

Tom Davies Square

200 Brady St

Thursday, October 14, 2021

PUBLIC HEARINGS

A0119/2021

CHAD MAINVILLE

Ward: 3

PIN 73350 0238, Parcel 2408, Survey Plan 53R-14017 Part(s) Except 2, Lot Pt 10, Concession 1, Township of Balfour, 2410 Davey Road South, Chelmsford, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 8.85m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

A0120/2021

LISE GOSSELIN RONALD GOSSELIN

Ward: 3

PIN 73368 0333, Surveys Plan 53R-20628 Part(s) 5 & Plan 53R-21130 Part(s) Except 1, 2 and 3, Lot Pt 12, Concession 6, Township of Creighton - Davies, 0 Vermilion Lake Road, Walden, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Application B0067/2020, providing a minimum lot frontage of approximately 30.48m, where 90.0m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATION A121/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B67/2020 TO B69/2020 (NOV 23/20), B37/18 TO B39/18 (OCT 29/18), B127/15 TO B129/15 (FEB 1/16), B86/15 TO B88/15 (SEPT 8/15), B80/14 (AUG 25/14), B65/14 (JUL 31/14), B19/14 TO B21/14 (JUL 31/14), B67/12 TO B69/12 (JAN 17/13), B125/11 TO B127/11 (DEC 1/11), B184/08 TO B186/08 (SEPT 5/08) AND MINOR VARIANCE APPLICATIONS A17/19 TO A19/19 (MAR 6/19), A27/16 (MAR 9/16), A99/15 (SEPT 30/15), A122/14 TO A124/14 (OCT 15/14), A2/12 TO A4/12 (FEB 6/12) AND A193/08 & A194/08 (JAN 26/09)

A0121/2021

**LISE GOSSELIN
RONALD GOSSELIN**

Ward: 3

PIN 73368 0333, Surveys Plan 53R-20628 Part(s) 5 & Plan 53R-21130 Part(s) except 1, 2, and 3, Lot Pt 12, Concession 6, Township of Creighton - Davies, 0 Vermilion Lake Road, Walden, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0068/2021, providing a minimum lot frontage of approximately 30.48m, where 90.0m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATION A120/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B67/2020 TO B69/2020 (NOV 23/20), B37/18 TO B39/18 (OCT 29/18), B127/15 TO B129/15 (FEB 1/16), B86/15 TO B88/15 (SEPT 8/15), B80/14 (AUG 25/14), B65/14 (JUL 31/14), B19/14 TO B21/14 (JUL 31/14), B67/12 TO B69/12 (JAN 17/13), B125/11 TO B127/11 (DEC 1/11), B184/08 TO B186/08 (SEPT 5/08) AND MINOR VARIANCE APPLICATIONS A17/19 TO A19/19 (MAR 6/19), A27/16 (MAR 9/16), A99/15 (SEPT 30/15), A122/14 TO A124/14 (OCT 15/14), A2/12 TO A4/12 (FEB 6/12) AND A193/08 & A194/08 (JAN 26/09)

A0122/2021

**JOHN MAKI
GISELE GUENARD**

Ward: 11

PIN 73574 0163, Surveys Plan 53R-19290 Part(s) 14 and 15 & Plan 53R-20732 Part(s) 1, 2, 3, and 4, Lot Pt 8, Concession 3, Township of Neelon, 3335 Bancroft Drive, Sudbury, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 8.25m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

A0123/2021

DALRON CONSTRUCTION LTD.

Ward: 11

PIN 73575 0664, Survey Plan 53R-21555 Part(s) 1, Lot Pt 9, Concession 3, Township of Neelon, 0 Estelle Street, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to allow proposed Lots 13, 14 and 15 on Draft Approved Plan of Subdivision File No. 780-6/05002 and situated within Part 1, Plan 53R-21555, to each provide a minimum lot area of 451.0m², where 465.0m² is required. (ALSO SUBJECT TO REZONING APPLICATION NO. 751-6/20-017)

A0124/2021

MICHELE HAW

Ward: 9

PIN 73560 1306, Parcel 8843, Survey Plan 53R-21164 Part(s) 2, Lot(s) 101 (Part), 102 and Part Lane, Subdivision M-64 & M-147, Township of Neelon, 6 George Street, Coniston, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Section 4.25, subsection 4.25.2 of By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition providing, firstly, to permit eaves to encroach 2.00m into the required yard, where eaves may only encroach 0.6m into the required yard but not closer than 0.6m to the lot line, and secondly, an increase in gross floor area of a legally existing building to 125.782m², where enlargement, reconstruction, repair and/or renovation does not increase the gross floor area of the building located within the minimum required front yard setback.

A0125/2021

**PIERRE PITRE
SHARLENE PITRE**

Ward: 11

PIN 73513 0403, Parcel 48828, Surveys Plan 53R-12088 Part(s) 6 & Plan 53R-17683 Part(s) 6, 7 and 8, Lot 1 (Part), Concession 5, Township of MacLennan, 712 Pinecone Road, Skead, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 8.23m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0126/2021

JENNIFER JOLLY

Ward: 8

PIN 73565 1037, Parcel 17552, Survey Plan 53R-20973 Part(s) 1, Subdivision M-267, Lot 9 (Part), Township of Neelon, 1225 Dollard Avenue, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing an accessory lot coverage of 11.03%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%.

A0127/2021

**SHAUN MCGLADE
MAZIE MCGLADE**

Ward: 7

PIN 73519 0088, Parcel 53M1229-22 SEC SES SR0, Subdivision 53M-1229, Lot 22, Township of Rathburn, 1931 Bushy Bay Road, Wahnapiatae, [2010-100Z, SLS (8) (Seasonal Limited Service)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building, being a detached garage, providing a maximum height of 6.4m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0128/2021

**RICHARD VILLENEUVE
JODY VILLENEUVE**

Ward: 5

PINs 73500 0596 & 73500 0413, Surveys Plan 53R-21402 Part(s) 1 & Plan 53R-17411 Part(s) 2, Lot 10 (Part), Concession 5, Township of Blezard, 0 Martin Road, Val Caron, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory structure providing a maximum height of 8.774m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, OCTOBER 27, 2021**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) \$1270.00
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): CHAD Mainville Email: [REDACTED]
Mailing Address: 2410 Davey Rd South Home Phone: [REDACTED]
BaySide Balfour Business Phone: [REDACTED]
City: CHELMSFORD Postal Code: P0H-1L0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Ken O'Malley Email: [REDACTED]
Mailing Address: 1276 Piquette St. Home Phone: [REDACTED]
City: Sudbury Postal Code: P3A-8Y2 Business Phone: [REDACTED]
Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: RBC
Mailing Address: 3420 Errington Ave. Chelmsford
City: CHELMSFORD Postal Code: P0H-1L0

- 4) Current Official Plan designation: R.U. Current Zoning By-law designation: R.U.

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|--------------------|--------------------|----------|------------|
| Accessory Building | 4.2.4. | 8.85M | 2.35 M |
| Height Increase | 6.5M. | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Detached garage with an Equipment
Portion contain a Loft for storage. See attached PLAN.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The Loft section exceeds the 6.5 M. Use for storage
and air drying of purchased Hardwoods for hobby.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: BAHOUR Ward: 3
 Lot No.: 10 Concession No.: 1 Parcel(s): 2408
 Subdivision Plan No.: 53R 14017 Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 2410 Dauey Rd South Chelmsford

- 7) Date of acquisition of subject land.
- 2018.

- 8) Dimensions of land affected.

DAUEY Rd.
 Frontage 800.3 (m) Depth 198.6 (m) Area 16.18 ^H(m²) Width of Street 15 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|---------------------------------|---------------------------------|
| Ground Floor Area: | <u>299.06</u> (m ²) | <u>221.02</u> (m ²) |
| Gross Floor Area: | <u>299.06</u> (m ²) | <u>227.98</u> (m ²) |
| No. of storeys: | <u>1</u> | <u>2</u> |
| Width: | <u>26.82</u> (m) | <u>23.16</u> (m) |
| Length: | <u>15.24</u> (m) | <u>10.36</u> (m) |
| Height: | <u>6.09</u> (m) | <u>8.25M.</u> (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|-------------------|-------------------|
| Front: | <u>205.79</u> (m) | <u>281.39</u> (m) |
| Rear: | <u>567.68</u> (m) | <u>495.74</u> (m) |
| Side: | <u>57M.</u> (m) | <u>65.70</u> (m) |
| Side: | <u>126.65</u> (m) | <u>119.04</u> (m) |

Lot coverage Existing & Proposed 3.06%

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☒
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Aug. 2019.

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): R.U. Residential Length of time: 2yrs.

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?
- ☐
- Yes
- ☒
- No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- R.U. Residential / Ag.

AD119/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If 'Yes', indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, CHAD MAINVILLE (please print all names), the registered owner(s) of the property described as 2410 DAVEY Rd South.
Chelmsford
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Ken O'Malley (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 14th day of Sept, 20 21

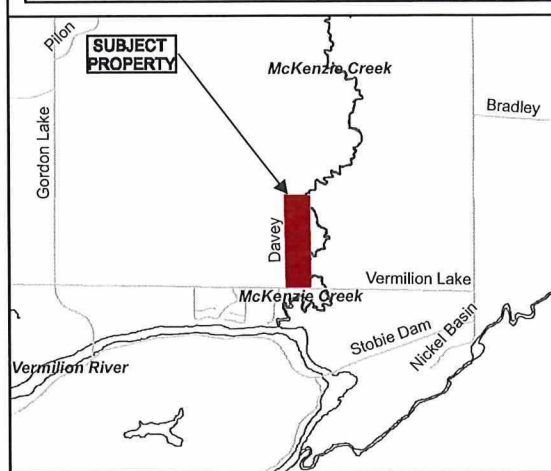
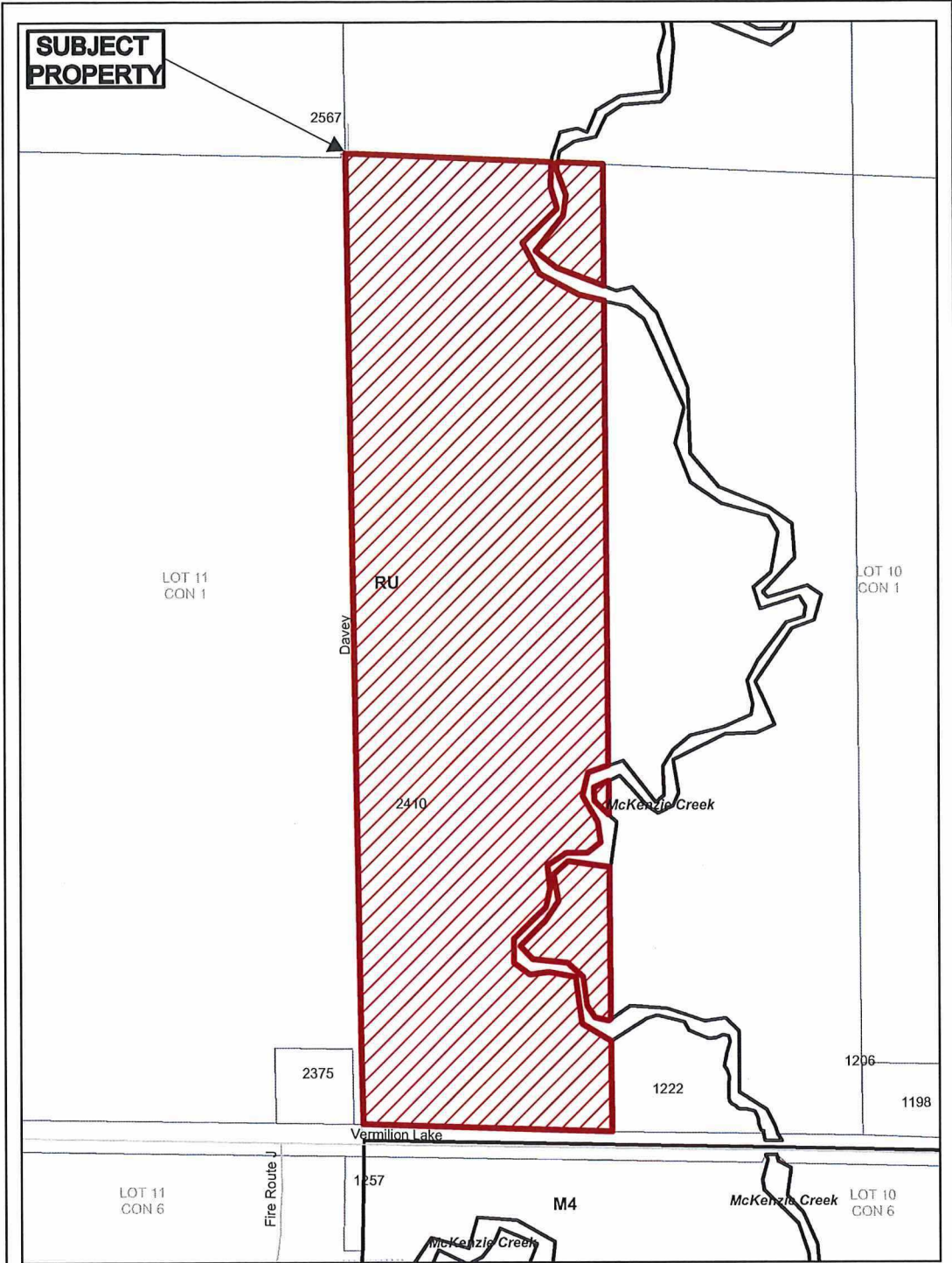
Lucie Dolan
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

10/19/2021



Application for Minor Variance or Permission



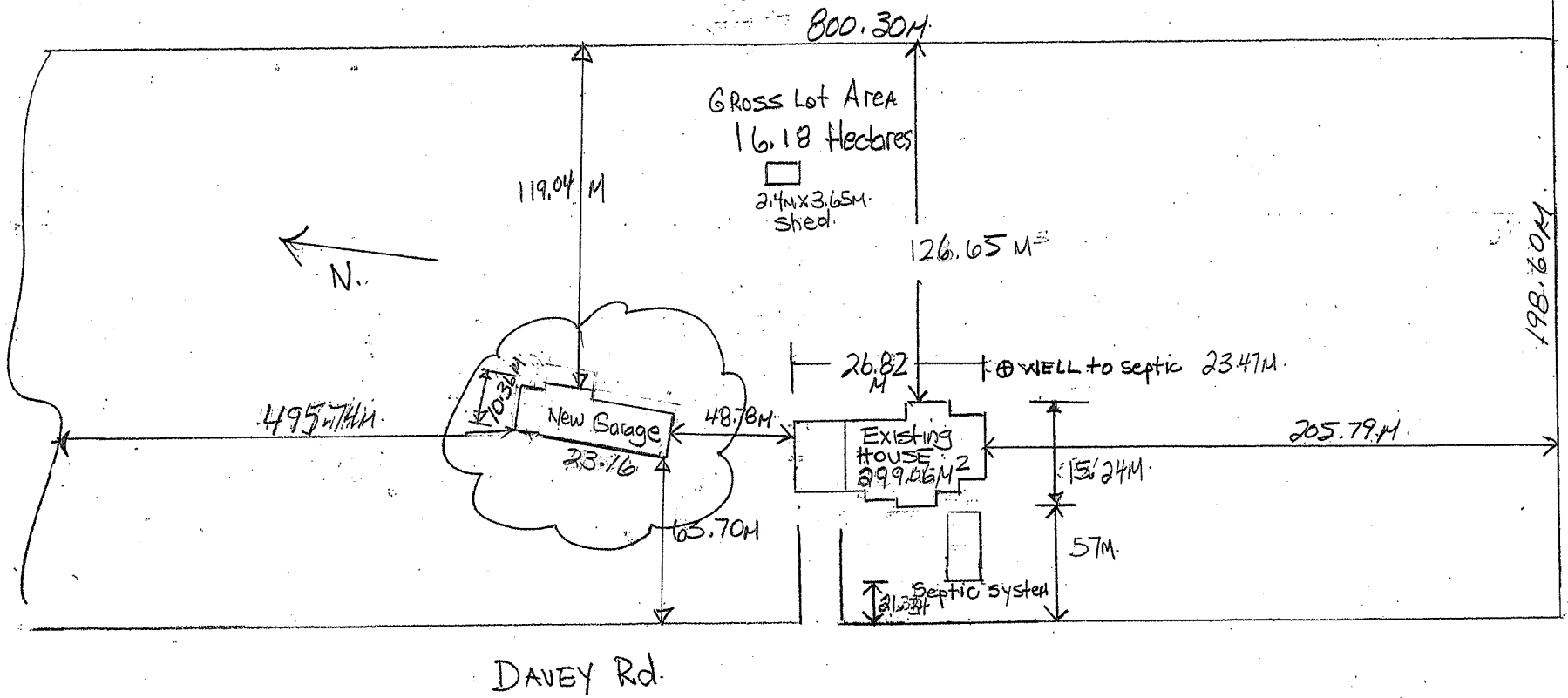
Subject Property being PIN 73350-0238,
Parcel 2408, Part Lot 10, Concession 1,
except Part 2, Plan 53R-14017,
Township of Balfour,
2410 Davey Road South, Chelmsford
City of Greater Sudbury

Sketch 1, NTS
NDCA

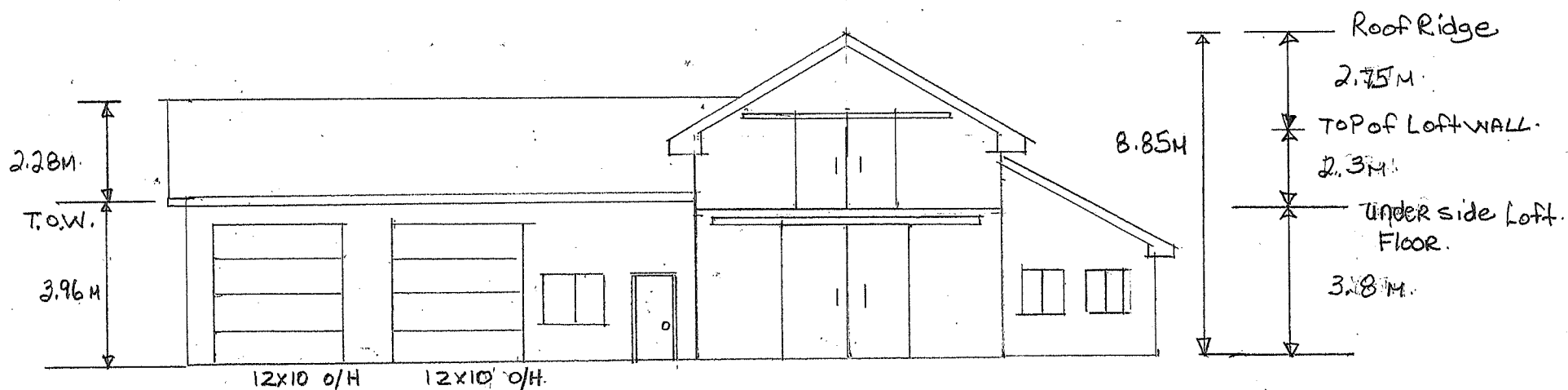
A119/2021
Date: 2021 09 20

PCL. 2408 SEC SWS w 1/4 of S 1/2
LOT 10 CONC 1 BAI Four Except Pt 2.
53R14017

2410 Davey Rd. South.



Apr 19/2021
Sketch 2



10/19/2021
Sketch 3



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only
2021.01.01

A0120/2021

S.P.P. AREA

YES _____ NO _____

NDCA REG. AREA

YES _____ NO _____

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Ronald & Lise Gosselin Email: [REDACTED]
Mailing Address: 1381 VERMILION LK RD Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Chelmsford Postal Code: R0M 1L0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A Email: _____
Mailing Address: _____ Home Phone: _____
Business Phone: _____
City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: _____ Current Zoning By-law designation: _____

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (if more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|----------------|--------------------|--------------|----------------|
| Property Width | 296' (90 m) | 100' (30.48) | 195' (59.52 m) |
| | | | |
| | | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Waterfront property with river frontage
of 148'-4" (45 m) as per by-law

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Waterfront property

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73368-0333 Township: Creighton Ward: Walden
 Lot No.: 12 Concession No.: 6 Parcel(s): Part-2
 Subdivision Plan No.: N/A Lot: _____ Reference Plan No.: 53R-21523 Part(s): 2
 Municipal Address or Street(s): VERMILION LK. RD.

- 7) Date of acquisition of subject land. _____

- 8) Dimensions of land affected.

River
 Frontage 52 ± (m) Depth 396 ± (m) Area 1.9 hec (m²) Width of Street 30.48 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|-------------------------|-------------------------|
| Ground Floor Area: | _____ (m ²) | _____ (m ²) |
| Gross Floor Area: | _____ (m ²) | _____ (m ²) |
| No. of storeys: | <u>N/A</u> | _____ |
| Width: | _____ (m) | _____ (m) |
| Length: | _____ (m) | _____ (m) |
| Height: | _____ (m) | _____ (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|-----------|-----------|
| Front: | _____ (m) | _____ (m) |
| Rear: | _____ (m) | _____ (m) |
| Side: | _____ (m) | _____ (m) |
| Side: | _____ (m) | _____ (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

| | | | |
|-----------------------------------------------------|-------------------------------------|--------------------------------------------------------------------------------|-------------------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input checked="" type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input checked="" type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input checked="" type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

- 12) Date(s) of construction of all buildings and structures on the subject land.

N/A Vacant land

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Agriculture Length of time: 34 yrs

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Rural Building Lot

- 15) What is the number of dwelling units on the property?
- N/A

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- Rural Building Lot & Bush or Agriculture

A0120/0001

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): 80067, 80068, 80069
Almost complete

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, RONALD & LISE GOSSELIN (please print all names), the registered owner(s) of the property described as 800 68
VERMILION LK. RD.
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- ~~grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;~~

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 20 day of September, 20 21

Ronald & Lise Gosselin
(witness)

Lise Gosselin
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Ronald Gosselin

*I have authority to bind the Corporation

10/20/2021

INWe, RONALD & LISE GOSSLIN (please print all names),
the registered owner(s) or authorized agent of the property described as B-067

VERMILION LK. RD.

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 20th day of September, 2021

Elizabeth Ravech
Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Elizabeth Rosemary Ranich, a Commissioner, etc.,
District of Sudbury, for Desmarais, Keenan LLP,
Barristers and Solicitors.
Expires April 20, 2022

Print Name: LISE GOSSELIN
Fernand Gosselin
 *) have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: September 20 / Hearing Date: October 14, 2021 / Received By: N. Lewis

Zoning Designation: RU / Resubmission: ☐ Yes ☒ No

Previous File Number(s): B0067/2020 / B0068/2020 / B0069/2020

Previous Hearing Date: Nov. 23/20 / Nov. 23/20 / Nov. 23/20

Notes:

PREVIOUSLY S/T CONSENT APPS: B37/18 to B39/18 (Oct. 29/18), B127/15 to B129/15 (Feb. 1/16), B86/15 to B88/15 (Sept. 8/15), B80/14 (Aug. 25/14), B65/14 (July 31/14), B19/14 to B21/14 (July 31/14), B67/13 to B69/13 (Jan. 17/13), B125/11 to B127/11 (Dec. 1/11), B184/08 to B186/08 (Sept. 5/08)

PREVIOUSLY S/T MINOR VARIANCE APPS: A17/19 to A19/19 (Mar. 6/19), A27/16 (Mar. 9/16), A99/15 (Sept. 30/15), A122/14 to A124/14 (Oct. 15/14), A2/12 to A4/12 (Feb. 6/12) and A193/08, A194/08 (Jan. 26/09)

10/20/2021



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

| | |
|-------------------------------|----|
| Office Use Only 2021.01.01 | |
| A 0121/2021 | |
| S.P.P. AREA | |
| YES | NO |
| NDCA REG. AREA | |
| YES | NO |

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Ronald & Lise Gosselin Email: [REDACTED]
Mailing Address: 1381 Vermilion Lk Rd Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Chelmsford Postal Code: R0M 1L0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: _____ Current Zoning By-law designation: _____

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (if more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|----------------|--------------------|--------------|----------------|
| Property Width | 296' (90 m) | 100' (30.48) | 196' (59.82 m) |
| | | | |
| | | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Waterfront property with river frontage of 148'-4" (45.92 m) per by-law

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Water front property

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73368-0333 Township: Creighton Ward: Walden
 Lot No.: 12 Concession No.: 6 Parcel(s): Part - 1
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53B-210 Part(s): 1
 Municipal Address or Street(s): Vermilion Lk Rd

- 7) Date of acquisition of subject land.
- September 1987

- 8) Dimensions of land affected.

River
 Frontage 52 ± (m) Depth 396 ± (m) Area 1.9 ± hec (m²) Width of Street 30.48 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|------------------------------|-------------------------|
| Ground Floor Area: | <u>N/A</u> (m ²) | _____ (m ²) |
| Gross Floor Area: | <u>N/A</u> (m ²) | _____ (m ²) |
| No. of storeys: | _____ | _____ |
| Width: | _____ (m) | _____ (m) |
| Length: | _____ (m) | _____ (m) |
| Height: | _____ (m) | _____ (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|----------------|-----------|
| Front: | <u>N/A</u> (m) | _____ (m) |
| Rear: | <u>N/A</u> (m) | _____ (m) |
| Side: | <u>N/A</u> (m) | _____ (m) |
| Side: | <u>N/A</u> (m) | _____ (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☒
 Individual Well ☒
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

N/A Vacant land

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Agriculture Length of time: 34 yrs

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Rural building lot

- 15) What is the number of dwelling units on the property?

N/A

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

Rural Building lot Vacant or Agriculture

APR 21 / 2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): B0067, B0068, B069
→ All most complete

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, RONALD & LISE GOSSELIN (please print all names), the registered owner(s) of the property described as B0067
VERMILION LAKE ROAD
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 20 day of September, 2021

Ronald Gosselin
(witness)

Ronald Gosselin
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Ronald Gosselin

*I have authority to bind the Corporation

A0121/2021

INVE, RONALD # LISE GOSSELIN (please print all names),
the registered owner(s) or authorized agent of the property described as BOOGB
VERMILION LK. RD.

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 20th day of September, 20 21

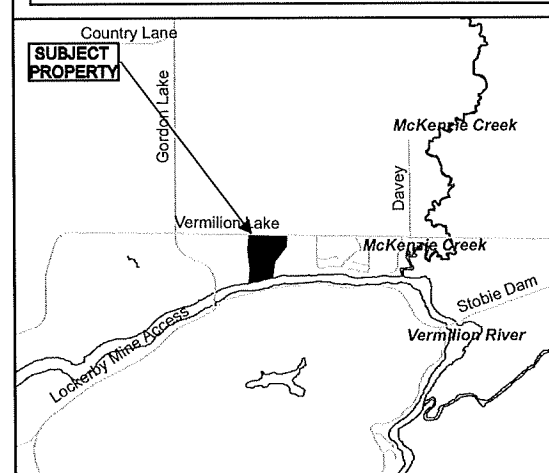
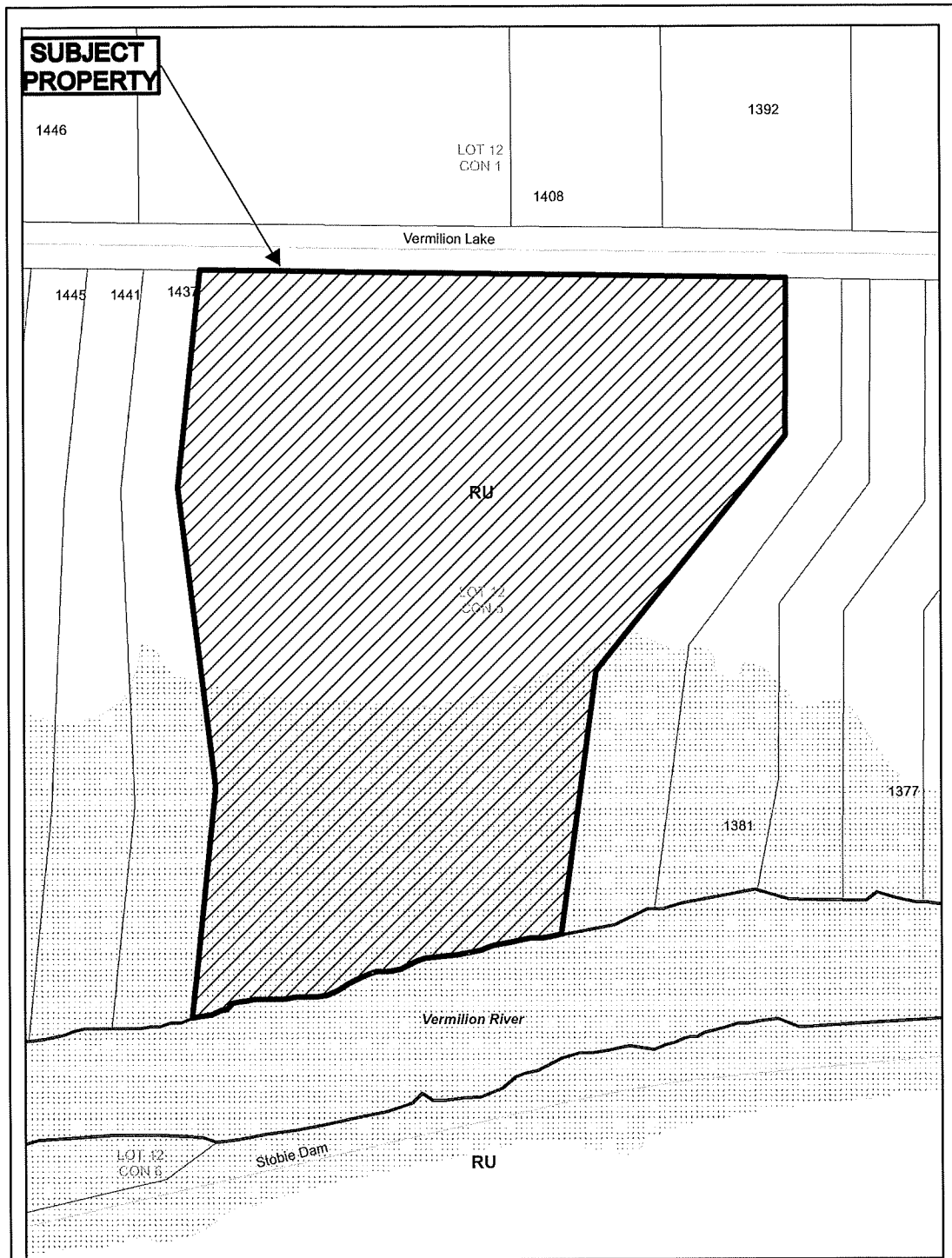
Lucie Gersdén
Rodolfo Gersdén
signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)


WSE BOSSELIN
Print Name: Ron Gosselin
*I have authority to bind the Corporation

FOR OFFICE USE ONLY

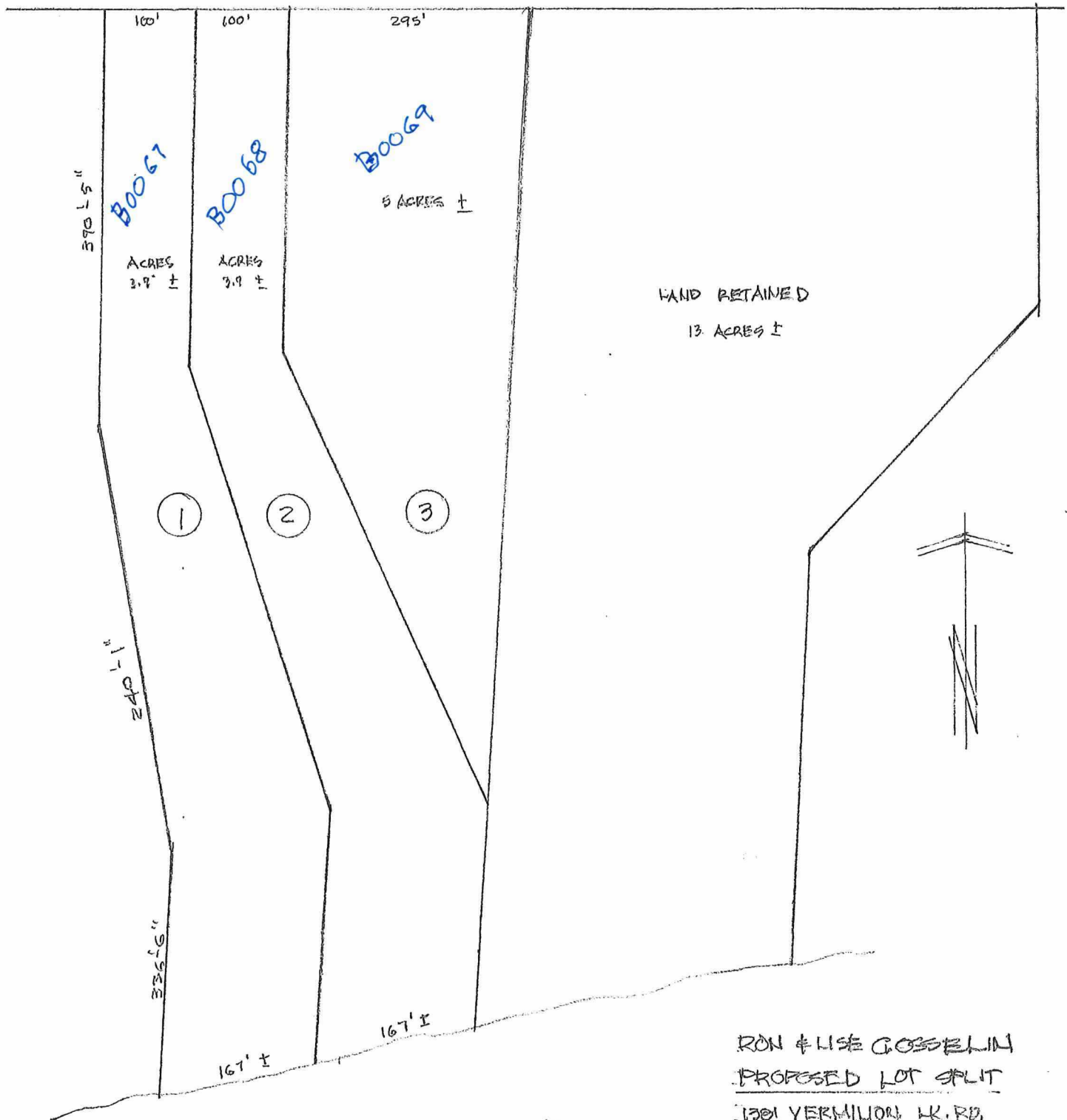
[illegible]

HO-121/2021



| | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------|
| <p>Application for Minor Variance or Permission</p> <p style="text-align: right;">N</p> <p style="text-align: right;">  </p> | |
| <p>Subject Property being PIN 73368-0333, SRO, Part Lot 12, Concession 6, Part 5, Plan 53R-20628, except Parts 1, 2, and 3, Plan 53R-21130, Township of Creighton-Davies, 0 Vermilion Lake Road, Walden City of Greater Sudbury</p> | |
| <p>Sketch 1, NTS NDCA</p> | <p>A120/2021 & A121/2021 Date: 2021 09 22</p> |

VERMILION LAKE ROAD



VERMILION RIVER

RON & LISE GOSSELIN
PROPOSED LOT SPLIT

1301 VERMILION LK. RD.
PART OF LOT 12 CONC. 6
TOWNSHIP OF CREIGHTON

DATED SEPT 24/2020

A0120/2021 + A0121/2021
Sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

| |
|--------------------------------------------------------------------|
| Office Use Only 2021.01.01 |
| A 0122/2021 |
| S.P.P. AREA YES _____ NO <input checked="" type="checkbox"/> |
| NDCA REG. AREA YES <input checked="" type="checkbox"/> NO _____ |

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) \$1270.00
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): John Maki, Gisele Guenard Email: [REDACTED]
Mailing Address: 2335 Bancroft Dr. Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury Postal Code: P3B-4J7 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A. Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A.
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: RU. Current Zoning By-law designation: R.U.

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|------------------------------------------|--------------------|----------|------------|
| Accessory Building to exceed 6.5m height | 4.2.4 6.5M. | 8.25 | 1.75 |
| | | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Construct a new 30x48 Detached garage with @ Loft measuring 15'x30'

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Loft will exceed the 6.5m Bylaw. Loft is to be used as a Music area / Room.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73574-0146 Township: Neelon Ward: _____
 Lot No.: R4 8 Concession No.: 8 Parcel(s): _____
 Subdivision Plan No.: _____ Lot: P4 8 Reference Plan No.: 53R20732 Part(s): 14-15/1
 Municipal Address or Street(s): 3335 Bancecroft Dr. 53R1920

- 7) Date of acquisition of subject land.
- 2020

- 8) Dimensions of land affected.

Frontage 106.4 (m) Depth 379.87 (m) Area _____ (m²) Width of Street 18.3 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|---------------------------------|---------------------------------|
| Ground Floor Area: | <u>305.76</u> (m ²) | <u>133.95</u> (m ²) |
| Gross Floor Area: | <u>305.76</u> (m ²) | <u>175.71</u> (m ²) |
| No. of storeys: | <u>1</u> | <u>2. Loft.</u> |
| Width: | <u>12.19</u> (m) | <u>9.14</u> (m) |
| Length: | <u>27.43</u> (m) | <u>13.71</u> (m) |
| Height: | <u>6.09</u> (m) | <u>8.25</u> (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|-------------------|-------------------|
| Front: | <u>132.62</u> (m) | <u>36.5</u> (m) |
| Rear: | <u>214.93</u> (m) | <u>243.97</u> (m) |
| Side: | <u>62.16</u> (m) | <u>22.86</u> (m) |
| Side: | <u>65.89</u> (m) | <u>108.24</u> (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☒
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

June 2021 New Homes.

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Land. R.U. Length of time: unknown.
House under construction

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Single Family Residential R.U.

- 15) What is the number of dwelling units on the property?

1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

Residential

AO102/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If 'Yes', indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, John Maki & Gisèle Guenard (please print all names), the registered owner(s) of the property described as 3335 Bancroft Dr.

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize John Maki (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 17th day of Sept., 20 21.

[Signature]
(Witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

AD122/2021

I/We, John Maki, Gisèle Guenard. (please print all names),
the registered owner(s) or authorized agent of the property described as 3335 Bancroft Dr.

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 21st ~~17th~~ day of Sept., 20 21.

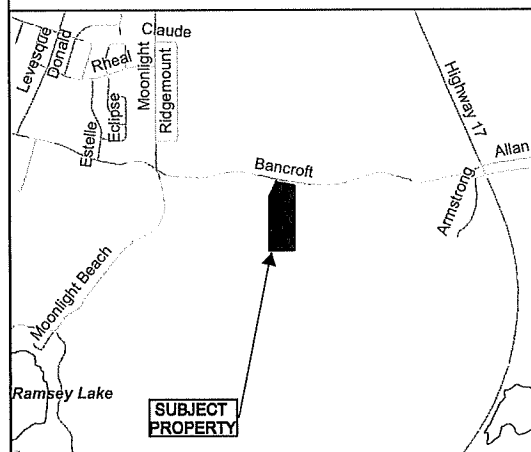
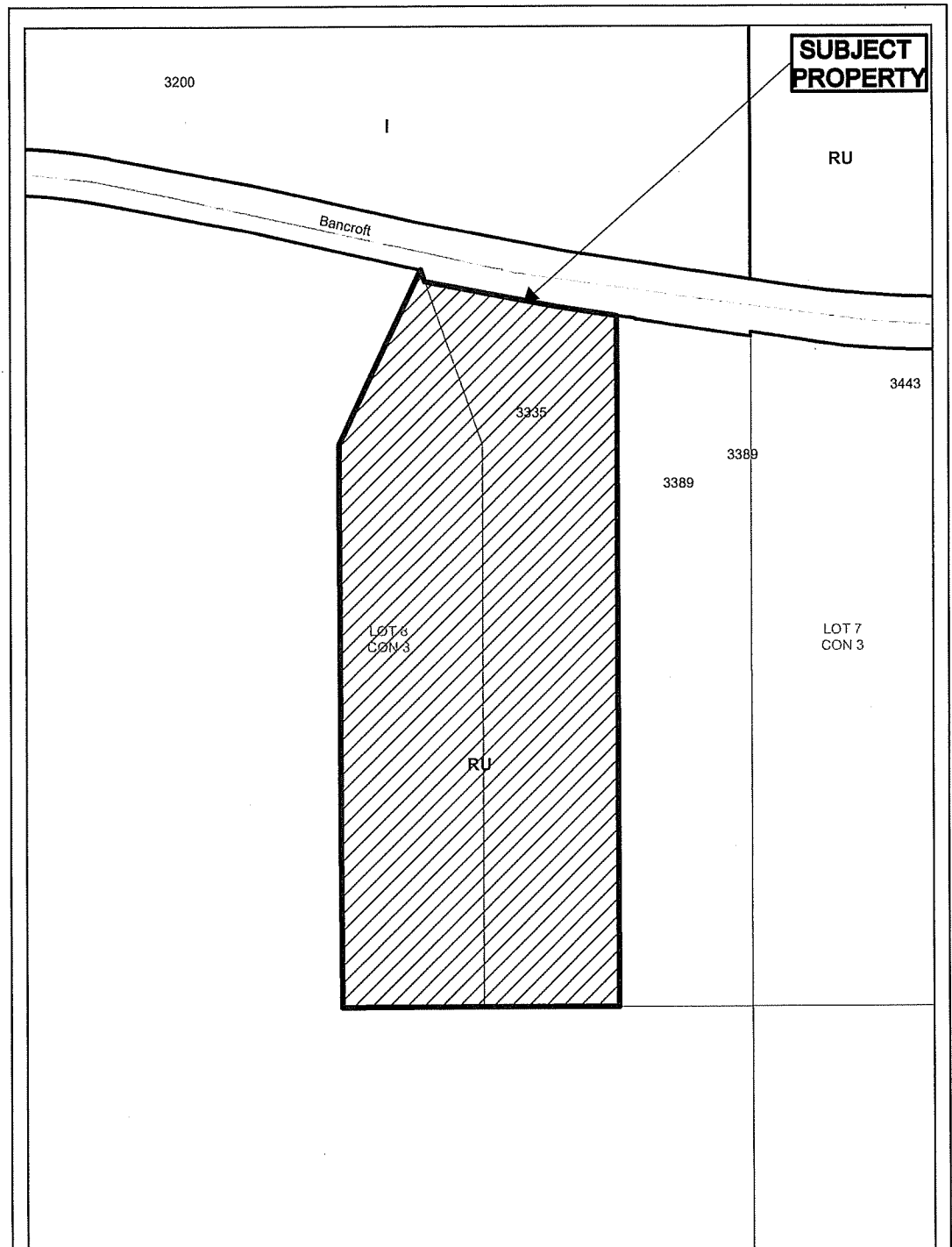
signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

*I have authority to bind the Corporation

FOR OFFICE USE ONLY

[illegible]

AT0122/2021



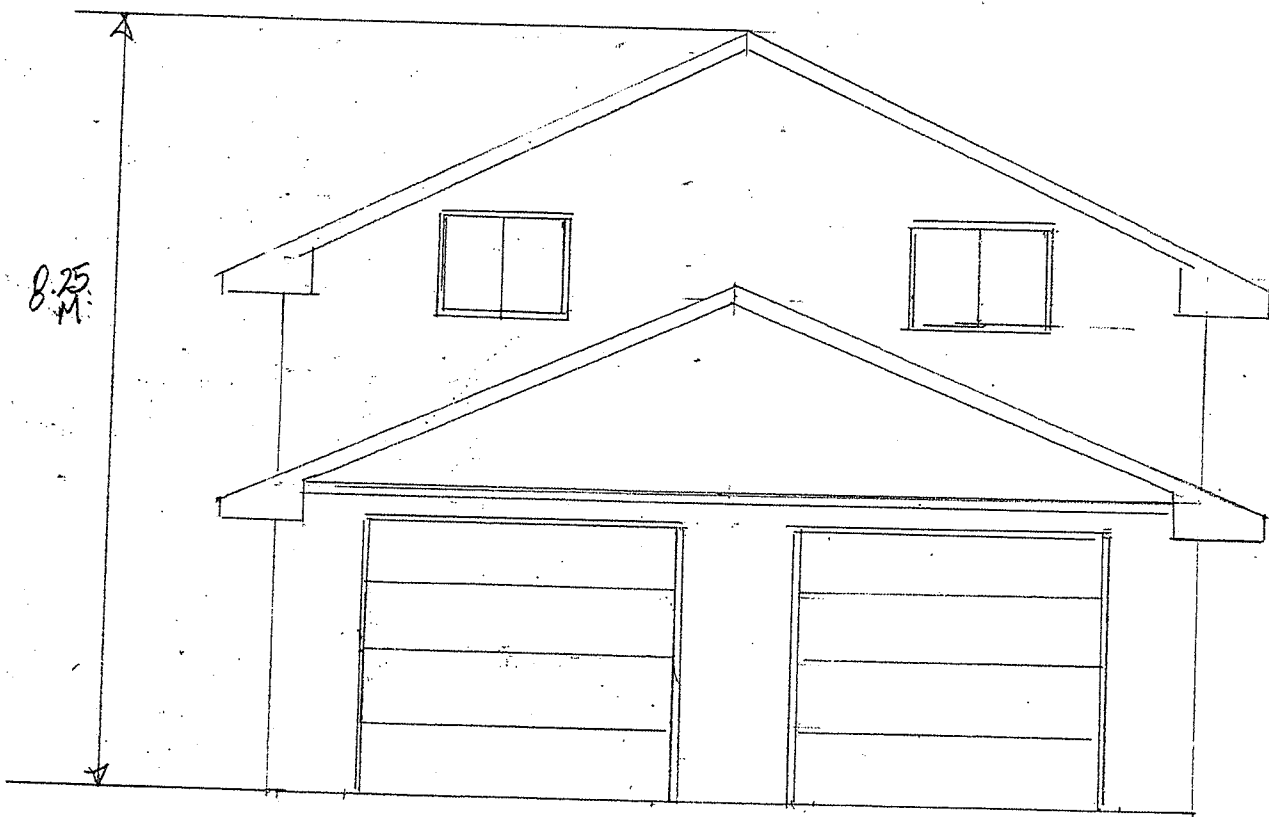
Application for Minor Variance or Permission



Subject Property being PIN 73574-0163,
Part Lot 8, Concession 3,
Parts 14 and 15, Plan 53R-19290,
Parts 1, 2, 3, and 4, Plan 53R-20732,
Township of Neelon,
3335 Bancroft Drive, Sudbury
City of Greater Sudbury

Sketch 1, NTS
NDCA

A122/2021
Date: 2021 09 23



8.25
M.

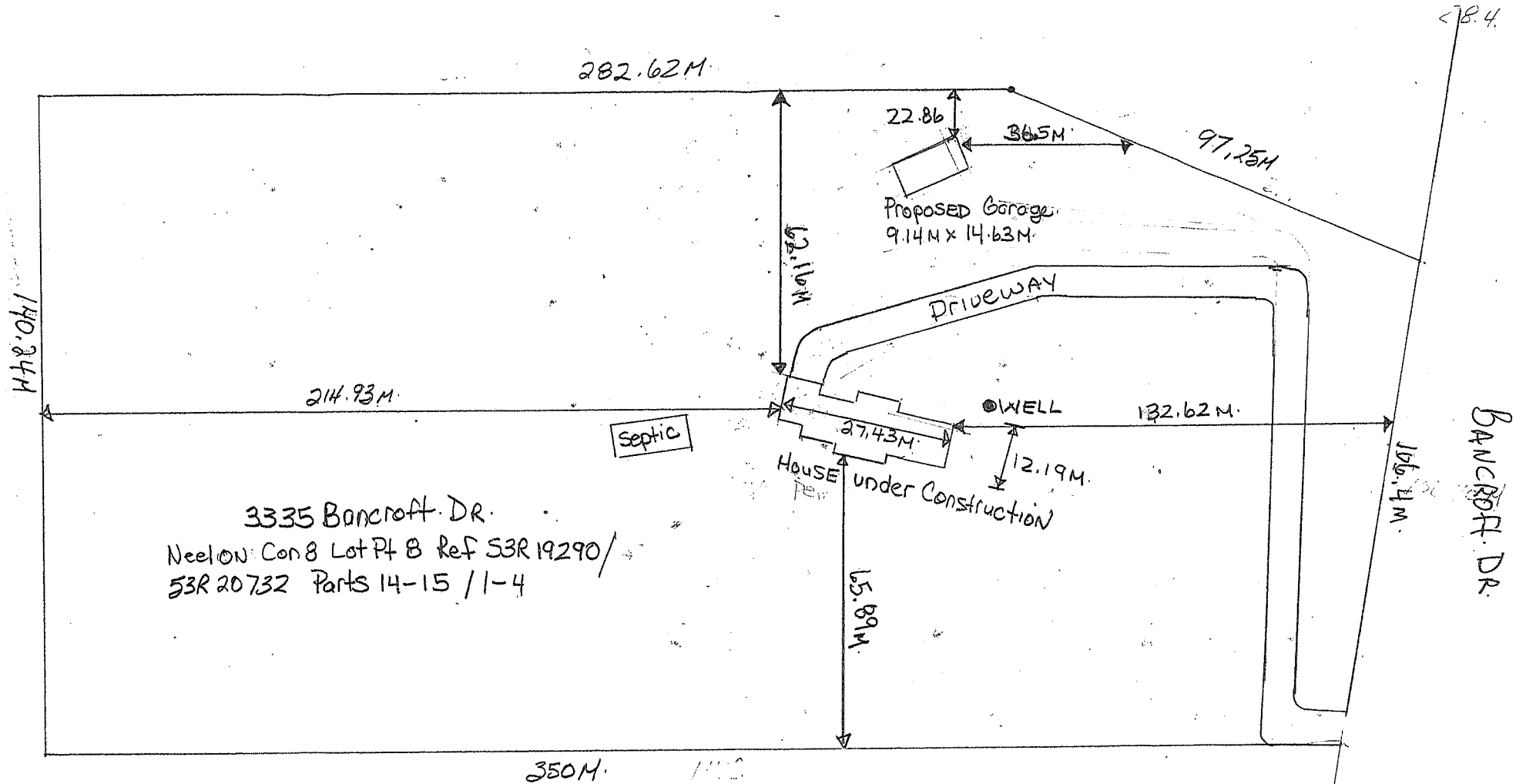
Loft Ridge
2.6M

TOP WALL LOFT.
2.43M

3.22M Top of wall.

9.14M x 14.6M Garage. Loft. 4.5M x 9.14M.

10/22/2021
Sketch 2



3335 Bancroft Dr.
Neelon Con 8 Lot Pt 8 Ref S3R19290/
53R20732 Parts 14-15 / 1-4

AD122/2021
Sketch 3



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

| |
|---------------------------------------------------------------------------------------|
| Office Use Only 2021.01.01 |
| A0123/2021 |
| S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> |
| NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> |

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

| | |
|--------------------------------------------------|-----------------|
| Registered Owner(s): Dalron Construction Limited | Email: |
| Mailing Address: 130 Elm Street | Home Phone: |
| | Business Phone: |
| City: Sudbury | Fax Phone: |
| Postal Code: P3C 1T6 | |

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

| | |
|-------------------------------|-----------------|
| Name of Agent: | Email: |
| Mailing Address: | Home Phone: |
| Lots 13, 14, 15 Eclipse Cres. | Business Phone: |
| City: | Fax Phone: |
| Postal Code: | |

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

| |
|------------------|
| Name: |
| Mailing Address: |
| City: |
| Postal Code: |

- 4) Current Official Plan designation: Living Area One Current Zoning By-law designation: R1-5 and R2-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|-------------------------------|--------------------|----------|------------|
| Lot 13 Eclipse Cres: Lot Area | 465m2 | 451m2+/- | 14m2+/- |
| Lot 14 Eclipse Cres: Lot Area | 465m2 | 451m2+/- | 14m2+/- |
| Lot 15 Eclipse Cres: Lot Area | 465m2 | 451m2+/- | 14m2+/- |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: _____
To request relief from the minimum lot area on 3 draft approved lots.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: _____
Although the lots conform to the zoning by-law with respect to minimum lot frontage and depth, the three future lots are deficient in lot area, which cannot be achieved due to boundary limitations.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73575-0664 Township: Neelon Ward: 11
 Lot No.: ~~lots 14, 12 & 9~~ Concession No.: ~~03~~ Parcel(s):
 Subdivision Plan No.: M-889 Lot: 9 Reference Plan No.: 632-2155 Part(s): 1
 Municipal Address or Street(s): (Lots 13, 14, 15 Eclipse Cres) ~~Ø Estelle Street~~

- 7) Date of acquisition of subject land. *Frontage* *Depth* *Area*
- 8) Dimensions of land affected. *Lot 13* *15.0m* *30.068m +/-* *451m² +/-*
Lot 14 *15.0m +/-* *30.068m +/-* *451m² +/-*
Lot 15 *15.02m +/-* *30.068m +/-* *451m² +/-*
- | Frontage (m) | Depth (m) | Area (m ²) | Width of Street (m) |
|--------------|-----------|------------------------|---------------------|
| | | | 20 |

- 9) Particulars of all buildings:
- | | Existing | Proposed |
|--------------------|-------------------|-------------------|
| Ground Floor Area: | (m ²) | (m ²) |
| Gross Floor Area: | (m ²) | (m ²) |
| No. of storeys: | | |
| Width: | (m) | (m) |
| Length: | (m) | (m) |
| Height: | (m) | (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing (m) | Proposed (m) |
|--------|--------------|--------------|
| Front: | | |
| Rear: | | |
| Side: | | |
| Side: | | |

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Fall 2021

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant draft plan of subdivision

Length of time:

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Registered lots on a plan of subdivision

- 15) What is the number of dwelling units on the property? none

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Low density residential (single family and semi-detached homes)

A0123/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☒ Yes ☐ No

If 'Yes', indicate application number(s) and status of application(s): Draft plan of subdivision 751-6/20-17

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Dalron Construction Limited (please print all names), the registered owner(s) of the property described as _____
PIN 73565-0664
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Kristi Arnold (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18 day of June, 2021

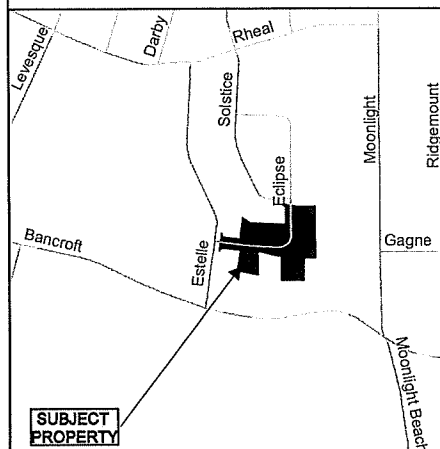
(witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Kristi Arnold

*I have authority to bind the Corporation

AO123/2021



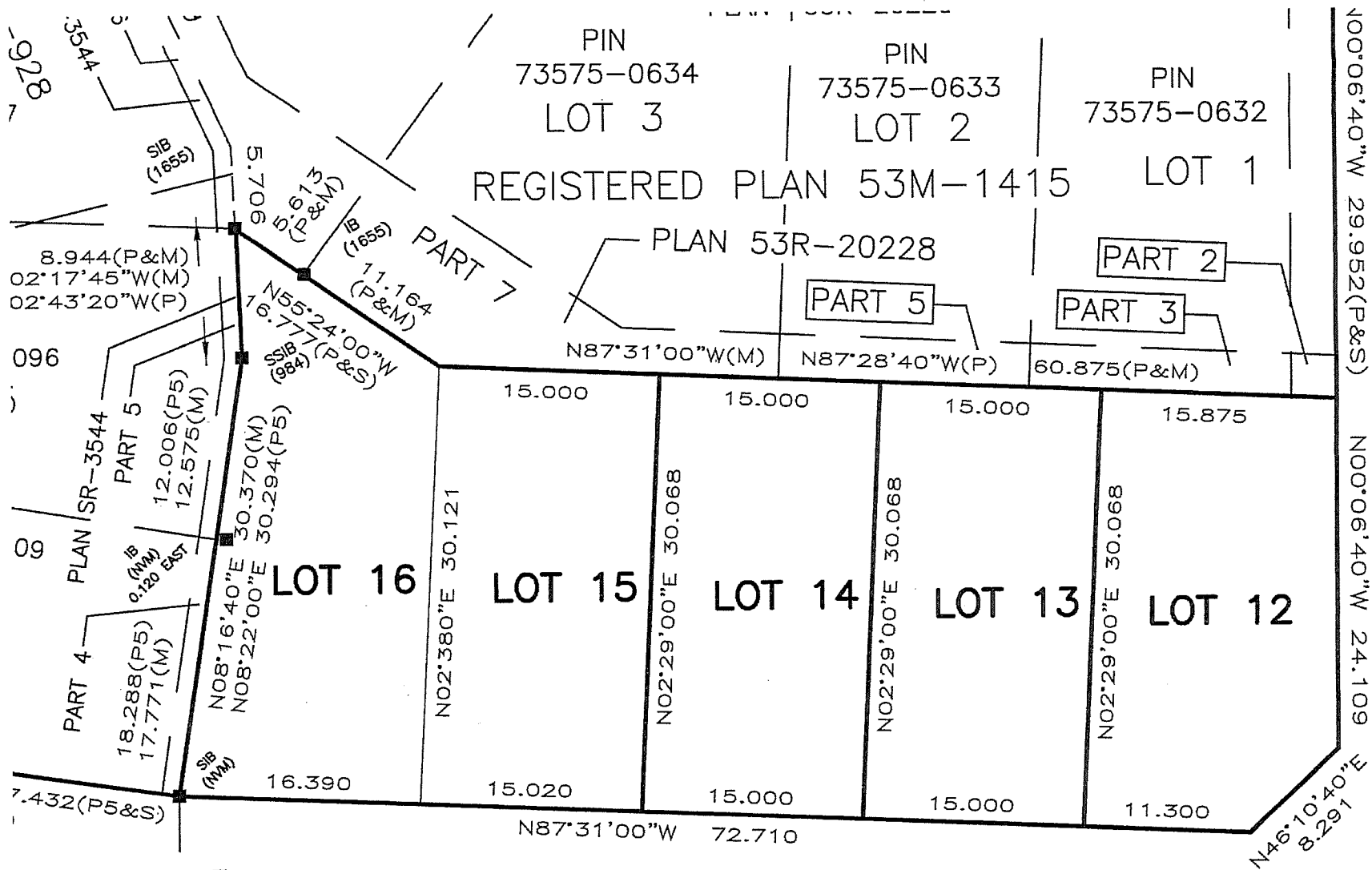
Application for Minor Variance or Permission



Subject Property being
PIN 73575-0664, Part Lot 9, Concession 1,
being Part 1 on Plan 53R-21555,
Township of Neelon, 0 Estelle Street, Sudbury
City of Greater Sudbury

Sketch 1, NTS
NDCA

A123/2021
Date: 2021 09 23



ECLIPSE CRESCENT

PART 6
P.I.N. 73575-0664
PLAN 53R-19231

LOT 9 CONCESSION 3
TOWNSHIP OF NEELON

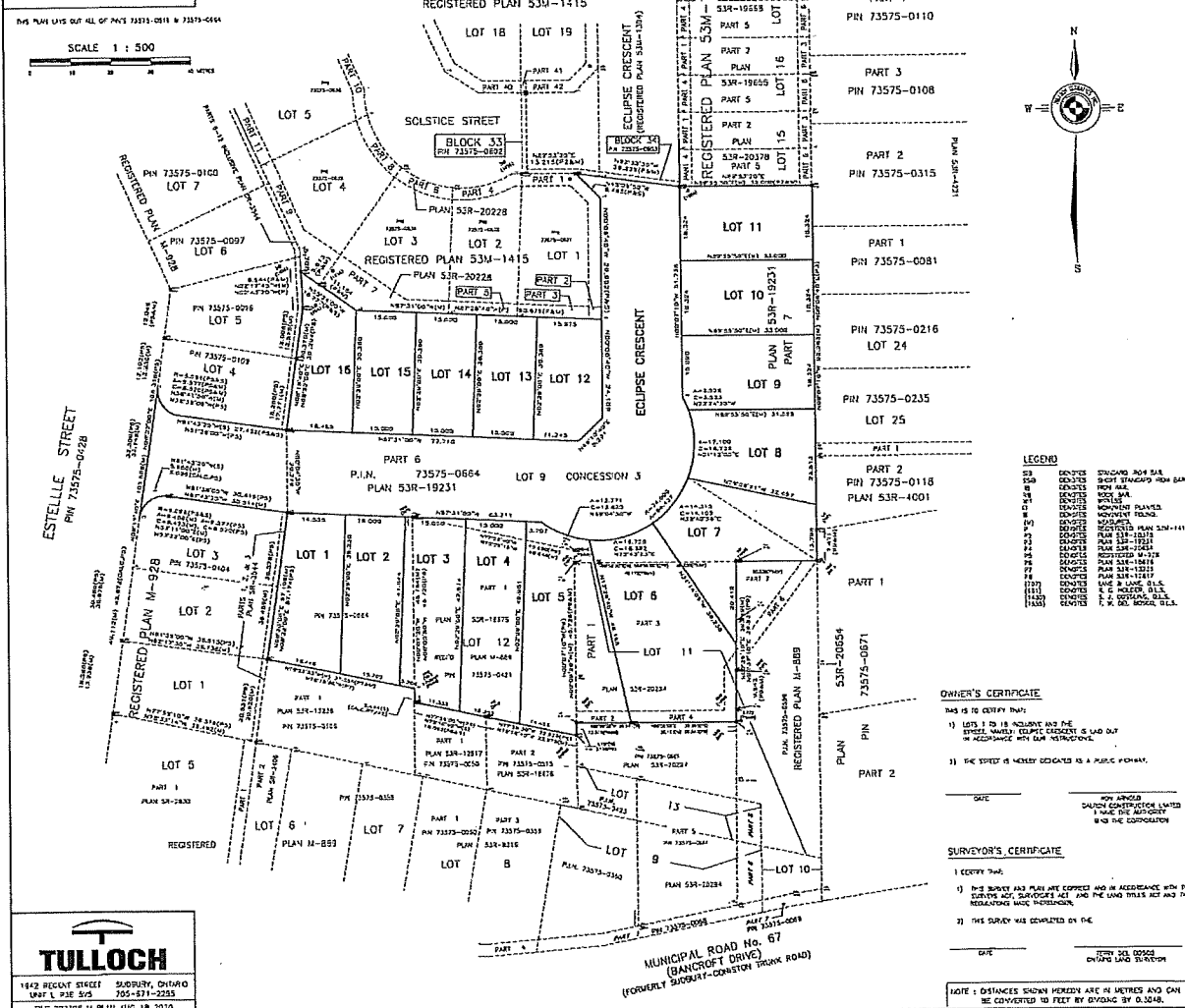
A=12.828
C=12.677
N68°42'20"W

AO123/2021
Sketch #2

1. HISTORY OF THE PLAN IS NECESSARY
IN THE LAND SURVEY OFFICE FOR THE LAND TRAIL
DIVISION OF SURVEYING IS _____ BLOCKED ON THE
DATE OF _____ 29 _____ WAS ENTERED IN
THE REGISTER FOR THE _____
AND NEARBY CONSENTS ARE _____
REGISTERED AS PLAN DOCUMENT NO. _____

| | | |
|--------------------------------------------------------------------------------------------------------------------------------------------|----------|---------|
| DISPOSABLE REFERENCE POINTS (RMPs) WITHIN ZONE 17, NAVAL (DSH) (234512) | | |
| COORDINATES TO LOCAL ACCOUNT FOR FCL 34 (2) OF DIRM, 214/12 | | |
| POINT 3 | NORTHING | EASTING |
| OMP A | | |
| OMP B | | |
| OMP C | | |
| COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH COORDINATES OR BOUNDARIES SHOWN ON THIS PLAN. | | |
| BOUNDARIES ARE DRAWN, GIVEN THEIR OBSERVED REFERENCE POINTS A AND B, FOR POLY LINE METHOD OF DISSEMINATION, WITH 17, NAVAL (DSH) (231212). | | |
| STRAIGHT LINES DRAWING AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.91554125 | | |

APPROVED UNDER SECTION 31 OF THE
PLANNING ACT R.S.O. 1190, 1945
DATE OF _____ 2022



A0123/2021
Sketch #3

PLAN OF SURVEY OF
PART OF LOT 9, CONCESSION 3
GEOGRAPHIC TOWNSHIP OF NEELON
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TULLOCH GEOMATICS INC.
2021

2m 0 5 25m

SCALE 1 : 500

THE INTENDED PLOT SIZE OF THIS PLAN IS 800mm IN WIDTH BY 457mm
IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:500.

BEARING NOTE:

BEARINGS ARE UTM GRID AND ARE DERIVED FROM OBSERVED REFERENCE POINTS A AND B
BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83(CSRS)(2010.0).

METRIC:

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

GROUND DISTANCES SHOWN HEREON CAN BE CONVERTED TO UTM GRID BY MULTIPLYING BY
A COMBINED SCALE FACTOR OF 0.999543.

LEGEND:

- DENOTES FOUND MONUMENT
- DENOTES PLANTED MONUMENT
- SIB DENOTES STANDARD IRON BAR 0.025 x 0.025 x 1.22
- SSIB DENOTES SHORT STANDARD IRON BAR 0.025 x 0.025 x 0.61
- IB DENOTES IRON BAR
- 1004 DENOTES TULLOCH GEOMATICS INC., O.L.S.
- 1855 DENOTES TERRY DEL BOSCO, O.L.S.
- 984 DENOTES M.R. MAHER, O.L.S.
- NVM DENOTES NO VISIBLE MARKINGS
- P DENOTES REGISTERED PLAN 53M-1415
- P1 DENOTES REGISTERED PLAN M-928
- PN DENOTES SURVEY RECORDS OF TULLOCH GEOMATICS
FILE: 125779

| INTEGRATION COORDINATE TABLE | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|
| ALL COORDINATES ARE IN METRES, ARE RELATED TO UTM ZONE 17 (81102W LONGITUDE) NAD83(2010.0) AND HAVE A RELATIVE ACCURACY TO MEET THE REQUIREMENTS OF URBAN AREA AT A 95% CONFIDENCE LEVEL. | | |
| ORP | NORTHING | EASTING |
| A | 5148007.53 | 507236.39 |
| B | 5148146.75 | 507337.86 |
| COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. | | |

| SCHEDULE | | | | |
|----------|---------------|------------|----------------------------|----------------------|
| PART | LOT | CONCESSION | PIN | AREA |
| 1 | PART OF LOT 9 | 3 | PART OF PIN 73575-0864(LT) | 1356.6m ² |

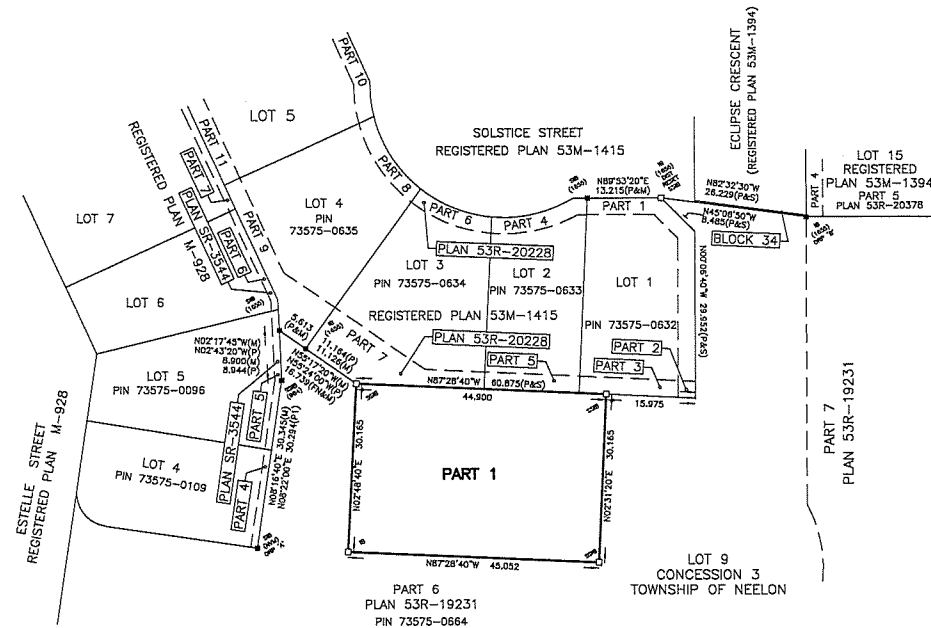
PLAN 53R-21555

Received and deposited

September 20th, 2021

John Laporte

Representative for the
Land Registrar for the
Land Titles Division of
Sudbury (No.53)



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
(1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE
REGULATIONS MADE UNDER THEM.
(2) THE SURVEY WAS COMPLETED ON THE 1st DAY OF SEPTEMBER, 2021

SEPTEMBER 17, 2021
DATE

Terry Del Bosco
TERRY DEL BOSCO
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS SUBMISSION FORM 2173984.

| | | |
|--------------|-----------------------------------|---------------|
| | TULLOCH GEOMATICS INC. | |
| | 1942 REGENT ST. T. 705 671.2295 | |
| | SUDBURY, ON F. 705 671.3473 | |
| | P3E 5V5 800 810.1037 | |
| DRAWN BY: KG | | FILE: 20-2306 |

A01/03/2021
Sketch #4



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

| | |
|-----------------|----------------------------------------|
| Office Use Only | |
| A0124/2021 | |
| S.P.P. AREA | |
| YES | NO <input checked="" type="checkbox"/> |
| NDCA REG. AREA | |
| YES | NO <input checked="" type="checkbox"/> |

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Michele Haw

Email:

Mailing Address: 6 George Street

Home Phone:

Business Phone:

City: Coniston

Postal Code: P0M1M0

Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent:

Email:

Mailing Address:

Home Phone:

Business Phone:

City:

Postal Code:

Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Sudbury Credit Union

Mailing Address: 91 2nd Avenue N.

City: Sudbury

Postal Code: P3B 1L7

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|------------------------------------------------------------|-----------------------------|--------------|-------------|
| 4.25.2 Reconstruction of Existing Buildings and Structures | 117.7sq.m. without addition | 125.782sq.m. | 8.082 sq.m. |
| | | | |
| | | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: 1.95 0.6 (m) > 2.00m variance

- c) Description of Proposal:

Front entryway to downstairs with requires increase to footing of approximately 8 square meters (where deck previously existed). House profile will be straight across instead of L-cove as it is currently. Roof extended to match at front of building as well.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Addition will increase footprint of foundation and exterior dimensions of dwelling

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73560-1306 Township: Neelon Ward: 9
 Lot No.: 4 Concession No.: 3 Parcel(s): 8843
 Subdivision Plan No.: M-64 & M-147 Lot 102 pt 10 Reference Plan No.: 53R21164 Part(s): 2
 Municipal Address or Street(s): 6 George St → Lot 102 Pt Lot 101; PT LANE

- 7) Date of acquisition of subject land. April 28, 2021

8) Dimensions of land affected:
 Frontage 15.24 ± (m) Depth 34.9 ± (m) Area 505.50 ± (m²) Width of Street 15.0 ± (m)
 Frontage 4.92 (m) Depth 34.9 ± (m) Area 8.082 (m²) Width of Street 8.9 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|-----------------------------------|--------------------------------|
| Ground Floor Area: | 117.7 (m ²) | 125.782 (m ²) |
| Gross Floor Area: | 117.7 (m ²) | 125.782 (m ²) |
| No. of storeys: | 1 | 1 |
| Width: | 6.675 frt 10.82 mid 6.19 back (m) | 10.82 frnt & mid 6.19 back (m) |
| Length: | 13 left 7.68 right (m) | 13 left 9.6 right (m) |
| Height: | 6 (m) | 6 (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|------------------------------------------------|----------------------------------|
| Front: | 4.6 left 6.52 right (m) | 4.6 (m) |
| Rear: | 14.37 fr deck 1.22 fr garage (m) | 14.37 fr deck 1.22 fr garage (m) |
| Side: | 3.34 fr deck (m) | 3.34 fr deck (m) |
| Side: | 9.645 m (front) 5.5 m (mid) 10.13 m (back) (m) | 5.5 fr house 0.45 fr garage (m) |

* 10x6m X 7.47 m Garage not affected
 0.45 m (garage) 10.13 (back)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1940 (residence) Garage (unknown)

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential

Length of time: 20+

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or,

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☐ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: Residential

A024/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Michele Haw (please print all names), the registered owner(s) of the property described as 6 George Street Coniston

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Y/A (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of September, 2021

→ Kathryn Johnston
(witness)

Michele Haw
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Michele Haw

*I have authority to bind the Corporation


AD 124/2021

IWe, Michele Haw

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 21 day of September, 20 21


Commissioner of Oaths

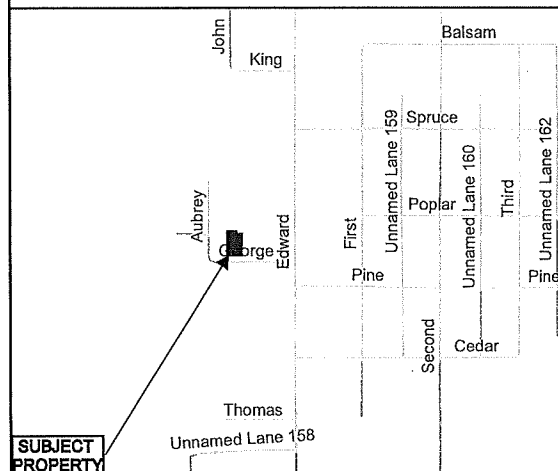
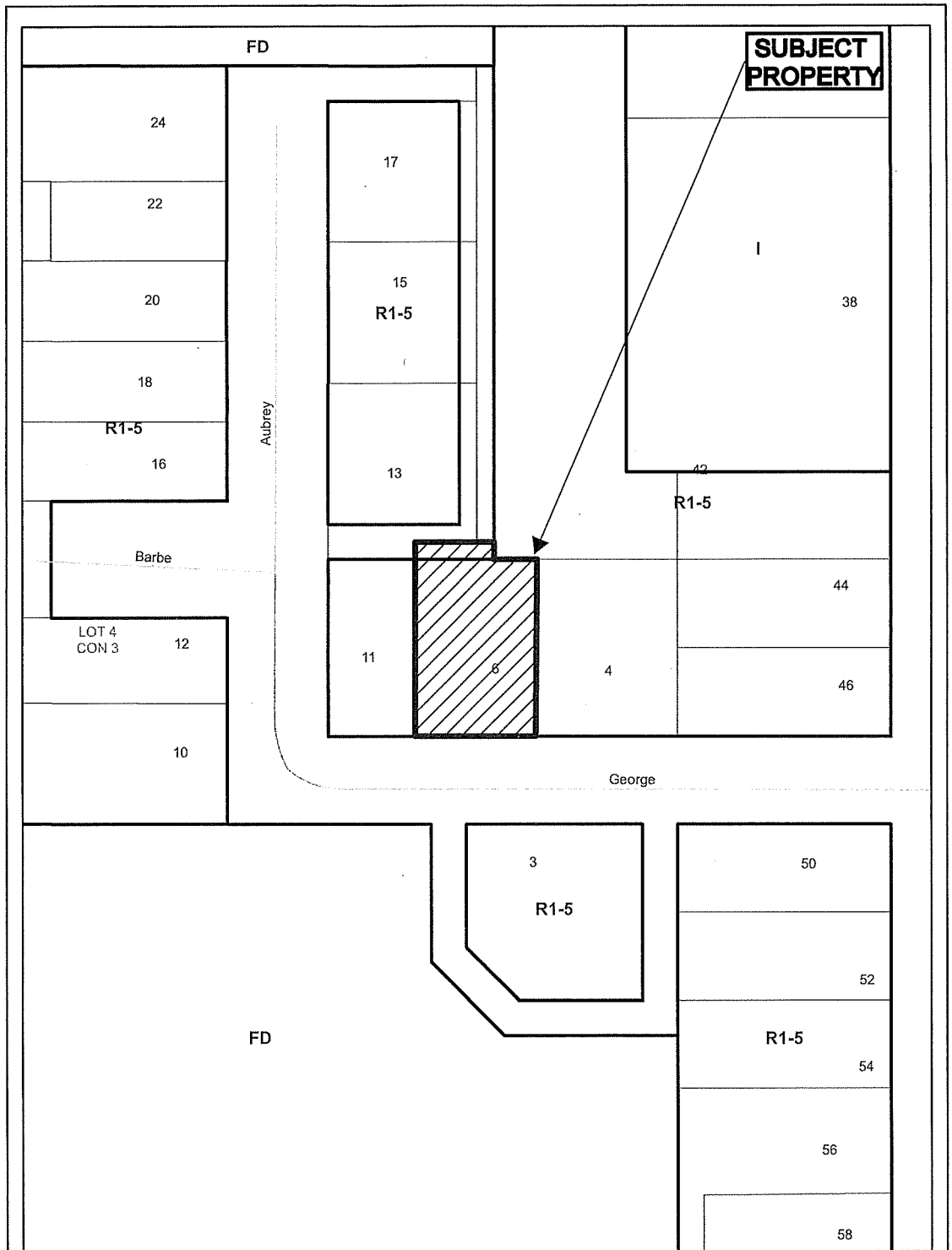
signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Michele Haw
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Sept. 21/91 Hearing Date: October 14, 2001 Received By: N. Lewis
Zoning Designation: R1-S Resubmission: ☐ Yes ☒ No
Previous File Number(s): A0306/1992
Previous Hearing Date: October 26, 1992
Notes:



Application for Minor Variance or Permission



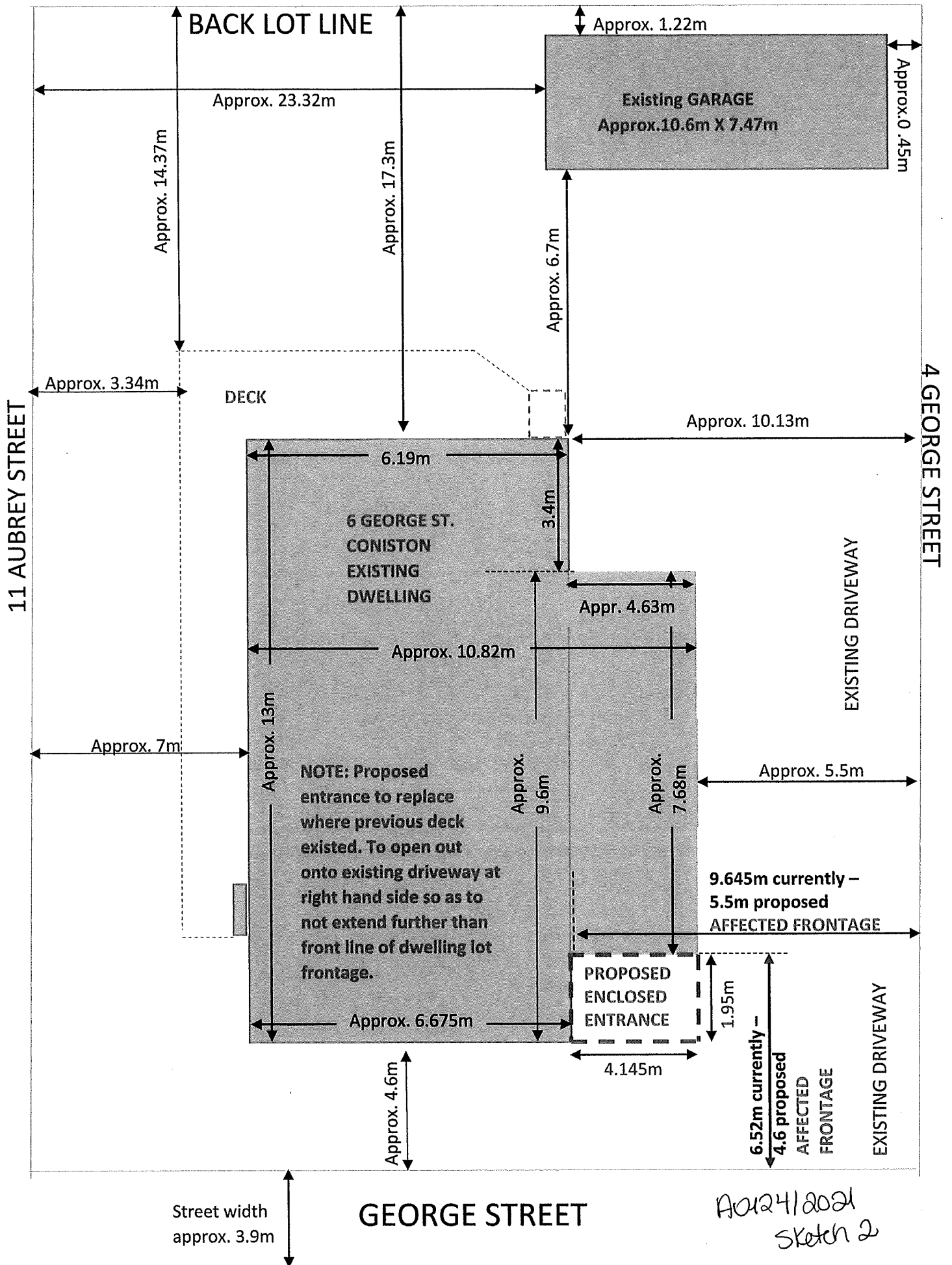
Subject Property being PIN 73560-1306,
Parcel 8843, Part Lot 101 and Lot 102,
Plan M-64, Part of Lane, Plan M-147,
Part 2, Plan 53R-21164,
Township of Neelon,
6 George Street, Coniston
City of Greater Sudbury

Sketch 1, NTS

A124/2021

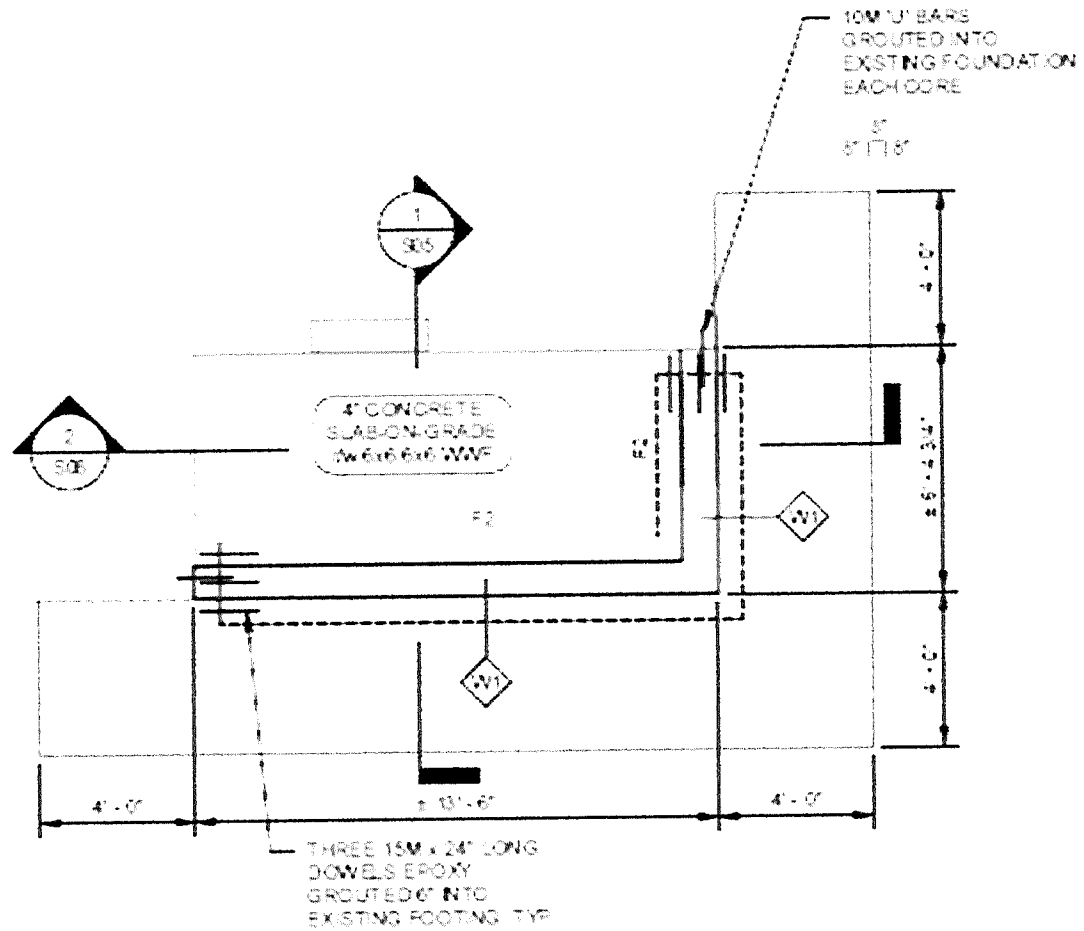
NDCA

Date: 2021 09 24

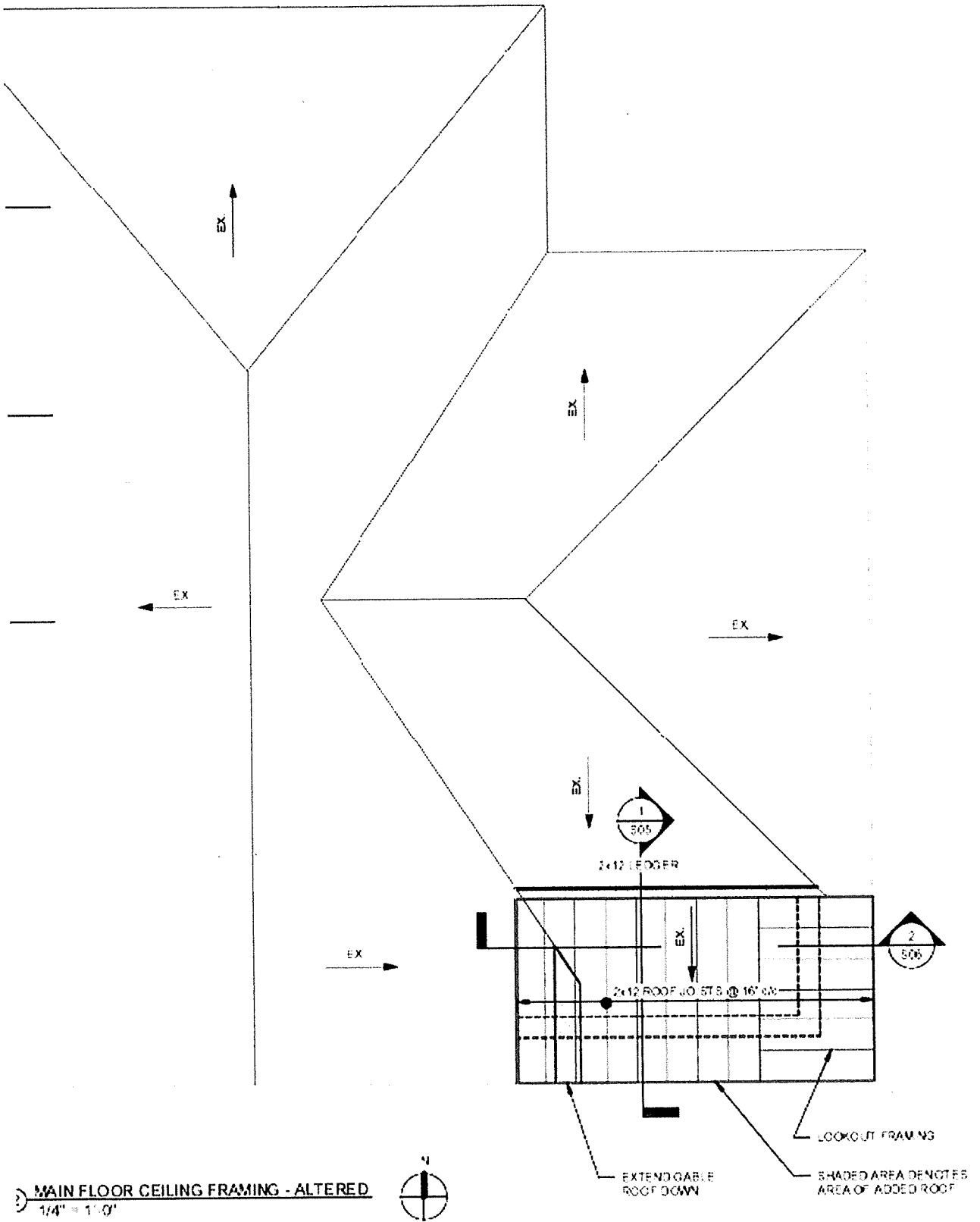


EXISTING RES-DENCE

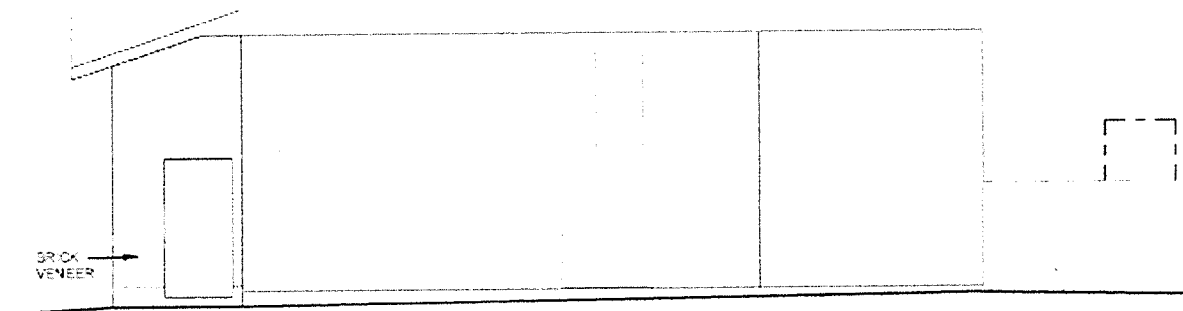
② FOUNDATION - ALTERED
1/4" = 1'-0"



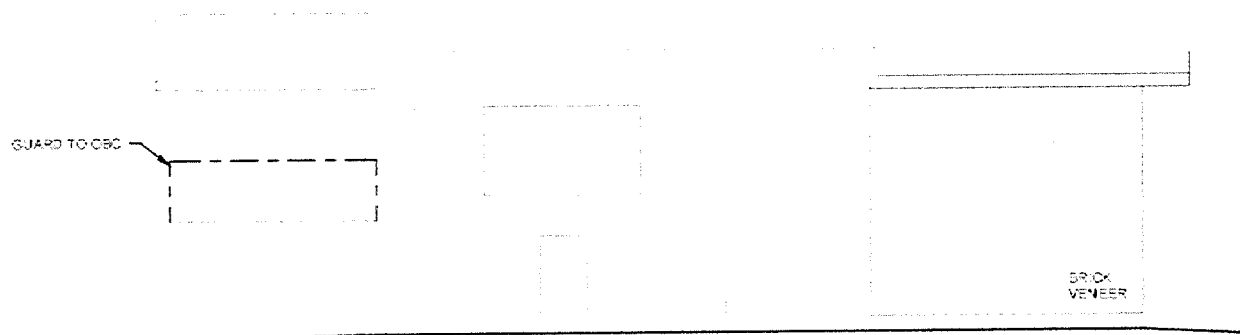
10/24/2021
Sketch 3



10/24/2024
 sketch 4

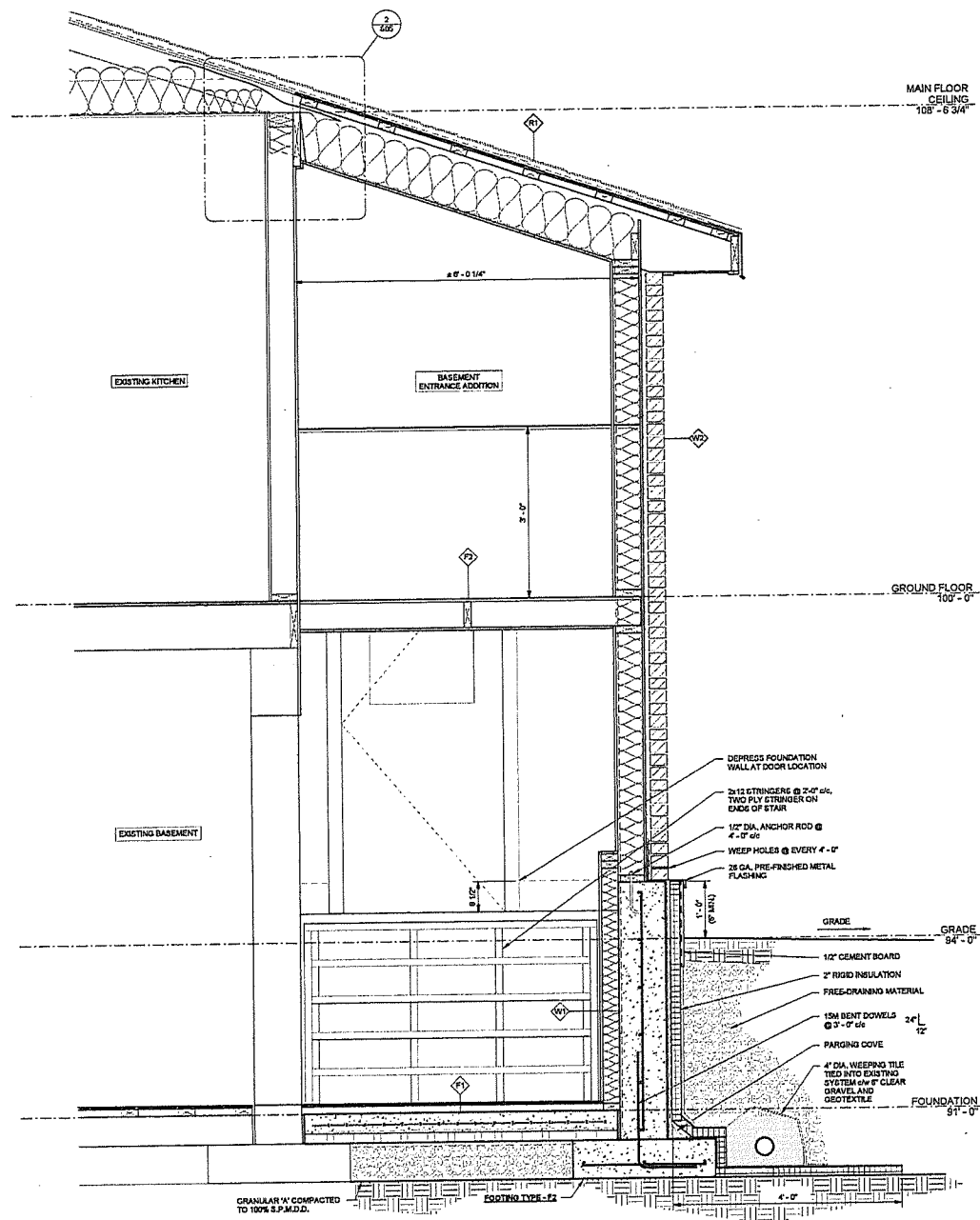


③ ALTERED EXTERIOR ELEVATION - EAST
 $\frac{3}{16}" = 1'-0"$

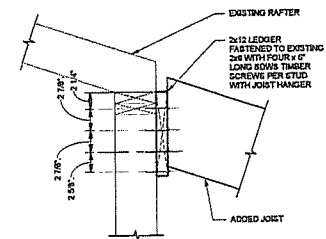


④ ALTERED EXTERIOR ELEVATION - SOUTH
 $\frac{3}{16}" = 1'-0"$

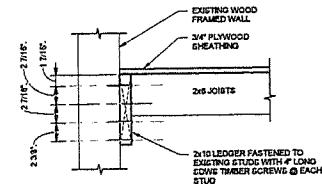
APR 24/2021
 Sketch 5



① SECTION
1 1/2" = 1'-0"



② DETAIL
1 1/2" = 1'-0"



③ SECTION
1 1/2" = 1'-0"



805 Robert Street, Suite 1-7B
Esbey, Ontario
POB 5444

Professional Stamp



| No. | Description | Date |
|-----|-------------------------|------------|
| 1 | ISSUED FOR CONSTRUCTION | 2021-07-20 |
| | | |
| | | |
| | | |

RESIDENCE BASEMENT ENTRANCE ADDITION & EXTERIOR DECK

8 GEORGE STREET, CONISTON, ONTARIO

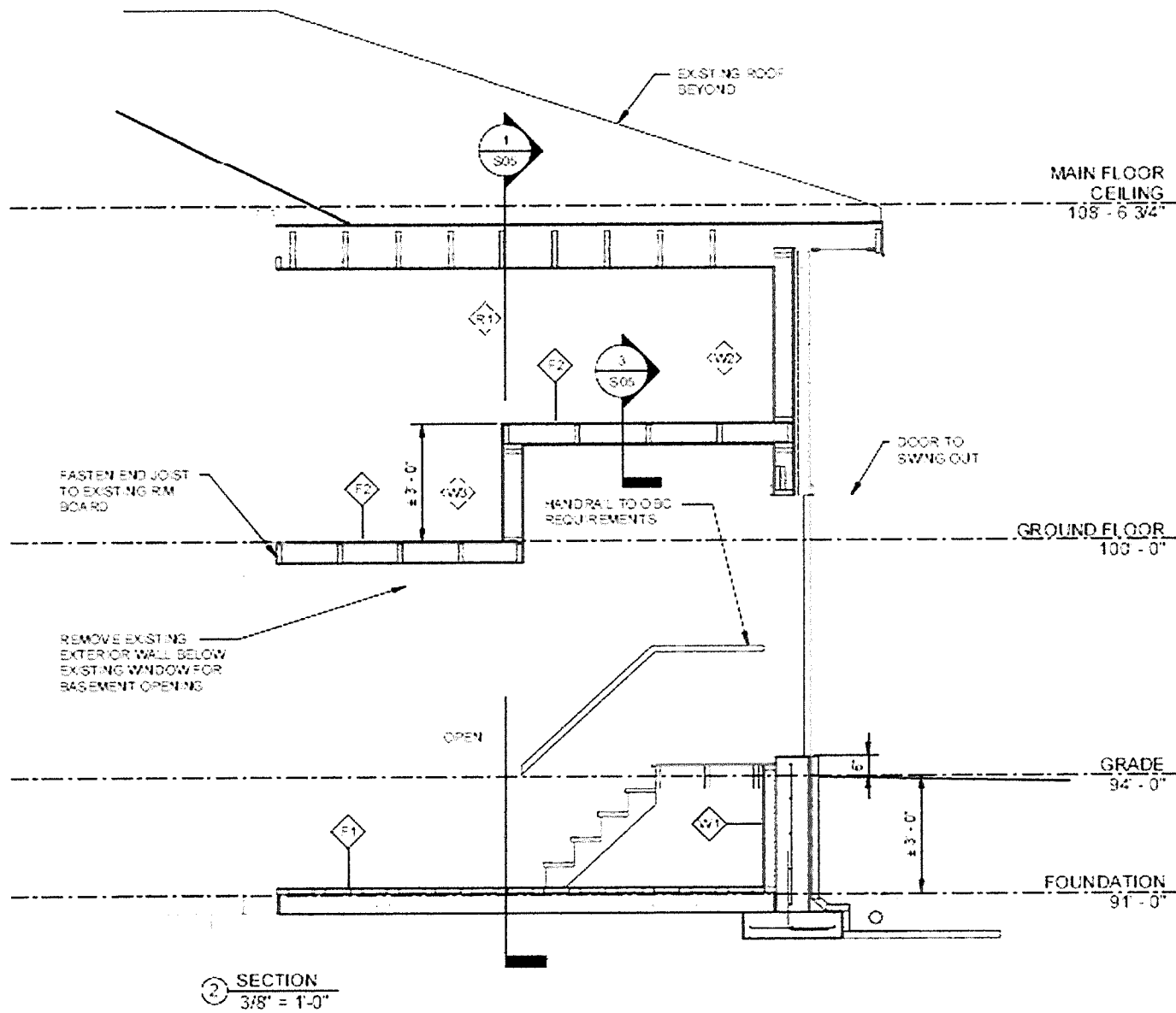
SECTION & DETAILS

| | |
|----------------|---------------|
| Project Number | TPR18-1004 |
| Date | 2021-07-20 |
| Drawn By | KMJ |
| Checked By | IAF, CRS, DOO |
| Sheet Number | 5 of 6 |

S05

10-204 ENTRANCE AND DECK.dwg

2024/2021 sketch 6



APR 24/2021
Sketch 7



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only
2021.01.01

A0125/201

S.P.P. AREA

YES ___ NO ☒

NDCA REG. AREA

YES ☒ NO ___

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): PIERRE & CHARLENE PIRE Email: [REDACTED]
Mailing Address: 2704 ROYAL ST Home Phone: [REDACTED]
ALBERTA VALLEY Business Phone: [REDACTED]
City: _____ Postal Code: P0M 1E0 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
Mailing Address: _____ Home Phone: _____
Business Phone: _____
City: _____ Postal Code: _____ Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|-------------------------|--------------------|-----------|------------|
| HEIGHT OF DETACH GARAGE | 5M | 2.65 8.23 | 2.62 3.23 |
| | | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: HEIGHT VARIANCE TO DETACH GARAGE

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

-STORAGE ON TOP OF GARAGE-LOFT

- 6) Legal Description (include any abutting property registered under the same ownership).

Deed

PIN(s): 73516-0403 Township: MACLEANN Ward: _____
 Lot No.: 1 (PART) Concession No.: 5 Parcel(s): _____
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53R-12089 Part(s): 6
 Municipal Address or Street(s): 712 PINECONE 53R-17683 PARTS 6-7-8

- 7) Date of acquisition of subject land.
- MARCH 5 - 2021

- 8) Dimensions of land affected.

Frontage 46 (m) Depth 100 (m) Area _____ (m²) Width of Street 55 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|----------------------------------------|-------------------------|-------------------------|
| Ground Floor Area: <u>32 FT</u> | _____ (m ²) | _____ (m ²) |
| Gross Floor Area: <u>All Floors x2</u> | _____ (m ²) | _____ (m ²) |
| No. of storeys: | _____ | _____ |
| Width: | _____ (m) | _____ (m) |
| Length: | _____ (m) | _____ (m) |
| Height: | _____ (m) | _____ (m) |

Handwritten notes: House 615.646 m², 1231.392 m² (BASEMENT), GARAGE 374.32 m², 384.04 m² (LOF)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|-----------|-----------|
| Front: | _____ (m) | _____ (m) |
| Rear: | _____ (m) | _____ (m) |
| Side: | _____ (m) | _____ (m) |
| Side: | _____ (m) | _____ (m) |

Handwritten notes: House 50, 333, 12.1, 22; GARAGE 18, 55, 6, 37

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☒
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used. _____

- 12) Date(s) of construction of all buildings and structures on the subject land.

CURRENT VACANT LOT

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): RESIDENTIAL Length of time: 20+ yrs

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?
- Proposed 2

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- RESIDENTIAL

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, PIERRE & SHARLENE PITRE (please print all names), the registered owner(s) of the property described as 712 PINGWONG

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize PIERRE PITRE (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 30th day of SEPTEMBER, 20 21

by Kelly Pitre
(witness)

Pierre & Sharlene Pitre
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: PIERRE & SHARLENE PITRE

*I have authority to bind the Corporation

I/We, PIERRE PINO (please print all names),
the registered owner(s) or authorized agent of the property described as 717 PINE CREEK

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22nd day of September, 2021

Print Name: _____
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

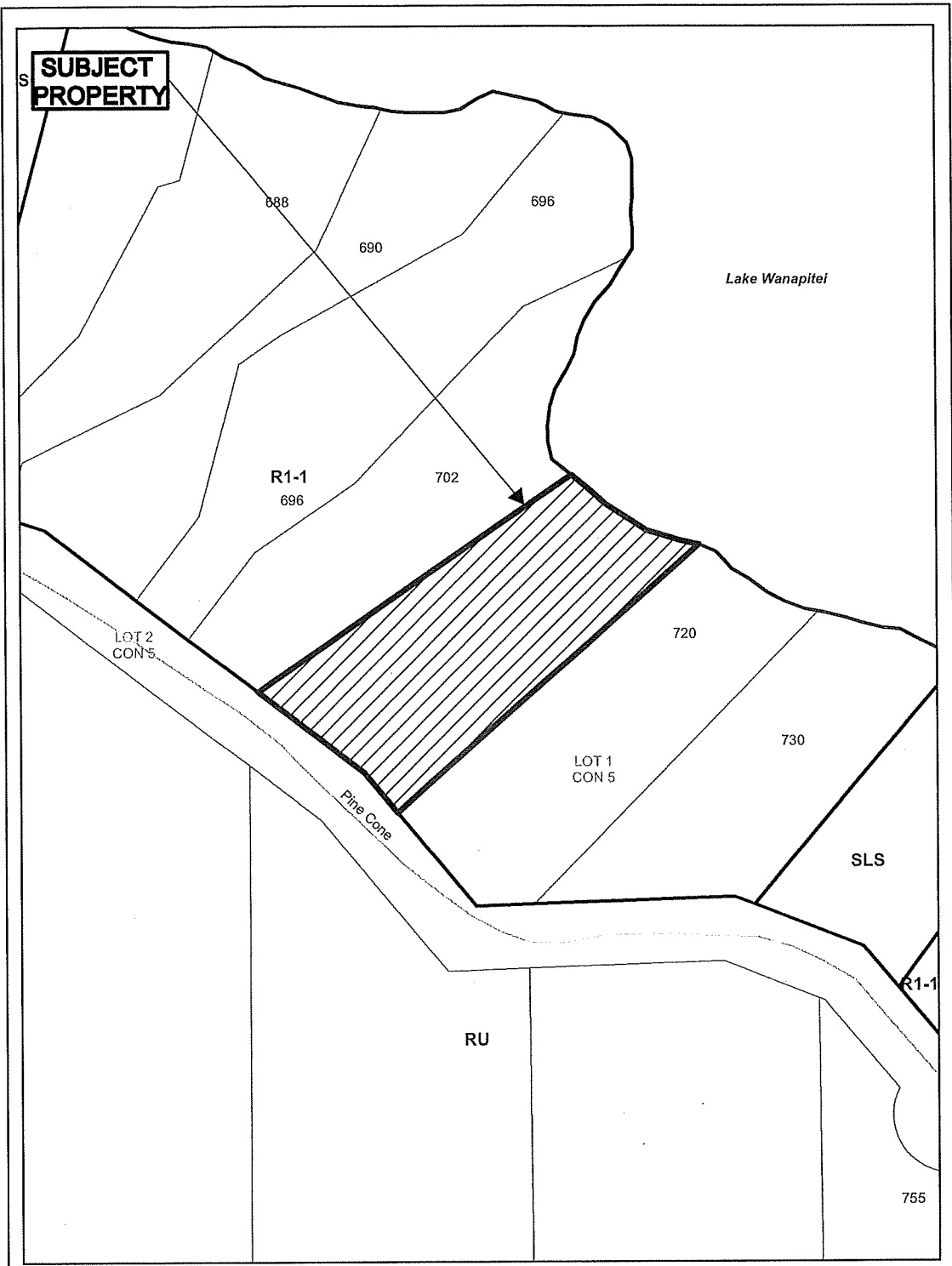
Date of Receipt: Sept. 22/31 Hearing Date: October 14, 2021 Received By: N. Lewis

Zoning Designation: R1-1 Resubmission: ☐ Yes ☒ No

Previous File Number(s): B0175/2004

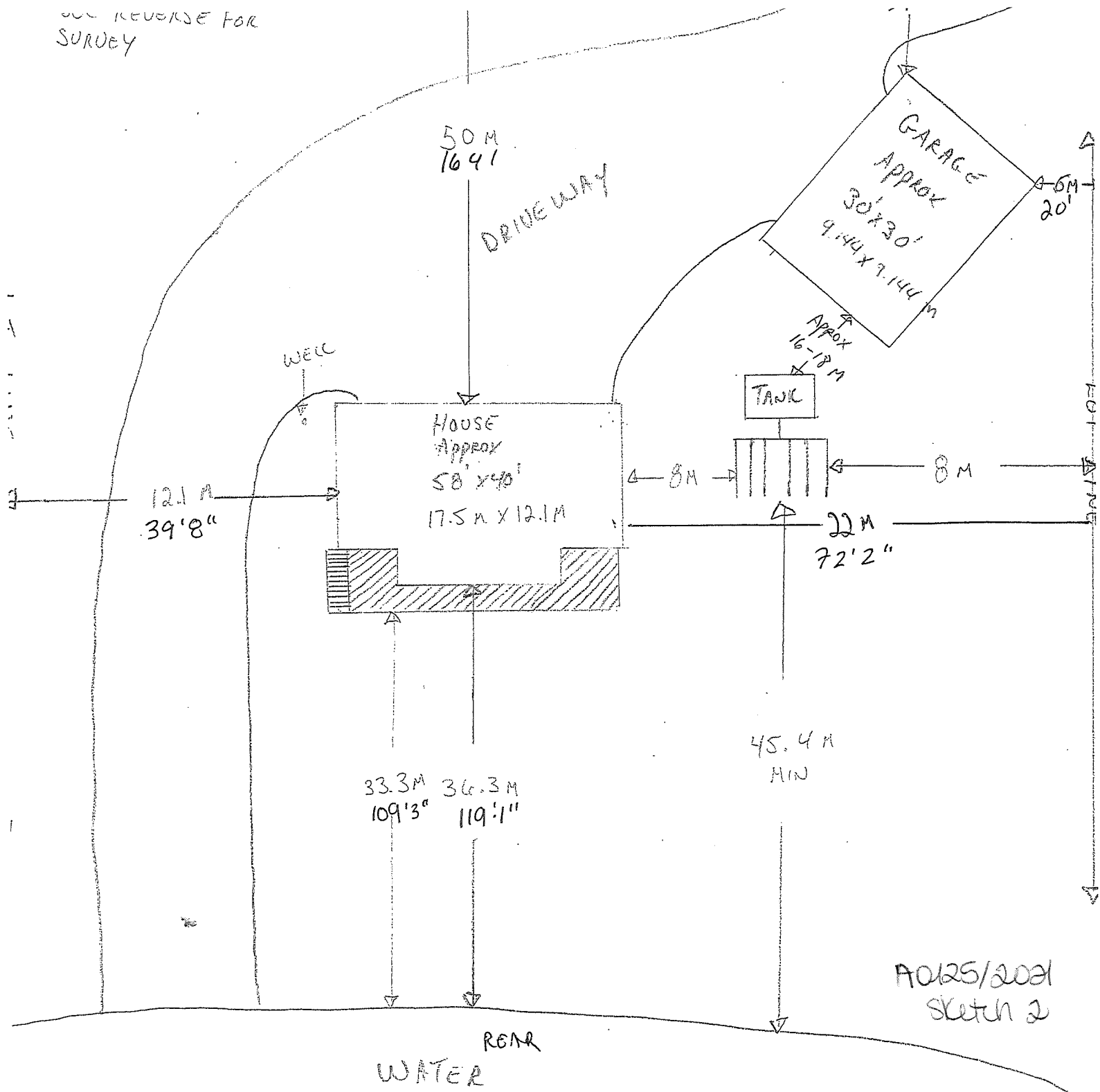
Previous Hearing Date: November 30, 2004

Notes:



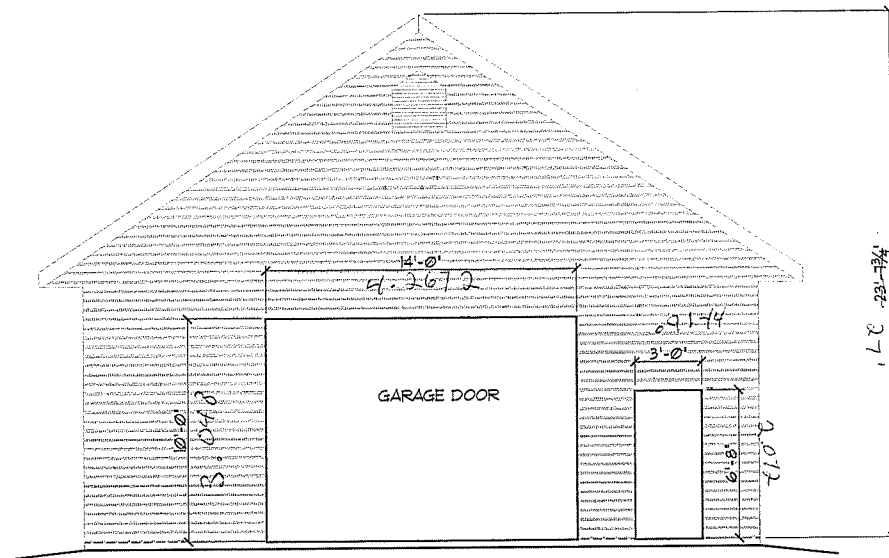
| | |
|---------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>SUBJECT PROPERTY</p> <p>Pine Cone</p> <p>MacLennan</p> <p>East Bay</p> <p>Poupore</p> <p>Bonneville</p> <p>Skead</p> <p>Tower</p> | <p align="center">Application for Minor Variance or Permission</p> <p align="right">N</p> |
| | <p>Subject Property being PIN 73513-0403, Parcel 48828, Part 6, Plan 53R-12088, Parts 6, 7 and 8, Plan 53R-17683, Part Lot 1, Concession 5, Township of MacLennan, 712 Pinecone Road, Skead, City of Greater Sudbury</p> |
| | <p>Sketch 1, NTS NDCA Watershed</p> <p align="right">A125/2021 Date: 2021 09 23</p> |

SEE REVERSE FOR
SURVEY

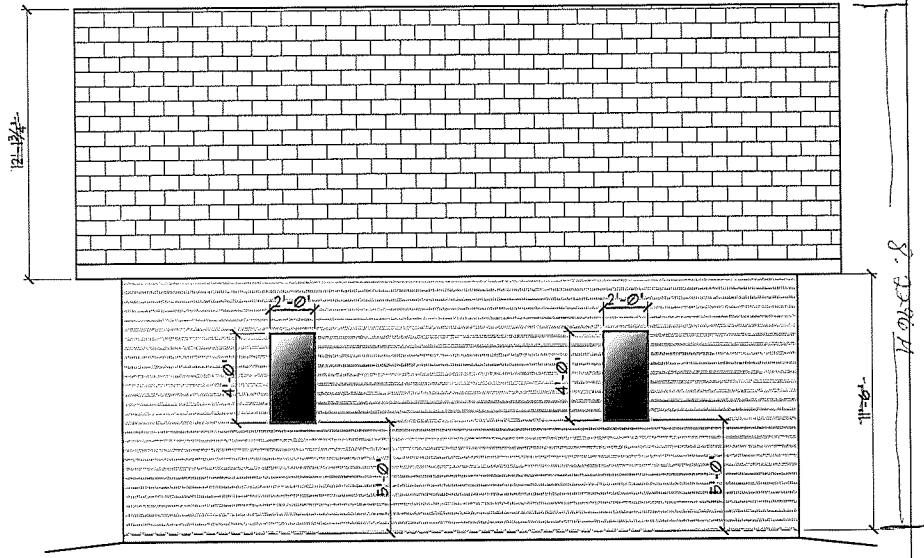


A0125/2021
Sketch 2

CONVERT TO M



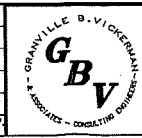
FRONT ELEVATION
SCALE: 3/16"=1'-0"



LEFT SIDE ELEVATION
SCALE: 3/16"=1'-0"



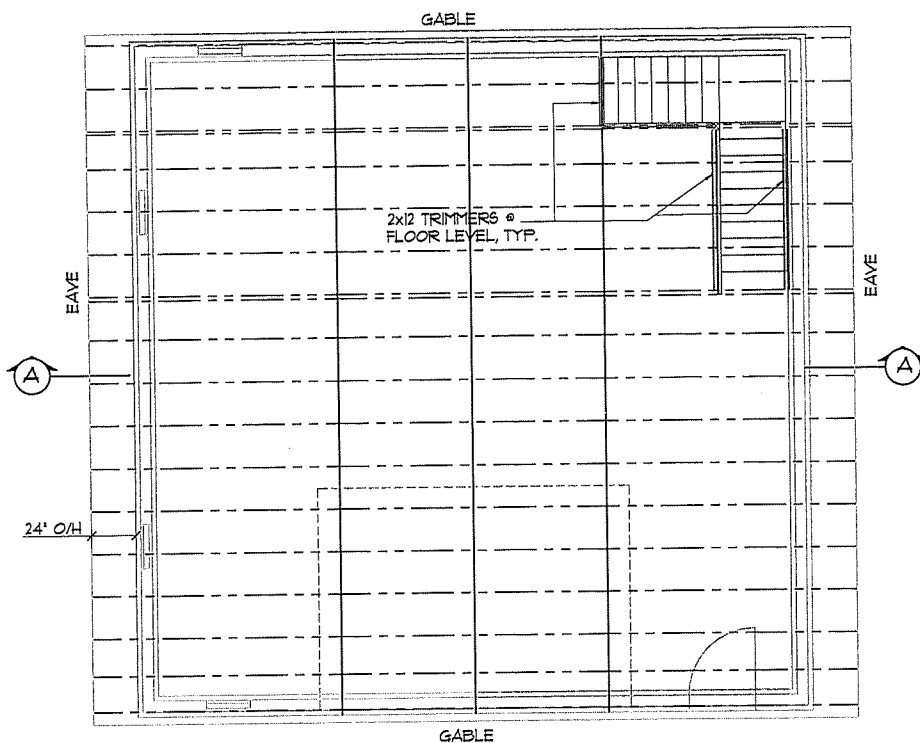
| DWG. No. | DESCRIPTION | DATE | ISSUED FOR BUILDING PERMIT APPLICATION | T.C. QBY |
|----------|-------------|------|----------------------------------------|----------------------|
| | REFERENCES | MK | DATE | REVISIONS AND ISSUES |



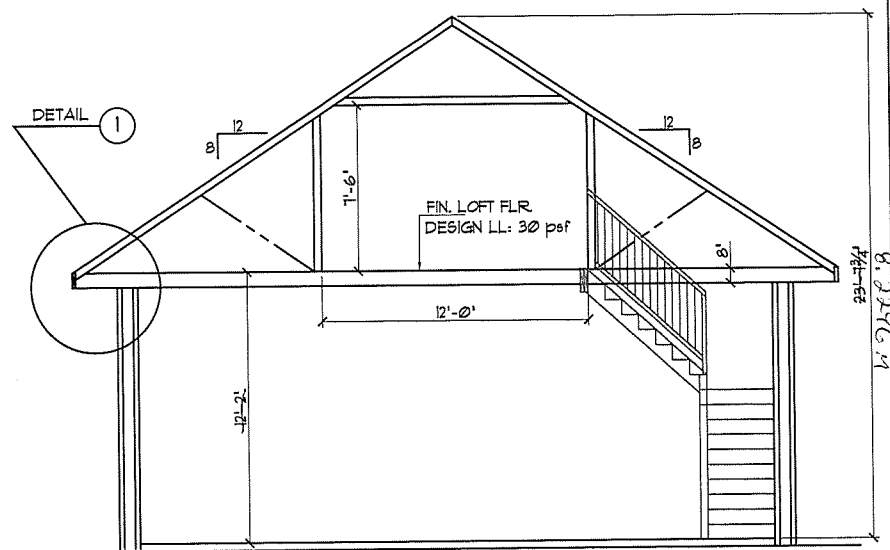
Granville B. Vickerman & Associates
Consulting Engineers - Project Managers

| | | | | |
|------------------------------|-------------------|-------|-----------------------|-----------|
| GARAGE FOR PIERRE PITRE | | | | |
| 712 PINECONE RD., SKEAD, ON. | | | | |
| ELEVATIONS | | | | |
| DRAWN BY T.E. | CHKD GBV | APP'D | DRAWING No. PP-103 | REV. 0 |
| DATE JUNE 6, 2021 | SCALE AS SHOWN | | | |

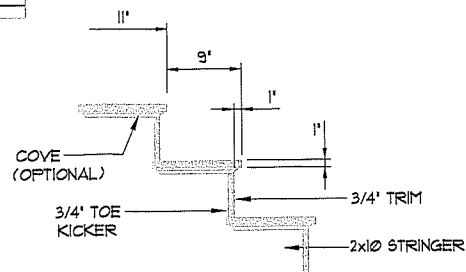
10/25/2004 sketch 3



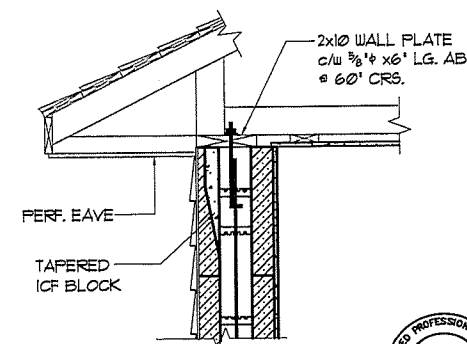
ROOF/FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"



A SECTION



TYPICAL TREAD DETAIL



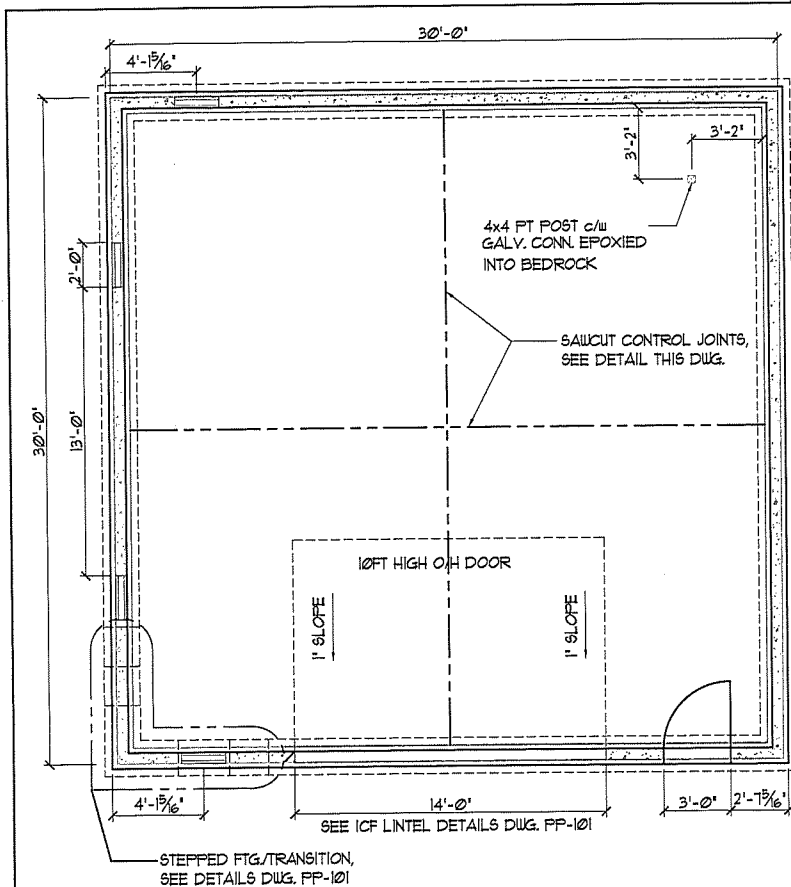
DETAIL 1



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-|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|

AP-10518002 sketch 4

10pc of 15M



FOUNDATION PLAN
SCALE: 3/16"=1'-0"

| | |
|---------------------------------|--|
| ICF WALL REINFORCEMENT | |
| VERTICAL REBARS: 10M @ 16" CRS. | |
| HORIZ REBARS: 10M @ 36" CRS. | |
| CONCRETE: 25 MPa | |

SPECIFICATIONS FOR CONCRETE

ALL CAST IN PLACE CONCRETE SHALL BE READY MIXED CONFORMING TO CSA STANDARD A 23.1 AND SHALL HAVE A MINIMUM STRENGTH OF 25MPa AT 28 DAYS c/w 5% (4-1%) AIR ENTRAINMENT.

ALL FALSEWORK, FORMWORK, SHORING AND BRACING SHALL COMPLY WITH C.S.A. STANDARDS.

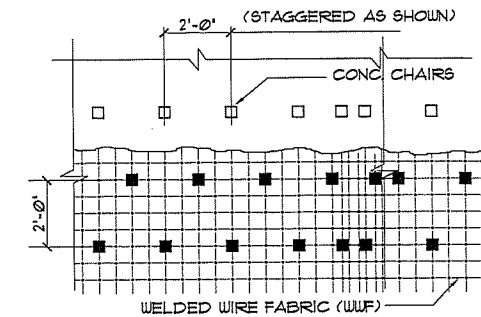
SPLICE FOR STEEL REINFORCING SHALL BE 2'-0" UNLESS NOTED OTHERWISE.

CONCRETE REINFORCING BARS SHALL BE STEEL BARS GRADE 400.
CONCRETE PROTECTIVE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

- 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND
- 1 1/2" FOR BARS MIS AND SMALLER IN FORMS AND EXPOSED TO EARTH OR WEATHER

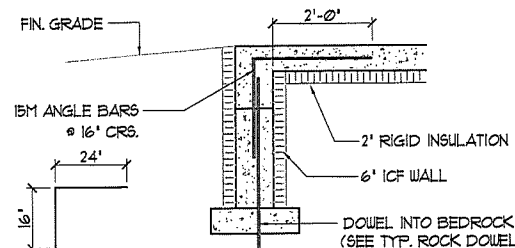
NONMETALLIC CONCRETE FLOOR HARDENER (DURAFAX 1) SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION FOR THE APPLICATION.

WELDED WIRE FABRIC SHALL CONFORM TO THE REQUIREMENTS OF CSA G30.5M
WELDED WIRE FABRIC SHALL BE LAPPED MIN. 6" AND SHALL BE PLACED 2" FROM TOP OF CONC. FLOOR SURFACE.

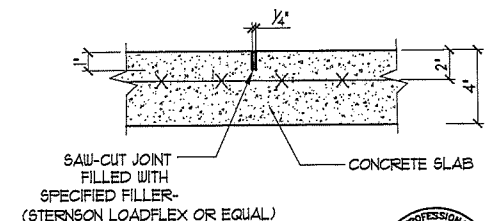


1. ARRANGEMENTS FOR WLF LIFTING (for chair placement) MUST BE COMPLETE PRIOR TO ANY CONC. PLACEMENT.
2. CONTRACTOR TO VERIFY GRADES TO ENSURE MIN. SLAB DEPTHS AS INDICATED ON PLANS.
3. DO NOT ALLOW ANY MECHANICAL EQUIPMENT OVER CHAIRS.
4. WELDED WIRE FABRIC TO BE 152x152 MU2.9xMU2.9 U.N.
5. SIMPLE MANUAL LIFTING OF WLF IS NOT ACCEPTABLE. CHAIRS MUST BE INSTALLED AS INDICATED DURING PLACEMENT.
6. LIFT WLF & INSTALL CHAIRS (for next adjacent placement) MAX. 4'-0" FROM PREVIOUSLY PLACED CONCRETE.

TYPICAL SLAB ON GRADE PLACEMENT
NTS



DOOR SILL DETAIL
SCALE: 3/4"=1'-0"



TYPICAL SAW-CUT JOINT DETAIL
NTS



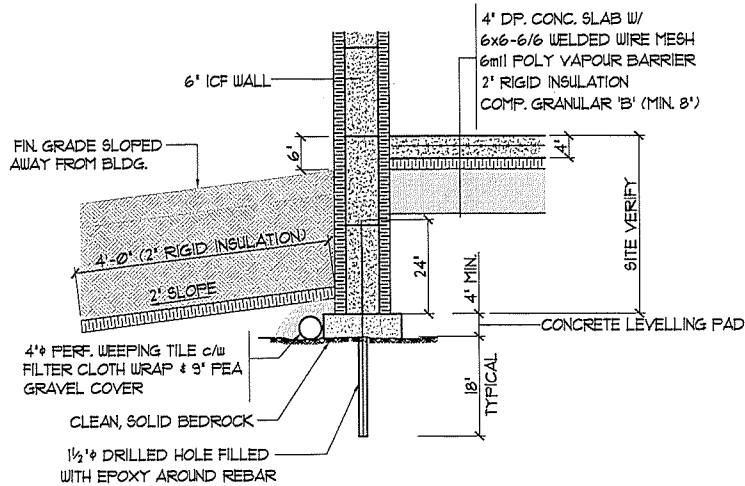
| | | | | |
|----------|-------------|------|----------------------------------------|----------------------|
| DWG. No. | DESCRIPTION | DATE | ISSUED FOR BUILDING PERMIT APPLICATION | T.E. GBV |
| | REFERENCES | MK | DATE | REVISIONS AND ISSUES |
| | | | | REV. APP. BY J.B.V. |



Granville B. Vickerman & Associates
Consulting Engineers - Project Managers

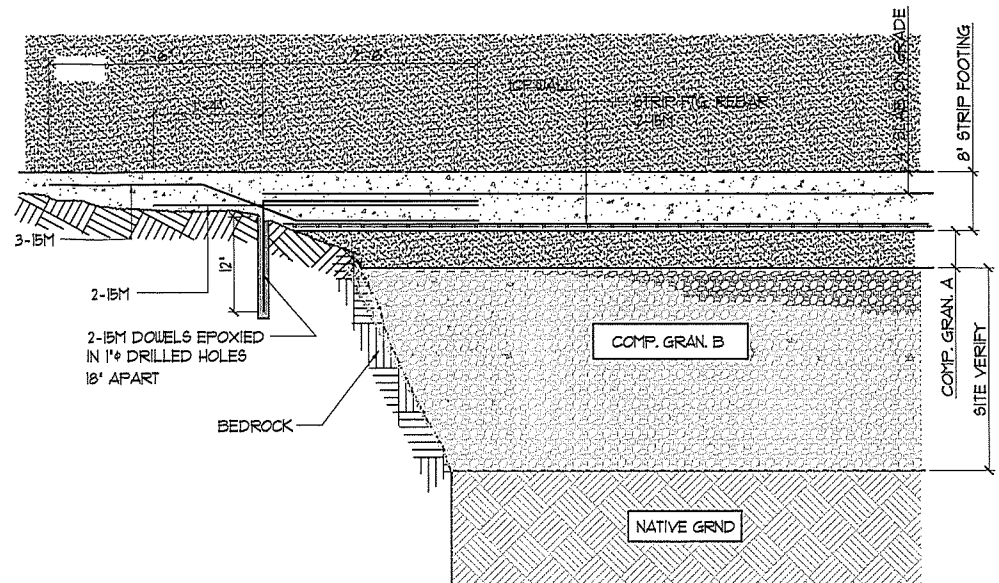
| | | | |
|--------------------------------------------------------------------------------------|----------------------|-------------------|-----------------------|
| GARAGE FOR PIERRE PITRE 712 PINECONE RD., SKEAD, ON. FOUNDATION PLAN & DETAILS | | | |
| DRAWN BY T.E. GBV | DATE JUNE 6, 2021 | SCALE AS SHOWN | DRAWING No. PP-100 |
| | | | REV. 0 |

10/25/2021 sketch 5



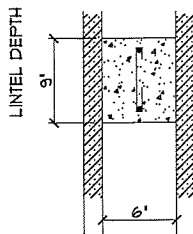
ROCK DOWEL DETAIL

SCALE: 3/4"=1'-0"



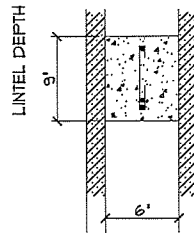
BEDROCK TO EARTH TRANSITION DETAIL

SCALE: 3/4"=1'-0"



CLEAR OPENING: UP TO 4'-6"

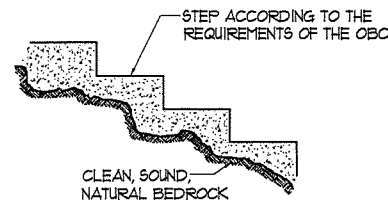
LINTEL REINFORCEMENT:
TOP: 1-15M
BTM: 1-15M
STIRRUPS: 10M @ 8' CRS.



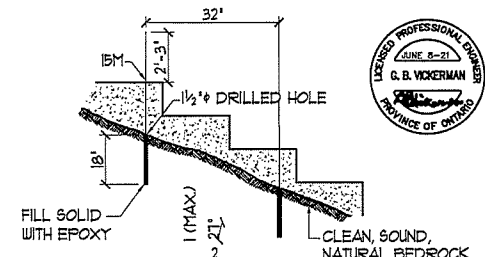
CLEAR OPENING: 14'-0"

LINTEL REINFORCEMENT:
TOP: 1-15M
BTM: 2-20M
STIRRUPS: 10M @ 8' CRS.

ICF LINTEL DETAILS



**STEPPED FOOTING ON ROUGH
ROCK SURFACE**
N.T.S.



**STEPPED FOOTING ON SMOOTH
ROCK SURFACE**
N.T.S.



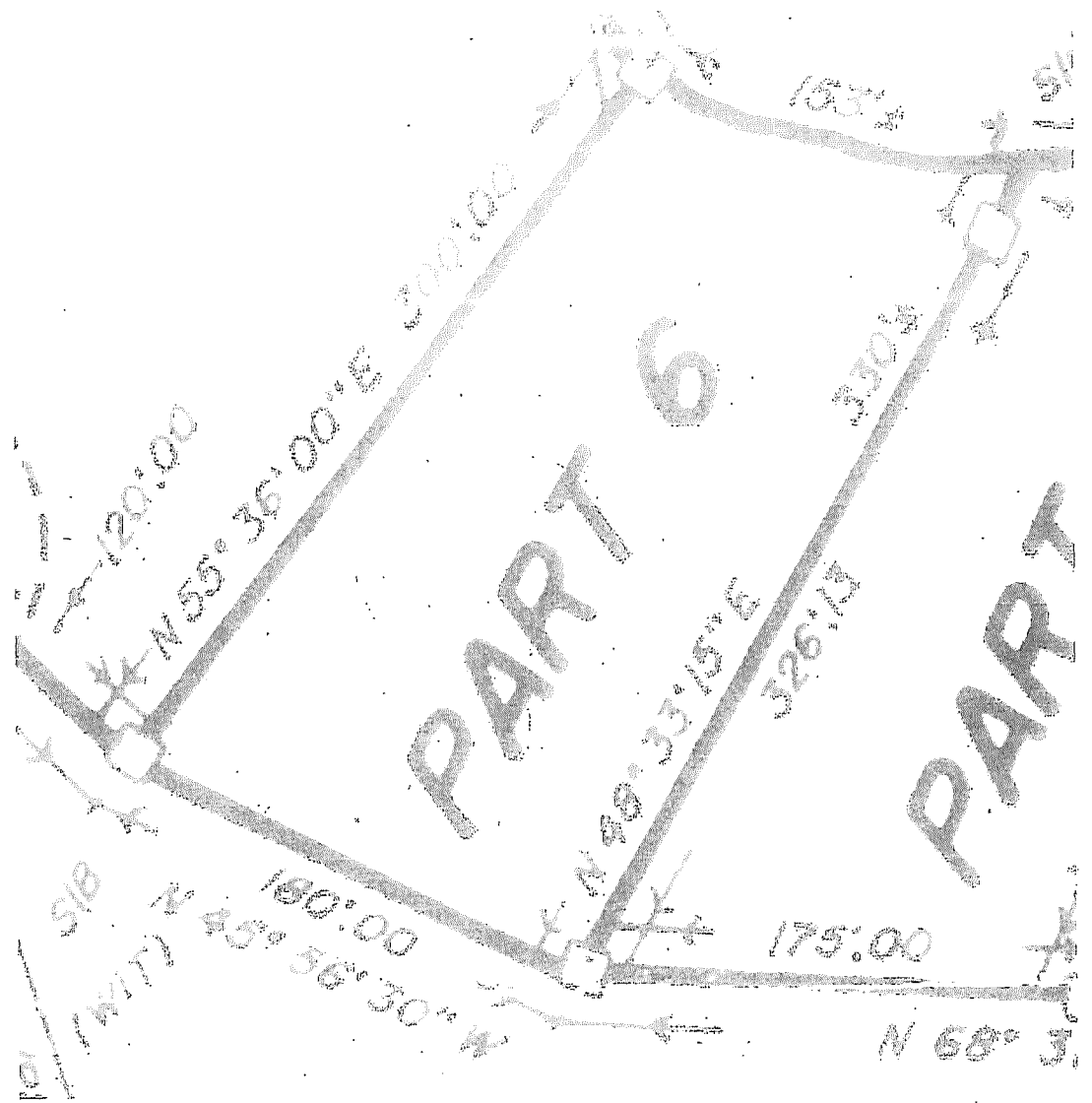
| | | | | | |
|------------|-------------|------|----------------------|----------------------------------------|----------|
| DWG. No. | DESCRIPTION | 0 | JUNE 5-21 | ISSUED FOR BUILDING PERMIT APPLICATION | T.E. GBV |
| REFERENCES | MK | DATE | REVISIONS AND ISSUES | REV. APP. BY | DATE |



| | |
|---------|--------------------------------------------------------------------------------|
| JOB NO. | Granville B. Vickerman & Associates Consulting Engineers - Project Managers |
|---------|--------------------------------------------------------------------------------|

| | | | |
|---------------------------------------------------------|-------------|-------------------|-----------------------|
| GARAGE FOR PIERRE PITRE 712 PINECONE RD., SKEAD, ON. | | | |
| SECTIONAL DETAILS | | | |
| DRAWN BY T.E. | CHKD GBV | APP'D AS SHOWN | DRAWING No. PP-101 |
| DATE JUNE 5, 2021 | SCALE | AS SHOWN | REV. 0 |

Hand-drawn sketch 6



P0105/2021
 sketch 7



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only
2021.01.01

A0126/300

S.P.P. AREA

YES ___ NO ☒

NDCA REG. AREA

YES ___ NO ☒

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Jennifer Jolly Email: [REDACTED]
Mailing Address: 625 DOLLAR AVE Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury ON Postal Code: P3A 4G7 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: MORRIS JOLLY Email: [REDACTED]
Mailing Address: 1225 DOLLAR AVE Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury ON Postal Code: P3A 4G7 Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Desjardins
Mailing Address: 2031 Long Lake Rd
City: Sudbury ON Postal Code: P3E 6J9

- 4) Current Official Plan designation: Living Area Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|-------------------------|--------------------|------------|------------|
| Lot Coverage | 103.83% SM | 114.38% SM | 10.54% SM |
| Accessory Building Size | (100%) | (11.03%) | |
| | | | |
| | | | |
| | | | |

b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: Detached Garage with living space & loft space

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The lot size due to severance has been reduced.

- 6) Legal Description (Include any abutting property registered under the same ownership).

PIN(s): 73565-1037 LT Township: Neelon Ward: 8
 Lot No.: _____ Concession No.: _____ Parcel(s): 1755
 Subdivision Plan No.: M-267 Lot: 9 Reference Plan No.: S3R-20973 Part(s): 1
 Municipal Address or Street(s): 1225 Atlantic Ave Suid VA P3A467

- 7) Date of acquisition of subject land.
- May 1, 2008

- 8) Dimensions of land affected.

Frontage 23.07 (m) Depth 43.98 (m) Area 1041.01 (m²) Width of Street 20.00 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|--------------------------------|---------------------------------|
| Ground Floor Area: | <u>97.05</u> (m ²) | <u>114.38</u> (m ²) |
| Gross Floor Area: | <u>97.05</u> (m ²) | <u>185.68</u> (m ²) |
| No. of storeys: | <u>1</u> | <u>1</u> |
| Width: | <u>10.12</u> (m) | <u>8.53</u> (m) |
| Length: | <u>9.59</u> (m) | <u>13.41</u> (m) |
| Height: | <u>5.0</u> (m) | <u>5.0</u> (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|------------------|------------------|
| Front: | <u>7.77</u> (m) | <u>12.58</u> (m) |
| Rear: | <u>26.52</u> (m) | <u>17.86</u> (m) |
| Side: | <u>2.51</u> (m) | <u>22.45</u> (m) |
| Side: | <u>21.16</u> (m) | <u>1.22</u> (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1952

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 69 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Residential

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

ResidentialApr 26/2008

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Jennifer Jolly (please print all names), the registered owner(s) of the property described as 125 Dufferin Ave Sudbury ON
P3A 4G7
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Nobles Jolly (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22 day of September, 20 21

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Jennifer Jolly

*I have authority to bind the Corporation

AOB/2021

I/We, Jennifer Jolly (please print all names),

Sudbury ON P3A 4G7

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22 day of September, 20 21

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Jennifer Jolly
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

| | | | |
|----------------------------------------|-----------------------------------------------------------------------------------|--------------------------------|-----------------------|
| Date of Receipt: Sept. 22/01 | | Hearing Date: October 14, 2001 | Received By: N. Lewis |
| Zoning Designation: R-5 | Resubmission: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| Previous File Number(s): B0069/2017 | | | |
| Previous Hearing Date: October 2, 2017 | | | |
| Notes: | | | |

A012612021



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Received
SEP 22 2021

| | |
|-----------------------------------------|----------------------------------------|
| Office Use Only 2021.01.01 | |
| A012712021 | |
| S.P.P. AREA | |
| YES | NO <input checked="" type="checkbox"/> |
| NDCA REG. AREA | |
| YES <input checked="" type="checkbox"/> | NO |

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) \$1270.00
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal Information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Shaun & Mazie McGlade Email: [REDACTED]
Mailing Address: 2855 valleyview road Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Val Caron Postal Code: p3n1r2 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: [REDACTED] Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: [REDACTED]
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Rathburn township Current Zoning By-law designation: seasonal SLS(8)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|-----------------|--------------------|----------|------------|
| building height | 5.0m | 6.4m | 1.4m |
| | | | |
| | | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Building garage (accessory structure) @ camp located 1931 bushy bay road, with additional attic storage area - height of proposed garage exceeds bylaw height by 1.4 m.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Wanted roof pitch to match camp roof slope and would like to have additional storage above garage with attic access roof trusses

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): JD47 TA45 TWP#17310 Township: Rathburn Ward: 7
 Lot No.: 22 Concession No.: Parcel(s): 53M1229-22
 Subdivision Plan No.: 53M1229 Lot: 22 Reference Plan No.: Part(s):
 Municipal Address or Street(s): 1931 Bushey Bay Boad

- 7) Date of acquisition of subject land. 2000

- 8) Dimensions of land affected.

Frontage 44 (m) Depth 100 (m) Area 4400 (m²) Width of Street 6 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|----------------------|----------------------|
| Ground Floor Area: | 69 (m ²) | 52 (m ²) |
| Gross Floor Area: | 69 (m ²) | 52 (m ²) |
| No. of storeys: | one | one |
| Width: | 7.3 (m) | 6.7 (m) |
| Length: | 9.7 (m) | 7.9 (m) |
| Height: | 4.8 (m) | 6.4 (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|----------|----------|
| Front: | 18 (m) | 45 (m) |
| Rear: | 79 (m) | 45 (m) |
| Side: | 10 (m) | 9 (m) |
| Side: | 14 (m) | 26 (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☒
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

2001

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): camp - seasonal

Length of time: 21 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or,

- 15) What is the number of dwelling units on the property? one

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: camps / cottages

A012712021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Shaun McGlade & Mazie McGlade (please print all names), the registered owner(s) of the property described as 1931 Bushey Bay Road
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;


Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Shaun McGlade (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

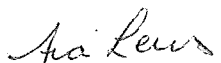
Dated this 22nd day of September, 2021


(witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Mazie McGlade

*I have authority to bind the Corporation


(witness)


SHAUN MCGLADE

AP027/2021

I/We, Shaun McGlade & Mazie McGlade

____ (please print all names),

the registered owner(s) or authorized agent of the property described as **1931 Bushey Bay Road**

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22nd day of September, 2021

Joe Lewis
Commissioner of Oaths

**Nia Sian Lewis,
a Commissioner, etc.,
Province of Ontario,
for the City of Greater Sudbury.
Expires May 20, 2023.**

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Mazie
*I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Sept. 20, 2021 Hearing Date: October 14, 2021 Received By: N. Lewis

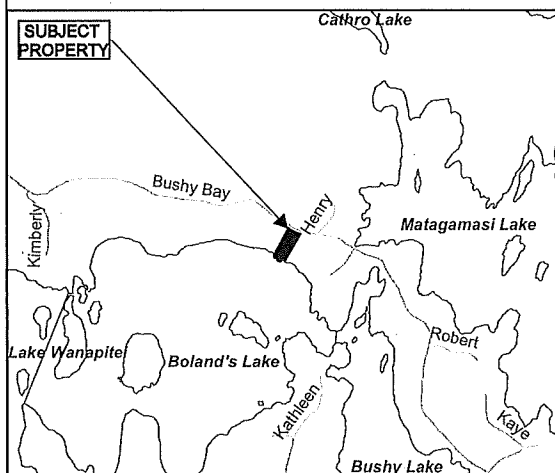
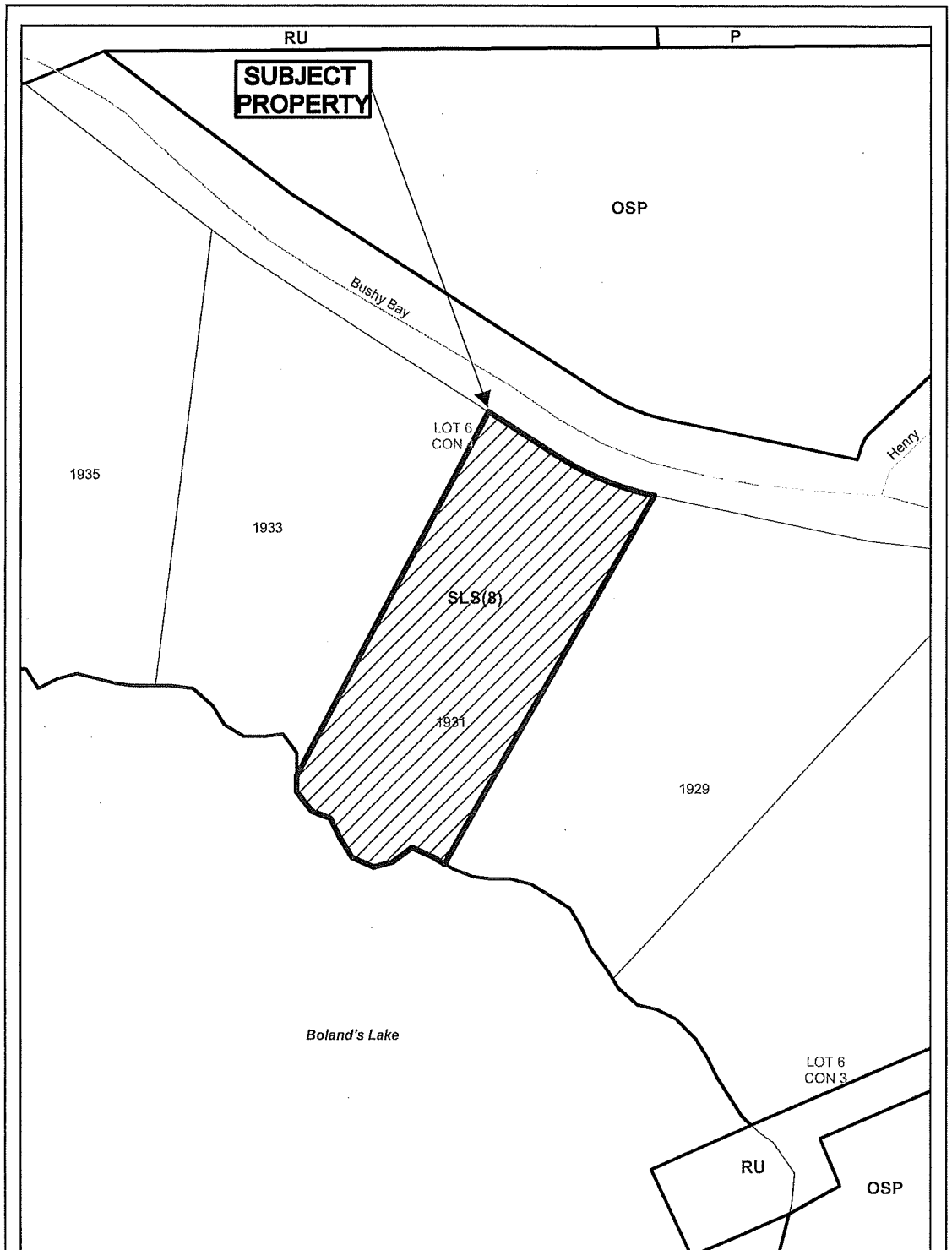
Zoning Designation: SCS(8) Resubmission: ☐ Yes ☒ No

Previous File Number(s): n/a

Previous Hearing Date: n/a

Notes:

7/12/2021



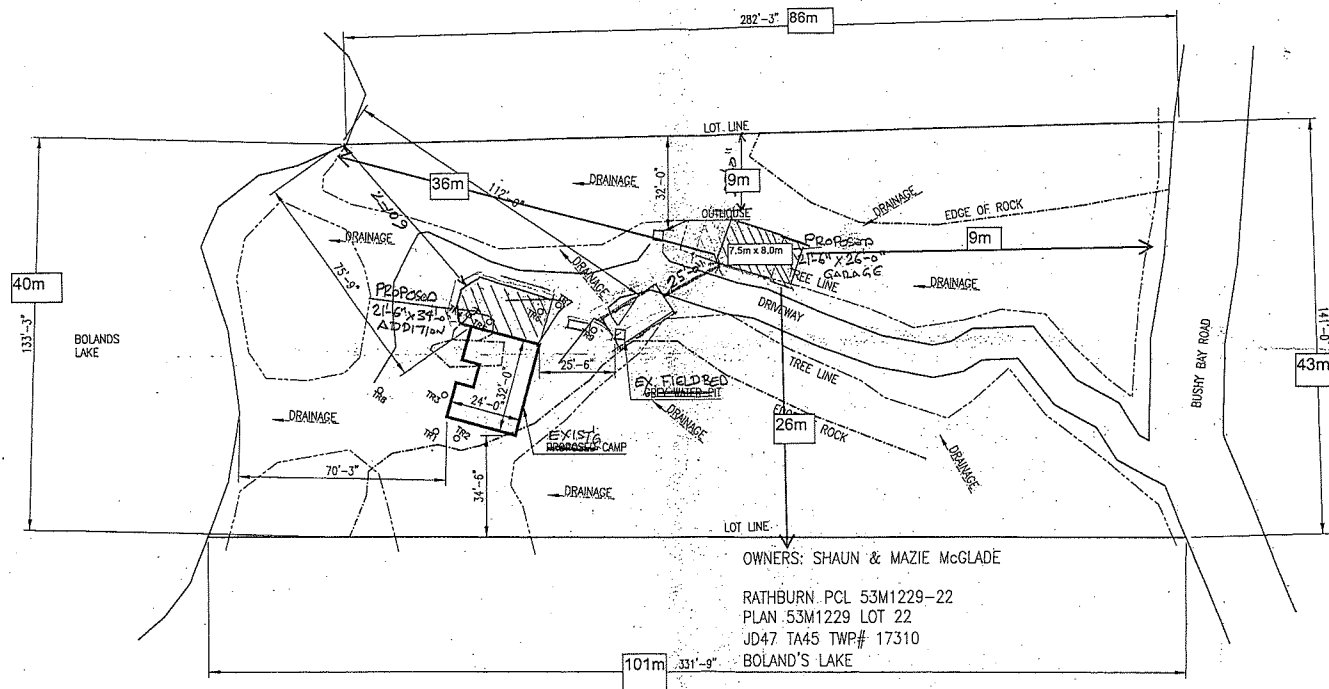
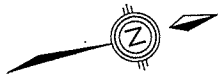
Application for Minor Variance or Permission



Subject Property being PIN 73519-0088,
Parcel 53M1229-22 SEC SES SRO,
Lot 22, Plan 53M-1229,
Township of Rathburn,
1931 Bushy Bay Road, Wahnapiatae
City of Greater Sudbury

Sketch 1, NTS
NDCA

A127/2021
Date: 2021 09 24

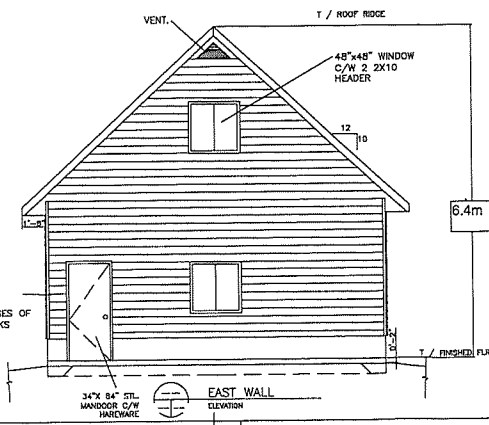
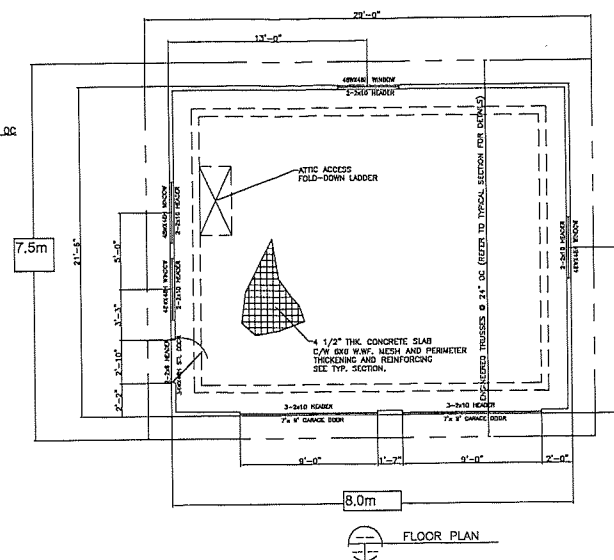


OWNERS: SHAUN & MAZIE McGLADE
 RATHBURN PCL 53M1229-22
 PLAN 53M1229 LOT 22
 JD47 TA45 TWP# 17310
 BOLAND'S LAKE

RECEIVED
 SEP-13-2001
 BUILDING SERVICES
 ISSUED
 SEP-13-2001

| | | | | | | | | | | | | | | | | | | | |
|-------------------------|--|--|--|--|--|--|--|--|--|-----------------------------------------------------------------------------------------------------|--|--|--|--|--|--|--|--|--|
| FILE NO. CAMP PLOT PLAN | | | | | | | | | | THE McGLADE CAMP 1931 BUSHY BAY ROAD RATHBURN TOWNSHIP - CITY OF GREATER SUDBURY PLOT PLAN | | | | | | | | | |
| DATE: 11-20-01 | | | | | | | | | | DRAWN: S.M.C. | | | | | | | | | |
| CHECKED: S.M.C. | | | | | | | | | | DATE: 09/12/2001 | | | | | | | | | |
| APPROVED: S.M.C. | | | | | | | | | | CLIENT'S FILE NO. 2003-0007 S5 | | | | | | | | | |
| ISSUED FOR REVIEW | | | | | | | | | | REV. NO. A | | | | | | | | | |

AC 27/2001 sketch 2



- GENERAL NOTES:
1. ALL LUMBER TO BE NO.2 SPRUCE OR BETTER.
 2. MINIMUM BEARING OF ALL JOISTS TO BE MIN.
1 1/2" MINIMUM BEARING OF ALL BEAMS AND MORE
THAN 2 PLY TO BE 3 1/2".
 3. ALL CONCRETE FOR FLOOR SLAB TO BE 32 Mpa AND
SHALL HAVE AN ENTRAPMENT OF 5% TO 8%.
 4. MOISTURE BARRIER IS REQUIRED BETWEEN ALL LUMBER
WHICH IS IN DIRECT CONTACT OR WITH-IN 6" OF CONCRETE
WHICH IS IN DIRECT CONTACT WITH THE GROUND.

CLIENT & PROJECT NAME
MCGLADE'S GARAGE #1

DRAWING DESCRIPTION
DETACHED GARAGE #1
1931 BUSHEY BAY ROAD
PLAN, ELEVATIONS & DETAILS

| | | |
|---------------------------|------------------------|-------------------|
| DESIGNED BY: S.MCGLADE | DRAWN BY: S.MCGLADE | CHECKED BY: |
| APPROVED BY: | | |
| SCALE: 1/4" = 1'-0" | | DATE: 21-09-17 |
| DRAWING NO. S1 | | REV. 0 |

| HARDWARE | | REVISIONS/ISSUE | | DATE | BY |
|--------------------|---------------------------|-----------------|-------------------------|----------|----|
| S1 | 1931 BUSHEY BAY PLOT PLAN | 0 | ISSUED FOR CONSTRUCTION | 21-08-17 | SM |
| NO. | DESCRIPTION | NO. | DESCRIPTION | DATE | BY |
| REFERENCE DRAWINGS | | | | | |



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) ~~\$1270.00~~
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Richard Villeneuve, Jody Villeneuve Email: [REDACTED]
Mailing Address: 3080 Louis St Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Val Caron, ON Postal Code: P3N 1C5 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Richard Villeneuve Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Val Caron On Postal Code: P3N 1C5 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: RU Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|------------------|--------------------|----------|------------|
| Heigh max. 6.5 m | 4.2.4 (b) | 8.774 | 2.274 |
| | | | |
| | | | |
| | | | |
| | | | |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: [REDACTED] (m)

- c) Description of Proposal:

accessory structure has a maximum hight of 6.5 meters the structure needs to be built above the flood elevatio (on stilts) this method of support satisfies the NDCA versus typical backfill
Natural elevation to remain [REDACTED]

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The raised support structure (stilts) cause the building to conflict with the max 6.5 meter height restriction. the structure must be built above the flood elevation

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73500-0413LT, 73500-0596 Township: Blezard Ward:
 Lot No.: 10 Concession No.: 5 Parcel(s):
 Subdivision Plan No.: Lot: 10 Reference Plan No.: 53R21402 Part(s): 1 & 2
 Municipal Address or Street(s): 8 Martin Road, Val Caron

- 7) Date of acquisition of subject land. August 2018

- 8) Dimensions of land affected.

Frontage 56.1 (m) Depth 132.8 (m) Area 6758 (m²) Width of Street 9.0 (m)

- 9) Particulars of all buildings:

| | Existing | Proposed |
|--------------------|-------------------|-------------------|
| Ground Floor Area: | (m ²) | (m ²) |
| Gross Floor Area: | (m ²) | (m ²) |
| No. of storeys: | | |
| Width: | (m) | (m) |
| Length: | (m) | (m) |
| Height: | (m) | (m) |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

| | Existing | Proposed |
|--------|----------|----------|
| Front: | (m) | (m) |
| Rear: | (m) | (m) |
| Side: | (m) | (m) |
| Side: | (m) | (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Permit application B21-1522

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant

Length of time: Forever

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, SFD, SU with deattached garage

- 15) What is the number of dwelling units on the property? Proposed 3

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☐ No

If "yes", how many? N/A

- 17) Existing uses of abutting properties: 30 Hectar Farm/ North, Whitson River & SFD / South, Km's of vacant land /East and West

A0128/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Richard Villeneuve, Jody Villeneuve (please print all names), the registered owner(s) of the property described as Lot 10 Martin Rd Blezard

in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

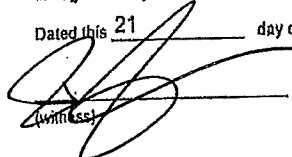
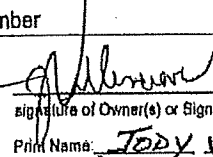
Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Richard Villeneuve (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions; and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of September, 20 21

 (Witness)
 signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: JODY VILLENEUVE

I have authority to bind the Corporation

 (Witness)

 RICHARD VILLENEUVE

AP/28/2021


I/We, Richard Villeneuve (please print all names),
the registered owner(s) or authorized agent of the property described as Lot 10 Martin Rd Blezard

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22nd day of September, 20 21

Asa Lewis
Commissioner of Oaths

**Nia Sian Lewis,
a Commissioner, etc.,
Province of Ontario,
for the City of Greater Sudbury.
Expires May 20, 2023.**


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

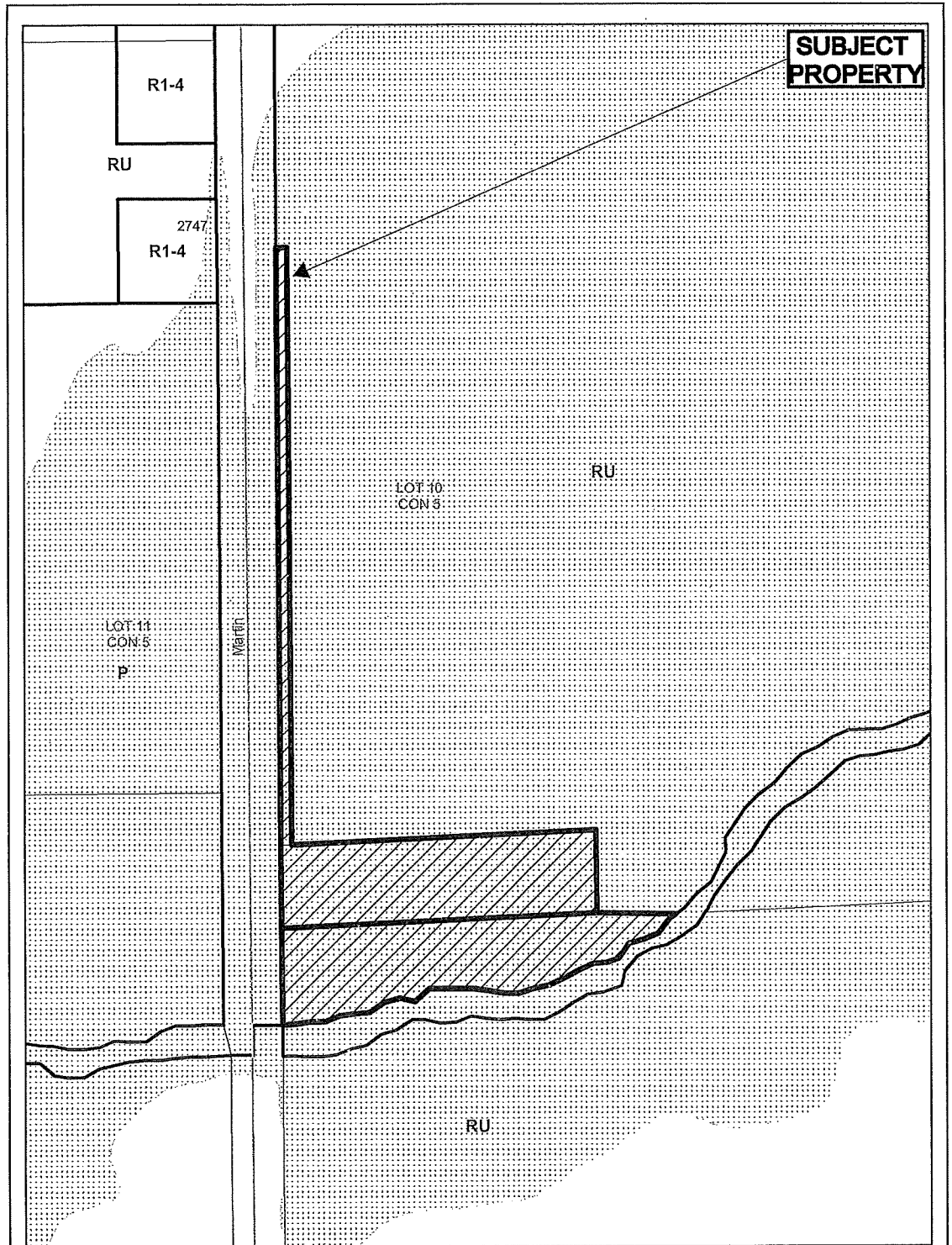
Print Name: Richard Withnolds
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

[illegible]

Apr 28/2021



**SUBJECT
PROPERTY**

R1-4

RU

2747

R1-4

LOT 10
CON 5

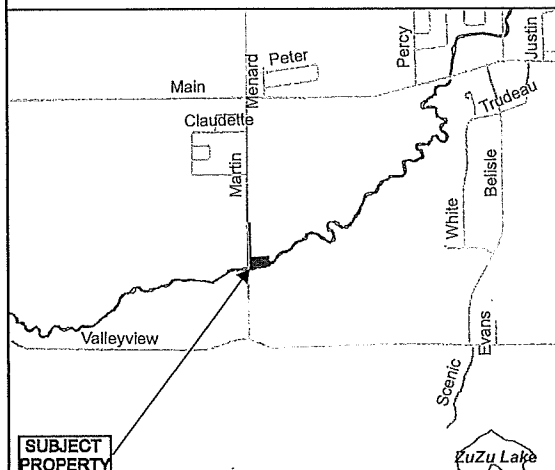
RU

LOT 11
CON 5

P

Martin

RU



**SUBJECT
PROPERTY**

Application for Minor Variance or Permission



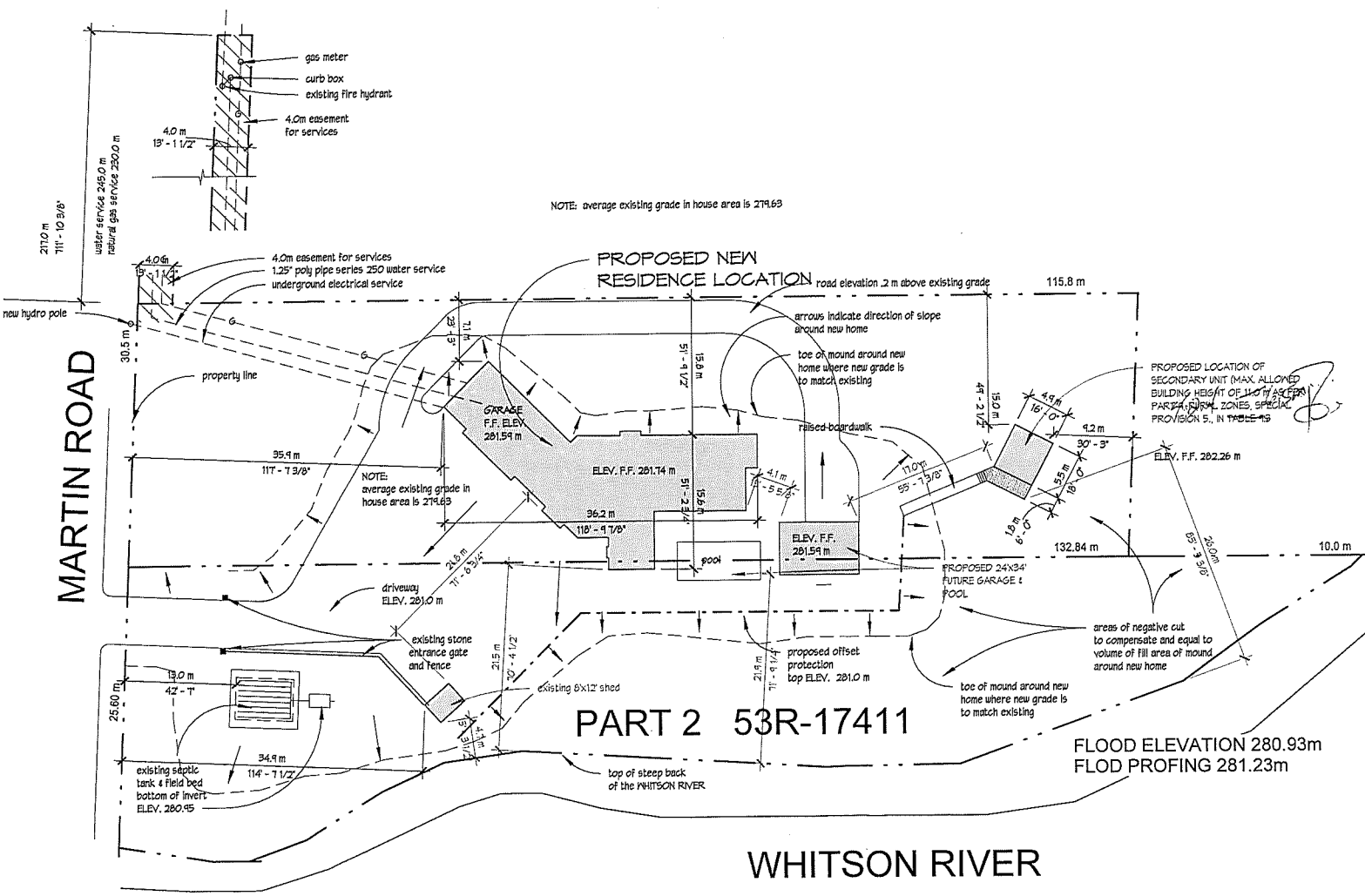
Subject Property being
PINs 73500-0596 and 73500-0413,
Part Lot 10, Concession 5, Part 1,
Plan 53R-21402, Part 2, Plan 53R-17411,
Township of Blezard,
0 Martin Road, Val Caron
City of Greater Sudbury

Sketch 1, NTS

A128/2021

NDCA

Date: 2021 09 24



p o c h b e l o i p
architect • architecte

10 Greenway Drive, Garson ON,
P3L0A6

MARTIN ROAD

PROJECT:
VILLENEUVE PROPERTY

ISSUED FOR - REVISION:

| RE | DATE | DESCRIPTION |
|----|------|-------------|
| | | |
| | | |
| | | |
| | | |

| PROJECT | DATE |
|------------|-----------|
| Project No | June 2021 |

| ORIGINAL | DESIGNED | DESIGNER | DRAWN BY: | AUTHOR | CHECKED BY: | CHECKER |
|-------------|----------|----------|-----------|--------|-------------|---------|
| 1" = 40'-0" | | | | | | |

ARCHITECTURAL

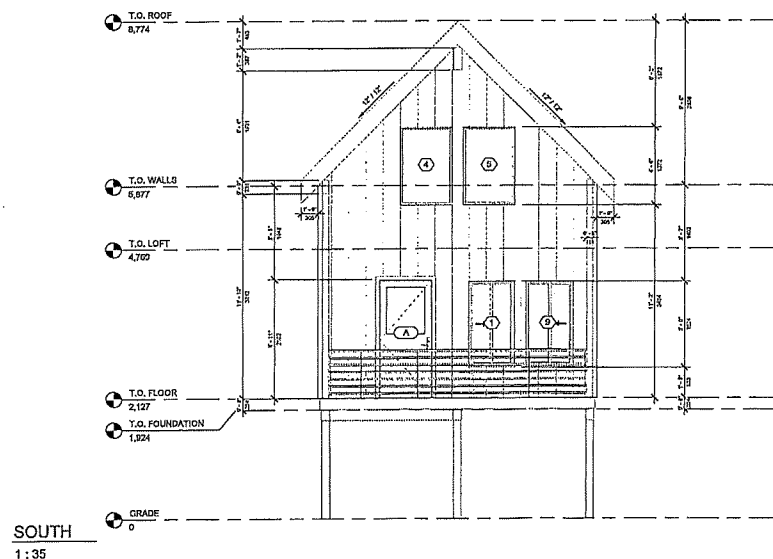
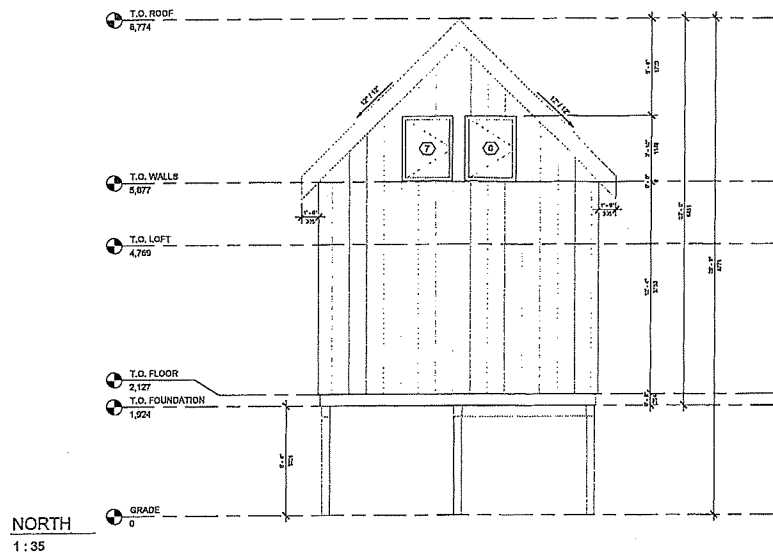
TITLE:
Site Plan

SHEET NUMBER:
T.H.-0

① Copy of Site Plan
1" = 40'-0"

AC128/2021
Sketch 2

A0128/2001
Sketch3



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OWNER:

| REV | DESCRIPTION | BY | APP | DATE |
|-----|-------------|----|-----|------|
| | | | | |

HARMONIC
ADVANCED BUILDING ENVELOPE TECHNOLOGY

FERIS BUILD TECH
785 Sir John A Macdonald Blvd, Unit 6A
Kingston, ON K7L 1Y1
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0005
PROJECT ADDRESS: Lot 10 Martin Rd, Blexard OH
TOLERANCES: MACHINED FINISH: 63
XXX = .015
XXXX = .005 REMOVE ALL BURS AND
XXXXX = .0005 SHARP EDGES, DO NOT SCALE
ANGLES = 1/2" DRAWING.

MATERIAL: SEE NOTES
FINISH: SEE NOTES

| RELEASED: | NAME | DATE |
|-----------|----------|------|
| DRAWING: | JCL | |
| APPROVED: | Approver | |
| CHECKED: | Checker | |

SCALE: 1:35

TITLE
ELEVATIONS - NS

SHEET NO.

A201

REV.

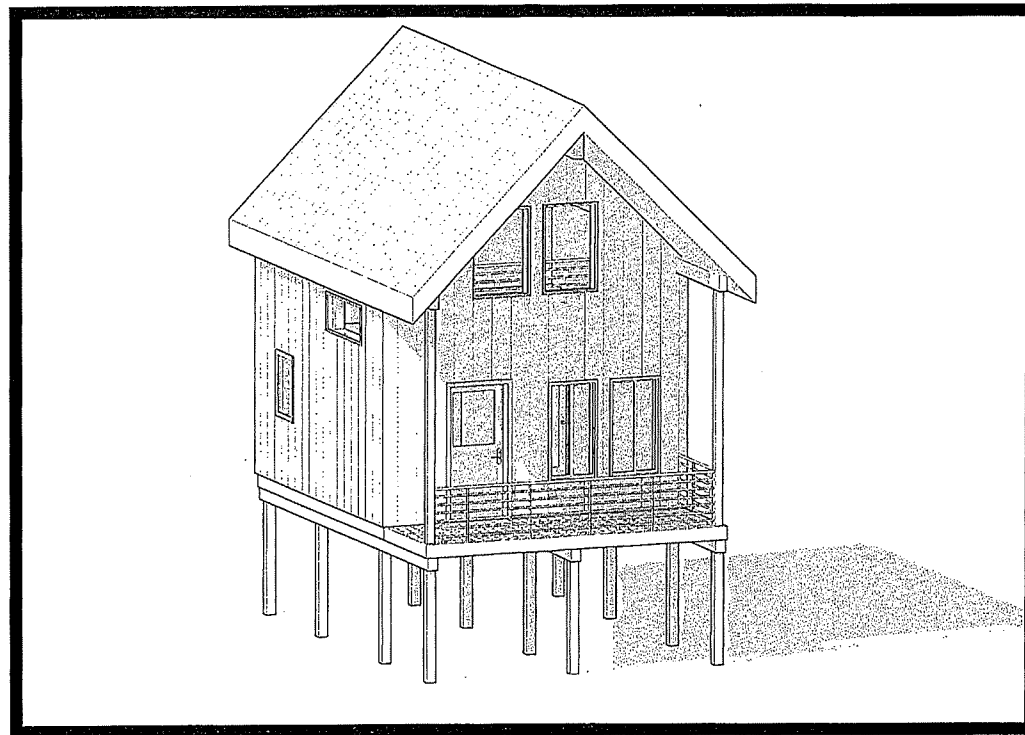
July 12/21

A0128002
Sketch 4

HARMONIC

ADVANCED BUILDING ENVELOPE TECHNOLOGY

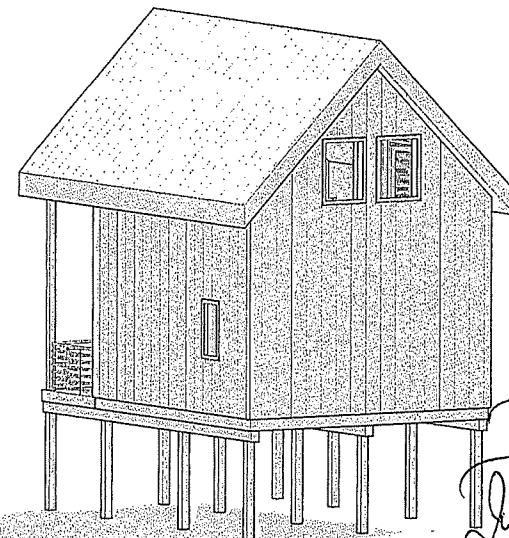
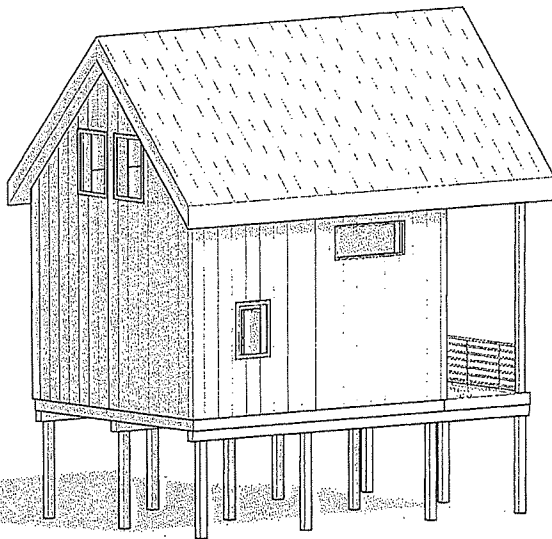
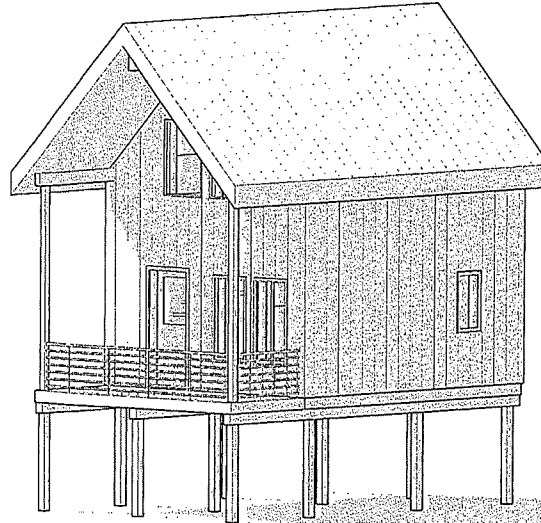
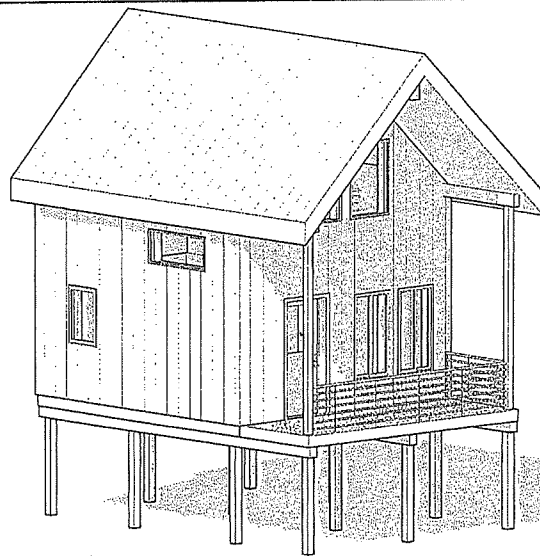
FERIS BUILD TECH
785 St. John A MacDonald Blvd, Unit 6A
Kingston, ON (K7L 1H3)
www.ferisbuildtech.com



Seasonal Treehouse
0085
Lot 10 Martin Rd, Blezard ON

Please
move
forward
HARRIS
J. Harris
July 12/21

A0028/2021
Sketch 5



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OWNER:

| REV | DESCRIPTION | BY | CHKD | DATE |
|-----|-------------|----|------|------|
|-----|-------------|----|------|------|

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FERIS BUILD TECH
785 Sir John A Macdonald Blvd, Unit 6A
Kingston, ON K7L 1H3
www.ferbuilttech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0005
PROJECT ADDRESS: Lot 10 Martin Rd, Blexard ON
TOLERANCES:
XXX - .015
XXXX - .005
XXXXX - .0005
ANGLES - 1/2"
FINISHED FINISH: G3
REMARK: ALL DIMS AND SHARP EDGES. DO NOT SCALE DRAWING.

MATERIAL: SEE NOTES
FINISH: SEE NOTES

| NAME | DATE |
|--------------------|------|
| RELEASED: | |
| DRAWN: JCL | |
| APPROVED: Approver | |
| CHECKED: Checker | |

SCALE:
TITLE

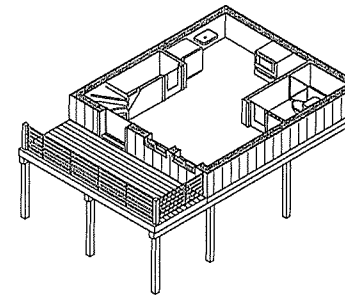
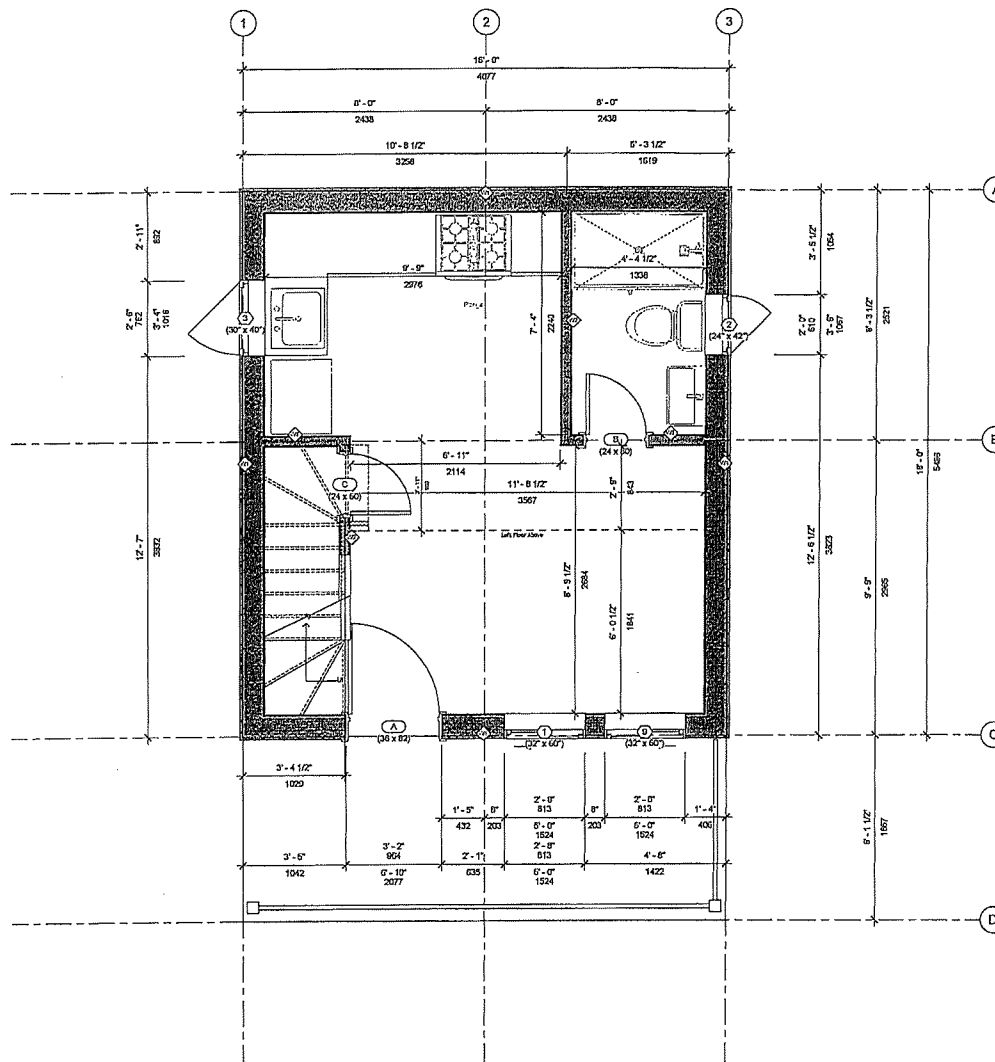
3D VIEWS

SHEET NO.
A002

REV.

July 12/21

Rev 12/2021
Sketch 6



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| REV | DESCRIPTION | BY | CHKD | DATE |
|-----|-------------|----|------|------|
| | | | | |

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FERRIS BUILD TECH
785 Str John A Macdonald Blvd, Unit 6A
Kingston, ON K7L 1H3
www.ferrisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0005
PROJECT ADDRESS: Lot 10 Martin Rd, Bazaar OH
TOLERANCES: .XX = .015
.XXX = .005
.XXXX = .0005
ANGLES = 1/2"
MATERIALS: SEE NOTES
FINISH: SEE NOTES

| NAME | DATE |
|-----------|----------|
| RELEASED: | |
| DRAWN: | JCL |
| APPROVED: | Approver |
| CHECKED: | Checker |

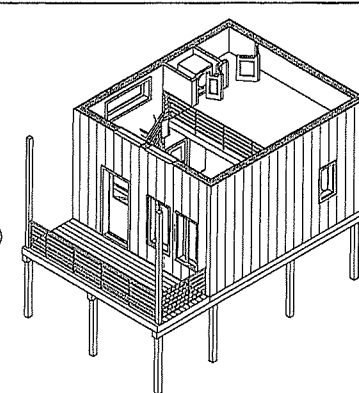
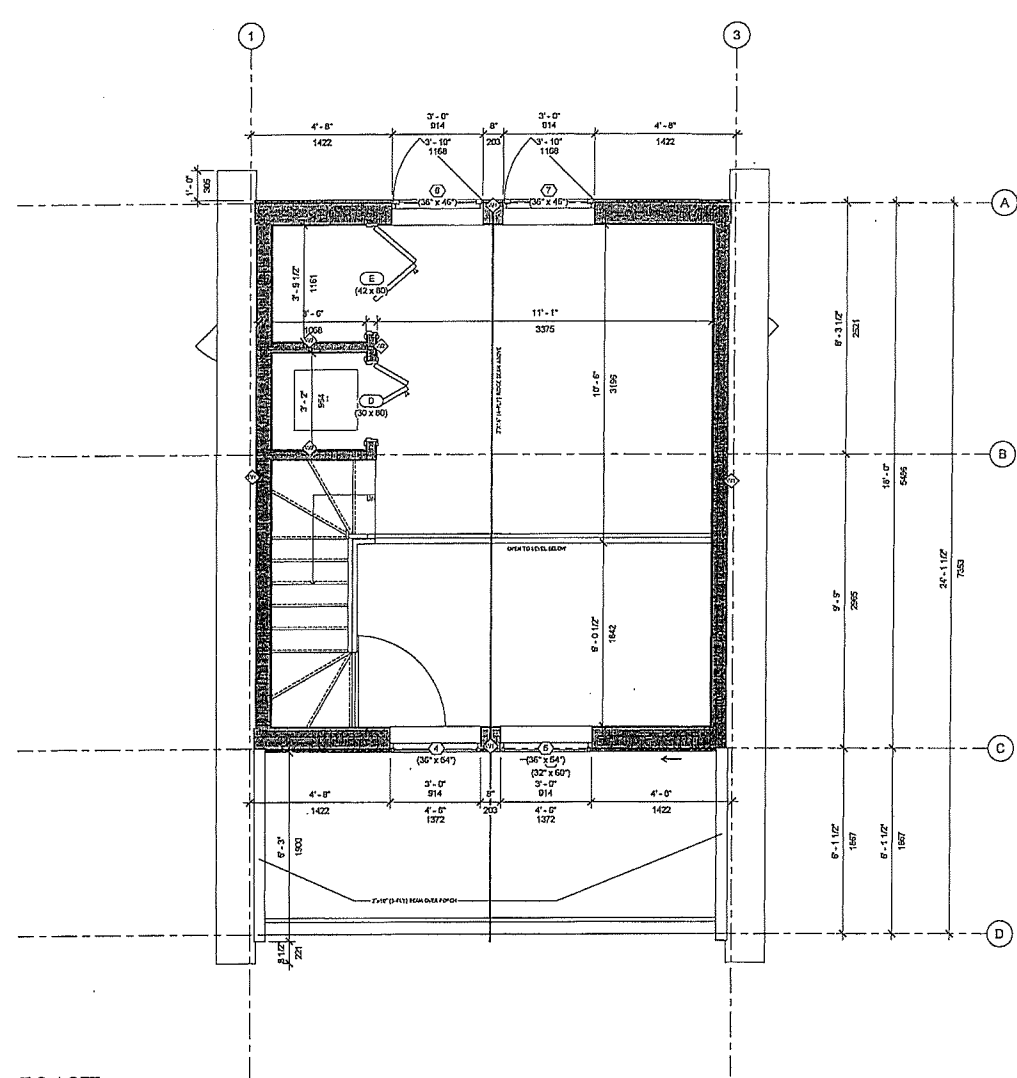
SCALE: 1 : 20
TITLE: PLANS - GROUND FLOOR

| SHEET NO. | REV. |
|-----------|------|
| A101 | |

T.O. FLOOR
1 : 20

July 12/21

A102/2021
Sketch 7



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|-----|-------------|----|------|
| | | | |

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785 Str John A Macdonald Blvd, Unit 6A
Kington, ON (K7L 1H3)
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treenhouse
PROJECT NUMBER: 0005
PROJECT ADDRESS: Lot 10 Martin Rd, Bileand ON

TOLERANCES: AMCHINED FIRST: 62
 .XX - .015
 .XXX - .005
 .XXXX - .0005
 SHARP EDGES, DO NOT SCALE
 DRAWING.
 ANGLES = 1/2"

MATERIAL: SEE NOTES
FINISH: SEE NOTES

| NAME | DATE |
|-----------|----------|
| RELEASED: | |
| DRAWN: | JCL |
| APPROVED: | Approver |
| CHECKED: | Checker |
| SCALE: | 1 : 20 |

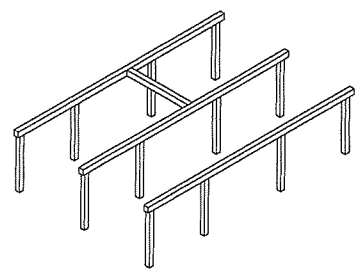
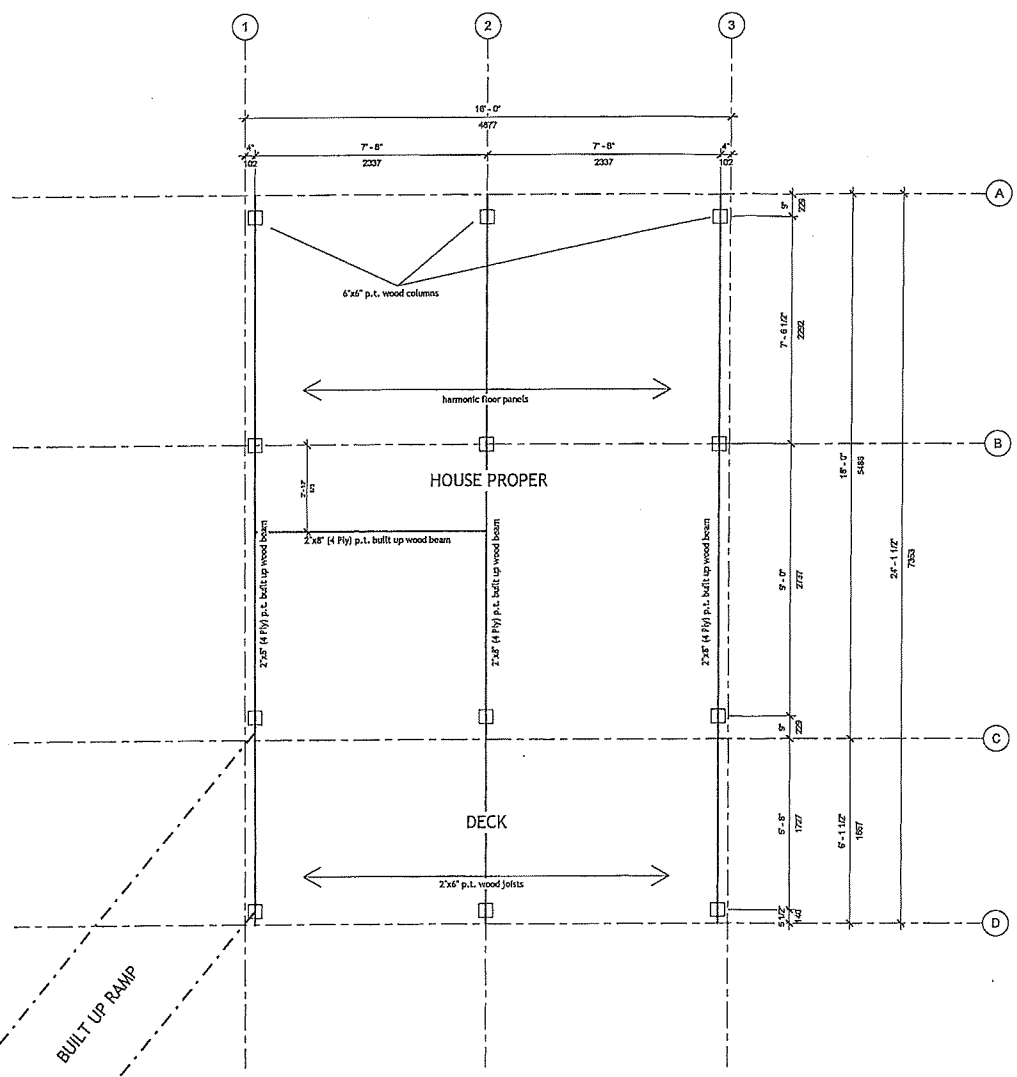
TITLE
PLANS - LOFT FLOOR

| SHEET NO. | REV. |
|-----------|------|
| A102 | |

T.O. LOFT
1:20

Jul 12/21

A0108/2021
Sketch 8



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OWNER:

| REV | DESCRIPTION | BY | CHKD | DATE |
|-----|-------------|----|------|------|
| | | | | |

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FERTIS BUILD TECH
785 Sir John A Macdonald Blvd, Unit 6A
Kingston, ON (K7L 1H3)
www.fertisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0005
PROJECT ADDRESS: Lot 10 Hartin Rd, Bilezard Oil
TOLERANCES: MACHINED FINISH: G3
XX - .015
XXX - .005
XXXX - .0005
ANGLES - 1/2"
MATERIAL: SEE NOTES
FINISH: SEE NOTES

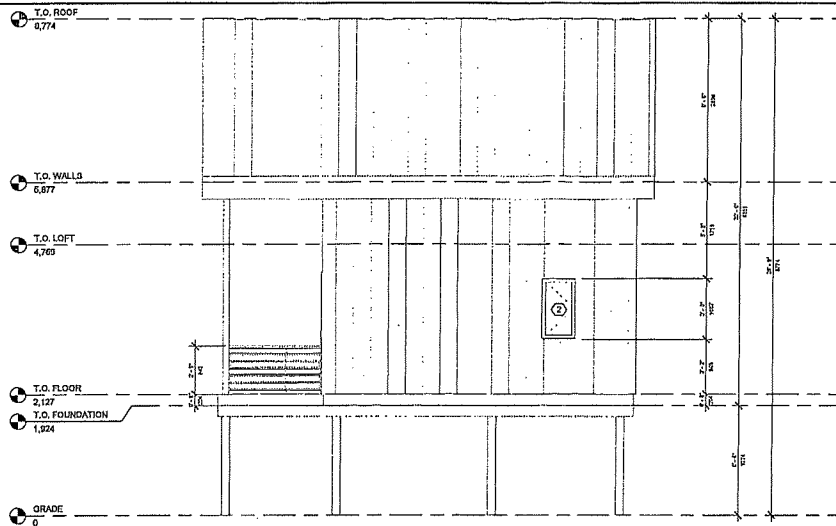
| NAME | DATE |
|-----------|----------|
| RELEASED: | |
| DRAWN: | JCL |
| APPROVED: | Approver |
| CHECKED: | Checker |
| SCALE: | 1 : 20 |

TITLE
PLANS - FOUNDATION

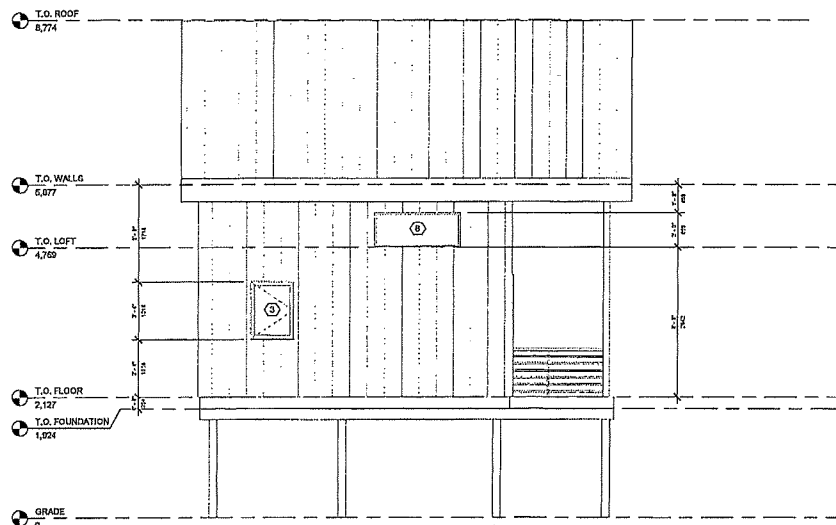
| SHEET NO. | REV. |
|-----------|------|
| A103 | |

July 12/21

A0128/2021
Sketch 9



EAST
1:35



WEST
1:35

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OWNER:

| REV | DESCRIPTION | BY | CHKD | DATE |
|-----|-------------|----|------|------|
| | | | | |

HARMONIC
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FERIS BUILD TECH
785 Sir John A Macdonald Blvd, Unit 6A
Kingston, ON (K7L 1H3)
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 0045
PROJECT ADDRESS: Lot 10 Martin Rd, Blizard ON
TOLERANCES: MACHINED FINISH: 63
XXX - .015
XXX - .005 REMOVE ALL BURRS AND
XXX - .005 SHARP EDGES. DO NOT SCALE
ANGLES - 1/2"

MATERIAL: SEE NOTES
FINISH: SEE NOTES

| NAME | DATE |
|-----------|----------|
| RELEASED: | |
| DRAWN: | JCL |
| APPROVED: | Approver |
| CHECKED: | Checker |

SCALE: 1:35
TITLE: ELEVATIONS - EW

SHEET NO.

A202

REV.

July 12/21

HARMONIC SMALL HOMES - TREEHOUSE

Guest House

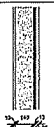
PROPOSED BUILDING INFO:

- Number of Storeys: 2
- Building Height: 8763mm / 28' 9"
- Building Footprint: 26.8 sqm / 288 sqft

TYPICAL OBC COMPLIANT WALL:

EXTERIOR 384 WOOD FRAMED WALL, R-24

- EXTERIOR FINISH (AS PER CLIENT)
- WEATHERPROOFING (TYVEK)
- 15MM PLYWOOD SHEATHING
- 150MM WOOD STUDS @ 16" O.C. W/ R-24 BATT INSULATION
- 6MM GYPSUM BOARD
- INTERIOR FINISH (AS PER CLIENT)



HARMONIC (ENERGY STAR) WALL:

HARMONIC EXTERIOR WALL (ENERGY STAR 13.4), 1-10K FAR
ACH50 (R-23, R-24)

- EXTERIOR FINISH (AS PER CLIENT)
- WEATHERPROOFING (TYVEK)
- 6MM GYPSUM BOARD
- 150MM WOOD STUDS @ 16" O.C. W/ 150MM WOOD STUDS @ 16" O.C.
- 6MM GYPSUM BOARD (OPTIONAL)
- INTERIOR FINISH (AS PER CLIENT)



HARMONIC (NET-ZERO-READY) WALL:

HARMONIC EXTERIOR WALL (NET-ZERO-READY), 1-10K FAR
ACH50 (R-23, R-24)

- EXTERIOR FINISH (AS PER CLIENT)
- WEATHERPROOFING (TYVEK)
- 6MM GYPSUM BOARD
- 150MM WOOD STUDS @ 16" O.C. W/ 150MM WOOD STUDS @ 16" O.C.
- 6MM GYPSUM BOARD (OPTIONAL)
- INTERIOR FINISH (AS PER CLIENT)



Wall Schedule

| Type Mark | Type | Location | Function | Area | Length | EPS TYPE | EPS Thickness | R-Value |
|-----------|-----------------------------------------|-------------|----------|--------|--------|-----------------|---------------|---------|
| W1 | W1 - HARMONIC EXTERIOR (NET ZERO READY) | North | Exterior | 242 R' | 4,687 | TYPE 1 - NEOPOR | 127mm | R-37 |
| W1 | W1 - HARMONIC EXTERIOR (NET ZERO READY) | East | Exterior | 221 R' | 5,290 | TYPE 1 - NEOPOR | 127mm | R-37 |
| W1 | W1 - HARMONIC EXTERIOR (NET ZERO READY) | South | Exterior | 178 R' | 4,687 | TYPE 1 - NEOPOR | 127mm | R-37 |
| W1 | W1 - HARMONIC EXTERIOR (NET ZERO READY) | West | Exterior | 180 R' | 5,290 | TYPE 1 - NEOPOR | 127mm | R-37 |
| W2 | W2 - HARMONIC INTERIOR 115MM WALL | Bath | Interior | 62 R' | 2,420 | TYPE 1 - NEOPOR | 115mm | |
| W2 | W2 - HARMONIC INTERIOR 115MM WALL | Bath | Interior | 21 R' | 1,624 | TYPE 1 - NEOPOR | 115mm | |
| W2 | W2 - HARMONIC INTERIOR 115MM WALL | Stair Clos. | Interior | 19 R' | 1,093 | TYPE 1 - NEOPOR | 115mm | |
| W2 | W2 - HARMONIC INTERIOR 115MM WALL | Stair Clos. | Interior | 21 R' | 1,125 | TYPE 1 - NEOPOR | 115mm | |
| W2 | W2 - HARMONIC INTERIOR 115MM WALL | Loft Clos. | Interior | 19 R' | 1,125 | TYPE 1 - NEOPOR | 115mm | |
| W2 | W2 - HARMONIC INTERIOR 115MM WALL | Loft Clos. | Interior | 17 R' | 2,420 | TYPE 1 - NEOPOR | 115mm | |

Floor Schedule

| Location | Type | Area | EPS TYPE | EPS Thickness | R-Value |
|------------|-------------------------------|-------|-----------------|---------------|---------|
| Loft | F1 - HARMONIC 178MM EPS FLOOR | 15 m² | Type 1 - Neopor | 178mm | R-26 |
| Main Floor | F1 - HARMONIC 178MM EPS FLOOR | 27 m² | Type 1 - Neopor | 178mm | R-26 |
| Deck | F1 - HARMONIC 178MM EPS FLOOR | 6 m² | Type 1 - Neopor | 178mm | R-26 |

Roof Schedule

| Mark | Type | Area | EPS TYPES | EPS Thickness | R-Value |
|------------------------------|------|-------|----------------|---------------|---------|
| R1 - HARMONIC 250MM EPS ROOF | | 83 m² | Type 2 - White | 250 | R-40 |

Door Schedule

| Mark | Family | Type | Location | Function | Width | Height | RD Width | RD Height |
|------|-------------------------------------|-----------|-------------|----------|-------|--------|----------|-----------|
| A | SINGLE EXT. ENTRY DOOR (HALF GLASS) | 36" x 80" | South | Exterior | 914 | 2,077 | 938 | 2,102 |
| B | SINGLE INT. DOOR (FULL WOOD) | 24" x 80" | Bath | Interior | 610 | 2,032 | 634 | 2,045 |
| C | SINGLE INT. DOOR (FULL WOOD) | 24" x 80" | Stair Clos. | Interior | 610 | 1,624 | 634 | 2,045 |
| D | 2_Panel_Bifold_Door_18618 | 39" x 80" | Loft Clos. | Interior | 762 | 2,032 | 780 | 2,045 |
| E | 2_Panel_Bifold_Door_18618 | 42" x 80" | Loft Clos. | Interior | 1,067 | 2,032 | 1,091 | 2,045 |

Window Schedule

| Mark | Family | Location | Function | Full Height | Width | Height | RD Width | RD Height |
|------|------------------------------|----------|----------|-------------|-------|--------|----------|-----------|
| 1 | Window-Sliding-Double | South | Operable | 533 | 813 | 1,524 | 837 | 1,548 |
| 2 | M_Window-Casement-Single_Let | East | Operable | 965 | 910 | 1,067 | 834 | 1,091 |
| 3 | M_Window-Casement-Single_Let | West | Operable | 1,018 | 762 | 1,018 | 786 | 1,040 |
| 4 | M_Window-Fixed | South | Fixed | 762 | 914 | 1,372 | 938 | 1,390 |
| 5 | M_Window-Fixed | South | Fixed | 762 | 914 | 1,372 | 938 | 1,390 |
| 6 | M_Window-Casement-Single_Let | North | Operable | 1,108 | 914 | 1,168 | 938 | 1,192 |
| 7 | M_Window-Casement-Single_Let | North | Operable | 1,108 | 914 | 1,168 | 938 | 1,192 |
| 8 | M_Window-Fixed | West | Fixed | 2,042 | 1,524 | 2,042 | 1,548 | 2,070 |
| 9 | Window-Sliding-Double | South | Operable | 533 | 813 | 1,524 | 837 | 1,548 |

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OWNER:

| REV | DESCRIPTION | BY | CHKD | DATE |
|-----|-------------|----|------|------|
|-----|-------------|----|------|------|

HARMONIC

ADVANCED BUILDING ENVELOPE TECHNOLOGY

FERIS BUILD TECH
785 Str John A MacDonald Blvd, Unit 6A
Kingston, ON (K7L 1H3)
www.ferisbuildtech.com

PROJECT NAME: Seasonal Treehouse
PROJECT NUMBER: 5085
PROJECT ADDRESS: Lot 10 Martin Rd, Blizard ON

TOLERANCES:
XX - .015
XXX - .005
XXXX - .0005
ANGLES - 1/2"

MACHINED FINISH: G3
REMOVE ALL BURRS AND SHARP EDGES. DO NOT SCALE DRAWING.

MATERIAL: SEE NOTES

FINISH: SEE NOTES

| NAME | DATE |
|-----------|----------|
| RELEASED: | |
| DRAWN: | JCL |
| APPROVED: | Approver |
| CHECKED: | Checker |
| SCALE: | 1:15 |

TITLE
SCHEDULES

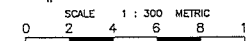
SHEET NO.

A401

REV.

SCALE 1 : 300 METRIC

0 2 4 6 8 1



A BORTOLUSSI, OLS

LEGEND

EXISTING ELEVATION

BORTOLUSS
SURVEYING LTD.

11/02/2021
Sketch 11