

Tom Davies Square

200 Brady St

Wednesday, September 15, 2021

PUBLIC HEARINGS

A0113/2021

SHANNON BUBALO ADRIAN BUBALO

Ward: 11

PIN 73577 0544, Parcel 9275, Survey Plan 53R-14167 Part(s) 2, 7, 8, 9, 11, Lot Part 11, Concession 3, Township of Neelon, 2243 Greenwood Drive, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsection 4.41.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the construction of an attached covered deck providing a 7.3m setback from the high water mark of a navigable waterbody, where no person shall erect any residential building or other accessory structure closer than 12.0m to the high water mark of a navigable waterbody.

A0114/2021

SUDBURY APARTMENT RENTALS LIMITED

Ward: 12

PIN 02133 0273, Survey Plan 53R-15887 Part(s) 1, Lot(s) Pt 69 and 70, Subdivision M-53, Lot Pt 6, Concession 4, Township of McKim, 367 Morin Avenue, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 5, Section 5.2, subsection 5.2.9.2 and Section 5.5, Table 5.5 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, in order to legalize an existing multiple dwelling as a fourplex providing firstly, a minimum lot area of 93.0m² per unit, where 140.0m² per unit is required, secondly, a minimum lot frontage of 4.0m, where 18.0 is required, thirdly, a minimum front yard setback of 3.0m, where 6.0m is required, fourthly, a minimum interior side yard setback of 0.0m, where 1.8m is required, fifthly, a minimum drive aisle width of 4.0m, where 6.0m is required, and sixthly, a minimum four (4) parking spaces, where six (6) is required.

A0115/2021

1814610 ONTARIO LIMITED

Ward: 8

PIN 73570 0548, Surveys Plan 53R-19840 Part(s) 1 to 6 & Plan 53R-21099 Part(s) 1, Lot(s) Pt 4, Subdivision 53M-1218, Lot Pt 11, Concession 5, Township of Neelon, 790 Chalmers Street, Sudbury, [2010-100Z, M1(35) (Mixed Light Industrial/Service Commercial)]

For relief from Part 4, Section 4.28, subsection 4.28.1 and Part 5, Section 5.3, Table 5.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to allow for no screening by an opaque fence for the outdoor storage on the east side abutting a rock outcrop measuring a distance of approximately 72.0m, where outdoor storage shall be screened by opaque fencing with a minimum height of 2.2m, and also, to permit an office and warehouse providing seven (7) parking spaces, where twelve (12) are required.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, SEPTEMBER 29, 2021**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only 2021.01.01
A 043/2021
S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Shannon and Adrian Bubalo	Email: [REDACTED]
Mailing Address: 2243 Greenwood Drive	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3B 1A2
	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Justin Sherry	Email: [REDACTED]
Mailing Address: 13 Collier Street, Unit 3	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Barrie	Postal Code: L4M 1H3
	Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name:	
Mailing Address: 13 Collier Street, Unit 3	
City:	Postal Code:

- 4) Current Official Plan designation: _____ Current Zoning By-law designation: _____

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Construction of a covered deck	12m (39'-4")	7.3m (24'-0")	4.7m (15'-4")

- b) Is there an eave encroachment? Yes ☐ No ☒ If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Proposed covered deck towards the lakeside property line

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law.

Existing dwelling location dictates location of the covered deck.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73577-0544 Township: Neelon Ward: _____
 Lot No.: 2 Concession No.: _____ Parcel(s): 9275
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53R-14167 Part(s): 2,7,8,9,11
 Municipal Address or Street(s): 2243 Greenwood Drive

- 7) Date of acquisition of subject land.
- October 8, 2020

- 8) Dimensions of land affected.

Frontage 13.61 (m) Depth 100 (m) Area 1361 (m²) Width of Street 5 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>98.77</u> (m ²)	<u>N/A</u> (m ²)
Gross Floor Area:	<u>98.77</u> (m ²)	_____ (m ²)
No. of storeys:	<u>1</u>	_____
Width:	<u>11.77</u> (m)	_____ (m)
Length:	<u>11.13</u> (m)	_____ (m)
Height:	<u>7.97</u> (m)	_____ (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>REFERTO SITE PLAN</u> (m)	<u>REFERTO SITE PLAN</u> (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system _____
 Lake _____
 Individual Well _____
 Communal Well _____
 Individual Septic System _____
 Communal Septic System _____
 Pit Privy _____
 Municipal Sewers/Ditches/Swales _____

- What type of access to the land?

Provincial Highway _____
 Municipal Road _____
 Maintained Yearly _____
 Maintained Seasonal _____
 Right-of-way _____
 Water _____
 If access is by water only, provide parking and docking facilities to be used. _____

- 12) Date(s) of construction of all buildings and structures on the subject land.

Unknown

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: To Present

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, _____

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?

Yes ☐ No ☒

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- Residential

APM 3/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Adrian and Shannon Bubalo (please print all names), the registered owner(s) of the property described as 2243 Greenwood Drive in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Justin Sherry Design Studio (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18 day of August, 20 21

(witness) Nia Sian Lewis

signature of Owner(s) or Signing Officer or Authorized Agent Justin Sherry

Print Name: Justin Sherry

*I have authority to bind the Corporation

Nia Sian Lewis,
a Commissioner, etc.,
Province of Ontario,
for the City of Greater Sudbury.
Expires May 20, 2023.

AD113/2021

I/We, Shannon and Adrian Bubalo (please print all names),
the registered owner(s) or authorized agent of the property described as 2243 Greenwood Drive

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this August 19th day of 18 August, 2021

Ma Lewis
Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

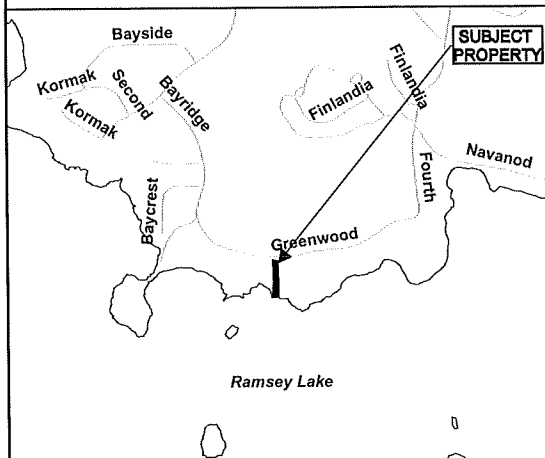
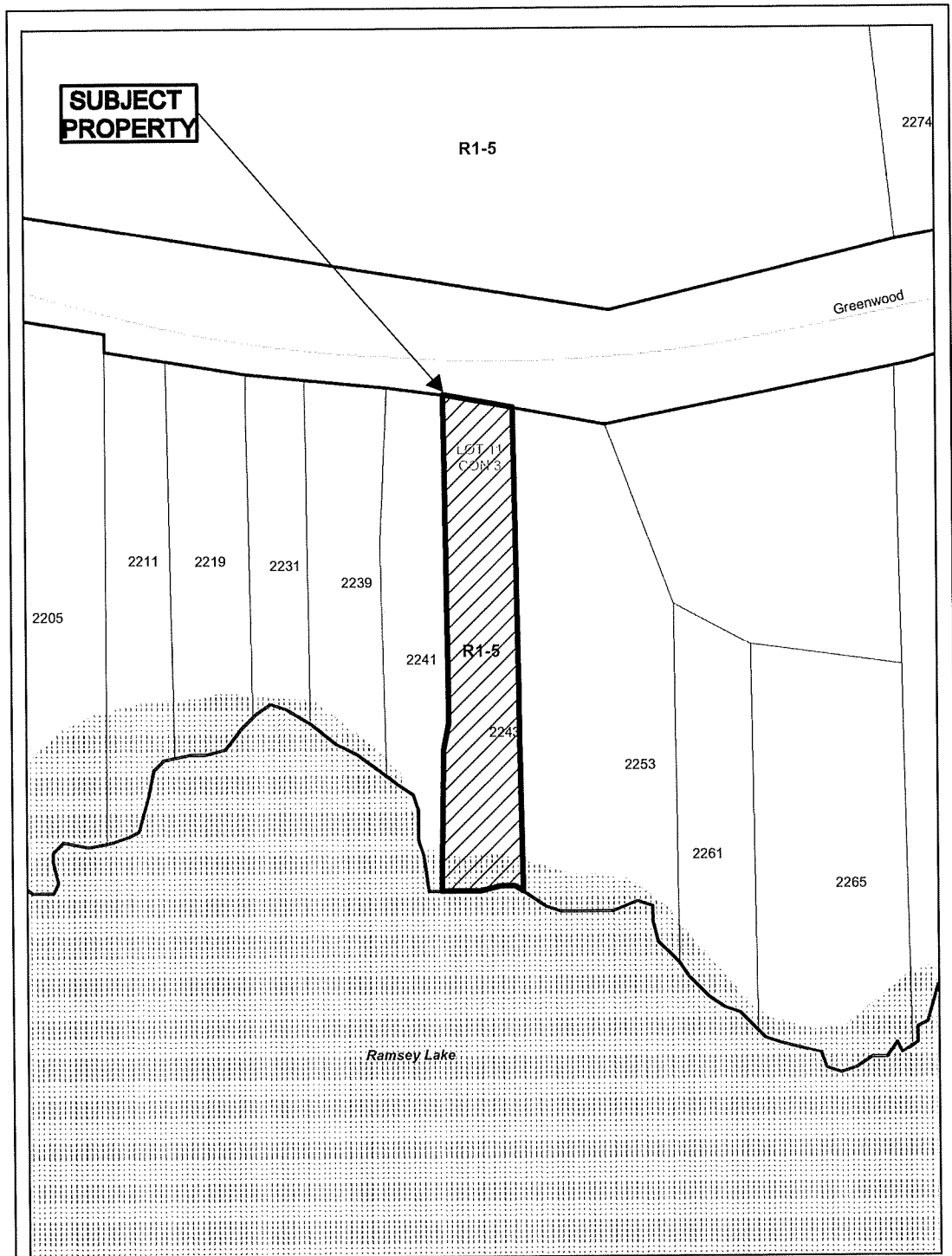
Print Name: _____
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Aug. 19/21 Hearing Date: 15 Sept 2021 Received By: N. Lewis
Zoning Designation: R1-5 Resubmission: Yes (No)
Previous File Number(s): B0306/1991
Previous Hearing Date: Sept. 9, 1991
Notes:

AO 113/2021



Application for Minor Variance or Permission




Subject Property being PIN 73577-0544,
Parcel 9275, Parts 2, 7, 8, 9, and 11, Plan 53R-14167,
Part Lot 11, Concession 3, Township of Neelon,
2243 Greenwood Drive, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA Watershed

A113/2021
Date: 2021 08 25

PIN 73577-0329

PLAN OF TOPOGRAPHICAL SURVEY OF
PART OF LOT 11
CONCESSION 3
GEOGRAPHIC
TOWNSHIP OF NEELON
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
SCALE 1:100



D.S. DORLAND LIMITED
ONTARIO LAND SURVEYORS

[illegible]

GENERAL LEGEND

○ BP	BOARDS BELL POLE
○ TR	BOARDS TRANSFORMER POLE
— AN	BOARDS UTILITY POLE ANCHOR
○ MH	BOARDS MANHOLE
○ WY	BOARDS WATER VALVE
○ HYD	BOARDS FIRE HYDRANT
— E	BOARDS OVERHEAD UTILITY LINE

REVISED

AUG 03 2021

City of Greater Sudbury
BUILDING DEPT.
These drawings
have been reviewed
purpose of obtaining

AUG 16 2021

NO. 21-1197
SIGNED: [Signature]

WATER NOTE
SAFETY LAKE IS AN ARTIFICIALLY CONTROLLED LAKE

GENERAL NOTES
REFER TO SPOT ELEVATIONS FOR EXACT GRADING ELEVATIONS WHICH
ARE SHOWN T.O.S. @ 247.00
CONTAIN INTERVAL = 0.5 METERS
THIS PLAN IS NOT VALID UNLESS SEALED.

BENCHMARK NOTES
ELEVATIONS SHOWN HEREIN HAVE BEEN OBTAINED USING
STATE-OF-THE-ART REAL TIME KINEMATIC GPS OBSERVATIONS WHICH
ARE DIRECTLY RELATED TO THE GEASD CLIPSHED OF 194523
(POINT 2002) AND HAVE BEEN CORRECTED TO GEASD 1985
USING THE 2.8 SECOND HEIGHT TRANSFORMATION AS
PROVIDED BY NATURAL RESOURCES CANADA

THE SITE BENCHMARK IS THE CITY OF GRENOBLE SLOBBY
BENCH MARK. THE BENCHMARK HAVING A PUBLISHED ELEVATION
OF 2111.01 M. THIS BENCHMARK IS LOCATED ON THE
NORTH SIDE OF GRENOBLE DRIVE, ACROSS FROM THE DRIVEWAY
FOR MUNICIPAL PL. 2241 AS IT IS 604 STANLEY ST. BOLT

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1) THE SURVEY WAS COMPLETED ON THE 11th, DAY OF
DECEMBER, 2020.

SLEBURY, ONTARIO

METRIC NOTE
DISTANCES & ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

THIS IS NOT
AN ORIGINAL
COPY UNLESS
IT IS EMBOSSED
WITH THE
SURVEYOR'S
SEAL

A0113/2021
Sketch #2

305 PUGH WAY EGYPT, MISSISSAUGA, ONTARIO M3H 5T4 THIS PLAN IS VALID IN OR PART THEREOF THE WRITTEN PERMISSION OF D.S. DORLAND LTD. (C) D.S. DORLAND LTD. 2002	
D.S. DORLAND LIMITED	ONTARIO LAND SURVEYORS REGISTRATION PROFESSIONALS
305 LAURE STREET MISSISSAUGA, ONTARIO, L5B 5H1 PHONE (705) 870-2558 FAX (705) 873-1001 WWW.DSDORLANDLTD.COM	
PROVIDED BY: NEW DATED: 1998 DATE: 15 JANUARY 01, 2002	SCALE: 1/8" = 1'-0" FILE NO: 10-04-1054-10 P. 1 OF 24: 10-04-1054-10

RAMSEY LAKE

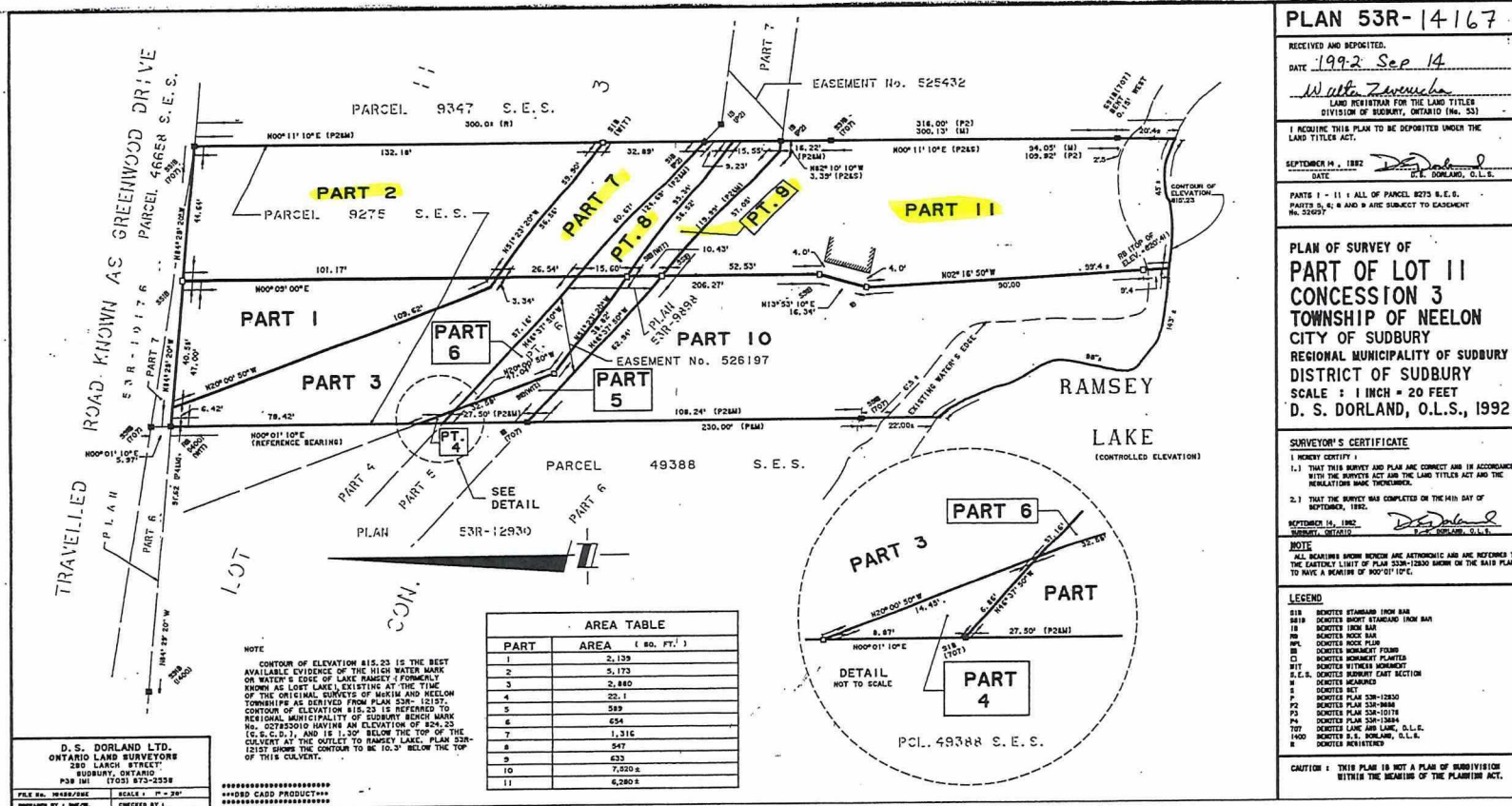
TOPOGRAPHIC SURVEY

SECRET OUTWFO

REVISIONS / AMENDMENTS

RECEIVED
AUG 03 2021
Building Services

A0113/2021
Sketch #3





Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only 2020.01.01
A 044/2021
S.P.P. AREA YES ____ NO ____
NDCA REG. AREA YES ____ NO ____

APPLICATION FEE: \$960.00 (includes \$230.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$292.00 (includes \$230.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): SUDBURY APARTMENT RENTALS LIMITED	Email: [REDACTED]
Mailing Address:	Home Phone:
	Business Phone:
City: Sudbury	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH	Email: [REDACTED]
Mailing Address: 1942 Regent Street Unit L	Home Phone:
	Business Phone: [REDACTED]
City: Sudbury	Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SUDBURY APARTMENT RENTALS LIMITED
Mailing Address:
City: Postal Code:

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
See attached schedule			

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Minor variances required to legalize the fourth dwelling unit on lot 70.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Existing parking area/access via laneway and frontage is currently undersized/do not benefit from required road frontage along Morin Street (see site photos attached).

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 021330273 Township: MCKIM Ward: 12
 Lot No.: 70 Concession No.: Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: Part(s):
 Municipal Address or Street(s): MORIN AVENUE, 367

- 7) Date of acquisition of subject land, 02/07/2020

- 8) Dimensions of land affected.

Frontage ± 4.0 (m) Depth ± 36.70 (m) Area ± 372.6 (m²) Width of Street ± 10 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	N/A (m ²)	No new development proposed. (m ²)
Gross Floor Area:	" (m ²)	" (m ²)
No. of storeys:	2	"
Width:	N/A (m)	" (m)
Length:	" (m)	" (m)
Height:	" (m)	" (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	See sketch (m)	No new development (m)
Rear:	" (m)	" (m)
Side:	" (m)	" (m)
Side:	" (m)	" (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

N/A

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 30+ years

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or,

- 15) What is the number of dwelling units on the property? 4 (LOT 70)

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: Open Space and Residential

A0114/2021

PAGE 3 OF 4

If "yes," indicate the application number(s);
or, describe briefly.

If "yes", indicate application number(s) and status of application(s).

if "Yes", indicate application number(s) and status of application(s):

If "yes", provide details on how the property is designated in the Source Protection Plan

1978 SUDBURY APARTMENT RENTALS LIMITED

Collection, Use and Disclosure of Information:
a) acknowledge that

- Collection, Use and Disclosure of Information:**
- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act, R.S.O. 1990, c.P.13* for the purpose of processing this planning application;
 - acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act, R.S.O. 1990, c.P.13*, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
 - in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
 - grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application.
- Authority to Release:

2) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;

- I) acknowledge that, in the event of a third party appeal of this application (where applicable, to the Local Planning Appeal Tribunal), the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing.

g) appoint and authorize TULLOCH

- g) appoint and authorize TULLOCH
name of Agent, to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and fully confirm, and accept as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf. (Please print)

Dated this 12 day of Aug, 2021.

~~Witness~~

Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: John Michael Aguirre

"I have authority to bind the Corporation

AO14/2021

I/We, TULLOCH

____ (please print all names),

the registered owner(s) or authorized agent of the property described as

CONSOLIDATION OF VARIOUS PROPERTIES FIRSTLY: LOT 70 PLAN M53; CITY OF SUDBURY *** SECONDLY, PART LOT 69 PLAN M53 DESIGNATED AS PART 1 ON PLAN 53R15587; CITY OF SUDBURY & LOT 69 ON PLAN M-53 EXCEPTING PART 1 ON 53R-15587. TOWNSHIP OF MCKIN, CITY OF SUDBURY, PCL 1896A SEC SES LOT 68, PLAN M53 CITY OF SUDBURY

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this

13

day of

Aug

20

David Glen Tulloch
a Commissioner, etc., Province of Ontario,
for TULLOCH Engineering Inc.
Expires Feb 20th, 2024

Day Talker 1

Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name:

Kevin Jason

*I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Aug. 14/21 Hearing Date: Sept. 15/21

Received By: N. Lewis

Zoning Designation: R2-3 Resubmission: ☐ Yes ☒ No

Previous File Number(s): B0222/1996

Previous Hearing Date: January 6, 1997

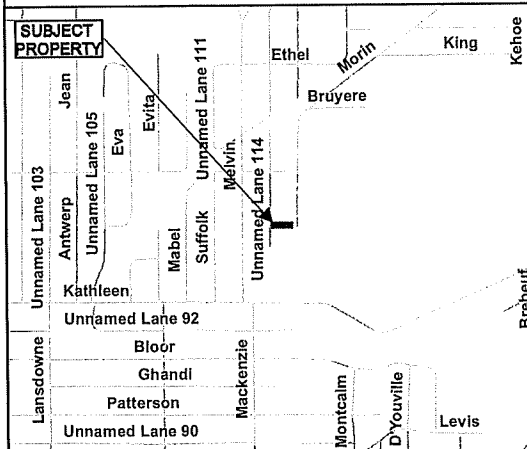
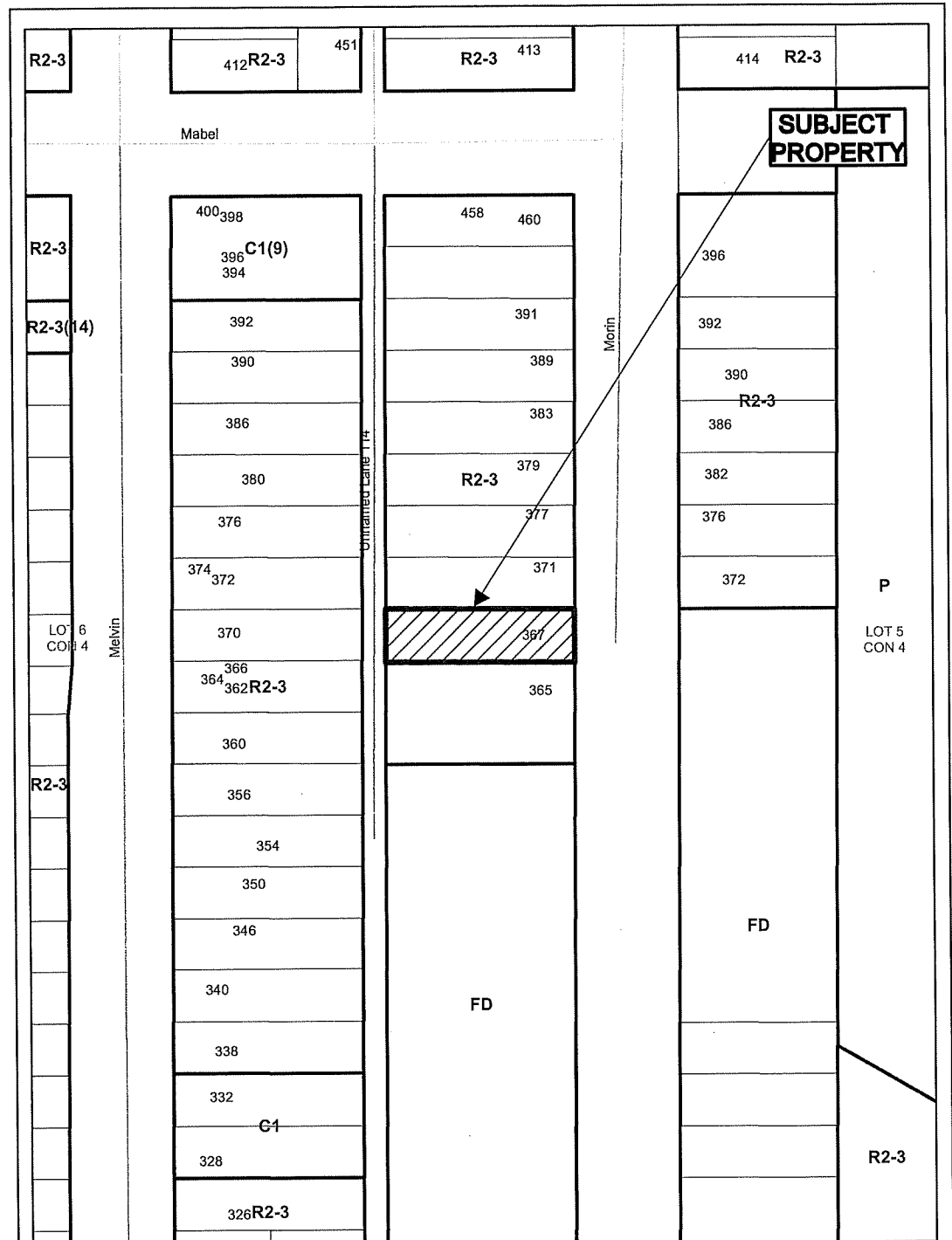
Notes:

10/14/2021

Relief Schedule

Variance To	By-law Requirement	Proposed	Difference
Reduce Lot Frontage	18.0m	4.0m	14.0m
Reduce Drive Aisle Width (Lot 70)	6.0m	4.0m	2.0m
Reduced lot area	140.0m ² per unit	93m ² per unit	47.0m ² per unit
Parking spaces	1.5 per unit (6 spaces)	1.0 per unit (4 spaces)	2 spaces
Interior Side Yard Setback	1.8m	0.0m	1.8m
Front Yard Setback	6.0m	3.0m	3.0m

APR 14/2021



Application for Minor Variance or Permission



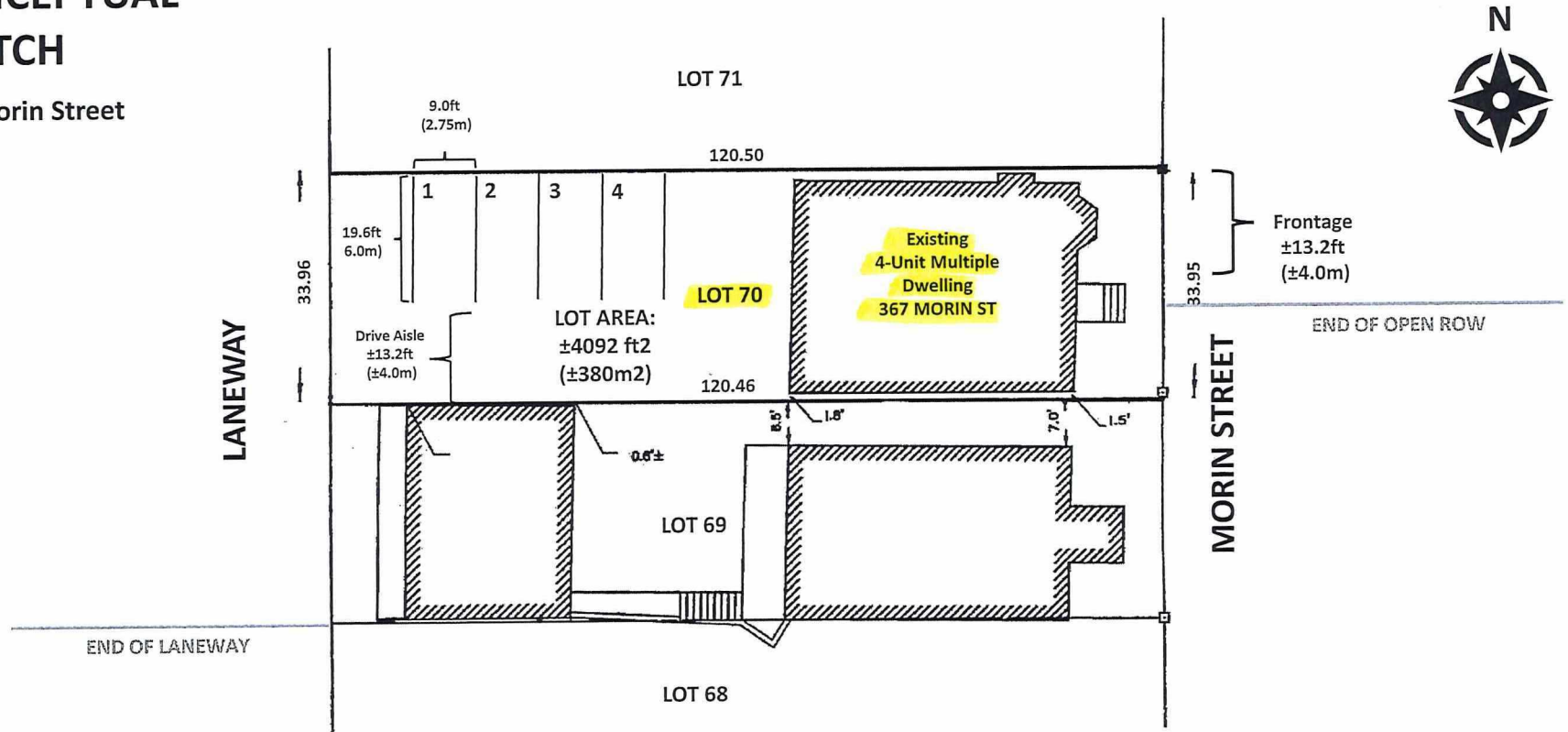
Subject Property being PIN 02133-0273,
Part Lot 69 & Lot 70, Plan M-53,
Designated as Part 1, Plan 53R-15887,
Part Lot 6, Concession 4, Township of McKim,
367 Morin Ave, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA Watershed

A114/2021
Date: 2021 08 27

CONCEPTUAL SKETCH

367 Morin Street



*Drawing is shown in feet and can be converted into metres by dividing by 0.3048

April 4/2021
Sketch 2

Site Photos



Figure 1: Image showing 365 & 367 Morin Street



Figure 2: Image showing end of Morin Street

A0114/2021
Sketch 3



Figure 3: Image of Laneway/ Rear of 365 & 367 Morin Street



Figure 4: Rear of 365 & 367 Morin Street via Laneway

A0114/2021
sketch 4



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only	
A 0415/2021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) **\$1270.00**
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): 1814610 Ontario Limited	Email: [REDACTED]
Mailing Address: 790 Chalmers Street	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Fax Phone: [REDACTED]
Postal Code: P3A 5K8	

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: R.V. Anderson Associates Limited	Email: [REDACTED]
Mailing Address: 436 Westmount Ave.	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Fax Phone: [REDACTED]
Postal Code: P3A 5Z8	

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name:	
Mailing Address: 436 Westmount Ave.	
City:	Postal Code:

- 4) Current Official Plan designation: _____ Current Zoning By-law designation: **M1 (35)**

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Reduce parking space	12	7	5
Eliminate need for opaque fence in area with rock outcrop	2.2m opaque fence around storage area	Eliminate fence around rock	

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
Request to reduce parking space requirements from 12 to 7 spaces.
Request to eliminate opaque fence around natural rock outcrop.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Business does not require parking space as it is a warehouse with limited employees and the general public does not come on site.
Rock outcrop provides visual barrier into site, Owner owns the entire rock outcrop. Rock outcrop is natural with no sheer faces, therefore no risk of falling. Land use has not changes with acquisition of land.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73573-0528 Township: Neelon Ward:
 Lot No.: 11 (Part) Concession No.: 5 Parcel(s):
 Subdivision Plan No.: 53M-1218 Lot: 4 (Part) Reference Plan No.: 53R-19840 Part(s): 1 to 6
 Municipal Address or Street(s): 790 Chalmers Street 53R-21099, Part 1

- 7) Date of acquisition of subject land. May 2013 / May 2019

- 8) Dimensions of land affected.

Frontage 15 (m) Depth 140.5 (m) Area 12,049 (m²) Width of Street 10 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	620 (m ²)	(m ²)
Gross Floor Area:	710 (m ²)	(m ²)
No. of storeys:	1	
Width:	22.8 (m)	(m)
Length:	24.4 (m)	(m)
Height:	(m)	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	26.32 (m)	(m)
Rear:	85.6 (m)	(m)
Side:	35.5 (m)	(m)
Side:	6.38 (m)	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

2017

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): warehouse storage Length of time: 4 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or,

- 15) What is the number of dwelling units on the property? 0

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Mixed Light Industrial/Service Commercial, Business Industrial

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☒ Yes ☐ No

If "yes", indicate the application number(s): _____
or, describe briefly, Parking Reduction from 12 spaces to 9 spaces which was previously approved

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, 1814610 Ontario Limited (Vianet) (please print all
names), the registered owner(s) of the property described as 790 Chalmers Street
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize R.V. Anderson Associates Limited (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 20 day of August, 2021

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: WILL GASTELGER

*I have authority to bind the Corporation

I/We, 1814610 Ontario Limited (please print all names),

the registered owner(s) or authorized agent of the property described as 790 Chalmers Street, Sudbury

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 20 day of August, 2021

Maureen
Commissioner of Oaths

**Nia Sian Lewis,
a Commissioner, etc.,
Province of Ontario,
for the City of Greater Sudbury.
Expires May 20, 2023.**


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: WILL GASTRIGER
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

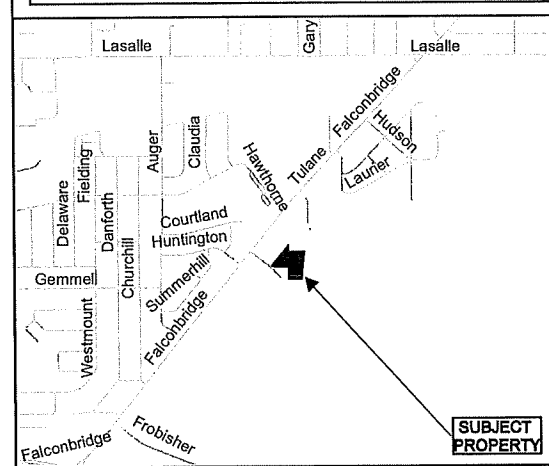
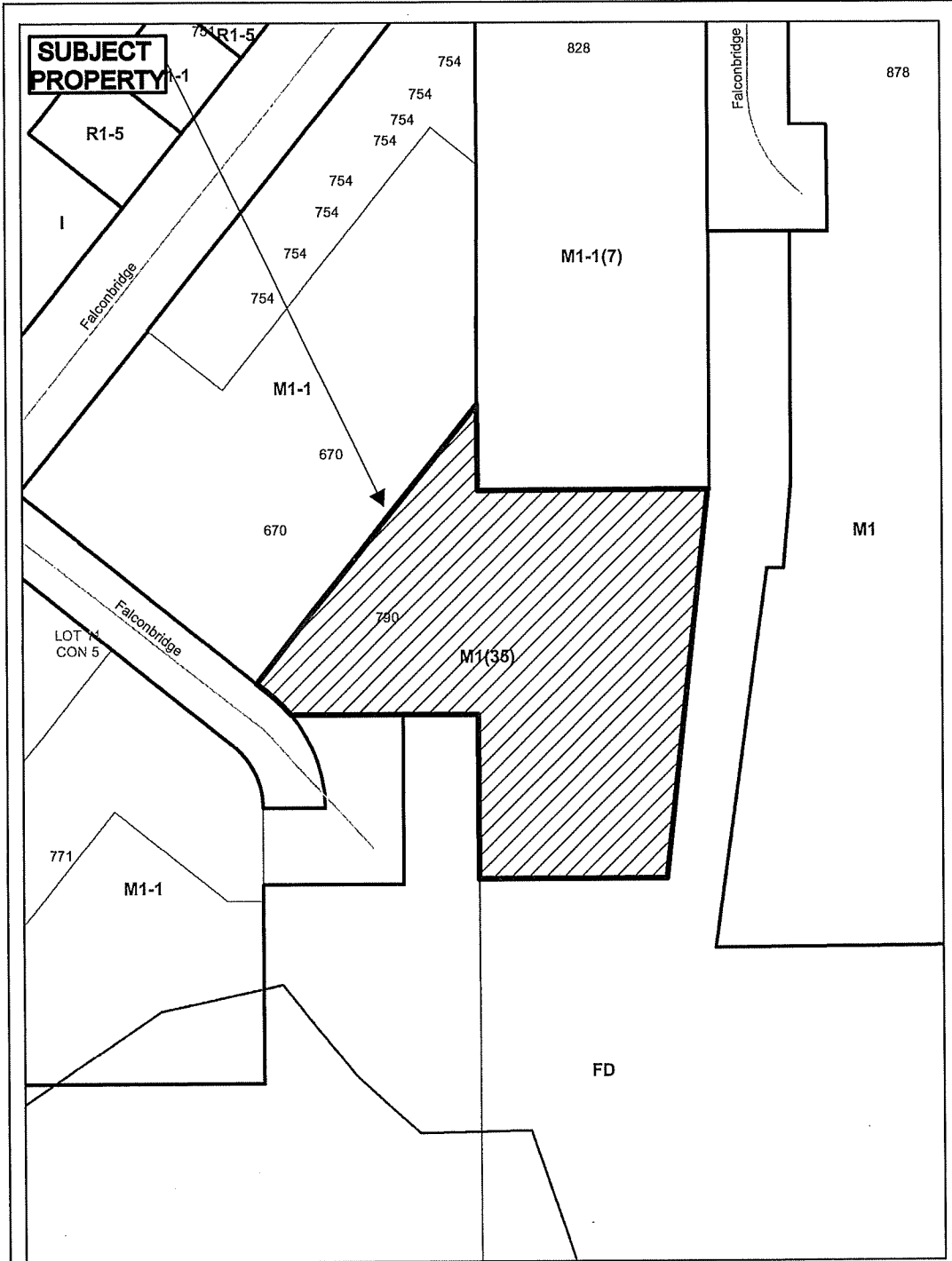
Date of Receipt: Aug 20/21 Hearing Date: 15 Sept 2021 Received By: A. Lewis

Zoning Designation: Resubmission: ☐ Yes ☐ No

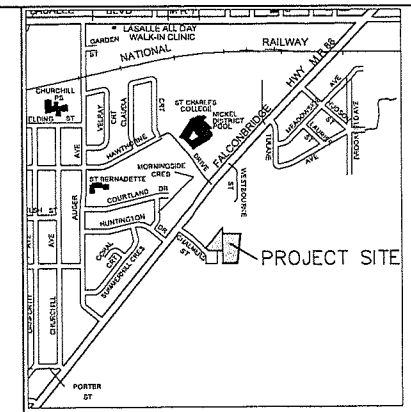
Previous File Number(s): A0124/2019 / B0015/2018















Previous Hearing Date: October 16, 2019 / March 26, 2018

Notes:



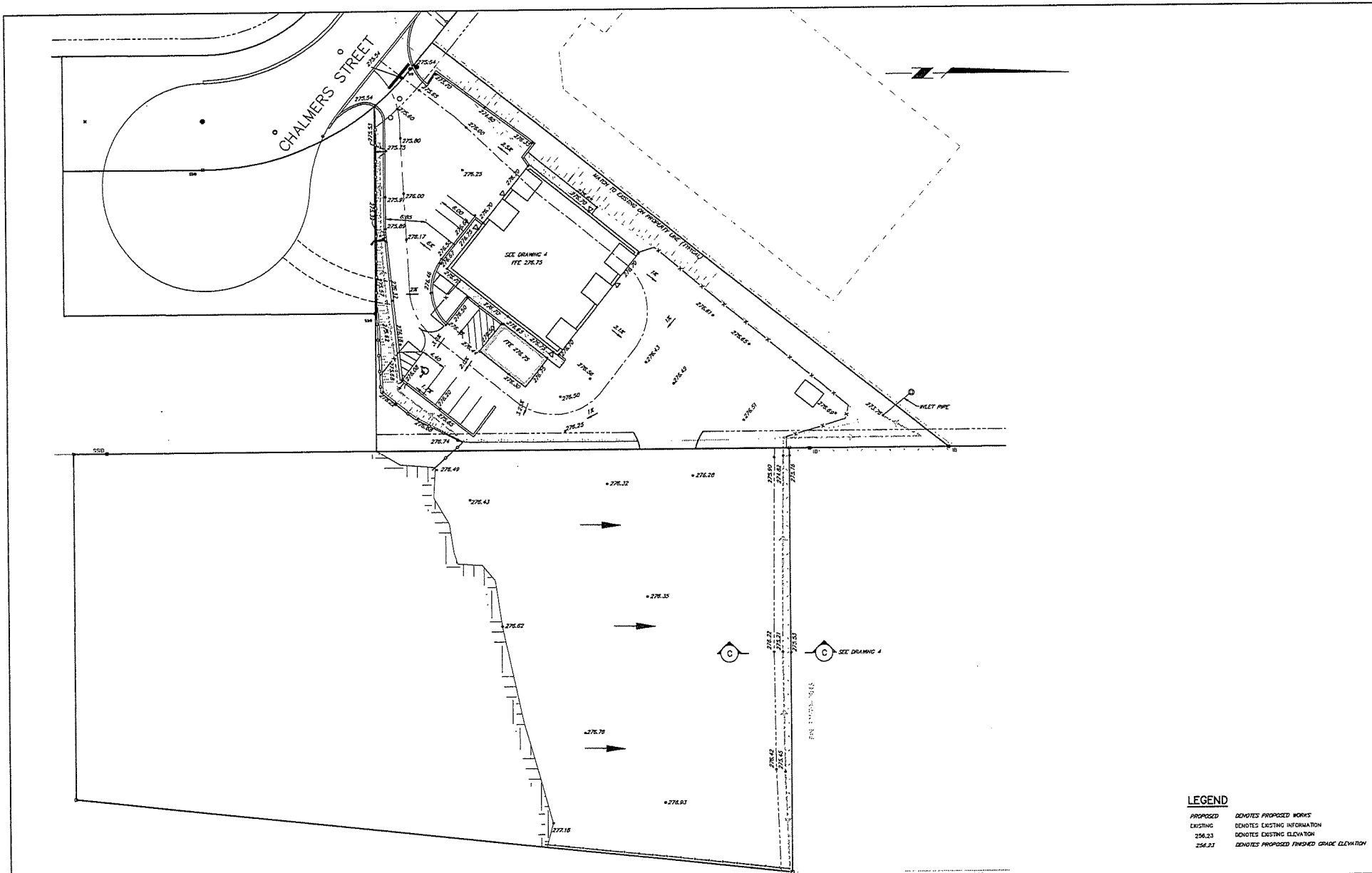
<p>Application for Minor Variance or Permission</p> <p style="text-align: right;">N</p>	
<p>Subject Property being PIN 73570-0548, Part Lot 4, Plan 53M-1218, Parts 1 to 6, Plan 53R-19840, Part 1, Plan 53R-21099, Part Lot 11, Concession 5, Township of Neelon, 790 Chalmers St, Sudbury, City of Greater Sudbury</p>	
<p>Sketch 1, NTS NDCA</p>	<p>A115/2021 Date: 2021 08 27</p>





	INDOTES PROPOSED WORK
	INDOTES EXISTING INFORMATION
	INDOTES EXISTING ELEVATION
	INDOTES PROPOSED FINISHED GRADE ELEVATION
	INDOTES ENTRY/EXIT POINT
	PROPOSED DITCH
	SELF IRRIGATION
	CONCRETE SIDEWALK
	GRAVEL AREA
	LANDSCAPED AREA
	LIGHT DUTY ASPHALT PARKING
	INDOTES PROPOSED DRIVING OF SURFACE DRAINAGE
	CURB DEPRESSION
	ASPHALT REMOVAL

SCALE:	1:350 HOR.
CONTRACT NO.:	
CAD/FILE NUMBER:	194457
PAGE NO.:	1

ADUS/2021
Sketch 2



LEGEND	
PROPOSED	DENOTES PROPOSED WORKS
EXISTING	DENOTES EXISTING INFORMATION
256.23	DENOTES EXISTING ELEVATION
256.31	DENOTES PROPOSED FINISHED GRADE ELEVATION

REVISIONS			CAUTION			DATE: 2019-07-16	 R.V. Anderson Associates Limited Engineering • Environment • Infrastructure	SCALE: 1:400 HOR.
DATE	DETAILS	BY	<ul style="list-style-type: none">- ALL UTILITIES ARE NOT NECESSARILY SHOWN ON THIS DRAWING.- WHERE UTILITIES ARE SHOWN, LOCATIONS ARE NOT GUARANTEED.- LOCATION & SIZE OF ALL UTILITIES MUST BE VERIFIED IN THE FIELD.	CONTRACT NO.:				
2020-01-20	ISSUED FOR COS REVIEW	ACP		CAD/FILE NUMBER: 194457				
2020-06-04	REVISED AS PER COS COMMENTS APRIL 22, 2020	ACP						
2021-02-25	REVISED AS PER COS COMMENTS	ACP						
2021-06-09	REVISED AS PER COS COMMENTS	ACP						
VIANET SITE PLAN SITE GRADING PLAN								PAGE NO.: 3

VIANET SITE PLAN
SITE GRADING PLAN

APR 15 / 2021
Sketch 4

CONSTRUCTION NOTES

GENERAL

1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SITE PLAN. THE CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATION OF ANY CONFLICTS WITH THE ARCHITECTURAL SITE PLAN FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK.
2. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS, EXCEPT AS MODIFIED OR REPLACED BY THE CITY OF GREATER SUDBURY STANDARD DRAWINGS AND SUPPLEMENTARY SPECIFICATIONS.
3. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND/OR UTILITY COMPANIES. LOCATION OF ALL EXISTING DETAIL SHOWN ON THE PLANS IS APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR. NOT ALL UTILITIES AND/OR SERVICES ARE NECESSARILY SHOWN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES AND SERVICES.
5. THE CONTRACTOR SHALL ONLY REUSE EXCAVATED MATERIAL ON SITE WHERE PERMITTED BY THE GEOTECHNICAL ENGINEER (NOT IN SETTLEMENT SENSITIVE AREAS). EARTH STRIPPING SHALL BE USED ON SLOPES, LANDSCAPED AREAS, AND RETENTION PONDS.
6. ALL FILL SHALL BE PLACED IN COMPLIANCE WITH THE APPROPRIATE OPS/OSSES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL LOCUSTABLE MATERIAL DECIDED BY THE GEOTECHNICAL ENGINEER. THIS SHALL BE AT THE CONTRACTOR'S EXPENSE.
8. WHERE TOPSOIL IS SPECIFIED THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 100mm THICKNESS.
9. SODDED AND SEEDING AREAS SHALL BE WATERED AS REQUIRED TO ESTABLISH GROWTH. SODDED AND SEEDING AREAS SHALL BE MAINTAINED AT THE END OF THE WARRANTY PERIOD FOR COMPLIANCE WITH THE SPECIFICATIONS.
10. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE REHABILITATED TO MATCH EXISTING CONDITIONS OR BETTER, WITHIN THE RIGHT-OF-WAY OF THE REHABILITATED WORK MUST MEET THE SATISFACTION OF THE GENERAL MANAGER OF INFRASTRUCTURE SERVICES.
11. THE CONTRACTOR SHALL UNDERTAKE MEASURES TO PREVENT DUST THROUGHOUT THE LENGTH OF THE PROJECT.
12. ALL SERVICES ARE TO BE STOPPED AND PLUGGED 1.5m FROM THE BUILDING FACE.
13. ALL WATERMAIN, SANITARY AND STORM SEWER WORKS SHALL BE INSTALLED BY CONTRACTORS APPROVED BY THE CITY OF GREATER SUDBURY.
14. THE CONTRACTOR IS TO PROVIDE A MINIMUM OF 48 HOURS NOTICE OF THE START OF WORK OF ANY CONSTRUCTION ACTIVITY THAT REQUIRES INSPECTION.
15. THE ENGINEER'S CERTIFICATION SUBMISSION FOR ALL WORK COMPLETED IN THE MUNICIPAL RIGHT-OF-WAY AND ALL PIPE WORK CONSTRUCTED ON PRIVATE PROPERTY SHALL BE IN CONFORMANCE WITH THE CITY'S CERTIFICATION REQUIREMENTS.
16. PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY, THE CONTRACTOR MUST OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS AND SERVICE CONNECTIONS PERMITS FROM THE CITY'S INFRASTRUCTURE SERVICES DEPARTMENT.
17. IF NECESSARY, TRUCKS ARE TO BE WASHED PRIOR TO LEAVING SITE.
18. ALL CONSTRUCTION ACTIVITY IS TO COMPLY WITH CITY OF GREATER SUDBURY NOISE BY-LAW.
19. ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT THE SITE FROM THE APPROVED CONSTRUCTION DRIVEWAY.

WATERMAIN

1. ALL WATERMAIN AND WATER SERVICES SHALL BE INSTALLED AS REQUIRED TO MAINTAIN A MINIMUM OF 2.0m COVER. VERTICAL CLEARANCE OF 0.5m SHALL BE MAINTAINED WHEN CROSSING ABOVE OR BELOW SEWER MAINS.
2. ALL WATERMAIN SHALL BE CONSTRUCTED TO CITY OF GREATER SUDBURY STANDARDS.
3. TRACER WIRE TO BE INSTALLED ON ALL WATERMAIN AND APPURTENANCES ON MUNICIPAL AND PRIVATE PROPERTY AS PER OPS 1100.000.
4. CORROSION PROTECTION IS REQUIRED FOR WATERMANS AND FITTINGS AS PER OPS-703.
5. WATERMANS SHALL BE PRESSURE TESTED AND CHLORINATED AS PER CITY OF GREATER SUDBURY STANDARDS. NO CONNECTION TO THE EXISTING WATERMAIN SHALL TAKE PLACE UNTIL NEW SECTIONS HAVE BEEN TESTED AND CERTIFIED BY THE ENGINEER AND APPROVED BY THE CITY.
6. ALL HYDRANTS, VALVES AND TEES SHALL BE CONSTRUCTED AS PER OPS-1105.010.
7. ALL WATERMAIN PIPE BEDDING, INSTALLATION AND BACKFILL MUST BE INSPECTED ON A FULL TIME BASIS BY A QUALIFIED INSPECTOR, DESIGNATED BY THE ENGINEER.
8. WATERMAIN TO BE TERMINATED 1.52M FROM THE BUILDING FACE.

SEWERS

1. ALL GRAVITY SANITARY SEWERS SHALL BE CONSTRUCTED TO CITY OF GREATER SUDBURY STANDARDS.
2. ALL SANITARY SEWERS TO HAVE A MINIMUM OF 2.0m COVER.
3. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED AS PER OPS 700.010 COMPLETE WITH FRAME & MANHOLE AS PER OPS 401.010, UNLESS OTHERWISE SPECIFIED.
4. ALL SEWER PIPES MUST BE PROTECTED TO AVOID DAMAGE TO THE MANHOLE.
5. SANITARY SEWER SHALL BE FULLY TESTED AND CERTIFIED PRIOR TO CONNECTION TO BOTH THE MUNICIPAL SYSTEM AND THE BUILDING PLUMBING.
6. SANITARY SEWER TO BE TERMINATED 1.52M FROM THE BUILDING FACE.

CONCRETE & PAVING

1. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT NO. TSP10013.0000, DATED NOVEMBER 17, 2010.
2. COMPRESSIVE STRENGTH TESTS ARE TO BE COMPLETED ON ALL CONCRETE SUPPLIED FOR SITE PURPOSES.
3. ASPHALT TESTING TO BE COMPLETED AS PER THE CITY OF GREATER SUDBURY'S SITE PLAN CONTROL GUIDE - APPENDIX D - SECTION 1.5.4.

SEGMENT AND EROSION CONTROL

1. ALL SEGMENT CONTROL MEASURES SHALL BE AS PER OPS 219 SERIES OF DRAWINGS.
2. CONTRACTOR TO PROVIDE A SILT MITIGATION PLAN AND PROCEDURES FOR REVIEW PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
3. SEGMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK AND REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ON THE SITE HAVE BEEN STABILIZED AND SOD/SEED AREAS HAVE ESTABLISHED GROWTH (ROOTS).
4. ALL SEGMENT CONTROL MEASURES ARE TO BE INSPECTED DAILY AND LOGGED TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY AND ARE MAINTAINED AND/OR UPGRADED AS NECESSARY.
5. IF THE SEGMENT AND EROSION CONTROL MEASURES ARE NOT FUNCTIONING PROPERLY, NO FURTHER WORK SHALL OCCUR UNTIL THE SEGMENT AND/OR EROSION PROBLEM IS ADDRESSED.
6. ADDITIONAL SILT FENCE BARRIERS MAY BE REQUIRED IF CONSTRUCTION ACTIVITIES NEGATIVELY IMPACT THE SURROUNDING PROPERTIES NOT ALREADY PROTECTED OR IF MATERIAL IS STOCKPILED ON SITE.
7. CATCH-BAGS SILT SACK, SUPPLIED BY TERRAFORM (OR AN APPROVED EQUAL), SHALL BE INSTALLED IN ALL NEW AND AFFECTED CATCH-BAGS. SILT SACKS ARE TO BE CLEANED REGULARLY AND ARE NOT TO BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETE.
8. WHERE CONSTRUCTION ACTIVITIES TAKE PLACE WITHIN THE COS RIGHT-OF-WAY, SEGMENT CONTROLS ARE TO BE INSTALLED ON THE CATCH-BAGS WITHIN THE RIGHT-OF-WAY ACROSS THE PROPERTY FRONTAGE.
9. STREET SWEEPING, CATCH-BAG CLEANING AND DUST CONTROL, ON ALL ROADWAYS TO THE SATISFACTION OF THE GENERAL MANAGER OF INFRASTRUCTURE SERVICES.

SILT SPECIFIC NOTES:

1. THE CONTRACTOR IS TO CONFIRM THE ELEVATION OF ALL SERVICE CONNECTION POINTS (SANITARY, WATER AND STORM) PRIOR TO THE INSTALLATION OF ANY NEW PIPE WORKS.

ROUGH MARK 820373 ELEV. 270.388
50m NE CORNER OF ALBERTA LIGHT RAILWAY POINT ON
FALCONBERG RD. 140m SW OF COS LIGHT STANDARD NO. C3350-11,
7m FROM NE CORNER AND 3m FROM NE CORNER OF OUTCROP, 1m ABOVE
FALCONBERG RD. LEVEL.

REVISIONS		CAUTION	
DATE	DETAILS	BY	
20-01-20	ISSUED FOR COS REVIEW	ACP	ALL UTILITIES ARE NOT NECESSARILY SHOWN ON THIS DRAWING.
20-06-04	REVISED AS PER COS COMMENTS APRIL 22, 2020	ACP	WHERE UTILITIES ARE SHOWN, LOCATION ARE NOT GUARANTEED.
21-02-25	REVISED AS PER COS COMMENTS	ACP	
21-06-09	REVISED AS PER COS COMMENTS	ACP	LOCATION & SIZE OF ALL UTILITIES MUST BE VERIFIED IN THE FIELD.



DATE: 2019-07-18
DRAWN: CT
DESIGNED: ACP
CHECKED: GGG
ENGINEER: ACP
APPROVED:

arva R.V. Anderson Associates Limited
Engineering • Environment • Infrastructure
VIANET SITE PLAN
NOTES & DETAILS

SCALE: N.T.S.
CONTRACT NO.:
CAB/FILE NUMBER: 194457
PAGE NO.: **4**

GREATER SUDBURY STANDARD DRAWINGS

- OSSD-350.010 URBAN INDUSTRIAL COMMERCIAL, INSTITUTIONAL & APARTMENT ENTRANCE
 - OSSD-1001.040 MAINTENANCE ACCESS CHAMBER
 - OSSD-1104.011 ISOLATED DUCT FOR WATER SERVICE CONNECTION
 - OSSD-1106.020 SEWER SERVICE CONNECTIONS
 - OSSD-1225.010 ROCK EXCAVATION IN TRENCHES
 - OSSD-1227.010 BEDDING DETAILS
- NOTE: ADDITIONAL STANDARDS MAY APPLY.

ONTARIO PROVINCIAL STANDARD DRAWINGS (OPS/OS)

- OPS/219 SALT/FLUOR MITIGATION
 - OPS/400.020 CAST IRON SQUARE FRAME WITH SQUARE FLAT GRATE FOR CATCH BASINS, HERRING BONE OPENINGS
 - OPS/400.020 CAST IRON CIRCULAR FRAME WITH CIRCULAR 75mm COVER FOR MAINTENANCE HOLES
 - OPS/600.110 CONCRETE BARRIER CURB
 - OPS/600.010 90° CONCRETE GUTTER DUCT
 - OPS/701.010 PRECAST CONCRETE MAINTENANCE HOLE, 1200 mm DIAMETER
 - OPS/701.021 MAINTENANCE HOLE BENCHING AND PIPE OPENING ALTERNATIVES
 - OPS/701.030 PRECAST CONCRETE MAINTENANCE HOLE COMPONENTS, 1200 mm DIAMETER, TAPERED TOP AND FLAT CAP
 - OPS/701.100 FROST STRIP INSTALLATION
 - OPS/705.030 PRECAST CONCRETE DITCH INLET
 - OPS/802.010 FLEXIBLE PIPE-UNDERDRAIN AND BACK FILL-EARTH EXCAVATION
 - OPS/815.010 GENERAL RFP-RAP LAYOUT FOR SENDER AND CULVERT OUTLETS
 - OPS/872.130 FENCE, CHAIN LINK INSTALLATION - ROADWAY (TOP RAIL)
- NOTE: ADDITIONAL STANDARDS MAY APPLY.

SPECIFICATIONS

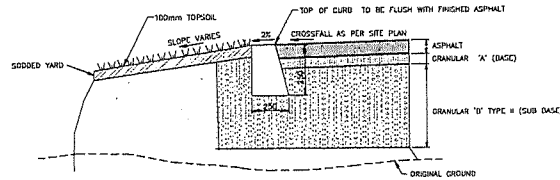
- OPS/OSSES-180 MANAGEMENT AND DISPOSAL OF EXCESS MATERIAL, MANUAL SCALING, MACHINE SCALING, TIRM BLASTING, OR
- OPS/OSSES-202 GRADING
- OPS/OSSES-206 HOT LIME ASPHALT
- OPS/OSSES-310 UNGRADED GRANULAR SURFACE, BASE, SURFACE, SHOULDER AND STOCKPILING
- OPS/OSSES-323 CONCRETE CURB AND GUTTER SYSTEM
- OPS/OSSES-400 PIPE SUBURBANS
- OPS/OSSES-409 CLOSED CIRCUIT TELEVISION INSPECTION OF PIPELINES
- OPS/OSSES-410 PIPE SENDER INSTALLATION IN OPEN CUT
- OPS/OSSES-421 CULVERT INSTALLATION IN OPEN CUT
- OPS/OSSES-501 COMPACTING
- OPS/OSSES-510 REMOVAL
- OPS/OSSES-524 TRENCHING, BACKFILLING AND COMPACTING
- OPS/OSSES-532 PAVEMENT MARKING
- OPS/OSSES-571 SODDING
- OPS/OSSES-701 WATERMAIN INSTALLATION IN OPEN CUT
- OPS/OSSES-703 CORROSION PROTECTION OF WATERMANS AND METALLIC FITTINGS

NOTE: THE LATEST REVISIONS TO THE ABOVE STANDARDS AND SPECIFICATIONS SHALL APPLY

PARKING LOT AND ENTRANCE ROAD PAVEMENT DESIGN		
LIGHT TRAFFIC OR PARKING AREAS		
EARTH FILL		
ASPHALT	40mm HLS SURFACE COURSE 50mm SLS BRIDGE COURSE 90mm TOTAL THICKNESS	ROCK CUT 40mm HLS SURFACE COURSE 50mm SLS BRIDGE COURSE 90mm TOTAL THICKNESS
DASC	150mm GRANULAR 'A' (OPS 1010)	150mm GRANULAR 'A' (OPS 1010)
SUBBASE	600mm GRANULAR 'B' TYPE II (OPS 1010)	300mm GRANULAR 'B' TYPE II (OPS 1010) 300mm ROCK SHATTER

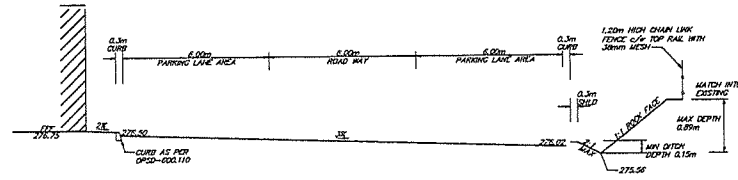
PARKING LOT DESIGN NOTES:

1. PAVING AND GRADING DETAILS TO BE READ IN CONJUNCTION WITH THE TERRAPROF GEOTECHNICAL INVESTIGATION REPORT NO. 21-12-7019, DATED AUGUST 18, 2019.
2. IN THE AREA WHERE THE PARKING LOT AND ENTRANCE ROAD ARE TO BE CONSTRUCTED ON NATIVE SOILS AND/OR EARTH FILLS, UNSUITABLE FILL AND ORGANIC SOILS MUST BE REMOVED.
3. LOOSE/UNSTABLE ZONES ENCOUNTERED AT THE SUBGRADE LEVEL SHOULD BE SUB-EXCAVATED UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO COMMENCING WITH FILL PLACEMENT.
4. LOCALIZED DEEPENING OF THE EXCAVATION (AND CONSEQUENTLY THICKENING THE PAVEMENT SUBBASE) MAY BE REQUIRED IF UNSUITABLE SOILS ARE ENCOUNTERED DURING EXCAVATION.

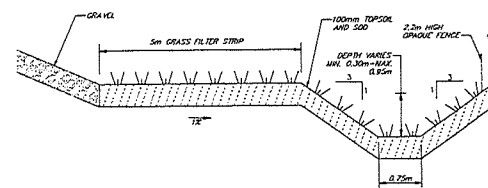


FLUSH BARRIER CURB
N.T.S.

FLUSH BARRIER CURB TO BE POURED AT LOCATIONS INDICATED ON THE DRAWING. SPECIFICATION AND DIMENSIONS SHALL MATCH TYPICAL BARRIER CURB (OPS 600.110), EXCEPT TOP OF CURB SHALL BE SET TO MATCH ELEVATION OF FINISHED SURFACE ASPHALT AND CURB TOP SURFACE SHALL BE FINISHED WITH 2% CROSSFALL AS PER DETAIL ABOVE.



SECTION B - PARKING LOT DETAIL
N.T.S.



SECTION C - GRASS SWALE DETAIL
N.T.S.

APR 15/2021
Sketch 5