

Tom Davies Square
200 Brady St

Wednesday, November 22, 2023

PUBLIC HEARINGS

A0122/2023

**DORA RAYMOND
JOE RAYMOND**

Ward: 8

PIN 73570 0439, Parcel 39805 SEC SES SRO, Lot(s) 27, Subdivision M-1012, Lot Part 11, Concession 5, Township of Neelon, 1809 Huntington Drive, Sudbury, [2010-100Z, R2-2 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.4m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0123/2023

KRYSTAL VANCLIEAF

Ward: 12

PIN 02115 0163, Parcel 42565 SEC SES SRO, Lot(s) 115, Subdivision M-1014, Lot Part 2, Concession 6, Township of McKim, 1437 Dearbourne Drive, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the existing storage shed providing an interior side yard setback of 0.43m, where an accessory building greater than 2.5m in height shall be no closer than 1.2m from the side lot line.

A0124/2023

CARY WILLIAM CLEMENT

Ward: 11

PINs 73578 0278 & 73578 0232, Parcels 14168 & 17714 SEC SES, Lot(s) Part 68 and 69, Subdivision M-201, Lot Part 12, Concession 3, Township of Neelon, 2009 Randolph Street, 2013 Randolph Street, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve a lot to be retained subject to Consent Application B0080 /2023, providing a minimum lot frontage of 14.48m, where 15.0m is required.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, DECEMBER 6, 2023**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

Office Use Only 2023.01.01	
A0122/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,180.00 (Includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dora Raymond Email: [REDACTED]
Mailing Address: 1909 Huntington Drive Home Phone: [REDACTED]
City: Sudbury Postal Code: P3A 4W8 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Matt Roll Email: [REDACTED]
Mailing Address: 484 Maple Street Home Phone: [REDACTED]
City: Sudbury Postal Code: P3C 2B4 Business Phone: [REDACTED]
Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NA
Mailing Address: NA
City: NA Postal Code: NA

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Increase Height 4.2.4(A)	5m	6.4m	1.372m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Increase height along all four sides of rear lot

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Chained rear pitch on current build which pushed height at roof over height allowance

BP-Ace-2023-00085

- 6) Legal Description (Include any abutting property registered under the same ownership).

PIN(s): _____ Township: Neelon
 Lot No.: 11 Concession No.: 5 Parcel(s): 29805
 Subdivision Plan No.: M1012 Lot: 27 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 1809 Huntington Drive

- 7) Date of acquisition of subject land.

1994

- 8) Dimensions of land affected.

Frontage 16.3 (m) Depth 33.2 (m) Area 541.6 (m²) Width of Street _____ (m)

- 9) Particulars of all buildings:

	SFD Existing	DET GAR Proposed
Ground Floor Area:	41.62 <u>142.33</u> (m ²)	<u>41.62</u> (m ²)
Gross Floor Area:	<u>11</u> (m ²)	<u>11</u> (m ²)
No. of storeys:	<u>1</u>	<u>1</u>
Width:	4.88 <u>9.8</u> (m)	<u>4.88</u> (m)
Length:	14 <u>14</u> (m)	<u>8.63</u> (m)
Height:	6.4 <u>10.2</u> (m)	<u>6.4</u> (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	SFD Existing	DET GAR Proposed
Front:	<u>18.9</u> <u>6.8</u> (m)	<u>19m</u> (m)
Rear:	<u>7.5</u> <u>17m</u> (m)	<u>5.95</u> <u>5.95</u> (m)
Side:	<u>1.2</u> <u>1.5</u> (m)	<u>1.2</u> (m)
Side:	<u>1.2</u> (m)	<u>10.7</u> (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☒

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used. ☐

- 12) Date(s) of construction of all buildings and structures on the subject land.

Original Dwelling - early 70's, Garage-detached 2023

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Single Family Length of time: _____

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?

1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

R2-2

A0122/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Dora & Joe Raymond (please print all names), the registered owner(s) of the property described as 1809 Huntington Drive in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Matt Bell (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24 day of October, 20 23

Jay Humbert
(Witness)

[Signature]
Signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: JH RAYMOND
*I have authority to bind the Corporation Dora Raymond

A0122/2023


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Matt Bell (please print all names),
the registered owner(s) or authorized agent of the property described as 1929 N. L. St. D.

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 24 26 day of October, 20 23


Commissioner of Oaths

Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury,

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

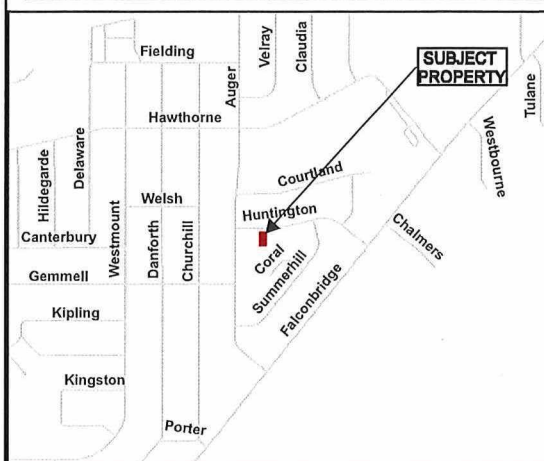
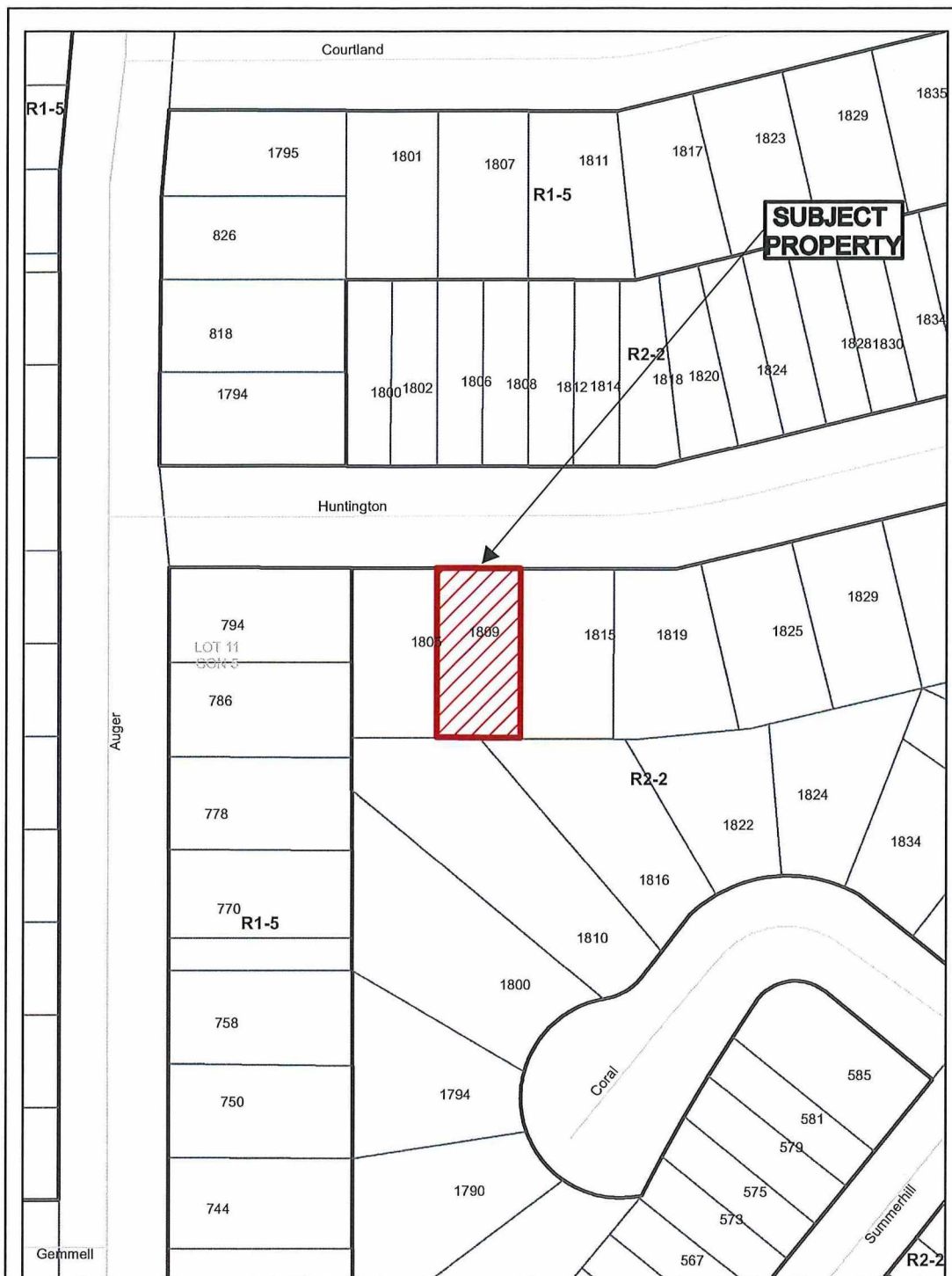
Print Name: John J. [Signature]
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

[illegible]

A0122/2023



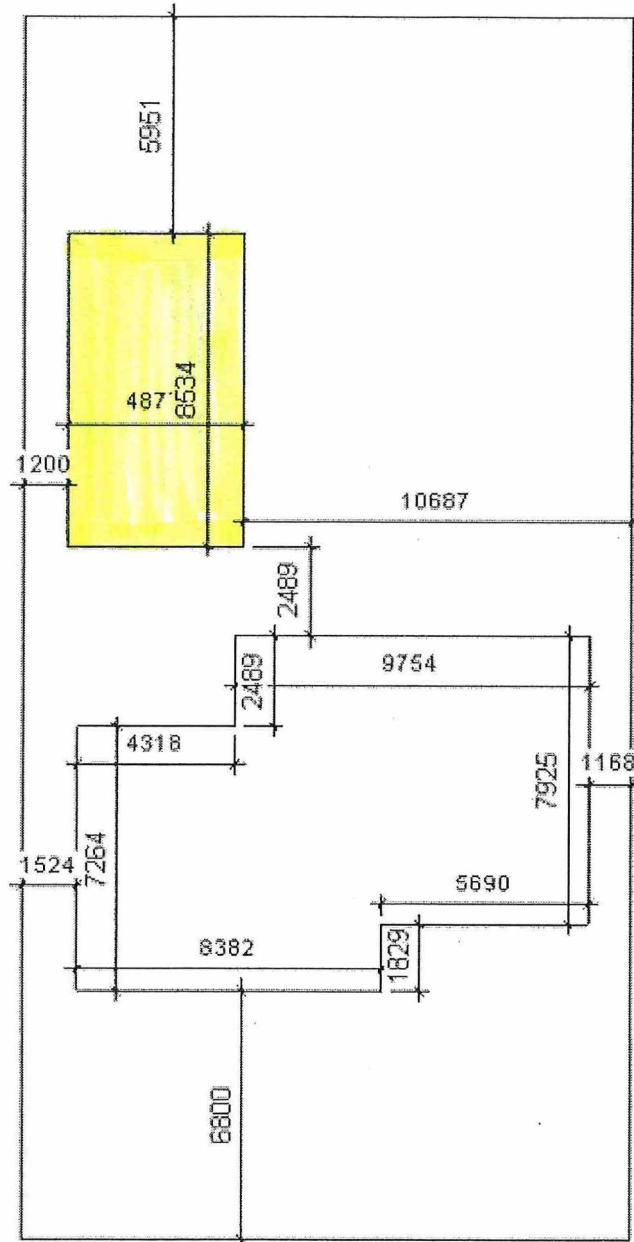
Application for Minor Variance or Permission



Subject Property PIN 73570-0439,
Parcel 39805 SEC SES SRO, Lot 27, Plan M-1012,
Part Lot 11, Concession 5, Township of Neelon,
1809 Huntington Drive, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
MNR

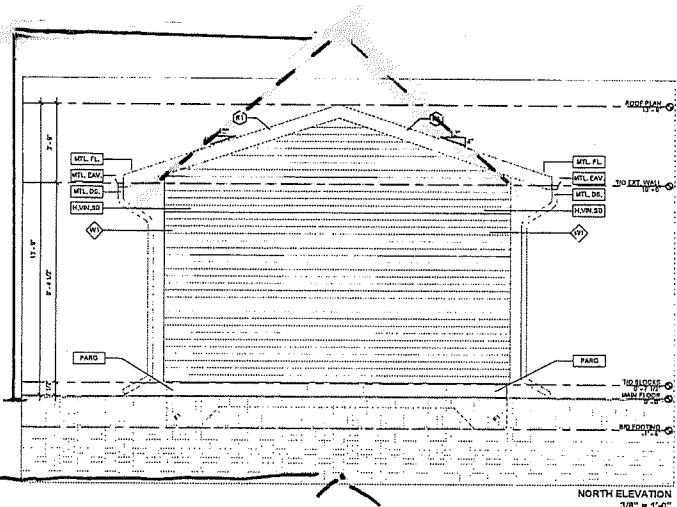
A0122/2023
Date: 2023 10 31



A0122/2023
Sketch 2

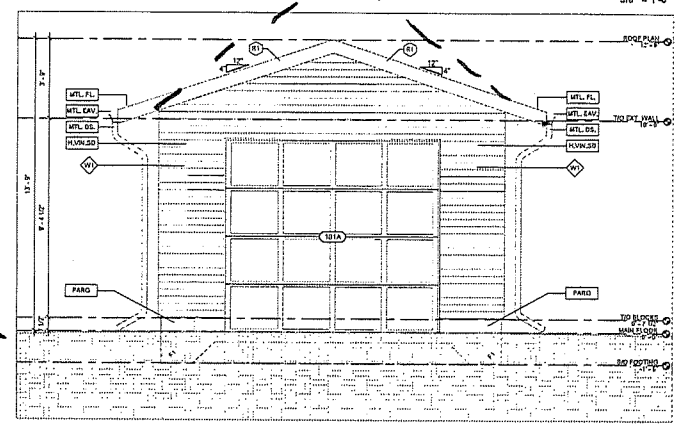
LEGEND	
	DENOTES METAL ROOFING
	DENOTES METAL FLASHING
	DENOTES METAL CAVETRUGHT
	DENOTES METAL DOWN SPOUT
	DENOTES HORIZONTAL VINYL SIDING BY OWNER
	DENOTES PARING LAYER
	ROOF IDENTIFICATION IN SCHEDULE
	WALL IDENTIFICATION IN SCHEDULE
	DOOR IDENTIFICATION IN SCHEDULE
	WINDOW IDENTIFICATION IN SCHEDULE
	FOOTING IDENTIFICATION IN SCHEDULE

6.4
M

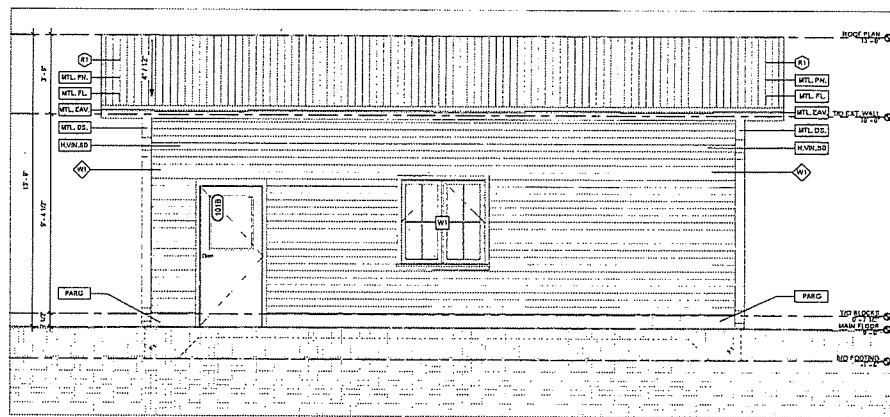


NORTH ELEVATION
3/8" = 1'-0"

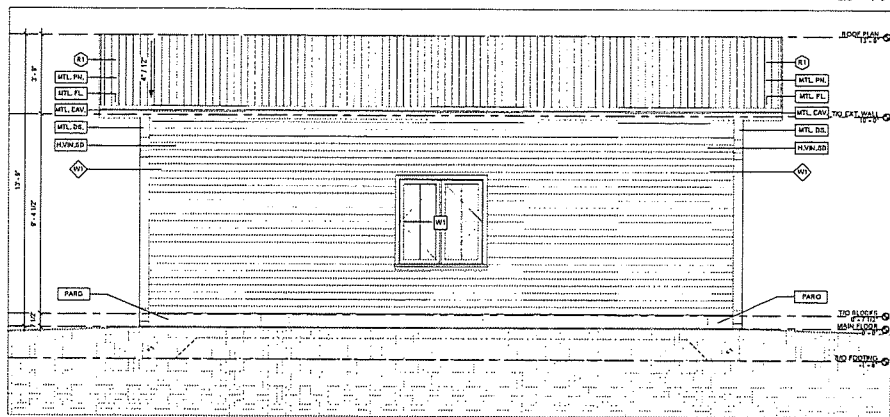
6.4
M



SOUTH ELEVATION
3/8" = 1'-0"



EAST ELEVATION
3/8" = 1'-0"



WEST ELEVATION
3/8" = 1'-0"

ISSUED FOR CONSTRUCTION - APRIL 20, 2023

1. ANY CHANGES TO THESE DRAWINGS MUST BE APPROVED BY THE ARCHITECT.
2. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.

1. REVISIONS
2. REVISIONS
3. REVISIONS
4. REVISIONS



MATT SELL
1199 HUNTINGTON BL. SUITE 100, ONTARIO
PROJECT NO. 1199-001
ELEVATIONS

DRAWN BY
CHECKED BY
SCALE
DATE

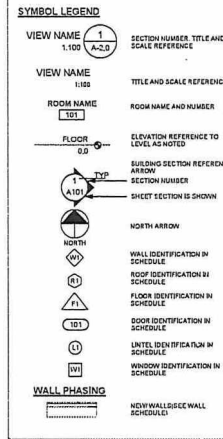
A04

A0122/2023
Sketch 3

MATT BELL

1809 HUNTINGTON DR, SUDBURY, ONTARIO
PROJECT NO. KSI-023-098

ISSUED FOR CONSTRUCTION - APRIL 20, 2023



WALL ASSEMBLIES:

DETACHED GARAGE WALL ASSEMBLY

- 1. HORIZONTAL SINGO BY OWNER
- 2. 1/2" SPP NO. 10 VERTICAL WOOD STRAPPING @ 16" O/C
- 3. 4" CONCRETE SLAB ON GRADE - REINFORCED W/ WAF 4# 8.000
- 4. 1" POLYURETHANE BARRIER MEMBRANE - LAP & SEAL
- 5. 2" RIGID INSULATION (R-20) MIN. 100 EPS COMPRESSION CAPACITY
- 6. 1/2" POLYURETHANE BARRIER MEMBRANE - LAP & SEAL
- 7. 1/2" GYPSUM BOARD SHEATHING

FLOOR ASSEMBLIES:

1" CONCRETE GARAGE SLAB

- 1. FINISH AS SCHEDULED
- 2. 4" CONCRETE SLAB ON GRADE - REINFORCED W/ WAF 4# 8.000
- 3. 1" POLYURETHANE BARRIER MEMBRANE - LAP & SEAL
- 4. 2" RIGID INSULATION (R-20) MIN. 100 EPS COMPRESSION CAPACITY
- 5. 1/2" POLYURETHANE BARRIER MEMBRANE - LAP & SEAL
- 6. 1/2" GYPSUM BOARD SHEATHING

ROOF ASSEMBLIES:

1" INSULATED POLYURETHANE TRUSS ROOF MANUFACTURER

- 1. METAL ROOFING
- 2. 1/2" WOOD STRAPPING @ 16" O/C
- 3. EXTERIOR FINISH AS PER DETAIL
- 4. CONSTRUCTION FELT PAPER
- 5. 1/2" POLYURETHANE BARRIER MEMBRANE - LAP & SEAL
- 6. 2" RIGID INSULATION (R-20) MIN. 100 EPS COMPRESSION CAPACITY
- 7. 1/2" POLYURETHANE BARRIER MEMBRANE - LAP & SEAL
- 8. 1/2" GYPSUM BOARD SHEATHING

CEILING ASSEMBLIES:

1" GYPSUM BOARD CEILING

- 1. 1/2" RESILIENT CHANNELING @ 24" O/C
- 2. 1/2" GYPSUM BOARD SHEATHING

GENERAL REQUIREMENTS

1. GENERAL CONTRACTOR SHALL EXAMINE THE SITE, VERIFY ALL DIMENSIONS, DRAWING DETAILS TO ACCURACY, THE EXTENT AND NATURE OF WORK.
2. ALL DISCREPANCIES, OMISSIONS, OR CONFLICTS SHALL BE REPORTED TO DESIGNER PRIOR TO WORK.
3. CONTRACTOR IS TO PROCEED WITH ANY CHANGES OR MODIFICATIONS TO THE DESIGN UNLESS REVIEWED AND APPROVED BY DESIGNER.
4. GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR REQUIRED.
5. BREAKDOWN OF WORK IS NOT NECESSARILY COMPLETE AND IS FOR GUIDANCE ONLY.
6. ALL SITE MEASUREMENTS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIAL OR BEGINNING THE WORK.

CODE AND STANDARDS

GENERAL CONTRACTOR SHALL COMPLY WITH THE FOLLOWING BUILDING CODE REQUIREMENTS OR OTHER AUTHORITIES HAVING JURISDICTION, HEREIN REFERRED TO AS CODE.

1. MEET OR EXCEED REQUIREMENTS OF CONSTRUCTION DOCUMENTS, SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.

2. COMPLY WITH THE ENTIRE OCCUPATIONAL HEALTH AND SAFETY ACT 1981 AND REGULATIONS FOR CONSTRUCTION PROJECTS.

PERMITS AND INSPECTIONS

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR BUILDING PERMIT AND ASSOCIATED INSPECTIONS.

DESIGN DATA

1. STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 SUPPLEMENTED BY THE USER'S GUIDE - NBC 2015 STRUCTURAL COMMENTARIES (PART 4 OF SERIES 8).

2. CLIMATE LOCATION: SUDBURY, ONTARIO

SUBMITTALS

1. SUBMIT FOR REVIEW BEFORE STARTING WORK.
2. SUBMIT SHOP DRAWINGS IN CONFORMANCE WITH THE SEQUENCE OF CONSTRUCTION.
3. SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
4. SHOP DRAWINGS WITHOUT CONTRACTOR STAMPS WILL BE RETURNED WITHOUT BEING REVIEWED.
5. OUR REVIEW OF SHOP DRAWINGS DOES NOT INCLUDE CHECKING OF DIMENSIONS OR CALCULATIONS OF ELEMENTS ENGINEERED BY OTHERS AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLETE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. BEFORE RESUBMITTING DRAWINGS INDICATE ALL CORRECTIONS REQUIRED BY PRIOR REVIEW HAVE BEEN COMPLETED.
7. DO NOT ADD DETAILS TO DRAWINGS WHICH HAVE NOT BEEN STAMPED AS NOTED.
8. PROVIDE FINAL RECORD DRAWINGS AFTER ALL CORRECTIONS ARE MADE.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A QUALITY CONTROL PLAN ASSOCIATED WITH THE STRUCTURAL WORK. THIS MUST BE PROVIDED TO THE CONSULTANT WHEN REQUESTED.
10. THIS SHOP DRAWING IS TO BE PROVIDED TO THE CONSULTANT WHEN REQUESTED.

CONCRETE NOTES

1. CONCRETE IS SPECIFIED AS PER THE "PERFORMANCE SPECIFICATION" ALTERNATIVE AS OUTLINED IN CSA A23.1, TABLE 1.
2. THE CONTRACTOR AND CONCRETE SUPPLIER TO MEET ALL IDENTIFICATION, DOCUMENTATION AND QUALITY CONTROL REQUIREMENTS.
3. CONCRETE TO BE PLACED IN A COMPACTED MANNER AND NOT BE PLACED IN A MANNER THAT WOULD BE PROHIBITIVE TO THE CONCRETE SUPPLIER TO BE CERTIFIED BY THE RELEVANT CONCRETE ASSOCIATION OF CANADA.
4. THE CONTRACTOR AND THE CONCRETE SUPPLIER ARE TO ENSURE THAT THE PLACING AND HANDLING BE PROPERLY MEET SITE REQUIREMENTS FOR PLACING, FINISHING AND THE OWNER'S PERFORMANCE REQUIREMENTS.
5. CONCRETE TO BE PLACED AND CURED IN ACCORDANCE WITH THE REQUIREMENTS OF EXPOSURE CLASS.
6. PLACE CONCRETE AS CLOSE AS POSSIBLE TO FINAL LOCATION TO AVOID SEGREGATION, VIBRATE ALL CONCRETE FROM THE BOTTOM OF ALL STRUCTURAL CONCRETE MEMBERS.
7. PERMIT DRAWING FOR BUILDING TO BE SUBMITTED TO A QUALIFIED ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

WINDOWS & DOORS

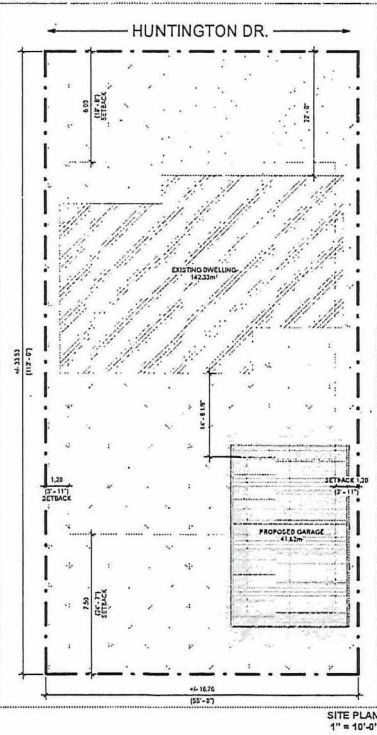
1. PER THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE FOLLOWING ITEMS PRIOR TO ORDERING:
 - A. COLOUR OF WINDOW AND DOOR.
 - B. DIRECTION OF OPENING FOR OPENABLE.
 - C. GRID PATTERN (IF APPLICABLE).
 - D. OPERATIONAL ACTION (IF APPLICABLE).
2. RESISTANCE TO FORCED ENTRY APPLIES TO ALL TYPES OF ENTRANCE DOORS INTO DWELLING UNITS AND ATTACHED GARAGE. SEE CSA A280.1 SPECIFICATIONS TO BE PROVIDED BY MANUFACTURER.
3. EFFICIENCY RATING REQUIRED FOR NEW WINDOWS & DOORS TO BE 25% MAXIMUM.

TEMPORARY WORKS

1. ALL TEMPORARY WORKS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
2. PRIOR TO STARTING CONSTRUCTION, ENSURE ALL DIMENSIONS ARE FIELD VERIFIED.
3. ALL TEMPORARY WORKS SHALL BE SECURED TO THE STRUCTURE.
4. CONTRACTOR IS RESPONSIBLE TO ENSURE THE DESIGN AND REVIEW OF ALL TEMPORARY WORKS ARE CARRIED OUT BY A PROFESSIONAL ENGINEER LICENSED AND REGISTERED TO WORK IN ONTARIO.

WOOD NOTES

1. ALL FRAMING TO COMPLY WITH THE PART 9 REQUIREMENTS OF THE ONTARIO BUILDING CODE.
2. PRIOR TO STARTING CONSTRUCTION, ENSURE ALL DIMENSIONS ARE FIELD VERIFIED.
3. ALL FRAMING SHALL BE SECURED TO THE STRUCTURE.
4. CONTRACTOR IS RESPONSIBLE TO ENSURE THE DESIGN AND REVIEW OF ALL TEMPORARY WORKS ARE CARRIED OUT BY A PROFESSIONAL ENGINEER LICENSED AND REGISTERED TO WORK IN ONTARIO.



SHEET LIST

SHEET NUMBER	SHEET NAME
001	INFORMATION SHEET
002	ROOF PLAN
003	FLOOR & CEILING PLAN
004	CEILING PLAN
005	DETAILS & SECTIONS
006	DETAILS & SECTIONS

GENERAL NOTES:

1. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

SITE PLAN LEGEND

- PROPOSED NEW
- EXISTING BUILDING
- EXISTING ASPHALT
- EXISTING GRASS
- PROPERTY LINE
- SETBACK LINE

SHEDDINGS ON SITE PLAN TO BE FIELD VERIFIED BY HOME OWNER, CONTRACTOR OR SITE SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING.

ZONE	AREA
TOTAL PROPERTY AREA	1.33
EXISTING DWELLING	1.10
PROPOSED NEW GARAGE	0.23
NEW TOTAL LOT COVERAGE	1.33

MAXIMUM LOT COVERAGE	MINIMUM HEIGHT	MINIMUM LOT FRONTAGE	MINIMUM FRONT YARD	MINIMUM REAR YARD	MINIMUM INTERIOR SIDE YARD	MINIMUM CORNER SIDE YARD
40%	11m	15m	6m	7.5m	1.2m	4.5m

ROOM FINISH SCHEDULE GENERAL NOTES:

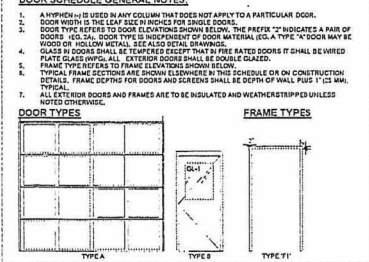
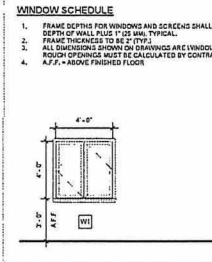
1. REFER TO DOOR SCHEDULE, SPECIFICATIONS, DRAWINGS AND DETAILS FOR SPECIAL CONDITIONS NOT INDICATED ON THIS SCHEDULE. FINISHES SHALL BE ALSO PROVIDED AS SHOWN ON THESE DOCUMENTS.
2. THE CEILING MATERIAL COLUMN ON THE SCHEDULE INDICATES THE MATERIAL AND THE FINISH TO BE USED. WHEN NO CEILING IS INDICATED, THE FINISH INDICATED IS TO BE APPLIED TO THE UNDERSIDE OF THE STRUCTURE ABOVE, INCLUDING ALL FRAMING MEMBERS AND EXPOSED MECHANICAL AND ELECTRICAL SERVICES.
3. ALL CEILING AND CEILING MATERIALS TO MATCH COLOUR OF MATERIAL ON WHICH IT OCCURS UNLESS OTHERWISE APPROVED.
4. DOORS, FRAMES AND SCREENS ARE TO BE FINISHED AS PER DOOR SCHEDULE AND DRAWINGS.
5. REFER TO ABBREVIATIONS FOR ABBREVIATIONS OF MATERIALS, FINISHES, ETC. USED IN THE ROOM FINISH AND DOOR SCHEDULES AND TECHNICAL SECTIONS OF THE SPECIFICATION. ABBREVIATIONS MAY ALSO BE DEFINED IN THE SPECIFICATION SECTIONS WHERE THEY ARE USED.

PRODUCT SELECTION:

ATRIC ACCESS HATCH BY ATRIC HATCH INC. ON APPROVED EQUAL.

ABBREVIATIONS:

ROOM FINISH SCHEDULE	DOOR SCHEDULE
PC POLYSTYRENE CONCRETE	VN VINYL
GS GYPSUM BOARD	AL ALUMINUM
PT PAINT	PT PAINT
NA NOT APPLICABLE	GL GLASS
	GL-1 GLASS TYPE 1
	GL-2 GLASS TYPE 2



ROOM FINISH SCHEDULE

NUMBER	NAME	FLOOR FINISH	BASE MATERIAL	WALL FINISH	CEILING MATERIAL	CEILING FINISH	CEILING HEIGHT	COMMENTS
101	KITCHEN	PC	AL	PT	GL-1	PT	8'-0"	

DOOR AND FRAME FINISH SCHEDULE

NUMBER	DOOR TYPE	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	GLASS	FINISH RATING	COMMENTS
101A	1	36"-0"	80"-0"	AL	PT	PT	AL	PT	GL-1	1	
101B	2	36"-0"	80"-0"	AL	PT	PT	AL	PT	GL-1	1	

ISSUED FOR CONSTRUCTION - APRIL 20, 2023

A0122/2023
Sketch 4

KOMRI ENGINEERING

MATT BELL
1809 HUNTINGTON DR, SUDBURY, ONTARIO
PROJECT NO. KSI-023-098

INFORMATION SHEET

DRAWN IN
CHECKED DRWD
SCALE As Indicated
SHEET

A01

ROOF PLAN LEGEND

- SLOPE
4" / 12"
- DENOTES DRAINAGE FROM EAVES & ROOF SLOPE
- DENOTES DOWN SPOUTS ORY SPLASH PAD
- E
DENOTES EAVESTROUGH ORY DOWNSPOUT
- DENOTES RIDGE VENT
- DENOTES RIDGE LINE
- DENOTES MINIMUM EXTENT OF EAVE PROTECTION, EAVE PROTECTION TO EXTEND A MINIMUM OF 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL.

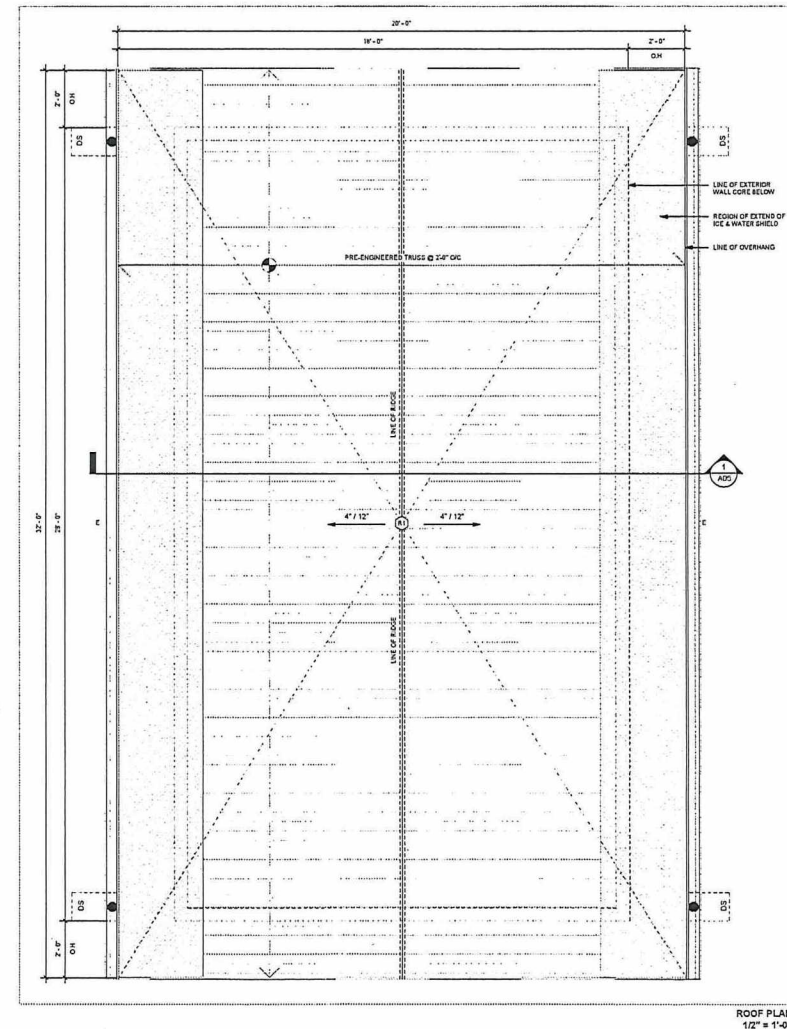
NOTES:

- ICE AND WATER SHIELD TO EXTEND 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL TYPICAL
- THE MANUFACTURED ROOF TRUSSES SUPPLIER SHALL PROVIDE MANUFACTURED ROOF TRUSSES SUITABLE TO THE DESIGN PARAMETERS PROVIDED BY KOMRI ENGINEERING AND IN ACCORDANCE WITH CBC PART 5, 9.23.13.11 WOOD TRUSSES.

ROOF ASSEMBLIES:

- DWELLING PRE-ENGINEERED TRUSSES BY MANUFACTURER

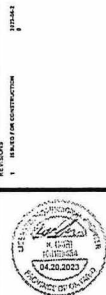
 - METAL ROOFING
 - 1/2" WOOD STRAPPING @ 18" OC
 - EAVESTROUGH AROUND PERIMETER AS PER DETAIL
 - CONSTRUCTION FELT PAVER
 - 1/2" FLYWOOD SHEATHING ORY W/ CLIPS
 - PRE-ENGINEERED TRUSSES @ 2'-0" OC
 - FILLED W/ BLOWN INSULATION (R-25) & BATT INSULATION (R-25)
 - ONE POLY VAPOUR BARRIER - UAF & SEAL
 - CEILING AS SCHEDULED



ISSUED FOR CONSTRUCTION - APRIL 20, 2023

A0122/2023
Sketch 5

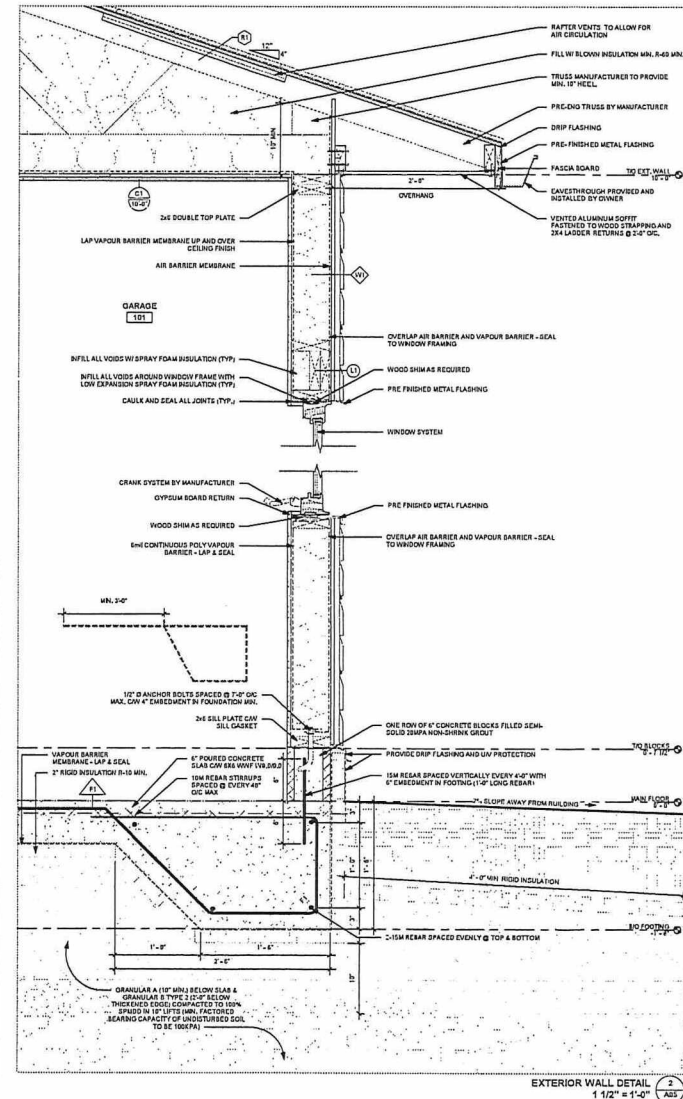
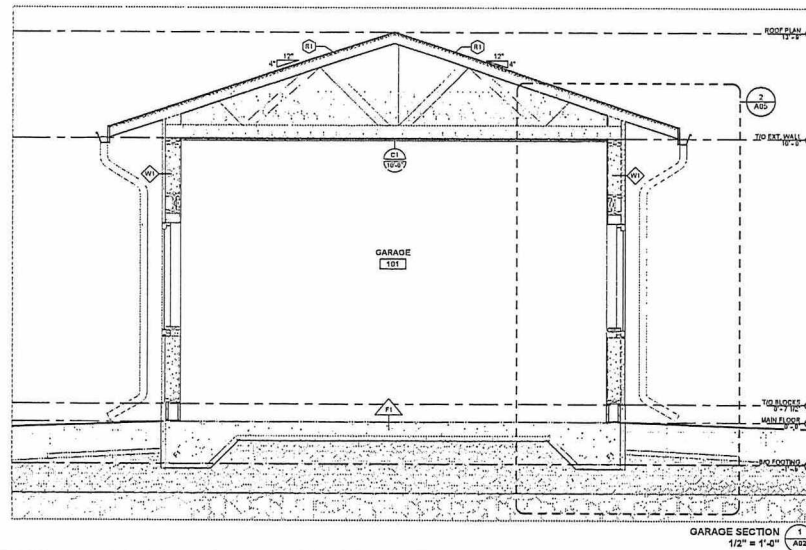
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



MATT BEIL
154024 HUNTINGTON DR. SUGAR CREEK, UT 84403
PROJECT NO. 154024-028

DESIGN IN
CHECKED DRWD
SCALE As Indicated
SHEET

A02



ISSUED FOR CONSTRUCTION - APRIL 20, 2023

A0122/2023
Sketch 7

GENERAL
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE ONTARIO BUILDING CODE (OBC).
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY QUALIFICATIONS AND EXPERIENCE FOR THE WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES FOR THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES FOR THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES FOR THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES FOR THE WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES FOR THE WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES FOR THE WORK.

REVISIONS
1. REVISION FOR CONSTRUCTION
2. REVISION FOR CONSTRUCTION
3. REVISION FOR CONSTRUCTION
4. REVISION FOR CONSTRUCTION
5. REVISION FOR CONSTRUCTION
6. REVISION FOR CONSTRUCTION
7. REVISION FOR CONSTRUCTION
8. REVISION FOR CONSTRUCTION
9. REVISION FOR CONSTRUCTION
10. REVISION FOR CONSTRUCTION

COMRI
ENGINEERING

MATT BELL
183 HURONTARIO STREET, SUITE 200
MISSISSAUGA, ONTARIO L4V 1P4
PROJECT NO. 183HURONTARIO

DRAWN IN
CHECKED DPKO
SCALE As indicated
SHEET

A05

FLOOR ASSEMBLIES:

1" CONCRETE GARAGE SLAB

- FINISH AS SCHEDULED
- 8" CONCRETE SLAB ON GRADE, REINFORCED W/ WVF #4 @ 20" O.C.
- 10 MI POLY VAPOR BARRIER MEMBRANE - SEAL JOINTS (TYP.)
- 2" RIGID INSULATION @ 10" MIN. J. MIN. 20% COMPRESSIVE CAPACITY
- GRANULAR A (15" MIN.) & GRANULAR B TYPE 2 (2" MIN. FILL)

ROOF ASSEMBLIES:

DWELLING PRE-ENGINEERED TRUSS BY MANUFACTURER

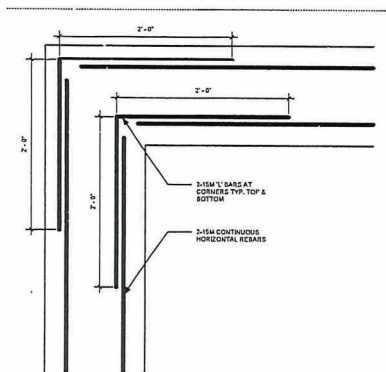
- METAL ROOFING
- 1/2" WOOD STRAPPING @ 16" O.C.
- SAFETY FLASHING AND GUTTER PERMITTER AS PER DETAIL
- CONSTRUCTION FELT PAPER
- 10" PLY WOOD SHEATHING @ 4" O.C.
- PRE-ENGINEERED TRUSS @ 24" O.C.
- FILLER W/ BLOWN INSULATION (R-35) & BATT INSULATION (R-35)
- 6MI POLY VAPOR BARRIER - LAP & SEAL
- CEILING AS SCHEDULED

WHEEL SCHEDULE

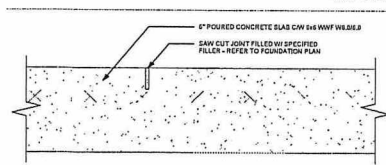
IDENTITY	SIZE
L1	3-PLY 2x6 SPP NO. 1/NO. 2
L2	3-PLY 2x12 SPP NO. 1/NO. 2

FOOTING SCHEDULE

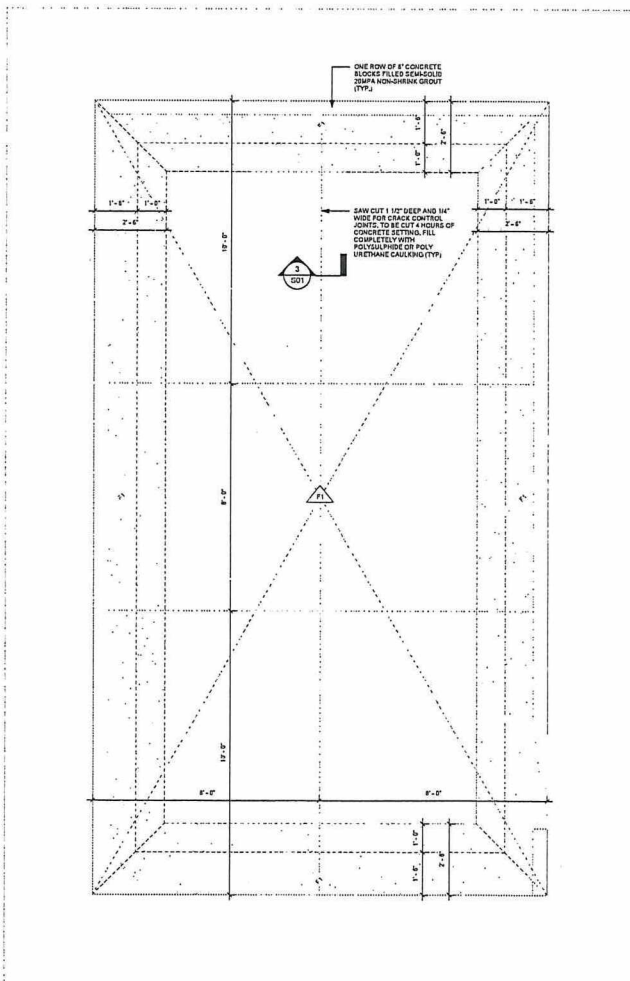
IDENTITY	SIZE
F1	14" DEEP & 14" WIDE THICKENED EDGE SLAB ON 4-1/2" DIA BARS TOP & BOTTOM CONTINUOUS & 10M STIRRUPS @ 4" O.C.



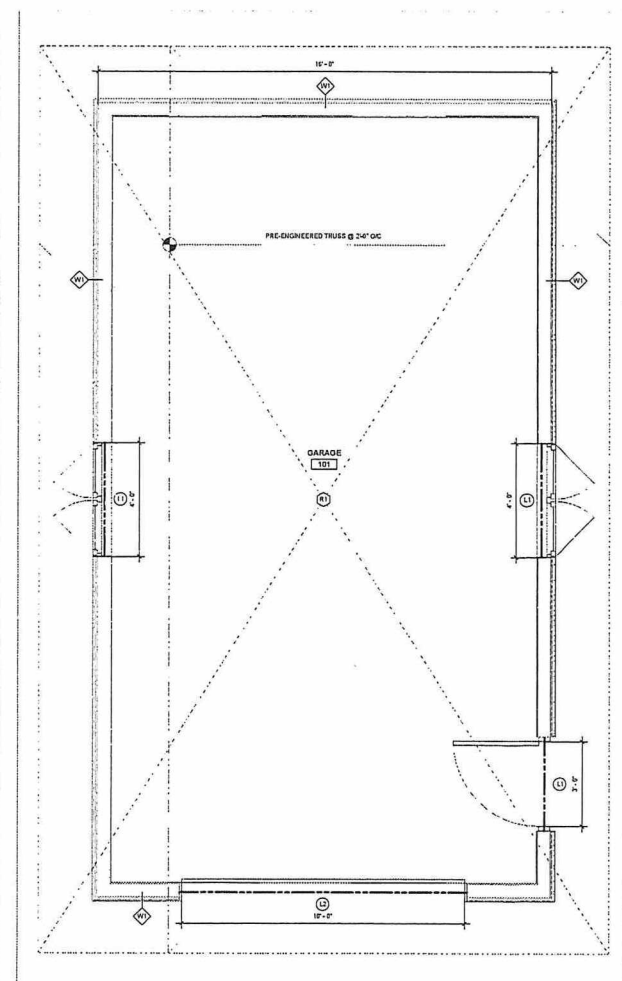
TYP. CORNER LAP FOR HORIZONTAL STEEL REINF
1 1/2" = 1'-0"



TYP. SAW CUT DETAIL
3" = 1'-0"



BIO FOOTING
1/2" = 1'-0"



MAIN FLOOR STRUCTURAL PLAN
1/2" = 1'-0"

ISSUED FOR CONSTRUCTION - APRIL 20, 2023

GENERAL
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE 2015 NATIONAL PLUMBING CODE (NPLC).
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

REVISIONS
1. REVISION FOR CONSTRUCTION
DATE: 04.20.2023
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

KOMRI
ENGINEERING

MAT BELL
1009 HUNTERS LANE, SUITE 100
FREDERICTON, NEW BRUNSWICK
STRUCTURAL PLANS

DRAWN: [Blank]
CHECKED: [Blank]
SCALE: [Blank]
SHEET: [Blank]

S01

A0122/2023
Sketch 8



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A0123/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (Includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Krystal Vanclief Email: [REDACTED]
Mailing Address: 1437 Dearbourne Drive Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury Postal Code: P3A 5E6 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: [REDACTED] Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: TD Canada Trust
Mailing Address: 2208 Lasalle
City: Sudbury Postal Code: P3A 2A8

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
bylaw 201492	1.2m	0.43m	0.77m
↳ 20101002 - side yard setback			

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Keep existing storage shed located 0.43m from neighbouring property line.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
No room to move shed. Shed has been at same location for 30+ years and neighbour whose property line is shared with shed does not have any issue with the shed. Yard becomes sloped in backyard too.

- 6) Legal Description (Include any abutting property registered under the same ownership).

PIN(s): 021115-0163 Township: McKim
 Lot No.: 2 Concession No.: 6 Parcel(s): 42565
 Subdivision Plan No.: M1014 Lot: 115 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 1437 Dearbourne Drive

- 7) Date of acquisition of subject land.
- 2008

- 8) Dimensions of land affected.

Frontage 16.33 (m) Depth 30.48 (m) Area 497.70 (m²) Width of Street n/a (m)

- 9) Particulars of all buildings:

	Existing house	Proposed existing shed
Ground Floor Area:	<u>110.92</u> (m ²)	<u>7.43</u> (m ²)
Gross Floor Area:	<u>204.38</u> (m ²)	<u>7.43</u> (m ²)
No. of storeys:	<u>backsplit 74 level</u>	<u>1</u>
Width:	<u>8.45</u> (m)	<u>3.04</u> (m)
Length:	<u>13.10</u> (m)	<u>2.43</u> (m)
Height:	<u>4.87</u> (m)	<u>3.35</u> (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing house	Proposed existing shed
Front:	<u>6.05</u> (m)	<u>10.32</u> (m)
Rear:	<u>11.33</u> (m)	<u>17.73</u> (m)
Side:	<u>6.54</u> (m)	<u>0.43</u> (m)
Side:	<u>1.34</u> (m)	<u>12.86</u> (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

house → 1979 shed → 1980's, shed fixed in 2019 (new roof) because snow crushed old one

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): storage shed Length of time: 15 yrs by me; 30+ yrs total by family

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?

1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

shed → storage house → living with family
residential

A0123/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If 'Yes', indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Krystal Vanclieaf (please print all names), the registered owner(s) of the property described as 1437 Dearbourne Drive
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25th day of October, 2023

Jay Thomson
(Witness)

Krystal Vanclieaf
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Krystal Vanclieaf

*I have authority to bind the Corporation

A0123/2023


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

NAME, Krystal Vandieaf (please print all names),
the registered owner(s) or authorized agent of the property described as 1437 Dearbourne Drive

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 25th 26th day of October, 20 23


Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

Wanda Wanda
signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

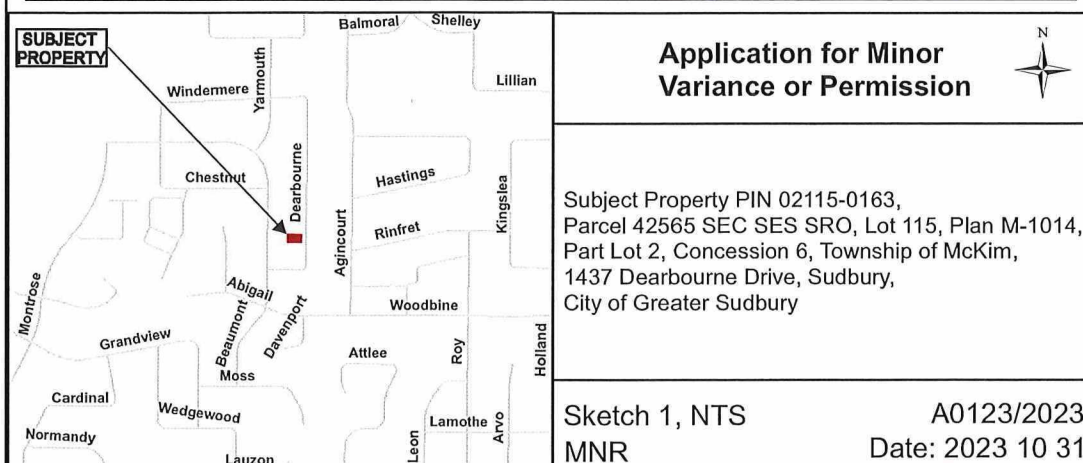
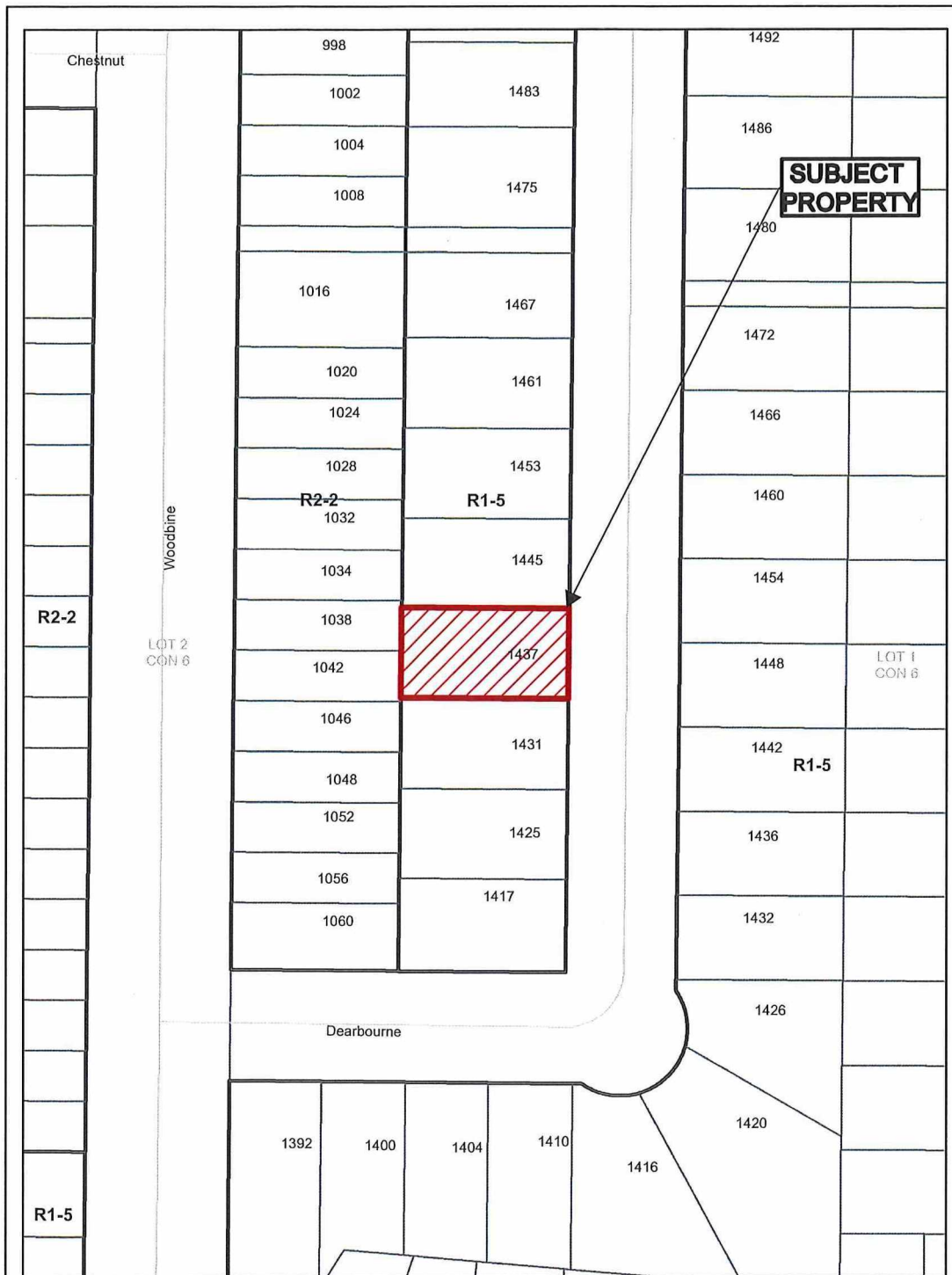
Print Name: Krystal Vanclieaf
 *) have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

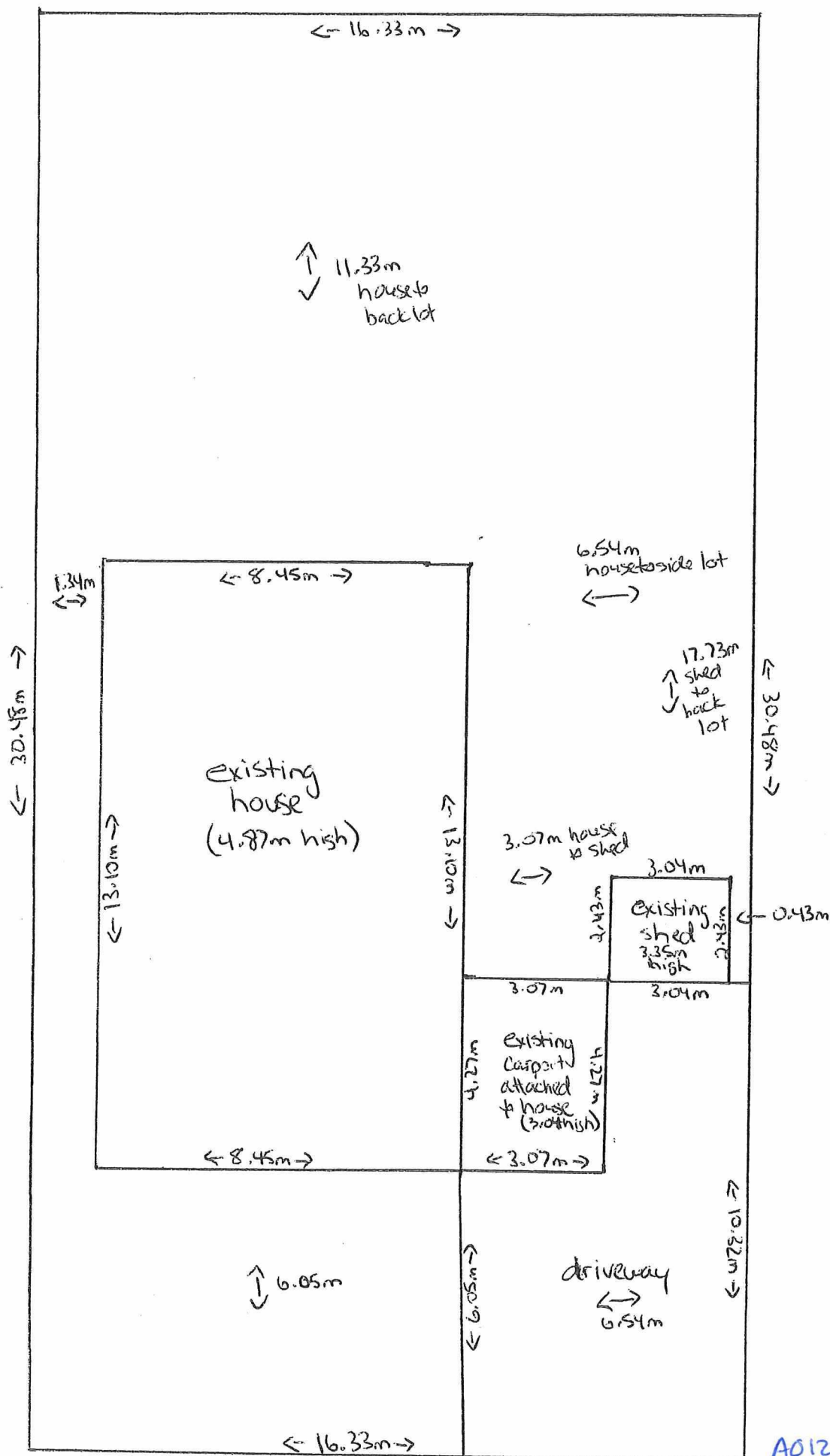
Date of Receipt: <u>Oct 26/23</u>	Hearing Date: <u>Nov 22/23</u>	Received By: <u>S. Pinkerton</u>
Zoning Designation: <u>R1-5</u>	Resubmission: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Previous File Number(s): <u>none</u>		
Previous Hearing Date:		
Notes:		

A0123/2023



1 inch = 3.04 m

N →



1437 Dearbourne Drive

A0123/2023
sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

Office Use Only 2023.01.01
A0124/2023
S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Cary William Clement	Email: [REDACTED]
Mailing Address: 2009 Randolph St	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3B 1X7
	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: David Dorland	Email: [REDACTED]
Mailing Address: 298 Larch St	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3B 1M1
	Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Bank of Montreal
Mailing Address: 79 Durham St
City: Sudbury
Postal Code: P3E 3M5

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Lot Frontage	15.0m	14.48m	0.52m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The lot was created in 1950, legal non-conforming

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73578-0278 & 73578-0232		Township: Neelon	Ward 11
Lot No.: 12	Concession No.: 3	Parcel(s): 14168 & 17714	
Subdivision Plan No.: M-201		Lot: Part of 68	Reference Plan No.: Part(s):
Municipal Address or Street(s): 2009 & 2013 Randolph St			

- 7) Date of acquisition of subject land. 2005

- 8) Dimensions of land affected.

Frontage 14.48 (m) Depth 39.62 (m) Area 571 (m²) Width of Street 20.12 (m)

- 9) Particulars of all buildings:

	House	Existing Garage	Proposed
Ground Floor Area:	95 +/-	48 +/- (m ²)	Same (No Change) (m ²)
Gross Floor Area:	190 +/-	48 +/- (m ²)	(m ²)
No. of storeys:	1	1	
Width:	10 +/-	5.6 +/- (m)	(m)
Length:	10 +/-	8.6 +/- (m)	(m)
Height:	4.6 +/-	3.6 +/- (m)	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House	Existing Garage	Proposed
Front:	7.65	20.17 (m)	No Change (m)
Rear:	21.09	10.79 (m)	(m)
Side:	1.10	1.20 (m)	(m)
Side:	2.85	7.64 (m)	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input checked="" type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

Unknown (around 1950-1960)

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 60+ years

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: Residential

AO 124/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): Concurrent submission

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Cary William Clement (please print all names), the registered owner(s) of the property described as Part of Lot 68, plan M-201, 2009 Randolph St
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize David Dorland (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of October 2023

Melissa P. [Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: CARY CLEMENT

*I have authority to bind the Corporation

A0124/2023


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, David Dorland (please print all names),
the registered owner(s) or authorized agent of the property described as Part of Lot 68, plan M-201, 2009 Randolph St

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 25th day of October, 20 23


Commissioner of Oaths
SUZANNE SIMONE LASCELLES

SUZANNE SIMONE LASCELLES
A Commissioner, etc., Province Of Ontario
for Diane A. Violette, Barrister and Solicitor
Expires June 29, 2026.


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

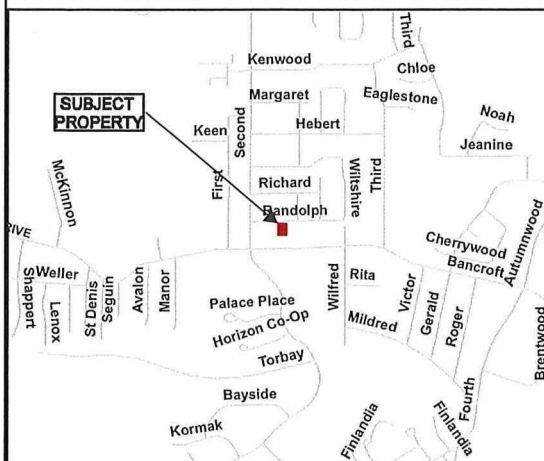
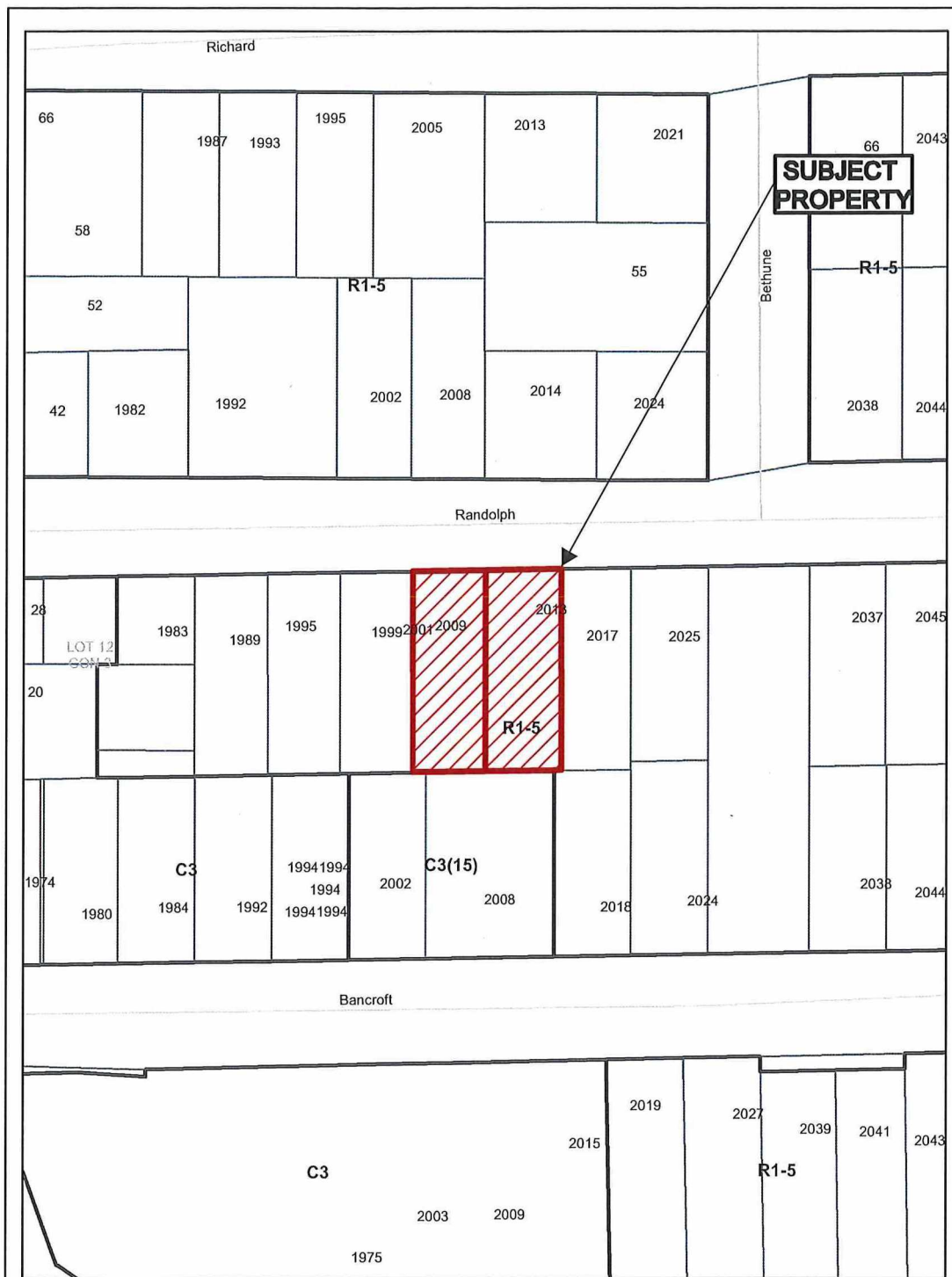
Print Name: 1) ASH / 2) KENNEDY
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Oct 31/23 Hearing Date: Nov 22/23 Received By: S. Pinkerton
Zoning Designation: R1-5 Resubmission: ☒ Yes ☐ No
Previous File Number(s): B100/2021 (Deferred/Expired)
Previous Hearing Date:
Notes:

AO124/2023



Application for Minor Variance or Permission



Subject Property PINs 73578-0278 and 73578-0232, Parcels 14168 and 17714 SEC SES, Part Lots 68 and 69, Plan M-201, Part Lot 12, Concession 3, Township of Neelon, 2009 & 2013 Randolph Street, Sudbury, City of Greater Sudbury

Sketch 1, NTS
MNR

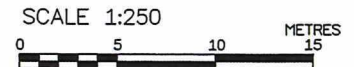
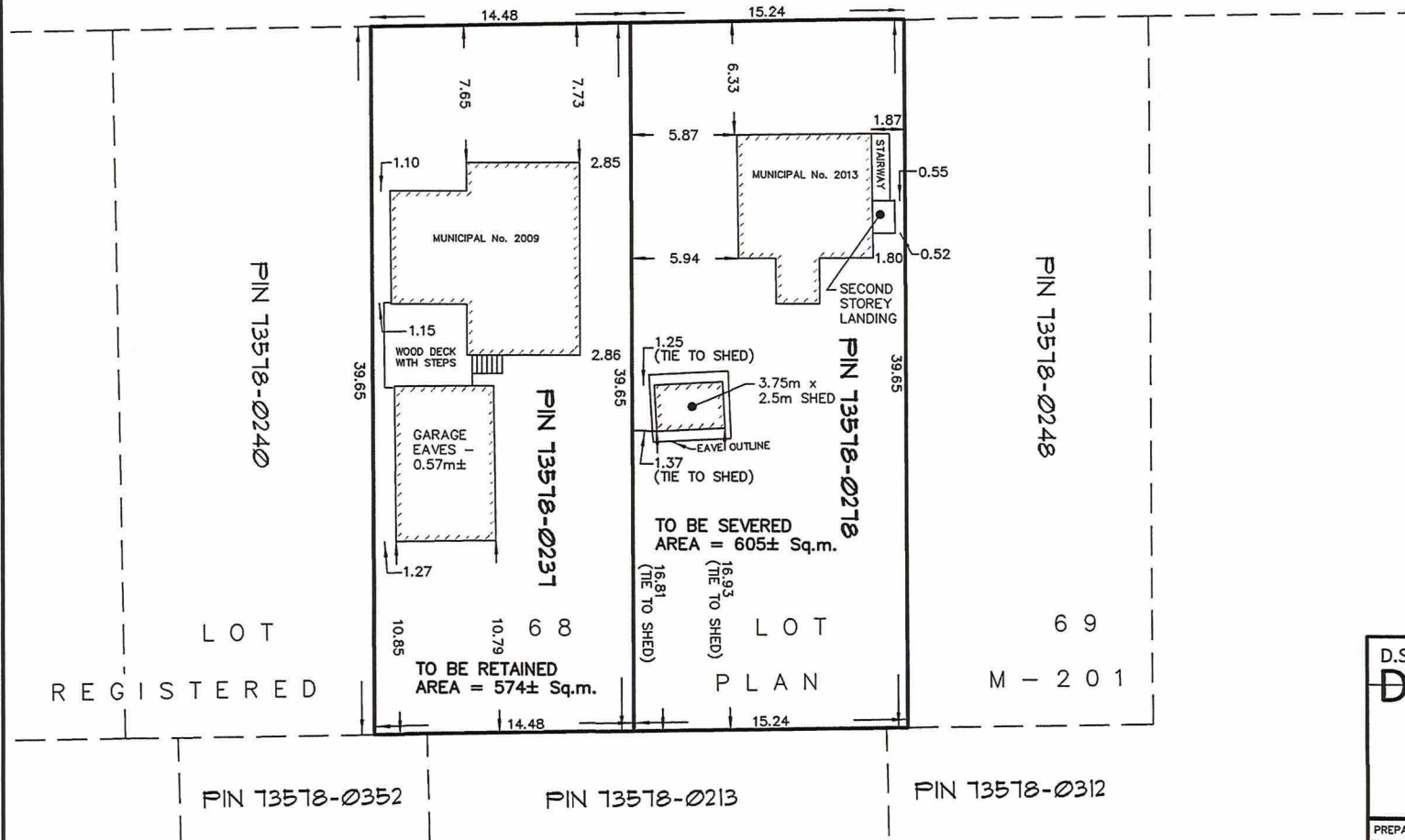
A0124/2023
Date: 2023 11 03

SKETCH FOR PLANNING ACT APPLICATION
PART OF LOT 68
 AND
PART OF LOT 69
REGISTERED PLAN M-201
 GEOGRAPHIC TOWNSHIP OF NEELON
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY

RANDOLPH STREET
 (FORMERLY JAMES STREET)
 PIN 13518-0371

NOTE

THIS IS NOT A PLAN OF SURVEY AND
 SHOULD ONLY BE USED FOR THE PURPOSE
 STATED IN THE TITLE BLOCK.



D.S.	DORLAND	ONTARIO LAND SURVEYORS GEOMATICS PROFESSIONALS
	LIMITED	
	298 LARCH STREET SUDBURY, ONTARIO, P3B 1M1	
	PHONE	[REDACTED]
	WWW.DSDORLANDLIMITED.CA	
PREPARED BY :	WJM	SCALE : 1:250 METRIC
CHECKED :	****	CAD FILE : 18367 SKETCH.dwg
DATE :	OCTOBER 30, 2023	P. SPACE TAB : CONSENT SKETCH

AO124/2023
 sketch 2