

Tom Davies Square  
200 Brady Street  
Sudbury, Ontario P3A 5P3

April 13, 2026

**PL-CON-2025-00089 EVAJON ENTERPRISES INC.**

Ward: 7

PIN(s) 734910012, Part Lot 12, Concession 6, Part 1-2, Plan 53R-14939, Township of Falconbridge, 2149 Skead Road, Sudbury, [By-law 2010-100Z, RU]

To create a new lot on the west vacant portion of the subject property providing a lot frontage of approximately 215.0m and a lot area of approximately 22300.0 sq. m.

**PL-CON-2025-00097 JAMES MCDOWELL**

Ward: 9

PIN(s) 734781037, SRO, Part Lot 4, Concession 5, Part Lot 10, Plan M-589, being Parts 3 & 4, Plan 53R-16282, Township of Broder, 3133 Algonquin Road, Sudbury, [By-law 2010-100Z, R1-5]

To create a new lot on the western vacant portion of the subject property providing a lot frontage of approximately 15.8m, a lot depth of approximately 61m and a lot area of approximately 1510 sq. m.

**PL-CON-2026-00006 TRACY MCGOWAN  
DONALD MCGOWAN**

Ward: 7

PIN(s) 735100128, Parcel 12812 SEC SES, Part Lot 5, Concession 6, Summer Resort Location as in EP7008, Township of Capreol, 1946 Fire Road 4, Capreol, [By-law 2010-100Z, RS]

Consolidate an approximate 422.0 sq. m portion of the subject property with abutting PIN 73510-0106 (LT), municipally known as 1962 Fire Road 4, and consolidate an approximate 58.0 sq. m portion of the subject property with abutting PINs 73510-0113 (LT), 73510-0119 (LT) and 73510-0088 (LT), municipally known as 1896, 1906 and 1916 Fire Road 4, Capreol.

**PL-CON-2026-00008 BYRON WAGNER**

Ward: 6

PIN(s) 735051019, Part Lot 10, Concession 2 , Part 1, Plan 53R-7024 as in EP4465, except Part 10, Plan 53R-17480, Parts 1-2, Plan 53R-18427 and Part 1, Plan 53R-19727, Township of Hanmer, 2470 Dominion Drive, Val Therese, [By-law 2010-100Z, A]

To consolidate an east portion of the subject property approximately 49531.0 sq. m in area with abutting PIN 73505-1024 (LT), municipally known as 2406 Dominion Drive.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0396/1976 (JUL 12/76), B0148/2006 (NOV 09/06), B0149/2006 (NOV 09/06) AND B0068/2011 (FEB 02/12) AND MINOR VARIANCE APPLICATIONS A0111/2006 (OCT 30/06) AND A0177/1976 (SEP 08/76)

**PL-CON-2026-00009 TIFFANY BOIVIN-BRAWLEY  
LISA BRAWLEY**

Ward: 6

PIN(s) 735081115, Parcel 633 SEC SES SRO, Part Lot 12, Concession 3, as in NP1319, except LT33105, LT59519, LT74608, LT110876, LT110877, LT118205, LT140815, LT176407, PL M-638, LT195266, Part 1-3, Plan 53R-4269 and Parts 1-9, Plan 53R-4812, Township of Capreol, 0 Carl Street, Hanmer, [By-law 2010-100Z, FD, RU]

To create a new lot on the south vacant portion of the subject property providing a lot frontage of approximately 20.0m and a lot area of approximately 79009.0 sq. m.

**Written submissions regarding these applications must be received no later than  
Wednesday, April 8, 2026 for consideration.**



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-CON-2025-00089

### APPLICATION SUMMARY

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**File Date:** November 21, 2025  
**Application Type:** Consent (Land Severance)  
**Address(es):** 2149 Skead Road, Sudbury P3L 1V4  
**Applicant(s):** EVAJON ENTERPRISES INC.  
**Owner(s):** EVAJON ENTERPRISES INC.

#### PLANNING APPLICATION PURPOSE OF TRANSACTION

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

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Creation of New Lot

Area  
22300  
  
Depth  
95.5  
  
Frontage  
215

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Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

---

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

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Easement/Right-of-Way

Area

Area (Second Easement or Right-of-Way if Applicable)

Depth

Depth (Second Easement or Right-of-Way if Applicable)

Frontage

Frontage (Second Easement or Right-of-Way if Applicable)

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Lease

Area

Depth

Frontage

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Other

Describe Other

Area

Depth

Frontage

**GENERAL APPLICATION**

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**Are you the registered owner or an authorized agent?**

Registered Owner

**What is the date of acquisition of subject land?**

May 20, 2021

**What is the number of dwelling units on the property?**

0

**What is the number of proposed new buildings/structures on the property?**

**What is the number of existing buildings/structures on the property?**

0

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**CONSENT**

**Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged**

Remain with existing owner Evajon Enterprises Inc.

**Are there any easements or restrictive covenants affecting the subject land?**

Yes

**Please indicate a description of each easement or covenant and its effect**

Sudbury Airport Flight Path height restrictions AHR1 and AHR2

**Has the land ever had any previous severances?**

No

**Name of transferee**

**Date of transfer**

**Use of severed land**

**Is property located with 1km (.6 miles) of a First Nation Reserve?**

No

**Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?**

No

**Please indicate the file number and status of the application**

**What is the current designation of the subject land in the applicable Official Plan?**

Rural

**Explain how the application conforms with the Official Plan**

Meets official plan as it will remain rural zoning

**Explain how the application is consistent with the Provincial Policy Statements**

Meets rural zoning requirements

**Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario**

Meets official plan and rural zoning requirements

### **CONCURRENT APPLICATIONS**

**Minor Variance**

File Number(s) - Minor Variance

Status - Minor Variance

**Rezoning**

File Number(s) - Rezoning

Status - Rezoning

**Official Plan Amendment**

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

### **LAND RETAINED**

<b>Area</b>	<b>Depth</b>	<b>Frontage</b>
24300	95.5	298.8

**Existing use of land**

rural

**Proposed use of land**

rural

**Proposed use of land**

**Will a certificate be required for the retained land?**

No

**WATER/SEWAGE - RETAINED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other

**Explain Other**

The lot has the required area to support the installation of a well and a conventional septic system with a field bed area of 350 Sq M

**PROPERTY ACCESS - RETAINED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

**LAND SEVERED**

**Existing use of land**

One undeveloped lot zoned Rural with a length of approx 550 M along Skead Road and total area of approx 4.66 HA

**Proposed use of land**

Two undeveloped lots zoned Rural with a length of approx 253 M (severed lot) and 298M (remaining lot) along Skead Road with an area of approx 2.23 HA (severed lot) and 2.43 HA (remaining lot)

**Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit**

**WATER/SEWAGE - SEVERED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other

**Explain Other**

The lot has the required area to support the installation of a well and a conventional septic system with a field bed area of 350 Sq M

**PROPERTY ACCESS - SEVERED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

Estimate the distance of these facilities from the severed land and nearest public road by water

## Report on Aggregate Pit Feasibility at 2149 Skead Rd. Garson Ontario

March 2, 2026

Author: Michael J. Murphy PhD P.Eng.

### Overview

This report is to support the consent application filed by Evajon Enterprises Inc. to sever into two parcels the land identified by PIN 73491-0012 located at the municipal address 2149 Skead Rd. Garson (Greater Sudbury) Ontario. The plan of survey by Tulloch Geomatics Inc. dated 2021 shows the proposal to split the parcel into two parts, each with an area of greater than 2 hectares as required by the existing rural zoning by-law. The survey shows the viability of a dwelling on each of the two proposed parcels which can also support the required conventional water well and septic system field beds of 350 square metres as required by the Sudbury Health department. The dwellings and associated well/septic systems are all located over 30 metres from the limit of wet lands located on the property in order to meet the requirements of Conservation Sudbury (in place in 2021).

### Reason for this Report

Evajon Enterprises Inc. filed an initial consent application on Nov. 20, 2025 and was informed by the Sudbury Planning department that additional information was required because “a *small central portion (is) designated Aggregate Reserve, pursuant to the City of Greater Sudbury Official Plan*”<sup>1</sup>. A screen shot of a zoomed-in section of the Sudbury Official Plan Map that is available to the public is shown in Diagram 1 with the subject property approximately superimposed in red by the author. It shows the small area designated by the single grey line identified as “aggregate reserve” on the map legend.

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<sup>1</sup> Dec 1, 2025- excerpt from Email from Sarah Pinkerton (Assistant Consent Official, Planning Services Greater Sudbury) to Evajon Enterprises Inc.

# Greater Sudbury Airport

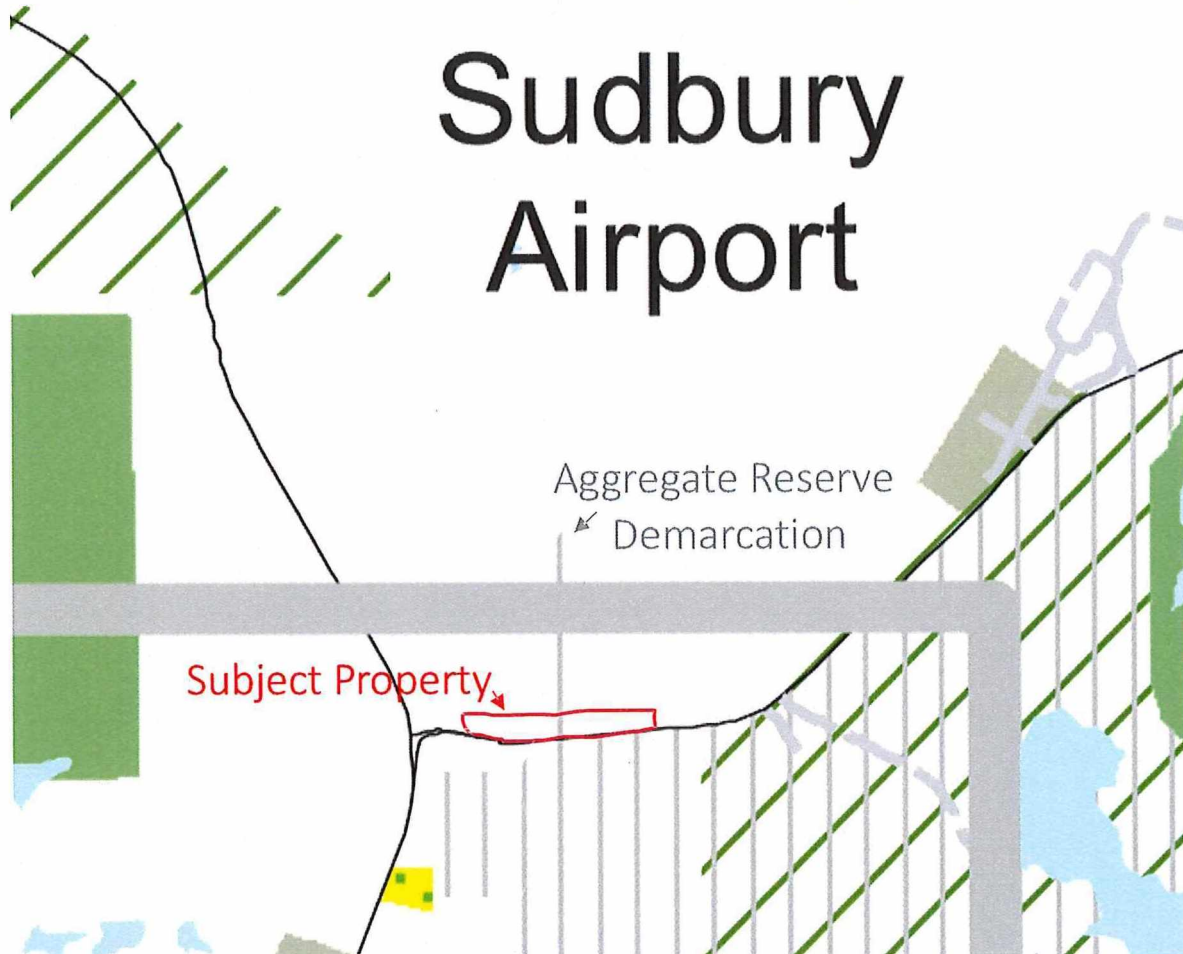
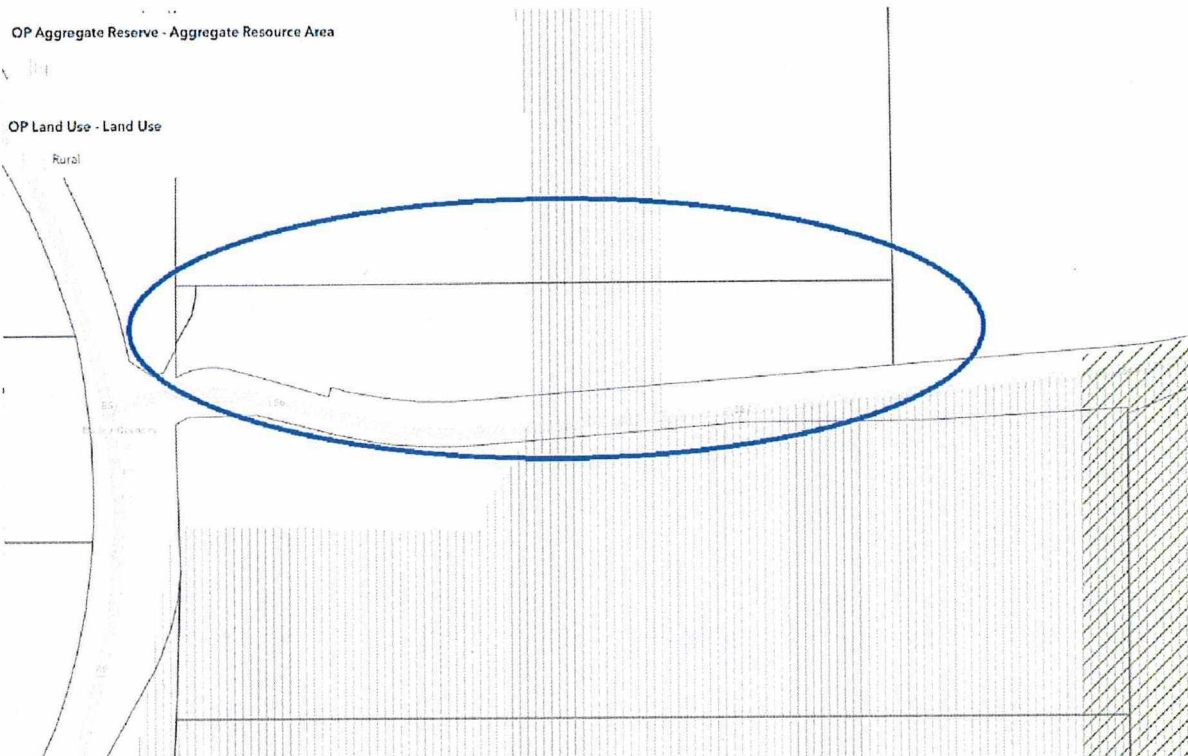


DIAGRAM 1 Subject Property Showing Small Central Portion Designated "Aggregate Reserve"

A more detailed expanded diagram was subsequently provided by the planning department and is shown in Diagram 2 below. The aggregate reserve is demarcated by the vertical grey lines. The planning department stated that *"The area that is designated Aggregate Reserve is not very large and bisects the parcel. I have included a map below that is meant to show approximately the extent of the Aggregate Reserve designation on the site"*<sup>2</sup>

<sup>2</sup> Dec 4, 2025- excerpt from Email from Bailey Chabot (Senior Planner, Planning Services Greater Sudbury) to Evajon Enterprises Inc.



Even though the area designated is not very large, Policy 1 of 5.2.2 Rural and Waterfront Lot Creation prohibits new lot creation for rural residential development on lands restricted by the Aggregate Reserve.

As provided by the planning department:

“However, policy 4 of 4.6.2 Aggregate Reserve allows for development and activities on or adjacent to known deposits of mineral aggregate that would “preclude or hinder the establishment of new operations or access to the resources” where:

- a. Resource use would not be feasible; or,
- b. The proposed land use or development serves a greater long-term public interest; and,
- c. Issues of public health, public safety and environmental impact are addressed.

In addition to policy 4, policy 7 states that “in cases where the economical and/or physical extraction is not feasible, other uses may be permitted in accordance with the applicable land use designation, if it can be shown that:

- a. The land use pattern in the area has reduced the feasibility of extraction; or,
- b. The proposed use would not have a negative impact on the natural heritage features and functions on the site and in the area; or,

- c. The aggregate is low in quality; or,
- d. There is not enough aggregate in the area to justify its economical extraction.”<sup>3</sup>

The intent of this report is to determine the presence of aggregate and the approximate deposit size and aggregate type contained on the subject property. In addition, the report will analyze the economics and commercial viability of extraction in consultation with other experts and available literature on best practices and business modelling.

### Property Features and Proximity to Known Aggregate Deposits

The subject property is a long and relatively narrow strip of about 90 metres depth with a length of about 550 metres frontage along Skead Rd, with the east boundary at the Sudbury airport. The total area of the property is approximately 4.7 hectares. The west boundary is at the former Radar Road (now abandoned). To the west of the property is a dwelling and associated outbuildings on a property at the north east corner of Radar Road and Skead Road.

The property is made up of 5 distinct areas of differing characteristics as shown on Diagram 3. The first and most westerly section is a relatively flat wooded area at about the same elevation as Skead road (Area 1). This borders to the east on a lower elevation wetland area which has an inflow of water from a culvert bisecting Skead Road (Area 2). Much of this wetland area exhibits standing water after a significant rainfall event or during spring thaw<sup>4</sup>. In the centre of the property is a heavily forested hill with an elevation on the south roughly equivalent to Skead Road with a relatively linear assent to a peak located near the northerly lot line (Area 3). About half of this section is identified as an Aggregate Reserve on Diagram 2. To the east of the hill is a second wetland area that is of higher elevation than the westerly wetland (Area 4). About half of this wetland area is also identified as an Aggregate Reserve on Diagram 2. This wetland is of higher elevation than the west wetland, does not contain an inflow culvert and has shown minor standing water after rain or thaw events<sup>4</sup>. The final section is a heavily forested hill which climbs from the wetland to a peak at the easterly boundary with the Sudbury Airport (Area 5).

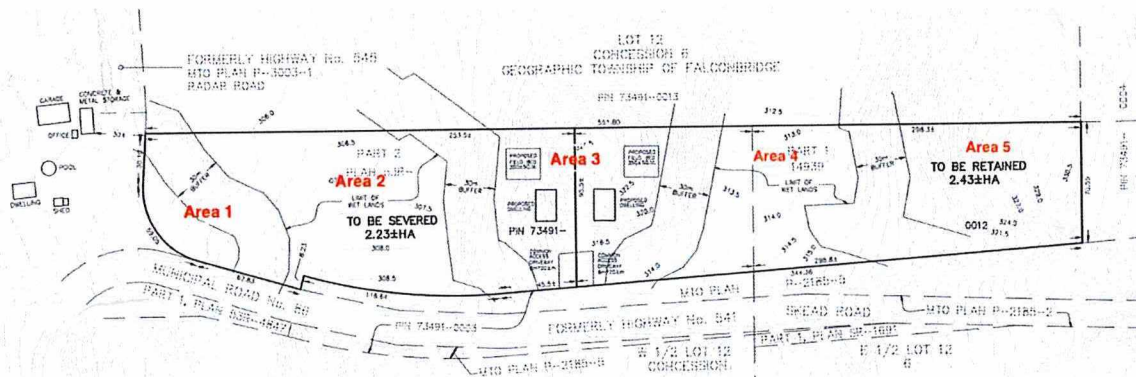


DIAGRAM 3 Subject Property Plan Showing Distinct Areas 1 to 5

<sup>3</sup> Dec 1, 2025- excerpt from Email from Sarah Pinkerton (Assistant Consent Official, Planning Services Greater Sudbury) to Evajon Enterprises Inc.

<sup>4</sup> As observed by the author on various occasions over the past 5 years,

The property is in proximity to known large aggregate deposits<sup>5</sup>. The Aggregate Resources Inventory Paper (ARIP) 170 for the East Half of the Regional Municipality of Sudbury, shows that the subject lands are at the edge of deposit 7C. Aggregate in the area can be expected to be greater than 35% gravel, with an average thickness of greater than 6 metres and greater than 106 000 tonnes per hectare. The Sudbury Airport to the immediate east of the subject property is built on a large known deposit consisting of a large flat plateau area which is largely undeveloped for aggregate extraction because of the airport and associated buildings. The airport area and plateau is at a considerably higher elevation than the subject property (in excess of approximately 347m<sup>6</sup> vs. the subject property peak of 324 m). To the south east of the subject property is the large active Pioneer Aggregate pit which is a continuation of the large plateau to the south of the Sudbury airport. Diagram 4 shows the location of the subject property on the very edge of deposit 7C<sup>7</sup>.

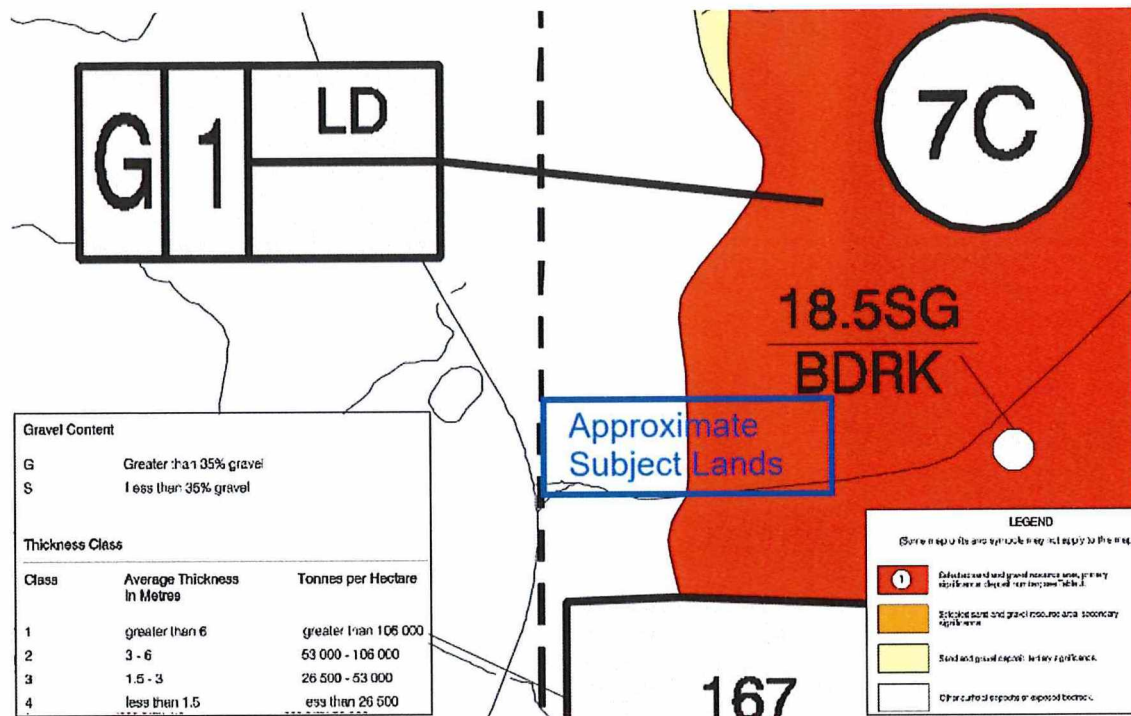


Diagram 4 Location of Subject Lands Relative to Aggregate Deposit 7C

<sup>5</sup>Rowell, D.J.

Aggregate resources inventory of the east half of the Regional Municipality of Sudbury Ontario Geological Survey aggregate resources inventory paper, ISSN 0708-2061; 170 Published 1998

<sup>6</sup> As measured by the author at pin 46.62040 degrees, -80.79396 degrees, accuracy +/- 3 m. This location is at the test hole shown in Diagram 3 which shows a bedrock floor of 18.5 m below grade or an elevation equivalence of approx. 328 m

<sup>7</sup> Dec 1, 2025- image attachment to email from Sarah Pinkerton (Assistant Consent Official, Planning Services Greater Sudbury) to Evajon Enterprises Inc.

## Determination of Aggregate on Subject Property

The author retained two firms with appropriate expertise to determine the type and quantity of aggregate located on the subject property. C.B. Landscaping Inc. of Skead was contracted to do test hole excavation on the property which was completed on January 7, 2026. The area excavated was located in the approximate centre of the area identified by the planning department on Diagram 2- with the deepest test hole at pin 46.612130 degrees, -80.814886 degrees. The excavation revealed about a third to a half meter of organic overburden covering a silty sand deposit that was consistent to the approximate 3 metre bottom of the test holes. The sample contained only the silt/ sand and contained no gravel or larger stone content.

The test samples were then analysed by EXP services Inc (Yves Beauparlant. P.Eng) and found to be Silty Sand, containing approximately 30 percent coarse silt and 70 percent fine/medium sand with a distribution of grain size from 0.06 mm to 0.3 mm. with an estimated percolation time of between 10-15 min/cm.

The author constructed a simplified model to estimate the approximate volume of aggregate available to extract.

The model used the following limits and assumptions<sup>8</sup>:

- 1) The area of excavation is bounded by the Ministry's "Ontario Aggregate Resources Act" aggregate pit setbacks of 15 meters from the property boundary and 30 meters from any roadway.
- 2) The depth of excavation cannot exceed 1.5 meters above the water table.
- 3) The water table is assumed to be at the level of the adjacent wetland
- 4) Best practice is to excavate no closer than 30 meters to the wetland
- 5) The volume of allowable aggregate extraction is therefore modeled on a "best fit" half cone with radius of 45 metres ( $r=45m$ ) at its base elevation of 316 meters and an apex height of 324 meters at the northern property setback ( $h=8m$ ) as shown in Diagram 3 and Diagram 4.
- 6) The overburden volume is the surface area of the half cone to a depth of 1/3 metre.
- 7) Because of the asymmetric slope, the model is a conservative over-estimation of the aggregate volume.

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<sup>8</sup> Note that the most easterly area of the lands are excluded from the Sudbury planning department Aggregate Reserve designation. This area is also within Sudbury Zoning restriction "Airport Height Restriction 1" due to its proximity to the Sudbury Airport runways.

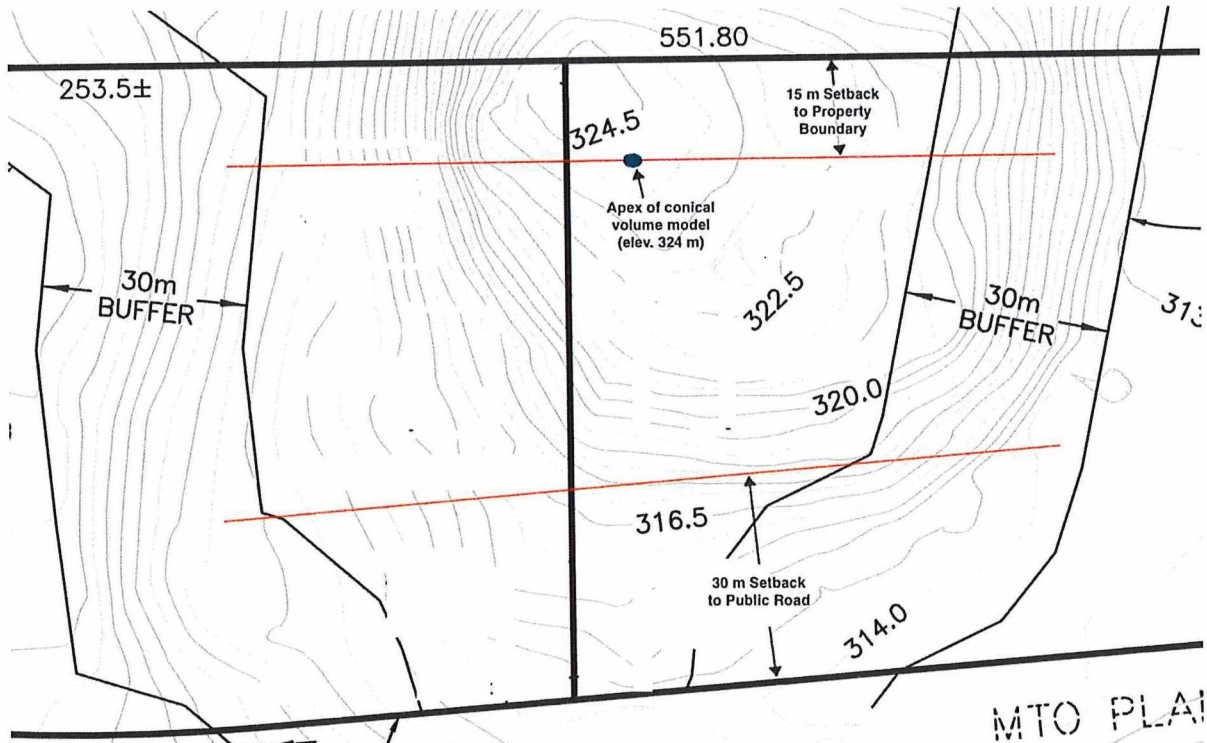


Diagram 5 Aggregate Volume Model Showing Setbacks and Cone Apex Locations

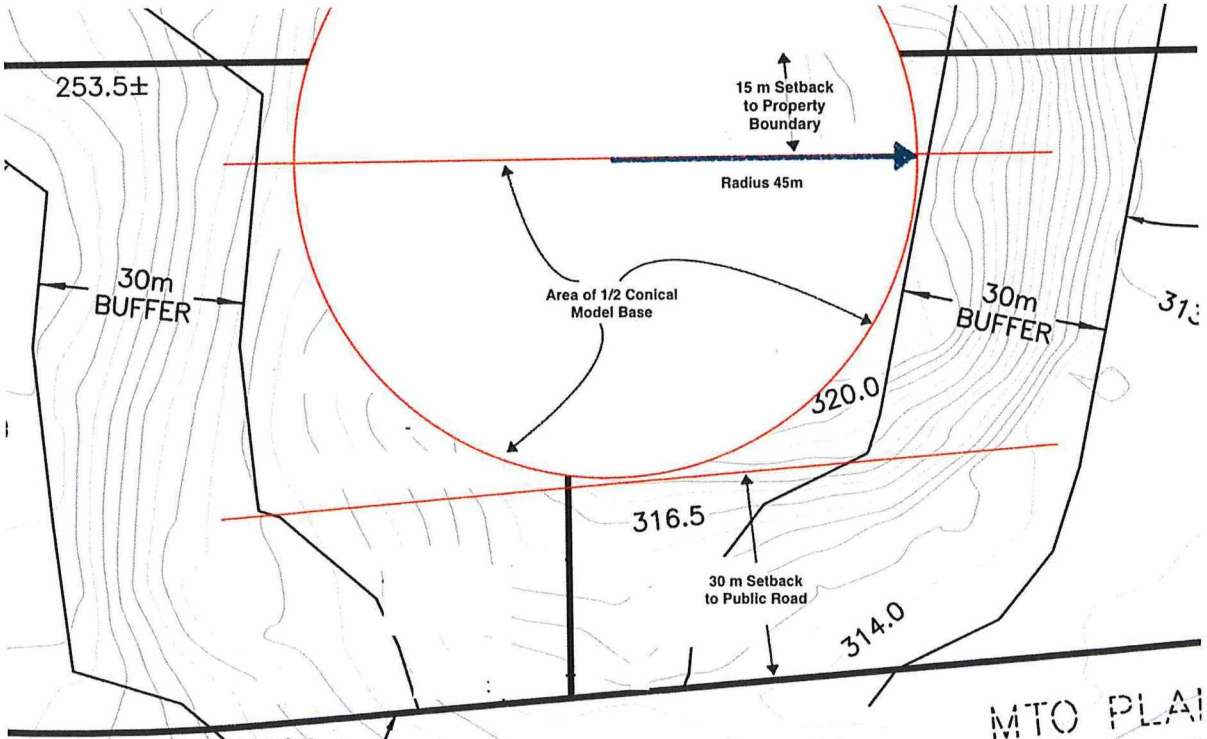


Diagram 6 Aggregate Volume Model Showing 1/2 Right Angle Cone position and Radius

The model approximation estimate is 8478 cubic metres less the overburden of 1083 cubic metres resulting in a total useable estimate of approximately 7400 cubic meters.

### Site Viability

In order to gauge the viability of commercially extracting the site aggregate, the author engaged an expert to review the site test results and modelling assumptions. Mr. Norman Belzile was retained to review the test data and modelling with respect to aggregate quality, aggregate quantity, commercial value and extraction feasibility. Mr Belzile has over 50 years' experience in both using, purchasing and selling aggregates in the Greater Sudbury area. He is the retired owner of Belzile Excavating as well as a developer and owner of two aggregate pits for over 35 years. His experience includes the original application to the ministry to develop a gravel pit in Capreol Township as well as the purchase of a second co-located pit. These pits are identified as pit numbers 97 and 98 in the previously referenced "The Aggregate Resources Inventory Paper (ARIP) 170 for the East Half of the Regional Municipality of Sudbury"<sup>9</sup>. These pit operations were sold upon Mr. Belzile's recent retirement to Marc Lafreniere Construction Inc. of Val Caron.

Mr. Belzile has visited the site and reviewed the aggregate test data as well as the estimation of available aggregate to extract.

In consultation with Mr. Belzile, the conclusion reached is that there is not enough aggregate to economically justify commercial extraction. The rationale is as follows:

- 1) The amount of aggregate is too small to justify commercial extraction. 7500 cubic meters is the equivalent of approximately 12,000 metric tonnes or 400 to 500 tri-axel truckloads. The site would be fully depleted in six months to one year of operation.
- 2) To put this in perspective, a small Ministry approved pit commercial class B licence can be obtained for sites extracting less than 20,000 tonnes *per year* (about 11,300 cubic meters). Commercial viability at this extraction rate is estimated to be approximately 5 to 10 years to recoup setup and licencing costs.
- 3) The site is more comparable in size and scope to the ministry "private farm pit" designation which allows a farm operation to extract up to 3000 cubic meters for personal on-site uses.
- 4) The type of aggregate found is a low grade "fill" sand with high silt content. As is, it is not useable except for low quality general fill. This type of aggregate has a low market value.
- 5) The approximate total gross income value of generic fill if sold at standard contractor's prices FOB pit is in the vicinity of \$120,000 (not including trucking charges). Assuming operating costs, machine leases and licensing fees results in an approximate net income stream of \$60,000 in total before interest, capital costs and depreciation<sup>10</sup>.
- 6) The silt also has a tendency to dry out and carry in windy conditions and can cause visibility problems when used on site or even during excavation with the road and airport

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<sup>9</sup> Rowell, D.J.

Aggregate resources inventory of the east half of the Regional Municipality of Sudbury Ontario Geological Survey aggregate resources inventory paper, ISSN 0708-2061; 170 Page 27 Published 1998

<sup>10</sup> Hamilton, T.W. & Sell, J.A., "Use of the Income Approach in Valuating a Sand and Gravel Property in a Condemnation Proceeding", Real Estate Issues, Vol 34, No. 2, 2009

in close proximity. The ministry requires that dust mitigation must be implemented if a sensitive receptor is within 1000 meters of the site boundary and this may apply to the airport due to visibility concerns, adding potential capital costs. These costs are unknown but can be significant.

- 7) Even if the test findings were inaccurate predictors and the actual aggregate was of higher quality gravel, the same depletion rate would apply and the pit would have a lifespan of less than a year.
- 8) The cost of application to the ministry for a category B pit can easily exceed \$100,000 when including drilling, surveying and other application costs. This cost alone makes the scale of this operation not commercially viable.
- 9) The area is heavily forested. Removal of the trees and stumps as well as the overburden soil would be an additional and significant operating cost in the vicinity of \$30,000 over the life of the operation.
- 10) The cost of site development including local permits, hydro, and a new access road and buildings can easily cost in excess of an additional \$100,000.
- 11) The ministry requires that the site be rehabilitated once the site has been fully depleted and decommissioned, adding further end-life costs to the operation. Ideally, the overburden (organic material and topsoil) would be stockpiled on site to use during decommissioning, but there is little available storage area on the site outside of the excavation area as the stockpile must remain within the pit setbacks. Decommissioning costs would be in the vicinity of \$40,000 or more.
- 12) The site is very close to wetlands. As a result, additional site costs will be required to prevent silt runoff or diesel or other contaminants from contaminating the wetlands. Any spills will naturally flow to the wetlands unless containment is constructed, adding additional construction, operational and insurance costs. These costs are unknown but can be significant.

#### Other Environmental Factors

The two wetland areas on the subject property appear to be possibly populated with invasive phragmites (*Phragmites australis*). If this is independently confirmed, the proximity of these invasive plants to an aggregate extraction operation (within 30 meters) may be problematic as contaminated fill soil would be delivered to a wide area, possibly resulting in further spread of this invasive species. Diagram 7 is a photo showing the vegetation on the east wetland and Diagram 8 is a close up of the plant.

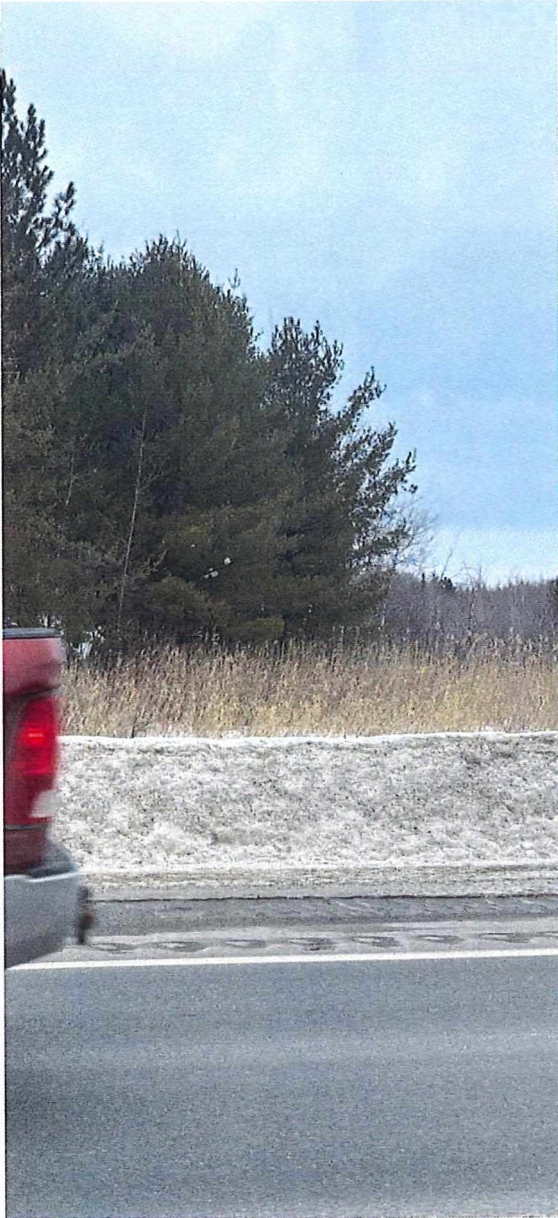


DIAGRAM 7 Photo of East Wetland (Area 4)

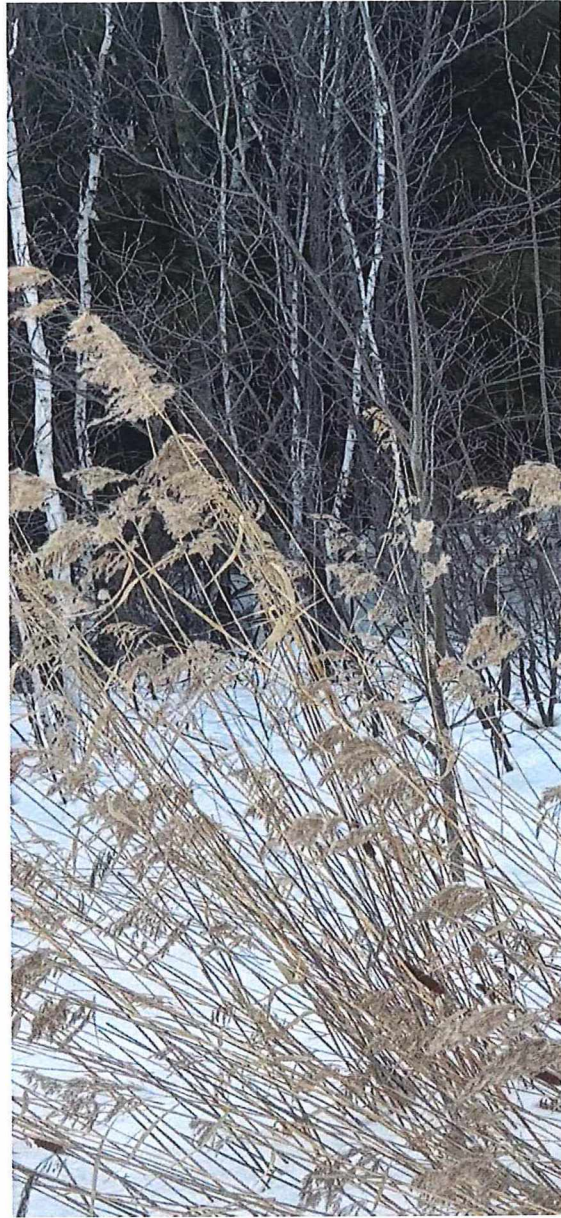


DIAGRAM 8 Photo of Wetland Vegetation

### Conclusions

Policy 7 of 4.6.2 Aggregate Reserve states that “in cases where the economical and/or physical extraction is not feasible, other uses may be permitted in accordance with the applicable land use designation, if it can be shown that:

- c. The aggregate is low in quality; or,
- d. There is not enough aggregate in the area to justify its economical extraction.

Both of these conditions have been shown to be met.

The aggregate found is a low-quality fill sand with significant silt content.

There is not enough aggregate in the area to justify economical extraction.

Declaration

This report was authored by Michael J. Murphy.

Dated and Signed: March 2, 2026

Michael J. Murphy PhD P.Eng

Professor Emeritus  
Toronto Metropolitan University

President, Evajon Enterprises Inc.  
2675 Lake Shore Blvd. West  
Toronto, ON M8V 1G6



A handwritten signature in black ink, appearing to read "Michael J. Murphy".



Appendix: EXP Aggregate Sample Analysis Report



Monday, January 12, 2026

Evajon Enterprises Inc.  
2675 Lake Shore Blvd. W.  
Toronto, ON, M8V 1G6  
[Redacted]

RE: SUD-26000155-A0

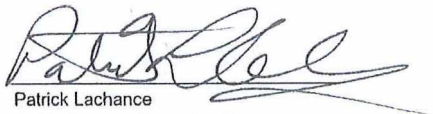
EXP Services Inc: Lab # 23145  
Grain Size Analysis and Estimated Percolation (T) Time  
Re: 2149 Skead Road  
Garson, ON  
46°36'73.7" N  
80°48'53.6" W


On **January 07, 2026**, a soil sample was delivered to EXP Services Inc.(EXP) for a grain size analysis to determine an estimated percolation time (T), as an indication of the suitability of this soil for use within a Class 4 Sewage System. Based on the results of the attached grain size analysis, the sample tested is predominately, **silty SAND**, with an estimated percolation time "T" of **10-15 min/cm. (use "T" of 15 min/cm for design)**

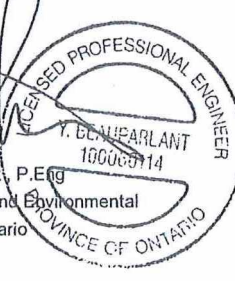
The soil properties indicated on the attached sheet are representative only of the sample delivered to our facilities. It must be noted that the permeability and percolation rates have been estimated based on an approximate relationship of soil types as determined by the grain size distribution test conducted. Variability of soil types and actual performance of in-situ soils may vary across the site.

Should you have any questions or require further clarification, please do not hesitate to contact the undersigned.

Yours truly,  
EXP Services Inc

  
Patrick Lachance  
Soil Laboratory Team Lead  
Materials Testing

  
Reviewed by:  
Yves Beauparlant, P.Eng  
Manager, Earth and Environmental  
Northeastern Ontario

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features the name "Y. BEAUPARLANT" and the registration number "180065114".

885 Regent Street, Sudbury, ON P3E 5M4 | CAN  
[Redacted]



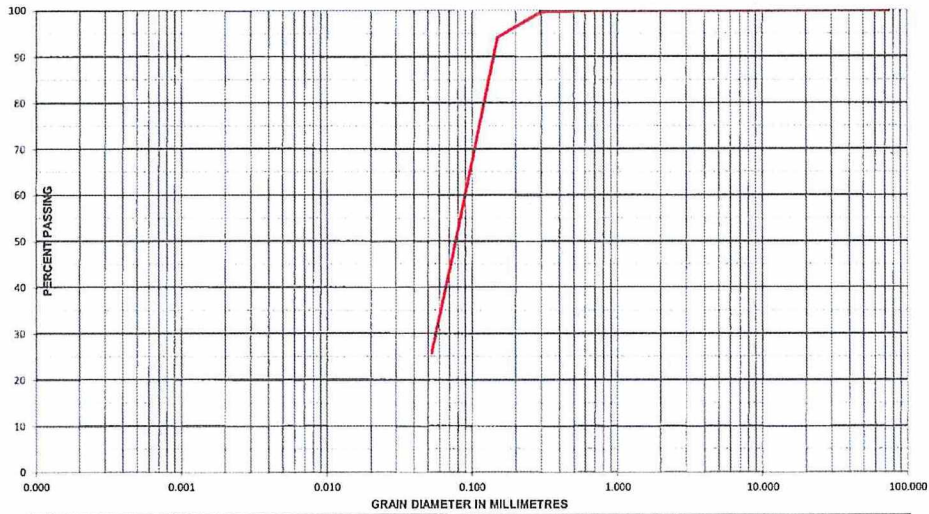
SEPTIC SOIL TESTING

**Project #** SUD-26000155-A0  
**Ticket #** 23145

**Client:** Evajon Enterprises Inc.  
 2675 Lake Shore Blvd. W.  
 Toronto, ON, M8V 1G6

**RE:** 2149 Skead Road  
 Garson, ON  
 46o36'73.7" N  
 80o48'53.6" W

GRADATION OF SAMPLE SUBMITTED TO BE USED AS NATIVE MATERIAL FOR CLASS 4 SEWAGE SYSTEM



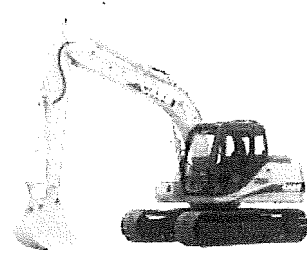
Clay	Silt			Sand			Gravel			
	fine	medium	coarse	fine	medium	coarse	fine	medium	coarse	
GRADING OF SAMPLE	exp.						ISSMFE SOIL CLASSIFICATION			

<u>UNIFIED SOIL CLASSIFICATION</u>		<u>UNIFIED SOIL CLASSIFICATION:</u>		<b>SM</b>
D <sub>10</sub> =	0.04	Estimated Hyd. Cond. (K) =	1.60E-03 cm/sec	
D <sub>60</sub> =	0.09	Estimated Perc. Time (T) =	10-15 min/cm	
C <sub>u</sub> =	2.3	Recommended Perc. Time (T) =	<b>15 min/cm</b>	

# BELZILE EXCAVATING

354 Bodson Drive East  
Hanmer ON - P3P 1X2  
Fax: (705) 969 6334  
Phone: (705) 969 5334

Tax Registration #: R115803462



To: City of Greater Sudbury  
Re: Application for Consent by Evajon Enterprises Inc  
2149 Skead Rd. Garson Ontario

This letter is to support the "Report on Aggregate Pit Feasibility at 2149 Skead Rd. Garson Ontario" authored by Dr. Michael J. Murphy P.Eng dated March 2, 2026.

I am the recently retired owner of Belzile Excavating located in Hanmer Ontario and previous owner of two gravel pits in Capreol Township. I have over 50 years experience as an owner/ operator as well as a developer of a new gravel pit including application to the Ontario Ministry of the environment resulting in licensing approval and pit operation for over 30 years. I am very familiar with the sale and purchase of sand and gravel resources in the Greater Sudbury area as well as the commercial operation and costs of pit development.

Dr. Murphy retained me to provide expertise on determining the volume and quality of aggregate located at 2149 Skead Rd, as well as the required steps to extract the aggregate. This included Ministry licencing, business costs and commercial project viability.

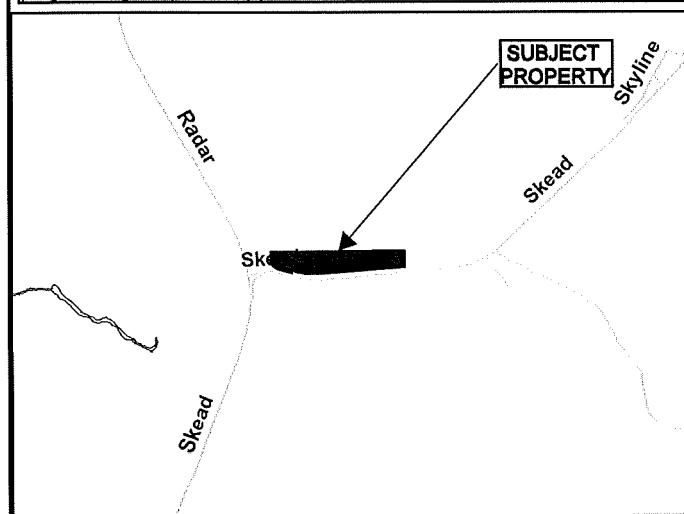
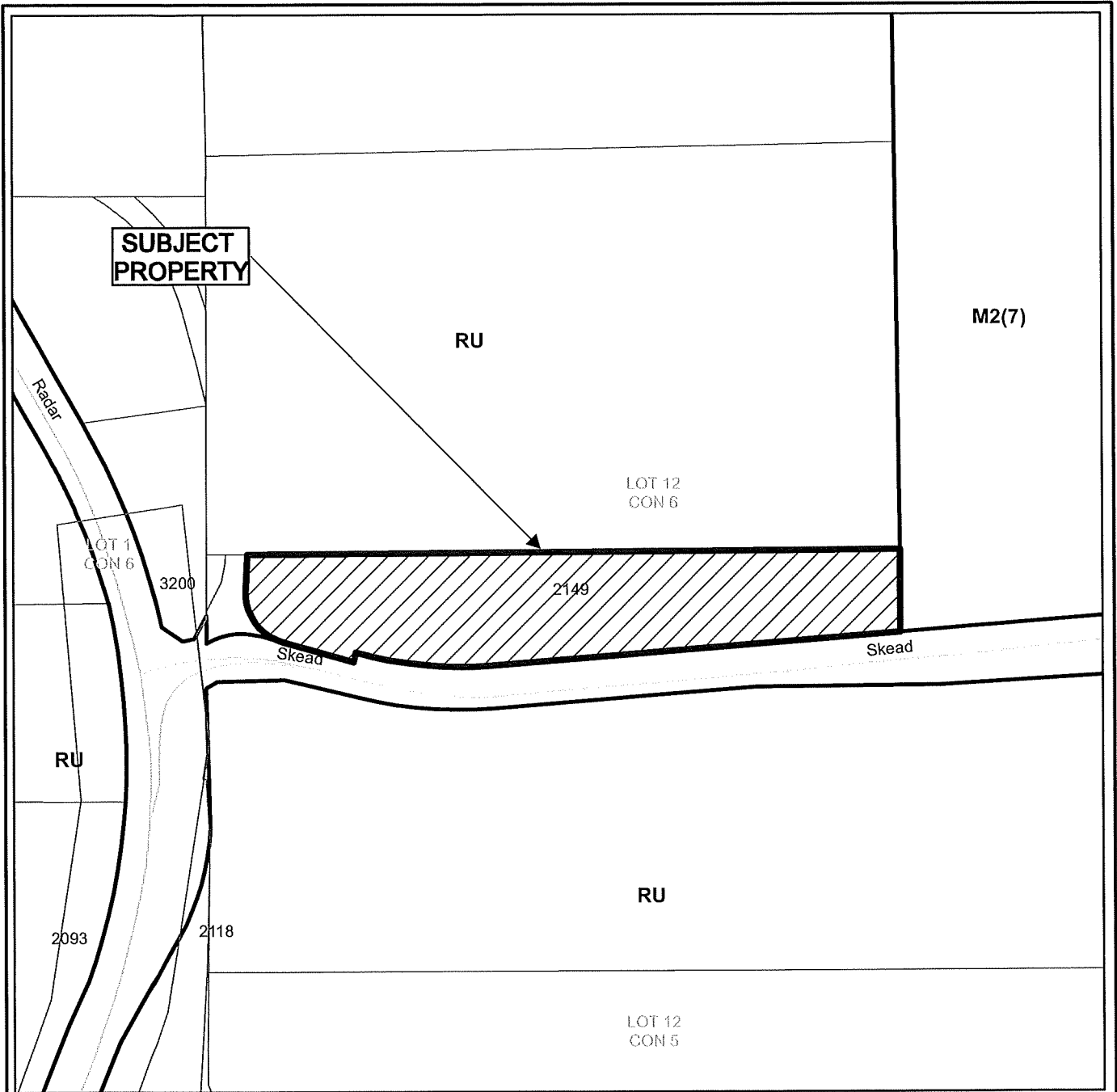
I have read the report authored by Dr. Murphy and am in full agreement with his analysis and conclusions. The type of aggregate found at this site is low value "fill" sand with significant silt content. In addition, there is not enough aggregate available at this site to commercially justify the significant investment and licencing costs required to both set up, operate and eventually decommission the site.

Signed March 13/26 at Hanmer Ontario

Normand Belzile  
Owner (Retired)  
Belzile Excavating

## **"Complete Excavating Services"**

Sewer Water - Basement - Trucking - Sand Gravel  
Driveways - Field Beds Septic Tanks - Weeping Tiles  
Pool Excavation - Snow Removal



N

**Application for Consent**

Subject Property being PIN 73491-0012,  
 Part Lot 12, Concession 6,  
 Part 1-2, Plan 53R-14939,  
 Township of Falconbridge,  
 2149 Skead Road, Sudbury,  
 City of Greater Sudbury

NTS  
 Sketch 1

PL-CON-2025-00089  
 Date: 2026 03 23



TOPOGRAPHIC SKETCH OF PART OF  
SKEAD ROAD AT RADAR ROAD  
CITY OF GREATER SUDBURY  
SCALE 1:1250



TULLOCH GEOMATICS INC.  
2021

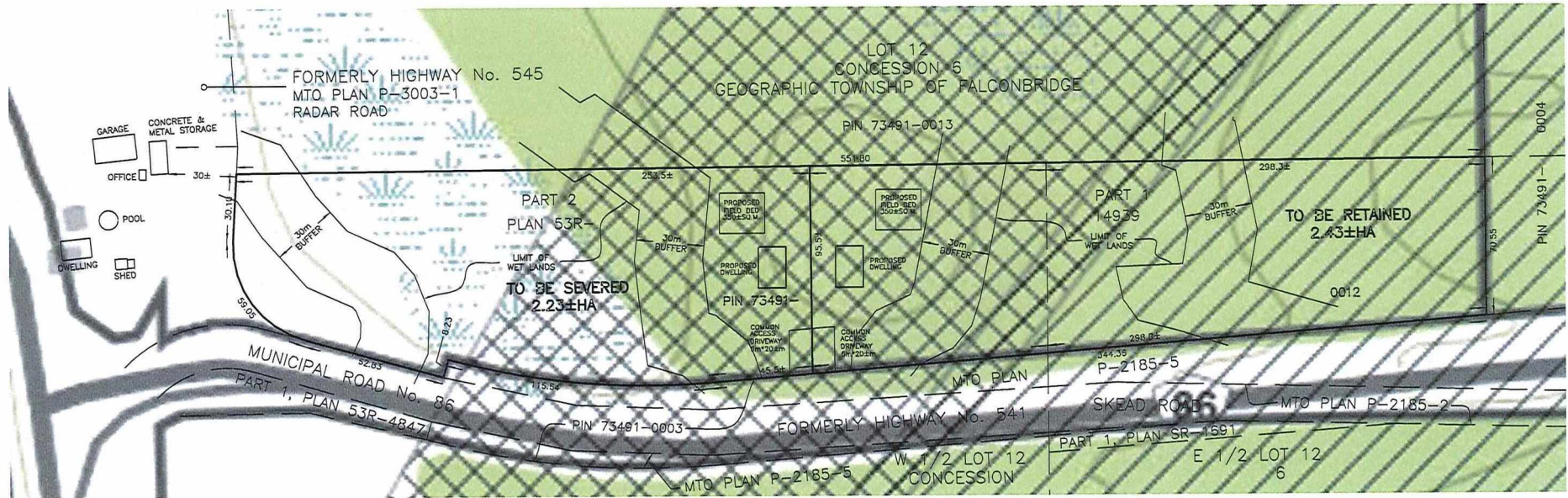


**NOTE:**  
FIELD SURVEY CONDUCTED ON THE 15th OF JULY, 2021.

**METRIC:**  
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ALL BUILDING AND STRUCTURE LOCATIONS ARE APPROXIMATE.

**SURFACE NOTE:**  
TOPOGRAPHIC SURFACE PROVIDED BY CITY OF GREATER SUDBURY. THE DATA  
IS PROVIDED BY THE CITY OF GREATER SUDBURY "AS-IS" WITHOUT WARRANTY  
OF ANY KIND EITHER EXPRESSED OR IMPLIED.



**CAUTION:**  
THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN  
HAVE BEEN COMPILED FROM FIELD SURVEY EFFORTS, SURVEY  
RECORDS OF TULLOCH GEOMATICS INC. AND LAND REGISTRY  
PLANS AND HAVE BEEN CONFIRMED.

THIS TOPOGRAPHIC SKETCH IS NOT A PLAN OF SURVEY AND  
SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN  
THE TITLE.

Legend

**Airport Take off Approach Surface (AHR1)**



**Airport Transitional Surface (AHR2)**



PL-CAN-2020-00089  
Sketch 3

	TULLOCH GEOMATICS INC.	
	1542 REGENT ST.	T. 705 671.2295
	UNIT L SUDBURY, ON N3E 5V5	F. 705 571.5477 800 810.1537
DRAWN BY: EM		FILE: 21-2552 SKETCH SEPT 24, 2021

THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN  
WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF  
TULLOCH GEOMATICS INC., O.L.S. IS STRICTLY PROHIBITED. 2021  
NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE SURVEYOR



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-CON-2025-00097

**APPLICATION SUMMARY**

---

**File Date:** December 16, 2025  
**Application Type:** Consent (Land Severance)  
**Address(es):** 3133 Algonquin Road, Sudbury P3E 4X5  
**Applicant(s):** JAMES MCDOWELL  
**Owner(s):** JAMES MCDOWELL

**PLANNING APPLICATION  
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

---

Creation of New Lot

Area  
1510  
  
Depth  
61.9  
  
Frontage  
15.85

---

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

---

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

---

Easement/Right-of-Way

Area Area (Second Easement or Right-of-Way if Applicable)

Depth Depth (Second Easement or Right-of-Way if Applicable)

Frontage Frontage (Second Easement or Right-of-Way if Applicable)

---

Lease

Area

Depth

Frontage

---

Other

Describe Other

Area

Depth

Frontage

**GENERAL APPLICATION**

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**Are you the registered owner or an authorized agent?**

Registered Owner

**What is the date of acquisition of subject land?**

2021

**What is the number of dwelling units on the property?**

2

**What is the number of proposed new buildings/structures on the property?**

0

**What is the number of existing buildings/structures on the property?**

1

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**CONSENT**

**Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged**

NA

**Are there any easements or restrictive covenants affecting the subject land?**

No

**Please indicate a description of each easement or covenant and its effect**

**Has the land ever had any previous severances?**

No

**Name of transferee**

**Date of transfer**

**Use of severed land**

**Is property located with 1km (.6 miles) of a First Nation Reserve?**

No

**Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?**

No

Please indicate the file number and status of the application

What is the current designation of the subject land in the applicable Official Plan?

Living Area 1

Explain how the application conforms with the Official Plan

Remain residential, creating another residential lot for housing.

Explain how the application is consistent with the Provincial Policy Statements

No conflict, remaining residential

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

No conflict, remaining residential, increasing density

### CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

### LAND RETAINED

Area	Depth	Frontage
1510	62	15.85

Existing use of land

Residential

Proposed use of land

Residential

Proposed use of land

Will a certificate be required for the retained land?

No

**WATER/SEWAGE - RETAINED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - RETAINED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

**LAND SEVERED**

Existing use of land

Residential

Proposed use of land

Residential

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

**WATER/SEWAGE - SEVERED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - SEVERED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

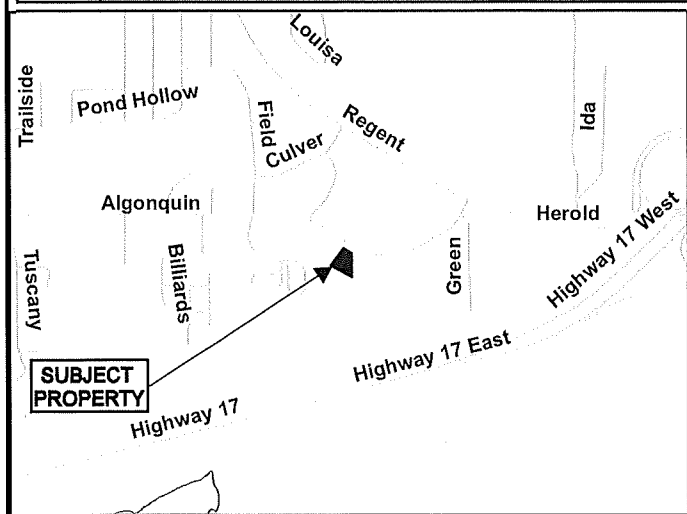
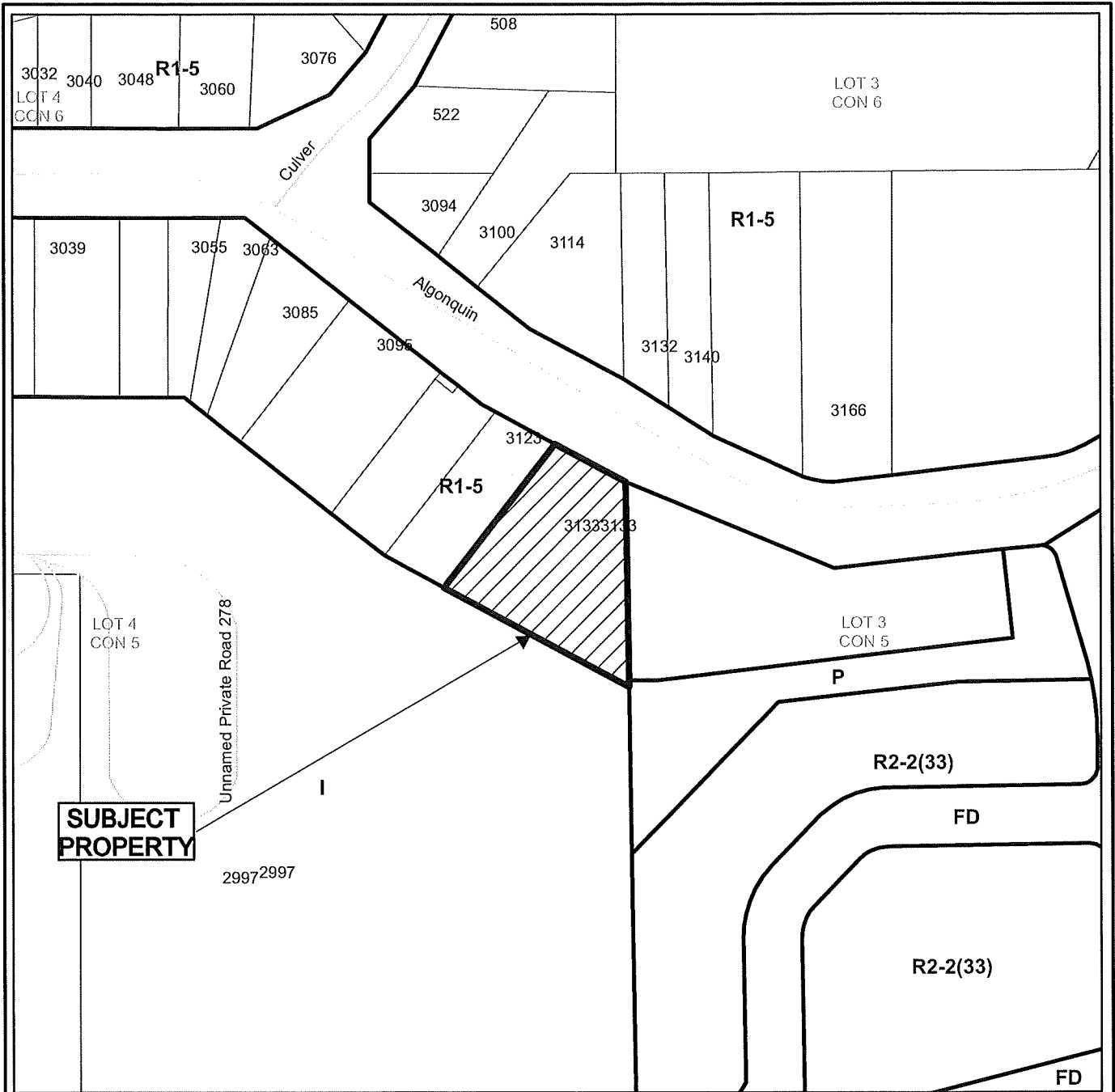
Estimate the distance of these facilities from the severed land and nearest public road by water

## PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
----------------------	----------	------------------	---------------------------------	--------------------------------	----------------------------	--------------------	---------------------	---------------------	---------------------------------	--------------------------------	--------------------------------	--------------------------------------

## EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	Retained Land	No	116	232	1	8.5	15.24	6.7	11.6	33.3	4.4	4.1



**Application for Consent**

N

Subject Property being PIN 73478-1037,  
 SRO, Part Lot 4, Concession 5,  
 Part Lot 10, Plan M-589,  
 being Parts 3 & 4, Plan 53R-16282,  
 Township of Broder,  
 3133 Algonquin Road, Sudbury,  
 City of Greater Sudbury

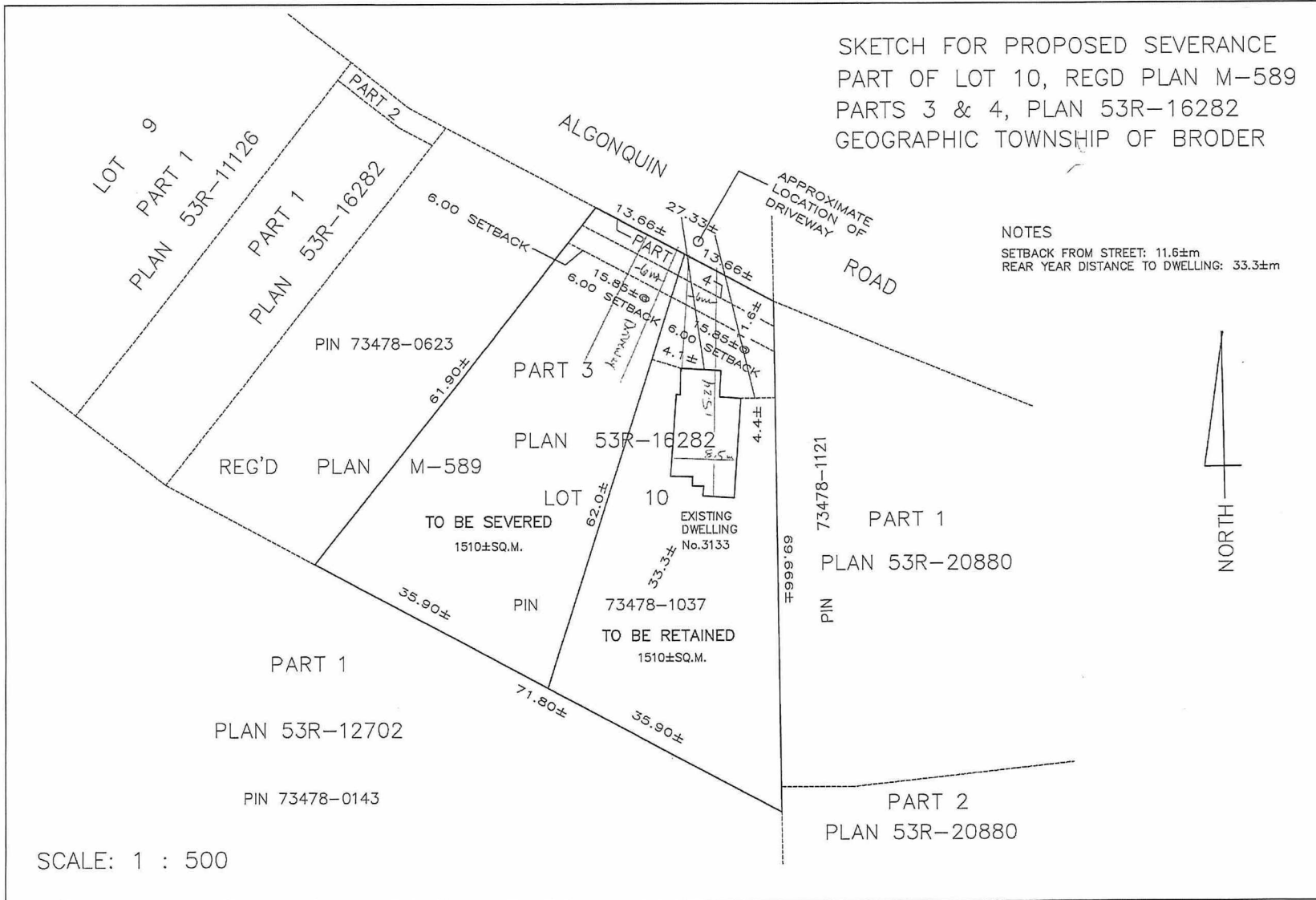
NTS  
 Sketch 1

PL-CON-2025-00097  
 Date: 2025 12 29

SKETCH FOR PROPOSED SEVERANCE  
 PART OF LOT 10, REGD PLAN M-589  
 PARTS 3 & 4, PLAN 53R-16282  
 GEOGRAPHIC TOWNSHIP OF BRODER

NOTES

SETBACK FROM STREET: 11.6±m  
 REAR YARD DISTANCE TO DWELLING: 33.3±m



SCALE: 1 : 500

PL- CON-2025-00097  
 Sketch 2



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-CON-2026-00006

**APPLICATION SUMMARY**

---

**File Date:** January 22, 2026  
**Application Type:** Consent (Land Severance)  
**Address(es):** 1946 Fire Road 4, Capreol P3P 0B7  
**Applicant(s):** BORTOLUSSI SURVEYING LTD  
**Owner(s):** TRACY MCGOWAN AND DONALD MCGOWAN

**PLANNING APPLICATION  
PURPOSE OF TRANSACTION**

Addition to Lot

Area 58.06	Area (Second Additional Lot if Applicable)
Depth 0	Depth (Second Additional Lot if Applicable)
Frontage 0	Frontage (Second Additional Lot if Applicable)

---

Creation of New Lot

Area  
  
Depth  
  
Frontage

---

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

---

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

---

Easement/Right-of-Way

Area Area (Second Easement or Right-of-Way if Applicable)

Depth Depth (Second Easement or Right-of-Way if Applicable)

Frontage Frontage (Second Easement or Right-of-Way if Applicable)

---

Lease

Area

Depth

Frontage

---

Other

Describe Other  
fixing encroachment's

Area  
422.3

Depth  
64

Frontage  
0

**GENERAL APPLICATION**

**Are there multiple properties associated with the application?**  
No

**Please describe the additional properties associated with this application**

**Are you the registered owner or an authorized agent?**  
Authorized Agent

**What is the date of acquisition of subject land?**  
October 3, 2022

**What is the number of dwelling units on the property?**  
1

**What is the number of proposed new buildings/structures on the property?**  
0

**What is the number of existing buildings/structures on the property?**  
4

**If this application is approved, would any existing dwelling units be legalized?**  
No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**  
No

**Provide details on how the property is designated in the Source Protection Plan**

**CONSENT**

**Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged**  
Mary Perterson

**Are there any easements or restrictive covenants affecting the subject land?**  
No

**Please indicate a description of each easement or covenant and its effect**

**Has the land ever had any previous severances?**  
No

**Name of transferee**

**Date of transfer**

**Use of severed land**

**Is property located with 1km (.6 miles) of a First Nation Reserve?**  
No

**Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?**

No

**Please indicate the file number and status of the application**

**What is the current designation of the subject land in the applicable Official Plan?**

Mining and mineral reserve

**Explain how the application conforms with the Official Plan**

no changes.  
conforms.  
fixing encroachments

**Explain how the application is consistent with the Provincial Policy Statements**

no changes.  
conforms.  
fixing encroachments

**Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario**

no changes.  
conforms.  
fixing encroachments

### **CONCURRENT APPLICATIONS**

**Minor Variance**

File Number(s) - Minor Variance

Status - Minor Variance

**Rezoning**

File Number(s) - Rezoning

Status - Rezoning

**Official Plan Amendment**

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

### **LAND RETAINED**

<b>Area</b>	<b>Depth</b>	<b>Frontage</b>
1850.50	70	27.6

**Existing use of land**

residential, summer cottage

**Proposed use of land**

residential, summer cottage

**Proposed use of land**

**Will a certificate be required for the retained land?**

No

**WATER/SEWAGE - RETAINED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - RETAINED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

**LAND SEVERED**

**Existing use of land**

residential, summer cottage

**Proposed use of land**

residential, summer cottage

**Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit**

#4 -Lot Area of 58.06m2 to be added to PIN 73510-0088  
AND  
#2 -Lot Area of 422.3 m2 to PIN 73510-0106

**WATER/SEWAGE - SEVERED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - SEVERED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

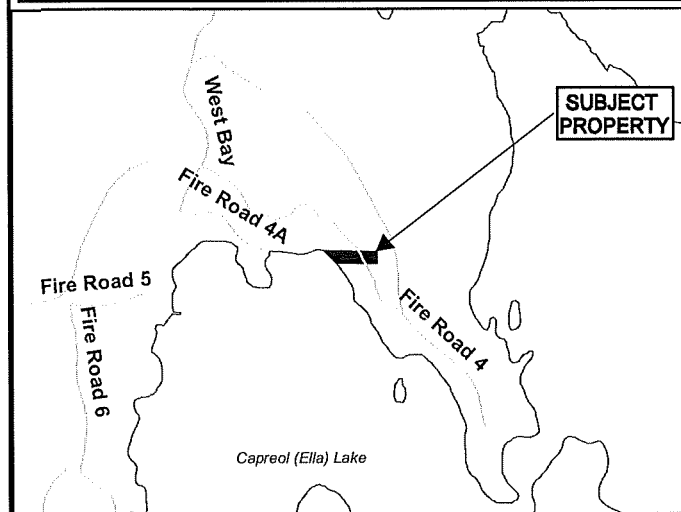
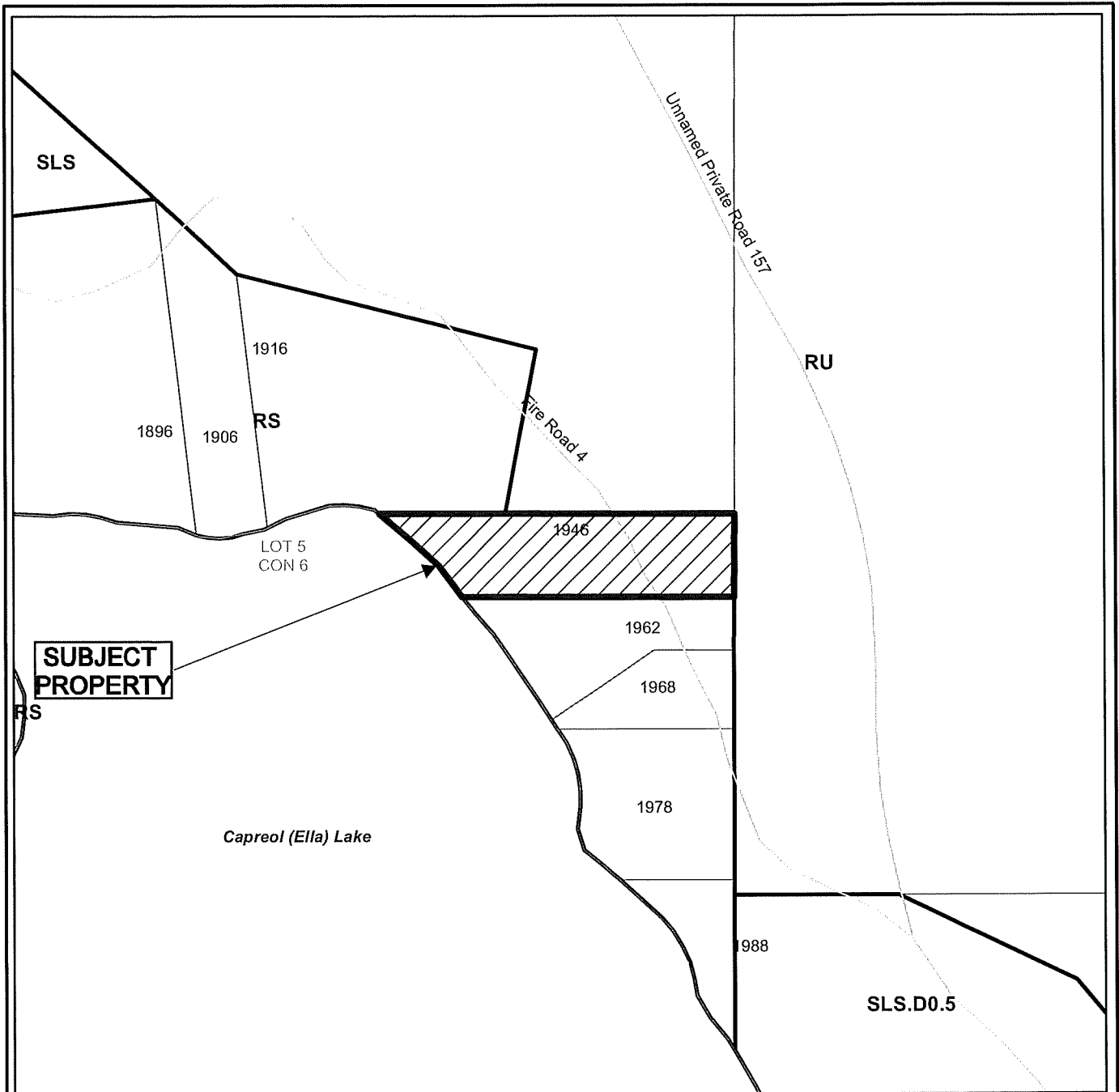
Estimate the distance of these facilities from the severed land and nearest public road by water

## PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
----------------------	----------	------------------	---------------------------------	--------------------------------	----------------------------	--------------------	---------------------	---------------------	---------------------------------	--------------------------------	--------------------------------	--------------------------------------

## EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
1 storey dwelling	Retained Land	No	90.15	90.15	1	11.66	9.73	5	18.4	51.53	10.05	4.39
shed	Retained Land	No	15.33	15.33	1	3.92	3.92	2	1.5	69.64	0.23	22.23
shed	Retained Land	No	9.46	9.46	1	2.52	3.75	2	6.7	65.43	2.72	21.15
shed	Severed Land	No	9.74	9.74	1	3.1	3.15	2	30.56	40.17	0.89	23.05



N  


**Application for Consent**

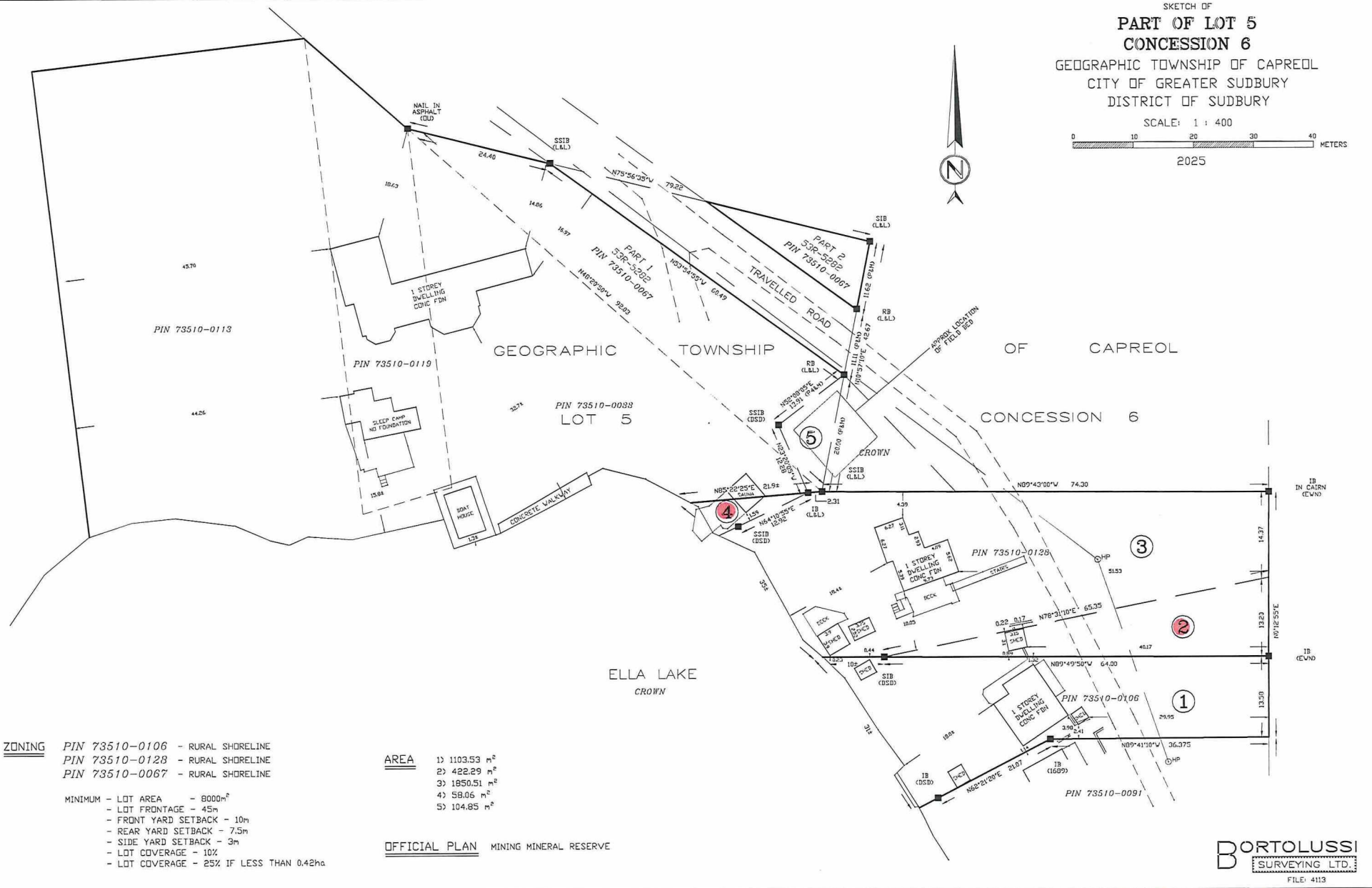
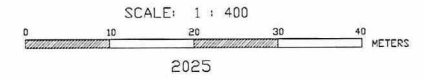
Subject Property being PIN 73510-0128,  
 Parcel 12812 SEC SES,  
 Part Lot 5, Concession 6,  
 Summer Resort Location as in EP7008,  
 Township of Capreol,  
 1946 Fire Road 4, Capreol,  
 City of Greater Sudbury

---

NTS  
 Sketch 1

PL-CON-2026-00006  
 Date: 2026 01 28

SKETCH OF  
**PART OF LOT 5  
 CONCESSION 6**  
 GEOGRAPHIC TOWNSHIP OF CAPREOL  
 CITY OF GREATER SUDBURY  
 DISTRICT OF SUDBURY



**ZONING**

PIN 73510-0106	- RURAL SHORELINE
PIN 73510-0128	- RURAL SHORELINE
PIN 73510-0067	- RURAL SHORELINE

**MINIMUM**

- LOT AREA - 8000m<sup>2</sup>
- LOT FRONTAGE - 45m
- FRONT YARD SETBACK - 10m
- REAR YARD SETBACK - 7.5m
- SIDE YARD SETBACK - 3m
- LOT COVERAGE - 10%
- LOT COVERAGE - 25% IF LESS THAN 0.42ha

**AREA**

1)	1103.53 m <sup>2</sup>
2)	422.29 m <sup>2</sup>
3)	1850.51 m <sup>2</sup>
4)	58.06 m <sup>2</sup>
5)	104.85 m <sup>2</sup>

**OFFICIAL PLAN** MINING MINERAL RESERVE

**BORTOLUSSI**  
 SURVEYING LTD.  
 FILE: 4113

PL-CON-2026-00006  
 sketch 2



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-CON-2026-00008

**APPLICATION SUMMARY**

---

**File Date:** February 11, 2026

**Application Type:** Consent (Land Severance)

**Address(es):** 2470 Dominion Drive, Val Therese P3N 1R3

**Applicant(s):** TULLOCH

**Owner(s):** BYRON WAGNER

**PLANNING APPLICATION  
PURPOSE OF TRANSACTION**

Addition to Lot

<b>Area</b> 49531.5	<b>Area (Second Additional Lot if Applicable)</b>
<b>Depth</b> 442.1	<b>Depth (Second Additional Lot if Applicable)</b>
<b>Frontage</b> 0	<b>Frontage (Second Additional Lot if Applicable)</b>

Creation of New Lot

**Area**  
  
**Depth**  
  
**Frontage**

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

---

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

---

Easement/Right-of-Way

Area

Area (Second Easement or Right-of-Way if Applicable)

Depth

Depth (Second Easement or Right-of-Way if Applicable)

Frontage

Frontage (Second Easement or Right-of-Way if Applicable)

---

Lease

Area

Depth

Frontage

---

Other

Describe Other

Area

Depth

Frontage

**GENERAL APPLICATION**

**Are there multiple properties associated with the application?**

Yes

**Please describe the additional properties associated with this application**

2406 Dominion Dr, Val Caron - Benefitting Lands

**Are you the registered owner or an authorized agent?**

Authorized Agent

**What is the date of acquisition of subject land?**

2012/07/21

**What is the number of dwelling units on the property?**

1

**What is the number of proposed new buildings/structures on the property?**

0

**What is the number of existing buildings/structures on the property?**

7

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

Yes

**Provide details on how the property is designated in the Source Protection Plan**

Intake Protection Zone 3

**CONSENT**

**Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged**

Craig Wagner

**Are there any easements or restrictive covenants affecting the subject land?**

No

**Please indicate a description of each easement or covenant and its effect**

**Has the land ever had any previous severances?**

Yes

**Name of transferee**

Craig Wagner

**Date of transfer**

2012/06/21

**Use of severed land**

Agricultural/Residential

**Is property located with 1km (.6 miles) of a First Nation Reserve?**

No

**Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?**

No

**Please indicate the file number and status of the application**

**What is the current designation of the subject land in the applicable Official Plan?**

Agricultural Reserve

**Explain how the application conforms with the Official Plan**

Lot Adjustment for legal or technical reasons are permitted per Section 6.2.3 of the OP. Lot addition is for hobby farm/agricultural purposes.

**Explain how the application is consistent with the Provincial Policy Statements**

Lot Adjustment for legal or technical reasons are permitted per Section 4.3.3.2 of the PPS. Lot addition is for hobby farm/agricultural purposes.

**Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario**

No change in land use will be expected as a result of the proposed lot addition. Proposed Lot Addition does not conflict with any of the agricultural policies set out in Section 2.3.3 of GPNO

### **CONCURRENT APPLICATIONS**

**Minor Variance**

File Number(s) - Minor Variance

Status - Minor Variance

**Rezoning**

File Number(s) - Rezoning

Status - Rezoning

**Official Plan Amendment**

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

### **LAND RETAINED**

<b>Area</b>	<b>Depth</b>	<b>Frontage</b>
488646.6	1607.8	111.3

**Existing use of land**

Residential/Agricultural

**Proposed use of land**

Same as existing

**Proposed use of land**

**Will a certificate be required for the retained land?**

No

**WATER/SEWAGE - RETAINED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - RETAINED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

**LAND SEVERED**

**Existing use of land**

Agricultural

**Proposed use of land**

Same as existing

**Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit**

PIN 73505-1024  
2406 Dominion Drive

**WATER/SEWAGE - SEVERED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - SEVERED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

Estimate the distance of these facilities from the severed land and nearest public road by water

## PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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## EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Dwelling	Retained Land	No	199.8	199.8	1	13.1	9.1	4.5	22.8	1575	69.5	28.6
Detached Garage	Retained Land	No	39	39	1	9.1	4.3	3	45.7	1557	99.7	2.5
Barn 1	Retained Land	No	102.2	102.2	1	6.7	15.2	7	48.8	1543	83.8	20.7
Barn 2	Retained Land	No	98.1	98.1	1	7.3	13.4	5	73.8	1519.8	72.9	32.3
Wood Shed	Retained Land	No	64.1	64.1	1	7	9.1	3	85.1	1512.7	100.7	19.4
Lean-To	Retained Land	No	58.5	58.5	1	4.6	12.8	3	99.3	1494.7	105.7	33.5
Storage Container	Retained Land	No	31.6	31.6	1	12.2	2.6	2.4	96.6	1505.9	76	42.8



Planners | Surveyors | Biologists | Engineers

February 12, 2026  
251484

**Attn: Nia Lewis, Consent Official**

Development Approvals – Planning Services  
Tom Davies Square – City of Greater Sudbury  
200 Brady Street  
Sudbury, ON  
P3A 5P3

| Re: 2470 Lot Addition Application

Dear Ms. Lewis,

TULLOCH has been retained by the current owner of those lands known municipally as 2470 Dominion Drive in the community of Hanmer to prepare a consent application. The purpose of the application is to facilitate a lot addition that where  $\pm 4.1$  hectares of land from 2470 Dominion Drive would be severed and added to 2406 Dominion Drive, and the remaining  $\pm 49.7$  hectares with  $\pm 111.3$  metres of frontage would be retained.

Both the retained and benefitting lands are designated Agricultural Reserve in the *City of Greater Sudbury Official Plan* and zoned Agricultural (A) in the *City of Greater Sudbury Zoning By-Law 2010-100Z*.

Per **Section 6.2.3** of the Official Plan and **Section 4.3.3** of the Provincial Planning Statement (PPS), lot adjustments in prime agricultural areas may be permitted for legal or technical reasons.

The application would be to bring the benefitting lands closer to conformity with the agricultural lot area requirement of 30 hectares. The purpose of the application is to provide the benefitting lands with additional lands to carry out additional hobby farm/agricultural activities. No impacts to natural constraints, hazards, or infrastructure are expected, and this application is consistent with the *2024 Provincial Planning Statement*, conforms with the *Growth Plan for Northern Ontario* and the intent of the *City of Greater Sudbury Official Plan*, and represents good land use planning.

**Sudbury Office** 131 Fielding Rd., Lively, ON. P3Y 1L7  
T: 705.522.6303 | TF: 800.797.2997

CANADA BEST  
MANAGED  
COMPANIES  
PL-CON-2026-00008

Please find attached the following documents and supporting information in support of a complete application.

- Concept Plan
- Legal Property Description (Geowarehouse) x2

Should there be any questions with respect to the above, please do not hesitate to contact the undersigned directly at [REDACTED]

Respectfully submitted,

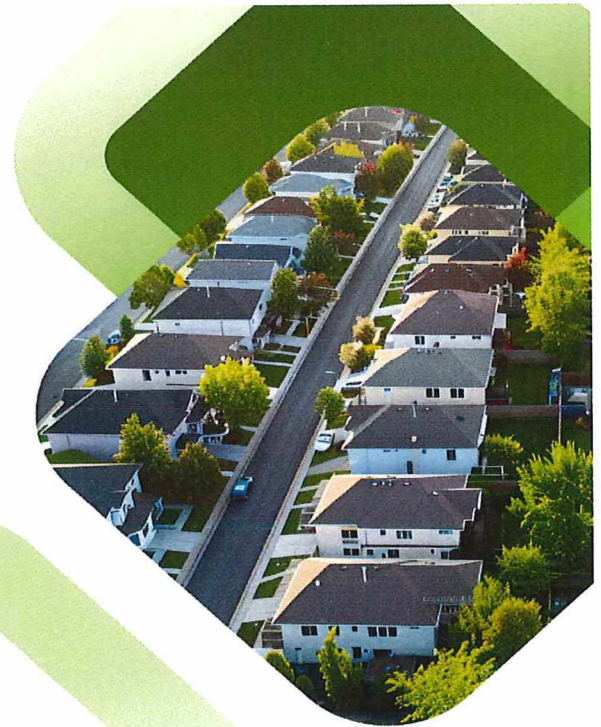


**Brandon Cormier**  
**Planner**

**2470 DOMINION DR**  
**VAL CARON**

PIN 735051019

# GeoWarehouse Property Report



## Property Details

GeoWarehouse Address:

2470 DOMINION DR

VAL CARON

P3N1R3

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**PIN:** 735051019

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**Land Registry Office:** SUDBURY (53)

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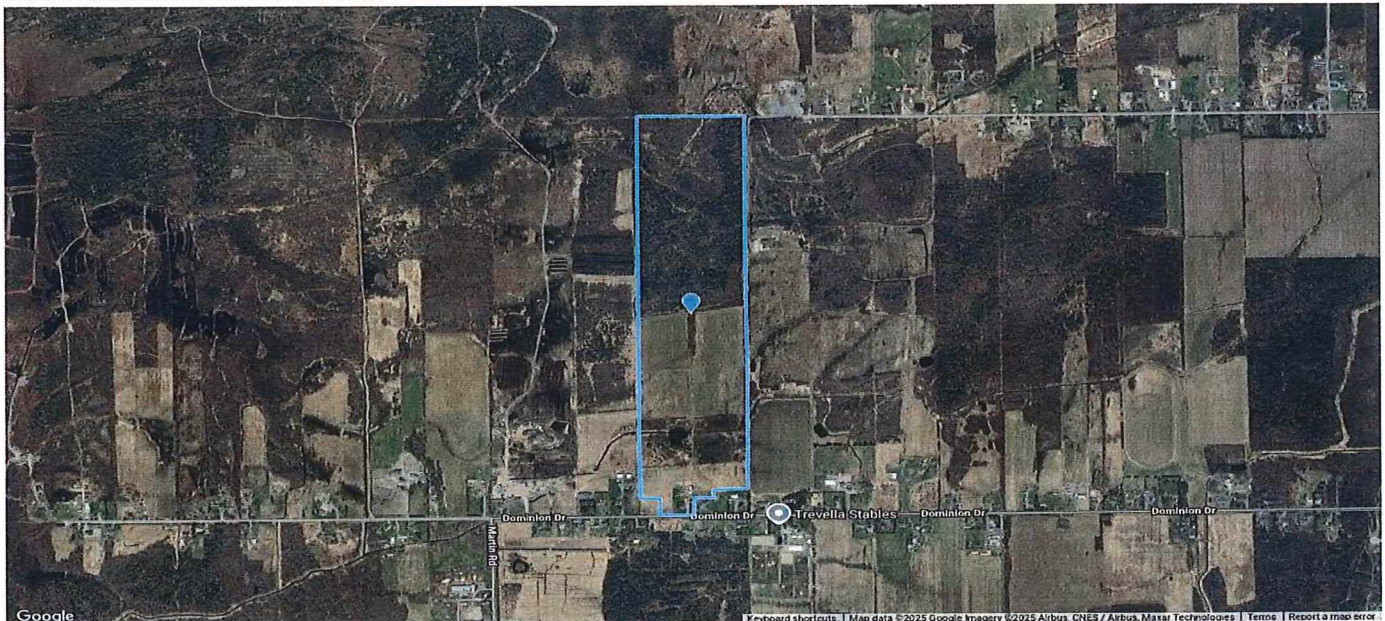
**Land Registry Status:** Active

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**Registration Type:** Certified (Land Titles)

---

**Ownership Type:** Freehold



## Ownership

Owner Name:

WAGNER, BYRON

Party To:

WAGNER, CRAIG

## Legal Description

FIRSTLY; PT LT 10 CON 2 HANMER AS IN EP4465 EXCEPT PT 1 53R7024, PT 10 53R17480 & PT 2 53R18427, PT 1 53R19727;  
SECONDLY; PT LT 10 CON 2 BEING PT 1 53R7024 EXCEPT PT 1 53R18427 CITY OF GREATER SUDBURY

**Lot Size**

Area: 533192.0 sq.m

Perimeter: 3907.0 m

Measurements: 340.48m x 1547.85m x 60.17m x 65.52m x  
109.81m x 66.22m x 60.81m x 34.83m x  
109.86m x 1511.79m

**Lot Measurement Accuracy : LOW**

These lot boundaries may have been adjusted to fit within the overall parcel fabric and should only be considered to be estimates.



**Sales History**

Sale Date	Sale Amount	Type	Party To	Notes
Jun 21, 2012	[REDACTED]	Transfer	WAGNER, CRAIG;	See Notes 1
Jun 21, 2012	[REDACTED]	Transfer	WAGNER, BYRON;	
Feb 03, 2011	[REDACTED]	Transfer by Personal Representative	WAGNER, BYRON;	

Notes :

- The following Pins were transferred together with the subject Property  
735051024

## Terms and Conditions

**Reports Not the Official Record.** Reports, other than the Parcel Register, obtained through Geowarehouse are not the official government record and will not necessarily reflect the current status of interests in land.

**Currency of Information.** Data contained in the Geowarehouse reports are not maintained real-time. Data contained in reports, other than the Parcel Register, may be out of date ten business days or more from data contained in POLARIS.

**Coverage.** Data, information and other products and services accessed through the Land Registry Information Services are limited to land registry offices in the areas identified on the coverage map.

**Completeness of the Sales History Report.** Some Sales History Reports may be incomplete due to the amount of data collected during POLARIS title automation. Subject properties may also show nominal consideration or sales price (e.g. \$2) in cases such as transfers between spouses or in tax exempt transfers.

**Demographic Information.** Demographic Information is obtained from Environics Analytics. Environics Analytics acquires and distributes Statistics Canada files in accordance with the Government of Canada's Open Data Policy. No information on any individual or household was made available to Environics Analytics by Statistics Canada. PRIZM and selected PRIZMC2 nicknames are registered trademarks of The Nielsen Company (U.S.) and are used with permission.

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The Property Information Services, reports and information are provided "as is" and your use is subject to the applicable Legal Terms and Conditions. Some information obtained from the Land Registry Information Services is not the official government record and will not reflect the current status of interests in land. Use of personal information contained herein shall relate directly to the purpose for which the data appears in land registry records and is subject to all applicable privacy legislation in respect of personal information. Such information shall not be used for marketing to a named individual.

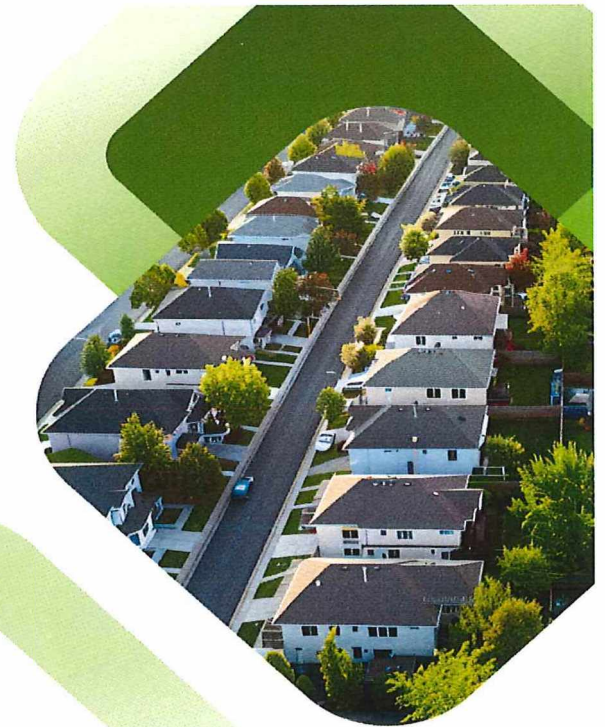
Parcel Mapping shown on the site was compiled using plans and documents recorded in the Land Registry System and has been prepared for property indexing purposes only. It is not a Plan of Survey. For actual dimensions of property boundaries, see recorded plans and documents.



**2406 DOMINION DR**  
**VAL CARON**

PIN 735051024

# GeoWarehouse Property Report



## Property Details

GeoWarehouse Address:

2406 DOMINION DR

VAL CARON

P3N1R3

PIN: 735051024

Land Registry Office: SUDBURY (53)

Land Registry Status: Active

Registration Type: Certified (Land Titles)

Ownership Type: Freehold



## Ownership

Owner Name:

WAGNER, CRAIG

## Legal Description

PT LT 10 CON 2 HANMER BEING PT 1 53R19727; CITY OF GREATER SUDBURY

### Lot Size

Area: 11103.0 sq.m

Perimeter: 421.0 m

Measurements: 109.86m x 101.05m x 109.9m x 101.05m

**Lot Measurement Accuracy : LOW**  
These lot boundaries may have been adjusted to fit within the overall parcel fabric and should only be considered to be estimates.



### Sales History

Sale Date	Sale Amount	Type	Party To	Notes
Jun 21, 2012	[REDACTED]	Transfer	WAGNER, CRAIG;	See Notes 1

Notes :

1. The following Pins were transferred together with the subject Property

735051019

## Terms and Conditions

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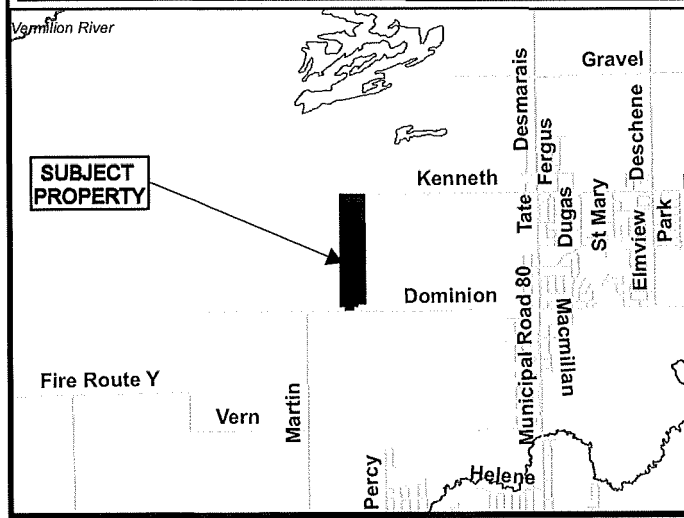
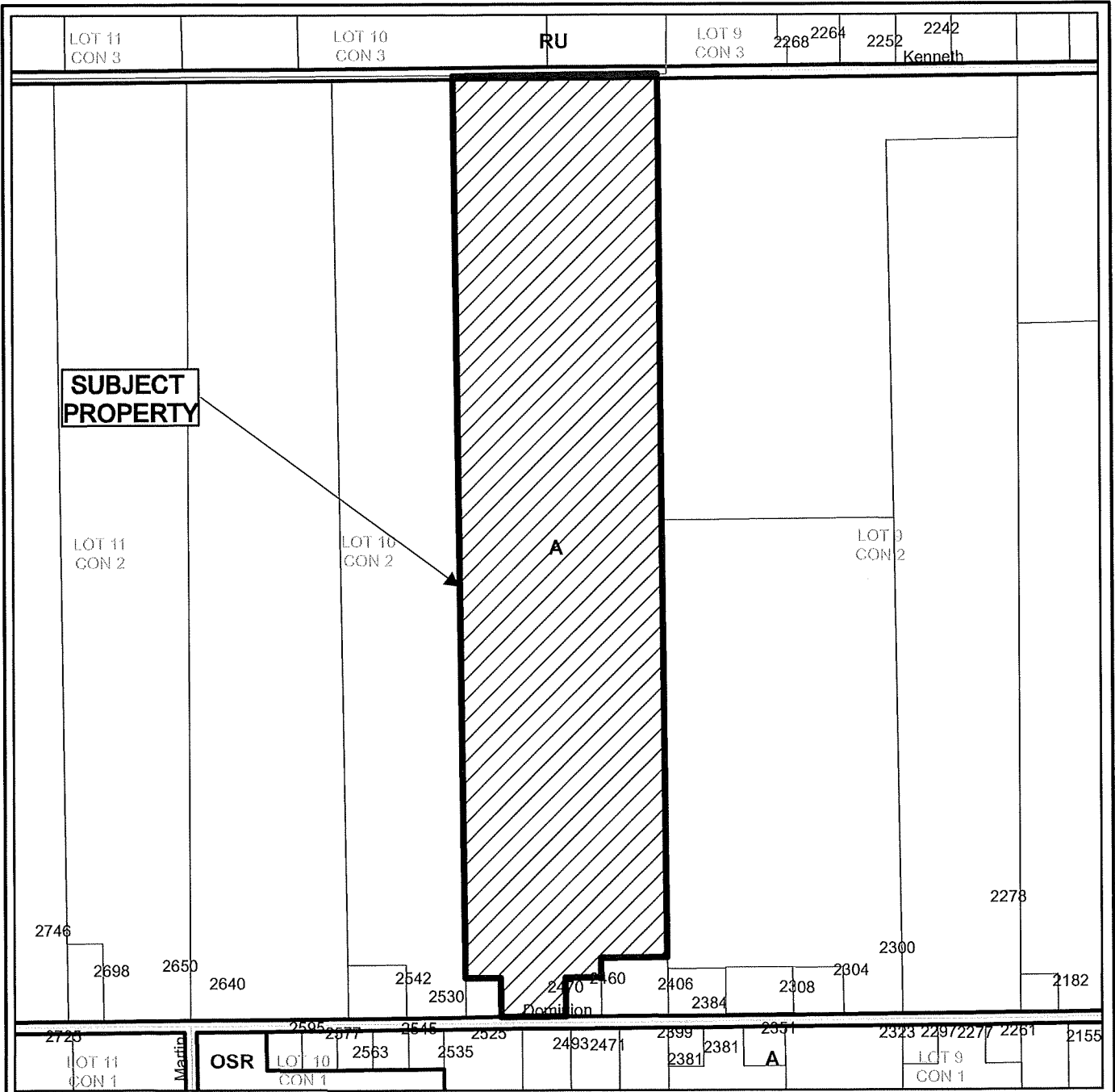
**Demographic Information.** Demographic Information is obtained from Environics Analytics. Environics Analytics acquires and distributes Statistics Canada files in accordance with the Government of Canada's Open Data Policy. No information on any individual or household was made available to Environics Analytics by Statistics Canada. PRIZM and selected PRIZMC2 nicknames are registered trademarks of The Nielsen Company (U.S.) and are used with permission.

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Parcel Mapping shown on the site was compiled using plans and documents recorded in the Land Registry System and has been prepared for property indexing purposes only. It is not a Plan of Survey. For actual dimensions of property boundaries, see recorded plans and documents.





**Application for Consent**

N  


Subject Property being PIN 73505-1019,  
 Part Lot 10, Concession 2,  
 Part 1, Plan 53R-7024 and as in EP4465,  
 except Part 10, Plan 53R-17480,  
 Parts 1-2, Plan 53R-18427 and Part 1, Plan 53R-19727,  
 Township of Hanmer,  
 2470 Dominion Drive, Val Therese,  
 City of Greater Sudbury

NTS  
 Sketch 1

PL-CON-2026-00008  
 Date: 2026 03 25





Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-CON-2026-00009

**APPLICATION SUMMARY**

---

**File Date:** February 11, 2026  
**Application Type:** Consent (Land Severance)  
**Address(es):** 0 Carl Street, Hanmer, ON P3P1X5  
**Applicant(s):** DORLAND GEOMATICS  
**Owner(s):** TIFFANY BOIVIN-BRAWLEY AND LISA BRAWLEY

**PLANNING APPLICATION  
PURPOSE OF TRANSACTION**

**Addition to Lot**

**Area** Area (Second Additional Lot if Applicable)  
**Depth** Depth (Second Additional Lot if Applicable)  
**Frontage** Frontage (Second Additional Lot if Applicable)

---

**Creation of New Lot**

**Area**  
79009  
**Depth**  
426  
**Frontage**  
20.12

---

**Creation of Lot(s) for Semi-Detached or Row Housing**

Area

Depth

Frontage

---

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

---

Easement/Right-of-Way

Area

Area (Second Easement or Right-of-Way if Applicable)

Depth

Depth (Second Easement or Right-of-Way if Applicable)

Frontage

Frontage (Second Easement or Right-of-Way if Applicable)

---

Lease

Area

Depth

Frontage

---

Other

**Describe Other**

want to sever the southerly portion of the subject property, that is zoned FD, from the northerly portion of the property that is zoned RU.

Area  
79009

Depth  
426

Frontage  
20.12

**GENERAL APPLICATION**

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**Are you the registered owner or an authorized agent?**

Authorized Agent

**What is the date of acquisition of subject land?**

2020/12/18

**What is the number of dwelling units on the property?**

0

**What is the number of proposed new buildings/structures on the property?**

0

**What is the number of existing buildings/structures on the property?**

0

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

Yes

**Provide details on how the property is designated in the Source Protection Plan**

WHPA-A and B Vulnerability

**CONSENT**

**Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged**

Adam Martel

**Are there any easements or restrictive covenants affecting the subject land?**

Yes

**Please indicate a description of each easement or covenant and its effect**

LT52769 and LT118206 in favour of The International Nickel Company of Canada Limited

**Has the land ever had any previous severances?**

No

**Name of transferee**

**Date of transfer**

**Use of severed land**

**Is property located with 1km (.6 miles) of a First Nation Reserve?**

No

**Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?**

No

**Please indicate the file number and status of the application**

**What is the current designation of the subject land in the applicable Official Plan?**

Living Area 1

**Explain how the application conforms with the Official Plan**

n/a this application is just for severance only to eliminate the split zoning.

**Explain how the application is consistent with the Provincial Policy Statements**

n/a this application is just for severance only to eliminate the split zoning.

**Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario**

n/a this application is just for severance only to eliminate the split zoning.

### **CONCURRENT APPLICATIONS**

**Minor Variance**

File Number(s) - Minor Variance

Status - Minor Variance

**Rezoning**

File Number(s) - Rezoning

Status - Rezoning

**Official Plan Amendment**

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

### **LAND RETAINED**

<b>Area</b>	<b>Depth</b>	<b>Frontage</b>
101572	603	36.1

**Existing use of land**

vacant

**Proposed use of land**

no change

**Proposed use of land**

**Will a certificate be required for the retained land?**

No

**WATER/SEWAGE - RETAINED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - RETAINED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

**LAND SEVERED**

Existing use of land

vacant

Proposed use of land

unknown

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

**WATER/SEWAGE - SEVERED**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS - SEVERED**

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

Estimate the distance of these facilities from the severed land and nearest public road by water



