

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

August 20, 2025

PUBLIC HEARINGS

**PL-MV-2025-00106 JEAN-FRANCOIS DEMORE
 CHANTAL ROMAIN**

Ward: 12

PIN(s) 021330268, Lot 29, Plan 85-S, Part Lot 5, Concession 4, Township of McKim, 375 Laforest Avenue, Sudbury, [By-law 2010-100Z, R2-3]

For relief from Part 5, Section 5.2, subsection 5.2.3.5, Table 5.2 and Section 5.5, subsection 5.5.3 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the conversion of the existing legal non-conforming 12-unit multiple dwelling to 13-units providing, firstly, 0 required parking spaces, where 13 are required, secondly, no accessible parking spaces, where 1 is required, and thirdly, a minimum lot are of 57.171 sq. m per unit, where 140.0 sq. m per unit is required.

PL-MV-2025-00111 S [REDACTED] MARSHALL

Ward: 2

PIN(s) 733980061, Parcel 19060 SEC SWS, Part Summer Resort Location AE 285, Part 8, Plan SR-457, together with easement over Part 1, Plan SR-457 as in LT212984, Township of Eden, 1067 Kantola Road, Lively, [By-law 2010-100Z, R1-1]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.0m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

This application was deferred from the meeting of June 25, 2025 in order to afford the owner the opportunity to address those comments received from agencies and departments.

PL-MV-2025-00074 BROOKE HOWES
KEN ROBINEAU

Ward: 11

REVISED

PIN(s) 735810523, Firstly: Part Lot 105, Plan M-129, being Parts 2 & 3, Plan 53R-20665; Secondly: Lot 106, Plan M-129, being Part 4, Plan 53R-20665, Part Lot 2, Concession 3, Township of McKim, 51 Downing Street, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.4 (a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.0m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0032/2016 (May 9/16) AND B0033/2016 (May 9/16)

A reminder... the next scheduled meeting is Wednesday, September 3, 2025.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00106

APPLICATION SUMMARY

File Date: 07/16/2025

Application Type: Minor Variance

Address(es): 375 Laforest Avenue, Sudbury P3C 5H9

Applicant(s): GEOFF MCCAUSLAND

Owner(s): JEAN-FRANCOIS DEMORE AND CHANTAL ROMAIN

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Oct 21 2014

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

13

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

1

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

The Property Owner seeks to legalize an existing 13th apartment in the building that was there at the time of purchase.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The property has been occupied since 1948 with a combination of 12 residential apartments and 1 commercial space, and 13 residential apartments. The 13 apartments appear to have been in consistent use since 1990, and the apartments have seen very low vacancy despite the reality that the property can not meet the current zoning bylaw in a variety of ways including setbacks and parking requirements. The owner seeks to legalize the 13th unit so that we can then engage consultants and contractors to ensure that the unit meets all fire and building codes, and obtain all required permits to legitimize the 13th unit.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

24.38

Lot Depth of the property

30.48

Lot Area of the property

743.22

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Single free-standing two-storey multi-residential building with 13 apartments, constructed in 1948. 2 Apartments in the basement, 5 on the first floor, and 6 on the second floor.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Our understanding is that it has been Residential since 1990, was mixed commercial and residential from 1960 until approx. 1990 and residential from 1948-1960.

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

R2-3 Residential immediately to the North, East, South and West, with Institutional lands further south and east. R3 Medium-Density residential further north.

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system ☒

Municipally owned and operated sanitary sewage system ☒

Lake ☐

Pit Privy ☐

Individual Well ☐

Communal Well ☐

Individual Septic System ☐

Communal Septic System ☐

Other ☐

Explain Other

PROPERTY ACCESS

Provincial highway ☐

Right-of-way ☐

Municipal road that is maintained seasonally ☐

Municipal road that is maintained year-round ☒

Water ☐

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

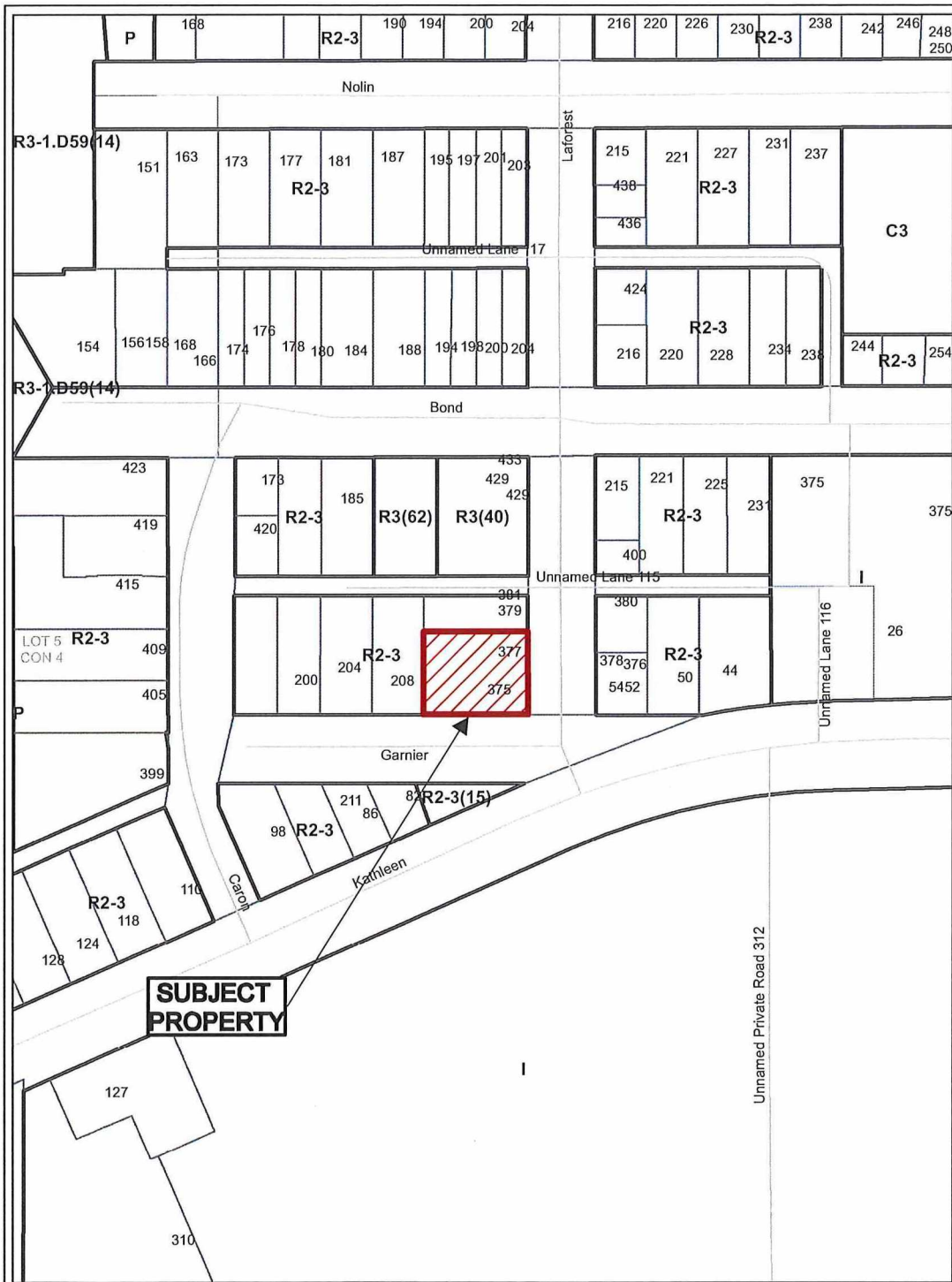
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Freestanding 2-storey 13-unit residential apartment building with full, partly daylight basement with two apartments, laundry, workshop, storage and utility, originally constructed in 1948. 2 apartments in basement, 5 apartments on main floor and 6 on upper floor.	No	405	810	2	27	23.2	9.5	2.35	2.35	0.75	0.75

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Parking Requirements for 13th unit.	1 parking space per unit = 13 Parking spaces required	0 parking provided	13
Minimum Lot Area - Table 6.4	140.0 sq. m per unit	57.171 sq. m per unit	82.829 sq. m
Accessible Parking	1	0	1



Application for Minor Variance or Permission



Subject Property being PIN 02133-0268,
 Lot 29, Plan 85-S,
 Part Lot 5, Concession 4,
 Township of McKim,
 375 Laforest Avenue, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS

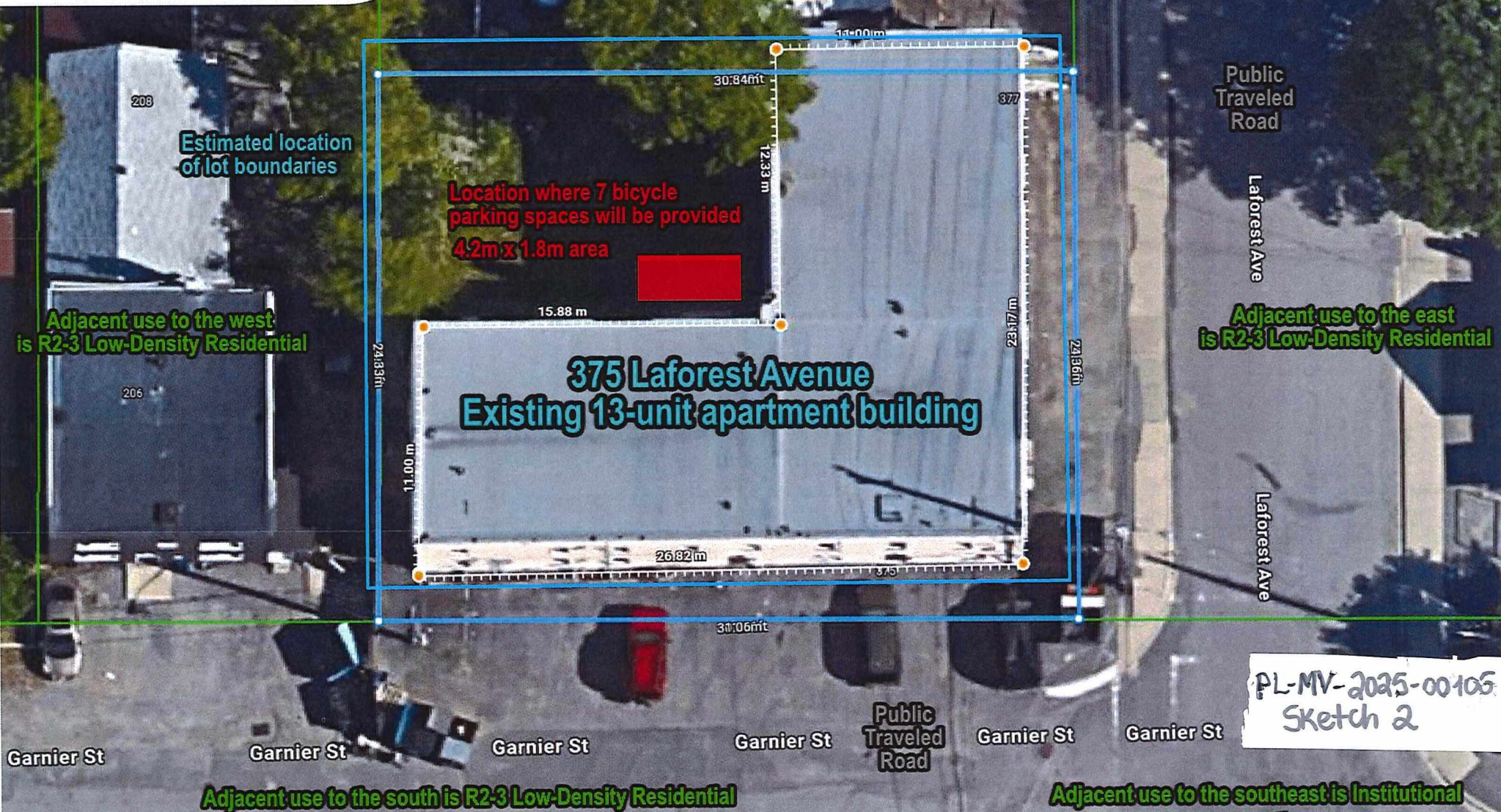
PL-MV-2025-00106

NDCA

Date: 2025 07 18

Imagery and details provided by Teranet Geowarehouse.
Lot Measurement Accuracy is Low.
These lot boundaries may have been adjusted to fit within the
overall parcel fabric and should only be considered to be estimates.

- Building location to remain the same.
- Site Plan to remain the same.
- Seeking variances to recognize the 13th apartment which appears to have been occupied with the building in the present configuration since approx. 1990.





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00111

APPLICATION SUMMARY

File Date: 07/24/2025

Application Type: Minor Variance

Address(es): 1067 Kantola Road, Lively P3Y 1H8

Applicant(s): S [REDACTED] MARSHALL

Owner(s): S [REDACTED] MARSHALL

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

June 1, 2018

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Rural

Current Zoning By-law designation

R1-1

Provide a detailed description of what is being proposed

Construction of a detached garage (including on slab foundation, framing, windows, doors, roofing, eavestrough, soffit, fascia, and siding)

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Garage design includes a loft for storage. The total height of the building must exceed 5.0m in order to safely meet the engineering design by Komri Engineering and the Ontario Building Code.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

27.7

Lot Depth of the property

75.7

Lot Area of the property

2023

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Sauna - Unknown

Shed - Unknown

House - 1946

Septic Bed - Unknown

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential (since 1946)

Is the use remaining the same? If no, please provide the proposed new use

Yes (remaining residential)

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system	☐
Municipally owned and operated sanitary sewage system	☐
Lake	☐
Pit Privy	☐
Individual Well	☒
Communal Well	☐
Individual Septic System	☒
Communal Septic System	☐
Other	☐
Explain Other	

PROPERTY ACCESS

Provincial highway	☐
Right-of-way	☒
Municipal road that is maintained seasonally	☐
Municipal road that is maintained year-round	☒
Water	☐

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

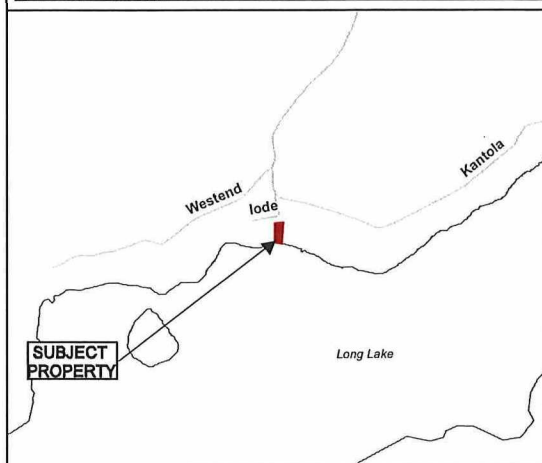
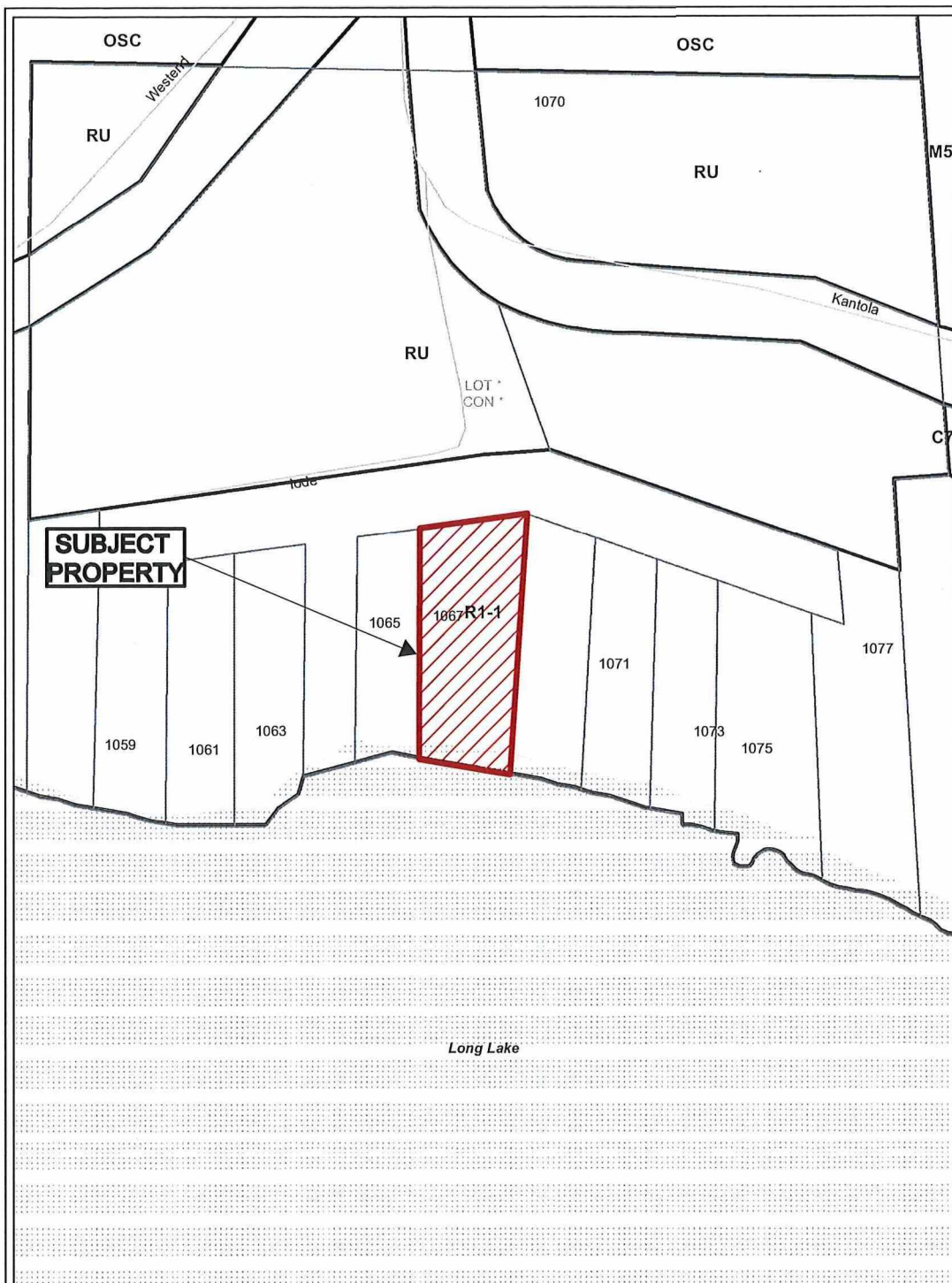
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Garage	No	83	128	1.5	9.8	8.5	8	54.1	15.1	22.9	1.4

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	134	268	2	12.4	11.2	7.3	34.1	29.8	9.7	7.4
Shed	No	8.1	8.1	1	2.7	3	3	40.6	29.7	3.5	23.8
Sauna	No	24	24	1	4.9	4.9	3.3	5.7	62.4	3.7	18.6

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Building Height	4.2.4 Height a) The maximum height of any accessory building or structure on a residential lot shall be 5.0 metres.	8m	3.0m



Application for Minor Variance or Permission



Subject Property being PIN 73398-0061,
Parcel 19060 SEC SWS,
Part Summer Resort Location AE 285,
Part 8, Plan SR-457, together with easement over Part 1,
Plan SR-457 as in LT212984,
Township of Eden,
1067 Kantola Road, Lively,
City of Greater Sudbury

Sketch 1, NTS

PL-MV-2025-00111

NDCA

Date: 2025 07 30

Total Height: 8.0m

ROOF PLAN
26'-4"

T/O DORMERS
21'-11"

LOFT FLOOR PLAN
14'-0"

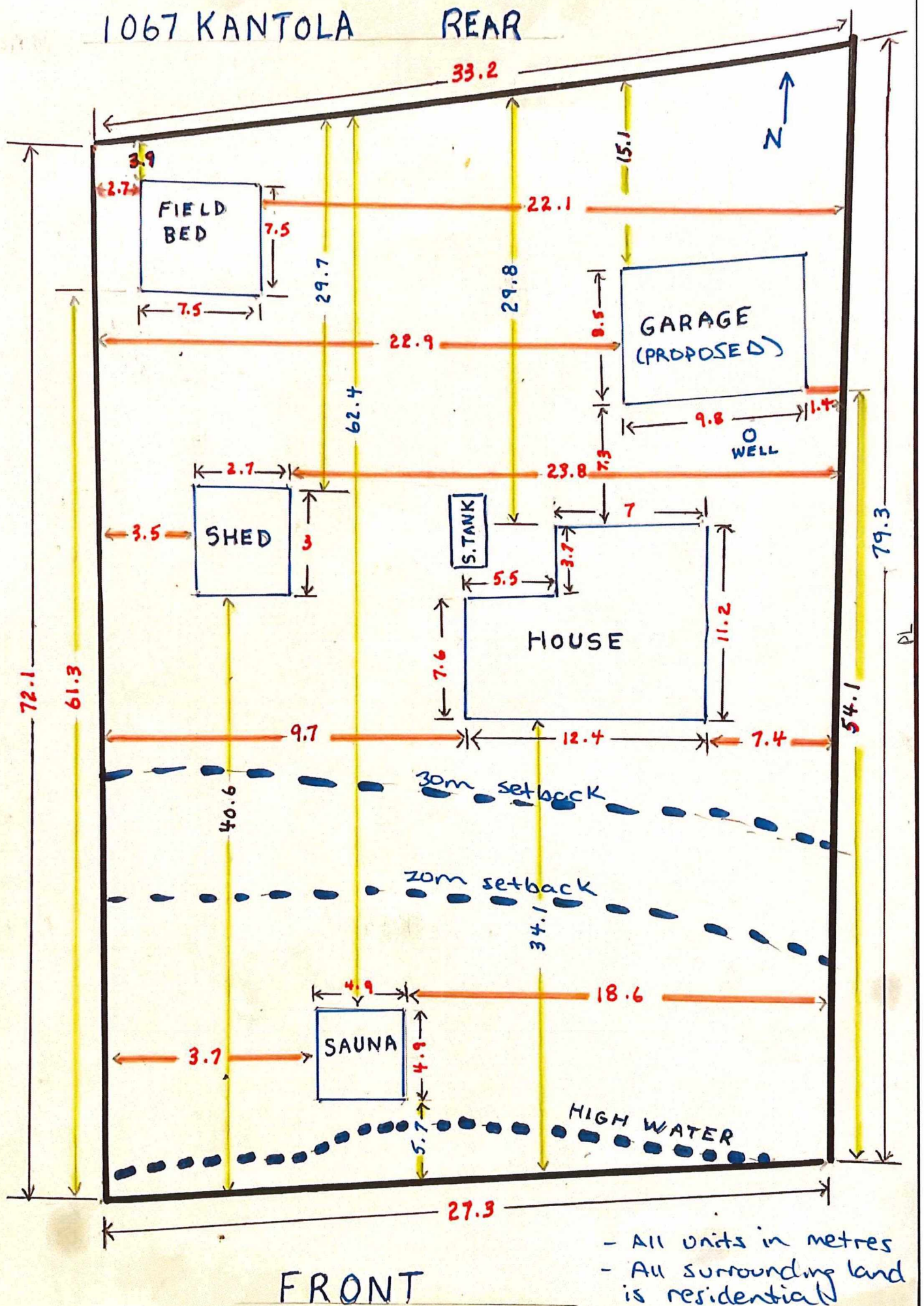
T/O EXT. WALL
13'-0"

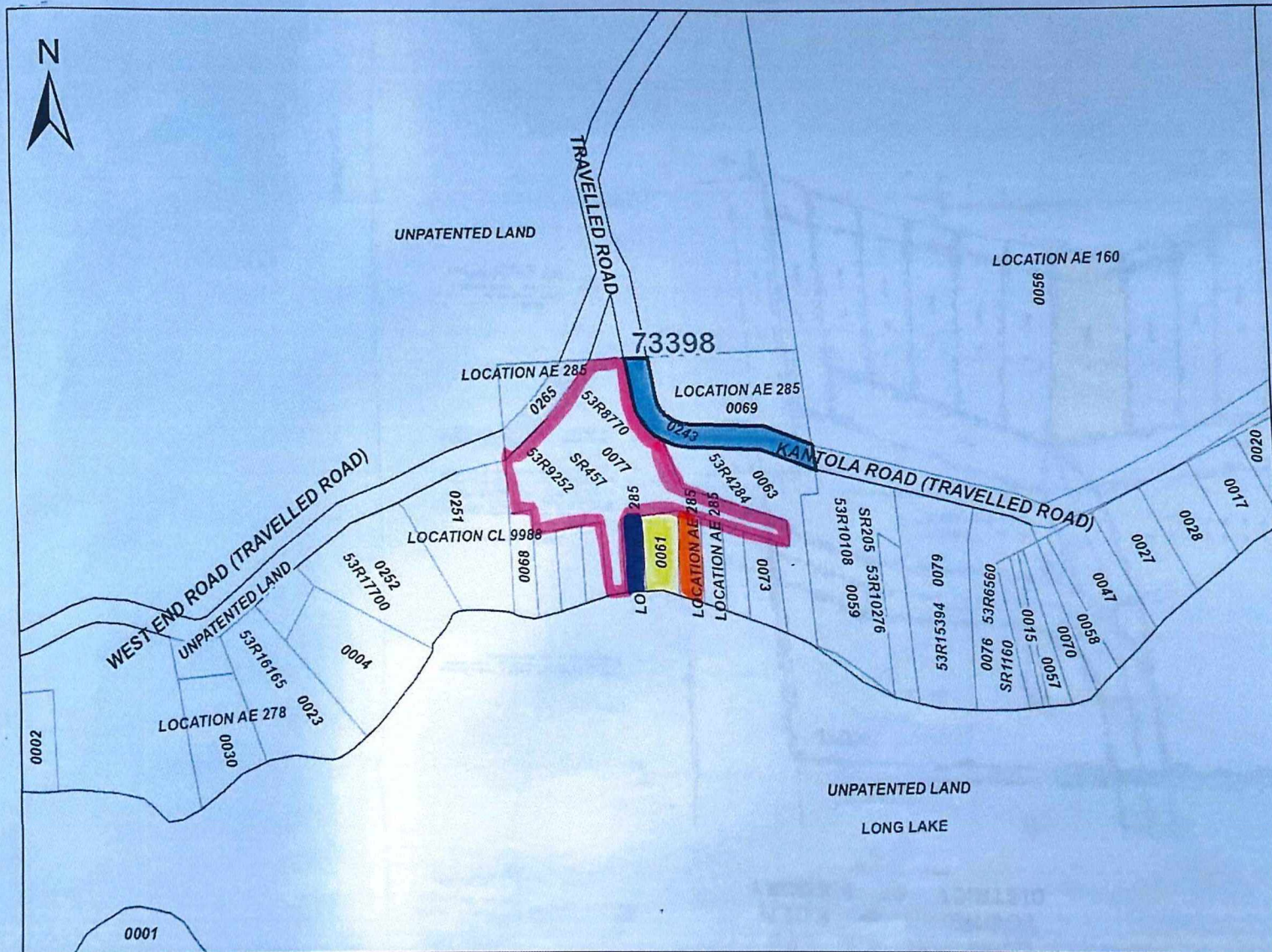
T/O CMU
1'-4"

MAIN FLOOR
0'-0"

U/S THICKENED EDGE
-1'-6"







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Sketch 4

1067 KANTOLA RD, LIVELY, ON
PROJECT NO. KSI-024-414



<u>WALL PHASING</u>	
PHASE	DESCRIPTION
	NEW WALLS(BCC WALL SCHEDULE)

DOOR AND FRAME FINISH SCHEDULE											
ITEM	QUANTITY	UNIT	DESCRIPTION	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
NUMBER	QTY	UNIT	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	GLASS	GLASS FINISH	COMMENTS
101B	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR
101C	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR
101D	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR
101E	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR

ROOM FINISH SCHEDULE											
ITEM	QUANTITY	UNIT	DESCRIPTION	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
NUMBER	QTY	UNIT	WIDTH	HEIGHT	WALL MATERIAL	WALL FINISH	CEILING MATERIAL	CEILING FINISH	FLOOR MATERIAL	FLOOR FINISH	COMMENTS
101B	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR
101C	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR
101D	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR
101E	1	SF	12'-0"	10'-0"	AL	P1	AL	P1	-	-	REGULATED WEATHER STRIPPING, TRACK FOR SLIDING DOOR

1. REFER TO DOOR SCHEDULE, DRAWINGS AND DETAILS FOR SPECIAL CONDITION NOT INDICATED ON THIS SCHEDULE. FINISHES SHALL BE ALSO PROVIDED AS SHOWN ON THESE DOCUMENTS.
2. THE FINISH MATERIAL COLUMN ON THE SCHEDULE INDICATES THE MATERIAL TO BE APPLIED TO THE UNDOORSIDE OF THE STRUCTURE ABOVE, INCLUDING A FRAMING MEMBER AND EXPOSED MEDIANICAL AND ELECTRICAL SERVICES. REFER TO DRAWINGS ON EXTENT OF ALL SYSTEM LEADING BLANKS. ALL BLANKS LEAD TO RECEIPT PAIN FINISH TO MATCH ADJACENT SURFACES UNLESS NOTIFIED OTHERWISE.
4. DOOR, FRAME, AND SCHEDULE ARE TO BE FINISHED AS PER DOOR SCHEDULE DRAWINGS.

2. CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 20 MPa MINIMUM AT 28 DAYS - 4.7% AIR
3. THE CONTRACTOR AND CONCRETE SUPPLIER TO MEET ALL CERTIFICATION, DOCUMENTATION AND QUALITY CONTROL REQUIREMENTS.
4. THE CONCRETE SUPPLIER TO BE CERTIFIED BY THE READY-MIX CONCRETE ASSOCIATION OF ONTARIO
5. THE CONTRACTOR AND THE CONCRETE SUPPLIER ARE TO ENSURE THAT THE PLASTIC AND HARDENED MIX PROPERTIES MEET ALL SPECIFIC REQUIREMENTS FOR PLACING, FINISHING AND THE OWNERS PERFORMANCE REQUIREMENTS
6. CONCRETE TO BE PORTLAND CEMENT TYPE GJ UNLESS NOTED OTHERWISE OR REQUIRED BY EXPOSURE CLASS
7. PLACE CONCRETE AS CLOSE AS POSSIBLE TO FINAL LOCATION TO AVOID SEGREGATION, VIBRATE ALL CONCRETE
8. CHASE THE EDGES OF ALL STRUCTURAL CONCRETE MEMBERS

SHEET LIST	
SHEET NUMBER	SHEET NAME
A011	INFORMATION SHEET
A012	SEIT PLAN & ROOF PLAN
A013	FLOOR PLAN & REFLECTED CEILING PLAN
A014	ILLUSTRATIONS
A015	UL TAILS & SECTIONS
A016	UL TAILS & SECTIONS
A017	STRUCTURAL PLANS & UL TAILS

100



137 KANTOLA RD, LIVELY, G
PROJECT NO. KSI-024-414

OWN	C
CKED	DP/K
LL	1/4" = 1'-0"
LT	

A01

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch 5

A01

1. EXISTING REFER TO DRAWING PREPARED BY BORTOLUSSI SURVEYING FOR GRADING INFORMATION.
2. PROVIDE NEW 3" WIDE (WHITE) LINE PAINTING ON ALL NEW ASPHALT.
3. ALL SIDEWALKS & PATHWAYS TO BE 5'-0" MIN. WIDE UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

	PROPOSED NEW
	DENOTES EXISTING BUILDING
	DENOTES ASPHALT
	DENOTES GRASS
	DENOTES PROPERTY LINE
	DENOTES SETBACK LINE

	DNOTES DRAINAGE FROM CAVES & ROOF SLOPE
	DNOTES DOWN SPOUTS CW SPLASH PAD
	DNOTES CAVESTROUGH CW DOWNING-OUT
	DNOTES RIDGE VENT
	DNOTES MINIMUM EXTENT OF EAVE PROTECTION. EAVE PROTECTION TO EXTEND A MINIMUM OF 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL.

1. CONTRACTOR TO SITE VERIFY EXISTING SLOPE AND DIMENSIONS PRIOR TO ORDERING TRUSSES. REPORT BACK TO KOMI ENGINEERING IF ANY DISCREPANCIES OCCUR.
2. ICE AND WATER SHEILD TO EXTEND 1/4" PAST INTERIOR FACE OF EXTERIOR WALL (TYPICAL)
3. THE MANUFACTURED ROOF TRUSS SUPPLIER SHALL PROVIDE MANUFACTURED ROOF TRUSSES SUITABLE TO THE DESIGN PARAMETERS PROVIDED BY KOMI ENGINEERING AND IN ACCORDANCE WITH OGC PART 9 - 9.23.13.11 WOOD TRUSSES.

(N)	PROF. ENGINEER ATTIC TRUSSES
	25 YR ASPHALT SHINGLES 1/2" LAP PROTECTION AROUND PERIMETER - CONSTRUCTION FELT PAPER - LOW PLYWOOD SHEATHING WITH GW 7" GLIPS - GLIPS ENGAGED ABOVE TRUSSES @ 2'-0" OC BY OTHERS - W/ 2" DOWN INSULATION (R-30) AND BATT INSULATION IN CATHEDRAL NOOD. (R-35) - W/ POLY VAMON RUBBER MEMBRANE, LAP & SEAL - CEILING AS SCHEDULED
(N)	DWELLING PROF. ENGINEER TRUSSES
	25 YEAR ASPHALT SHINGLES - TRAVERS EIGHT AROUND PERIMETER AS PER DETAIL - CEIL. AND WALLS SHEATHED WITH PLYWOOD AND FLASHING AHEAD - CONSTRUCTION FELT PAPER - LOW PLYWOOD SHEATHING WITH GW 7" GLIPS - GLIPS ENGAGED ABOVE TRUSSES @ 2'-0" OC BY OTHERS 2" DOWN INSULATION (R-30) NOTE: CATHEDRAL CEILINGS (R-35) - CEILING AS SCHEDULED

ZONE *	=R1-1
TOTAL PROPERTY AREA*	= 2097m ²
PROPOSED NEW DWELLING*	= 83m ²
EXISTING DWELING*	= 134m ²
NEW TOTAL LOT COVERAGE*	= 10%
MAIN FLOOR F?? *	= 893 F ²
MAXIMUM LOT COVERAGE*	= 40%
MAXIMUM HEIGHT*	= 11m
MINIMUM LOT FRONTAGE*	= 45m
MINIMUM FRONT YARD*	= 6m
MINIMUM REAR YARD*	= 7.5m
MINIMUM INTERIOR SIDE YARD*	= 1.2m
MINIMUM CORNER SIDE YARD*	= 4.5m



PARTITION ASSEMBLIES NOTES:

2. ALL INTERIOR PARTITIONS ARE TO BE 1" UNLESS NOTED OTHERWISE.
 * NOT TO ANY DIMENSION INDICATES THAT MEASUREMENT SHOULD BE FIELD
 VERIFIED AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE FIELD CONDITIONS.
 FIELD VERIFICATION CONCERNING DIMENSIONS OF PARTITIONS TO BE
 REIMPLEMENTED.
3. ALL PARTITIONS MUST BE INSTALLED TO THE TOP OF THE STUD PARTITION BOARD ON BOTH SIDES OF PARTITION &
 CONVENT BOARD BEHIND ALL WALL MOUNTED TIE WORK.
 PARTITION BOARD UNDOING TO ACCOMMODATE WALL MOUNTED OR ACCESSORIES
 CONVENT LOCATIONS.
4. ALL PARTITIONS TO EXTEND TO TOP OF STRUCTURE UNLESS OTHERWISE NOTED.
 PARTITIONS TO BE SHIPPED.
5. ALL FLOOR LAYOUTS ARE REFERENCE TO AND FROM DOWN FLOOR DRAIN
 LAYOUT OF 0'.
6. ALL SANITARY, ELECTRICAL, CONDUITS IN GYPSSUM BOARD PARTITIONS SHALL BE
 FINISHED WITH CORNER GUARDS.
7. ALL PARTITIONS BE LOCATED IN ROOM FROM WALL, FACE TO DOOR FRAME EDGE.
 THE TYPE UNLESS NOTED OTHERWISE.
 THE LITTER X NEXT TO PARTITION TAGS INDICATES PARTITIONS THAT ONLY EXTEND TO

PARTITION ASSEMBLIES:

TYPICAL INTERIOR WOOD STUD PARTITION

- 1/2" GYPSUM BOARD ON BOTH SIDES OF
- 2 x 4 SPF NO. 1/NO. 2 WOOD STUDS @ 16" O.C.

LEGEND

ROOM NAME 101	DENOTES ROOM NAME AND NUMBER REFERENCE
PT	DENOTES PARTITION ASSEMBLY TAG REFERENCE
W1	DENOTES WINDOW TAG REFERENCE
W1	DENOTES EXTERIOR WALL TAG REFERENCE
FD	DENOTES FLOOR DRAIN
DOOR	DENOTES DOOR AND DOOR NUMBER

WALL ASSEMBLIES:

↑ DWELLING EXTERIOR W/ SIDING

- * HORIZONTAL VINYL SIDING BY OWNER
- * 1X3" VERTICAL WOOD SHAPING @ 16" O.C
- * 1 1/2" RIGID INSULATION (R-7.5)
- * AIR BARRIER MEMBRANE - LAP & SEAL
- * 7/16" OSB SHEATHING
- * 2x6 SPS NO. 1/ NO. 2 STUD @ 16" O.C (DOUBLE TOP PLATE)
- * 5-1/2" BATT INSULATION (R-22)
- * 6mi POLY VAPOUR BARRIER - LAP & SEAL
- * 1/2" GYPSUM BOARD

RCP LEGEND

	101 DENOTES ROOM NUMBER REFERENCE
	C1 DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE
	9'-0" DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR
	DENOTES RECESSED POT LIGHTS
	DENOTES GYPSUM BOARD CEILING

 AH

DENOTES ATTIC ACCESS HATCH - PRE-MANUFACTURED HATCH 550mm X 900mm MIN. CO-ORDINATE LOCATION OF HATCH WITH OWNER AND CONFIRM WITH CONSULTANT PRIOR TO INSTALLATION

NOTE:
ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN WOOD TRUSSES AT 800mm (2'-0") ON CENTER.

NOTES:

1. REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
2. CEILING HEIGHTS ARE BASED ON THE FLOOR THEY ARE LOCATED ON. SEE PLAN.
3. ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PUNCTURE THE VAPOUR BARRIER ARE TO BE FULLED WITH THE APPROPRIATE SEALANT AND MEMBRANCE, REFER TO SPECIFICATION SECTIONS 07900 SEALANTS AND 07105 MEMBRANE AIR / VAPOUR BARRIERS.

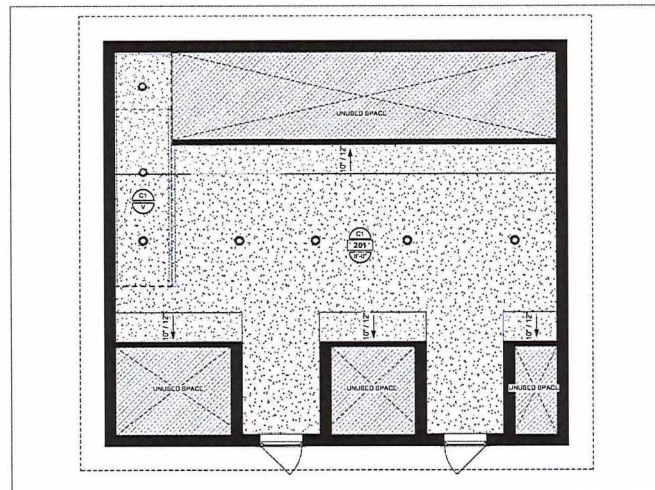
CEILING ASSEMBLIES:

 **TYPICAL GYPSUM BOARD CEILING**

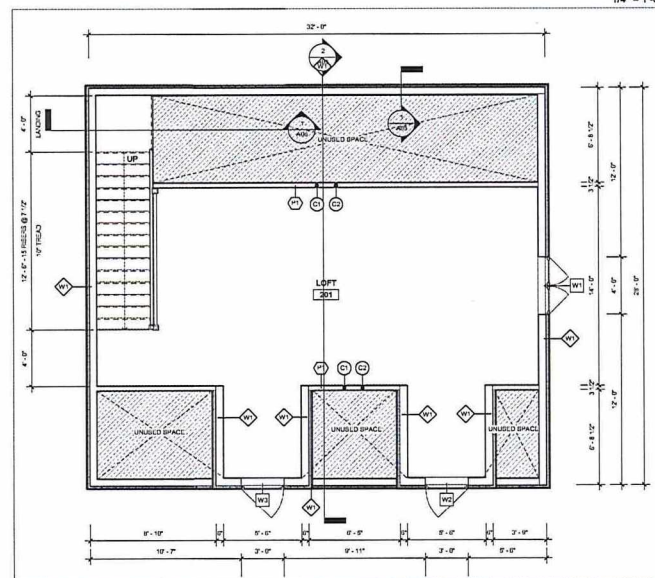
- * 1/2" GYPSUM BOARD
- * 1/2" RESILIENT CHANNELLING @ 16" O.C.

CONSTRUCTION NOTES (TAGS):

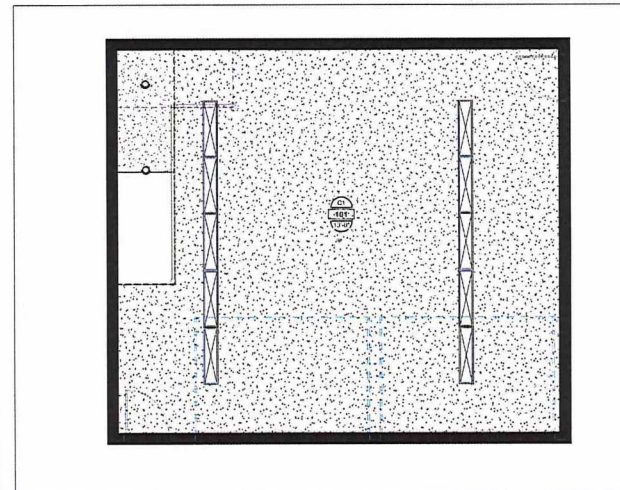
- (C1) CONTRACTOR TO PROVIDE 1/2" GYPSUM BOARD SHEATHING ON INTERIOR FACE OF WALL.
- (C2) CONTRACTOR TO FILL ROOF RAFTER WITH R-35 BATT INSULATION. CEILING AS SCHEDULE.
- (C3) CONTRACTOR TO INSTALL LEDGER BOARD. REFER TO TYP. STAIR DETAIL, 1/A003.



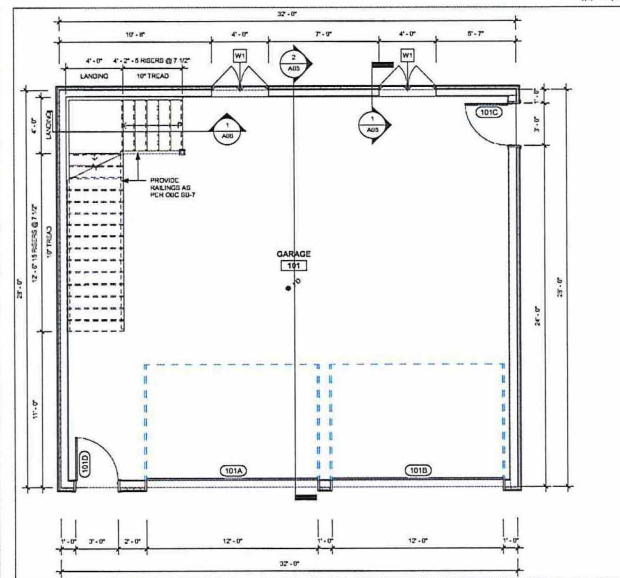
SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



LOFT CONSTRUCTION FLOOR PLAN
1/4" = 1'-0"



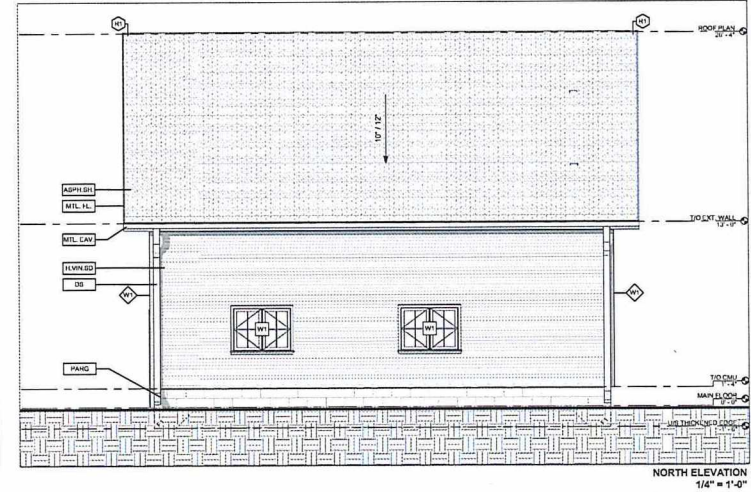
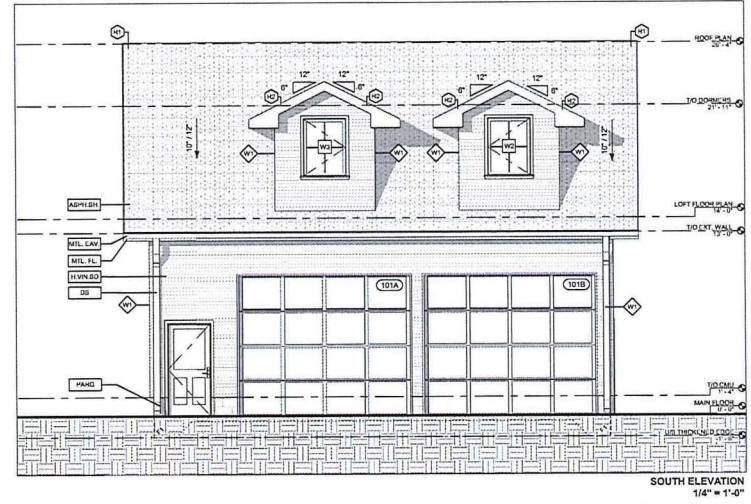
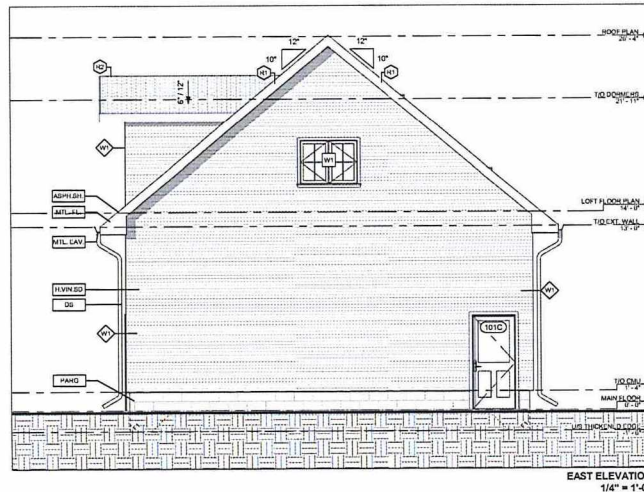
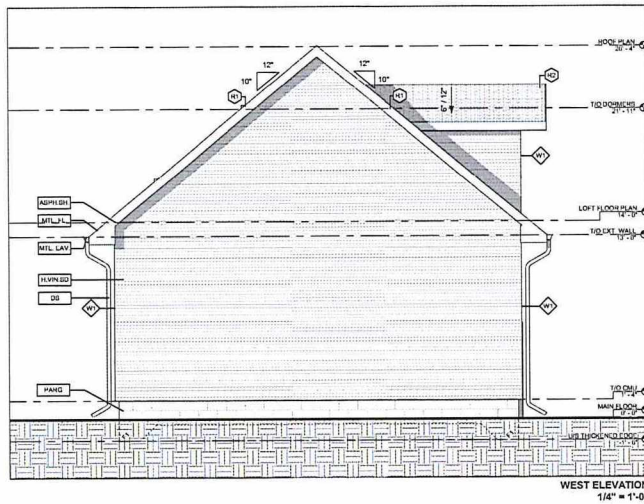
MAIN FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



MAIN FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

Sketch 7

LEGEND	
	DENOTES METAL FLASHING
	DENOTES 20 YEAR ASPHALT SHINGLES
	DENOTES HORIZONTAL VINYL SIDING BY OWNER
	DENOTES PARING
	DENOTES METAL CAVSTROUGHT
	DENOTES METAL DOWN SPOUT
	ROOF IDENTIFICATION IN SCHEDULE
	FOUNDATION IDENTIFICATION IN SCHEDULE
	WALL IDENTIFICATION IN SCHEDULE
	DOOR IDENTIFICATION IN SCHEDULE
	WINDOW IDENTIFICATION IN SCHEDULE
	FOOTING IDENTIFICATION IN SCHEDULE
	POST IDENTIFICATION IN SCHEDULE



PL-MV-2025-00111

Sketch 8

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

GENERAL
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO BE VERIFIED BY THE OWNER.
3. ALL DIMENSIONS ARE TO BE VERIFIED BY THE OWNER.
4. ALL DIMENSIONS ARE TO BE VERIFIED BY THE OWNER.

REVISIONS
1. REVISION FOR CONSTRUCTION

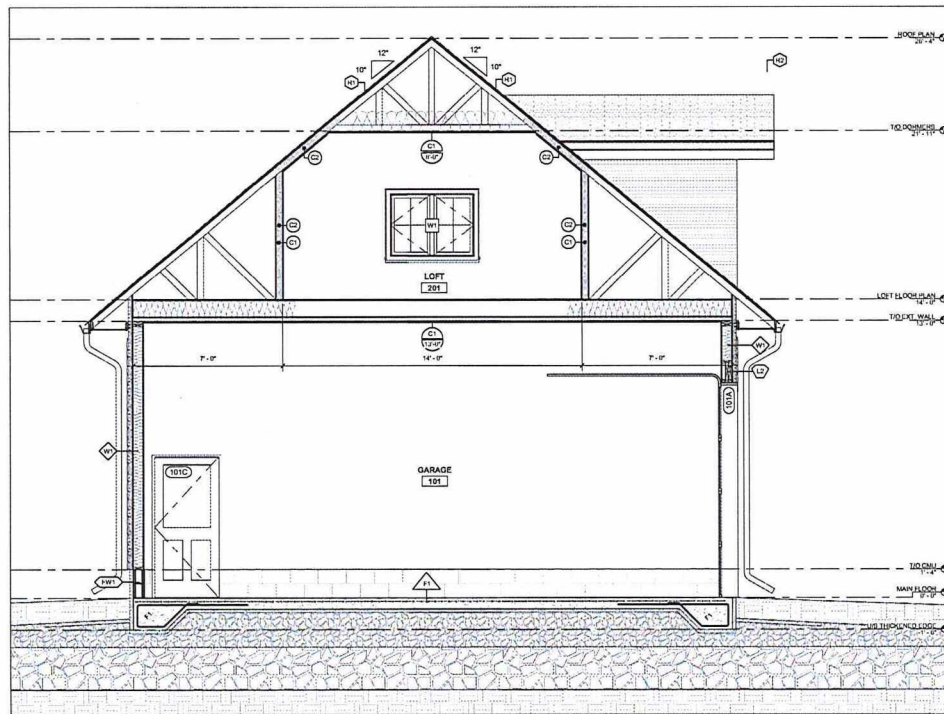


PAUL DAVIS
1857 HANTLAND LANE, NW
PROJECT NO. 18501444

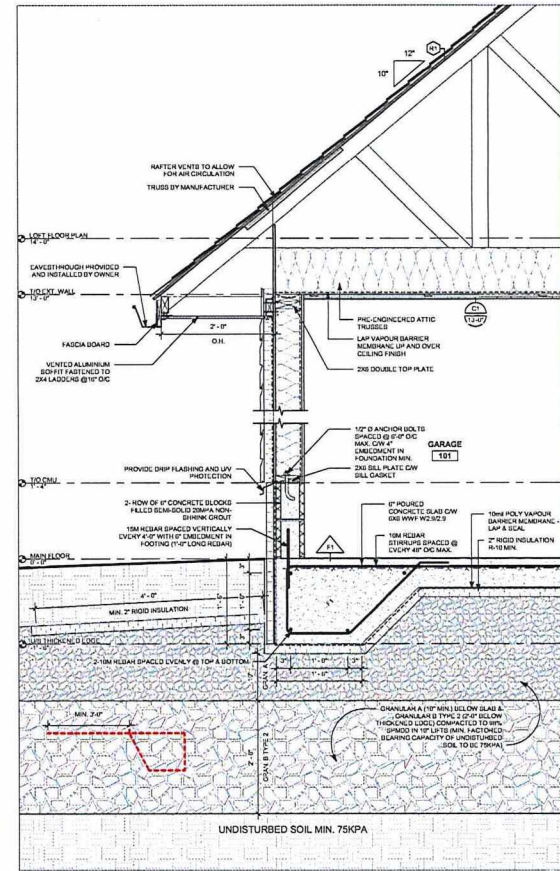
ELEVATIONS

OWNER: CB
ARCHITECT: DPKO
SCALE: 1/4" = 1'-0"
SHEET

A04



TYP. BUILDING SECTION
3/8" = 1'-0"



TYP. EXTERIOR WALL DETAIL
1" = 1'-0"

PL-MV-2025-00111

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch 9

GENERAL
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE LATEST EDITIONS OF THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE (CNPMC).
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURAL ELEMENTS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE PRIOR TO COMMENCING WORK.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
6. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.

24/11/24

REVISIONS
1. REVISION FOR COMMENTS

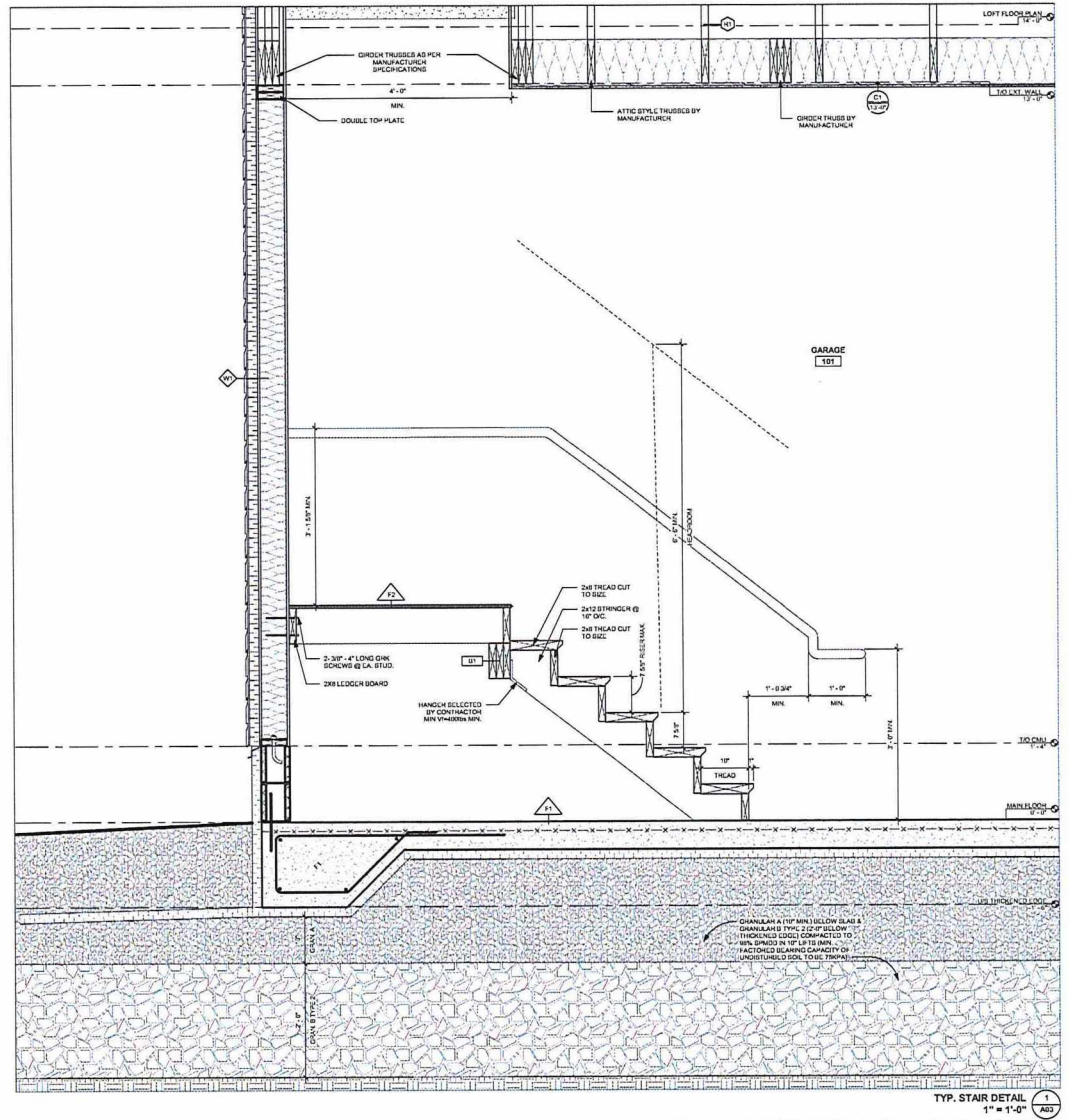
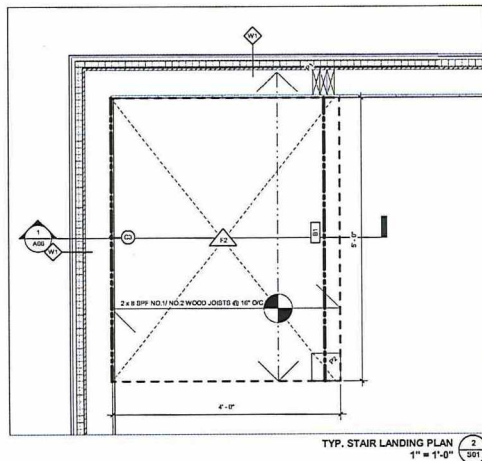


PAUL DAVIS
12034
REGISTERED PROFESSIONAL ENGINEER

DETAILS & SECTIONS

DRAWN: CB
CHECKED: DP/KO
SCALE: As Indicated
SHEET: 1

A05



PL-MV-2025-00111

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch 10

GENERAL
1. ALL DIMENSIONS TO THE CENTERLINE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS TO THE FACE UNLESS OTHERWISE NOTED.
3. THESE DIMENSIONS SHALL BE THE PROPERTY OF 2024.
4. 100% FOR CONSTRUCTION

REVISIONS
1. 100% FOR CONSTRUCTION



KOMRI
ENGINEERING

PAUL DAVIS
100% KANTO, L.P., L.P., ON
PROJECT NO. K802541E

DETAILS & SECTIONS

OWNER	CB
ARCHITECT	DPKD
SCALE	1" = 1'-0"
SHEET	

A06

EXTENSION BLOCK FOUNDATION WALL

2. ROW OF 6" SEMI SOLID CONCRETE BLOCK C/W 1/2" Ø ANCHOR BOLTS SPACED @ 6" Ø C/C MAX. C/W 15# REBAR @ 6" ACED VERTICALLY C/W 1/2" Ø 4" W/ 6" EMBEDMENT IN FOUNDATION MIN. FILL BLOCKS W/ 20 MPa NON-SHRINK GROUT AT ANCHOR BOLT LOCATIONS. REF. TO DETAIL.

1" CONCRETE GARAGE SLAB

- FINISH AS SCHEDULED
- 1" CONCRETE SLAB ON GRADE C/W WYF SXS 2 W/2 B
- 10 LB POLY VAPOUR BARRIER MEMBRANE - SEAL JOINTS (TYP.)
- 2" RIGID INSULATION (R15 MIN.) - MIN 200 KPA COMPRESSIVE CAPACITY
- CHALKLASH 1" (1" POLYSTYRENE SLAB) & GRANULAR B TYPE 2 (2-3" MAX) AS PER PLAN

- FINISH AS SCHEDULED
- 2 x 8 S/P NO. 1/ NO. 2 WOOD JOISTS @ 16" OC. CW
- T&G PLYWOOD SHEATHING
- BRIDGING - REFER TO STRUCTURAL
- CEILING AS SCHEDULED

- FINISH AS SCHEDULED
- 2x10 SIP: NO. 1/ NO. 2 WOOD JOISTS @ 16" O.C. CW
- BRIDGING - REFER TO STRUCTURAL
- CEILING AS SCHEDULED

DWELLING EXTERIOR WEIDING

- HORIZONTAL VINYL SIDING BY OWNERS
- 1X3 VERTICAL WOOD SHRAPPING @ 16" O.C
- 1 1/2" RIGID INSULATION (R-7.5)
- AIR BARRIER MEMBRANE - LAP & SEAL
- 7/16" DOG SLICATING
- 2x6 SIPS: NO 1 AND 2 STUD @ 16" O.C (DOUBLE TOP PLATE)
- 5-1/2" BATT INSULATION (R-22)
- 6mil POLY VAPOUR BARRIER - LAP & SEAL
- 1/2" GYPSUM BOARD

PHE ENGINEERED ATTIC TRUSSES

- 25YR ASPHALT SHINGLES
- EAVE PROTECTION AROUND PERIMETER
- CONSTRUCTION FELT PAPER
- 1/2" PLYWOOD SHEATHING WITH OW 1" CLIPS
- PHE ENGINEERED ATTIC TRUSSES @ 2'-0" OCG BY OTHERS
- FILL W/ BLOWN INSULATION (R-60) AND BATT INSULATION IN CATHEDRAL NOOK (R-30)
- 6MIL POLY V VAPOUR BARRIER MEMBRANE - LAP & SEAL
- CEILING AS SCHEDULED

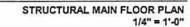
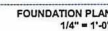
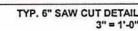
- * 25 YEAR ASPHALT SHINGLES
- * EAVES/ROUGH AROUND PERIMETER AS FOR DETAIL
- * ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
- * CONSTRUCTION FLEET RAUNCH
- * 1/2" PLYWOOD SHEATHING, C/W/F CLIPS
- * PHC-ENGINEERED ROOF TRUSSES BY OTHERS @ 2'-0" OC BY OTHERS
- * BLOWN INSULATION (R-60) NOTE: CATHEDRAL CEILING (R-35)
- * CEILING AIR SCHEDULING

IDENTITY	SIZE
F1	1'-4" X 1'-6" CONTINUOUS THICKENED EDGE SLAB CH# 3-16M BARS TOP & BOTTOM CONTINUOUS & 10M STIRRUPS @ 48" O.C.

IDENTITY	SIZE
L1	2-PLY 2x6 SPF NO. 1 AND 2
L2	2-PLY 1 3/4" x 14" 2.0E WEST FRASER LVL OR APPROVED EQUAL

IDENTITY	SIZE
P1	3-PLY 2x8 SPF NO. 1/NO. 2

IDENTITY	SIZE
B1	3-PLY 2x8 SPF NO.1/NO.2



S01



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00074

REVISED

APPLICATION SUMMARY

File Date: 06/03/2025

Application Type: Minor Variance

Address(es): 51 Downing Street, Sudbury P3B 3E7

Applicant(s): CR DESIGN

Owner(s): BROOKE HOWES AND KEN ROBINEAU

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

01/06/2024

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

4

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
RAMSEY LAKE WATERSHED

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5

Provide a detailed description of what is being proposed
DEMOLISH EXISTING SFD AND CONSTRUCT A NEW TWO STOREY SFD WITH AN ATTACHED DECK AND A COVERED PORCH

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
FOR THE SFD/ATTACHED DECK AND COVERED PORCH - THE OWNER WOULD LIKE TO HAVE THE NEW HOUSE LOCATED WHERE THE EXISTING HOUSE IS TO HAVE THE SAME VIEWS ETC. AND ALSO TO PROVIDE THE SAME LEVEL OF PRIVACY FROM THE NEIGHBOURS AS THE EXISTING HOUSE PROVIDES. THE SHORELINE BUFFER CLEARING ALLOWANCE OF 25% IS BEING MAINTAINED (WILL BE 10%). THE 30M HIGHWATER MARK SETBACK WOULD BE DIFFICULT TO ACHIEVE AS IT WOULD MOVE THE HOUSE TO THE FRONT NARROW PORTION OF THE LOT WHICH WOULD TAKE AWAY FROM THE ENJOYMENT OF THE PROPERTY.

FOR THE DETACHED GARAGE - THE OWNER WOULD LIKE THE CHARACTER OF THE GARAGE TO MATCH THE CHARACTER OF THE NEW HOUSE THAT IS BEING CONSTRUCTED. THEY WOULD ALSO LIKE TO HAVE ADDITIONAL STORAGE SPACE ON THE SECOND STOREY OF THE GARAGE AS THEIR PROPOSED HOUSE HAS NO BASEMENT FOR STORAGE. THEY WOULD ALSO LIKE TO MATCH THE LOOK OF THE NEIGHBOURING HOUSE THAT THEIR PARENTS OWN.

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
18.3

Lot Depth of the property
89

Lot Area of the property
2696

Total width of the public road giving access to the property
20

List all buildings and structures on the property and their respective date of construction
EXISTING HOUSE - 1970'S (EXACT DATE UNKNOWN)

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
SFD - ENTIRE LENGTH OF PROPERTY CREATION

Is the use remaining the same? If no, please provide the proposed new use
YES

Existing uses of neighbouring properties

SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system

☒

Municipally owned and operated sanitary sewage system

☒

Lake

☐

Pit Privy

☐

Individual Well

☐

Communal Well

☐

Individual Septic System

☐

Communal Septic System

☐

Other

☐

Explain Other

PROPERTY ACCESS

Provincial highway

☐

Right-of-way

☐

Municipal road that is maintained seasonally

☐

Municipal road that is maintained year-round

☒

Water

☐

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
NEW SFD	No	224	444	2	14	18.5	10.7	47	13	3.9	9.9
NEW REAR YARD ATTACHED DECK	No	63	63	1	16.3	3.3	0.3	65.6	8.6	3.8	25
NEW FRONT / SIDE YARD COVERED PORCH	No	52	52	1	10.6	11.9	0.3	47	18.5	9.6	7.5
NEW DETACHED GARAGE	No	112	218	2	9.1	12.2	8.0	22.9	42.5	1.8	7.3

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
EXISTING SFD	Yes	122	200	2	13.3	10.5	6.7	54.9	12.2	5	15.3

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.2.4. HEIGHT OF ACCESSORY BUILDINGS	5M	8.0M	3.0M

4.41.2.
SETBACK REQUIREMENTS FOR RESIDENTIAL
BUILDINGS
(SFD, DECK, COVERED PORCH)

30M

PREVIOUSLY GRANTED ON JUNE 25, 2025

13M - SFD	17M-SFD
8.6M - REAR	21.4M - REAR
YARD	YARD DECK
ATTACHED	11.5M -
DECK	FRONT/SIDE
18.5M -	YARD COVERED
FRONT/SIDE	PORCH
YARD COVERED	
PORCH	

4.41.3
SHORELINE BUFFER AREAS
(SFD,DECK,COVERED PORCH)

20M

PREVIOUSLY GRANTED ON JUNE 25, 2025

13M -SFD	7M -SFD
8.6M REAR	11.4M - REAR
YARD	YARD ATTACHED
ATTACHED	DECK
DECK	1.5M -
18.5M -	FRONT/SIDE
FRONT/SIDE	YARD COVERED
YARD COVERED	PORCH
PORCH	

To Whom It May Concern,

We are writing in support of our re-application for a minor variance related to the height of our proposed garage structure. Following the deferral granted at the June 25th Committee meeting, we have taken several steps to address the concerns raised by staff and committee members, and to demonstrate our commitment to a thoughtful, community-conscious development.

Revised Garage Design

We have revised the garage design to reduce the maximum height from 9.1 meters to 8.0 meters. This adjustment brings the structure in line with the maximum allowable height for an Accessory building with an Additional Dwelling Unit (ADU). While we are not currently applying for an ADU, the original two storey design was developed with future needs in mind—specifically, to accommodate aging parents in a self-contained space above the garage. This forward-looking approach reflects our desire to support multi-generational living while minimizing future disruption to the property. We understand that a minor may be required as the zoning by-law states that an ADU in an accessory structure can not be in the required front yard. When we are ready to convert the second floor into an ADU, we will address this at that time.

Neighbour Support

We have engaged directly with our abutting neighbours to share the revised plans and provide an opportunity for open discussion. All neighbours we spoke with expressed their support and willingly provided signed letters, which are included with this submission. We also created a visual mock-up (not to scale) to help illustrate the height reduction and assist in communicating the changes. While awaiting the next Committee meeting, we plan to continue outreach to neighbours across the street to further strengthen community support.

Site Context and Visibility

The proposed garage is set back approximately 75 feet (22.9 meters) from Downing Street and is located on a quiet dead-end street with only three homes beyond ours. The garage will not be visible from Howey Drive and is only minimally visible from the Picard Street–Downing Street intersection due to the setback and existing vegetation. As noted by Committee Member Costanza during the initial Committee meeting, the natural topography of the lot places the main house higher than the garage, further reducing the visual impact of the garage structure. Additionally, the exterior materials and architectural style of the garage will match the main house, contributing to a cohesive and respectful streetscape. The design also draws inspiration from the historic Barry family residence (now Financial Decisions Inc.), the residence of one of the area's first families, reinforcing its compatibility with the character of the area.

In the previous meeting there was mention about installing a fence around the garage. We don't see this changing the garage, as the relief that we are requesting is pertaining to height and installing a fence that can only be a maximum of 1.8m.

We hope this additional information demonstrates our responsiveness to feedback and our commitment to a design that is both functional for our family and respectful of the surrounding community. We appreciate your time and consideration, and we welcome any further questions or suggestions.

Sincerely,
Brooke Howes

REVISED
PL-MV-2025-00074

**SUBJECT
PROPERTY**

Minnow Lake

 Letter of Support



REVISED
PL-MV-2025-00074

Date: June 28, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

I am Rémi Desbiens Annie Lemoyne residing at 41 Downing in
Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke
Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached
garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have
reviewed the plans for the proposed new detached garage and believe that the variance is minor in
nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information,
please do not hesitate to contact me.

Sincerely,

Name: Rémi Desbiens A. Lemoyne
Contact #: [REDACTED]

Re: PL-MV-2025-0074

REVISED
PL-MV-2025-00074

Date: July 3, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

I am Aline LaCoste residing at 46 Picard St. in Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have reviewed the plans for the proposed new detached garage and believe that the variance is minor in nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information, please do not hesitate to contact me.

Sincerely,

Name: Aline LaCoste

Contact #: [REDACTED]

REVISED

PL-MV-2025-00074

Date: JULY 3, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

I am CLAIRE ROBINEAU residing at 61 DOWNING ST. in
Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke
Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached
garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have
reviewed the plans for the proposed new detached garage and believe that the variance is minor in
nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information,
please do not hesitate to contact me.

Sincerely,

Name: Claire Robineau
Contact #: [REDACTED]

Date: June 28, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

I am Artina Voz residing at 39 Downing St in
Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke
Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached
garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have
reviewed the plans for the proposed new detached garage and believe that the variance is minor in
nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information,
please do not hesitate to contact me.

Sincerely,



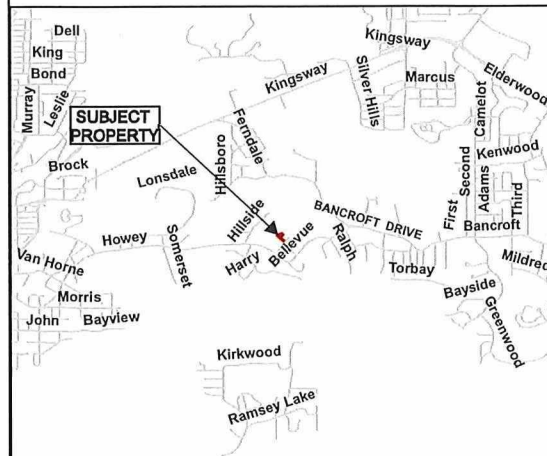
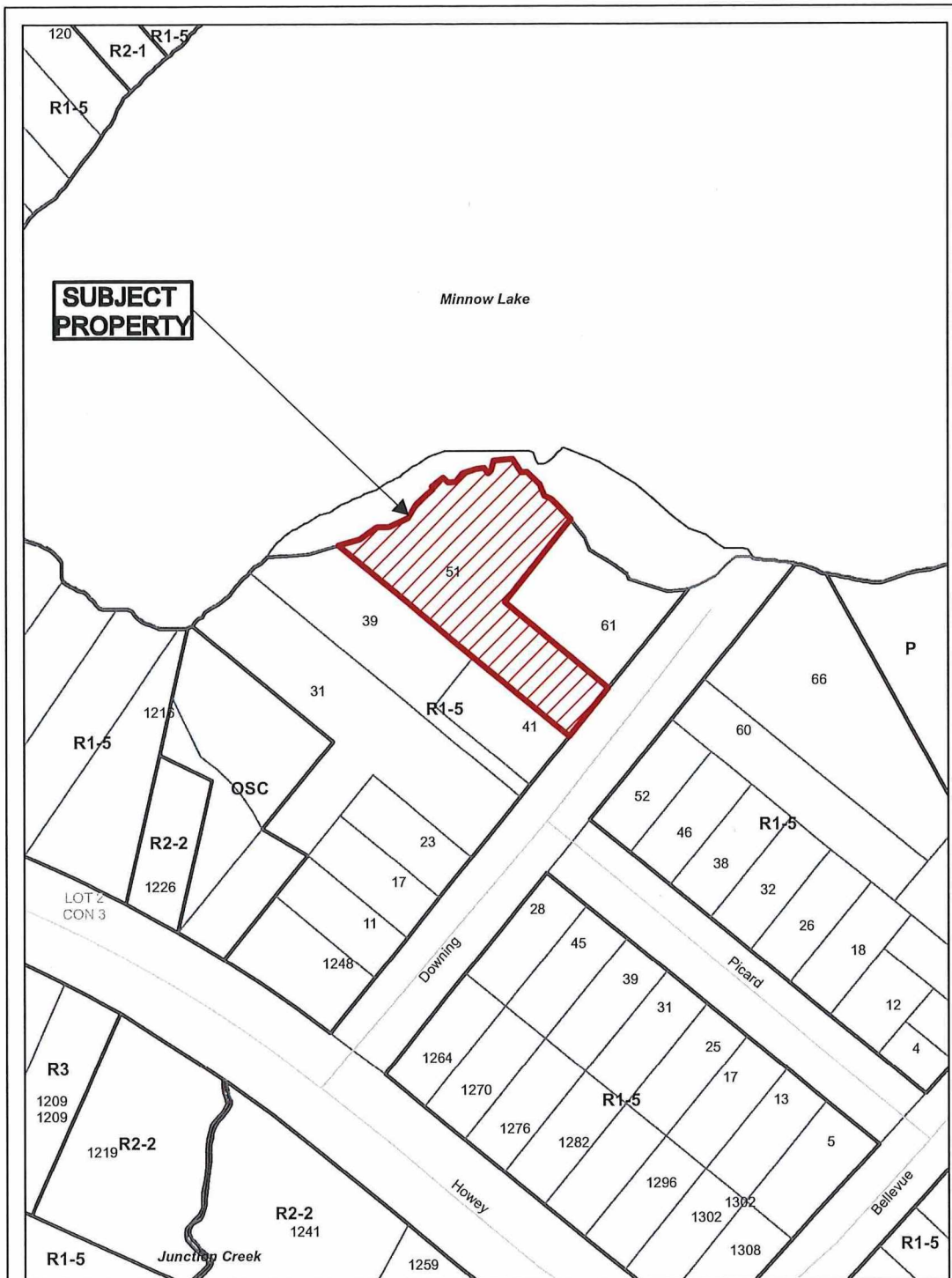
Name: Artina Voz

Contact #:



REVISED

PL-MV-2025-00074



Application for Minor Variance or Permission



Subject Property being PIN 73581-0523,
 Firstly: Part Lot 105, Plan M-129, being Parts 2 & 3, Plan 53R-20665;
 Secondly: Lot 106, Plan M-129, being Part 4, Plan 53R-20665,
 Part Lot 2, Concession 3,
 Township of McKim,
 51 Downing Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2025-00074
 Date: 2025 06 05

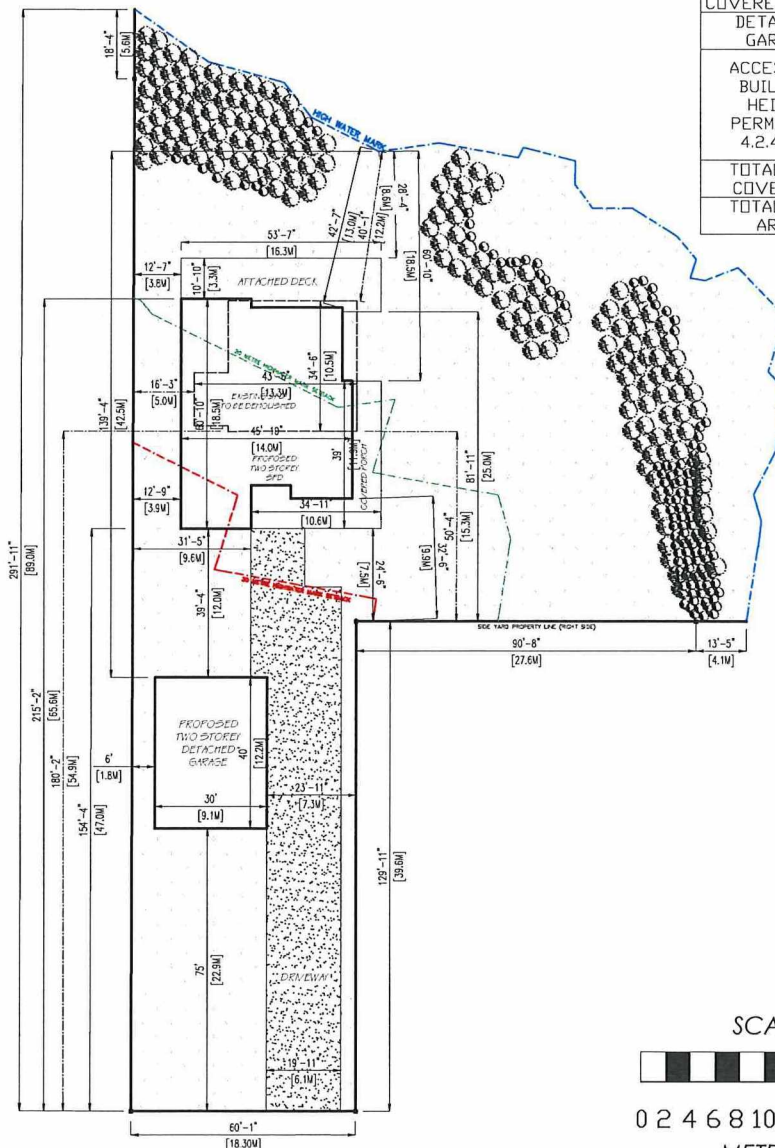


BUILDING SETBACKS

SETBACKS	FRONT(ROAD)	SIDE (LEFT)	SIDE (RIGHT)	REAR (HIGH WATER MARK)	REQUIRED SETBACK FROM HIGH WATER MARK (4.41.2)	DIFFERENCE	REQUIRED SHORELINE BUFFER (4.41.3)	DIFFERENCE
HOUSE	47 M	3.9 M	9.9 M	13 M	30 M	17 M	20 M	7 M
REAR YARD ATTACHED DECK	65.6 M	3.8 M	25 M	8.6 M	30 M	21.4 M	20 M	11.4 M
FRONT / SIDE COVERED PORCH	47 M	9.6 M	7.5 M	18.5 M	30 M	11.5 M	20 M	1.5 M
DETACHED GARAGE	22.9 M	1.8 M	7.3 M	42.5 M	30 M			
EXISTING HOUSE (TO BE DEMOLISHED)	54.9 M	5 M	15.3 M	12.2 M	N/A (PREDATES CURRENT BYLAW)			
SHORELINE BUFFER								
TOTAL SHORELINE BUFFER AREA 1,421 M ² (15,347 SQ. FT.)	ATTACHED DECK 62.2M ² (672 SQ.FT)	SINGLE FAMILY DWELLING 70.2M ² (759 SQ.FT)	COVERED PORCH 4.2M ² (45 SQ.FT)	TOTAL SHORELINE BUFFER AREA CLEARED 136.6 M ² (1,475 SQ. FT) (10%)				

AREA OF STRUCTURES

	GROUND FLOOR AREA	GROSS FLOOR AREA
EXISTING HOUSE	122 SQ. M.	200 SQ. M.
NEW SFD	224 SQ. M.	444 SQ. M.
REAR YARD DECK	63 SQ. M.	63 SQ. M.
FRONT/SIDE COVERED PORCH	52 SQ. M.	52 SQ. M.
DETACHED GARAGE	112 SQ. M.	218 SQ. M.
ACCESSORY BUILDING HEIGHT PERMITTED 4.2.4.-5M	ACCESSORY BUILDING HEIGHT PROPOSED 4.2.4.-8M	DIFFERENCE OF PERMITTED HEIGHT FOR DETACHED GARAGE-3M
TOTAL LOT COVERAGE	451 SQ. M. (17%)	
TOTAL LOT AREA	2,696 SQ. M.	



DOWNING STREET

SCALE

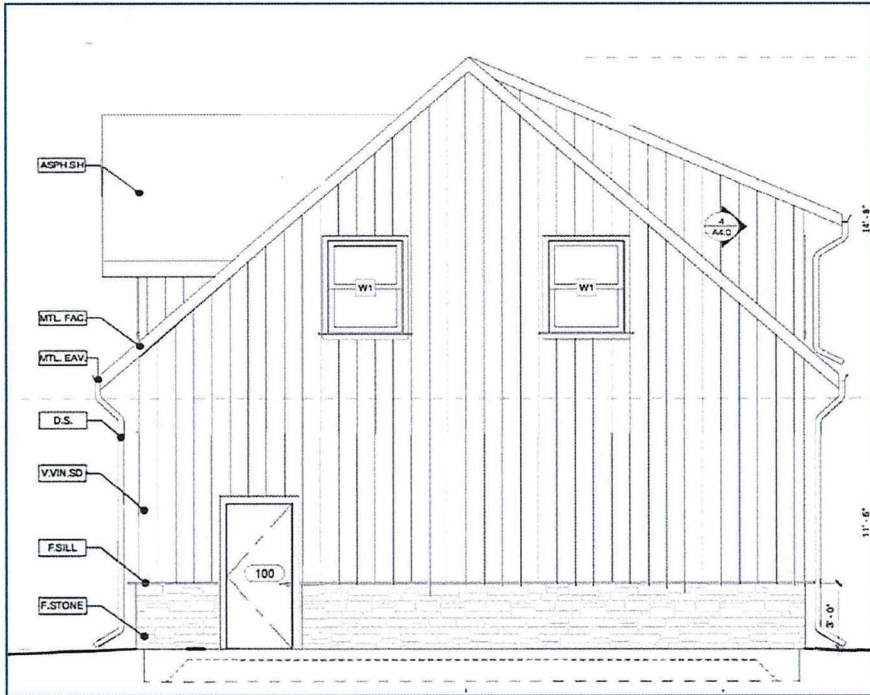


0 2 4 6 8 10 12 14 16 18 20
METRES



PROJECT	Demo existing house and Construct SFD / Det. Garage	DATE	2025.06.01	BY	SP1
LOCATION	51 Downing Street, Sudbury	DATE	2025.06.01	BY	SP1
TITLE	Site Plan	DATE	2025.06.01	BY	SP1

REVISED
PL-WV-2025-00074
sketch 2

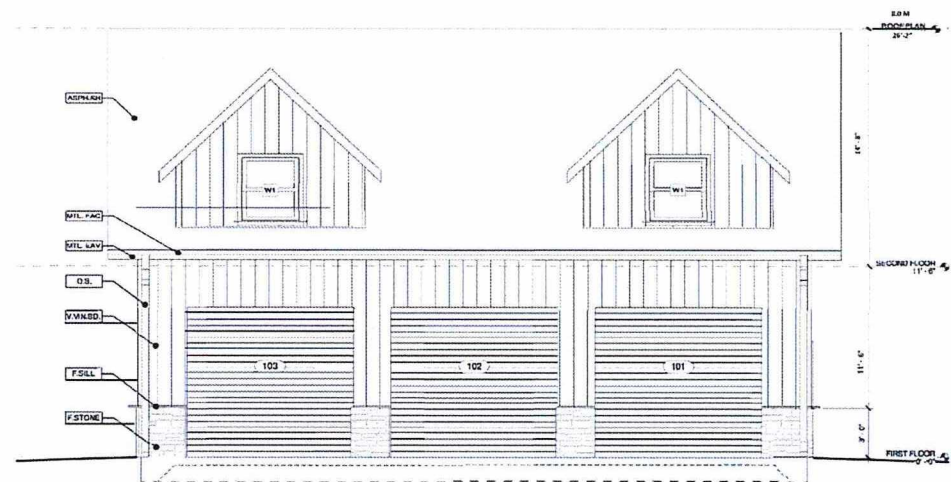
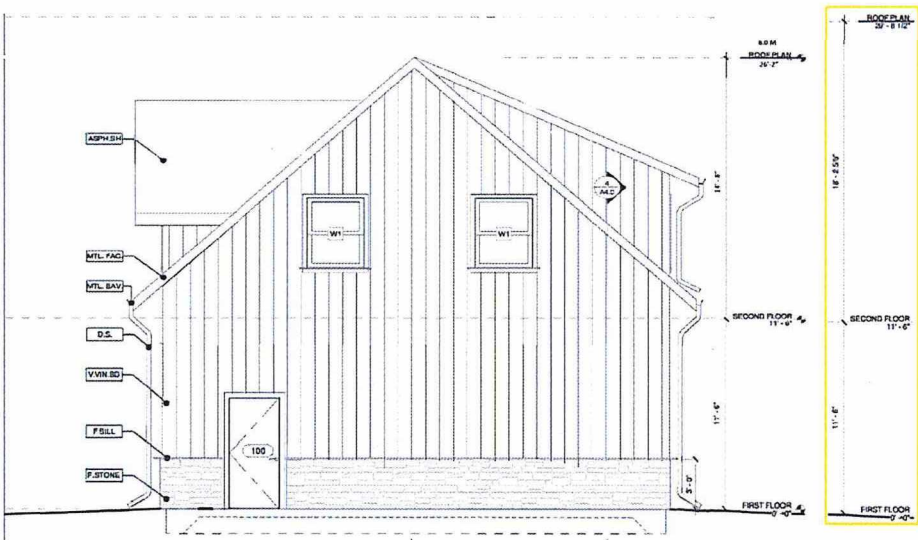


Side profile of garage



Side profile historic
Barry Family Residence

REVISED
PL-MY-2025-00074
Sketch 3



REVISED
 PL-MV-2025-00074
 Sketch 4