

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

October 27, 2025

PL-CON-2025-00034 EILA KYRZAKOS

Ward: 9

PIN(s) 734760781, Part Lot 8, Concession 3, Township of Broder, 1150 Dew Drop Road, Sudbury, [By-law 2010-100Z, R1-2]

To sever and create a new lot on the east vacant portion of the subject property providing a lot frontage of approximately 40.0m, a lot depth of approximately 51.0m and a lot area of approximately 1950.0 sq. m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0538/1976 (AUG 9/76) AND B0538/1976 (SEP 9/76), AND MINOR VARIANCE APPLICATION A0031/2019 (APR 3/19).

PL-CON-2025-00053 DOMINION PARK DEVELOPMENTS CORP

Ward: 6

PIN(s) 735043218, Lot 151, Plan M-1115, Part Lot 5, Concession 2, Township of Hanmer, 2101 Schreyer Street, Valley East, 2105 Schreyer Street, Valley East, [By-law 2010-100Z, R2-2]

Divide the subject property along the party wall of a semi-detached dwelling.

PL-CON-2025-00061 LYNDAL HOLDINGS LIMITED

Ward: 7

PIN(s) 734960718, Lot 5, Plan 53M-1452, Part Lot 1, Concession 10, Township of Garson, 85 National Street, Garson, [By-law 2010-100Z, M3]

Grant an approximate 2900.0 sq. m easement in the nature of a right-of-way for storm water drainage in favour of abutting PIN 73496-0717 (LT), Lot 4, Plan 53M-1452, Township of Garson.

PREVIOUSLY THE SUBJECT OF CONSENT APPLICATIONS B0034/2016 & B0035/2016 (MAY 16/16), B0069/2014 (AUG 7/14), B0058/2012 & B0066/2012 (JUN 28/12), B0094/2008 (MAY 12/08), B0087/2006 & B0088/2006 (JUN 19/06), B0100/2000 (JAN 15/01), B0102/1999 (JAN 10/00), B0002/1998 (FEB 9/98), B0268/1986 (NOV 17/86) AND MINOR VARIANCE APPLICATIONS A0051/2006 (JUN 12/06), A0007/2000 (FEB 21/00), AND SUBDIVISION 780-3/07004.

**PL-CON-2025-00062 ROBERT JOHN D'AGOSTINO
LISA CLAIRE D'AGOSTINO**

Ward: 9

PIN(s) 734720273, Part Lot 12, Concession 2, as in EP5827, except LT43520, LT49814, LT50136, LT50398, LT59333, LT61558, LT67436 and Parts 2, 3, & 4, Plan 53R-20093, Township of Broder, 4574 Lammi's Road, Sudbury, [By-law 2010-100Z, SLS, RU]

Create a new lot on the eastern portion of the subject property providing an approximate 20.0m lot frontage and 67,700.0 sq. m lot area, together with and subject to a mutual access easement.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B103/12 (13 AUG 12), B468/92 (1 MAR 93), B469/92 (1 MAR 93), B123/14 (9 FEB 15), B124/14 (9 FEB 15), B125/14 (9 FEB 15) AND MINOR VARIANCE APPLICATION A362/92 (1 MAR 93)

**PL-CON-2025-00063 SUZANNE LEBLANC
RICHARD LEBLANC**

Ward: 6

PIN(s) 735041262, Parcel 39818 SEC SES SRO, Lot 72, Plan M-699, Part Lot 5, Concession 2, Township of Hanmer, 1194 Evergreen Court, Valley East, [By-law 2010-100Z, R1-5]

Create a new lot on the north portion of the subject property providing an approximate lot frontage of 17.0m, an approximate lot depth of 48.0m and an approximate lot area of 733.0 sq. m, subject to an approximate 4.21 sq. m easement in the nature of a right-of-way for access purposes in favour of retained lot.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0079/2024 (OCT 21/24) AND MINOR VARIANCE APPLICATION A0115/2024 (JAN 22/25)

PL-CON-2025-00064 VYTIS LANDS (KAGAWONG) LTD.

Ward: 3

PIN(s) 733480749; 733480750; 733480751; 733480752; 733480753; 733480754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-20477, Part Lot 1, Concession 2, Township of Balfour, 0 Montée Génereux, Chelmsford, [By-law 2010-100Z, R3(108)]

Consent to sever a street townhouse dwelling, identified as Unit #1, along the common wall providing an approximate lot frontage of 14.0m, an approximate lot depth of 60.0m and an approximate lot area of 860.0 sq. m.

ALSO SUBJECT TO CONSENT APPLICATIONS PL-CON-2025-00065 TO PL-CON-2025-00067

PREVIOUSLY SUBJECT OF CONSENT APPLICATIONS B0054/2015 TO B0056/2015 (JUL 6/15) AND REZONING APPLICATION 751-5/15-3.

PL-CON-2025-00065 VYTIS LANDS (KAGAWONG) LTD.

Ward: 3

PIN(s) 733480749; 733480750; 733480751; 733480752; 733480753; 733480754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-20477, Part Lot 1, Concession 2, Township of Balfour, 0 Montée Génereux, Chelmsford, [By-law 2010-100Z, R3(108)]

Consent to sever a street townhouse dwelling, identified as Unit #2, along the common wall providing an approximate lot frontage of 9.15m, an approximate lot depth of 56.0m and an approximate lot area of 499.0 sq. m.

ALSO SUBJECT TO CONSENT APPLICATIONS PL-CON-2025-00064, PL-CON-2025-00066 AND PL-CON-2025-00067

PREVIOUSLY SUBJECT OF CONSENT APPLICATIONS B0054/2015 TO B0056/2015 (JUL 6/15) AND REZONING APPLICATION 751-5/15-3.

PL-CON-2025-00066 VYTIS LANDS (KAGAWONG) LTD.

Ward: 3

PIN(s) 733480749; 733480750; 733480751; 733480752; 733480753;
733480754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-
20477, Part Lot 1, Concession 2, Township of Balfour, 0 Montée Généreux,
Chelmsford, [By-law 2010-100Z, R3(108)]

Consent to sever a street townhouse dwelling, identified as Unit #3, along the
common wall providing an approximate lot frontage of 9.17m, an approximate lot
depth of 53.0m and an approximate lot area of 473.0 sq. m.

ALSO SUBJECT TO CONSENT APPLICATIONS PL-CON-2025-00064,
PL-CON-2025-00065 AND PL-CON-2025-00067

PREVIOUSLY SUBJECT OF CONSENT APPLICATIONS B0054/2015 TO
B0056/2015 (JUL 6/15) AND REZONING APPLICATION 751-5/15-3.

PL-CON-2025-00067 VYTIS LANDS (KAGAWONG) LTD.

Ward: 3

PIN(s) 733480749; 733480750; 733480751; 733480752; 733480753;
733480754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-
20477, Part Lot 1, Concession 2, Township of Balfour, 0 Montée Généreux,
Chelmsford, [By-law 2010-100Z, R3(108)]

Consent to sever a street townhouse dwelling, identified as Unit #4, along the
common wall providing an approximate lot frontage of 9.17m, an approximate lot
depth of 50.0m and an approximate lot area of 446.0 sq. m.

ALSO SUBJECT TO CONSENT APPLICATIONS PL-CON-2025-00064 TO
PL-CON-2025-00066

PREVIOUSLY SUBJECT OF CONSENT APPLICATIONS B0054/2015 TO
B0056/2015 (JUL 6/15) AND REZONING APPLICATION 751-5/15-3.

**Written submissions regarding these applications must be received no later than Wednesday,
October 22, 2025 for consideration.**



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00034

APPLICATION SUMMARY

File Date: May 15, 2025

Application Type: Consent (Land Severance)

Address(es): 1150 Dew Drop Road, Sudbury P3G 1L2

Applicant(s): TAMMY GRAN

Owner(s): EILA KYRZAKOS

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area Area (Second Additional Lot if Applicable)

Depth Depth (Second Additional Lot if Applicable)

Frontage Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area
1950

Depth
51

Frontage
40.538

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area

Area (Second Easement or Right-of-Way if Applicable)

Depth

Depth (Second Easement or Right-of-Way if Applicable)

Frontage

Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

2018

What is the number of dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

To be sold.

Are there any easements or restrictive covenants affecting the subject land?

No

Please indicate a description of each easement or covenant and its effect

Has the land ever had any previous severances?

No

Name of transferee

Date of transfer

Use of severed land

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

No

Please indicate the file number and status of the application

What is the current designation of the subject land in the applicable Official Plan?

Living Area II

Explain how the application conforms with the Official Plan

My property conforms with the size and shape regulations, with the density for the area, permitted uses of property and setbacks allowed in the OP

Explain how the application is consistent with the Provincial Policy Statements

The property will enhance the community's long term goals and established planning framework for the area

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

This severance is compatible with neighboring land uses and will be suitable as a residential zoned property in an R1-2 zone.

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
2178	59.4	40.5

Existing use of land

Residential

Proposed use of land

Residential

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Residential

Proposed use of land

Residential

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

WATER/SEWAGE - SEVERED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

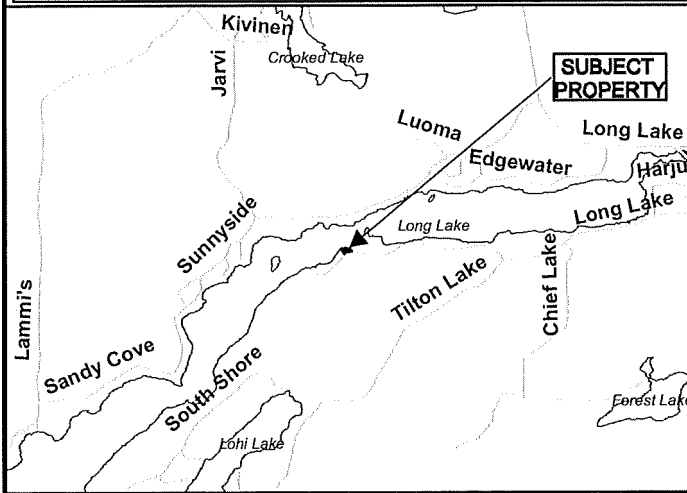
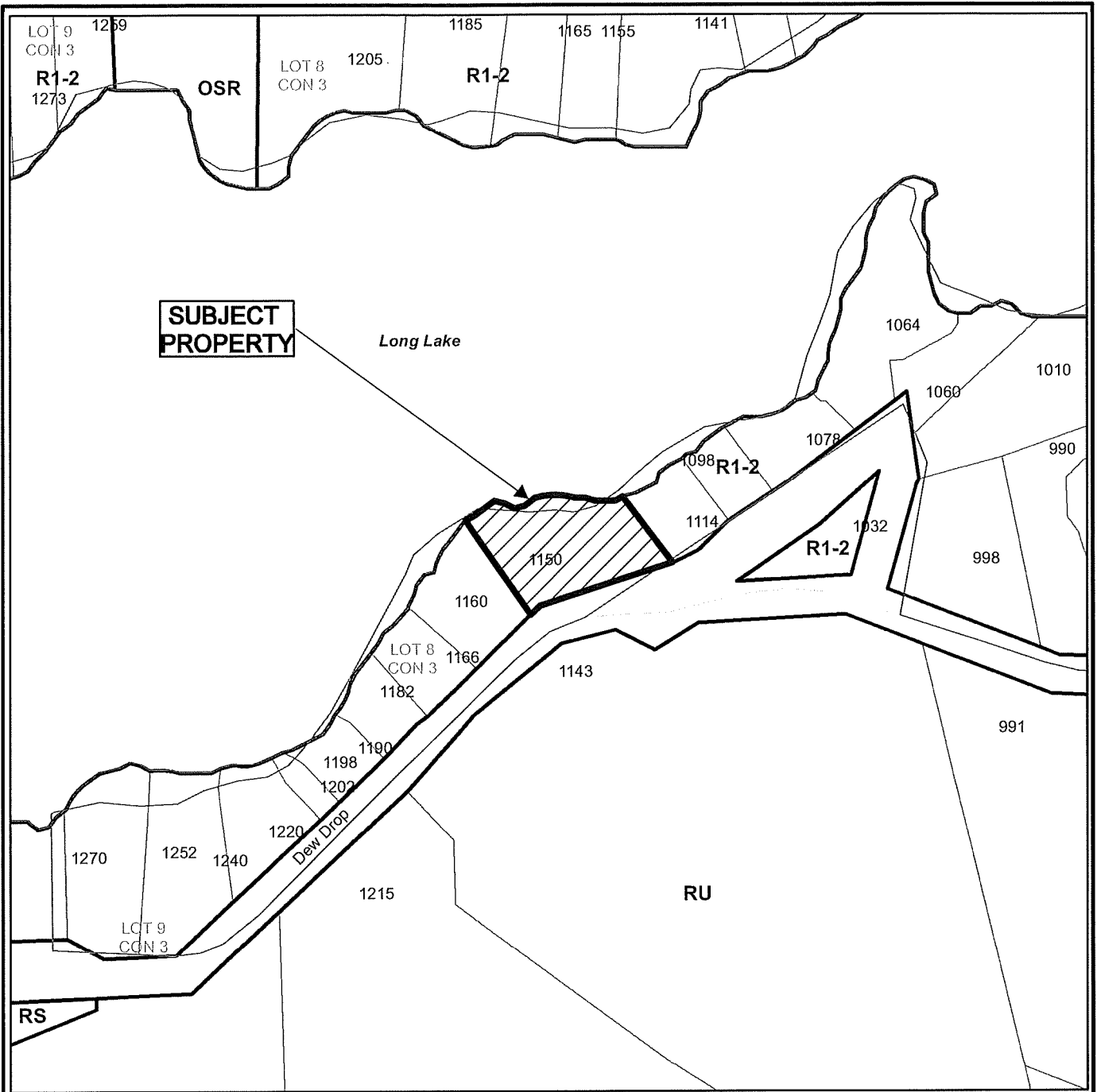
Estimate the distance of these facilities from the severed land and nearest public road by water


PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	Retained Land	No	178.369	178.369	1	14.63	12.192	4	17.587	28.0	1.65	34.0
Garage	Retained Land	No	67.7	67.7	1	8.543	7.925	3.65	2.438	47.2	19.8	9.0
Shed/Sauna	Retained Land	No	26.81	26.81	1	4.572	5.864	3.048	25.0	28.0	30.61	9.144
Shed	Retained Land	No	8.325	8.325	1	3.045	2.734	3.0	33.73	21.0	20.0	24.994



N


Application for Consent

Subject Property being PIN 73476-0781,
 Part Lot 8, Concession 3,
 Township of Broder,
 1150 Dew Drop Road, Sudbury,
 City of Greater Sudbury

NTS
 Sketch 1

PL-CON-2025-00034
 Date: 2025 06 09



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00053

APPLICATION SUMMARY

File Date: August 12, 2025

Application Type: Consent (Land Severance)

Address(es): 2101 Schreyer Street, Valley East P3P 0E3, 2105 Schreyer Street, Valley East P3P 0E3

Applicant(s): BELMAR BUILDERS INC.

Owner(s): DOMINION PARK DEVELOPMENTS CORP

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area Area (Second Additional Lot if Applicable)

Depth Depth (Second Additional Lot if Applicable)

Frontage Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area

Depth

Frontage

Creation of Lot(s) for Semi-Detached or Row Housing

GENERAL APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

2105 Schreyer Street

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

May 22, 2014

What is the number of dwelling units on the property?

2

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

Ronal Belanger

Are there any easements or restrictive covenants affecting the subject land?

Yes

Please indicate a description of each easement or covenant and its effect

sanitary, storm and water easement (rear of property)

Has the land ever had any previous severances?

No

Name of transferee

Date of transfer

Use of severed land

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

Yes

Please indicate the file number and status of the application

Registered - M-1115

What is the current designation of the subject land in the applicable Official Plan?

Living Area 1

Explain how the application conforms with the Official Plan

Semi – detached dwelling is permitted within living area I and lot creation in living area is permitted in accordance with minimum lot sizes set out in the zoning by law. The proposed severance adheres to the zone standard set out in the applicable zoning by law.

Explain how the application is consistent with the Provincial Policy Statements

The creation of the new lot is necessary – The creation of this new lot is necessary for the proper functioning of the subject semi detached dwelling on the subject property. Locating each dwelling on its own lot increases the provision of an ownership unit in the form of semi-detached dwelling in an area dominated by single detached dwelling. This type of development is supported by section 2.1 and 2.2 in PPS.

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

The provision of this type of housing is supported by Policy 3.4.3 of the GPNO and there is nothing in the growth plan that discourages the creation of a new lot to separate a semi-detached dwelling that shares a common wall.

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
462.0	44.0	10.5

Existing use of land

Residential R2-2

Proposed use of land

Residential R2-2

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

residential R2-2

Proposed use of land

residential R2-2

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

n/a

WATER/SEWAGE - SEVERED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

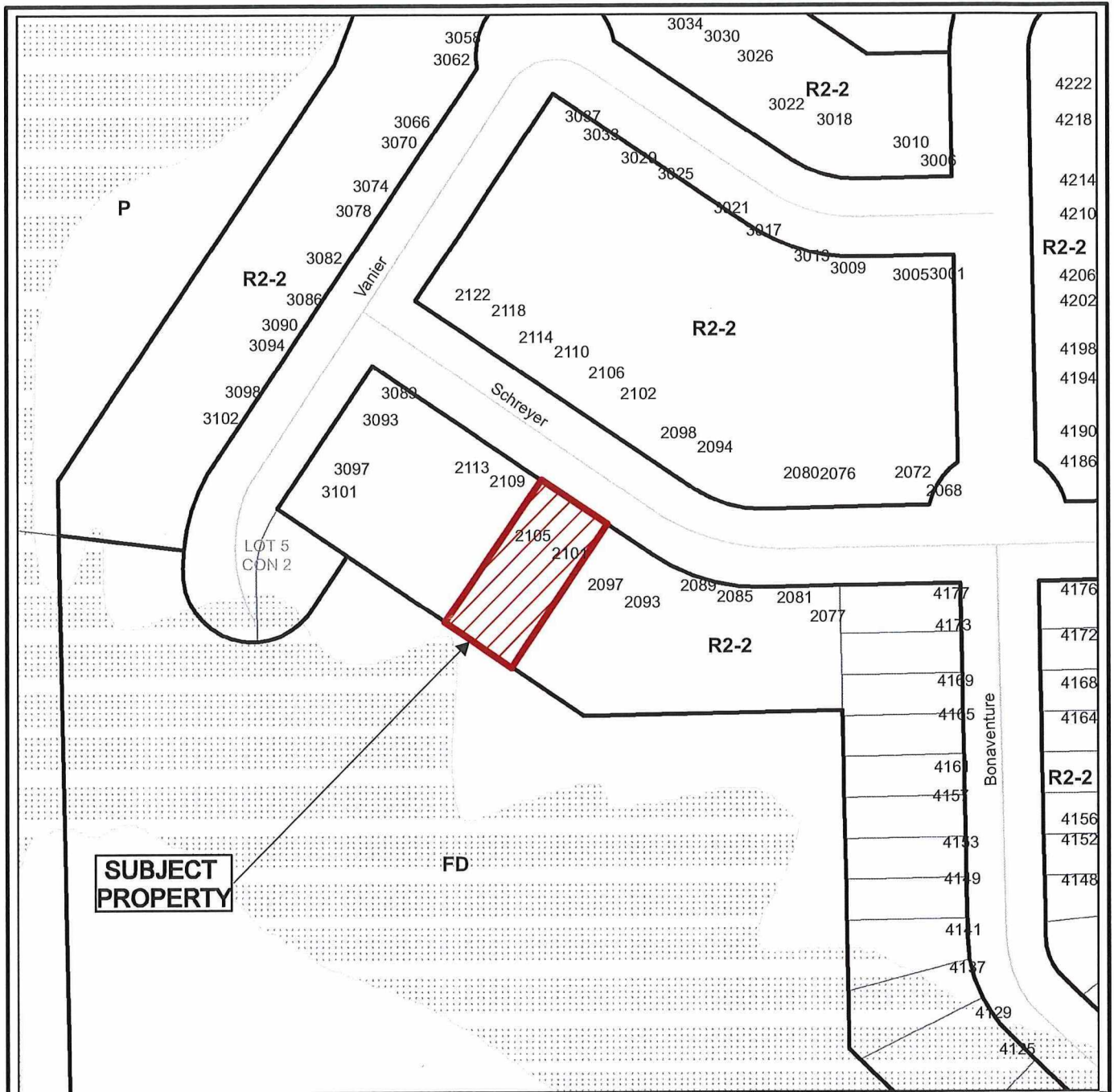
Estimate the distance of these facilities from the severed land and nearest public road by water

PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Semi detached house	Retained Land	No	107	127.6	1	9.18	15.5	6.4	6.0	22.35	1.31	0
Semi detached house	Severed Land	No	107	127.6	1	9.18	15.5	6.4	6.0	22.35	0	1.31



SUBJECT PROPERTY

FD

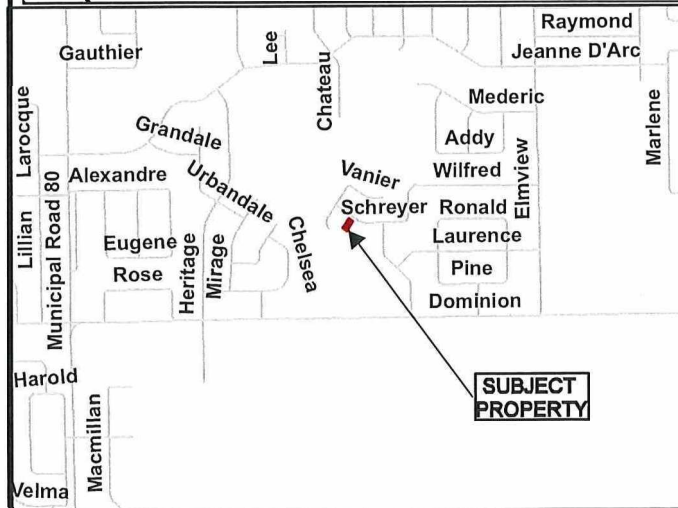
R2-2

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R2-2



SUBJECT PROPERTY

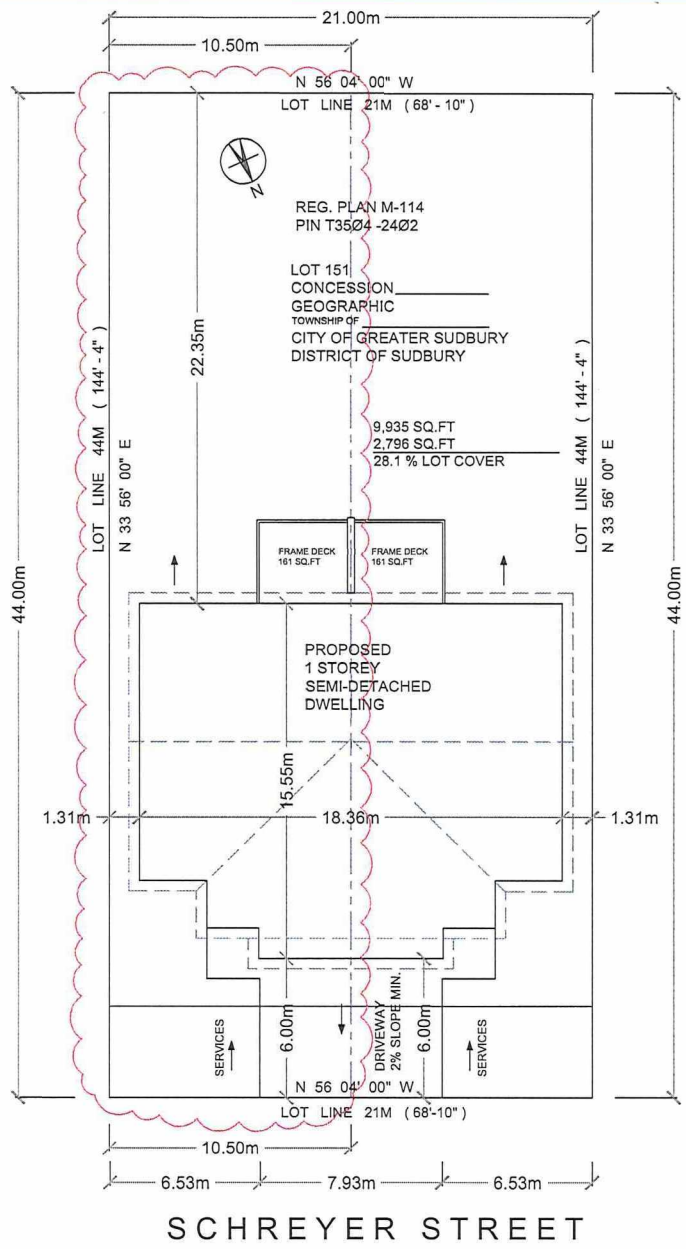
Application for Consent



Subject Property being PIN 73504-3218,
 Lot 151, Plan M-1115,
 Part Lot 5, Concession 2,
 Township of Hanmer,
 2101 Schreyer Street, Valley East,
 City of Greater Sudbury

NTS
 Sketch 1

PL-CON-2025-00053
 Date: 2025 09 11



Bélanger

BELANGER CONSTRUCTION (1981) INC.
CHELMSFORD, ON
P. ENG OF ONTARIO 11571231

• ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

GENERAL NOTES:
1. ALL LOCATIONS & DIMENSIONS ARE APPROXIMATE. FIELD VERIFY PRIOR TO WORK.

PROFESSIONAL STAMP

RO	FOR PERMIT	24 SEP, 2025
NO.	ISSUE / REVISION	DATE

PROJECT: --
CLIENT: BELMAR BUILDER
ADDRESS:- LOT 151
2101 SCHREYER STREET,
VALLEY EAST P3P 0E3

DRAWING:

SITE PLAN

SCALE	N.T.S
DESIGN	RB
DRAWN	DR
CHECKED	RB
RMB JOB #	---
DWG#	01

CLIENT: BELMAR BUILDER
ADDRESS:- LOT 151
2101 SCHREYER STREET,
VALLEY EAST P3P 0E3

PL-CON-2025-00053
Sketch 3



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00061

APPLICATION SUMMARY

File Date: September 9, 2025
Application Type: Consent (Land Severance)
Address(es): 85 National Street, Garson, Ontario P3L 1L6
Applicant(s): BELANGER SALACH ARCHITECTURE
Owner(s): LYNDAL HOLDINGS LIMITED

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area

Depth

Frontage

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area
2900

Area (Second Easement or Right-of-Way if Applicable)

Depth
209.6

Depth (Second Easement or Right-of-Way if Applicable)

Frontage
11

Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

June 18 2025

What is the number of dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

Northern Skyline Developments Limited

Are there any easements or restrictive covenants affecting the subject land?

Yes

Please indicate a description of each easement or covenant and its effect

Easement LT82519, LT82520, SD308474, SD511286, SD511287

Has the land ever had any previous severances?

Yes

Name of transferee

Date of transfer

Use of severed land

All severances preceded the current Plan of Subdivision.

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

Yes

Please indicate the file number and status of the application

780-3/07004 -Registered Plan of Subdivision

What is the current designation of the subject land in the applicable Official Plan?

General Industrial

Explain how the application conforms with the Official Plan

propose easement

Explain how the application is consistent with the Provincial Policy Statements

The purpose of the easement is for storm water drainage only to service Lot 4.

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

Does not conflict with the growth plan. Lot 5 is already part an official registered subdivison plan.

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
14255	209.9	68.1

Existing use of land

Industrial

Proposed use of land

Industrial

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Vacant

Proposed use of land

Vacant

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

Lot 4 of registered plan 53M 1452 as a drainage easement

WATER/SEWAGE - SEVERED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

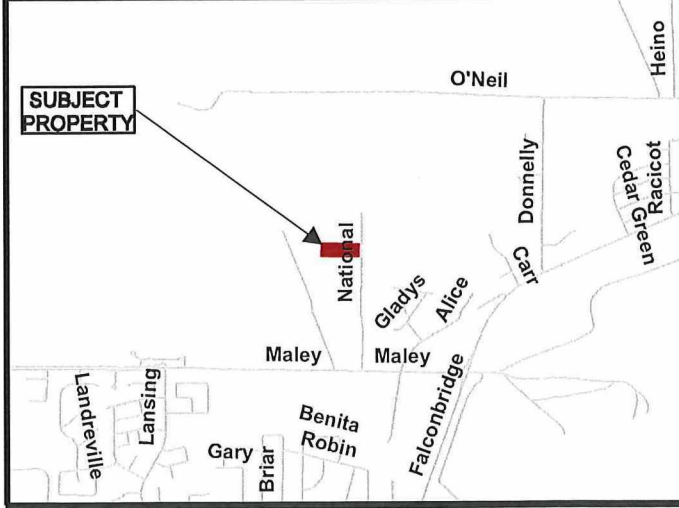
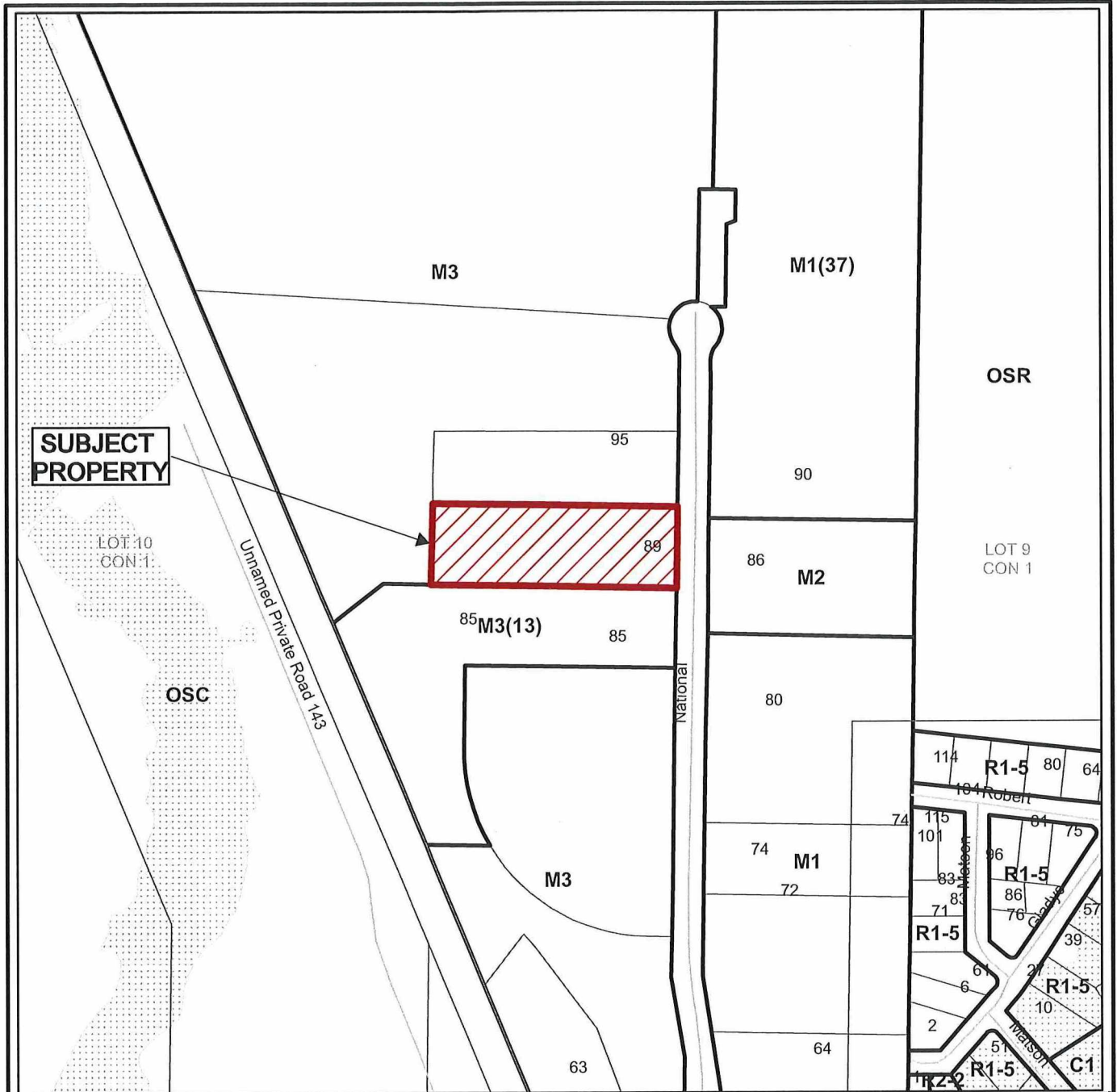
Estimate the distance of these facilities from the severed land and nearest public road by water

PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Office Building	Retained Land	No	469	469	1	19.1	28.3	4.5	27.8	152.6	16.3	32.0



Application for Consent



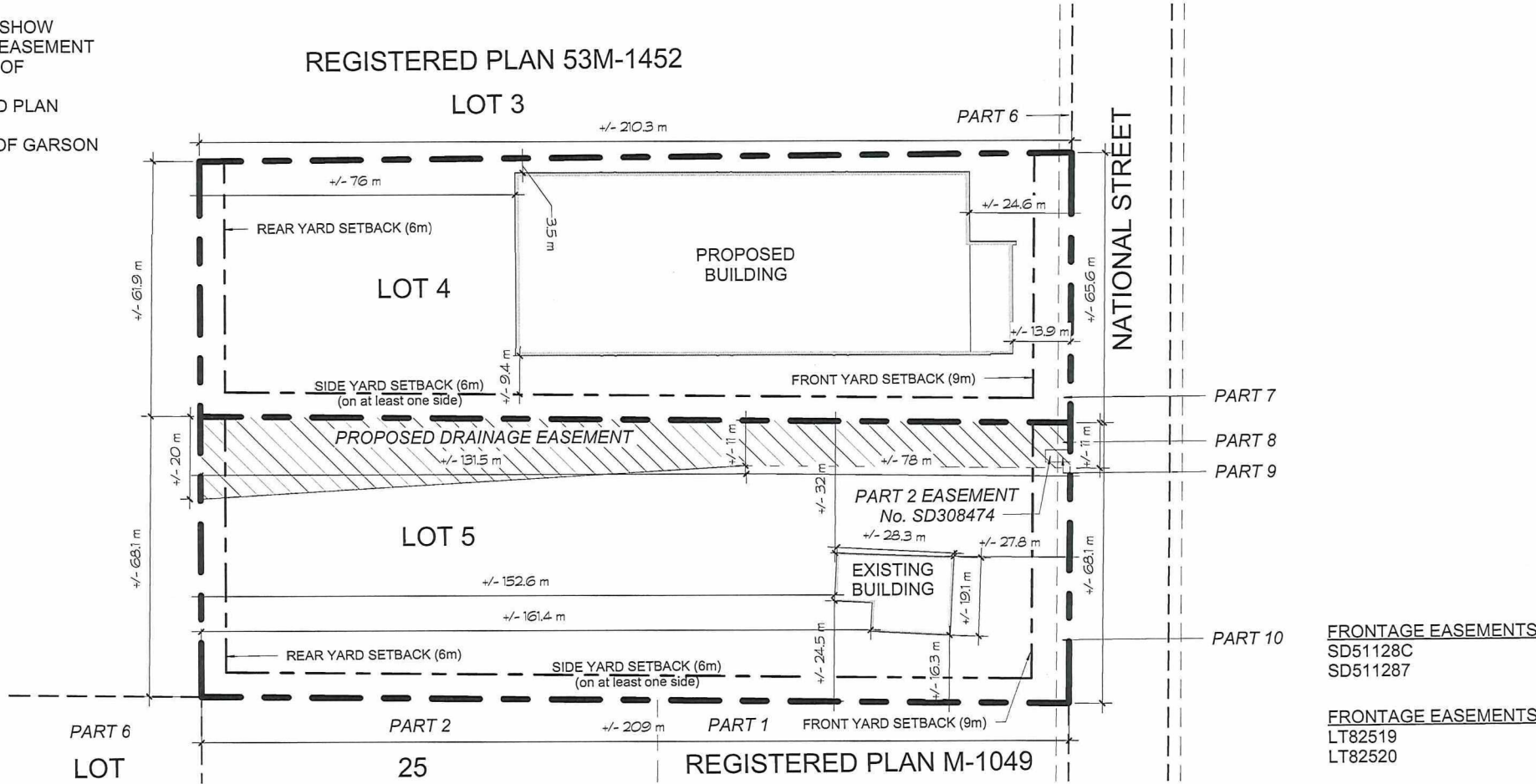
Subject Property being PIN 73496-0718,
 Lot 5, Plan 53M-1452,
 Part Lot 1, Concession 10,
 Township of Garson,
 89 National Street, Garson,
 City of Greater Sudbury

NTS
 Sketch 1

PL-CON-2025-00061
 Date: 2025 09 26

SKETCH TO SHOW
 PROPOSED EASEMENT
 OVER PART OF
 LOT 5
 REGISTERED PLAN
 53M-1452
 TOWNSHIP OF GARSON

REGISTERED PLAN 53M-1452



FRONTAGE EASEMENTS
 SD51128C
 SD511287

FRONTAGE EASEMENTS
 LT82519
 LT82520



Industrial Building

National Street, Sudbury, ON

PROPOSED EASEMENT SKETCH - R2

PROJECT No. 24057

SK-1

25-09-26

SCALE 1" = 80'-0"



PL-CON-2025-00061

Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00062

APPLICATION SUMMARY

File Date: September 10, 2025
Application Type: Consent (Land Severance)
Address(es): 4574 Lammi's Road, Sudbury P3G 1H4
Applicant(s): TULLOCH
Owner(s): ROBERT JOHN D'AGOSTINO AND LISA CLAIRE D'AGOSTINO

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area
67700

Depth
192.5

Frontage
20

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area
6710.13

Area (Second Easement or Right-of-Way if Applicable)

Depth
577.2

Depth (Second Easement or Right-of-Way if Applicable)

Frontage
30

Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

2020/09/17

What is the number of dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

N/A

Are there any easements or restrictive covenants affecting the subject land?

Yes

Please indicate a description of each easement or covenant and its effect

Existing mutual access easement as in LT214069

Has the land ever had any previous severances?

No

Name of transferee

Date of transfer

Use of severed land

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

No

Please indicate the file number and status of the application

What is the current designation of the subject land in the applicable Official Plan?

Rural

Explain how the application conforms with the Official Plan

Proposed severed and retained lot meets the minimum area and water frontage policies under Section 5.2.2.4 of the OP

Explain how the application is consistent with the Provincial Policy Statements

Residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services is permitted on rural lands under Section 2.6.1 of the PPS

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

N/A

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

PL-RZN-2025-00004

Approved under Planning Committee resolution PL2025-110. Amending by-law not brought to City Council yet

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
176100	800	10

Existing use of land

Residential

Proposed use of land

Residential and mutual access easement

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Residential

Proposed use of land

Residential and mutual access easement

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

Proposed mutual access easement mostly traverses over the proposed severed lot and benefits the proposed retained lot

WATER/SEWAGE - SEVERED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

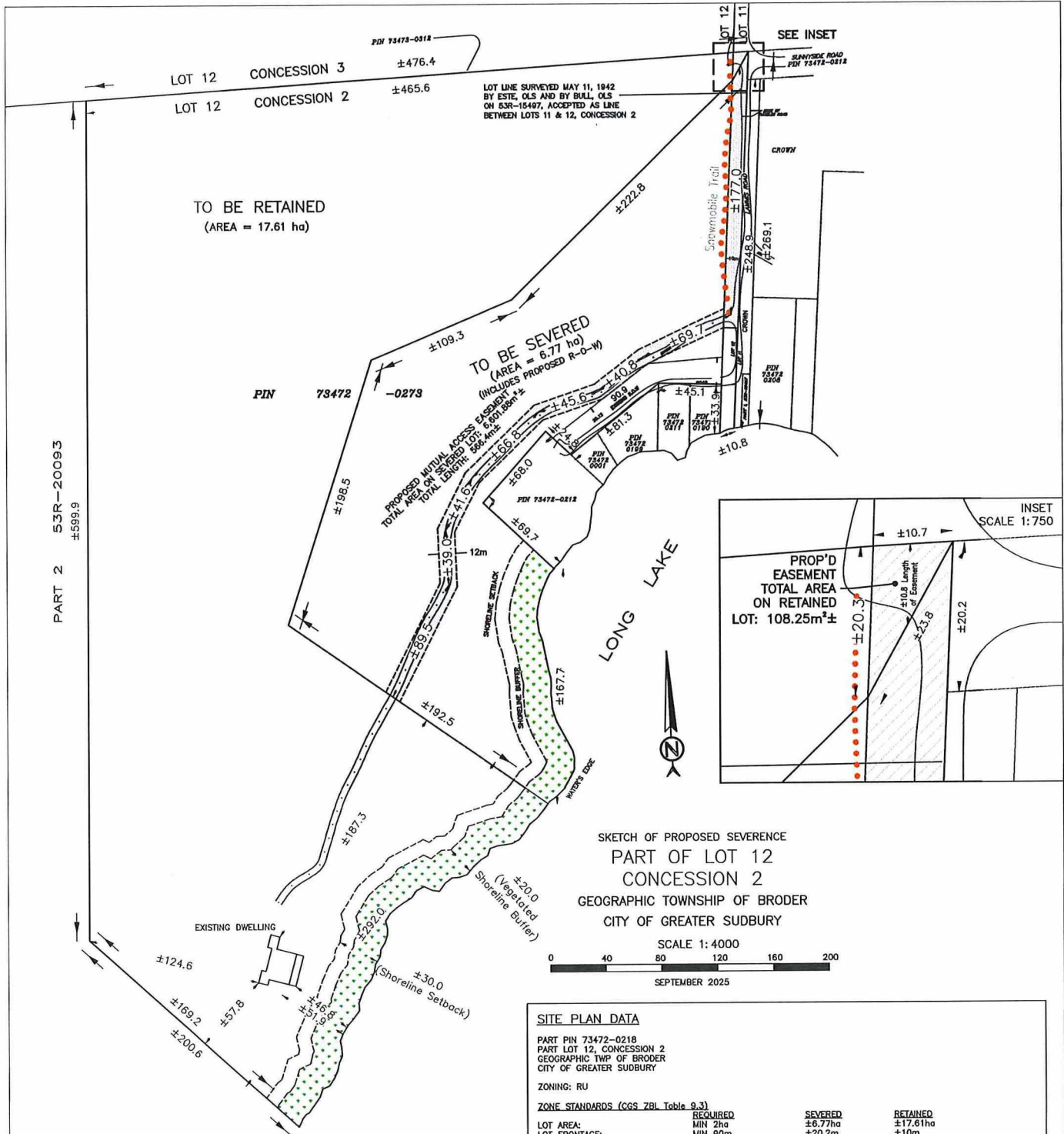
Estimate the distance of these facilities from the severed land and nearest public road by water

PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single detached dwelling	Retained Land	No	384	768	2	19.81	22.86	11	700	51.9	57.8	187.3



SKETCH OF PROPOSED SEVERANCE
 PART OF LOT 12
 CONCESSION 2
 GEOGRAPHIC TOWNSHIP OF BRODER
 CITY OF GREATER SUDBURY

SCALE 1:4000
 0 40 80 120 160 200
 SEPTEMBER 2025

SITE PLAN DATA			
PART PIN 73472-0218 PART LOT 12, CONCESSION 2 GEOGRAPHIC TWP OF BRODER CITY OF GREATER SUDBURY			
ZONING: RU			
ZONE STANDARDS (CGS ZBL Table 9.3)			
	REQUIRED	SEVERED	RETAINED
LOT AREA:	MIN 2ha	±6.77ha	±17.61ha
LOT FRONTAGE:	MIN 90m	±20.2m	±10m
FRONT YARD SETBACK:	MIN 10m	n/a	±46.8m
INTERIOR SIDE YARD SETBACK:	MIN 10m	n/a	±57.8m
REAR YARD SETBACK:	MIN 10m	n/a	±124.6m
BUILDING HEIGHT:	MAX 11m	n/a	±11m
LOT COVERAGE:	MAX 10%	n/a	±4.6%
WATERFRONT STANDARDS (CGS ZBL 4.41)			
SHORELINE FRONTAGE:	MIN 10m (equal to RU frontage)	±292.0m	±167.7m
SHORELINE SETBACK:	MIN 30m (residential bldgs)	=/>30m	±48.2
SHORELINE VEG. BUFFER:	MIN 20m	20m	20m
WATERFRONT STANDARDS (CGS OP 5.2.2.4)			
MINIMUM AREA:	0.8ha	SEE LOT AREAS	
MINIMUM WATER FRONTAGE:	45m	SEE SHORELINE FRONTAGES	

TULLOCH
 t: 705-671-2295
 131 FIELDING ROAD
 LIVELY, ONTARIO
 P3Y 1L7

CAUTION
 THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM REGISTRY PLANS AND HAVE NOT BEEN CONFIRMED.
 THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.
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BROTOLUSSI SURVEYING
 t: 705-675-2566
 144 ELM ST
 SUDBURY, ONTARIO
 P3C 1T7



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00063

APPLICATION SUMMARY

File Date: September 11, 2025
Application Type: Consent (Land Severance)
Address(es): 1194 Evergreen Court, Valley East P3P 1A9
Applicant(s): SUZANNE LEBLANC
Owner(s): SUZANNE LEBLANC AND RICHARD LEBLANC

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area
733.21

Depth
48.46

Frontage
17.7

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area
4.21

Area (Second Easement or Right-of-Way if Applicable)

Depth
3

Depth (Second Easement or Right-of-Way if Applicable)

Frontage
3

Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

Are you the registered owner or an authorized agent?

Registered Owner

What is the date of acquisition of subject land?

May, 2024

What is the number of dwelling units on the property?

2

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

4

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan

WHPA

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

unknown

Are there any easements or restrictive covenants affecting the subject land?

No

Please indicate a description of each easement or covenant and its effect

Has the land ever had any previous severances?

No

Name of transferee

Date of transfer

Use of severed land

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

No

Please indicate the file number and status of the application

What is the current designation of the subject land in the applicable Official Plan?
Living Area 1

Explain how the application conforms with the Official Plan
Will remain as residential

Explain how the application is consistent with the Provincial Policy Statements
Will remain as residential

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario
Will remain as residential

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
745.95	48.46	12.78

Existing use of land

Residential

Proposed use of land

Residential

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Residential

Proposed use of land

Residential

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

HANMER CON 2 LOT 5 PLAN M699
LOT 72 PCL 39818

WATER/SEWAGE - SEVERED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

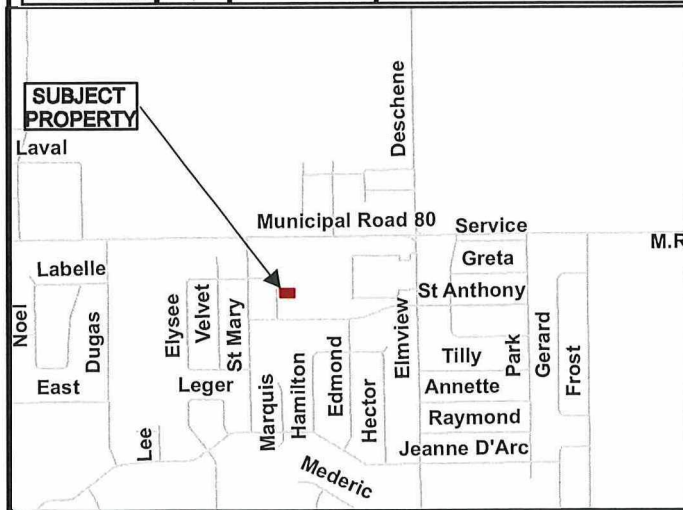
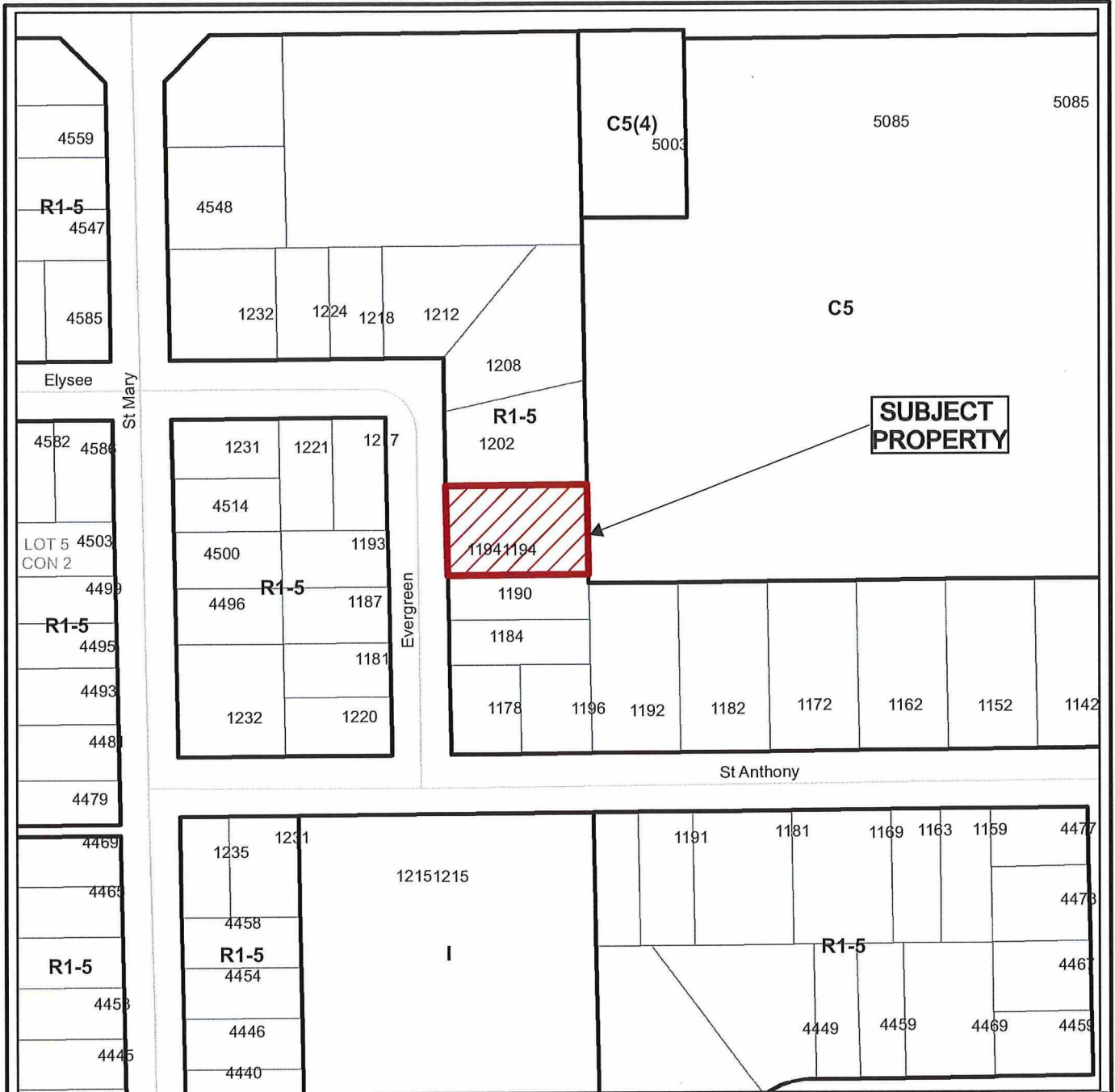
Estimate the distance of these facilities from the severed land and nearest public road by water


PROPOSED BUILDING/STRUCTURE

Building Description	Location	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	Location	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	Retained Land	No	102.76	102.76	1	7.49	13.72	5	12.24	22.5	1.5	6.5
Shed 1	Retained Land	No	5.92	5.92	1	3	3	3	42	3.5	10	2.6
Shed 2	Retained Land	No	11.1	11.1	1	3	3.7	3.6	41.3	3.5	6	5.6
Deck	Retained Land	No	20.5	20.5	1	3.35	6.09	1.22	17	25.5	8.98	3.15



N


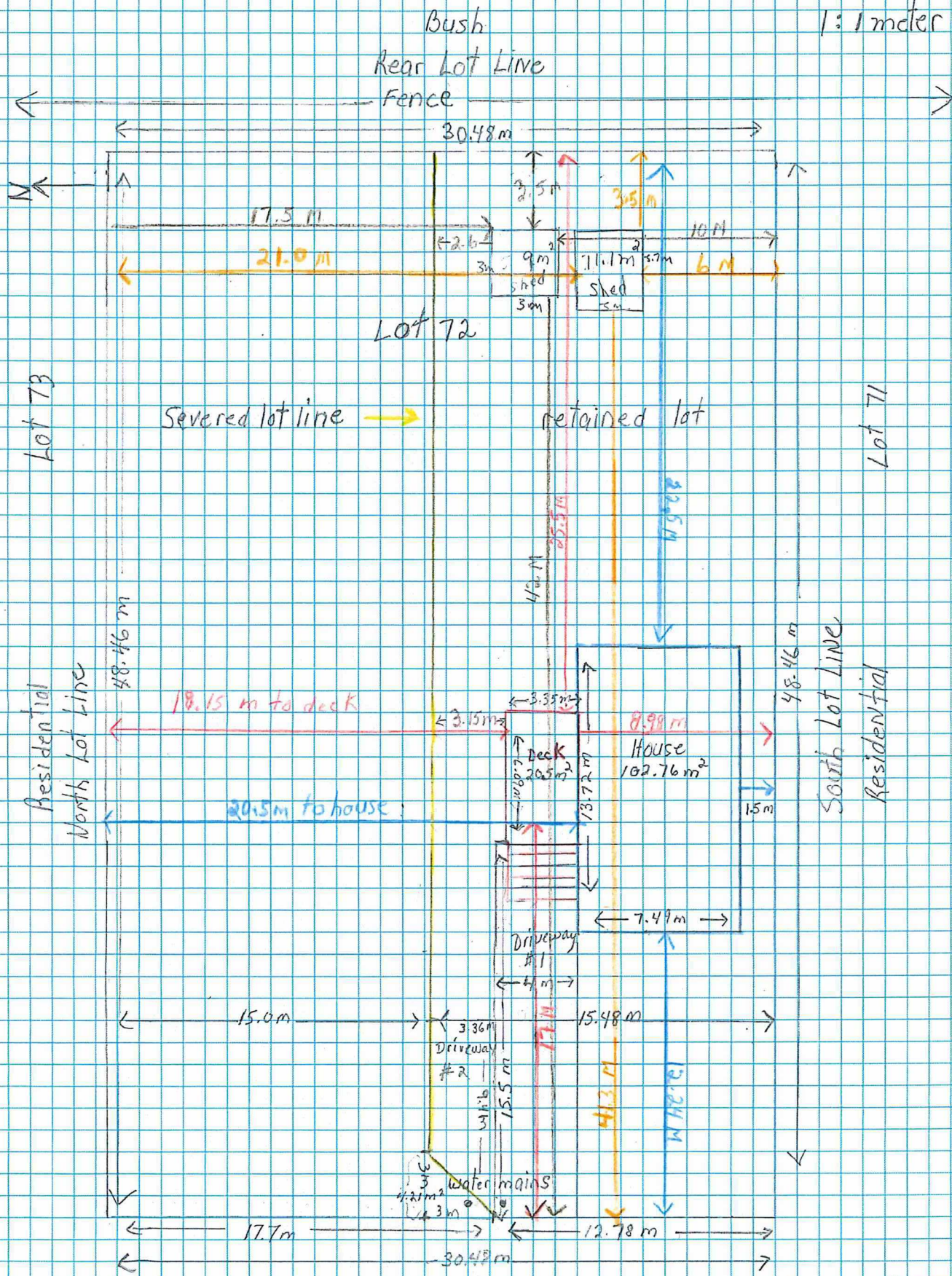
Application for Consent

Subject Property being PIN 73504-1262,
 Parcel 39818 SEC SES SRO,
 Lot 72, Plan M-699,
 Part Lot 5, Concession 2,
 Township of Hanmer,
 1194 Evergreen Court, Valley East,
 City of Greater Sudbury

NTS
 Sketch 1

PL-CON-2025-00063
 Date: 2025 09 19

1:1 meter



Front Lot Line

Casingment for access to driveway (over triangle) Part 5

1194 Evergreen Court
Municipal Road

PL-CON-2025-00663
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00064

APPLICATION SUMMARY

File Date: September 12, 2025
Application Type: Consent (Land Severance)
Address(es): 0 Montee Genereux, Chelmsford, Ontario
Applicant(s): TULLOCH
Owner(s): VYTIS LANDS (KAGAWONG) LTD.

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area
860.43

Depth
60.75

Frontage
14.7

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area

Area (Second Easement or Right-of-Way if Applicable)

Depth

Depth (Second Easement or Right-of-Way if Applicable)

Frontage

Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

PINs 73348-0750 & 73348-0749, held under the same ownership [see attachment(s)]

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

2025/09/12

What is the number of dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

Unknown

Are there any easements or restrictive covenants affecting the subject land?

Yes

Please indicate a description of each easement or covenant and its effect

Drainage Easements

Has the land ever had any previous severances?

Yes

Name of transferee

N/A

Date of transfer

N/A

Use of severed land

Consent certificates issued for the previous severances are currently proposed to be cancelled through CGS Consent Application No. PL-CON-2025-00054, PL-CON-2025-00055 & PL-CON-2025-00056

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

Yes

Please indicate the file number and status of the application

File No. unknown. Subject property previously known as Lot 12 Plan 53M-1420. Now deemed to not be apart of this plan of subdivision through instrument SD521451

What is the current designation of the subject land in the applicable Official Plan?

Living Area I

Explain how the application conforms with the Official Plan

Section 3.2.2 of the OP permits medium density housing in all Living Area I designations where full municipal services are available

Explain how the application is consistent with the Provincial Policy Statements

Section 2.1.6 a) of the PPS states that planning authorities should support the achievement of complete communities by accommodating an appropriate range and mix of land uses, housing options to meet long-term needs

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

N/A

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
955.31	42.87	10.51

Existing use of land

Vacant

Proposed use of land

Residential

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Vacant

Proposed use of land

Residential

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

WATER/SEWAGE - SEVERED

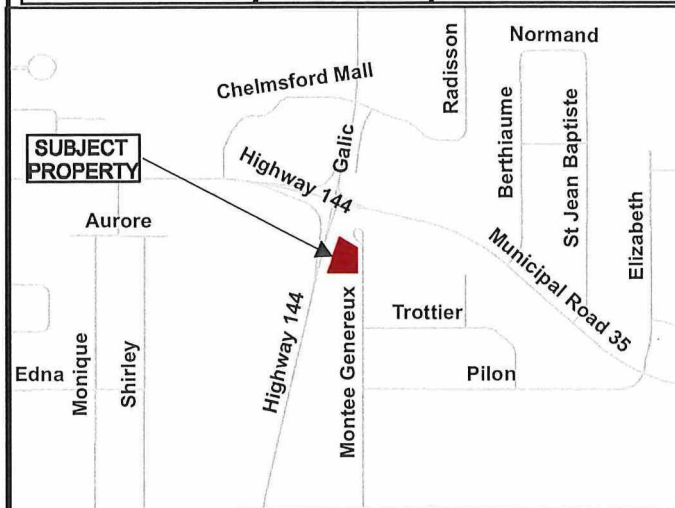
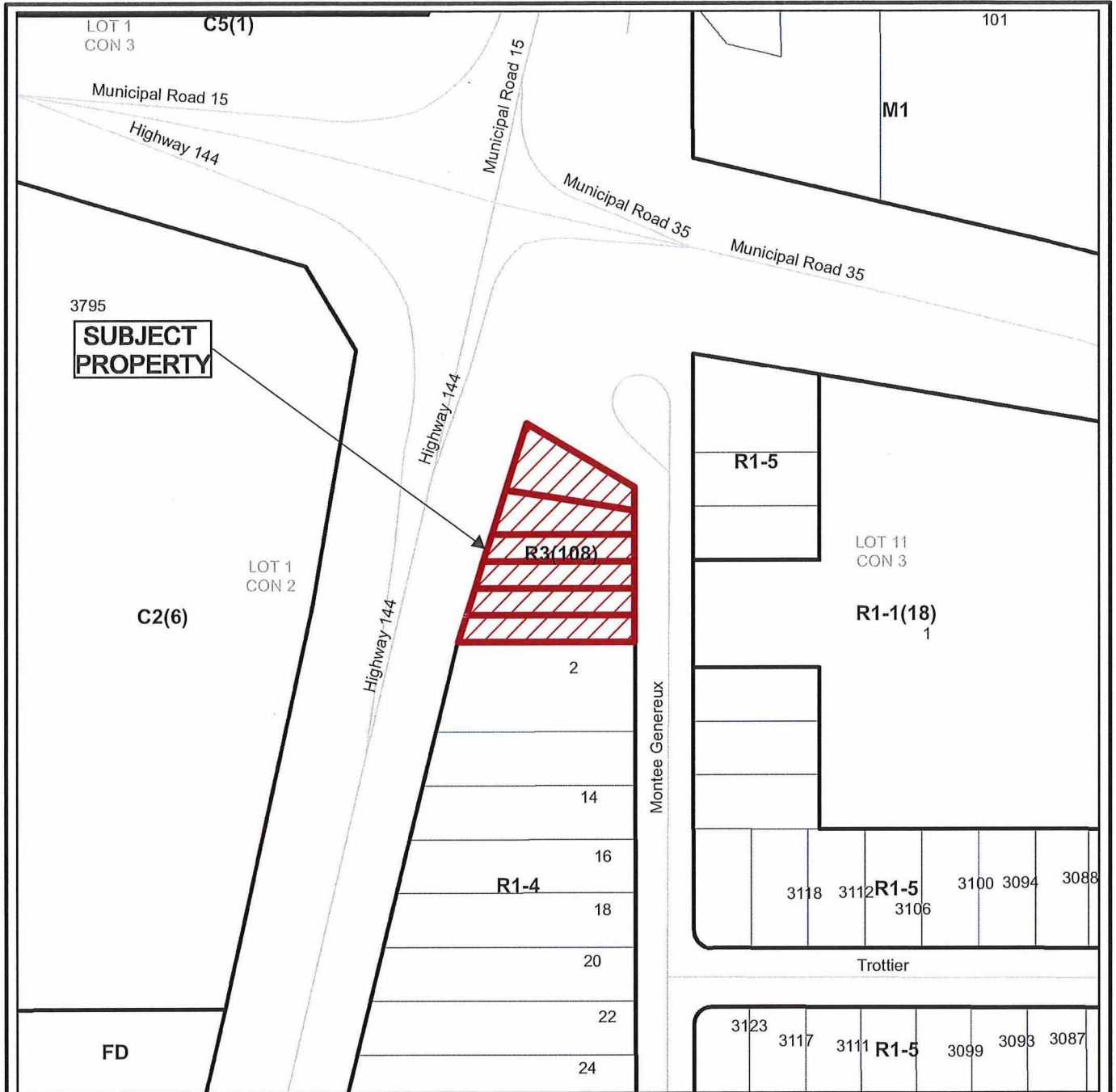
- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

Estimate the distance of these facilities from the severed land and nearest public road by water



Application for Consent

N
↑

Subject Property being PINs 73348-0749, 73348-0750, 73348-0751, 73348-0752, 73348-0753 & 73348-0754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-20477, Part Lot 1, Concession 2, Township of Balfour, Montee Genereux, Chelmsford, City of Greater Sudbury

NTS
Sketch 1

PL-CON-2025-00064, PL-CON-2025-00065,
PL-CON-2025-00066 & PL-CON-2025-00067

Date: 2025 09 29



SITE PLAN DATA

ADDRESS: 0 Montee Genereux St, Chelmsford (City of Greater Sudbury)
 LEGAL: Part Lot 1, Concession 2, Balfour; Lots 12-14, 53M-1420
 PIN: 73348-0749, 0750, 0751 & 0754

EXISTING ZONING: R2-2
 PROPOSED ZONING: R3-xx

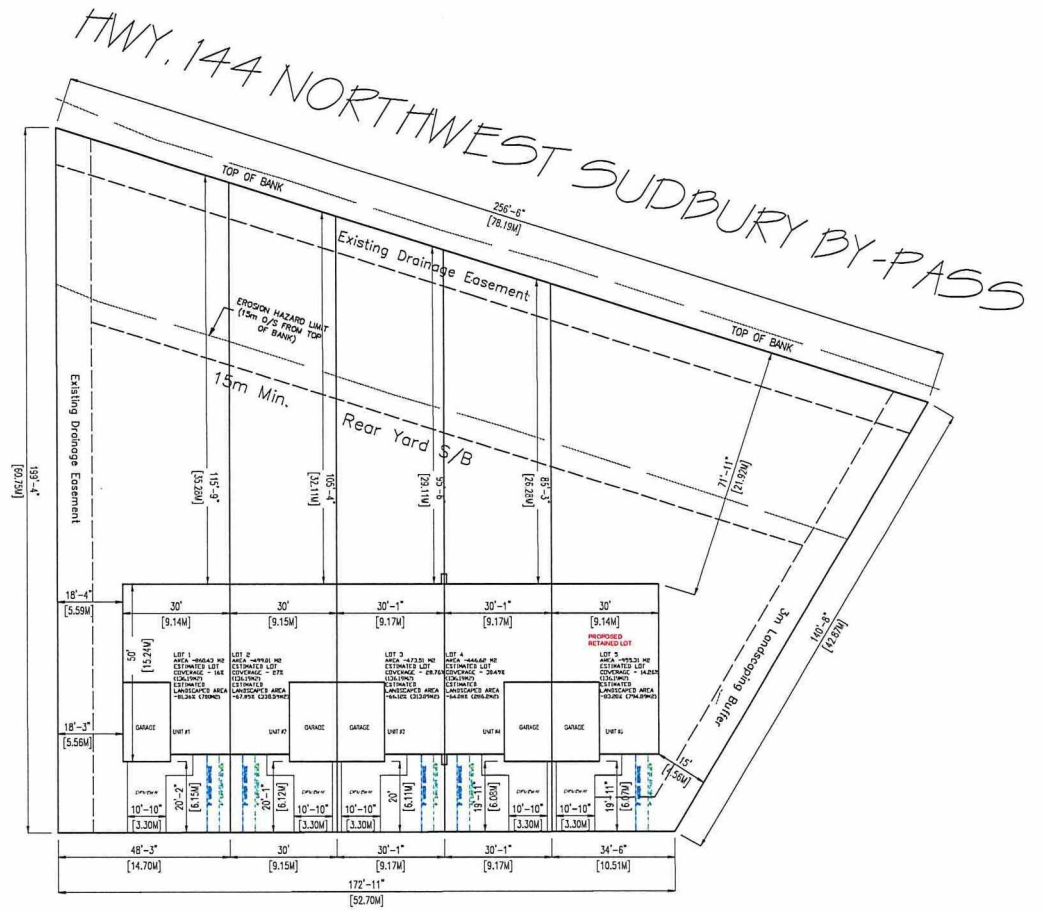
USE OF BUILDING: Street Townhouse Dwellings

LOT STANDARDS	REQUIRED	PROVIDED
MIN LOT AREA:	Min 150m ² /unit	As Shown
FRONTAGE:	Min 6m	As Shown
LOT DEPTH:	Min 45m	As Shown
COVERAGE:	Max 40%	As Shown
LANDSCAPING:	Min 30%	As Shown

SETBACKS, BUFFERS & STRIPS	REQUIRED	PROVIDED
FRONT YARD SETBACK:	Min 6m	6m±
INTERIOR YARD SETBACK:	Min 1.8m (except common walls)	5.5m
CORNER YARD SETBACK:	Min 4.5m	4.5m±
REAR YARD SETBACK:	Min 15m	As Shown
LANDSCAPING BUFFER:	Min 3m	3m±
PLANTING STRIP:	Min 3m	0m
SIGHT TRIANGLE:	Min 7.5m	7.5m±

PARKING:
 STREET TOWNHOUSE: 1/unit 1/unit

NOTE: Eastern Lot Line to be deemed as the 'Front Lot Line'



MONTEE GENEREUX



GENERAL NOTES:	
1. All dimensions given are in imperial units and are measured from either the element finished face or center line. (Unless otherwise noted).	4. Every excavation shall be undertaken in such a manner as to prevent movement which would cause damage to adjacent property, existing structures, utilities, roads and driveway, stamery or any adjoining property.
2. All construction to comply with the Ontario Building Code 2024 Edition.	5. It is the contractor's responsibility to check foundations are free of all organic material. If timbers are known to exist, all stumps, roots and wood debris shall be removed to a min. depth of 11.2m in excavated area. The distance between untreated structural wood elements and ground shall be 75mm.
3. All building site work shall be graded to that surface, turning and roof drainage will not accumulate at or near the building and will not otherwise affect adjacent properties.	6. It is the contractor's responsibility to check dimensions and inverts of all municipal services and establish appropriate methods of clearing with those services.
	7. All framing lumber shall be SPF #1 trim grade unless noted. Provide exterior green plywood where required by CBC.
	8. All dimensions and existing conditions shall be verified by the general contractor at the site prior to construction. The general contractor shall be responsible to notify the client of any discrepancies between the site conditions and the approved design conditions prior to the commencement of construction.
	9. All penetrations through a required fire separation are to be fire stopped and smoke sealed, as well as any and all combustion services penetrations a required fire separation are to be protected with a fire stop system.
	10. The general contractor shall be solely responsible for the construction, erection, and labour content in all applicable Codes, Bylaws, and Code Construction Practices.
	11. The contractor shall ensure that all workers are trained and qualified in all aspects of construction.
	12. The contractor shall check and verify all dimensions and existing site conditions and advise the owner of any discrepancy prior to commencing work.
	13. The contractor shall verify window and door rough steel openings with manufacturer & owner prior to framing.
	14. Technical design data for all pre-engineered framing components are required for the building permit application.
	15. Any expenses for engaging a Professional Engineer shall be the sole responsibility of the Owner.

GENERAL SCOPE OF WORK
1. CLIENT APPLICATION TO CONSTRUCT NEW 5 MULTI-RESIDENTIAL BUILDING, IN COMPLIANCE WITH MUNICIPAL ZONING BY LAWS AND THE ONTARIO BUILDING CODE.
2. CONNECT AND TIE-IN SERVICES TO NEW BUILDING AS PER MUNICIPAL BY LAWS AND REGULATIONS.

LIMITATIONS OF DESIGN:
It shall be the contractor's responsibility to ensure all material, appliances, equipment, and labour conform to all applicable Codes, Bylaws, and Code Construction Practices.
Issues on the drawings are to assist the contractor and do not necessarily address all aspects of construction.
The contractor shall check and verify all dimensions and existing site conditions and advise the owner of any discrepancy prior to commencing work.
The contractor shall verify window and door rough steel openings with manufacturer & owner prior to framing.
Technical design data for all pre-engineered framing components are required for the building permit application.
Any expenses for engaging a Professional Engineer shall be the sole responsibility of the Owner.

I, ROHIT WALIA, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4, DIV. 'C' OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES FOR SUCH DESIGN WORK.	
INDIVIDUAL BCIN: 25171	FIRM BCIN: 123403
ROHIT WALIA; PRINCIPAL DESIGNER CR DESIGN BUILD INC.	

5 UNIT BUILDING		OWNER	DESIGNER
MONTEE GENEREUX		CR DESIGN	PP
PLOT PLAN		DATE	SCALE
		2024-08-21	1/16"=1'-0"



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00065

APPLICATION SUMMARY

File Date: September 12, 2025
Application Type: Consent (Land Severance)
Address(es): 0 Montee Genereux, Chelmsford, Ontario
Applicant(s): TULLOCH
Owner(s): VYTIS LANDS (KAGAWONG) LTD.

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area
499.01

Depth
56.52

Frontage
9.15

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area Area (Second Easement or Right-of-Way if Applicable)

Depth Depth (Second Easement or Right-of-Way if Applicable)

Frontage Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

PINs 73348-0749 & 73348-0752, held under the same ownership [see attachment(s)]

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

2025/09/12

What is the number of dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

Unknown

Are there any easements or restrictive covenants affecting the subject land?

Yes

Please indicate a description of each easement or covenant and its effect

Drainage Easement

Has the land ever had any previous severances?

Yes

Name of transferee

N/A

Date of transfer

N/A

Use of severed land

Consent certificates issued for the previous severances are currently proposed to be cancelled through CGS Consent Application No. PL-CON-2025-00054, PL-CON-2025-00055 & PL-CON-2025-00056

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

Yes

Please indicate the file number and status of the application

File No. unknown. Subject property previously known as part of Lot 12 & 13 Plan 53M-1420. Now deemed to not be apart of this plan of subdivision through instrument SD521451

What is the current designation of the subject land in the applicable Official Plan?

Living Area I

Explain how the application conforms with the Official Plan

Section 3.2.2 of the OP permits medium density housing in all Living Area I designations where full municipal services are available

Explain how the application is consistent with the Provincial Policy Statements

Section 2.1.6 a) of the PPS states that planning authorities should support the achievement of complete communities by accommodating an appropriate range and mix of land uses, housing options to meet long-term needs

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

N/A

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
955.31	42.87	10.51

Existing use of land

Vacant

Proposed use of land

Residential

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Vacant

Proposed use of land

Residential

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

WATER/SEWAGE - SEVERED

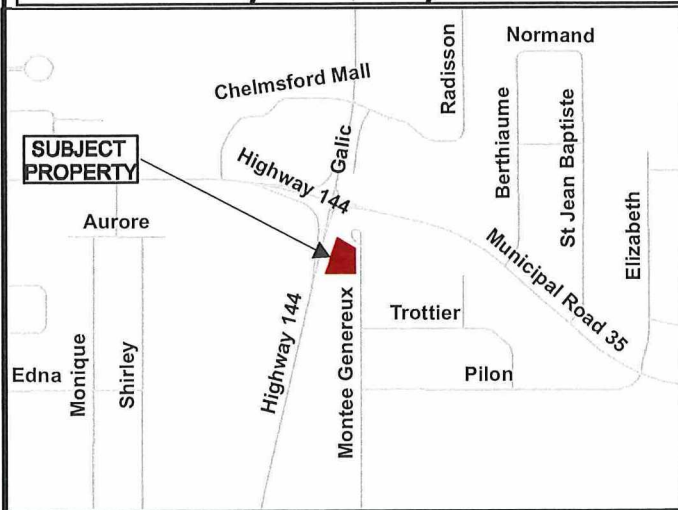
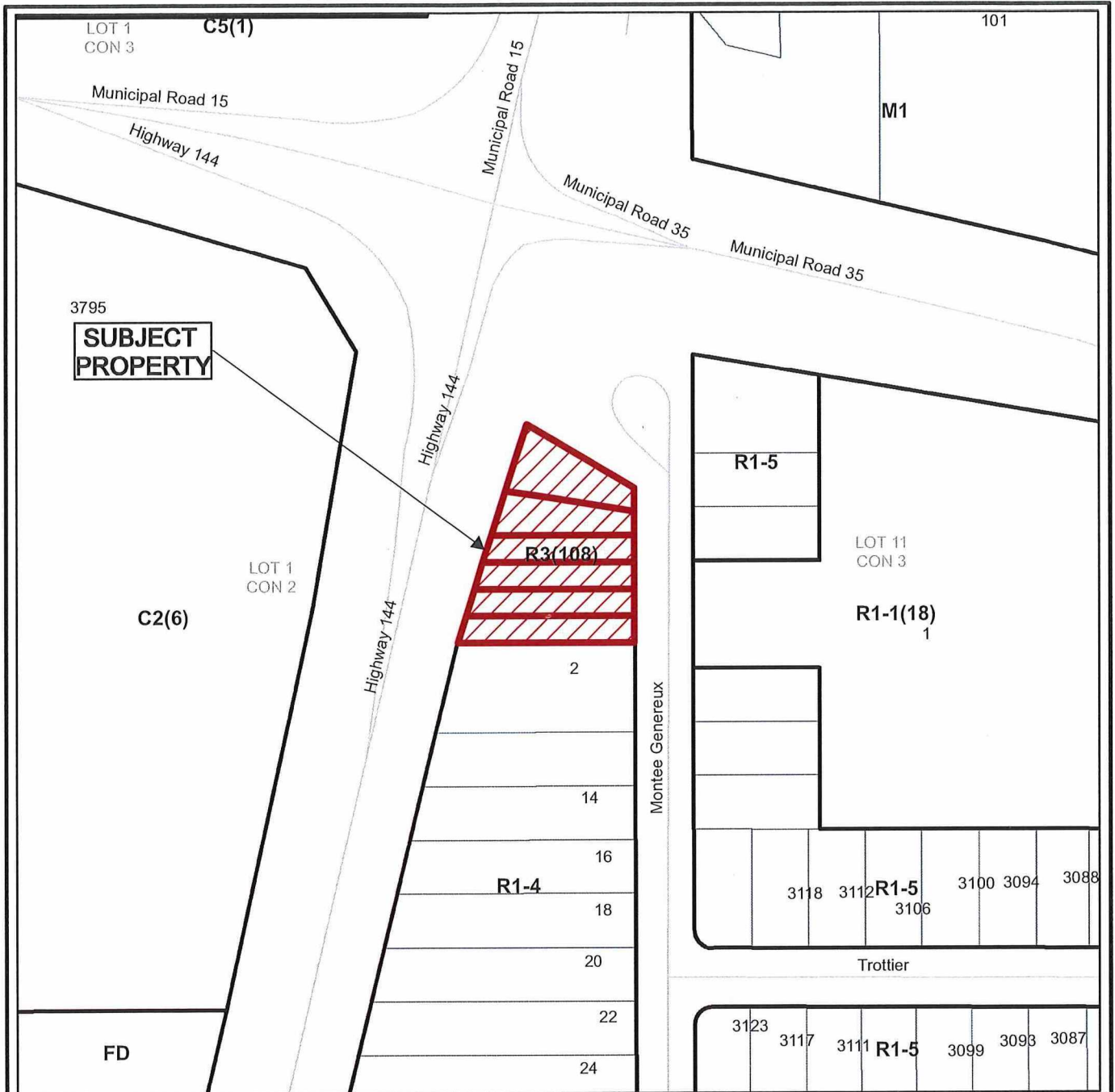
- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used via water

Estimate the distance of these facilities from the severed land and nearest public road by water



Application for Consent



Subject Property being PINs 73348-0749, 73348-0750, 73348-0751, 73348-0752, 73348-0753 & 73348-0754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-20477, Part Lot 1, Concession 2, Township of Balfour, Montee Genereux, Chelmsford, City of Greater Sudbury

NTS
Sketch 1

PL-CON-2025-00064, PL-CON-2025-00065,
PL-CON-2025-00066 & PL-CON-2025-00067

Date: 2025 09 29



SITE PLAN DATA

ADDRESS: 0 Montee Genereux St, Chelmsford (City of Greater Sudbury)
 LEGAL: Part Lot 1, Concession 2, Balfour; Lots 12-14, 53M-1420
 PIN: 73348-0749, 0750, 0751 & 0754

EXISTING ZONING: R2-2
 PROPOSED ZONING: R3-xx

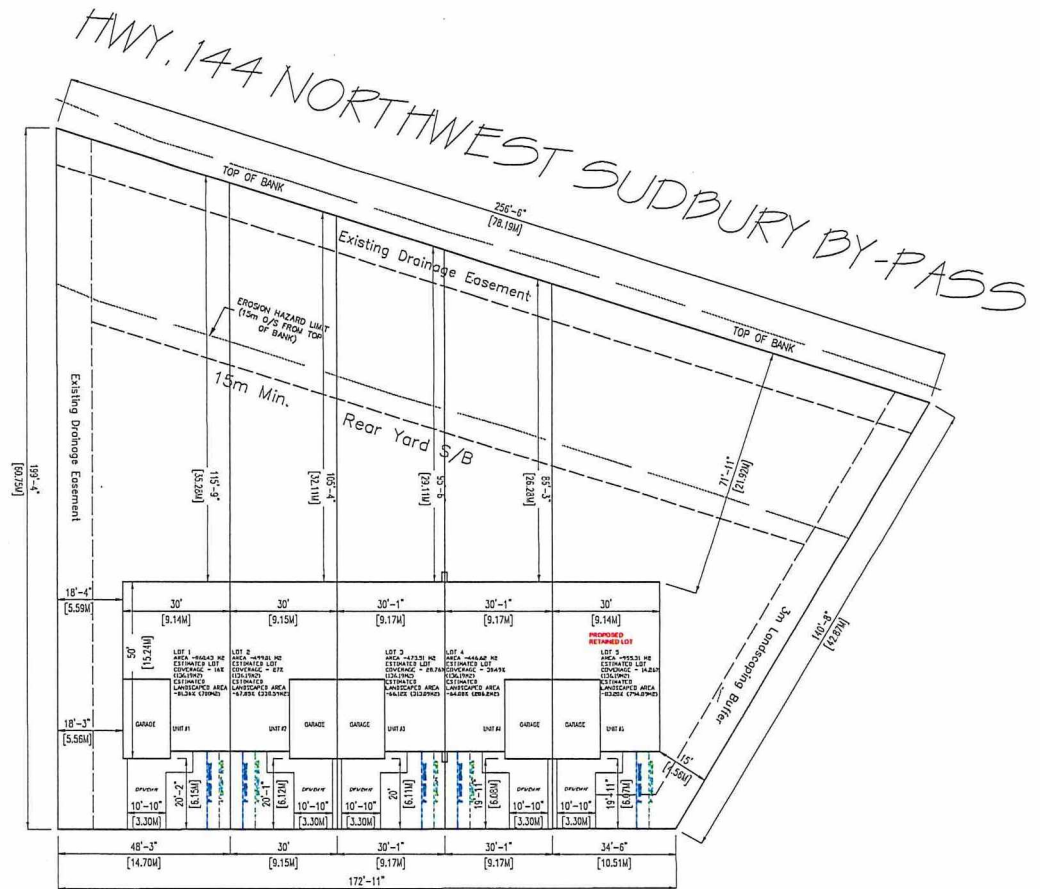
USE OF BUILDING: Street Townhouse Dwellings

LOT STANDARDS	REQUIRED	PROVIDED
MIN LOT AREA:	Min 150m ² /unit	As Shown
FRONTAGE:	Min 6m	As Shown
LOT DEPTH:	Min 45m	As Shown
COVERAGE:	Max 40%	As Shown
LANDSCAPING:	Min 30%	As Shown

SETBACKS, BUFFERS & STRIPS	REQUIRED	PROVIDED
FRONT YARD SETBACK:	Min 6m	6m±
INTERIOR YARD SETBACK:	Min 1.8m (except common walls)	5.5m
CORNER YARD SETBACK	Min 4.5m	4.5m±
REAR YARD SETBACK:	Min 15m	As Shown
LANDSCAPING BUFFER:	Min 3m	3m±
PLANTING STRIP:	Min 3m	0m
SIGHT TRIANGLE:	Min 7.5m	7.5m±

PARKING:	REQUIRED	PROVIDED
STREET TOWNHOUSE:	1/unit	1/unit

NOTE: Eastern Lot Line to be deemed as the 'Front Lot Line'



MONTEE GENEUREUX



GENERAL NOTES:

- All dimensions shown are in Imperial units and are measured from either the adjacent finished face or centerline, unless otherwise noted.
- All construction to comply with the Ontario Building Code 2024 Edition.
- All building site work shall be graded so that surface, base and top drainage will accumulate at or near the building and will not adversely affect adjacent properties.
- Every excavation shall be undertaken in such a manner as to prevent movement which would cause damage to adjacent property, existing structures, utilities, roads and sidewalks at all stages of construction. Owners that the bottom of excavation by foundations are free of all organic material, if remains are known to exist, all stumps, roots and wood debris shall be removed to a min. depth of 150mm in undisturbed area. The distance between unexcavated structural wood elements and ground should be 5'.
- No work shall encroach onto adjoining property surfaces. Drainage shall not be discharged directly or indirectly onto adjacent property, streets, ditches or any adjacent property.
- It is the contractor's responsibility to check dimensions and inverts of all municipal services and establish appropriate methods of dealing with those services.
- All penetrations through a required fire separation are to be fire-rated and smoke sealed, as well as any and all combustible services penetrating a required fire separation are to be protected with a fire-stop system.
- All dimensions and existing conditions shall be verified by the general contractor at the site prior to construction. The general contractor shall be responsible to notify the client of any discrepancies between the site conditions and the assumed design conditions prior to the commencement of construction.
- All penetrations through a required fire separation are to be fire-rated and smoke sealed, as well as any and all combustible services penetrating a required fire separation are to be protected with a fire-stop system.
- The general contractor shall be solely responsible for the construction, method of erection and installation procedure of all structural members including the erection of any pre-engineered components. The general contractor shall construct as items shown and care during the erection process of any existing structure and masonry walls, be solely responsible to support the existing structure and call a professional structural engineer for an inspection and review prior to casting in-situ members or removing existing walls.

GENERAL SCOPE OF WORK

- CLIENT APPLICATION TO CONSTRUCT NEW A MULTI RESIDENTIAL BUILDING IN COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS AND THE ONTARIO BUILDING CODE.
- CONNECT AND TIE-IN SERVICES TO NEW BUILDING AS PER MUNICIPAL BY-LAWS AND REGULATIONS.

LIMITATIONS OF DESIGN:

- It shall be the contractor's responsibility to ensure all materials, appliances, assemblies, and labor conform to all applicable Codes, By-laws, and Good Construction Practices.
- Notations on the drawings are to advise the contractor and do not necessarily address all aspects of construction.
- The contractor shall check and verify all dimensions and existing site conditions and advise the owner of any discrepancy prior to commencing work.
- The contractor shall verify member and clear height load openings with manufacturer & owner prior to framing.
- Technical design data for all pre-engineered framing components are required for the building permit application.
- Any expenses for engaging a Professional Engineer shall be the sole responsibility of the Owner.

I, ROHIT WALIA, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4, DIV. 'C' OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES FOR SUCH DESIGN WORK.

INDIVIDUAL BCIN: 35171 FIRM BCIN: 123453

ROHIT WALIA: PRINCIPAL DESIGNER
 CR DESIGN BUILD INC.

PROJECT:	5 UNIT BUILDING	DATE:	2024-08-21
OWNER:	MONTEE GENEUREUX	SCALE:	1/16"=1'-0"
DATE:	2024-08-21	DRWING:	PP



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00066

APPLICATION SUMMARY

File Date: September 12, 2025
Application Type: Consent (Land Severance)
Address(es): 0 Montee Genereux, Chelmsford, Ontario
Applicant(s): TULLOCH
Owner(s): VYTIS LANDS (KAGAWONG) LTD.

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area
473.51

Depth
53.35

Frontage
9.17

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area Area (Second Easement or Right-of-Way if Applicable)

Depth Depth (Second Easement or Right-of-Way if Applicable)

Frontage Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

PINs 73348-0752 & 73348-0751, held under the same ownership [see attachment(s)]

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

2025/09/12

What is the number of dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

Unknown

Are there any easements or restrictive covenants affecting the subject land?

Yes

Please indicate a description of each easement or covenant and its effect

Drainage Easements

Has the land ever had any previous severances?

Yes

Name of transferee

N/A

Date of transfer

N/A

Use of severed land

Consent certificates issued for the previous severances are currently proposed to be cancelled through CGS Consent Application No. PL-CON-2025-00054, PL-CON-2025-00055 & PL-CON-2025-00056

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

Yes

Please indicate the file number and status of the application

File No. unknown. Subject property previously known as part of Lot 13 Plan 53M-1420. Now deemed to not be apart of this plan of subdivision through instrument SD521451

What is the current designation of the subject land in the applicable Official Plan?

Living Area I

Explain how the application conforms with the Official Plan

Section 3.2.2 of the OP permits medium density housing in all Living Area I designations where full municipal services are available

Explain how the application is consistent with the Provincial Policy Statements

Section 2.1.6 a) of the PPS states that planning authorities should support the achievement of complete communities by accommodating an appropriate range and mix of land uses, housing options to meet long-term needs

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

N/A

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
955.31	42.87	10.51

Existing use of land

Vacant

Proposed use of land

Residential

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Vacant

Proposed use of land

Residential

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

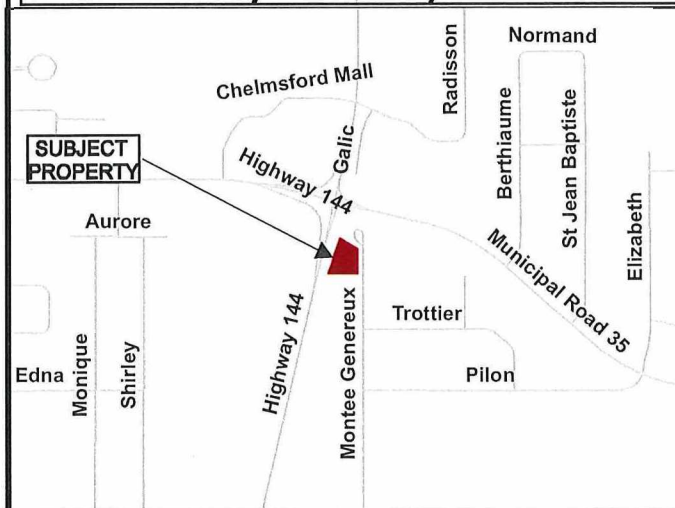
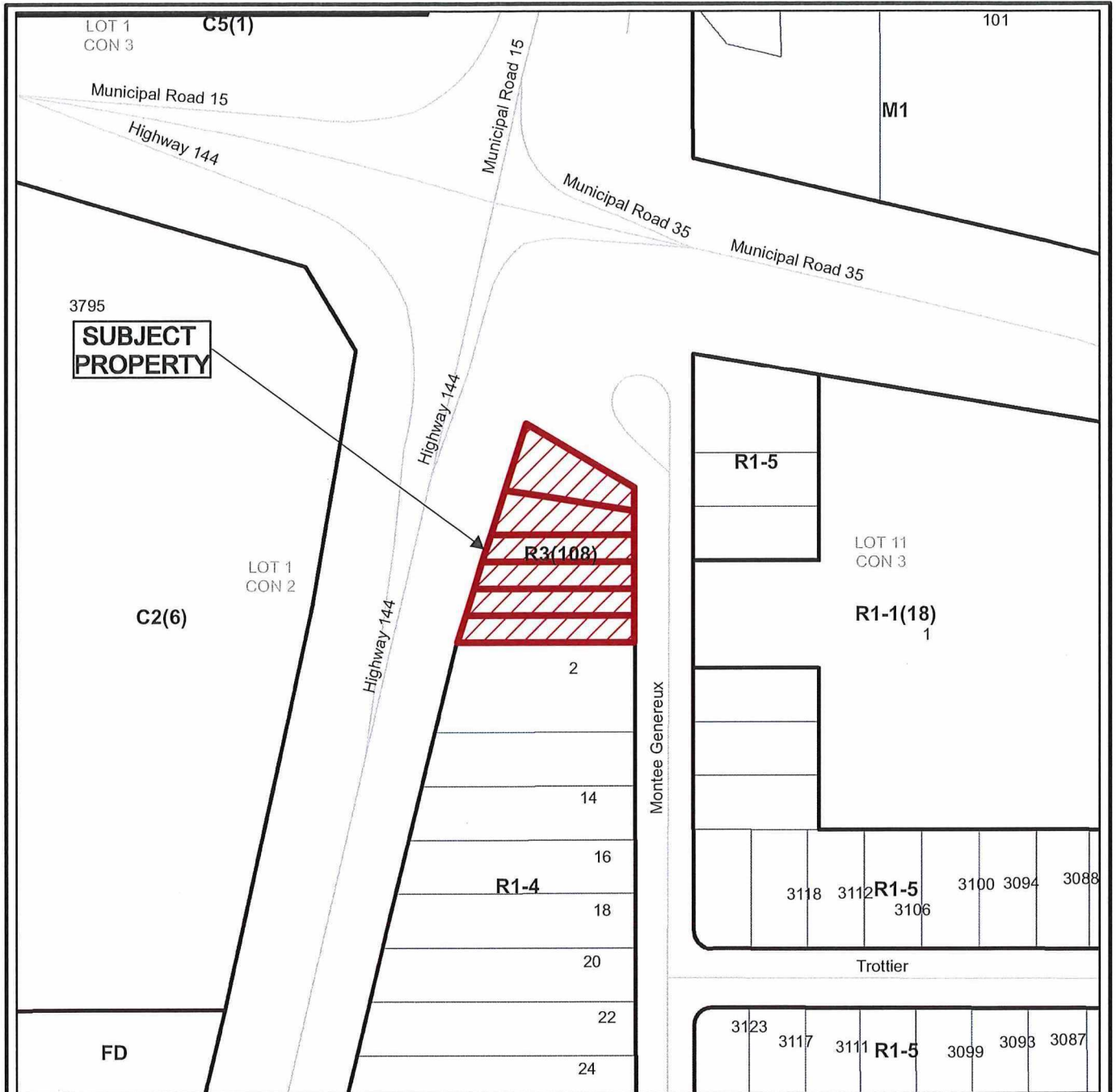
WATER/SEWAGE - SEVERED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - SEVERED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water
- Indicate the parking and docking facilities to be used via water

Estimate the distance of these facilities from the severed land and nearest public road by water



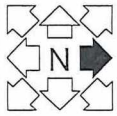
Application for Consent



Subject Property being PINs 73348-0749, 73348-0750, 73348-0751, 73348-0752, 73348-0753 & 73348-0754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-20477, Part Lot 1, Concession 2, Township of Balfour, Montee Genereux, Chelmsford, City of Greater Sudbury

NTS
Sketch 1

PL-CON-2025-00064, PL-CON-2025-00065,
PL-CON-2025-00066 & PL-CON-2025-00067
Date: 2025 09 29



SITE PLAN DATA

ADDRESS: 0 Montee Genereux St, Chelmsford (City of Greater Sudbury)
 LEGAL: Part Lot 1, Concession 2, Balfour; Lots 12-14, 53M-1420
 PIN: 73348-0749, 0750, 0751 & 0754

EXISTING ZONING: R2-2
 PROPOSED ZONING: R3-xx

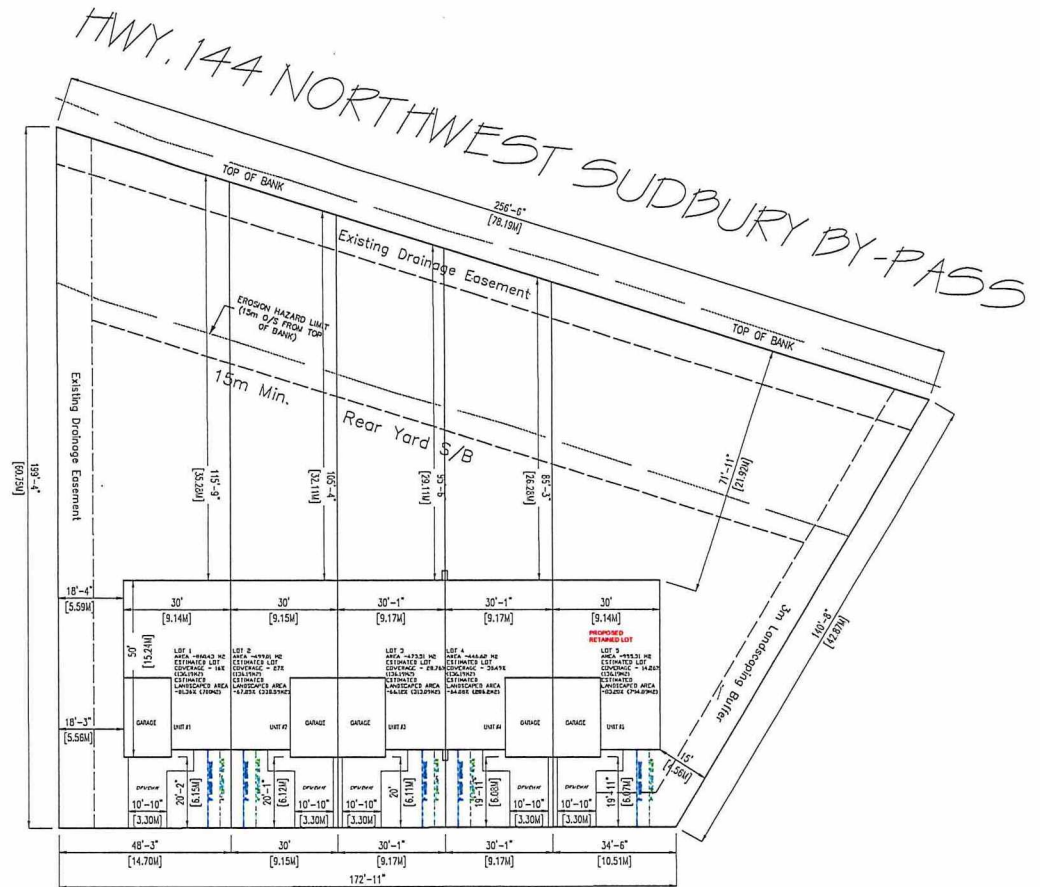
USE OF BUILDING: Street Townhouse Dwellings

LOT STANDARDS	REQUIRED	PROVIDED
MIN LOT AREA:	Min 150m ² /unit	As Shown
FRONTAGE:	Min 6m	As Shown
LOT DEPTH:	Min 45m	As Shown
COVERAGE:	Max 40%	As Shown
LANDSCAPING:	Min 30%	As Shown

SETBACKS, BUFFERS & STRIPS	REQUIRED	PROVIDED
FRONT YARD SETBACK:	Min 6m	6m±
INTERIOR YARD SETBACK:	Min 1.8m (except common walls)	5.5m
CORNER YARD SETBACK	Min 4.5m	4.5m±
REAR YARD SETBACK:	Min 15m	As Shown
LANDSCAPING BUFFER:	Min 3m	3m±
PLANTING STRIP:	Min 3m	3m
SIGHT TRIANGLE:	Min 7.5m	7.5m±

PARKING:	STREET TOWNHOUSE:	1/unit	1/unit
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NOTE: Eastern Lot Line to be deemed as the 'Front Lot Line'



MONTEE GÉNEREUX



GENERAL NOTES:

- All dimensions shown are in Imperial units and are measured from either the element finished face or center line (Unless otherwise noted).
- All construction to comply with the Ontario Building Code 2024 Edition.
- All building site work shall be graded so that surface, storm and roof drainage will not accumulate at or near the building and will adversely affect adjacent properties.
- Every excavation shall be undertaken to such a manner as to prevent movement which would cause damage to adjacent property, existing structures, utilities, roads and sidewalks at all stages of construction. Ensure that the bottom of excavation for foundations are free of organic material, if trenching is to be used, all slumps, roots and wood stumps shall be removed to a minimum depth of 1.5m in excavated area. The distance between untreated structural wood elements and ground should be 6".
- No work shall encroach onto adjoining property surfaces. Change shall not be discharged directly or indirectly onto sidewalk, driveway or any adjoining property.
- It is the contractor's responsibility to check elevations and inverts of all municipal services and establish appropriate methods of dealing with those services.
- All framing lumber shall be SPF #1 kiln dried unless noted. Provide vented grade plywood shears required by OBC.
- All dimensions and existing conditions shall be verified by the general contractor at the start of construction. The general contractor shall be responsible to verify the exact dimensions between the site conditions and the assumed design conditions prior to the commencement of construction.
- All penetrations through a required fire separation are to be fire-rated and smoke sealed, as well as any and all combustible services penetrating a required fire separation are to be protected with a fire-stop system.
- The general contractor shall be solely responsible for the construction, method of erection and erection procedure of all structural members including the erection of any pre-engineered components. The general contractor shall maintain extreme caution and care during the erection and removal of any existing structure and existing walls, to existing structure and existing walls, to existing structure and existing walls, to existing structure and existing walls.

GENERAL SCOPE OF WORK

- CLIENT APPLICATION TO CONSTRUCT NEW MULTI RESIDENTIAL BUILDING, IN COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS AND THE ONTARIO BUILDING CODE.
- CONNECT AND TIE-IN SERVICES TO NEW BUILDING AS PER MUNICIPAL BY-LAWS AND REGULATIONS.

LIMITATIONS OF DESIGN:

- It shall be the contractor's responsibility to ensure all material, appliances, assemblies, and labour conforms to all applicable Codes, Bylaws, and Good Construction Practices.
- Insurers on the drawings are to retain the contractor and do not necessarily address all aspects of construction.
- The contractor shall check and verify all dimensions and existing site conditions and advise the owner of any discrepancy prior to commencing work.
- The contractor shall verify window and door rough and finished openings with manufacturer & owner prior to framing.
- Technical design data for all pre-engineered framing components are required for the building permit application.
- Any response for engaging a Professional Engineer shall be the sole responsibility of the Owner.

I, ROHIT WALIA, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4, DIV. C OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES FOR SUCH DESIGN WORK.

INDIVIDUAL BCIN: 35171 FIRM BCIN: 12345

ROHIT WALIA, PRINCIPAL DESIGNER
 CR DESIGN BUILD INC.

PROJECT:	5 UNIT BUILDING	DATE:		DRAWN:	
ARCHITECT:	MONTEE GÉNEREUX	DESIGNED:		PROJECT:	
TITLE:	PLOT PLAN	DATE:	2024-08-21	SCALE:	1/10"=1'-0"
					PP



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-CON-2025-00067

APPLICATION SUMMARY

File Date: September 12, 2025
Application Type: Consent (Land Severance)
Address(es): 0 Montee Genereux, Chelmsford, Ontario
Applicant(s): TULLOCH
Owner(s): VYTIS LANDS (KAGAWONG) LTD.

**PLANNING APPLICATION
PURPOSE OF TRANSACTION**

Addition to Lot

Area	Area (Second Additional Lot if Applicable)
Depth	Depth (Second Additional Lot if Applicable)
Frontage	Frontage (Second Additional Lot if Applicable)

Creation of New Lot

Area
446.62

Depth
50.35

Frontage
9.17

Creation of Lot(s) for Semi-Detached or Row Housing

Area

Depth

Frontage

Cancellation of Prior Consent

File No. of Prior Consent

Type of Consent being cancelled

If you are cancelling a prior lot creation, is there a current driveway accessing the created lot?

Easement/Right-of-Way

Area Area (Second Easement or Right-of-Way if Applicable)

Depth Depth (Second Easement or Right-of-Way if Applicable)

Frontage Frontage (Second Easement or Right-of-Way if Applicable)

Lease

Area

Depth

Frontage

Other

Describe Other

Area

Depth

Frontage

GENERAL APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

PINs 73348-0751 & 73348-0754, held under the same ownership [see attachment(s)]

Are you the registered owner or an authorized agent?

Authorized Agent

What is the date of acquisition of subject land?

2025/09/12

What is the number of dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

CONSENT

Name of person(s) to whom land or interest in land is intended to be conveyed, leased or mortgaged

Unknown

Are there any easements or restrictive covenants affecting the subject land?

Yes

Please indicate a description of each easement or covenant and its effect

Drainage Easements

Has the land ever had any previous severances?

Yes

Name of transferee

N/A

Date of transfer

N/A

Use of severed land

Consent certificates issued for the previous severances are currently proposed to be cancelled through CGS Consent Application No. PL-CON-2025-00054, PL-CON-2025-00055 & PL-CON-2025-00056

Is property located with 1km (.6 miles) of a First Nation Reserve?

No

Has the parcel intended to be severed ever been, or is it now part of a Plan of Subdivision?

Yes

Please indicate the file number and status of the application

File No. unknown. Subject property previously known as part of Lot 13 & 14 Plan 53M-1420. Now deemed to not be apart of this plan of subdivision through instrument SD521451

What is the current designation of the subject land in the applicable Official Plan?

Living Area I

Explain how the application conforms with the Official Plan

Section 3.2.2 of the OP permits medium density housing in all Living Area I designations where full municipal services are available

Explain how the application is consistent with the Provincial Policy Statements

Section 2.1.6 a) of the PPS states that planning authorities should support the achievement of complete communities by accommodating an appropriate range and mix of land uses, housing options to meet long-term needs

Explain how the application conforms, or does not conflict with the Growth Plan for Northern Ontario

N/A

CONCURRENT APPLICATIONS

Minor Variance

File Number(s) - Minor Variance

Status - Minor Variance

Rezoning

File Number(s) - Rezoning

Status - Rezoning

Official Plan Amendment

File Number(s) - Official Plan Amendment

Status - Official Plan Amendment

LAND RETAINED

Area	Depth	Frontage
955.31	42.87	10.51

Existing use of land

Vacant

Proposed use of land

Residential

Proposed use of land

Will a certificate be required for the retained land?

No

WATER/SEWAGE - RETAINED

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS - RETAINED

- Provincial highway
- Road maintained by the municipality
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

LAND SEVERED

Existing use of land

Vacant

Proposed use of land

Residential

Parcel # and/or Lot and registered Plan of Subdivision # of property which will benefit

WATER/SEWAGE - SEVERED

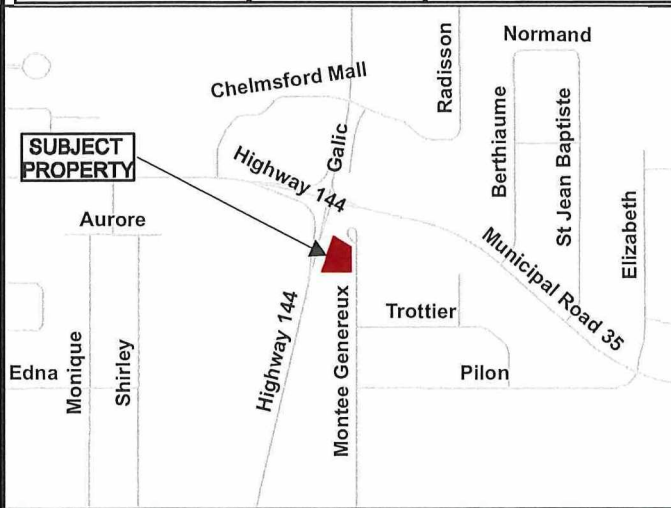
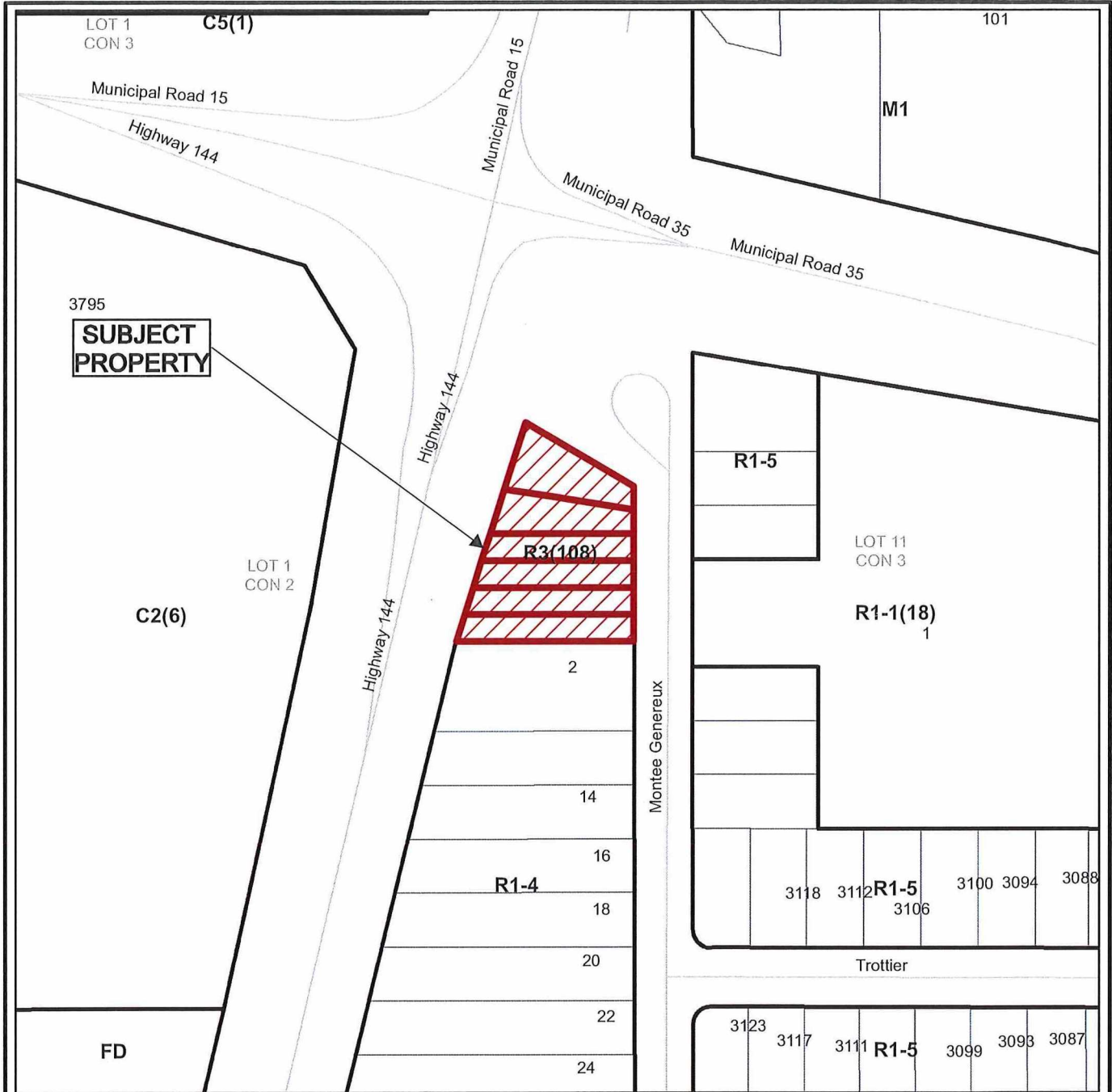
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PROPERTY ACCESS - SEVERED


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Indicate the parking and docking facilities to be used via water

Estimate the distance of these facilities from the severed land and nearest public road by water



Application for Consent



Subject Property being PINs 73348-0749, 73348-0750, 73348-0751, 73348-0752, 73348-0753 & 73348-0754, SRO, Lots 12-14, Plan 53M-1420, being Parts 1-21, Plan 53R-20477, Part Lot 1, Concession 2, Township of Balfour, Montee Genereux, Chelmsford, City of Greater Sudbury

NTS
Sketch 1

PL-CON-2025-00064, PL-CON-2025-00065, PL-CON-2025-00066 & PL-CON-2025-00067

Date: 2025 09 29



SITE PLAN DATA

ADDRESS: 0 Montee Genereux St, Chelmsford (City of Greater Sudbury)
 LEGAL: Part Lot 1, Concession 2, Balfour; Lots 12-14, 53M-1420
 PIN: 73348-0749, 0750, 0751 & 0754

EXISTING ZONING: R2-2
 PROPOSED ZONING: R3-xx

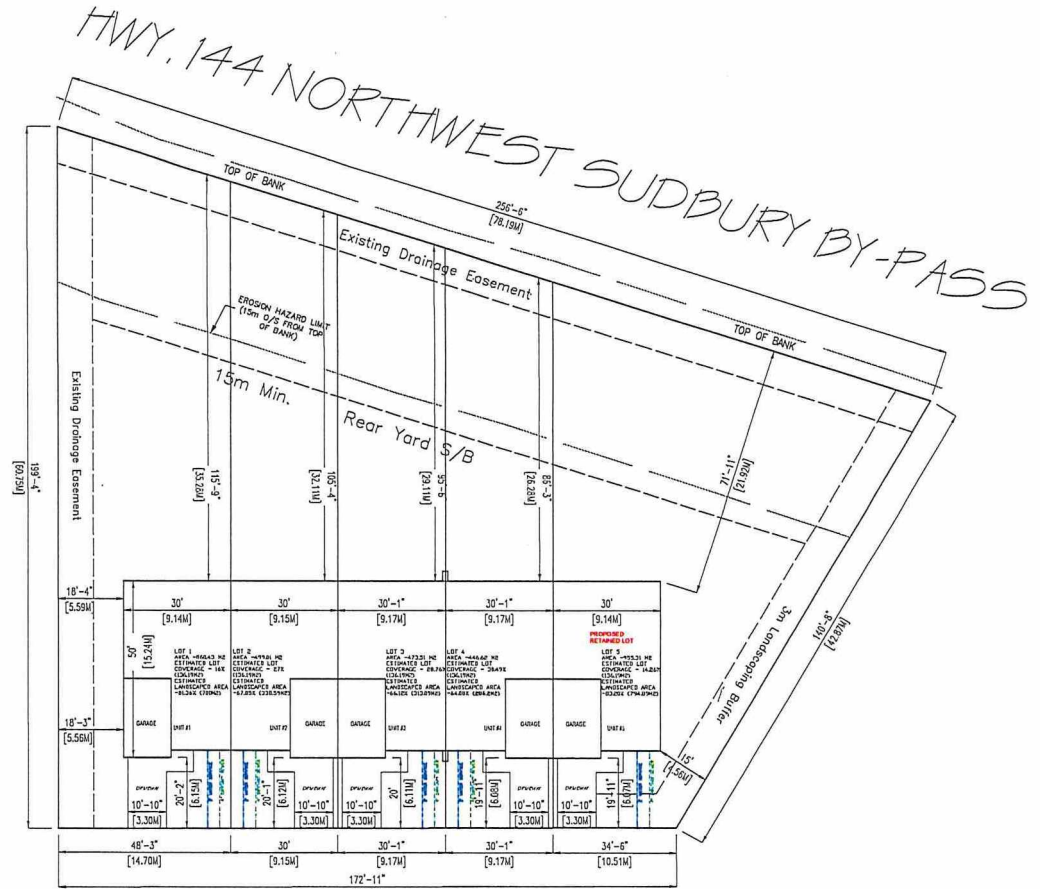
USE OF BUILDING: Street Townhouse Dwellings

LOT STANDARDS	REQUIRED	PROVIDED
MIN LOT AREA:	Min 150m ² /unit	As Shown
FRONTAGE:	Min 6m	As Shown
LOT DEPTH:	Min 45m	As Shown
COVERAGE:	Max 40%	As Shown
LANDSCAPING:	Min 30%	As Shown

SETBACKS, BUFFERS & STRIPS	REQUIRED	PROVIDED
FRONT YARD SETBACK:	Min 6m	6m±
INTERIOR YARD SETBACK:	Min 1.8m (except common walls)	5.5m
CORNER YARD SETBACK	Min 4.5m	4.5m±
REAR YARD SETBACK:	Min 15m	As Shown
LANDSCAPING BUFFER:	Min 3m	3m±
PLANTING STRIP:	Min 3m	0m
SIGHT TRIANGLE:	Min 7.5m	7.5m±

PARKING:	STREET TOWNHOUSE:	1/unit	1/unit
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NOTE: Eastern Lot Line to be deemed as the 'Front Lot Line'



MONTEE GÉNEREUX



GENERAL NOTES:

- All dimensions shown are in Imperial units and are measured from either the exterior finished face or center line. (Unless otherwise noted)
- All construction to comply with the Ontario Building Code 2024 Edition.
- All building work shall be graded so that surface, base and foot drainage will accumulate at or near the building and will not adversely affect adjacent properties.
- Every excavation shall be underlain by a suitable material to be provided in accordance with the Ontario Building Code. Changes shall not be made without the consent of the engineer. Ensure that the bottom of excavation for foundations are free of all organic material. If services are known to exist, all drains, rocks and wood debris shall be removed to a minimum depth of 1.5m in excavated areas. The distance between unbraced structural wood elements and ground should be 5'.
- No work shall encroach onto adjoining properties without the consent of the adjacent owner. Changes shall not be made without the consent of the adjacent owner. Ensure that the bottom of excavation for foundations are free of all organic material. If services are known to exist, all drains, rocks and wood debris shall be removed to a minimum depth of 1.5m in excavated areas. The distance between unbraced structural wood elements and ground should be 5'.
- It is the contractor's responsibility to check elevations and inverts of all municipal services and maintain appropriate methods of clearing with those services.
- All framing lumber shall be SPF #1 min. dried kiln dried. Provide exterior grade plywood where required by OBC.
- All penetrations through a required fire separation are to be fire-rated and smoke sealed, as well as any and all combustion services penetrating a required fire separation are to be protected with a fire-stop system.
- All dimensions and existing conditions shall be verified by the general contractor at the time of construction. The general contractor shall be responsible to verify the extent of any discrepancies between the site conditions and the assumed design conditions prior to the commencement of construction.
- All penetrations through a required fire separation are to be fire-rated and smoke sealed, as well as any and all combustion services penetrating a required fire separation are to be protected with a fire-stop system.
- The general contractor shall be solely responsible for the construction, method of erection and installation procedures of all structural members including the erection of any pre-engineered components. The general contractor shall ensure the proper care and handling of the construction process of any existing structure and masonry walls, be solely responsible to support the existing structure and call a professional structural engineer for an inspection and review prior to casting any new concrete or removing existing walls.

GENERAL SCOPE OF WORK

- CLIENT APPLICATION TO CONSTRUCT NEW MULTI RESIDENTIAL BUILDING, IN COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS AND THE ONTARIO BUILDING CODE.
- CONNECT AND TIE-IN SERVICES TO NEW BUILDING AS PER MUNICIPAL BY-LAWS AND REGULATIONS.

LIMITATIONS OF DESIGN:

- It shall be the contractor's responsibility to ensure all material, appliances, assemblies, and labour conform to all applicable Codes, Bylaws, and Good Construction Practices.
- Notations on the drawings are to assist the contractor and do not necessarily address all aspects of construction.
- The contractor shall check and verify all dimensions and existing site conditions and advise the owner of any discrepancy prior to commencing work.
- The contractor shall verify window and door rough and openings with manufacturer & owner prior to framing.
- Technical design details for all pre-engineered framing components are required for the building permit application.
- Any processes for engaging a Professional Engineer shall be the sole responsibility of the Owner.

I, ROHIT WALIA, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.24, DIV. 'C' OF THE ONTARIO BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES FOR SUCH DESIGN WORK.

INDIVIDUAL BCIN: 35171 FIRM BCIN: 123463

ROHIT WALIA; PRINCIPAL DESIGNER
 CR DESIGN BUILDING INC.

PROJECT	5 UNIT BUILDING	DATE	2024-09-21
DRAWN	MONTEE GÉNEREUX	CHECKED	PP
SCALE	PLOT PLAN	DATE	1/10"=1'-0"