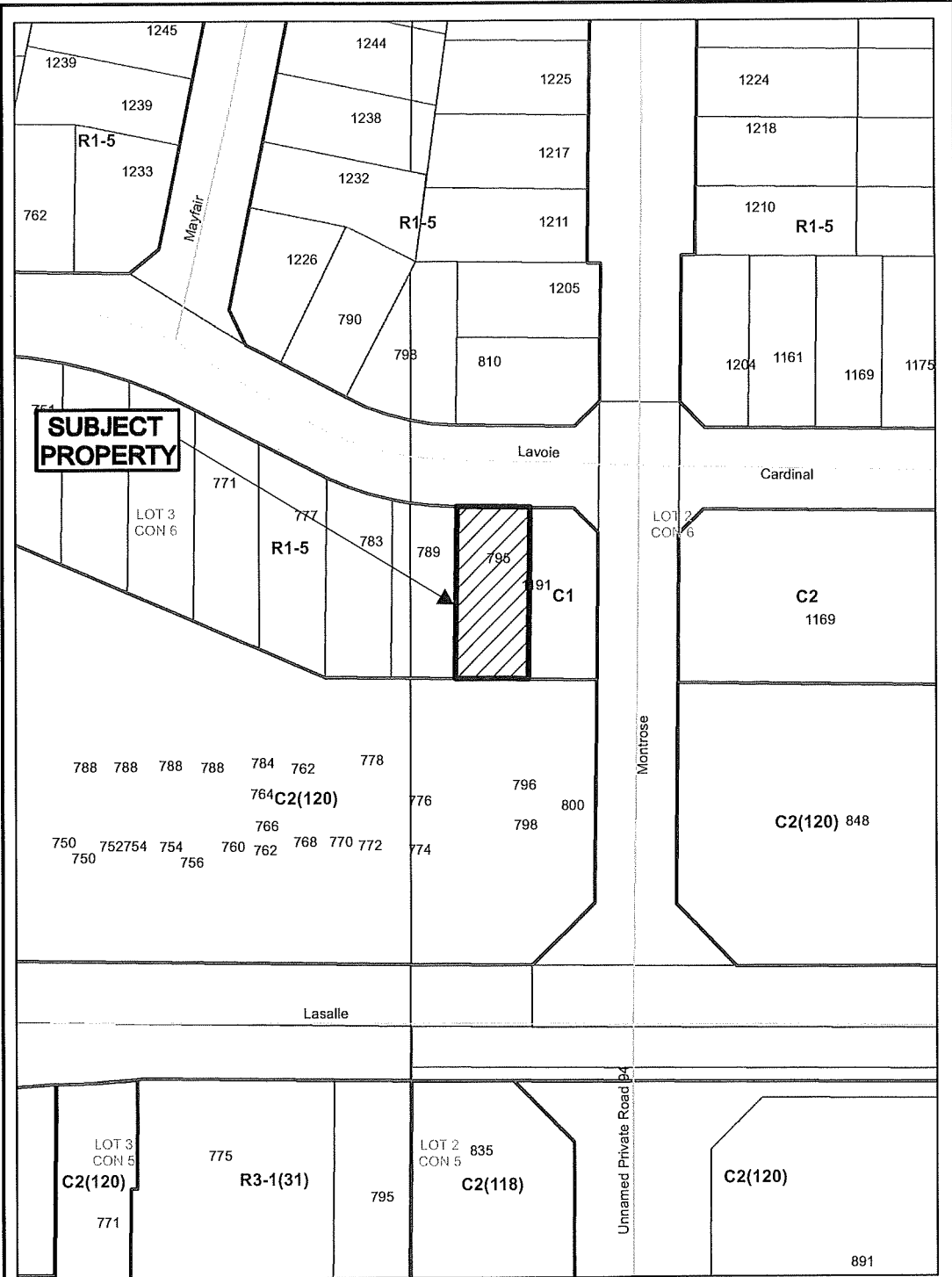
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R1-5

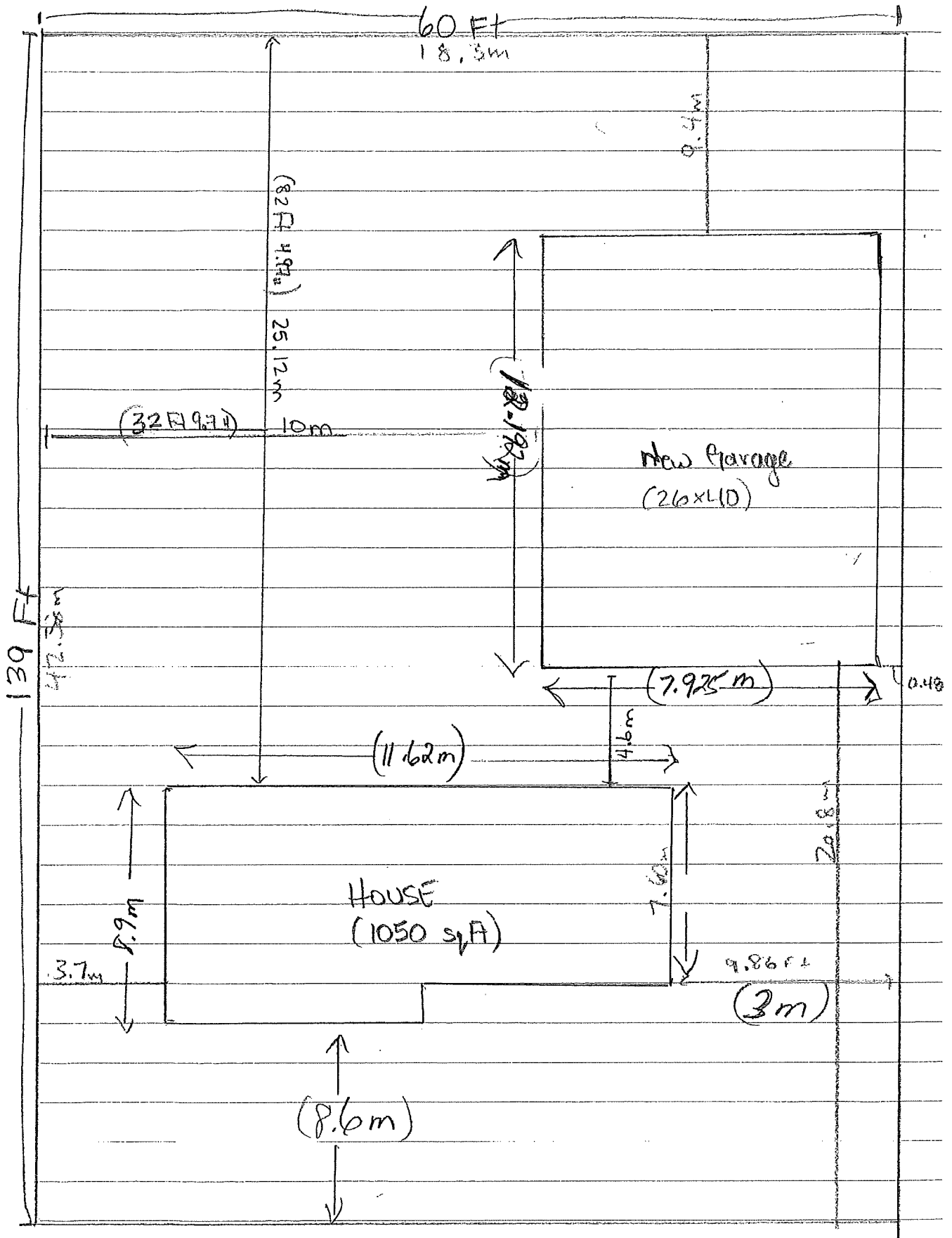


Application for Minor Variance or Permission

N

Subject Property being PIN 02171-0245, Parcel 23684 SEC SES SRO, Lot 4, Plan M-397, Part Lot 3, Concession 6, Township of McKim, 795 Lavoie Street, Sudbury, City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00046
 NDCA Date: 2026 04 16



(Projected) 795 LAVOIE ST.

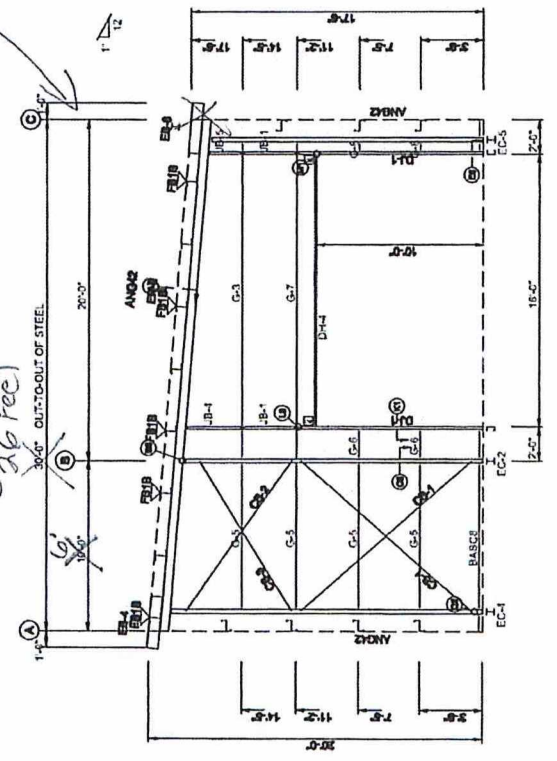
↓ N
 PL-MU-20216-00046
 Sketch 2

1 Foot OVER HANG REMOVED will be ZERO OVER HANG. ONLY EWES TROUGH. 4" (0.10 m)

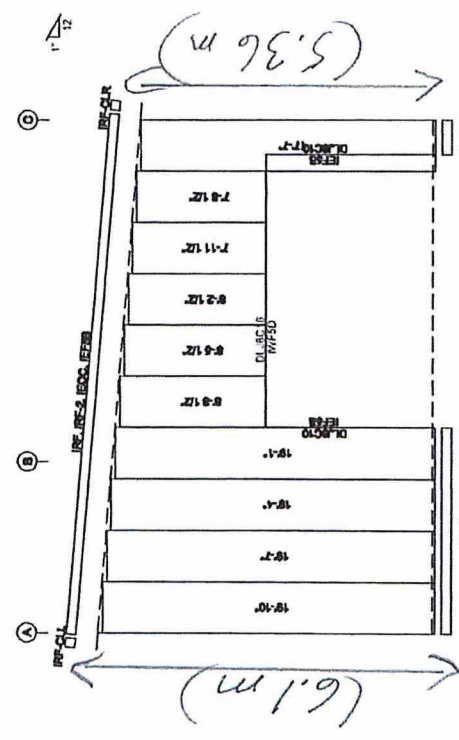
(7.9248 m)
(26 Feet)

BOLT TABLE	FRAME LINE 4	QUAN	TYPE	DIA	LENGTH
Columns/Row		2	A325	3/4"	1 3/4"
CONNECTION PLATES					
FRAME LINE 4					
QUANT					
2	2	2	2	2	2
FLANGE BRACE TABLE					
FRAME LINE 4					
VIDI MARK					
1	1	1	1	1	1
LENGTH					
1	1	1	1	1	1
1-2 1/4"					

26 x 40
7.9248m x 12.192m



ENDWALL FRAMING: FRAME LINE 4



ENDWALL SHEETING & TRIM: FRAME LINE 4
PANELS: 28 @ 8' - 7 1/2"

GENERAL NOTES:

1. Use TEK555W screws in place of SD150 panel screws at all 10 gargo mcombers.
2. See detail C7A for field coping of coldform endwall column flange braces.
3. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Clr Depth).

DRAWING STATUS	REV	DESCRIPTION	DATE
FOR APPROVAL		THESE DRAWINGS BEING FOR REVIEW, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS MARKED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.	
FOR PERMIT		THESE DRAWINGS BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS MARKED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.	
FOR CONTRACTOR		THESE DRAWINGS BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS MARKED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.	
APPD: XXX	DWN: YYY	REVISION: 0	DATE: 4/8/28
ENG: XXX	DWN: YYY	REVISION: 0	DATE: 4/8/28

DRAWING STATUS	REV	DESCRIPTION	DATE
FOR APPROVAL		THESE DRAWINGS BEING FOR REVIEW, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS MARKED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.	
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APPD: XXX	DWN: YYY	REVISION: 0	DATE: 4/8/28
ENG: XXX	DWN: YYY	REVISION: 0	DATE: 4/8/28

PAGE OF

PL-MV-2026-00046
Sketch 3

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

KYLE KARCHIE AND DANICA SERVANT

The Owner(s) of: PIN(s) 733470240, Parcel 16568 SEC SWS SRO, Lot 68, Plan M-466, Part Lot 6, Concession 1, Township of Rayside, 110 Paul Street, Azilda P0M 1B0

For the following reason(s): Approval to construct a detached garage providing a height at variance to the By-law.

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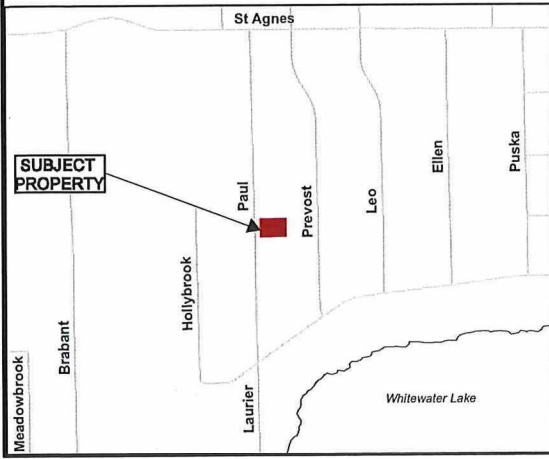
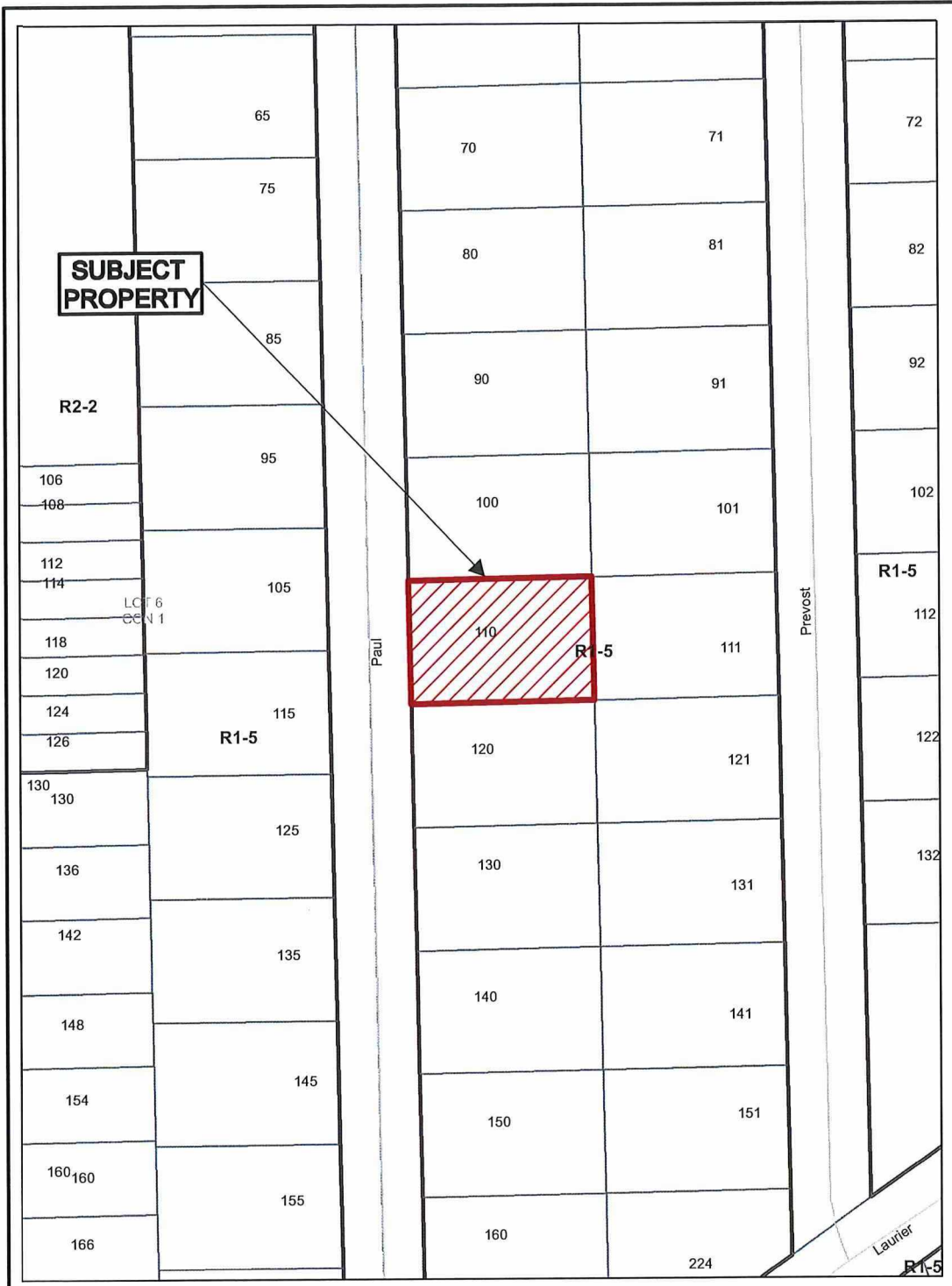
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For more information about this matter contact Nia Lewis, Secretary-Treasurer, Committee of Adjustment, City of Greater Sudbury, (705) 674-4455 x4315, fax to 673-2200 or attend at the offices at 200 Brady Street, Tom Davies Square, Sudbury, ON P3A 5P3 during regular office hours.

R1-5



Application for Minor Variance or Permission

Subject Property being PIN 73347-0240,
 Parcel 16568 SEC SWS SRO,
 Lot 68, Plan M-466,
 Part Lot 6, Concession 1,
 Township of Rayside,
 110 Paul Street, Azilda,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2026-00047
 Date: 2026 04 16

SITE PLAN LEGEND

- PROPOSED NEW
- DENOTES EXISTING BUILDING
- DENOTES DRIVEWAY
- DENOTES ASPHALT
- DENOTES PROPERTY LINE
- DENOTES SETBACK LINE
- DENOTES BUILDING ENTRANCE

SITE PLAN NOTES:

1. REFER TO SURVEY DRAWING PREPARED BY LICENSED SURVEYOR FOR EXISTING CHANGING PROPERTY LINE, EASEMENTS, AND BENCHMARK INFORMATION.
2. CONTRACTOR TO LOCATE AND CONFORM ALL EXISTING UNDERGROUNDS AND OVERHEAD UTILITIES PRIOR TO EXCAVATION ON SITE WORK.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS. FINISHED CHANGING TO GRADE MINIMUM 2" AWAY FROM BUILDING FOR FIRST 2 METERS.
4. FINISHED CHANGING TO MATCH EXISTING CHANGING AT PROPERTY LINE WITHOUT CAUSING NEGATIVE DRAINAGE OR ENCROACHMENT ONTO ADJACENT PROPERTIES.

ROOF PLAN LEGEND

- SLOPE 4/12"
- DENOTES DRAINAGE FROM EAVES & ROOF SLOPE
- DENOTES DOWN SPOUTS WITH SPLASH PAD
- DENOTES DRAINAGE THROUGH DOWNSPOUT
- DENOTES HIGGS VENT
- DENOTES HIGGS LINE
- DENOTES MINIMUM EXTENT OF CAVE PROTECTION SUCH AS ICE AND WATER SHIELD OR APPROVED EQUAL. CAVE PROTECTION TO EXTEND A MINIMUM OF 1" PAST INTERIOR FACE OF EXTERIOR WALL.

ROOF PLAN NOTES:

1. CONTRACTOR TO SITE VERIFY EXISTING SLOPE, DIMENSIONS, AND WALL CONDITIONS PRIOR TO ORDERING TRUSSES. REPORT ANY DISCREPANCIES TO KOMRI ENGINEERING.
2. CAVE PROTECTION SUCH AS ICE AND WATER SHIELD OR APPROVED EQUAL TO EXTEND MINIMUM 1" PAST INTERIOR FACE OF EXTERIOR WALL (TYPICAL) AND TO BE INSTALLED AT ALL EAVES, WALLS, AND LOW SLOPE TRANSECTIONS.
3. ALL HOOD VENTS TO BE INSTALLED WITH CAVE PROTECTION, FLASHING, AND TO BE SEALED AGAINST WEATHER INTRUSION.
4. THE MANUFACTURED ROOF TRUSS SUPPORT SHALL PROVIDE TRUSSES IN ACCORDANCE WITH KOMRI ENGINEERING DESIGN PARAMETERS AND OMC PART 8 SECTION R2.3.11 (WOOD TRUSSES).
5. TRUSS SHIP DRAWINGS TO BE STAMPED BY A LICENSED ENGINEER AND SUBMITTED TO KOMRI ENGINEERING FOR REVIEW PRIOR TO INSTALLATION.
6. ALL HOOD VENTS TO BE INSTALLED WITH HIGGS LINE AND MINIMUM 3" SUPPORT BEARING.
7. PROVIDE CONTINUOUS VENTILATION AT EAVES AND HOODS TO ACHIEVE OMB MINIMUM 120% VENTILATION RATIO ON ALL SPACES.
8. PROVIDE 1/4" DIA VENTS PRESURE RATED AT LEAST TO MAINTAIN MINIMUM 30 MM (2") AIR CLEARANCE BETWEEN INSULATION AND ROOF SHEATHING VENTILATION.
9. PROVIDE DWP CODE FLASHING AT ALL EAVES AND GABLE ENDS, INSTALLED OVER UNDERLAYMENT.
10. TYPICAL HOOD SLOPE TO BE VERIFIED ON SITE. ANY DEVIATIONS FROM PLANS TO BE APPROVED PRIOR TO PROCEEDING WITH INSTALLATION.
11. PROVIDE BELONGING WALLS ON LOCATIONS WITH EXISTING DOWNROVS, CHIMNEYS, AND PENETRATIONS.
12. HOOD PENETRATIONS FOR ALL HIGGS VENTS, DUCTS OR EXHAUST TO BE SEALED, FLASHED, AND LOCATED TO MINIMIZE ROOF STRUCTURE CONFLICT. ALL FLASHING VENTS AND DUCTS TO BE COORDINATED BY PLUMBING CONTRACTOR.

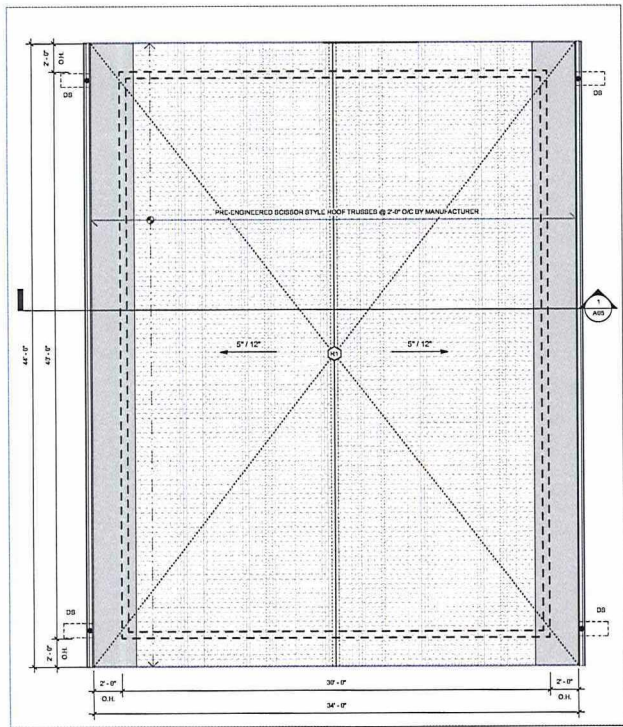
ROOF ASSEMBLIES:

- (1) DETACHED GARAGE TRUSS ROOF ASSEMBLY**
 - 2" X 8" ASPHALT SHINGLES
 - GAVES/HOODS/ANDRONS PERMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERMETER AND FLASHING ANDRONS
 - CONSTRUCTION OF ALL FLASHING TO BE AS PER DETAIL
 - 1" PLYWOOD SHEATHING OVER 1/2" GIPS
 - PRE-ENGINEERED BOSSBORO STYLE ROOF TRUSSES BY OTHERS
 - BATT INSULATION R-30
 - 1/2" POLY VAPOR BARRIER - LAP & SEAL
 - CEILING AS SPECIFIED

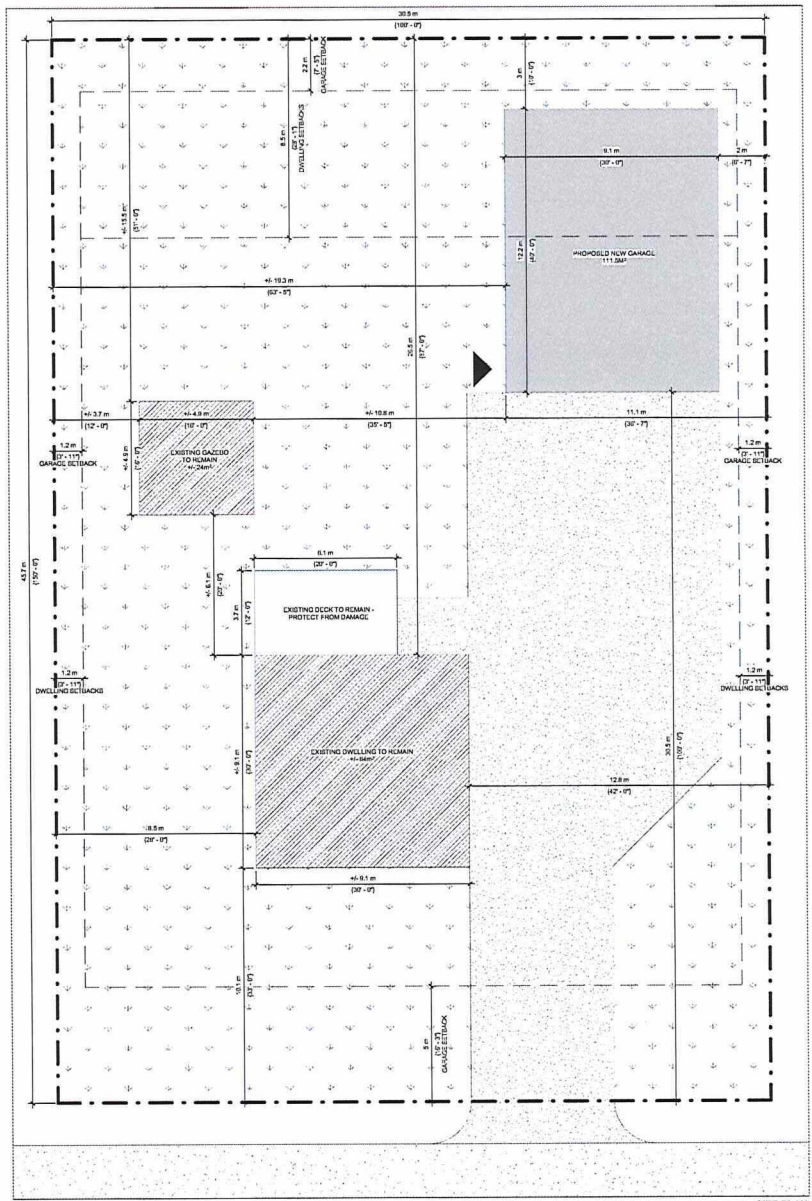
DIMENSIONS ON ROOF PLAN TO BE FIELD VERIFIED BY HOME OWNER. CONTRACTOR OR SITE SURVEYOR. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING.

ZONE *	R-1 (A)
TOTAL PROPERTY AREA *	= 73,386sf
EXISTING RESIDENCE *	= 83,60sf
EXISTING GARAGE *	= 2,238sf
PROPOSED NEW DWELLING *	= 11,188sf
NEW TOTAL LOT COVERAGE *	= 15.7%
MAXIMUM LOT COVERAGE *	= 45%
MAXIMUM HEIGHT *	= 11'
MINIMUM LOT FRONTAGE *	= 15'
MINIMUM FRONT YARD *	= 6'
MINIMUM REAR YARD *	= 7.5'
MINIMUM SIDE YARD *	= 3.25'
MINIMUM CORNER SIDE YARD *	= 4.5'

ACCESSORY STRUCTURE ALLOWANCES	
MAXIMUM HEIGHT *	= 8'
ACCESSORY LOT COVERAGE *	= 10.7%
MINIMUM LOT COVERAGE *	= 10%
PROPOSED NEW BUILDING *	= 8%
MINIMUM FRONT YARD *	= 6'
MINIMUM REAR YARD *	= 3.25'
MINIMUM SIDE YARD *	= 3.25'
MINIMUM CORNER SIDE YARD *	= 4.5'



ROOF PLAN
1/4" = 1'-0"



SITE PLAN
1/8" = 1'-0"

- 1. ALL CHANGING TO BE ESTABLISHED CONSTRUCTION.
- 2. CONTRACTOR SHALL VERIFY ALL UNDERGROUNDS AND OVERHEAD UTILITIES PRIOR TO EXCAVATION ON SITE WORK.
- 3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS. FINISHED CHANGING TO GRADE MINIMUM 2" AWAY FROM BUILDING FOR FIRST 2 METERS.
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COMMENTS

REVISIONS

DATE

SCALE: As Indicated

KOMRI ENGINEERING
16600 GARDNER STREET, SUITE 101
DALLAS, TEXAS 75244
214.380.0000
info@komriengineering.com | 755.616.2716

INCORPORATED GROUP INC.
16600 GARDNER STREET, SUITE 101
DALLAS, TEXAS 75244
PROJECT NO. 2026-009

SITE PLAN & ROOF PLAN
DRAWN: DL
CHECKED: DP/IKO
SCALE: As Indicated
DATE: 4/23/2026

A02

ISSUED FOR COORDINATION - APRIL 23, 2026

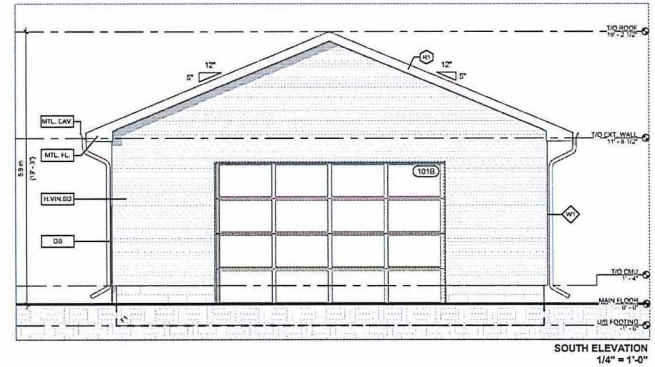
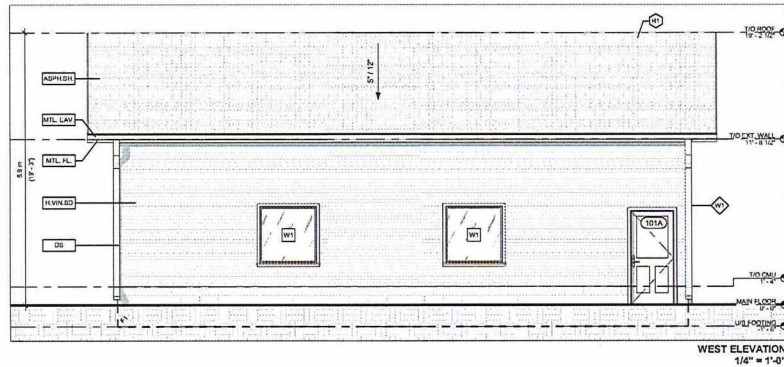
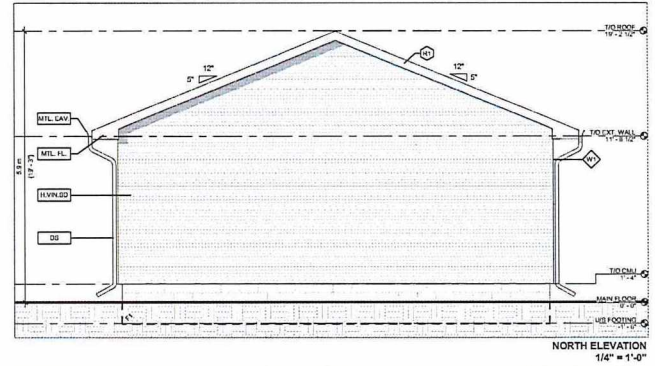
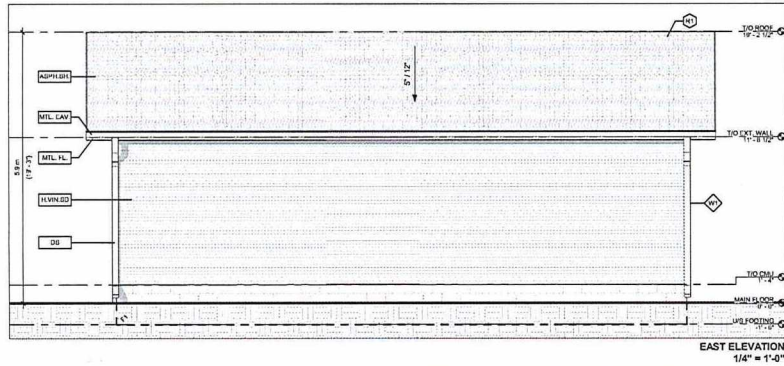
PL-MV-2026-00047
Sketch 2

LEGEND

	DENOTES METAL FLASHING
	DENOTES 25 YEAR ASPHALT BRICKLES
	DENOTES HORIZONTAL VINYL SIDING BY OWNER
	DENOTES METAL CAVITY THROUGH
	DENOTES METAL DOWN SPOUT
	ROOF IDENTIFICATION IN SCHEDULE
	WALL IDENTIFICATION IN SCHEDULE
	DOOR IDENTIFICATION IN SCHEDULE
	WINDOW IDENTIFICATION IN SCHEDULE
	FOOTING IDENTIFICATION IN SCHEDULE

ELEVATION NOTES:

1. EXTERIOR ELEVATIONS ARE SHOWN FOR GENERAL REFERENCE ONLY. REFER TO FLOOR PLANS, SECTIONS, AND DETAILS FOR EXACT DIMENSIONS AND MATERIAL INTERFACES.
2. ALL EXTERIOR FINISHES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. VERIFY FINAL COLORS AND MATERIALS PRIOR TO ORDERING. ANY CHANGES TO COLORS AND MATERIALS FINISH ON THE JOB OR FOR PRELIMINARY FINISH SHALL NOT BE MADE WITHOUT REPORTING BACK TO KOMRI ENGINEERING FOR REVIEW AND APPROVAL.
3. ALL DIMENSIONS TO EXTERIOR GRADE. EIGHTHS, HEAD HEIGHTS, AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT.
4. TYPICAL FLOOR-TO-DOOR HEIGHTS TO BE VERIFIED WITH STRUCTURAL DRAWINGS.
5. ALL WINDOW AND DOOR HEAD HEIGHTS TO ALIGN HORIZONTALLY UNLESS NOTED OTHERWISE.
6. EXTERIOR GRADES SHOWN ON ELEVATIONS ARE FOR REFERENCE ONLY. FINAL GRADES TO BE DETERMINED TO APPROXIMATELY MATCH MUNICIPAL REQUIREMENTS. CORROSION RESISTANT LOCATIONS TO BE COORDINATED WITH HOOD DRAWING PLAN AND NOT TO OBSTRUCT DOORS, WINDOWS, OR WALKWAYS.
7. PROVIDE FLASHING ABOVE ALL DOORS, WINDOWS, AND HORIZONTAL GLASSING TRANSITIONS.
8. PROVIDE Drip COLES AT ALL GLASSING BASES AND CORRECT HORIZONTAL TERMINATIONS.
9. ALL VISIBLE METAL FLASHING, FLASHINGS, BRACKETS, METAL GLASSING TO BE FINISHED AS SELECTED BY OWNER.
10. HODIC NUMBER IS TO BE INSTALLED IN A VISIBLE LOCATION NEAR FRONT ENTRY AS PER MUNICIPAL REQUIREMENTS.
11. ANY CHANGES TO WINDOW OR DOOR LOCATIONS, SIZES, OR SIZES TO BE APPROVED BY KOMRI ENGINEERING PRIOR TO FINISHING.
12. REFER TO BUILDING SECTIONS FOR BOFFIT DETAILS, AND MATERIAL THICKNESS REQUIREMENTS.
13. ALL LEVELS OF FOUNDATION WALLS TO RECEIVE PARAPET FINISH TO 30" BELOW GRADE UNLESS OTHERWISE NOTED.



1. ALL CHANGES TO THE EXISTING CONSTRUCTION SHALL BE MADE TO THE EXISTING CONTRACT DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
 4. 1/8\"/>

REVISIONS
 1. REVISED FOR COORDINATION
 2. REVISED FOR COORDINATION
 3. REVISED FOR COORDINATION



KECANE GROUP INC.
 1500 W. BROADWAY
 PROJECT NO. KR20-009

DRAWN: DL
 CHECKED: DP/KGD
 SCALE: 1/4\"/>

A04

ISSUED FOR COORDINATION - APRIL 23, 2026

PL-MV-2026-00047
 sketch 3

Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

JEFF HUNTER AND TANYA REILLY-HUNTER

The Owner(s) of: PIN(s) 734790159; 734790148, Parcels 9521 and 10915 SEC SES, Part Lot 9, Concession 6, as in LT60372 and LT52121, except LT81264, Township of Dill, 2798 Richard Lake Road, Sudbury

For the following reason(s): Approval to construct a dwelling providing a high water mark setback, shoreline structure, shoreline buffer, cleared area at high water mark and building facade at variance to the By-law.

Anyone interested in this matter may attend the public hearing at which time additional information regarding the application will be available for inspection. The public hearing has been scheduled as follows:

DATE: Wednesday, May 13, 2026
TIME: 05:00 PM
LOCATION: Council Chamber, Lionel E Lalonde Centre, 239 Montee Principale, Azilda and via electronic participation.

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Participate in the Committee of Adjustment Meeting

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- **Attend in person:** Attend in person at Council Chamber, Lionel E Lalonde Centre, 239 Montee Principale, Azilda;
- **Submit comments in writing:** Written comments are to be submitted to **Nia Lewis, Secretary-Treasurer, Committee of Adjustment**, Box 5000, Station A, Sudbury, Ontario, P3A 5P3, prior to this meeting or by email to coa_mv@greatersudbury.ca. Comments received **by 3:00 p.m. on May 8, 2026** will be provided to Members of the Committee of Adjustment prior to the meeting; and/or
- **Register to speak at the Committee of Adjustment Meeting via electronic participation:** Please go to the City of Greater Sudbury website at <https://www.greatersudbury.ca/do-business/planning-and-development/committee-of-adjustmentsign-variance-committee/> for instructions to register for electronic participation. Interested members must register prior to 12:00 p.m. one business day prior

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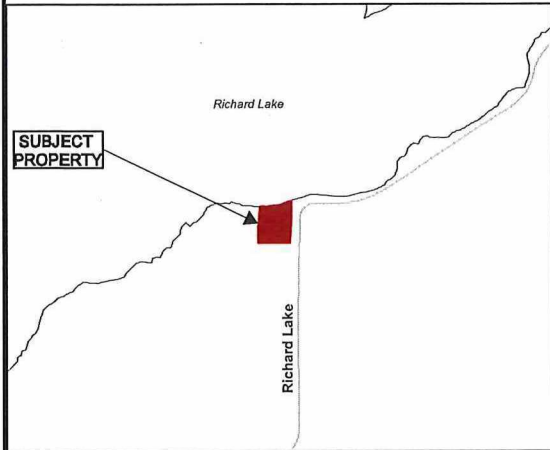
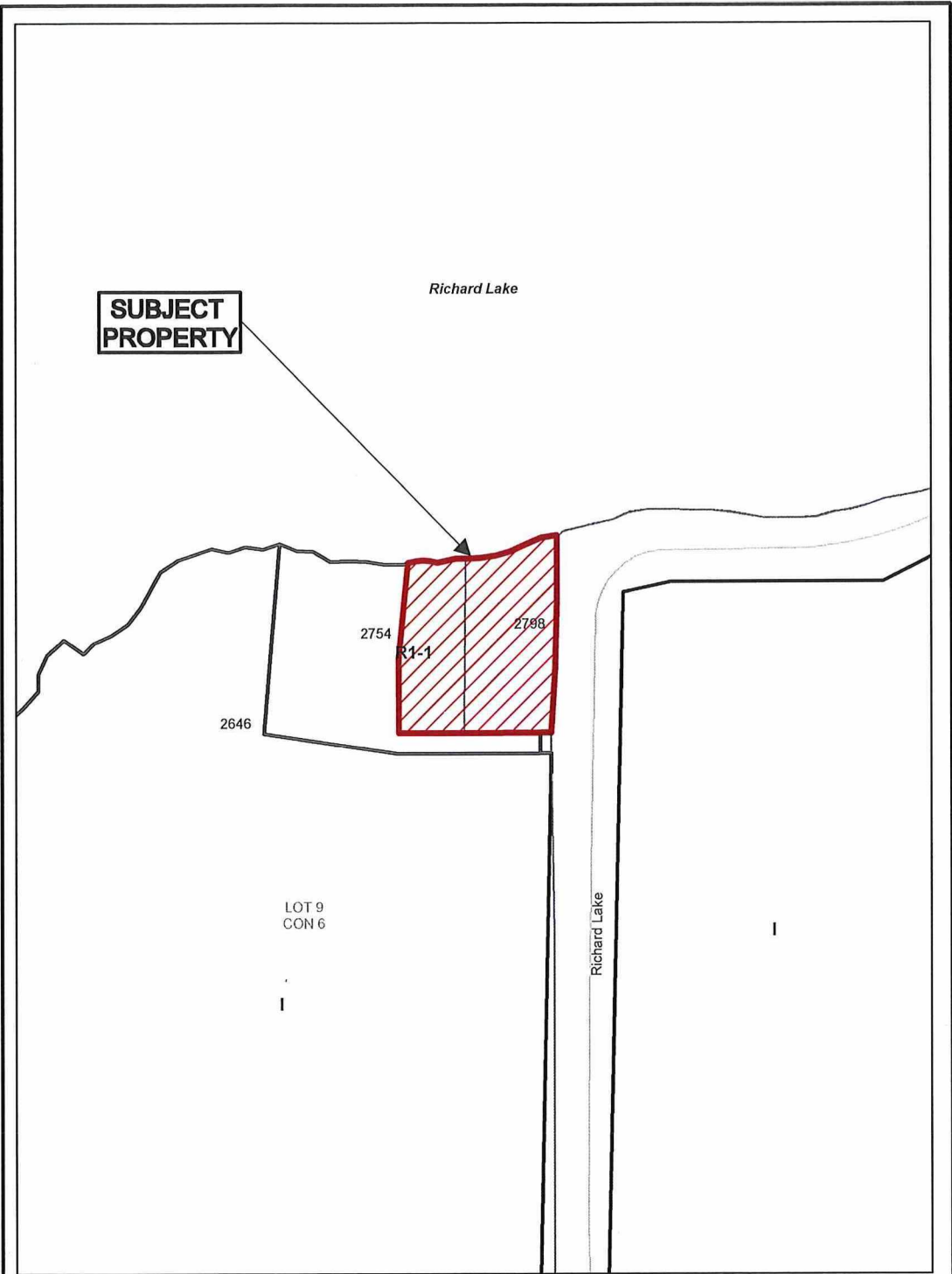
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R1-1



Application for Minor Variance or Permission

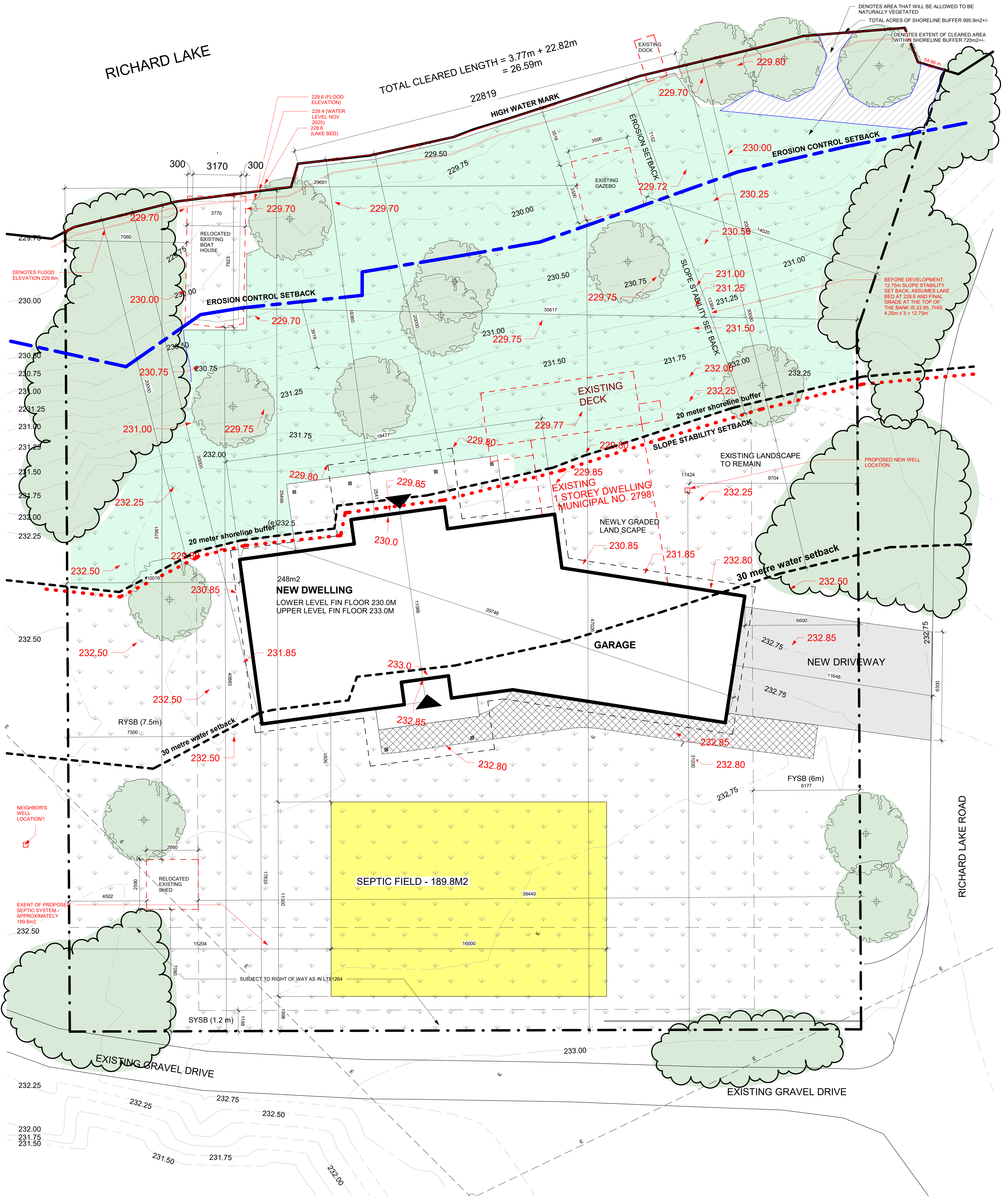
Subject Property being PINs 73479-0159 & 73479-0148, Parcels 9521 and 10915 SEC SES, Part Lot 9, Concession 6, as in LT60372 and LT52121, except LT81264, Township of Dill, 2798 Richard Lake Road, Sudbury, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00049
Date: 2026 04 21

RICHARD LAKE

TOTAL CLEARED LENGTH = 3.77m + 22.82m = 26.59m



SITE LEGEND

	DENOTES PROPERTY LINE		DENOTES EXISTING TREES, SHRUBS AND NATURAL LANDSCAPE ELEMENTS		DENOTES PROPOSED NEW DRIVEWAY		DENOTES NEW GRASS SEED
	DENOTES SETBACK LINE		DENOTES NEW TREES, SHRUBS AND NATURAL LANDSCAPE ELEMENTS		DENOTES NEW CONCRETE WALKWAY		DENOTES NEW BUILDING ENTRANCE
	DENOTES EXISTING GRADING CONTOURS		DENOTES PROPOSED NEW BUILDING		DENOTES AREA THAT WILL BE ALLOWED TO BE NATURALLY VEGETATED		DENOTES PROPOSED GRADE
	DENOTES WATER SETBACK LINE		DENOTES PROPOSED NEW DECK		DENOTES EXISTING GRADE		
	DENOTES OVERHEAD ELECTRICAL SERVICE		DENOTES EXISTING STRUCTURE				
	DENOTES EROSION CONTROL SETBACK						
	DENOTES SLOPE STABILITY SET BACK						

Scale: 0m 1m 5m 10m 20m

NORTH

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

DOMINION PARK DEVELOPMENTS CORP

The Owner(s) of: PIN 73504-3251, SRO, Lot 109, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4202 and 4206 Bonaventure Drive, Hanmer

For the following reason(s): Approval to construct semi-detached dwellings on proposed lots subject of a future Consent Application, providing setbacks, encroachments and lot coverage at variance to the By-law.

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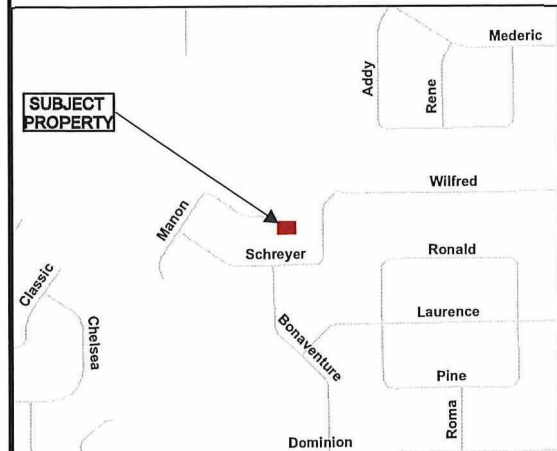
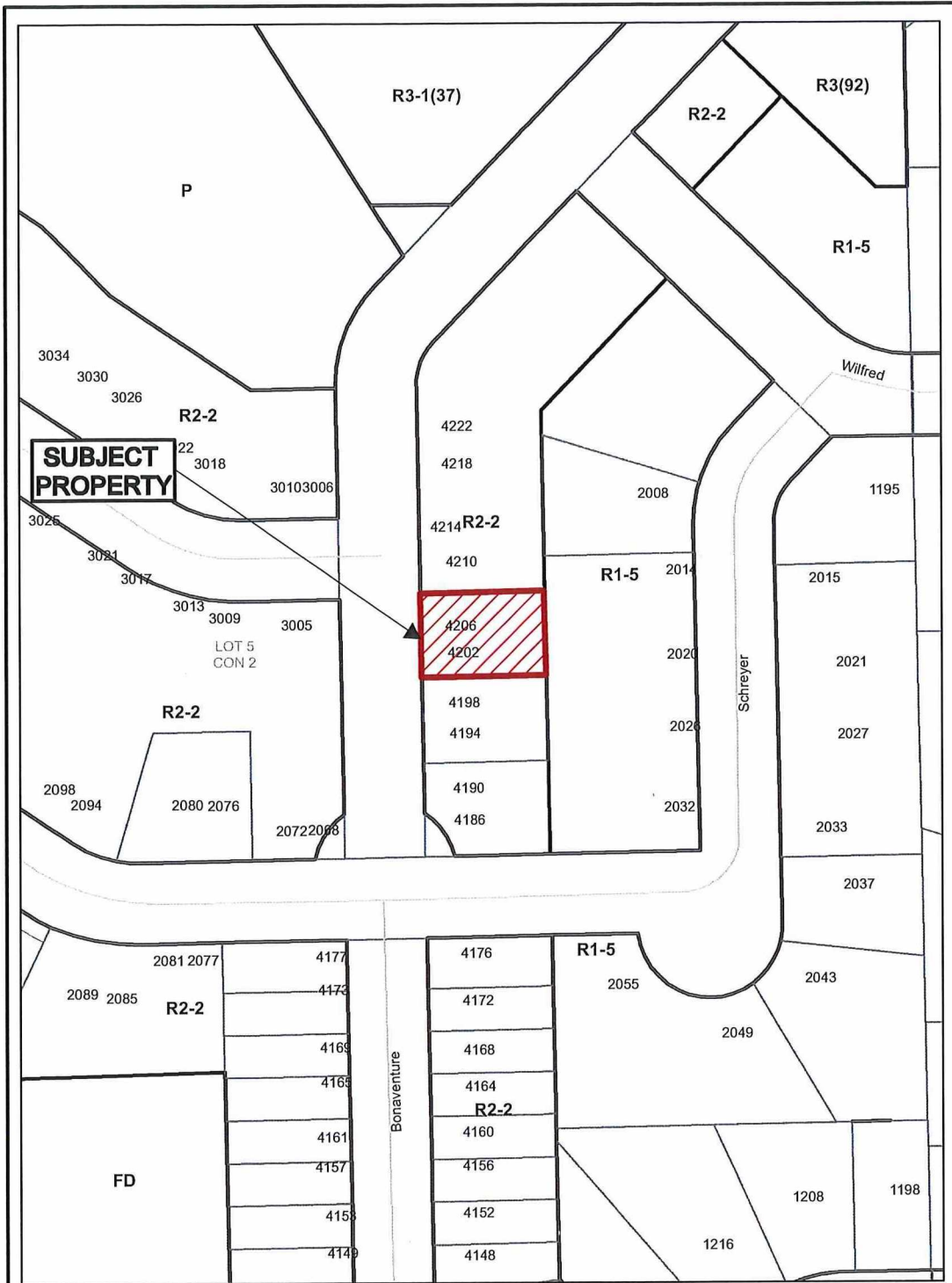
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R2-2, R1-5



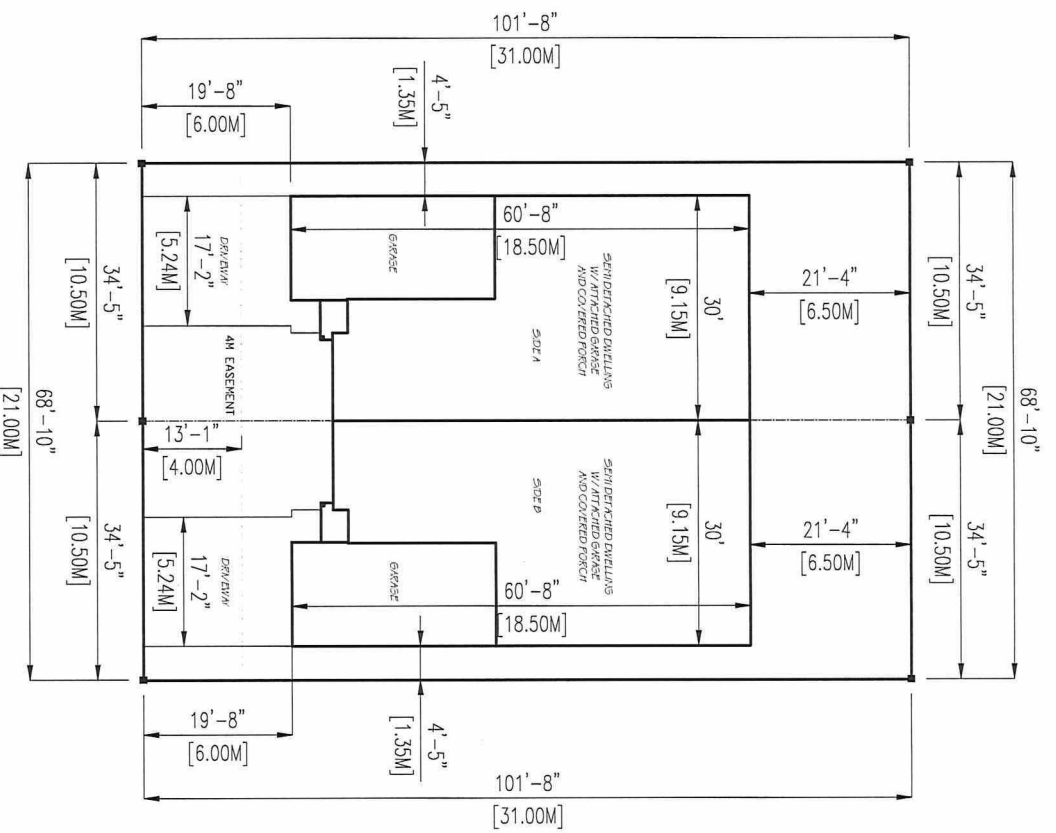
Application for Minor Variance or Permission



Subject Property being PIN 73504-3251, SRO, Lot 109, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4202 and 4206 Bonaventure Drive, Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2026-00050
 PL-MV-2026-00051
 Date: 2026 04 22



LOT 109 BONAVENTURE DRIVE



SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	21M X 31M 651 M ²	10.5M X 31M 325.5 M ²	10.5M X 31M 325.5 M ²
MAXIMUM PERMITTED LOT COVERAGE TABLE 6.3	292.95 M ² (45%)	146.5 M ² (45%)	146.5 M ² (45%)
PROPOSED LOT COVERAGE	328M ² (50.4%)	164M ² (50.4%)	164M ² (50.4%)
PERCENTAGE OF LOT COVERAGE EXCEEDING BYLAW		17.5M ² (5.4%)	17.5M ² (5.4%)
REQUIRED REAR YARD SETBACK TABLE 6.3	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK		6.50 METRES	6.50 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		1.0M	1.0M
EAVES ENCRDACHMENT TABLE 4.1 MAY ENCRDACH 1.2M INTO THE REQUIRED REAR YARD BUT NOT CLOSER THAN 0.6M TO THE REAR LOT LINE		ENCRDACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)	ENCRDACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)

CR Design

Site Plan

SP1

2023.04.18

1:5000

PL-W-2023-00050 and PL-W-2023-00051 sketch 2

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In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

DOMINION PARK DEVELOPMENTS CORP

The Owner(s) of: PIN 73504-3251, SRO, Lot 110, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4210 and 4214 Bonaventure Drive, Hanmer

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Participate in the Committee of Adjustment Meeting

The public is able to participate in Public Hearings in person or via electronic participation. There are several ways in which the general public can provide submissions to the Members of the Committee of Adjustment for the Wednesday, May 13, 2026 meeting, as follows:

- **Attend in person:** Attend in person at Council Chamber, Lionel E Lalonde Centre, 239 Montée Principale, Azilda;
- **Submit comments in writing:** Written comments are to be submitted to **Nia Lewis, Secretary-Treasurer, Committee of Adjustment**, Box 5000, Station A, Sudbury, Ontario, P3A 5P3, prior to this meeting or by email to coa_mv@greatersudbury.ca. Comments received **by 3:00 p.m. on May 8, 2026** will be provided to Members of the Committee of Adjustment prior to the meeting; and/or
- **Register to speak at the Committee of Adjustment Meeting via electronic participation:** Please go to the City of Greater Sudbury website at <https://www.greatersudbury.ca/do-business/planning-and-development/committee-of-adjustmentsign-variance-committee/> for instructions to register for electronic participation. Interested members must register prior to 12:00 p.m. one business day prior to the date of the hearing.

Comments submitted on the matter, including the originator's name and address, become part of the public record, may be viewed by the public and published in the Committee of Adjustment minutes. By submitting information, including print or electronic information, you are indicating that you have obtained the consent of the persons whose personal information is included in the information disclosed to the public.

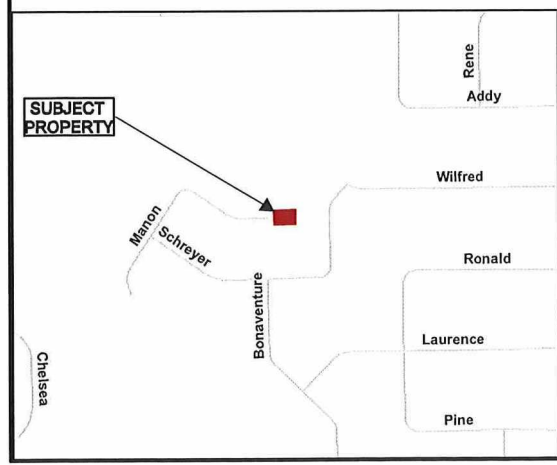
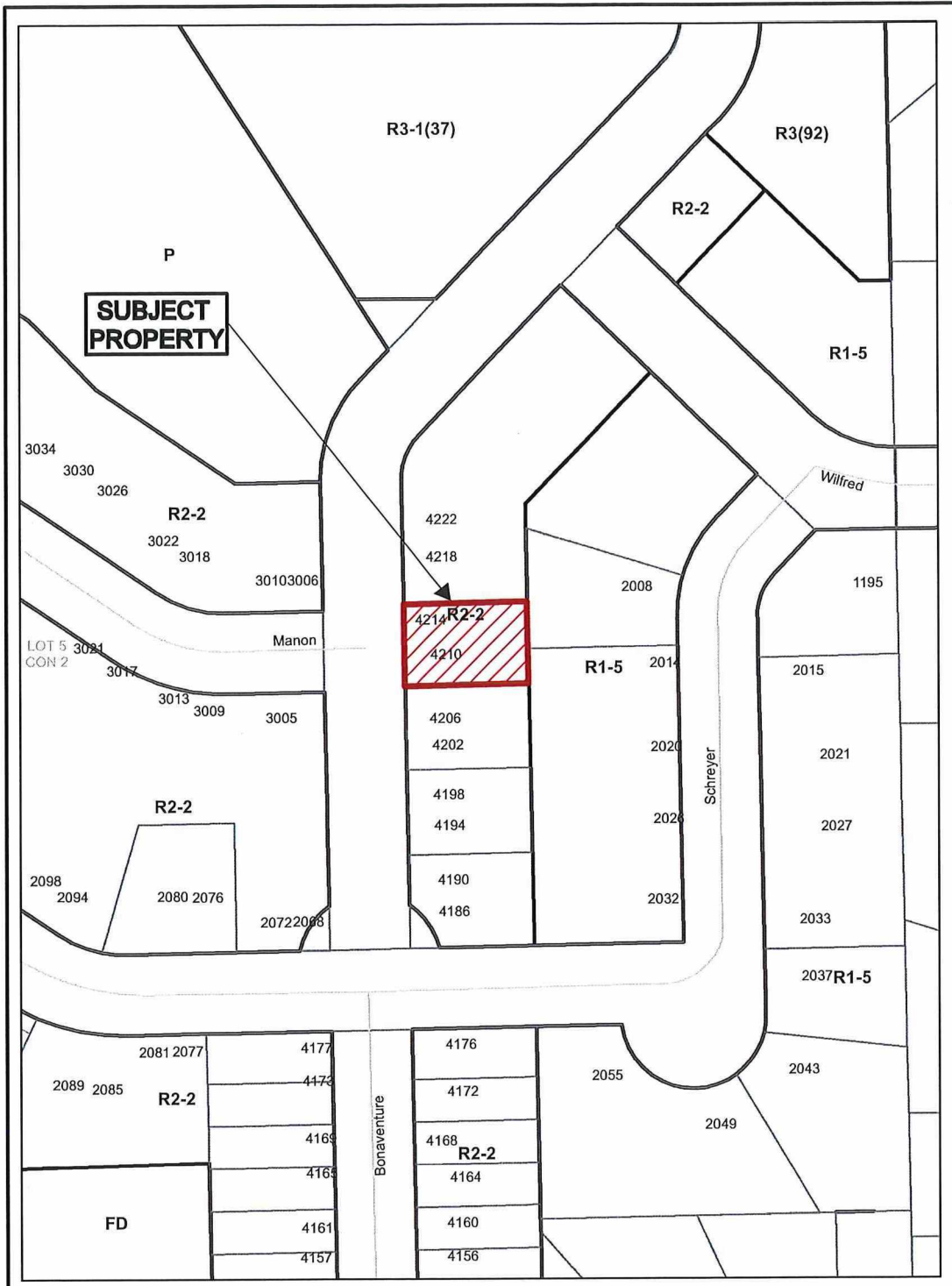
A certified copy of the decision will be sent to each person who files with the Secretary-Treasurer a written request for notice of the decision. This will also entitle you to be notified of any appeal of the decision to the Ontario Land Tribunal.


Note: The owner of any land that receives this notice, where the land contains seven or more residential units, is requested to post a copy of this notice in a location that is visible to all residents.

The meeting agenda, related applications and sketches can be found on our website at <https://www.greatersudbury.ca/do-business/planning-and-development/committee-of-adjustmentsign-variance-committee/>. The recording of the meeting will be posted on the website within one week following the meeting.

For more information about this matter contact Nia Lewis, Secretary-Treasurer, Committee of Adjustment, City of Greater Sudbury, (705) 674-4455 x4315, fax to 673-2200 or attend at the offices at 200 Brady Street, Tom Davies Square, Sudbury, ON P3A 5P3 during regular office hours.

R2-2, R1-5



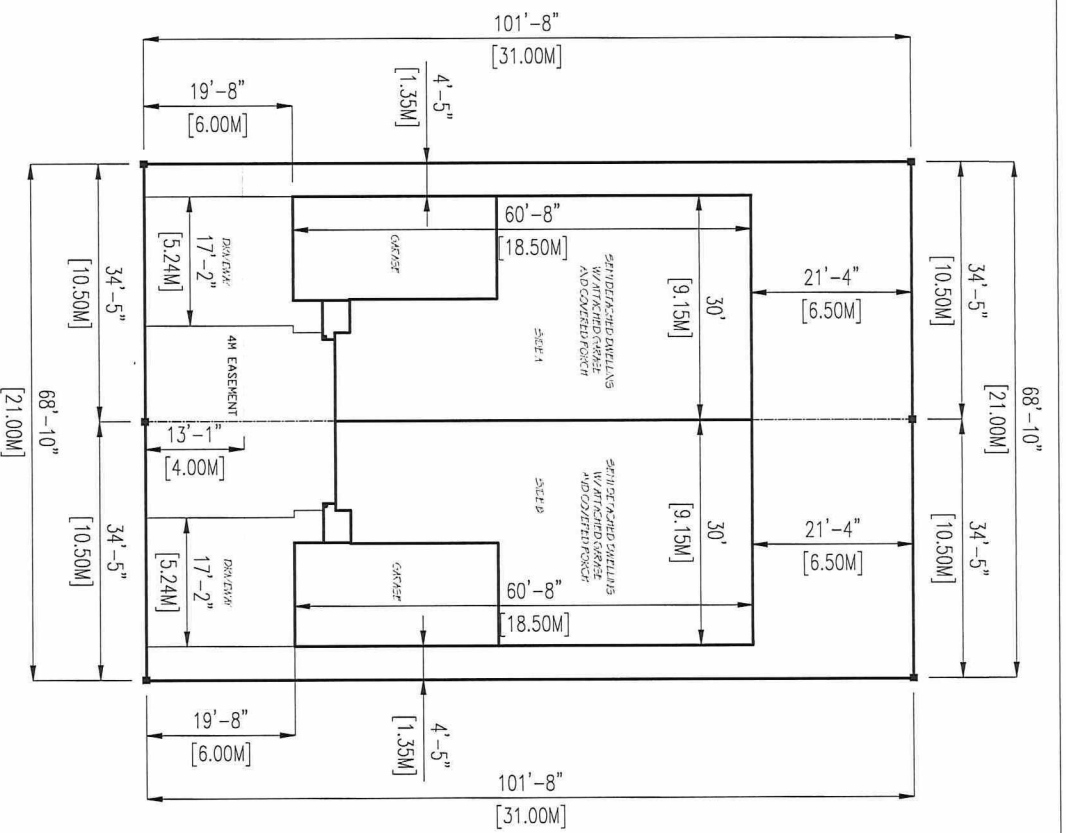
N


**Application for Minor
 Variance or Permission**

Subject Property being PIN 73504-3251,
 SRO, Lot 110, Plan M-1114,
 Part Lot 5, Concession 2,
 Township of Hanmer,
 4210 and 4214 Bonaventure Drive, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2026-00052
 PL-MV-2026-00053
 Date: 2026 04 22



LOT 110 BONAVENTURE DRIVE



SCALE
0 2 4 6 8 10 METRES

SITE STATISTICS		WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING	R2-2			
LOT AREA	214 X 314 651 M ²	1034 X 314 325.5 M ²	1034 X 314 325.5 M ²	
MAXIMUM PERMITTED LOT COVERAGE	292.95 M ² (45%)	146.5 M ² (45%)	146.5 M ² (45%)	
PROPOSED LOT COVERAGE	328M ² (50.4%)	164M ² (50.4%)	164M ² (50.4%)	
PERCENTAGE OF LOT COVERAGE EXCEEDING BYLAW		17.5M ² (5.4%)	17.5M ² (5.4%)	
REQUIRED REAR YARD SETBACK TABLE 6.3	7.5 METRES	7.5 METRES	7.5 METRES	
PROPOSED REAR YARD SETBACK		6.50 METRES	6.50 METRES	
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		1.0M	1.0M	
EAVES ENCROACHMENT MAY ENCRDACH 1.2M INTO THE REQUIRED REAR YARD BUT NOT CLOSER THAN 0.6M TO THE REAR LOT LINE		ENCROACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)	ENCROACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)	

CR Design

SEMI Det. Dwelling w/ Att. Garage/ Cov. Porches
16110 Bonaventure Drive, Hammer
Site Plan

DATE	2024.11.13
BY	SP1

P2-MV-2024-00058 civil P2-MV-2024-00053 sketch

NOTICE OF PUBLIC HEARING

In the matter of an application for Minor Variance/Permission under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended

Take notice that an application has been made by:

DOMINION PARK DEVELOPMENTS CORP

The Owner(s) of: PIN 73504-3267, SRO, Lot 148, Plan M-1115, Part Lot 5, Concession 2, Township of Hanmer, 3101 and 3097 Manon Street, Hanmer

For the following reason(s): Approval to construct semi-detached dwellings on proposed lots subject of a future Consent Application, providing setbacks, encroachments, lot coverage, parking and driveway at variance to the By-law.

Anyone interested in this matter may attend the public hearing at which time additional information regarding the application will be available for inspection. The public hearing has been scheduled as follows:

DATE: Wednesday, May 13, 2026

TIME: 05:00 PM

LOCATION: Council Chamber, Lionel E Lalonde Centre, 239 Montee Principale, Azilda and via electronic participation.

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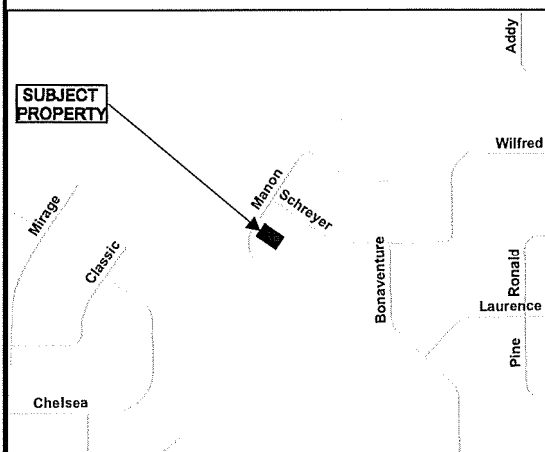
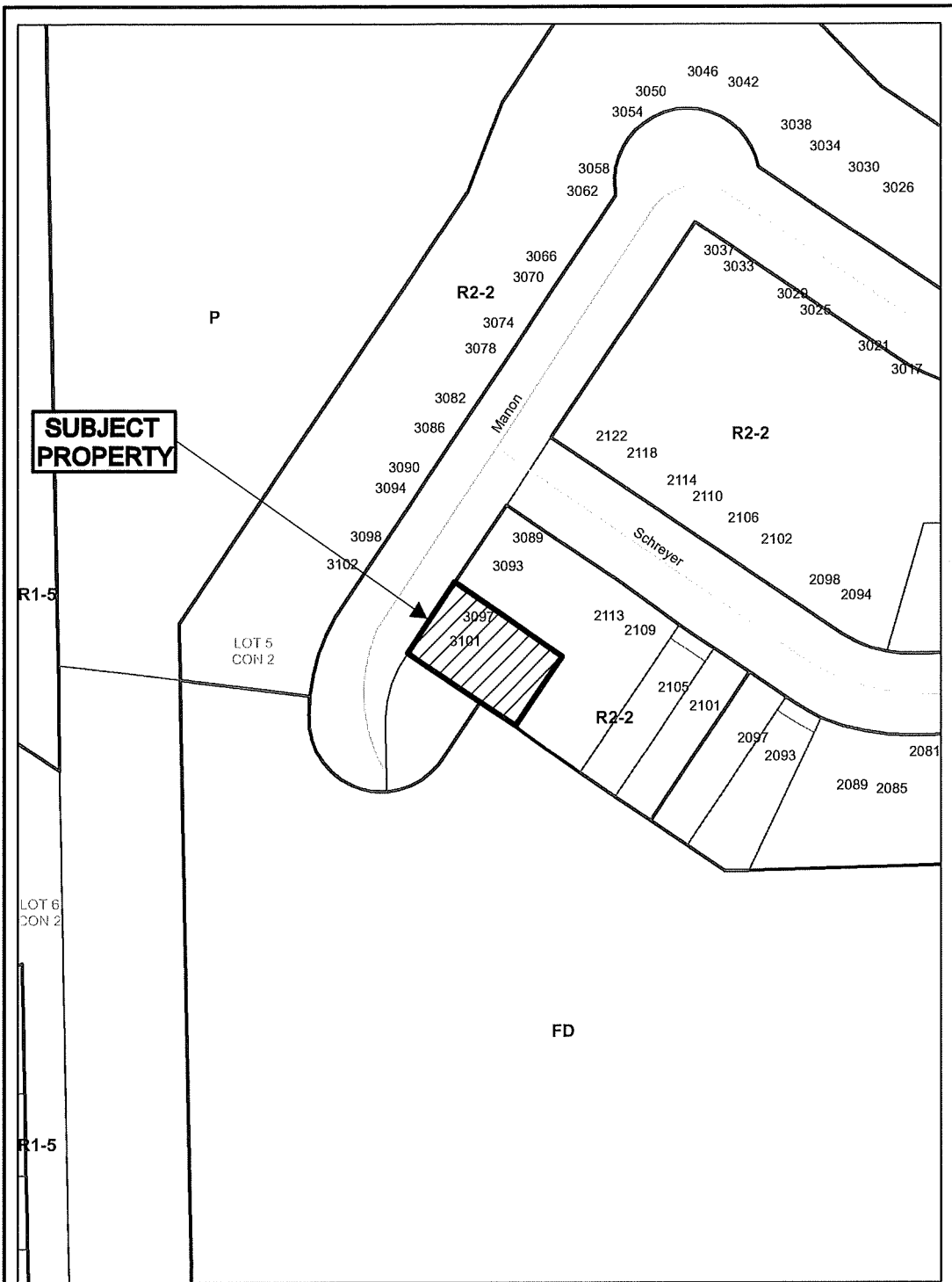
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R2-2



Application for Minor Variance or Permission

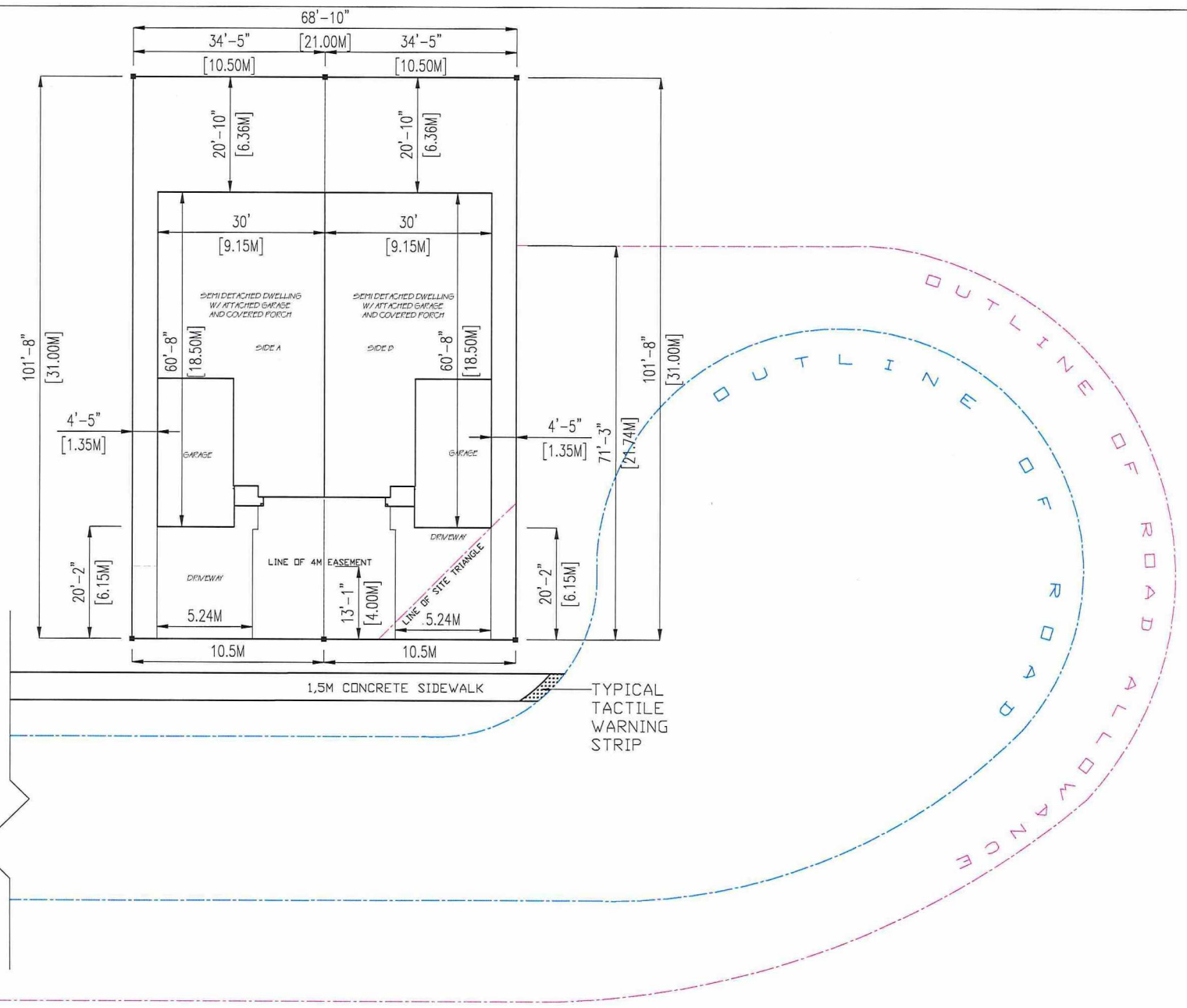


Subject Property being PIN 73504-3267, SRO, Lot 148, Plan M-1115, Part Lot 5, Concession 2, Township of Hanmer, 3101 and 3097 Manon Street, Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2026-00054
 PL-MV-2026-00055
 Date: 2026 04 27

SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING	RS-2	RS-2	RS-2
LOT AREA	218 X 328 71,504 SQ. FT.	152 X 328 49,856 SQ. FT.	108 X 328 35,424 SQ. FT.
PERCENTAGE OF COVERED LOT AREA	29.00% (RS-2)	14.00% (RS-2)	14.00% (RS-2)
PROPOSED LOT COVERAGE	20.00% (RS-2)	10.00% (RS-2)	10.00% (RS-2)
PERCENTAGE OF LOT COVERAGE EXCLUDING DRIVELAY		17.00% (RS-2)	12.00% (RS-2)
REQUIRED CORNER SIDE YARD SETBACK			4.5M
PROPOSED CORNER SIDE YARD SETBACK			1.35M
DIFFERENCE OF REQUIRED CORNER SIDE YARD SETBACK TO PROPOSED			3.15M
REQUIRED REAR YARD SETBACK	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK	6.36 METRES	6.36 METRES	6.36 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED			1.14M
BYPASS REFERENCE	BYPASS DEFINITION	SIDE A	SIDE B
EAVES ENCROACHMENT TABLE 41	MAY ENCRUSHION LNM INTO THE REAR YARD BUT NOT CLOSER THAN 1.0M TO THE REAR LOT LINC.	ENCROACH 1.75M INTO REQUIRED REAR YARD WHERE LNM IS PERMITTED (LS-2)	ENCROACH 1.75M INTO REQUIRED REAR YARD WHERE LNM IS PERMITTED (LS-2)
DRIVEWAYS FOR DRIVEWAYS	IF NOT BE LOCATED WITHIN A SIGHT TRIANGLE EXCEPT THAT, WHERE A LOT IS OCCUPIED BY A SINGULAR DWELLING UNIT, THE DRIVEWAY SHALL BE LOCATED ALONG THE FRONT LOT LINE OR EXTENSION OF LOT LINE, AT THE LOCATION FURTHER NEAREST FROM THE INTERSECTION AND		LOCATE THE DRIVEWAY NOT FURTHER THAN THE INTERSECTION AND WITHIN SITE TRIANGLE
20.4.3. TARESS WHERE PARKING IS PERMITTED	NO PARKING SHALL BE LOCATED IN WITHIN A SIGHT TRIANGLE IN ACCORDANCE WITH SECTION 4.22 OF THIS BY-LAW. BY IN ANY REQUIRED REAR YARD OR IN REAR YARD IN ANY SECTION EXCEPT AS PROVIDED IN SECTION 24.2 IN SECTION 24.2 IN SECTION 24.2 OF SECTION 24.2 IN SECTION 24.2 OF SECTION 24.2		ADDITIONAL PARKING (NOT REQUIRED) LOCATED IN SITE TRIANGLE / CORNER SIDE YARD



PROJECT	DATE	BY	CHECKED BY
SEMI DETACHED DWELLING		PP	
LOT 148 MANON STREET, HAMMER			
PLOT PLAN-A	DATE: 2026-04-20	SCALE: 1/8"=1'-0"	

PL-MU-2026-00054
 PL-MU-2026-00055
 Sketch 2