

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

September 16, 2026

PUBLIC HEARINGS

PL-MV-2026-00112 BLUE STRIPE ANT INC.

Ward: 9

PIN(s) 734780738, Parcel 20409 SEC SES SRO, Lots 26 & 27, Plan M-403, Part Lot 4, Concession 6, Township of Broder, 2280 Celine Street, Sudbury, [By-law 2010-100Z, M1(27)]

For relief from Part 4, Section 4.25, subsections 4.25.1 b) and 4.25.2 b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the reconstruction of a mezzanine within the existing building providing an increase in gross floor area within the legal non-complying rear yard maintaining a rear yard setback of 1.22m, where buildings or structures may be enlarged, reconstructed, repaired and/or renovated and where nothing in this By-law shall apply to prevent the reconstruction of any legally existing building or structure provided that the enlargement, reconstruction, repair and/or renovation does not increase the gross floor area of the building or structure located within the applicable minimum required rear yard.

PL-MV-2026-00115 ALAIN ROUSSEL DEBORAH ROUSSEL

Ward: 9

PIN(s) 734780793; 734780822, Parcels 1521 and 12765 SEC SES, Part Lot 1, Concession 5, as in EP4485 and EP6999, except LT73886, LT74755, M-214, LT166545, LT82049, LT100064, M-325, LT109754, Parts 1-6, Plan SR-574, and Parts 1-2, Plan 53R-12898, Township of Broder, 1405 Cawthorpe Street, Sudbury, [By-law 2010-100Z, R1-2]

For relief from Part 4, Section 4.2, subsection 4.2.4 a), subsection 4.2.5, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached accessory building with attached uncovered deck and uncovered stairs providing, firstly, for the detached accessory building to provide a maximum height of 9.1m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, secondly, for the uncovered deck to encroach 5.67m into the required rear yard providing a 1.83m setback from the rear lot line, where uncovered decks greater than 1.2m in height may encroach 3.6 m into the required rear yard but not closer than 3.0 m to the rear lot line, and thirdly, for the uncovered stairs to provide a rear yard setback of 1.83m, where 7.5m is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B324/79 & B325/79 (OCT 9/79), B143/90 (MAY 7/90) AND B172/06 (DEC 12/06), AND MINOR VARIANCE APPLICATIONS A124/06 & A125/06 (JAN 8/07).

PL-MV-2026-00117 CITY OF GREATER SUDBURY

Ward: 7

PIN(s) 735130417; 735130089, Firstly: Part Lot 5, Concession 5, Parts 8, 9, 10 and 15, Plan 53R-11000 and Part Lot 28, Plan M-137, Part 16, and 18, Plan 53R-11000, except Parts 1 and 2, Plan 53R-18004; Secondly: Parcel 53306 SEC SES, Part Lot 28, Plan M-127, Part 17, Plan 53R-11000, Township of MacLennan, Unopened Road Allowance of Benn Drive, Skead, 0 MacLennan Drive, Sudbury, [By-law 2010-100Z, R1-1]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a minimum 18.0m lot frontage on the resulting lot following a lot addition, where a minimum lot frontage of 45.0m is required.

**PL-MV-2026-00118 OTTO ROST
THERESA ROST**

Ward: 10

PIN(s) 735830123, Part Lot 57, Plan 24S, as in S71460, Part Lot 4, Concession 3, Township of McKim, 208 Lourdes Street, Sudbury, [By-law 2010-100Z, R2-2]

For relief from Part 4, Section 4.2, Table 4.1, Section 4.25, subsection 4.25.1 a) and b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the reconstruction and enlargement of the existing dwelling providing an increase in lot coverage and gross floor area within the legal non-complying front yard providing a front yard setback of 4.18m with a 0.61m eave projection into the same, where a building or structure may be enlarged, reconstructed, repaired and/or renovated provided that the enlargement, reconstruction, repair and/or renovation does not increase the lot coverage or the gross floor area of the building or structure within the minimum required front yard and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION
A0018/2010 (MAR 29/10)

**PL-MV-2026-00119 RAYANNE HENRI
JACQUELINE HENRI**

Ward: 6

PIN(s) 735060155, Parcel 37445 SEC SES, Part Lot 8, Concession 4, Location VM 93, Part 1, Plan 53R-4390, Township of Hanmer, 1920 Gravel Drive, Val Therese, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.10 c) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a dwelling unit in a building accessory to a main dwelling in the front yard, where a dwelling unit located in a building accessory to a main building shall only be permitted within the rear and/or interior side yards.

**PL-MV-2026-00120 SAM GUILLEMETTE
CAROLE GUILLEMETTE**

Ward: 6

PIN(s) 735043238, Part Lot 4, Concession 3, Part 3, Plan 53R-21869, Township of Hanmer, 4702 Deschene Road, Hanmer, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.34, i) a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit two storage containers to be located in the southern side yard providing an interior side yard setback of 12.2m, where shipping and storage containers must be located in the rear yard.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0020/2017 TO B0022/2017 (MAY 8/17), B0125/2008 TO B0127/2008 (JUN 26/08) AND B0042/2023 TO B0044/2023 (JUN 19/23) AND OFFICIAL PLAN AMENDMENTS 701-7/16-13 AND 701-7/22-04

A reminder... the next scheduled meeting is Thursday, October 1, 2026.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00112

APPLICATION SUMMARY

File Date: 07/29/2026

Application Type: Minor Variance

Address(es): 2280 Celine Street, Sudbury P3E 0C9

Applicant(s): T ENGINEERING

Owner(s): BLUE STRIPE ANT INC.

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

October 9 2025

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

General Industrial

Current Official Plan designation (additional)

Current Zoning By-law designation

M1(27)

Provide a detailed description of what is being proposed

The variance is desirable for the appropriate development/use of the land. The variance facilitates the adaptive reuse of an existing industrial building by permitting its conversion from an auto repair facility to a low hazard laboratory use. The proposed redevelopment represents an efficient use of the existing infrastructure and supports continued employment and economic activity within the industrial area.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The variance is minor in nature. The subject property contains an existing industrial building with established setbacks that do not comply with the current provisions of the city of greater sudbury zoning by-law. The existing rear yard setback is 1.22m whereas 6.0m is required, and the existing interior side yard setback is 2.69m whereas 3.0m is required. The proposed renovation and increase in mezzanine area are entirely within the existing building envelope and do not alter or intensify the existing setback deficiencies.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

44.8

Lot Depth of the property

63.09

Lot Area of the property

2813.28

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

single building, 1970

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

light industrial

Is the use remaining the same? If no, please provide the proposed new use

conversion from an auto repair facility to a low hazard laboratory use.

Existing uses of neighbouring properties

residential, vacant land, industrial

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system ☒

Municipally owned and operated sanitary sewage system ☒

Lake ☐

Pit Privy ☐

Individual Well ☐

Communal Well ☐

Individual Septic System ☐

Communal Septic System ☐

Other ☐

Explain Other

PROPERTY ACCESS

Provincial highway ☒

Right-of-way ☐

Municipal road that is maintained seasonally ☐

Municipal road that is maintained year-round ☒

Water ☐

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

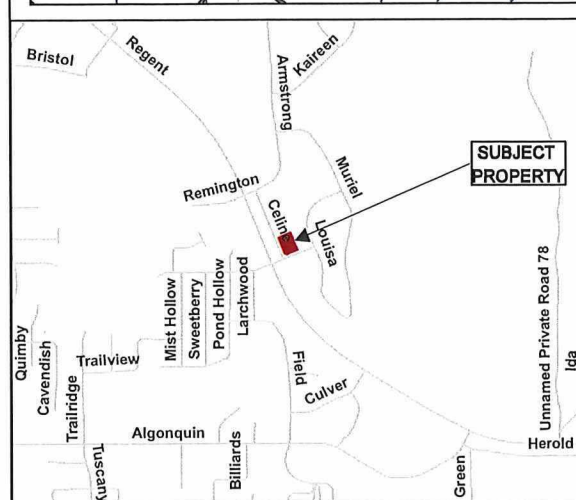
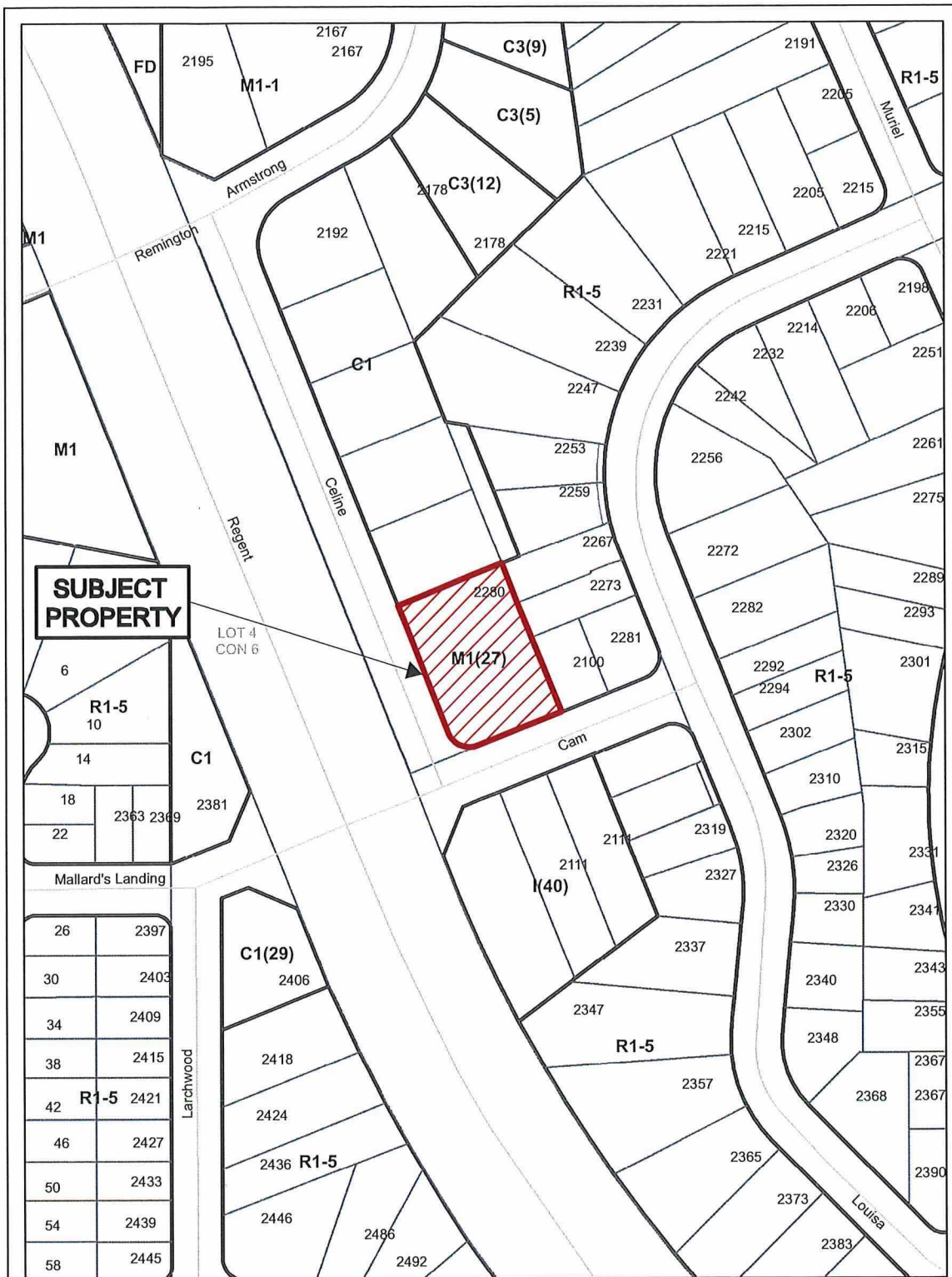
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
NO CHANGES TO EXTERIOR STRUCTURE. NEW INTERIOR STRUCTURE WILL BE NONCOMBUSTABLE	Yes	305.4	411	2	12.4	24.64	6.7	49.89	1.22	19.15	2.69

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
MAIN STRUCTURE IS CONCRETE BLOCK/STEEL. INTERIOR IS WOOD AND DRYWALL. (DEMOLITION TO INTERIOR STRUCTURE ONLY)	No	305.4	356.3	2	12.4	24.64	6.7	49.89	1.22	18.64	1.52

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Section 4.25.1 b) - increase of gross floor area within the existing legal non-complying rear yard	4.25.1 Permitted Buildings or Structures Where a building or structure is located on a lot having less than the minimum lot frontage and/or lot depth and/or lot area, and/or having less than the minimum setback and/or side yard and/or rear yard required by this By-law, the said building or structure may be enlarged, reconstructed, repaired and/or renovated provided that: b) The enlargement, reconstruction, repair and/or renovation does not increase the gross floor area of the building or structure located within the applicable minimum required yard except as otherwise permitted by this By-law	Permit increase of gross floor area within the legal non-complying rear yard	n/a



Application for Minor Variance or Permission



Subject Property being PIN 73478-0738,
Parcel 20409 SEC SES SRO,
Lots 26 & 27, Plan M-403,
Part Lot 4, Concession 6,
Township of Broder,
2280 Celine Street, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00112
Date: 2026 08 05

A	B	PL-MV-2026-00112	SKETCH 2
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KEY PLAN

MINOR VARIANCE
PLANNING RATIONALE:

THE SUBJECT PROPERTY CONTAINS AN EXISTING INDUSTRIAL BUILDING WITH ESTABLISHED SETBACKS THAT DO NOT COMPLY WITH THE CURRENT PROVISIONS OF THE CITY OF GREATER SUBURBY ZONING BY-LAW. THE EXISTING REAR YARD SETBACK IS 1.22 M WHEREAS 1.52 M IS REQUIRED, AND THE EXISTING INTERIOR SIDE YARD SETBACK IS 1.52 M WHEREAS 9.0 M IS REQUIRED. THE PROPOSED RENOVATION AND RE-USE IN MEZZANINE AREA ARE ENTIRELY WITHIN THE EXISTING BUILDING ENVELOPE AND DO NOT ALTER OR INTENSIFY THE EXISTING SETBACK DEFICIENCIES.

1. THE VARIANCE IS MINOR IN NATURE
- THE REQUESTED RELIEF RECOGNIZES AN EXISTING CONDITION AND DOES NOT RESULT IN ANY ADDITIONAL ENCROACHMENT INTO THE REQUIRED SETBACK AREAS. THE PROPOSED WORK CONSISTS PRIMARILY OF INTERIOR RENOVATIONS AND AN INCREASE IN MEZZANINE FLOOR AREA WITHIN THE EXISTING BUILDING FOOTPRINT. AS SUCH, THE IMPACT OF THE VARIANCE ON ADJACENT PROPERTIES AND THE SURROUNDING AREA IS NEGLIGIBLE.

2. THE VARIANCE IS DESIRABLE FOR THE APPROPRIATE DEVELOPMENT OR USE OF THE LAND

THE VARIANCE FACILITATES THE ADAPTIVE REUSE OF AN EXISTING INDUSTRIAL BUILDING BY PERMITTING ITS CONVERSION FROM AN AUTO REPAIR FACILITY TO A LOW HAZARD LABORATORY USE. THE PROPOSED REDEVELOPMENT REPRESENTS AN EFFICIENT USE OF EXISTING INFRASTRUCTURE AND SUPPORTS CONTINUED EMPLOYMENT AND ECONOMIC ACTIVITY WITHIN THE INDUSTRIAL

3. THE VARIANCE MAINTAINS THE GENERAL INTENT AND PURPOSE OF THE ZONING BY-LAW

THE INTENT OF THE SETBACK PROVISIONS IS TO ENSURE ADEQUATE SEPARATION BETWEEN BUILDINGS AND ADJACENT PROPERTIES FOR ACCESS, SAFETY, SERVICING, AND COMPATIBILITY PURPOSES. SINCE THE EXISTING SETBACKS ARE NOT BEING FURTHER REDUCED AND THE BUILDING FOOTPRINT REMAINS UNCHANGED, THE INTENT OF THE ZONING BY-LAW IS MAINTAINED.

4. THE VARIANCE MAINTAINS THE GENERAL INTENT AND PURPOSE OF THE OFFICIAL PLAN

THE PROPOSAL SUPPORTS THE OFFICIAL PLAN OBJECTIVES OF PROMOTING INVESTMENT, REDEVELOPMENT, AND EMPLOYMENT USES WITHIN DESIGNATED INDUSTRIAL AREAS WHILE MAKING EFFICIENT USE OF EXISTING BUILDINGS AND MUNICIPAL SERVICES. THE PROPOSED LOW HAZARD LABORATORY USE IS COMPATIBLE WITH THE PLANNED FUNCTION OF THE AREA AND SUPPORTS THE LONG-TERM ECONOMIC DEVELOPMENT OBJECTIVES OF THE MUNICIPALITY.

ACCORDINGLY, THE REQUESTED VARIANCE SATISFIES THE FOUR TESTS OF SECTION 45(1) OF THE PLANNING ACT AND REPRESENTS APPROPRIATE DEVELOPMENT FOR THE SUBJECT PROPERTY.

Name of Project: LAB RENOVATION									
Project Location: 2280 CELINE ST. SUDBURY, ON									
ITEM	2024 ONTARIO BUILDING CODE DATA MATRIX PARTS 9 – Housing and Small Buildings					O.B.C. REFERENCE			
References are to Division 'F' unless noted otherwise ☐ for Division 'X' or ☐ for Division 'E'									
9.00	BUILDING CODE VERSION:		Q. REG. 19/24		LAST AMENDMENT:		Q. REG. 119/28		
9.01	PROJECT TYPE:	☐ New Construction ☐ Addition ☐ Renovation ☐ Change of use ☐ Additions and renovation							
		Description: THIS PROJECT CONSISTS OF THE RENOVATION OF AN EXISTING AUTO REPAIR SHOP BUILDING INTO A LABORATORY FACILITY. THE EXISTING MEZZANINE STRUCTURE WILL BE COMPLETELY DEMOLISHED AND REPLACED WITH A NEW EXPANDED MEZZANINE. THE BUILDING WILL CONTAIN LABORATORY AND ACCESSORY OFFICE SPACES.							
9.02	MAJOR OCCUPANCY(S)		Occupancy: F3 & D		Use: LOW HAZARD LABORATORIES AND ACCESSORY OFFICES		9.10.2.		
9.03	BUILDING AREA (m ²)		Existing: ±305.4		New: 0.0		Total: ±305.4		[A] 1.4.1.2.
9.04	GROSS AREA (m ²)		Existing: ±358.3		New: 54.7		Total: ±413.0		[A] 1.4.1.2.
9.05	MEZZANINE AREA (m ²)		Existing: ±50.9		New: 54.7		Total: ±105.6		9.10.4.1
9.06	BUILDING HEIGHT		Above grade: 2		Below grade: 0		[A] 1.4.1.2. & 9.10.4.		
9.07	NUMBER OF STREETS/FIRE FIGHTER ACCESS		2				9.10.20.		
9.08	SPRINKLER SYSTEM	☐ entire building ☐ selected compartments ☐ basement only ☐ Garbage Room Only ☐ In lieu of roof rating ☐ not required							
		9.10.8.11. 3.2.2.87. 3.2.2.84.							
9.09	FIRE ALARM SYSTEM		☒ Yes ☐ No				9.10.18.		
9.10	WATER SERVICE/SUPPLY IS ADEQUATE		☒ Yes ☐ No				9.1.3.		
9.11	CONSTRUCTION TYPE PERMITTED	☐ Combustible ☐ Non-combustible ☒ Both							
		ACTUAL CONSTRUCTION TYPE: ☐ Combustible ☐ Non-combustible ☒ Both							
9.12	OCCUPANT LOAD	Floor Level/Area		Occupancy	Based on	Occupant Load (Persons)	Posted Limit Req'd		
		GROUND FLOOR		F3&D	DESIGN	8	YES		
		MEZZANINE		D	DESIGN	8	YES		
9.13	BARRIER-FREE DESIGN		☒ Yes ☐ No (explain) GROUND FLOOR				9.5.2. & 3.8		
9.14	HAZARDOUS SUBSTANCES		☐ Yes ☒ No				9.10.1.3		
9.15	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)		FIRE RESISTANCE RATING (H)		SUPPORTING ASSEMBLY (H)		NON-COMBUSTIBLE IN LIEU OF RATING?	
		Floors over basement		N/A		N/A		☐ Yes ☐ No ☒ N/A	
		Floors		0		0		☐ Yes ☐ No ☒ N/A	
		Mezzanine		0		0		☒ Yes ☐ No ☒ N/A	
		Roof		0		0		☒ Yes ☐ No ☒ N/A	
SPATIAL SEPARATION – CONSTRUCTION OF EXTERIOR WALLS									
9.16	WALL	AREA OF EBF (m ²)	L.D. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)		9.10.14. 9.10.15.
	NORTH	NO CHANGE TO EXISTING							
	WEST	NO CHANGE TO EXISTING							
	SOUTH	NO CHANGE TO EXISTING							
	EAST	NO CHANGE TO EXISTING							
WASHROOM REQUIREMENT CALCULATION									
O.B.C. REF.									
TOTAL NUMBER OF OCCUPANTS		16 (8 FEMALE, 8 MALE)							
TOTAL NUMBER OF WASHROOMS REQUIRED		2							
WASHROOMS PROVIDED		1 BARRIER-FREE AND 2 UNI-SEX WASHROOMS							
3.1.7.1. 3.7.4.7. & 3.7.4.8.									

ONTARIO BUILDING CODE MATRIX- PART 11 - RENOVATION OF EXISTING BUILDING				OBC REF.
11.1.	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: SE NOT APPLICABLE	GROUP D- OFFICES 3	11.2.1, 1 11.2.1.1A 1 11.2.1.18 TO
11.2.	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION: EXTENSIVE RENOVATION:	☐ ☐	11.3.3.1 11.3.3.2
11.3.	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANCY LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	☐ NO ☐ YES ☐ NO ☐ YES ☐ NO ☐ YES ☐ NO ☐ YES ☐ NO ☐ YES	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4.	COMPENSATING CONSTRUCTION:	STRUCTURAL: BY INCREASE IN OCCUPANCY LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: MORE WASHROOMS ADDED SEWAGE SYSTEM:	☐ NO ☐ YES (EXPLAIN) ☐ NO ☐ YES (EXPLAIN) ☐ NO ☐ YES (EXPLAIN) ☐ NO ☒ YES (EXPLAIN) ☐ NO ☐ YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5.	COMPLIANCE ALTERNATIVES PROPOSED:	☐ NO ☐ YES (GIVE NUMBER(S))		11.5.1
11.6.	ALTERNATIVE MEASURES PROPOSED:	☐ NO ☐ YES (EXPLAIN)		11.5.1

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN METERS, ELEVATIONS AND SECTIONS IN METERS. ANY IMPERIAL DIMENSIONS SHOWN ARE FOR REFERENCE ONLY.
2. GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2024 AND OTHER RELEVANT CODES.
3. GENERAL CONTRACTOR TO SITE VERIFY ALL EXISTING DIMENSIONS
4. THESE DRAWINGS ARE NOT TO BE SCALED.
5. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND INTERIOR DESIGN DRAWINGS.
6. THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL PERMIT IS ISSUED BY MUNICIPALITY.
7. GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL BUILDING COMPONENTS TO ARCHITECT & ENGINEERS FOR REVIEW PRIOR TO FABRICATION.

LIST OF DRAWINGS

000	COVER PAGE
001	SITE PLAN
100	EXISTING GROUND FLOOR PLAN
101	EXISTING MEZZANINE FLOOR PLAN
102	PROPOSED GROUND FLOOR PLAN & DOOR SCHEDULE
103	PROPOSED MEZZANINE FLOOR PLAN
104	PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
105	PROPOSED MEZZANINE FLOOR REFLECTED CEILING PLAN
200	BUILDING ELEVATIONS
201	BUILDING SECTIONS
300	BARBER FRIEZE WASHROOM DETAILS

[illegible]

ORIGINAL PAPER SIZE ANSI D

PL-MV-2026-00112
Sketch 3



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00115

APPLICATION SUMMARY

File Date: 08/11/2026

Application Type: Minor Variance

Address(es): 1405 Cawthorpe Street, Sudbury P3G 1C1

Applicant(s): KEZ CAD

Owner(s): ALAIN ROUSSEL AND DEBORAH ROUSSEL

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

1995

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area II

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-2

Provide a detailed description of what is being proposed

Proposed Storage Garage with Recreational space above

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Proposing recreational space above brings the building height above requirements

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

20.0

Lot Depth of the property

30.48

Lot Area of the property

3251.58

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

Dwelling

Storage Garage

Storage Shed

Storage Building

oldest building built 1974

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

All Residential

Is the use remaining the same? If no, please provide the proposed new use

same use

Existing uses of neighbouring properties

Residential & Provincial correctional facility

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- | | |
|---|-------------------------------------|
| Municipally owned and operated piped water system | ☒ |
| Municipally owned and operated sanitary sewage system | ☐ |
| Lake | ☐ |
| Pit Privy | ☐ |
| Individual Well | ☐ |
| Communal Well | ☐ |
| Individual Septic System | ☒ |
| Communal Septic System | ☐ |
| Other | ☐ |
| Explain Other | |

PROPERTY ACCESS

- | | |
|--|-------------------------------------|
| Provincial highway | ☐ |
| Right-of-way | ☐ |
| Municipal road that is maintained seasonally | ☐ |
| Municipal road that is maintained year-round | ☒ |
| Water | ☐ |

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Storage with recreational space	No	146.5	146.5	2	13.72	10.7	9.144	30.0	3.05	21.92	66.4
Deck	No	54.63	54.63	1	15	3.66	4.3	28	1.83	34.64	70.1
Stairs	No	4.65	4.65	1	1.2	3.8	3.4	36	1.83	32.64	66.4

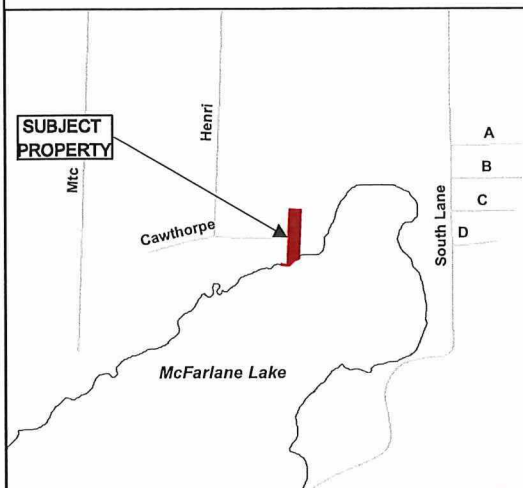
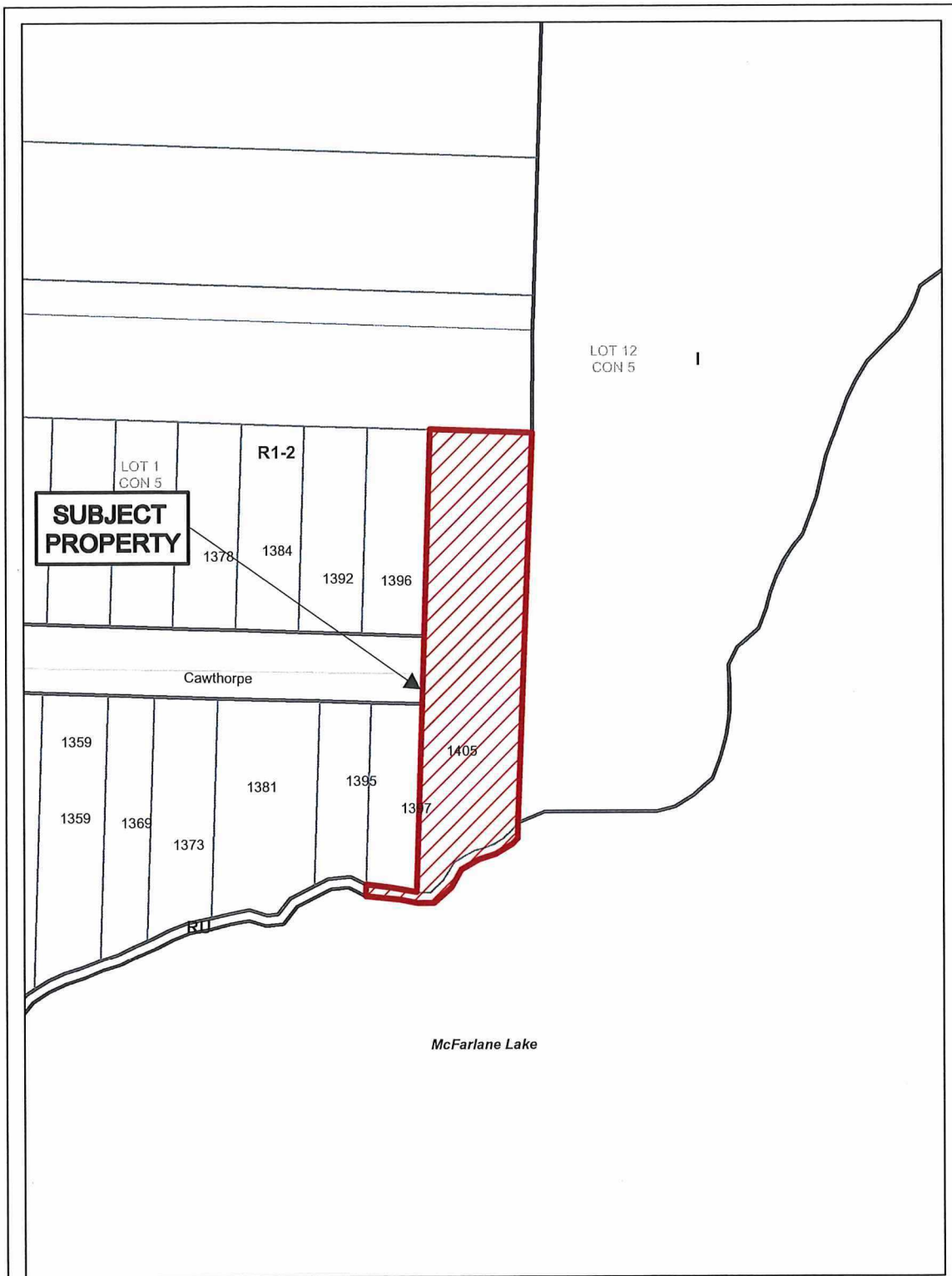
EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Dwelling	No	119	119	1	12.2	9.8	4	21	15.24	2.44	14.0
Storage (1)	No	13.38	13.38	1	3.66	3.66	2.5	35	1.22	24.7	10.0
Storage (2)	No	44.59	44.59	1	3.66	7.32	3.5	8.5	23.2	1.83	30.5
Storage (3)	No	92.45	92.45	1	7.32	12.63	4	40	15.24	1.22	7.32

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Subsection 4.2.4 a) Height of Accessory Building	5m	9.144m	4.144m
Subsection 4.2.5, Table 4.1 Uncovered Deck - rear yard encroachment/setback	Uncovered decks greater than 1.2m in height may encroach 3.6 m into the required rear yard but not closer than 3.0 m to the rear lot line. Required rear yard is 7.5m	Encroach 5.67m into the required rear yard, providing a setback of 1.83m from the rear lot line.	2.07m/1.17m

Part 6, Section 6.3, Table 6.2 - required rear yard is 7.5m	Uncovered stairs providing access to 2nd-storey must be setback a minimum of 7.5m	1.83m	5.67m
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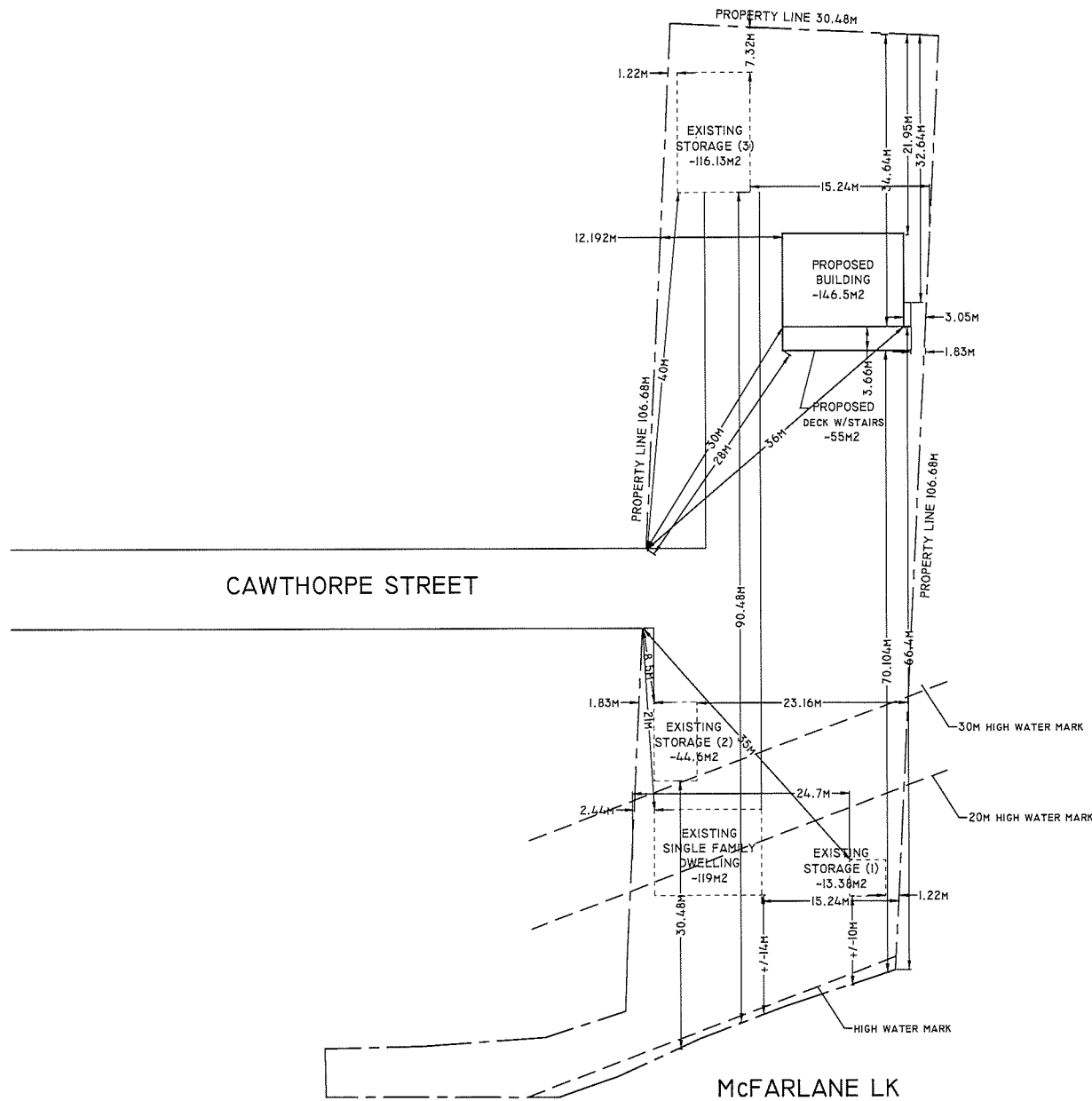
Application for Minor Variance or Permission



Subject Property being PINs 73478-0793 & 73478-0822, Parcels 1521 and 12765 SEC SES, Part Lot 1, Concession 5, as in EP4485 and EP6999, except LT73886, LT74755, M-214, LT166545, LT82049, LT100064, M-325, LT109754, Parts 1-6, Plan SR-574, and Parts 1-2, Plan 53R-12898, Township of Broder, 1405 Cawthorpe Street, Sudbury, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00115
Date: 2026 08 13



BUILDING	AREA	LENGTH	WIDTH
EXISTING STORAGE (1)	13.38 SQ M	3.7M	3.7M
EXISTING STORAGE (2)	44.6 SQ M	4.9M	9.1M
EXISTING STORAGE (3)	116.13 SQ M	7.6M	15.2M
EXISTING DWELLING	119 SQ M	9.8M	12.2M
PROPOSED STORAGE BUILDING	146 SQ M	13.72M	10.7M
PROPOSED DECK	54.63 SQ M	15M	3.66M
PROPOSED STAIRS	4.65 SQ M	1.2M	3.8M

LOT INFORMATION:
 1405 CAWTHORPE ST,
 BRODER CONS LOT 1,
 Pel 1521 & Pel 12765
 TOTAL LOT = 35000 SQ FT
 LOT COVERAGE = 5640 SQ FT (16%)

PLOT PLAN
 NTS

PL-MV-2026-0015
 Sketch 2



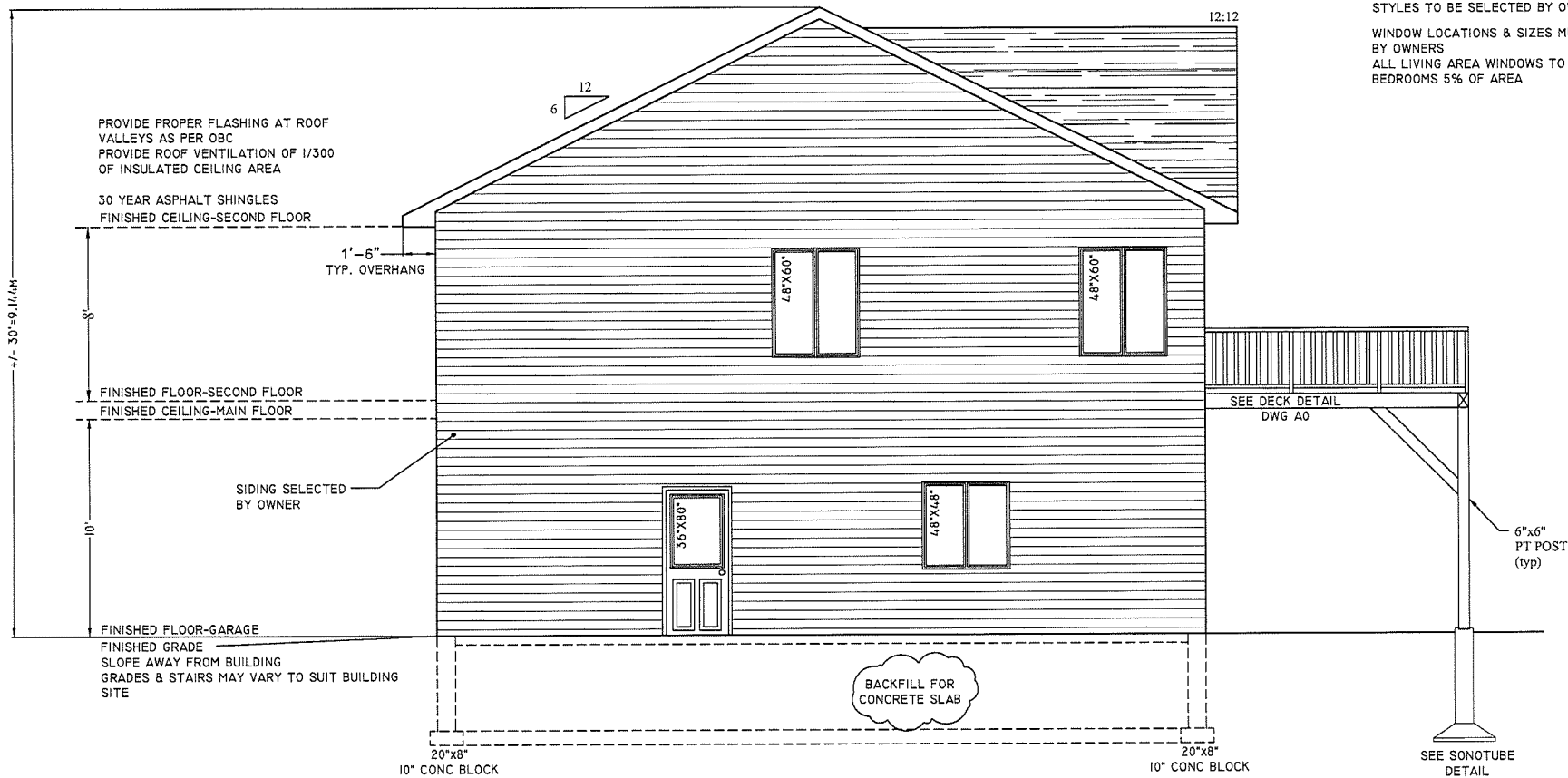
KIMBERLY E. ZARICHNEY
 KEZ CAD
 3100 10TH AVE S
 WEST VALLEY, CO 80080

PROJECT NO.
 2026_013
 PROJECT TITLE
 DRAWING TITLE

SCALE
 AS SHOWN
 DATED
 JUNE 2026
 DRAWN BY
 KEZ

DWG. NO.

DWG. NO.
SI



LEFT ELEVATION

3/16"=1'0"

GENERAL NOTES

- ALL DIMENSIONS ARE SUBJECT TO CHANGE
- ALL DETAILS ARE THE ARTIST'S CONCEPTION AND MAY VARY UPON CONSTRUCTION
- CONSTRUCTOR/OWNER SHALL CHECK AND VERIFY ALL DIMENSIONS AND ADVISE THE CONSULTANT OF ANY DISCREPANCY PRIOR TO COMMENCING

ELEVATIONS SHOWN ARE APPROXIMATELY ARTIST'S CONCEPTS. GRADES & BRICKLINES WILL VARY WITH SITE CONDITIONS. WINDOW STYLES TO BE SELECTED BY OWNER

WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS
ALL LIVING AREA WINDOWS TO BE EQUAL TO 10%. BEDROOMS 5% OF AREA

PL-MV-2025-0015
Sketch 3



KIMBERLY E. ZARICHNEY

KEZ CAD

3/16/2025

PROJECT NO. 2026-013
PROJECT TITLE 1405 CAWTHORPE

LEFT ELEVATION

SCALE AS SHOWN

DATED JAN 2024

DRAWN BY: KEZ

DWG. No.

DWG. No.

A6

RESIDENTIAL GARAGE

1405 CAWTHORPE

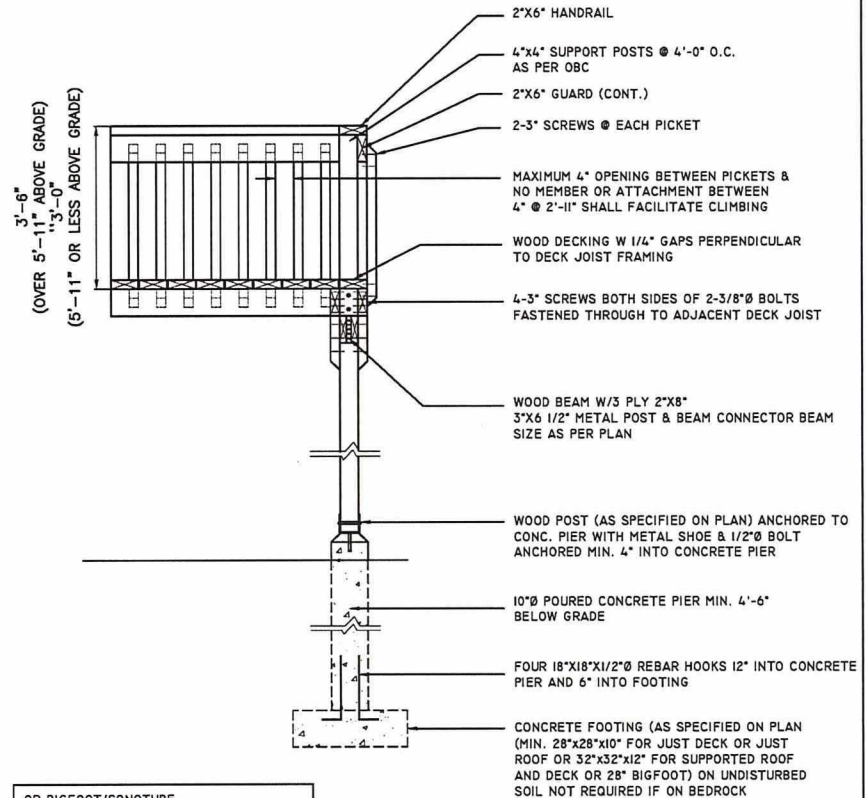
NOTE: IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION



KIMBERLY E. ZARICHNEY

KEZ CAD

3 ST. POTHIER RD. RR#1
WHITEFISH ON P0M 3E0
TEL: [REDACTED]



OR BIGFOOT/SONOTUBE
DETAIL DWG A1
OR, HELICAL PILES
(SUPPLY ENGINEERS REPORT IF USED)

ALL LUMBER TO BE PRESSURE
TREATED & STAMPED

TYPICAL DECK SECTION

N.T.S.



KIMBERLY E. ZARICHNEY
KEZ CAD
P.Eng. No. 12345
ONTARIO

PROJECT TITLE

PROJECT NO
2026_013

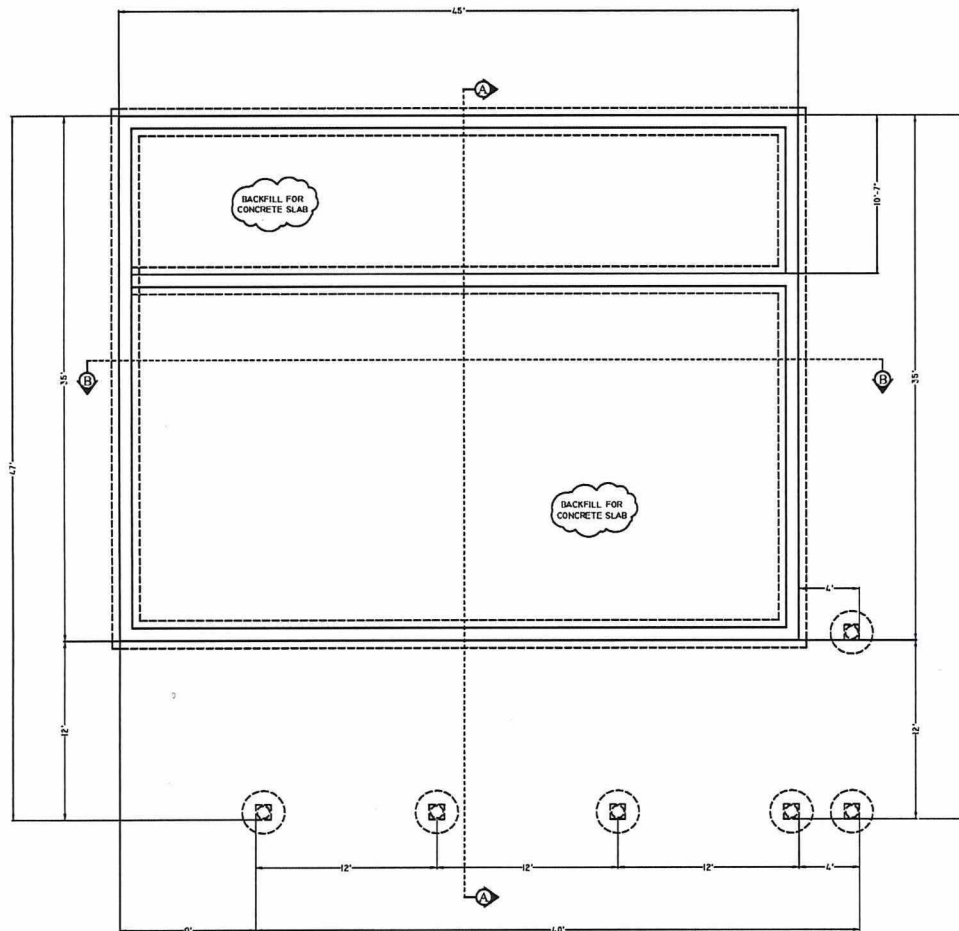
SCALE
AS SHOWN
DATED
JUNE 2026
DRAWN BY:
KEZ

DWG. No.

DWG. No.

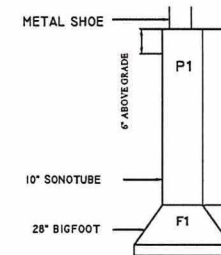
A0

PLM-2026-0045
Sketch 4



FOUNDATION PLAN

3/16"=1'0"



P1 - 10" SONOTUBE WRAPPED WITH 2 LAYERS OF 6 MIL POLYETHYLENE AND FILLED WITH 20 MPA CONCRETE

F1 - 28"Ø BIG FOOT FILLED WITH 20 MPA CONCRETE

PROVIDE 5'-0" FROST COVER

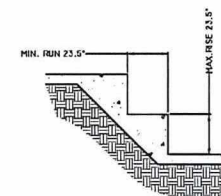
SONOTUBE/BIGFOOT DETAIL

N.T.S.

BEDROCK
IF BEDROCK ENCOUNTERED BELOW GRADE, BUILD FOOTINGS AND FND WALL TO SUIT SITE CONDITIONS COVER TOP OF FOOTING WITH 1-1/2" HIGH DENSITY RIGID INSULATION AND EXTEND UP EXTERIOR FACE OF FND WALL TO 8" ABOVE FINISHED GRADE TO PROTECT FROM FROST AND DETERIORATION.

15M REBAR TO TIE INTO BEDROCK 6" DEEP AND INTO FOOTINGS @24"OC

48"X48"X12" 20 MPA CONCRETE FOOTING c/w 3-1/2"Ø REBAR E/W



TYPICAL STEP FOOTING DETAIL

N.T.S.



KIMBERLY E. ZARICHNEY
KEZ CAD
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW YORK

PROJECT NO. 2026-013
PROJECT TITLE 1405 CAWTHORPE
DRAWING TITLE FOUNDATION PLAN

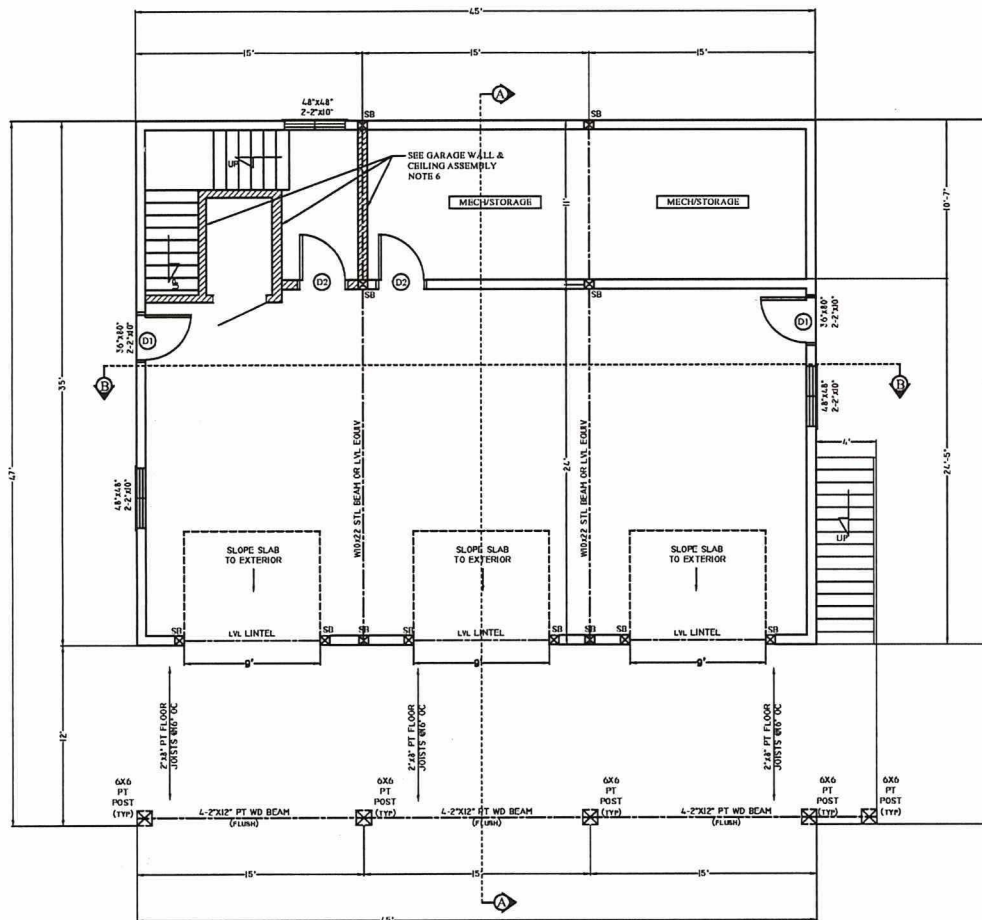
SCALE AS SHOWN
DATE: JAN 2026
DRAWN BY: KEZ

DWG. No.

DWG. No. AI

PL-MV-2026-00445

Sketch 5



FLOOR PLAN - GARAGE LEVEL

3/16"=1'0"

(D) STL INSUL DOOR C/W W.STRIP & DEADBOLT	(D2) STL INSUL DOOR C/W W.STRIP & DEADBOLT & SELF CLOSURE
---	---

GENERAL NOTES

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ALL BATHROOMS TO BE EQUIPPED WITH STUD WALL REINFORCEMENT FOR THE FUTURE INSTALLATION OF GRAB BARS FOR WATER CLOSETS AND SHOWER/BATH AS PER OBC 3.3.4.9

CABINETS- KITCHEN

SHOWN TO BE CONSIDERED A GUIDELINE, AND WE INVITE ALTERNATIVE SUGGESTIONS FROM SUPPLIERS, HOWEVER, PLEASE ADVISE IF ANY REVISIONS (WALL, WINDOW, DOOR LOCATIONS, ETC) ARE REQUIRED TO ACCOMMODATE ALTERNATIVE ARRANGEMENT

STAIR REQUIREMENTS

BASEMENT STAIRS

- MAX. RISE = 7 7/8"
- MIN. RUN = 8-1/4"
- MIN. TREAD = 9-1/4"
- MIN. HEADROOM = 6'-5"

MAIN STAIRS

- MAX. RISE = 7 7/8"
- MIN. RUN = 8-1/4"
- MIN. TREAD = 10"
- MIN. HEADROOM = 6'-5"
- RAILING AT LANDING = 3'-0"
- RAILING AT STAIR = 2'-8"
- FINISHED HANDRAIL ON 1-1/2" X 1-1/2" PICKETS
- MAX 4' SPACE BETWEEN PICKET SURFACES

WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS

ALL LIVING AREA WINDOWS TO BE EQUAL TO 10%, BEDROOMS 5% OF AREA

WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS

ALL LIVING AREA WINDOWS TO BE EQUAL TO 10%, BEDROOMS 5% OF AREA

DOORS

- MAIN DOOR TO BE OPERABLE FROM INSIDE WITHOUT A KEY
- PROVIDE A VIEW WITH A VIEWING ANGLE OF NOT LESS THAN 160° UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT
- GARAGE MAIN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD AND DEADBOLT

2"x6" SOLID BLOCKING	SB	☒
6"x6" PT POST		☒
INTER CONNECTED SMOKE/CO DET MIN ONE PER FLOOR TO BE EQUIPPED WITH A STROBE LIGHT		☒
MECHANICAL FAN - BATHROOM SHALL BE INSTALLED IN THE CEILING OR ON THE WALL WITHIN 12" OF THE CEILING. VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR		☒
FAN - KITCHEN RANGE HOOD WITH FAN TO BE PROVIDED TO VENT DIRECTLY TO OPEN AIR		☒



KIMBERLY E. ZARICHNEY
KEZ CAD
REGISTERED PROFESSIONAL
ARCHITECT NO. 10000

PROJECT NO. 2026-013
DRAWING TITLE
FLOOR PLAN - GARAGE LEVEL

SCALE AS SHOWN
DATE JAN 2026
DRAWN BY KEZ
DWG. No. A2

PL-MV-2026-0015

Sketch 6

- Sketch 7

GENERAL NOTES

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ALL LIVING AREA WINDOWS TO BE EQUAL TO 10%, BEDROOMS 5% OF AREA



FRONT ELEVATION

3/16"=1'0"



KIMBERLY E. ZARICHNEY
KEZ CAD
REGISTERED PROFESSIONAL ENGINEER
STATE OF MICHIGAN

PROJECT TITLE
1405 CAWTHORPE
FRONT ELEVATION

PROJECT NO
2026-013
DRAWING TITLE

SCALE
AS SHOWN
DATED
JAN 2026
DRAWN BY
KEZ

DWG. No.
A4

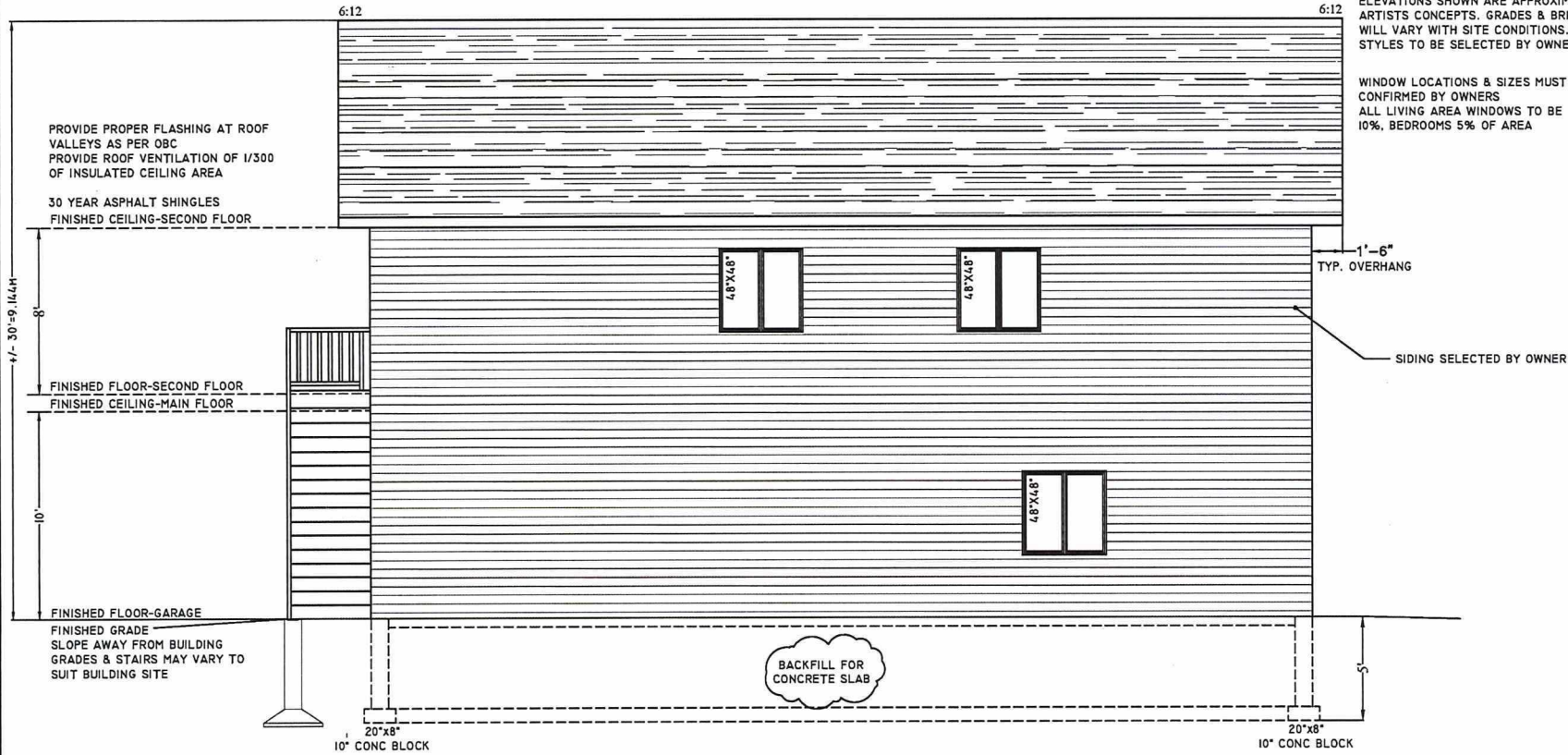
PL-NV-2026-00115
Sketch 8

GENERAL NOTES

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WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS
ALL LIVING AREA WINDOWS TO BE EQUAL TO 10%, BEDROOMS 5% OF AREA



BACK ELEVATION

3/16"=1'0"



KIMBERLY E. ZARICHNEY
KEZ CAD
ARCHITECTURAL DRAFTING

PROJECT TITLE
2026-013
DRAWING TITLE
1405 CAWTHORPE
BACK ELEVATION

SCALE
AS SHOWN
DATE
JAN 2026
DRAWN BY
KEZ
DWG. No.

DWG. No.
A5

PL-MV-2026-00115
Sketch 9

GENERAL NOTES

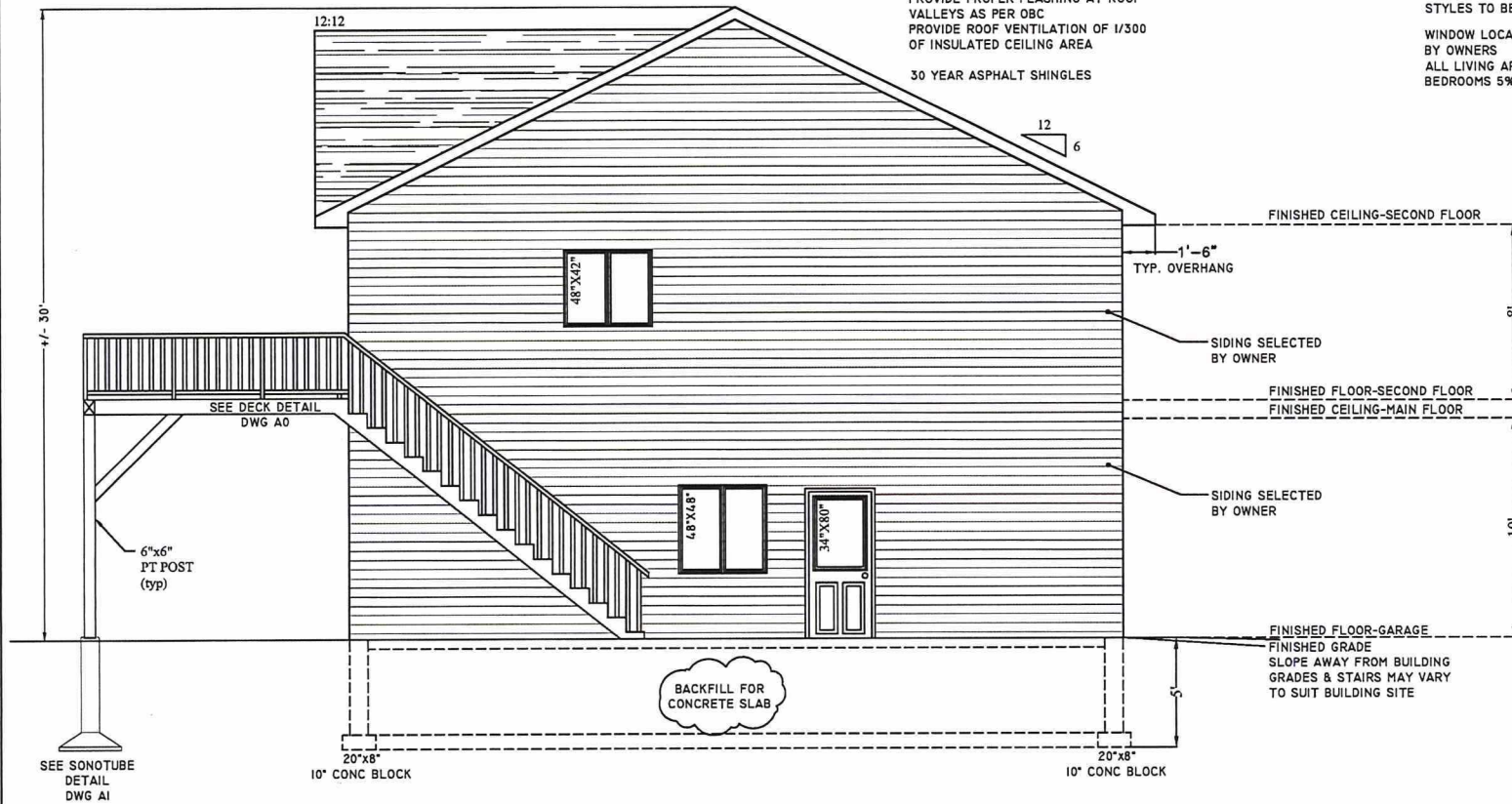
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WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS
ALL LIVING AREA WINDOWS TO BE EQUAL TO 10%, BEDROOMS 5% OF AREA

PROVIDE PROPER FLASHING AT ROOF VALLEYS AS PER OBC
PROVIDE ROOF VENTILATION OF 1/300 OF INSULATED CEILING AREA

30 YEAR ASPHALT SHINGLES



RIGHT ELEVATION

3/16"=1'0"



KIMBERLY E. ZARICHNE
KEZ CAD
REGISTERED ARCHITECT
STATE OF NEW YORK
NO. 1405

PROJECT TITLE
1405 CAWTHORPE
RIGHT ELEVATION

PROJECT NO.
2026_013
DRAWING TITLE

SCALE
AS SHOWN
DATED
JAN 2026

DRAWN BY:
KEZ

DWG. No.

DWG. No.

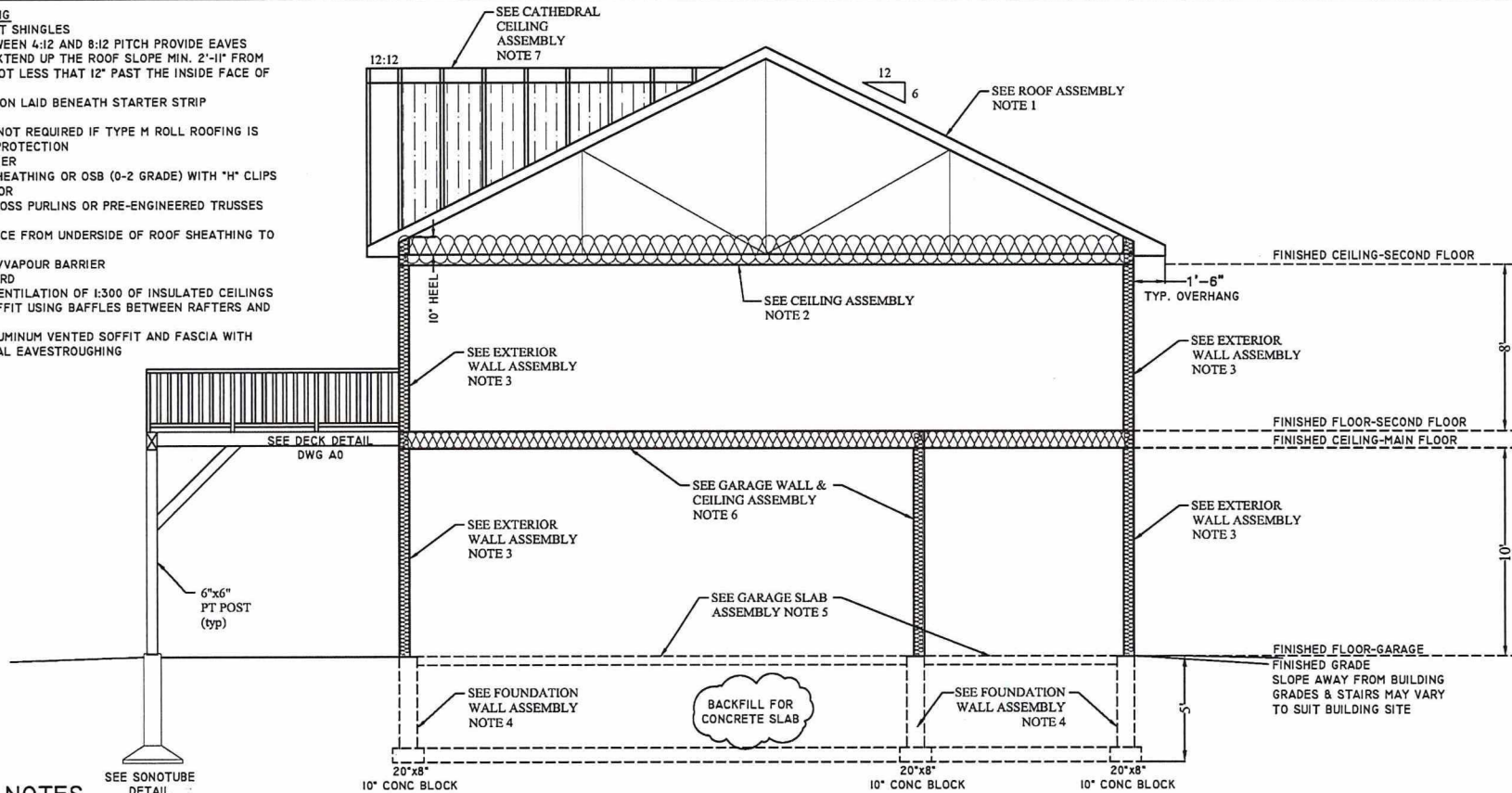
A7

PL-MV-2026-0015

Sketch 10

7- CATHEDRAL CEILING

- 25 YEAR ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 AND 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" FROM EDGE TO A LINE NOT LESS THAN 12" PAST THE INSIDE FACE OF EXTERIOR WALL
- EAVES PROTECTION LAID BENEATH STARTER STRIP
- STARTER STRIP
- STARTER STRIP NOT REQUIRED IF TYPE M ROLL ROOFING IS USED FOR EAVES PROTECTION
- TYPAR AIR BARRIER
- 3/8" PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- 2"x10" NOTCHED OR
- 2"x8" WITH 2" CROSS PURLINS OR PRE-ENGINEERED TRUSSES
- R31 INSULATION
- MIN. 3" CLEARANCE FROM UNDERSIDE OF ROOF SHEATHING TO INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- PROVIDE ROOF VENTILATION OF 1:300 OF INSULATED CEILINGS AREA, 50% AT SOFFIT USING BAFFLES BETWEEN RAFTERS AND VENTED SOFFIT
- PRE-PAINTED ALUMINUM VENTED SOFFIT AND FASCIA WITH PRE-PAINTED METAL EAVESTROUGHING



SECTION NOTES

1- ROOF ASSEMBLY

- 1/2" GYPSUM BOARD
- R60 BATT INSULATION WITH 6 MIL POLYETHYLENE VAPOUR BARRIER
- PRE-ENGINEERED TRUSSES AND BRACING AS PER MANUFACTURER SPECS
- 3/8" PLYWOOD SHEATHING OR 7/16" ASPENITE WITH "H" CLIPS
- TYPAR AIR BARRIER
- EAVES PROTECTION TO RUN 35-1/2" PAST FACE OF EXTERIOR WALL FOR SLOPES BETWEEN 4:12 AND 8:12
- 25 YEAR ASPHALT SHINGLES WITH STARTER STRIP AS PER OBC 9.26.7, NOT REQUIRED IF TYPE "M" EAVES PROTECTION IS USED
- PROVIDE ROOF VENTILATION OF 1:300 OF INSULATED CEILINGS AREA, 50% AT SOFFIT USING BAFFLES BETWEEN RAFTERS AND VENTED SOFFIT
- PRE-PAINTED ALUMINUM VENTED SOFFIT AND FASCIA WITH PRE-PAINTED METAL EAVESTROUGHING

2- CEILING ASSEMBLY

- R60 INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER
- 1/2" GYPSUM BOARD

3- EXTERIOR WALL ASSEMBLY

- 1/2" GYPSUM BOARD
- 6 MIL POLYETHYLENE VAPOUR BARRIER
- 2"x6" STUDS @ 16" O.C.
- R22 BATT INSULATION
- 7/16" ASPENITE SHEATHING WITH 3/32" GAP BETWEEN BOARDS
- W/ R7.5 CONTINUOUS STYROFOAM ON EXTERIOR
- HORIZONTAL VINYL SIDING (OR STUCCO EXTERIOR)
- SEE WALL TYPICAL SECTION FOR STONE OR BRICK INSTALLATION

4- FOUNDATION ASSEMBLY (TYP)

- 2"x6" SILL PLATE ON FOAM GASKET ANCHORED TO BLOCK WITH 1/2" ANCHOR BOLT
- 10" POURED CONCRETE MIN. 4'-6" BELOW GRADE SEE BACKFILL REQUIREMENTS
- EXPANSION JOINT AT CONCRETE SLAB
- 20"x8" POURED CONCRETE FOOTING ON UNDISTURBED SOIL

5- GARAGE SLAB

- 5" CONCRETE SLAB W/R10 RIGID INSULATION
- 4650 PSI (32 MPa) AFTER 28 DAYS FOR UNREINFORCED CONCRETE AND WITH 5-8% AIR ENTRAPMENT
- 6"x6" WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
- 4" OF COARSE GRANULAR MATERIAL
- ANY FILL PLACED UNDER SLAB, OTHER THAN COARSE GRANULAR MATERIAL SHALL BE COMPACTED

6- GARAGE WALL AND CEILING

- 1/2" GYPSUM BOARD ON BOTH SIDES OF WALL AND UNDERSIDE OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- R31 INSULATION IN CEILINGS WITH FLOOR ABOVE
- CONTINUOUS AIR/VAPOUR BARRIER
- ALL JOINTS SHALL BE SEALED AND STRUCTURALLY SUPPORTED

SECTION A-A

3/16"=1'0"



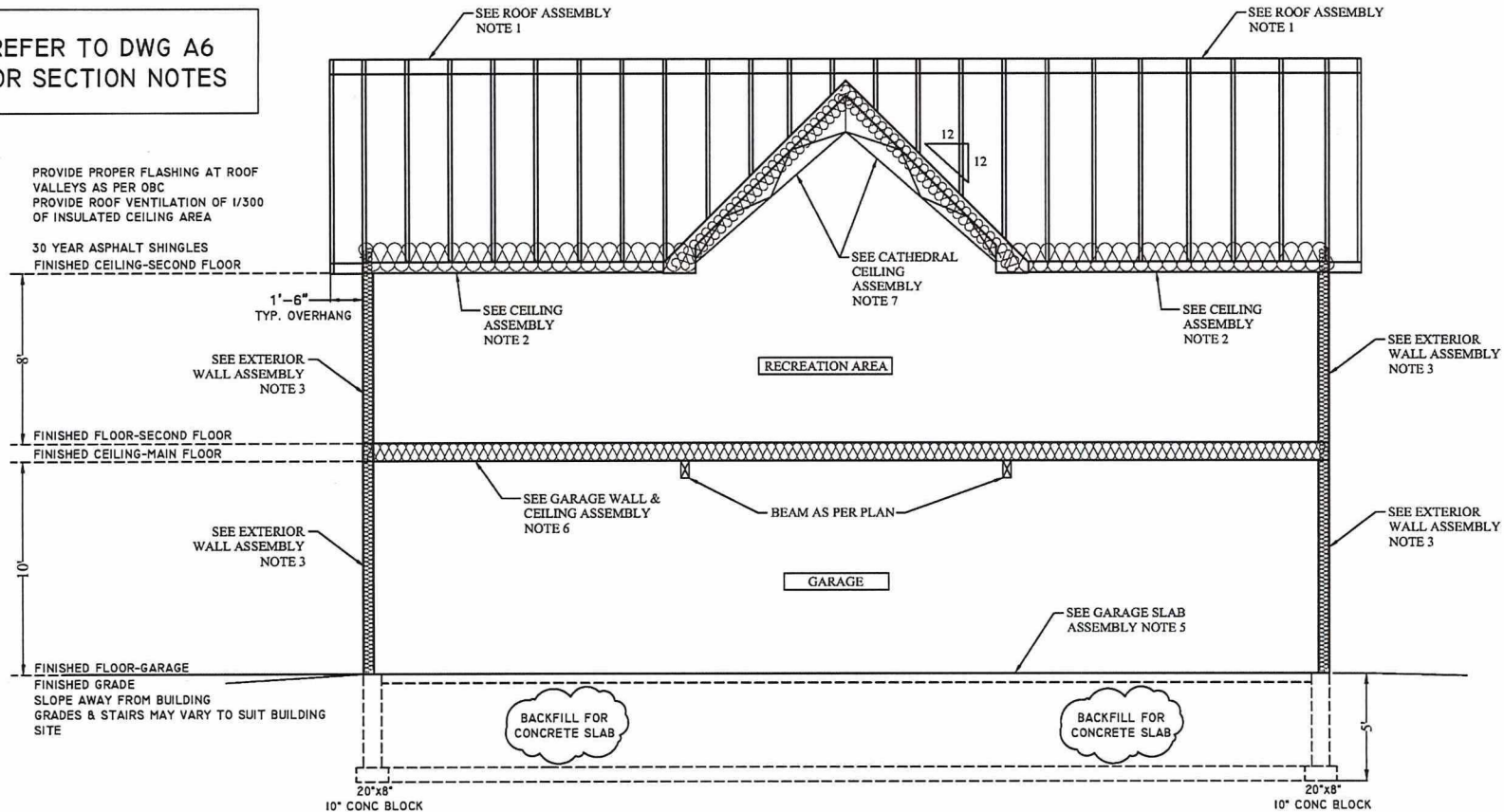
KIMBERLY E. ZARICHNEY
KEZ CAD
3/10/2018 REV
PRINTED: 12/15/2023

PROJECT NO
2026-013
DRAWING TITLE
SECTION A-A

SCALE
AS SHOWN
DATE
JAN 2024
DRAWN BY
KEZ
DWG. NO.
A8

PL-MV-2026-0015
Sketch 11

REFER TO DWG A6
FOR SECTION NOTES



CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND REVISIONS TO THE ONTARIO BUILDING CODE, ELECTRICAL SAFETY CODE, PLUMBING CODE, HEALTH UNIT AND LOCAL BUILDING SERVICES.
- IT SHALL BE THE CONSTRUCTOR'S RESPONSIBILITY TO ENSURE THAT ALL MATERIALS, LABOUR AND ASSEMBLIES CONFORM TO ALL APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. NOTATIONS ON DRAWINGS ARE TO ASSIST THE CONSTRUCTOR AND DO NOT NECESSARILY ADDRESS ALL ASPECTS OF CONSTRUCTION.
- WINDOW AND DOOR DIMENSIONS SHOWN ON DRAWINGS ARE NOMINAL, VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING OPENINGS.
- SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM BUILDING.
- CONSTRUCTOR/OWNER TO ENSURE THAT WEEPING TILE IS NOT CONNECTED TO SEWAGE SYSTEM.
- RESISTANCE TO FORCED ENTRY REQUIREMENTS OF DOORS AND WINDOWS MUST BE PROVIDED AND IN ACCORDANCE WITH SECTIONS 9.6.6 AND 9.7.8 OF THE ONTARIO BUILDING CODE.
- ALL INTERIOR AND EXTERIOR GUARDS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.
- ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL.
- WHERE REBAR CALLS TO BE CONTINUOUS, OVERLAP MIN. 12" AND TIE TOGETHER.
- WHERE GRANULAR MATERIALS/BACKFILL CALLS TO BE COMPACTED, COMPACTION SHALL BE 100% STANDARD PROCTOR DENSITY.
- DO NOT BACKFILL UNTIL FLOOR FRAMING IS IN PLACE AND SECURE.
- ALL CONCRETE SHALL BE 20 MPA.
- ALL LUMBER SHALL BE GRADED AND STAMPED.
- ALL NAILING SHALL CONFORM TO TABLE 9.23.2.4 OF THE ONTARIO BUILDING CODE.
- PROVIDE JOIST HANGERS AT ALL LOCATIONS WHERE A WOOD MEMBER FRAMES ONTO ANOTHER.

SECTION B-B

3/16"=1'0"



KIMBERLY E. ZARICHNEY
KEZ CAD
1515 DUNDAS ST. W.
TORONTO, ONT. M6J 1B5

PROJECT TITLE
1405 CAWTHORPE
DATE
2026-013
DRAWING TITLE
SECTION B-B

SCALE
AS SHOWN
DATE
JAN 2026
DRAWN BY
KEZ

DWG. No.

DWG. No.
A9

PL-MV-2026-00115
Sketch 12



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00117

APPLICATION SUMMARY

File Date: 08/13/2026

Application Type: Minor Variance

Address(es): 0 MacLennan Drive, Sudbury, Ontario

Applicant(s): JULIE HINSE AND EDWARD BRITT

Owner(s): CITY OF GREATER SUDBURY

PLANNING APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

441 MacLennan Drive

What is the date the current Owner(s) acquired the property?

June 2025

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-1

Provide a detailed description of what is being proposed

A variance for reduced road frontage.

We have entered into an Agreement of Purchase and Sale with the City to acquire a portion of the unopened road allowance adjacent to our property. This acquisition will provide road frontage on MacLennan Drive, which is a key requirement for future development. Once completed, it will facilitate the development of our property at 441 MacLennan Drive.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

45m of road frontage is required.

We have entered into an Agreement of Purchase and Sale with the City to acquire a portion of the unopened road allowance adjacent to our property. This acquisition will provide road frontage on MacLennan Drive, which is a key requirement for future development. Once completed, it will facilitate the development of our property at 441 MacLennan Drive.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

17.98

Lot Depth of the property

50.0

Lot Area of the property

3344.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

0

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

vacant land

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

mixed vacant land and residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system

☐

Municipally owned and operated sanitary sewage system

☐

Lake

☐

Pit Privy

☐

Individual Well

☒

Communal Well

☐

Individual Septic System

☒

Communal Septic System

☐

Other

☐

Explain Other

PROPERTY ACCESS

Provincial highway

☐

Right-of-way

☐

Municipal road that is maintained seasonally

☐

Municipal road that is maintained year-round

☒

Water

☐

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

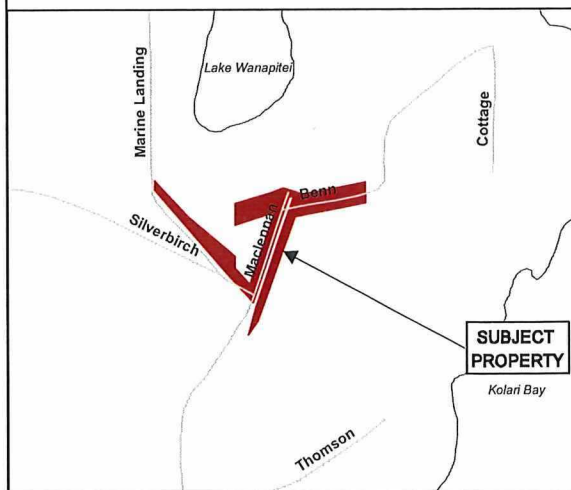
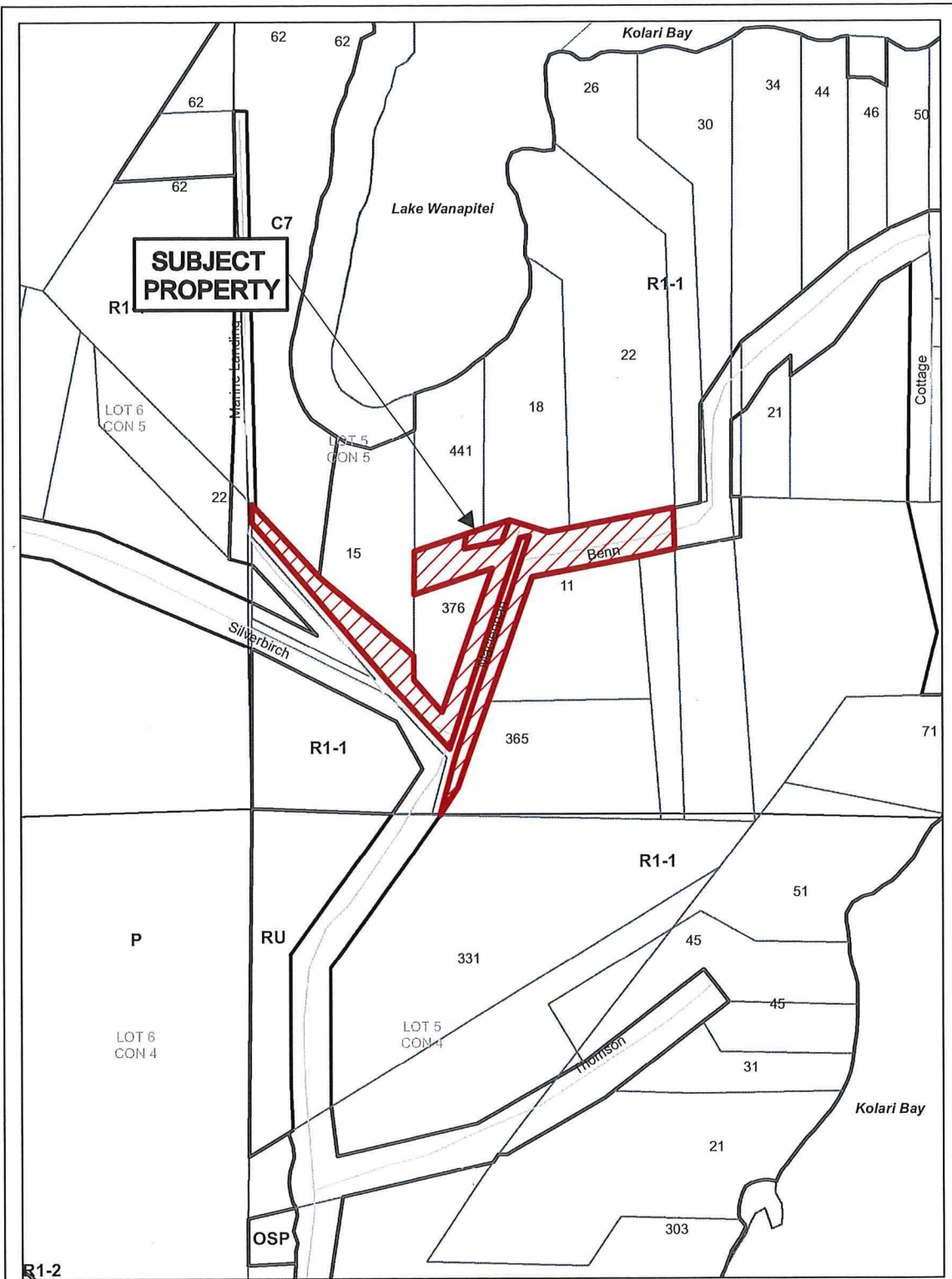
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
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ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Road frontage	45 m	18 m	27 m



Application for Minor Variance or Permission



Subject Property being PIN 73513-0417 and 73513-0089,
Firstly: Part Lot 5, Concession 5, Parts 8, 9, 10 and 15,
Plan 53R-11000 and Part Lot 28, Plan M-137, Part 16, and 18,
Plan 53R-11000, except Parts 1 and 2, Plan 53R-18004;
Secondly: Parcel 53306 SEC SES, Part Lot 28, Plan M-127,
Part 17, Plan 53R-11000, Township of MacLennan,
Unopened Road Allowance of Benn Drive, Skead,
0 MacLennan Drive, Skead,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00117
Date: 2026 08 28



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00118

APPLICATION SUMMARY

File Date: 08/13/2026

Application Type: Minor Variance

Address(es): 208 Lourdes Street, Sudbury P3B 2V5

Applicant(s): OTTO ROST

Owner(s): OTTO ROST AND THERESA ROST

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2006

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
Sudbury Urban Core, Ramey Watershed

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R2-2

Provide a detailed description of what is being proposed
Reduced front yard setback

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
Demo and rebuild house with new portion being built in required front yard

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
32

Lot Depth of the property
17.07

Lot Area of the property
412

Total width of the public road giving access to the property
20

List all buildings and structures on the property and their respective date of construction
House 1935
Garage 2010

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
Residential

Is the use remaining the same? If no, please provide the proposed new use
Same

Existing uses of neighbouring properties
Residential

Has the property ever been subject of a previous application for minor variance/permission?
Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- | | |
|---|-------------------------------------|
| Municipally owned and operated piped water system | ☒ |
| Municipally owned and operated sanitary sewage system | ☒ |
| Lake | ☐ |
| Pit Privy | ☐ |
| Individual Well | ☐ |
| Communal Well | ☐ |
| Individual Septic System | ☐ |
| Communal Septic System | ☐ |
| Other | ☐ |
| Explain Other | |

PROPERTY ACCESS

- | | |
|--|-------------------------------------|
| Provincial highway | ☐ |
| Right-of-way | ☐ |
| Municipal road that is maintained seasonally | ☐ |
| Municipal road that is maintained year-round | ☒ |
| Water | ☐ |

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

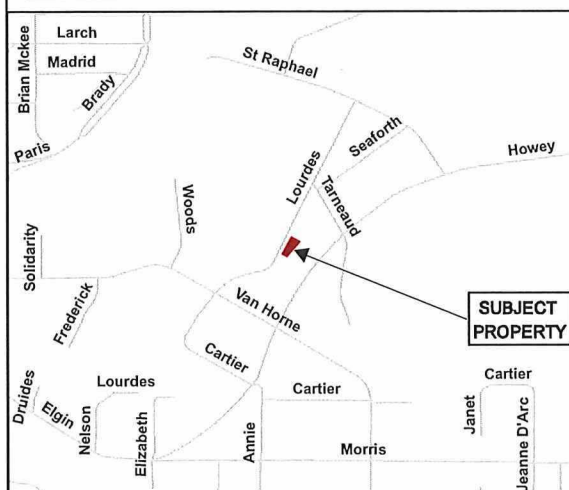
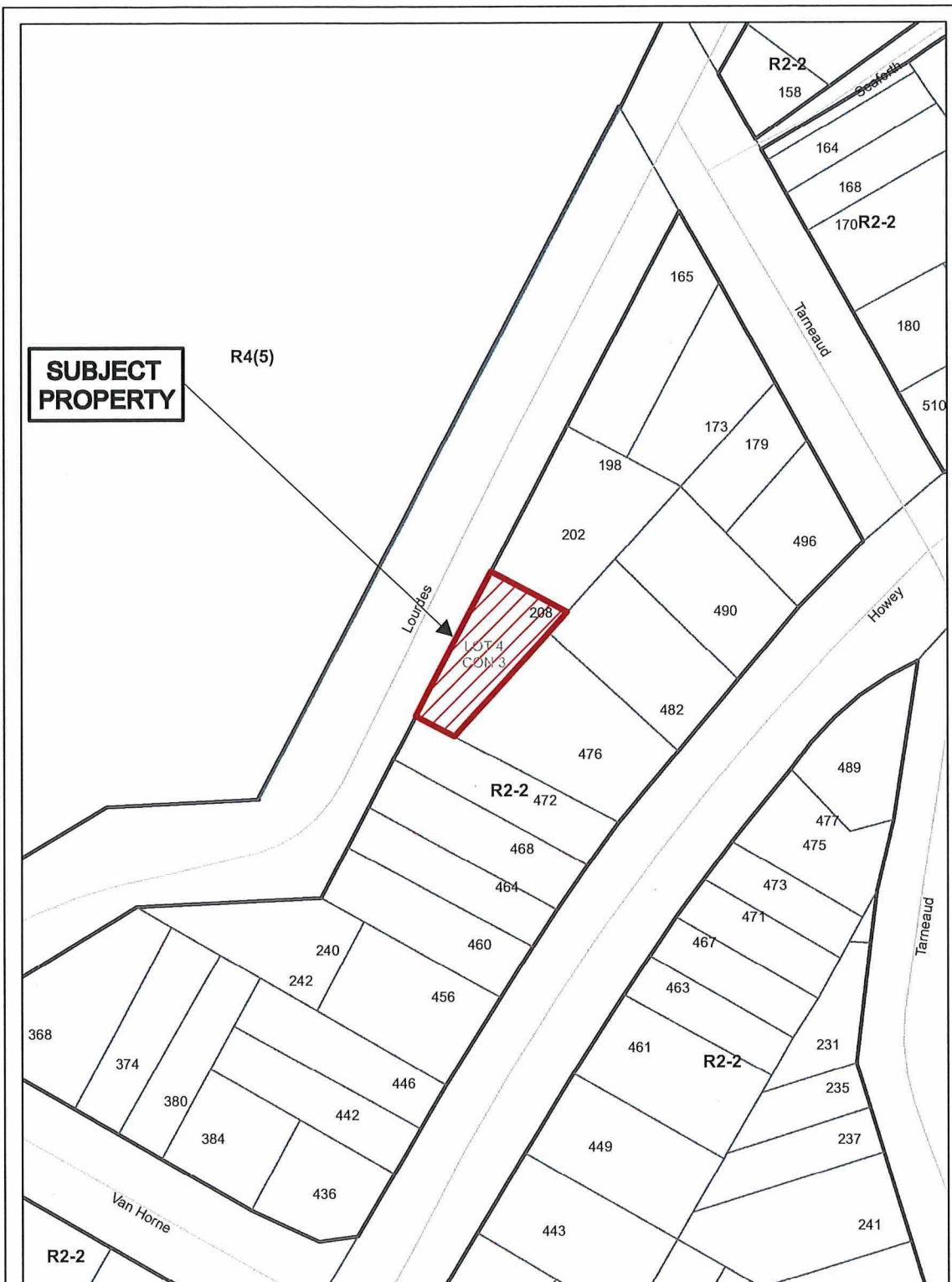
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
House	No	92.7	92.7	1	9.14	10.94	5.7	4.18	0.24	0.33	18.66

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	Yes	74	74	1	9.14	9.4	6	4.39	0.06	0.33	19.0
Garage	No	50.9	50.9	1	6.96	7.31	4.1	1.29	2	21.6	3.25

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Increased gross floor area in required front yard	not permitted	Permit 5m2	5m2
Increased lot coverage in required front yard	not permitted	permit 5m2	5m2
Eaves	May encroach 1.2 m into the required yard but not closer than 0.6 m to the lot line.	permit eaves to project 0.61m into the 4.18m front yard	n/a



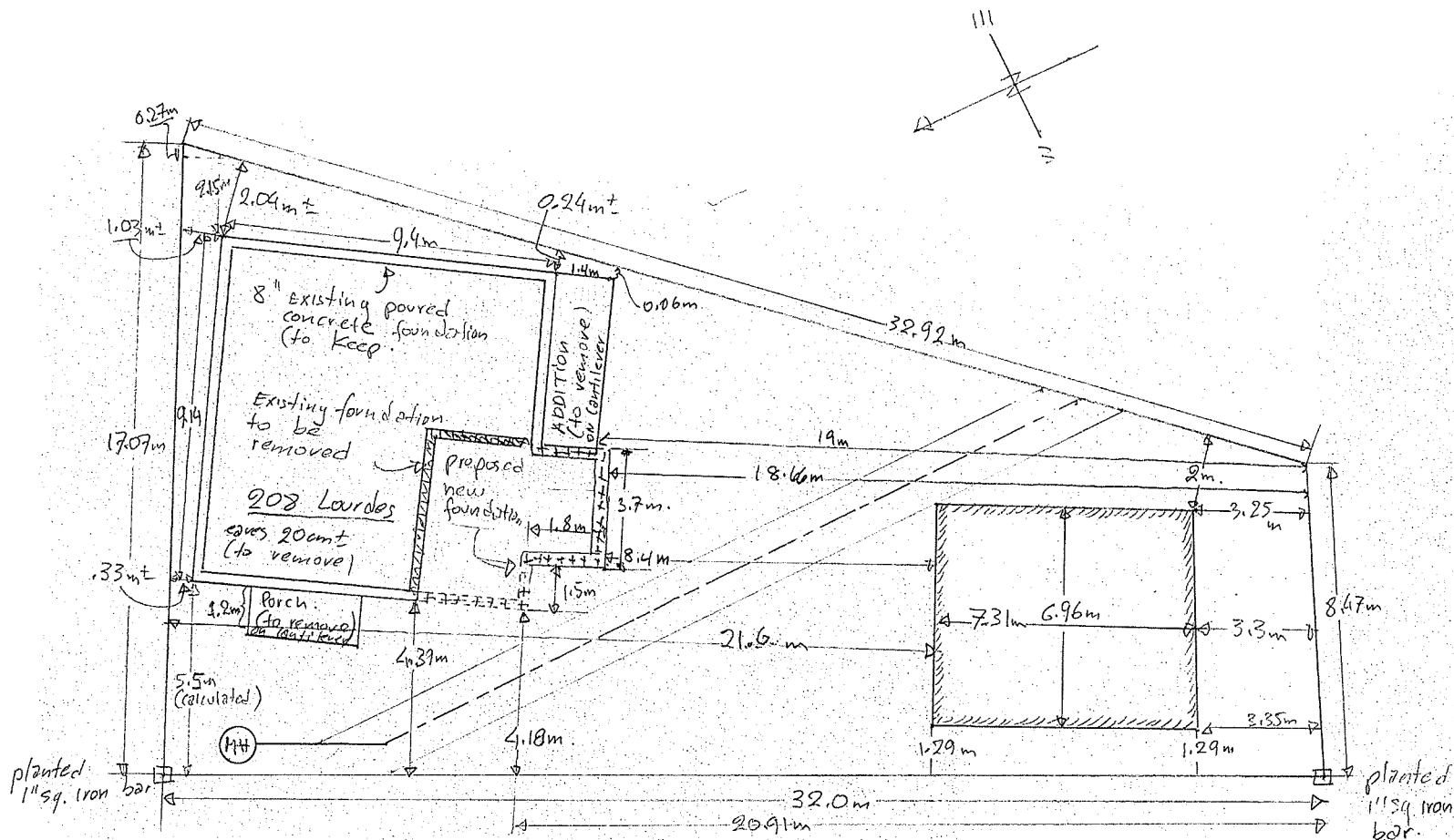
Application for Minor Variance or Permission



Subject Property being PIN 73583-0123,
Part Lot 4, Concession 3,
Part Lot 57, Plan 24S, as in S71460,
Township of McKim,
208 Lourdes Street, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00118
Date: 2026 08 17



Lourdes st

PL-MV-2026-00118
SKETCH 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00119

APPLICATION SUMMARY

File Date: 08/13/2026

Application Type: Minor Variance

Address(es): 1920 Gravel Drive, Val Therese P3P 1R7

Applicant(s): A.L. PERMITS

Owner(s): RAYANNE HENRI AND JACQUELINE HENRI

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2017

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

2

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

PROPERTY OWNER PROPOSES TO CONSTRUCT NEW DWELLING AND CHANGE USE OF EXISTING DWELLING TO ADU

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

EXISTING DWELLING IS LOCATED IN THE FRONT YARD OF THE PROPERTY AND CANNOT BE RELOCATED TO REAR OR SIDE YARD AS PER 2010-100Z SECTION 4.2.10(C)

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

30.48

Lot Depth of the property

91.44

Lot Area of the property

2787.07

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

EXISTING SFD 1965

EXISTING GARAGE 1966

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

RESIDENTIAL - UNINTERRUPTED

Is the use remaining the same? If no, please provide the proposed new use

YES

Existing uses of neighbouring properties

RURAL

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- | | |
|---|-------------------------------------|
| Municipally owned and operated piped water system | ☐ |
| Municipally owned and operated sanitary sewage system | ☐ |
| Lake | ☐ |
| Pit Privy | ☐ |
| Individual Well | ☒ |
| Communal Well | ☐ |
| Individual Septic System | ☒ |
| Communal Septic System | ☐ |
| Other | ☐ |
| Explain Other | |

PROPERTY ACCESS

- | | |
|--|-------------------------------------|
| Provincial highway | ☐ |
| Right-of-way | ☐ |
| Municipal road that is maintained seasonally | ☐ |
| Municipal road that is maintained year-round | ☒ |
| Water | ☐ |

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

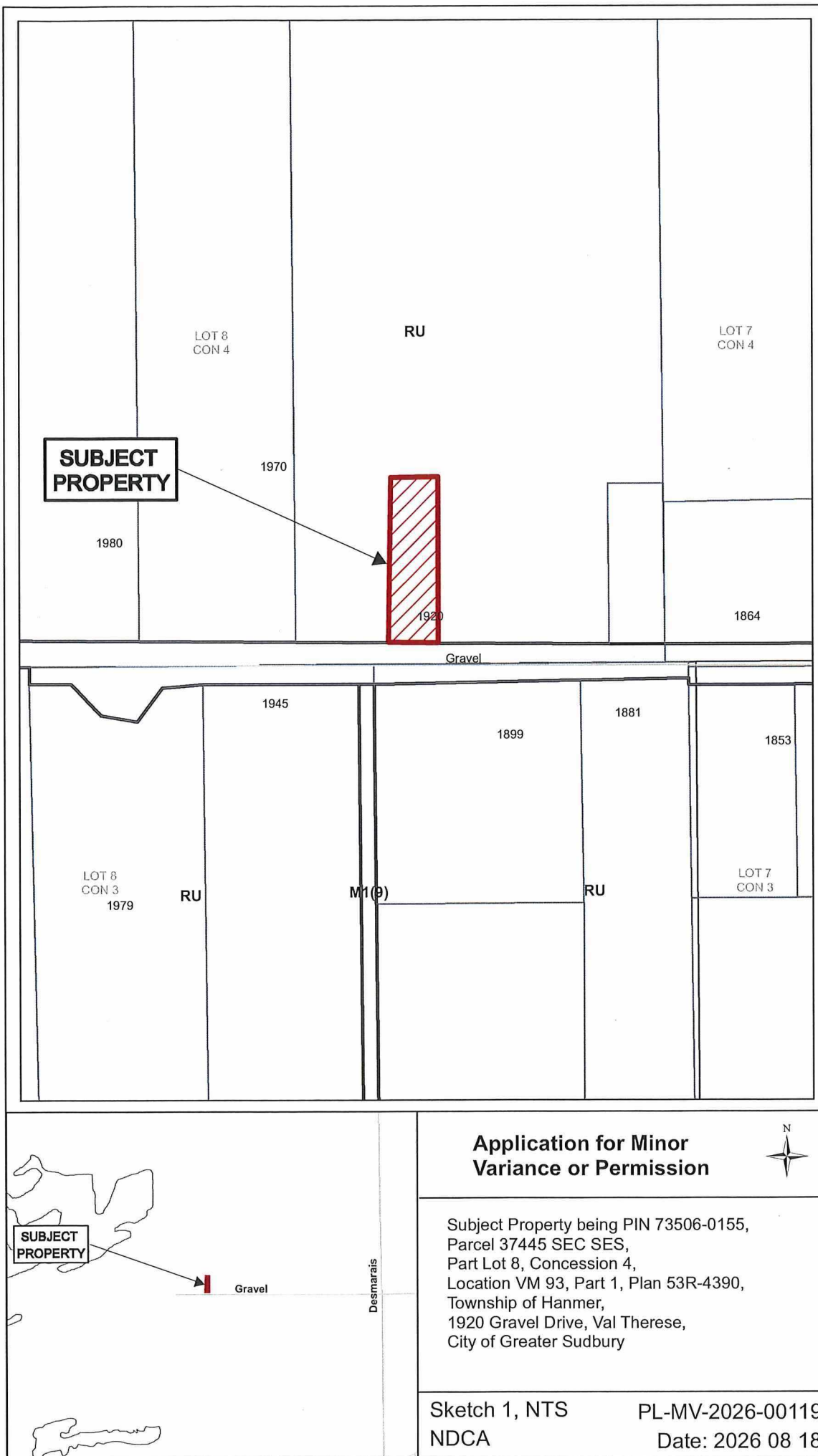
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SFD W/ADU	No	157.28	157.28	1	19.61	8.03	6	49.68	23.53	3.05	6.25

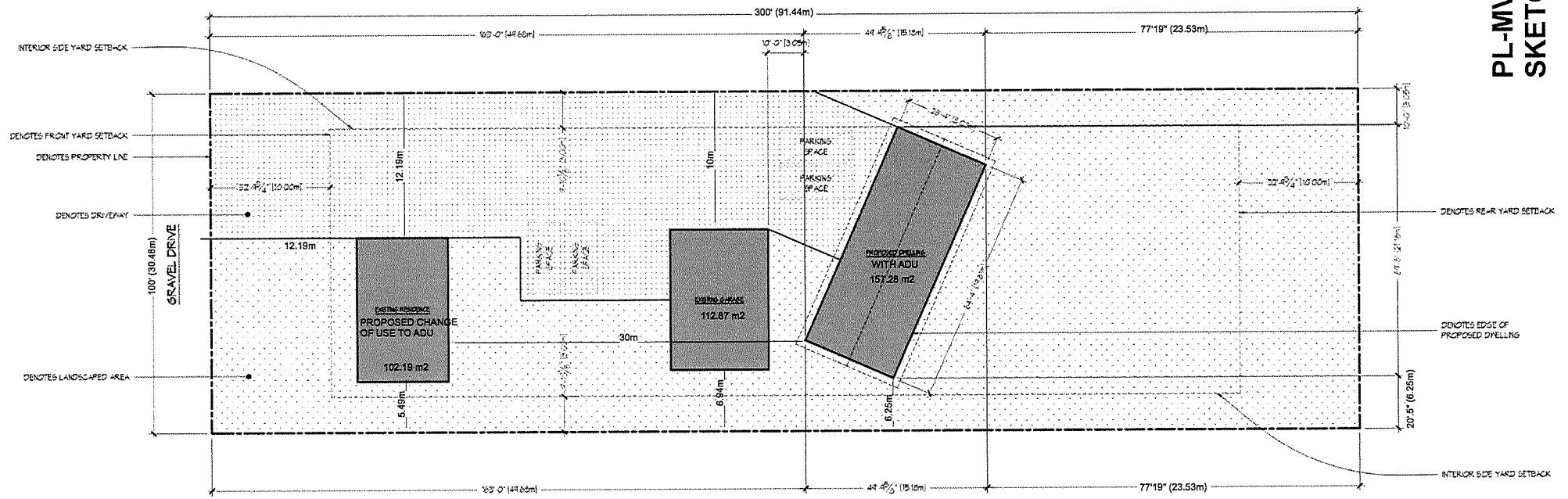
EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
SFD	No	102.19	102.19	1	12.8	7.43	5.48	12.19	68.73	12.19	5.49
DETACHED GARAGE	No	112.87	112.87	1	13.71	8.22	5	37.908	41.76	10	6.94

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.2.10 (C)	ADDITIONAL DWELLING UNITS MAY ONLY BE LOCATED IN THE SIDE OR REAR YARD	FRONT YARD LOCATION	0





PL-MV-2026-00119
SKETCH 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00120

APPLICATION SUMMARY

File Date: 08/14/2026

Application Type: Minor Variance

Address(es): 4702 Deschene Road, Hanmer P3P 1R3

Applicant(s): SAM GUILLEMETTE

Owner(s): SAM GUILLEMETTE AND CAROLE GUILLEMETTE

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Oct 20 2024

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

2

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
WHPA C - Philippe

Current Official Plan designation
Rural

Current Official Plan designation (additional)

Current Zoning By-law designation
RU

Provide a detailed description of what is being proposed
addition of two 12.192 meters storage containers

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
Current by-law states that the storage containers be located "in the backyard". We are requesting that we be allowed to locate these beside the house ("side" yard)

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
105.0

Lot Depth of the property
144.3

Lot Area of the property
20420.0

Total width of the public road giving access to the property
20.0

List all buildings and structures on the property and their respective date of construction
single family one storey home with attached 2 car garage currently under construction

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
Residential... new build is currently on-going

Is the use remaining the same? If no, please provide the proposed new use
Yes

Existing uses of neighbouring properties
residential

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- | | |
|---|-------------------------------------|
| Municipally owned and operated piped water system | ☒ |
| Municipally owned and operated sanitary sewage system | ☐ |
| Lake | ☐ |
| Pit Privy | ☐ |
| Individual Well | ☐ |
| Communal Well | ☐ |
| Individual Septic System | ☒ |
| Communal Septic System | ☐ |
| Other | ☐ |
| Explain Other | |

PROPERTY ACCESS

- | | |
|--|-------------------------------------|
| Provincial highway | ☐ |
| Right-of-way | ☐ |
| Municipal road that is maintained seasonally | ☐ |
| Municipal road that is maintained year-round | ☒ |
| Water | ☐ |

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
12.2m storage container	No	29.7	29.7	1	2.4	12.2	2.9	60.9	67.5	12.2	77
12.2m storage container	No	29.7	29.7	1	2.4	12.2	2.9	60.9	67.5	12.2	77

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single family single storey home	No	278.7	278.7	1	10	31.4	6	60.9	120	39.9	24.4

ZONING BY-LAW RELIEF

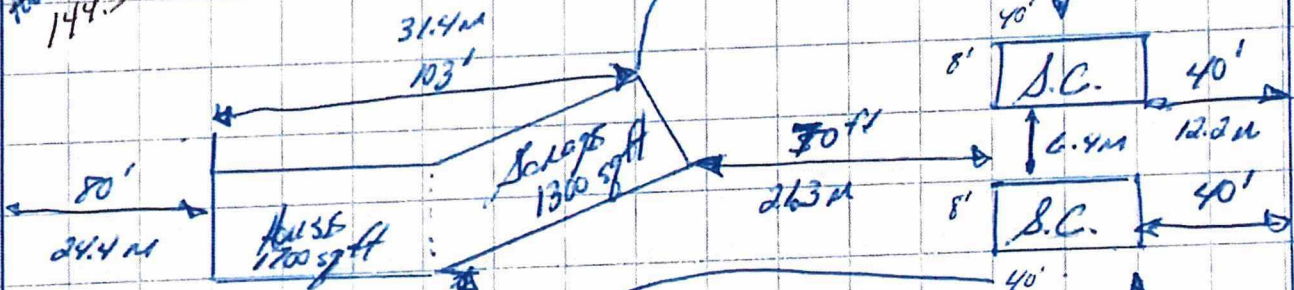
Variance To	By-law Requirement	Proposed (m)	Difference (m)
Request to allow for storage containers to be located in the "side" yard	Current by-law requires the storage containers to be located in the "back" yard	approx 20 meters from "back" yard	20 meters

San Sullamoths
7/23/2006

Trees

348'
~~106.1M~~
67.5M

600'
~~182.8M~~
144.3M



Trees

Driveway

Trees

Trees

20' 6M
345'
Derschows Rd. 105.2M