

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

November 26, 2025

PUBLIC HEARINGS

PL-MV-2025-00127

LIAM DEACON

Ward: 2

PIN(s) 733770233, Parcel 22662 SEC SWS SRO, Lot 261, Plan M-923, Part Lot 7, Concession 5, Township of Waters, 240 Ninth Avenue, Lively, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsections 4.2.3 and 4.2.4, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage and a 1.8m high fence providing, firstly, accessory lot coverage of 14%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%, secondly, for the detached garage to be a maximum height of 5.18m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, thirdly, for the detached garage to be setback 2.0m from the corner side lot line with eaves encroaching an additional 0.3m into the proposed 2.0m corner side yard, where 4.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and fourthly, for the 1.8m high fence to provide no setback from the corner side lot line, where no encroachment is permitted and where a 4.5m setback from the corner side lot line is required.

PL-MV-2025-00147

**PAT HEAPHY
STACEY HEAPHY**

Ward: 11

PIN(s) 735810034, Parcel 50476 SEC SES, Part Lot 2, Concession 3, Parts 4, 8, 9, 12, 13, 22, 23, 24, 25, 26 & 39, Plan 53R-13778, Township of McKim, 1257 North Shore Drive, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.41.2 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing single detached dwelling and to permit an existing pergola providing, firstly, a high water mark setback of 25.9m for the addition, where a residential building or other accessory building or structure shall be no closer than 30.0m to the high water mark, and secondly, a high water mark setback of 5.8m for the existing pergola, where a residential building or other accessory building or structure shall be no closer than 30.0m to the high water mark and where the only permitted structures within 20.0m of the high water mark are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0284/1989 (AUG 26/91) AND CONSENT APPLICATIONS B0529/1989 (AUG 26/91), B0011/1992 (APR 8/92) AND B0031/2000 (MAY 29/00).

PL-MV-2025-00152**SONYA ARCAND**

Ward: 7

PIN(s) 735090332, Part Lot 7, Concession 2, being Part 2, Plan 53R-19256, Township of Capreol, 4015 Dupuis Drive, Hanmer, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.10.3, d) and e) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building containing an additional dwelling unit, firstly, providing a 51.82m setback from the main building, where an additional dwelling unit located in a building accessory to a main building in an "RU", Rural zone shall be located no more than 30.0m from the main building, and secondly, to permit it to be in the front yard, where an accessory building containing an additional dwelling unit is only permitted in the rear and/or interior side yards.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0047/2005 (JUL 8/05), B0025/2010 AND B0026/2010 (APR 01/10)

PL-MV-2025-00153**KYLE ARZENI
MELISSA ARZENI**

Ward: 11

PIN(s) 735730079, Parcel 16387 SEC SES, Part Lot 5, Plan M-279, Part 2, Plan SR-328, Part Lot 12, Concession 4, Township of Neelon, 117 First Avenue, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate a 71.35 sq. m addition on the existing detached garage providing a height of 6.2m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m

PL-MV-2025-00155**AMBERWOOD REAL ESTATE INC.**

Ward: 1

PIN(s) 735960935, Part of Lot 7, Concession 1, as in LT63621, LT63721, LT68251 & LT68789, except LT69355, LT95108 & LT99279; Township of McKim, 1385 Regent Street, Sudbury, [By-law 2010-100Z, C2(63)]

For relief from Part 4, Section 4.15, subsection 4.15.5 of By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the existing planting strip adjacent to the rear lot on the western side abutting the R3-1 zone to provide no screening device, where required planting strips shall contain one or more screening devices in the form of a continuous row of trees, a continuous hedgerow of evergreens, bushes or shrubs, or berm, a wall, or a fence.

PREVIOUSLY THE SUBJECT OF MINOR VARIANCE APPLICATIONS A0111/2013 (SEP 11/13), A0062/1989 (MAR13/89), AND SIGN VARIANCE APPLICATIONS A0100/1972 (AUG 28/72) & A0165/1971 (NOV 22/21)

PL-MV-2025-00157

**ROGER DOUCET
EVA MARIE DOUCET**

Ward: 12

PIN(s) 021330050, Lot 39, Plan 18-SB, Part Lot 5, Concession 4, Township of McKim, 216 Nolin Street, Sudbury, [By-law 2010-100Z, R2-3]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a deck, stairs and landing on the eastern side of the existing dwelling providing, firstly, an interior side yard setback of 0.8m for the deck, where uncovered decks greater than 1.2m in height may encroach 1.2m into the interior side yard but no closer than 1.2m to the interior side lot line, and secondly, an interior side yard setback of 0.8m for the stairs and landing, where 1.8m is required.

**A reminder... the next scheduled meeting is
Wednesday, December 10, 2025 at the Lionel E. Lalonde Centre.**



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00127

APPLICATION SUMMARY

File Date: 08/28/2025

Application Type: Minor Variance

Address(es): 240 Ninth Avenue, Lively P3Y 1M6

Applicant(s): LIAM DEACON

Owner(s): LIAM DEACON

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

August 22, 2025

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Construct detached garage

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Existing shed, which is attached to neighbours shed on property with an existing retaining wall that cannot be removed. Proposed detached garage cannot be placed anywhere else on the property.

Is there an eave encroachment?

Yes

Size of eaves

0.3

Lot Frontage of the property

28.26

Lot Depth of the property

31

Lot Area of the property

745.2

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Single Family Dwelling - 1951

Existing Shed - 1951

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential - 1951

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

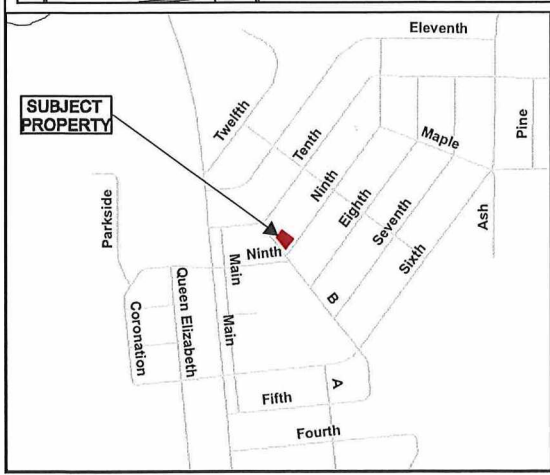
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage	No	80.269	80.269	1	7.315	10.972	5.18	22.83	1.2	7.1	2

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Family Dwelling	No	85.099	85.099	1	10.362	7.925	7	5.4	16.5	3.35	13.288
Shed	No	22.48	22.48	1	3.35	6.7	3.65	18.8	5.3	16.26	0

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height	5	5.18	0.18
Corner Yard Set Back	4.5	2	2.5
Eave Encroachment into Corner Sideyard	3.3	1.7	1.6
Accessory Lot Coverage	10%	13.8%	3.8%
Height of Fence in corner side yard	1 m	1.8 m	0.8 m



Application for Minor Variance or Permission

N

Subject Property being PIN 73377-0233,
 Parcel 22662 SEC SWS SRO,
 Lot 261, Plan M-923,
 Part Lot 7, Concession 5,
 Township of Waters,
 240 Ninth Avenue, Lively,
 City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00127
 NDCA Date: 2025 10 08

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Permit

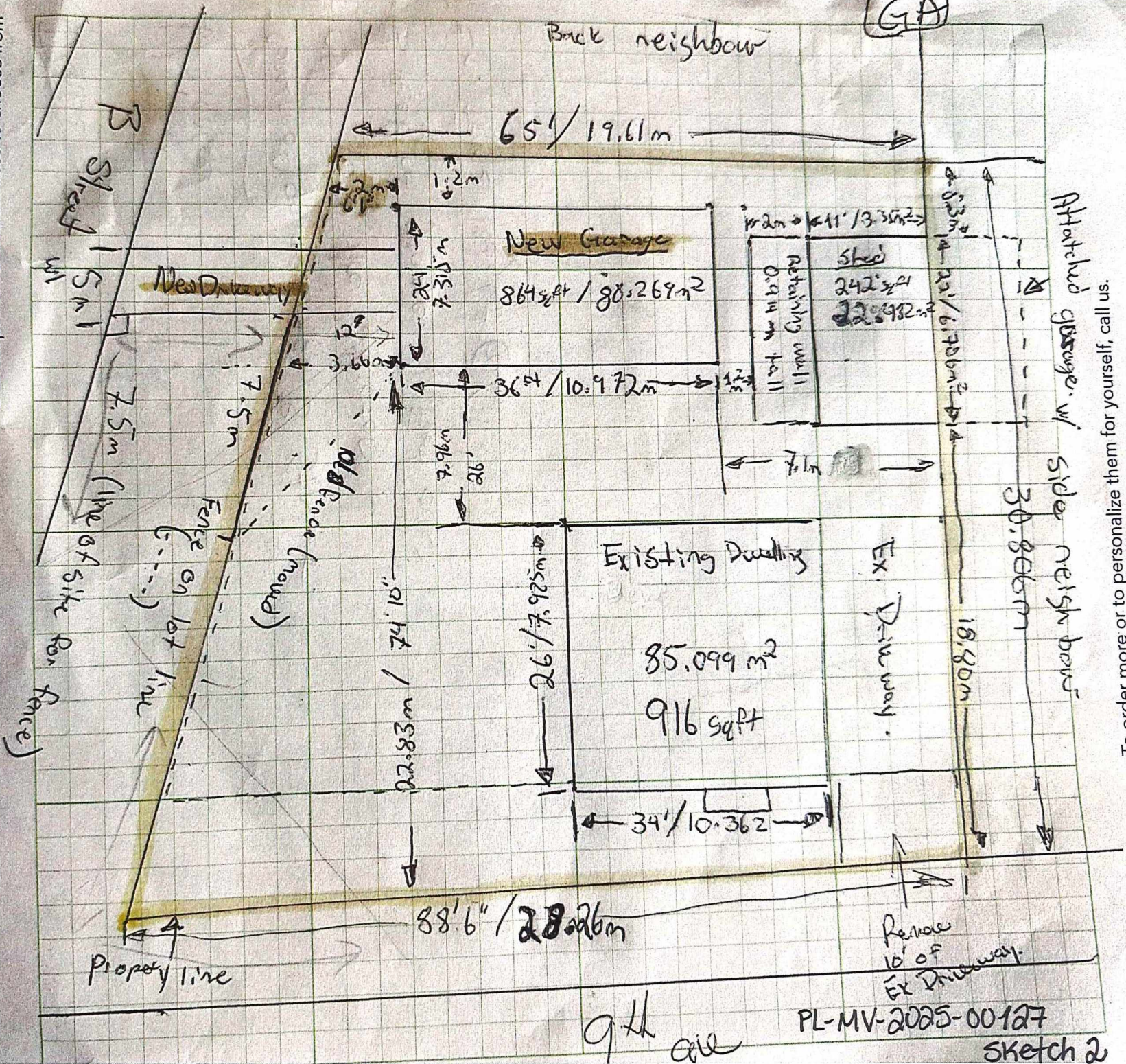
New Driveway & Garage

Variance

Corner of garage to B St.
- Height of garage over 10'6"
Fence



PHOTOGRAPHY • MULTIMEDIA



To order more or to personalize them for yourself, call us.

9th ave PL-MV-2025-00127
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00147

APPLICATION SUMMARY

File Date: 10/08/2025

Application Type: Minor Variance

Address(es): 1257 North Shore Drive, Sudbury P3B 1E7

Applicant(s): KOMRI ENGINEERING

Owner(s): PAT HEAPHY AND STACEY HEAPHY

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

October 1st, 2025

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan

Intake Protection Zone - Ramsey

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

The proposal involves interior and exterior modifications to improve the overall functionality, efficiency, and livability of the existing dwelling. Inside, the bedroom and kitchen areas will be relocated to create a more practical and cohesive layout that better supports the daily needs of the occupants. These changes are intended to enhance comfort, accessibility, and circulation throughout the home while improving the overall use of available space.

In addition to the interior reconfiguration, the owners are proposing to construct a new second-storey addition at the front of the dwelling, positioned above the existing garage. This addition will provide additional living space and improved accommodation for the growing needs of the household, while maintaining the existing building footprint. The design has been developed to complement the existing architectural style and remain consistent with the character of the surrounding neighbourhood.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The proposal cannot fully comply with the requirements of Section 4.41 of the City's Zoning By-law, which restricts development within the 30.0 m and 20.0 m high water mark (HWM) setback areas. The proposed addition extends into these regulated areas and therefore requires relief from both setback provisions. The intent of the addition is to improve the functionality and livability of the dwelling without expanding the overall footprint toward the water beyond existing development patterns.

Due to the lot's limited depth and the position of the existing dwelling relative to the high-water mark, it is not possible to construct the proposed addition outside the 30.0 m and 20.0 m setback areas while maintaining a cohesive and practical interior layout. The relief sought will allow for modest improvements to the home while respecting the intent of the Zoning By-law to minimize environmental and visual impacts along the shoreline.

Regarding the existing pergola, it is recognized that pergolas are not permitted within the HWM setbacks. The owners are prepared to seek a variance to permit it within both the 30.0 m and 20.0 m setback areas.

Is there an eave encroachment?

Yes

Size of eaves

0.3

Lot Frontage of the property

3.7

Lot Depth of the property

135

Lot Area of the property

1114.3

Total width of the public road giving access to the property

10.0

List all buildings and structures on the property and their respective date of construction

(99-1514)Single Family Dwelling Demolition - 2000-03-07

(02-1376)Single Family Dwelling w/ basement, attached garage and deck - 2003-08-12

(05-0618)Deck + Balcony - 2005-06-09

(11-0835)Deck - 2012-01-09

Pergola - 2012-01-09

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential

Is the use remaining the same? If no, please provide the proposed new use

Remaining the same

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Yes

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

No

Have you consulted with Conservation Sudbury regarding this relief?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

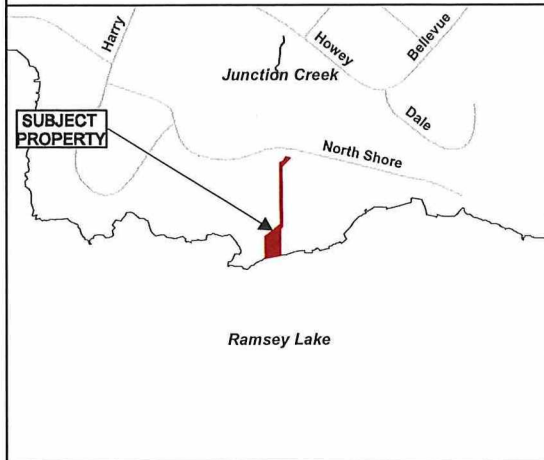
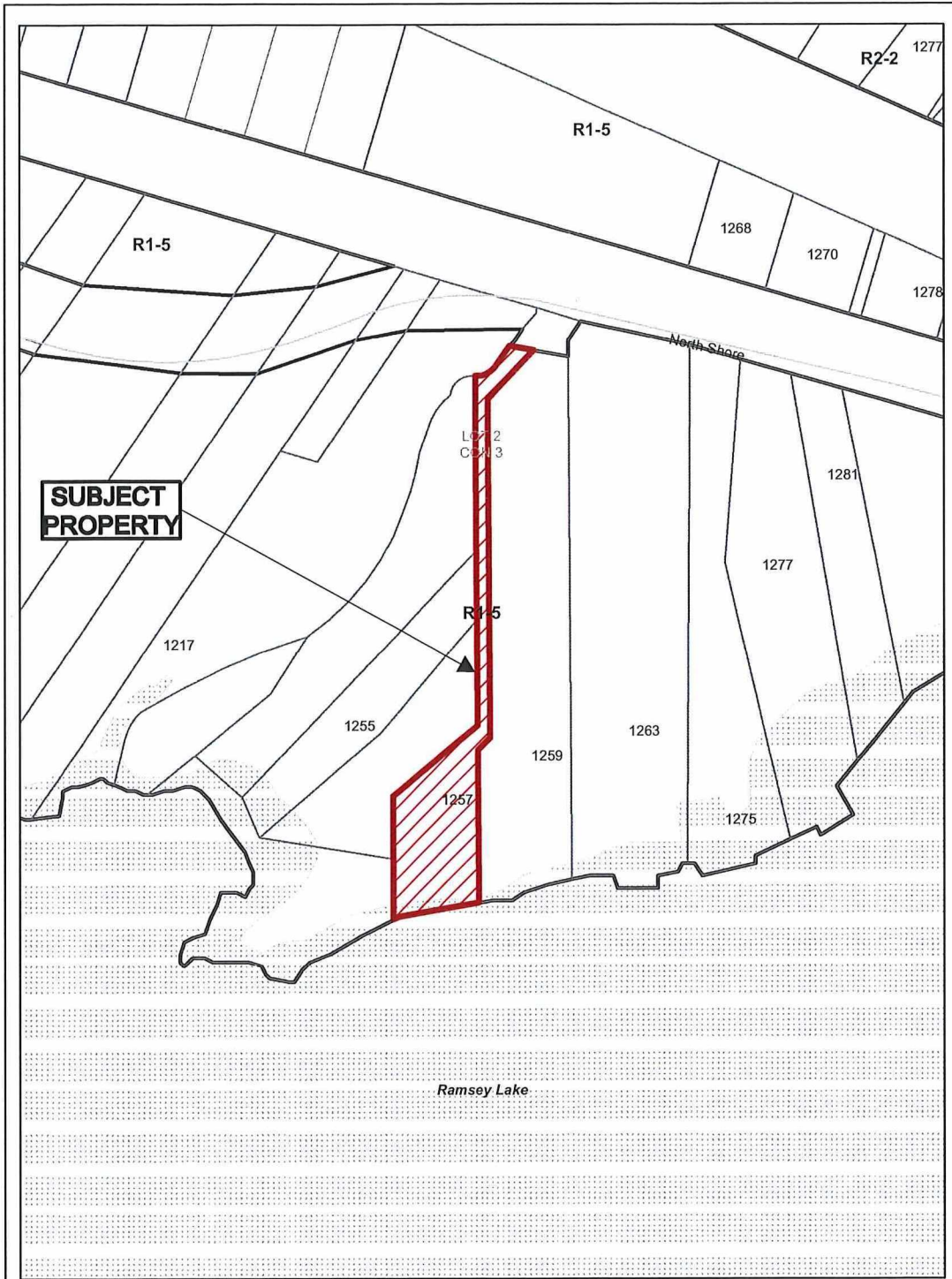
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Addition	No	171.0	302.6	2	14.8	13.2	5.4	104.9	21.6	1.9	3.7
New Deck	No	51	51	1	14	4.3	2.7	118.2	9.8	2.0	5.1

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Family Dwelling	No	171.0	279.6	2	14.8	16.0	5.4	102.2	18.2	1.9	3.8
Pergola	No	10.0	10.0	1	5.5	1.8	2.4	130.1	0.9	7.5	7.9

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
30m Highwater Mark setback relief for proposed new addition as encroaching	Must not have any erection of residential dwelling, structures or anything encroaching the highwater mark setback	25.9	4.1m
30m Highwater Mark setback relief as existing pergola is encroaching	Must not have any erection of residential dwelling, structures or anything encroaching the highwater mark setback	5.8m	24.2m
20m Shoreline Buffer setback relief as existing pergola encroaching	Must not have any erection of residential dwelling structures or anything encroaching the shoreline setback	5.8m	14.2m



**Application for Minor
Variance or Permission**









Subject Property being PIN 73581-0034,
Parcel 50476 SEC SES, Part Lot 2, Concession 3,
Parts 4, 8, 89, 12, 13, 22, 23, 24, 25, 26 & 39, Plan 53R-13778,
Township of McKim,
1257 North Shore Drive, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00147
Date: 2025 10 14






SITE PLAN LEGEND

-  PROPOSED NOW
-  DENOTES EXISTING BUILDING
-  DENOTES ASPHALT
-  DENOTES GRASS
-  DENOTES PROPERTY LINE
-  DENOTES SETBACK LINE

GENERAL NOTES:

1. REFER TO SURVEY DRAWING PREPARED BY LICENSED SURVEYOR FOR EXISTING GRADING, PROPERTY LINES, EASEMENTS, AND Easement INFORMATION.
2. CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION ON SITE WORK.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS. FINISHED GRADING TO BE SUFFICIENTLY AWAY FROM FOUNDATIONS FOR 2 FEET MIN.
4. FINISHED GRADING TO BE PROVIDED AS SHOWN ON SITE PLAN AND TO CAUSE NO DAMAGE TO ADJACENT PROPERTIES.
5. EXISTING MARKING SHALL BE PROVIDED AS SHOWN ON SITE PLAN AND TO COMPLY WITH MUNICIPAL ZONING BY-LAW FOR MINIMUM DIMENSIONS, LAYOUT, AND DRIVE ABLE WIDTHS. ALL PARKING TO BE LINED, PAVED AND SIGNED AS REQUIRED.

ROOF PLAN LEGEND

-  SLOPE
DENOTES DRAINAGE FROM EAVES & ROOF SLOPE
-  DS
DENOTES DOWN SPOUTS OR SPLASH PAD
-  C
DENOTES CAVGSTROUGH OR DOWNSPOUT
-  DENOTES RIDGE VENT
-  DENOTES MINIMUM EXTENT OF EAVE PROTECTION SUCH AS ICE AND WATER SHIELD OR APPROVED EQUAL. EAVE PROTECTION TO EXTEND A MINIMUM OF 10" PAST INTERIOR FACE OF EXTERIOR WALL.

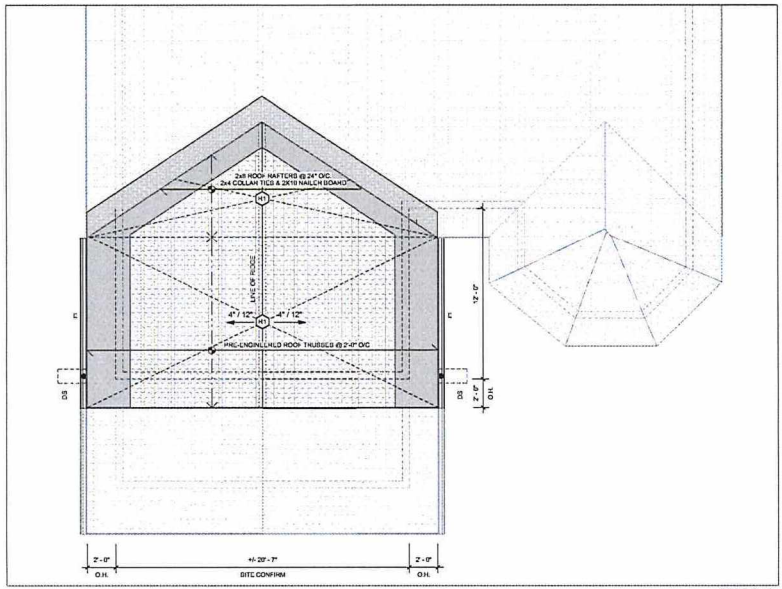
NOTES:

1. CONTRACTOR TO SITE VERIFY EXISTING SLOPE, DIMENSIONS, AND WALL CONDITIONS PRIOR TO BEGINNING TRUSSES. REPORT ANY DISCREPANCIES TO KOMRI ENGINEERING.
2. EAVE PROTECTION SUCH AS ICE AND WATER SHIELD OR APPROVED EQUAL TO EXTEND MINIMUM 10" BEYOND THE INTERIOR FACE OF EXTERIOR WALL (TYPICAL) AND TO BE INSTALLED AT ALL EAVES, VALLEYS, AND OVERLAP TRANSITIONS.
3. THE MANUFACTURED ROOF TRUSS SUPPLIER SHALL PROVIDE TRUSSES IN ACCORDANCE WITH KOMRI ENGINEERING DESIGN PARAMETERS AND IRC PART 8 - SECTION 22.13.11 (WOOD TRUSSES).
4. ROOF BRIDGE DIMENSIONS TO BE STAMPED BY A LICENSED ENGINEER AND SUBMITTED TO KOMRI ENGINEERING FOR REVIEW PRIOR TO FABRICATION.
5. ALL ROOF BRIDGES TO BE INSTALLED WITH STAGGED JOISTS AND MINIMUM 2" SUPPORT CLEARANCE.
6. PROVIDE CONTINUOUS VENTILATION AT EAVES AND RIDGE TO ACHIEVE ONE MINIMUM 1:800 VENTILATION RATIO FOR ATTIC SPACE.
7. PROVIDE WATER VENTILATION (BARRIERS) AT EAVES TO MAINTAIN MINIMUM 10MM (3/8") AIR CLEARANCE BETWEEN INSULATION AND ROOF BRIDGE.
8. PROVIDE ZIP CODE FLASHING AT ALL EAVES AND GABLE ENDS, INSTALLED OVER UNDRAPLANTIC.
9. PROVIDE ICE WATER FLASHING OR ICED/SNOWING AT ALL VALLEYS TO BE LAPPED MIN. 150 MM AND SEALED.
10. TYPICAL ROOF BRIDGE TO BE SIGNED ON SITE. ANY DEVIATIONS FROM PLANS TO BE APPROVED PRIOR TO PROCEEDING WITH INSTALLATION.
11. PROVIDE BLOSSING, NAILING, OR JOIST SUPPORT AT ALL ROOF SPANNING, CORNERS, AND PENETRATIONS.
12. ROOF PENETRATIONS FOR PLUMBING VENTS, DUCTS, OR EXHAUST TO BE SEALED, FLASHED, AND LOCATED TO MINIMIZE ROOF STRUCTURE CONFLICT.
13. ALL PLUMBING VENTS AND DUCTS TO BE COORDINATED BY PLUMBING CONTRACTOR.

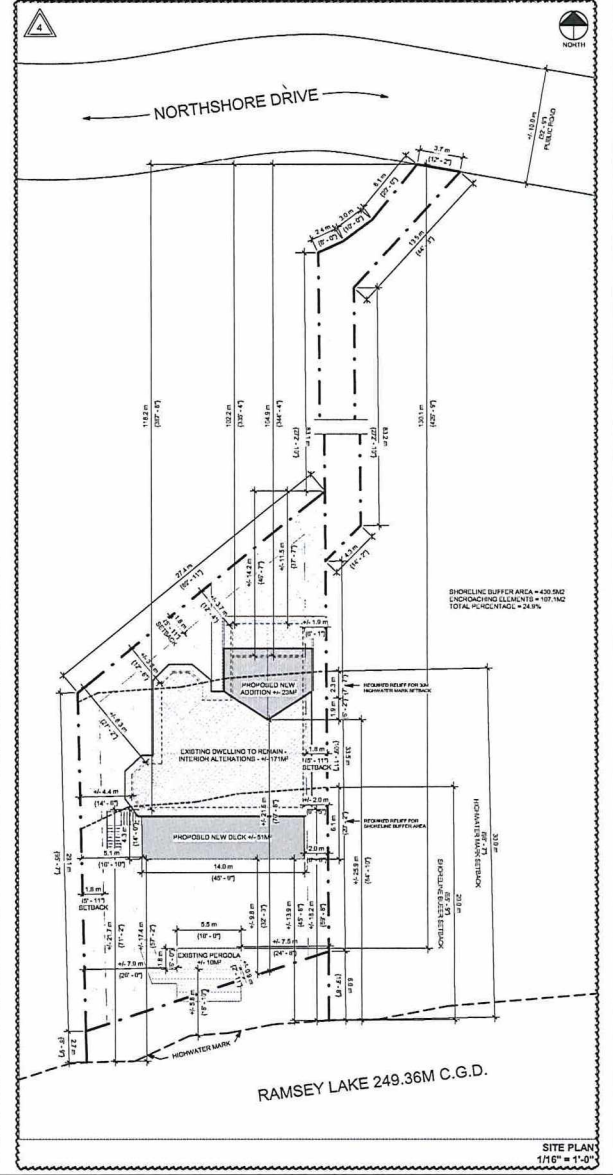
ROOF ASSEMBLIES:

- (1) TYPICAL ROOF OVERFRAMING TRUSS**
 - 25 YEAR ASPHALT SHINGLES
 - CAVGSTROUGH AROUND PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FELT PAPER
 - 1/2" X 4" WOOD BRIDGING OVER 1" CLIPS
 - IRC ENGINEERED ROOF TRUSSES @ 24" O.C.
 - BLOWN INSULATION (R-30) WITH GYPSUM BOARD (5/8") OVER CEILING (R-30)
 - CEILING AS SCHEDULED
- (2) TYPICAL CONVENTIONAL OVERFRAMING**
 - 25 YEAR ASPHALT SHINGLES
 - CAVGSTROUGH AROUND PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FELT PAPER
 - 1/2" X 4" WOOD BRIDGING OVER 1" CLIPS
 - 2x4 ROOF JOISTS @ 24" O.C. OVER 2x4 COLLAR TIES @ 24" O.C.
 - RAFTERS @ 16" O.C. OVER 2x4 WALLBOARD PER 1" O.C. NAILS @ 16" O.C. EXISTING TRUSSES

DIMENSIONS ON SITE PLAN (FIELD VERIFIED BY HOME OWNER, CONTRACTOR OR SITE SURVEYOR. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING)	
ZONE =	-E1.5
TOTAL PROPERTY AREA =	11,114.50 sqft
PROPOSED NOW =	0.00 sqft
EXISTING DWELLING =	177 sqft
PROPOSED NEW DWELLING =	177 sqft
NEW TOTAL LOT COVERAGE =	22.8%
MAXIMUM LOT COVERAGE =	40%
MINIMUM LOT HEIGHT =	11.5m
MINIMUM LOT FORWARD =	15m
MINIMUM FRONT YARD =	3m
MINIMUM REAR YARD =	1.5m
MINIMUM INTERIOR SIDE YARD =	1.5m
MINIMUM CORNER SIDE YARD =	3m



ROOF PLAN
1/4" = 1'-0"



SITE PLAN
1/16" = 1'-0"

GENERAL
 ALL WORK SHALL BE DONE TO THE SATISFACTION OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 2105-24-18
 2105-24-19
 2105-24-20
 2105-24-21

EXTENSIONS
 EXTENDED FOR CONSTRUCTION
 EXTENDED FOR EXISTING
 EXTENDED FOR PROPOSED
 EXTENDED FOR REMOVAL
 EXTENDED FOR EXISTING
 EXTENDED FOR PROPOSED

LEICESTER COUNTY
 10-31-2025
 PROJECT OF OFFICIAL

KOMRI ENGINEERING
 168 DOUGLAS STREET, SUDBURY, ON, P1E 1G1

SLV INCHES
 1:17 NORTH SHORE DR. SUDBURY, ON
 PROJECT NO. K51625339

SITE PLAN & ROOF PLAN

DRAWN: CBNL
 CHECKED: DP/KO
 SCALE: As Indicated
 SHEET: As Indicated

A04

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 sketch 2

DEMOLITION LEGEND

- DEMOLITION TAG REFER TO DEMOLITION NOTES
- DENOTES EXISTING ITEMS TO REMAIN
- DENOTES ITEMS TO BE REMOVED - REFER TO DEMOLITION NOTES

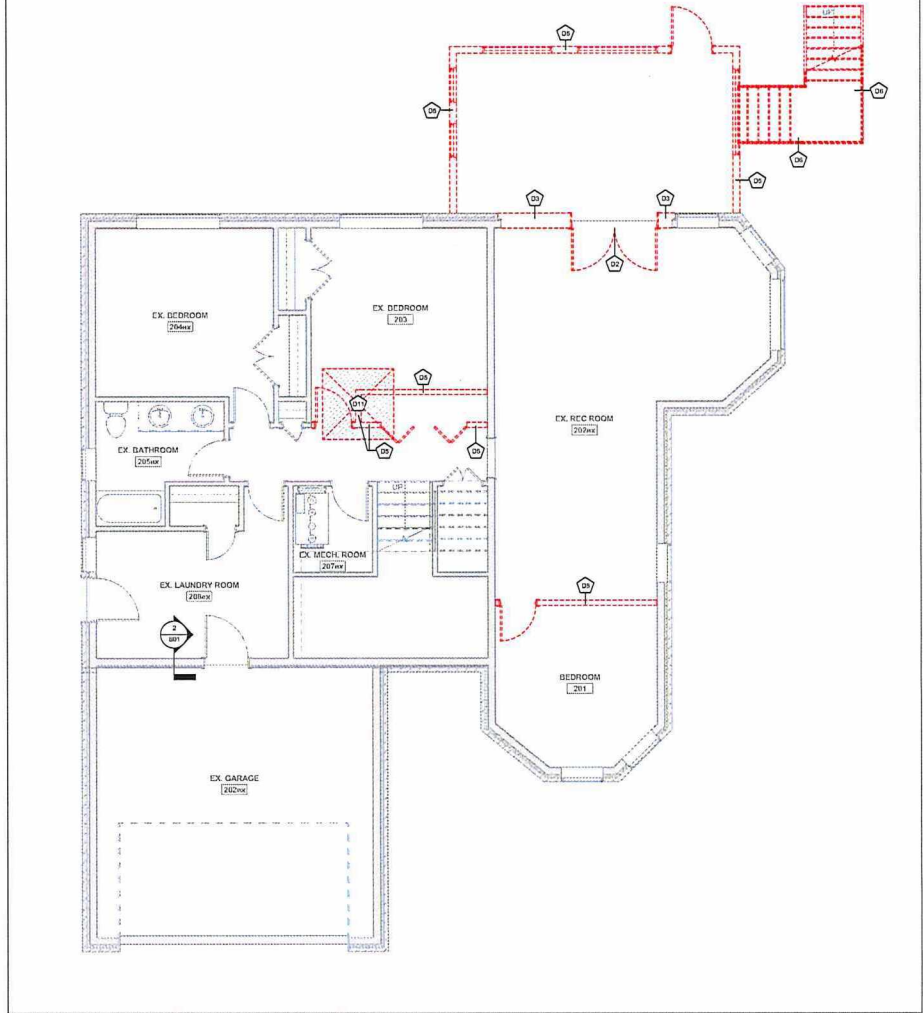
DEMOLITION NOTES (GENERAL):

1. REFER TO CONSTRUCTION FLOOR PLAN, SCHEDULES, AND LEGENDS FOR NEW LAYOUT, MATERIALS, AND DETAILS.
2. REFER TO STRUCTURAL DRAWINGS FOR UNTIL REQUIREMENTS PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK.
3. REFER TO DEMOLITION FLOOR PLAN AND COORDINATE WORK BETWEEN TRADES.
4. REFER ALSO TO MECH/ELEC FOR ADDITIONAL DEMOLITION NOTES AND REQUIREMENTS.
5. ALL ELECTRICAL DEVICES SUBJECT TO DUST AND DEBRIS ARE TO BE REMOVED PRIOR TO DEMOLITION PHASE AND RE-INSTALLED DURING CONSTRUCTION PHASE. MAKE SURE ALL ELECTRICAL DEVICES ARE PROTECTED FROM MECHANICAL AND ELECTRICAL SYSTEMS TO REMAIN. PROVIDE AN EIGHTIGHT ENVELOPE AT THESE SYSTEMS WHEN EXPOSED TO THE ELEMENTS.
6. MECHANICAL DEVICES ARE TO BE DAMPED DURING DEMOLITION PHASE TO PREVENT THE SPREAD OF DUST TO THE REST OF THE BUILDING STILL IN OPERATION.
7. ALL REMOVED ITEMS NOT RE-USED IN NEW CONSTRUCTION OR TURN OVER TO OWNER SHALL BE RECYCLED ON SITE.
8. PROTECT EXISTING FLOORS, WALLS, EQUIPMENT, MILLWORK AND OTHER PERMANENT FIXTURES FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OF THE WORK AS A MINIMUM USE POLYETHYLENE AND PLYWOOD BOARDING.

DEMOLITION NOTES (TAGS):

- D1** CONTRACTOR TO REMOVE EXISTING WINDOW AND ASSOCIATED COMPONENTS IN ITS ENTIRETY. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WALL/CEILING.
- D2** CONTRACTOR TO REMOVE EXISTING DOOR IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FRAME, HANDRAIL, HAMING, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WALL/CEILING.
- D3** CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN ITS ENTIRETY AS REQUIRED FOR NEW DOOR OPENING. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D4** CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN ITS ENTIRETY AS REQUIRED FOR NEW WINDOW OPENING. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D5** CONTRACTOR TO REMOVE EXISTING STUD WALL IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FINISHES, DOORS, WINDOWS, FRAME, HANDRAIL, ELECTRICAL DEVICES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D6** CONTRACTOR TO REMOVE EXISTING STAIRS IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO FINISHES, TREADS, RISERS, HANDRAILS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D7** CONTRACTOR TO REMOVE PORTION OF EXISTING ROOF AS REQUIRED, INCLUDING BUT NOT LIMITED TO ROOF JOISTS, BRACING, GIRDERS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. PATCH AND REPAIR EXISTING AFFECTED ROOF AS REQUIRED. REMOVE EXISTING COLLARS TIES AND CEILING TO ALLOW FOR ROOF BEAM.
- D8** CONTRACTOR TO REMOVE EXISTING KITCHEN IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO CABINETS, COUNTERTOPS, APPLIANCES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. ALL APPLIANCES TO BE TURNED OVER TO OWNER.
- D9** CONTRACTOR TO NEATLY SAW CUT AND REMOVE EXISTING DECK IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FLOOR, GUTTERS, BEAMS, GROUNDURE, BATTLES, DECK BOARDING, RAILINGS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D10** CONTRACTOR TO NEATLY SAW CUT AND REMOVE EXISTING COLLAR TIES AND CEILING JOISTS AS REQUIRED. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. CEILING JOISTS TO BE TEMPORARILY SHORED DURING DEMOLITION AND INSTALLATION OF NEW BEAM.
- D11** CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING SLAB AS REQUIRED IN PREPARATION FOR NEW PAD FOOTING. MAKE GOOD ON ALL ADJACENT SURFACES. REFER TO FOUNDATION AND STRUCTURAL PLANS FOR LOCATIONS AND DETAILS, AND FOOTING SCHEDULE FOR BEZELS.

NOTE: CONDUCT SELECTIVE EXPOSURE OF EXISTING BUILDING MATERIALS TO VERIFY HOOD FRAMING CONFIGURATION AND LOAD PATH CONTINUITY PRIOR TO WALL DEMOLITION. DOCUMENT AND REPORT STRUCTURAL FINDINGS TO HOME ENGINEERING FOR EVALUATION AND FURTHER INSTRUCTION.



BASEMENT FLOOR DEMOLITION PLAN
1/4" = 1'-0"

GENERAL
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2024 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2024 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC/IEC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2024 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2024 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC/IEC).

2025.10.31
REVISED FOR CONSTRUCTION
K. R. O'NEILL
REGISTERED PROFESSIONAL ENGINEER
10.31.2025
PROFESSIONAL SEAL OF ONTARIO

KOMRI ENGINEERING
165 DOUGLAS STREET, SUDBURY, ON, P3E 1G1

SILV HOUSES
1277 NORTH SHORE DR. SUDBURY, ON
PROJECT NO. KS4025331
BASEMENT DEMOLITION PLAN

DRAWN: NLUCB
CHECKED: DRPKO
SCALE: 1/4" = 1'-0"
SHEET: A03

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 sketch 5

LEGEND

- ROOM NAME**
 [R1] DENOTES ROOM NAME AND NUMBER REFERENCE
- [W1] DENOTES WINDOW TAG REFERENCE
- [D1] DENOTES EXTERIOR WALL TAG REFERENCE
- [D1] DENOTES DOOR AND DOOR NUMBER

FLOOR PLAN NOTES:

- ROOM DIMENSIONS ARE TO FACE OF STUD OR BLOCK UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS, DIMENSIONS, AND LAYOUTS TO BE VERIFIED ON SITE. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ROOM NAMES AND USES SHOWN ON PLANS ARE FOR REFERENCE ONLY. FINAL FUNCTIONS FOR EACH ROOM WITH DIMENSIONS TO BE DETERMINED PRIOR TO CONSTRUCTION.
- PROVIDE RAISED FLOORING UNDER EMBLEMATIC SLAB AS PER DOC 9.13.4.3. EXTEND TO ROOMS AND CORNERS FOR FUTURE ACTIVATION.
- ALL LIFTING BEAMS SHALL BE FIELD WITH STRUCTURAL DRAWINGS PRIOR TO FRAMING.
- LACKING ROOMS ABOVE DRAFT TO INCLUDE FLOOR DRAIN CONNECTED TO DRAINAGE SYSTEM.
- FLOOR DRAINS TO BE INSTALLED IN MECHANICAL ROOMS, LAUNDRY ROOMS, GARAGES OR WHERE REQUIRED BY PLUMBING CODE.
- PROVIDE ANTI-MOISTURE BARRIER TO BE CONTIGUOUS AND SEALED AT HEADERS, RM JOISTS, AND PENETRATIONS PER 22-12 REQUIREMENTS.
- WHERE STAIN GUARDS OR HANDRAILS ARE REQUIRED, INSTALL IN COMPLIANCE WITH DOC SECTION 9.8 AND 9.9.7.

WALL ASSEMBLIES:

- TYPICAL EXTERIOR WALL ASSEMBLY**
- HORIZONTAL VMP SIDING BY OWNER
 - 1X4 VERTICAL WOOD SHAKING @ 1" O.C
 - 1" TOP RIGID INSULATION (R-5)
 - AIR BARRIER MEMBRANE - LAP & SEAL
 - 7/8" GIB BRACING
 - 2x4 SPP NO. 1 NO. 2 STUD AT 16" O.C (DOUBLE TOP PLATE) W/ BRACING AND RIGID
 - 1/2" GYPSUM BOARD SHEATHING

CONSTRUCTION NOTES (TADS):

- CONTRACTOR TO INFILL STUD WALL TO MATCH EXISTING ASSEMBLY, MAKE GOOD ON ALL SURFACES.
- CONTRACTOR TO INFILL SUE LIGERS BOARDS. REFER TO DETAIL (202K) MAKE GOOD SMALL EQUIVALENTS.
- CONTRACTOR TO INSTALL SOLID BLOCKING IN FLOOR CAVITIES BELOW FLOOR LIGERS. MAKE GOOD ON ALL SURFACES.
- CONTRACTOR TO CONFIRM HOOTING SIZE FOR ROOMS ENGINEERING AT TIME OF CONSTRUCTION - ENSURE MIN. 4X4X10" W/ 4" MIN. RIGID INSULATION WILL BE REQUIRED IF THIS SIZE IS NOT FOUND ON SITE.
- CONTRACTOR TO REWORK EXISTING ROOF RAMTECH WITH 2x8 SPP NO. 2 SISTERED FULL LENGTH OF WATER W/ 2" ACCESSIBLE SPIND 3/4" DIA @ 12" OC STAGGERED. INSURE TIGHT SEALING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND DETAILS.

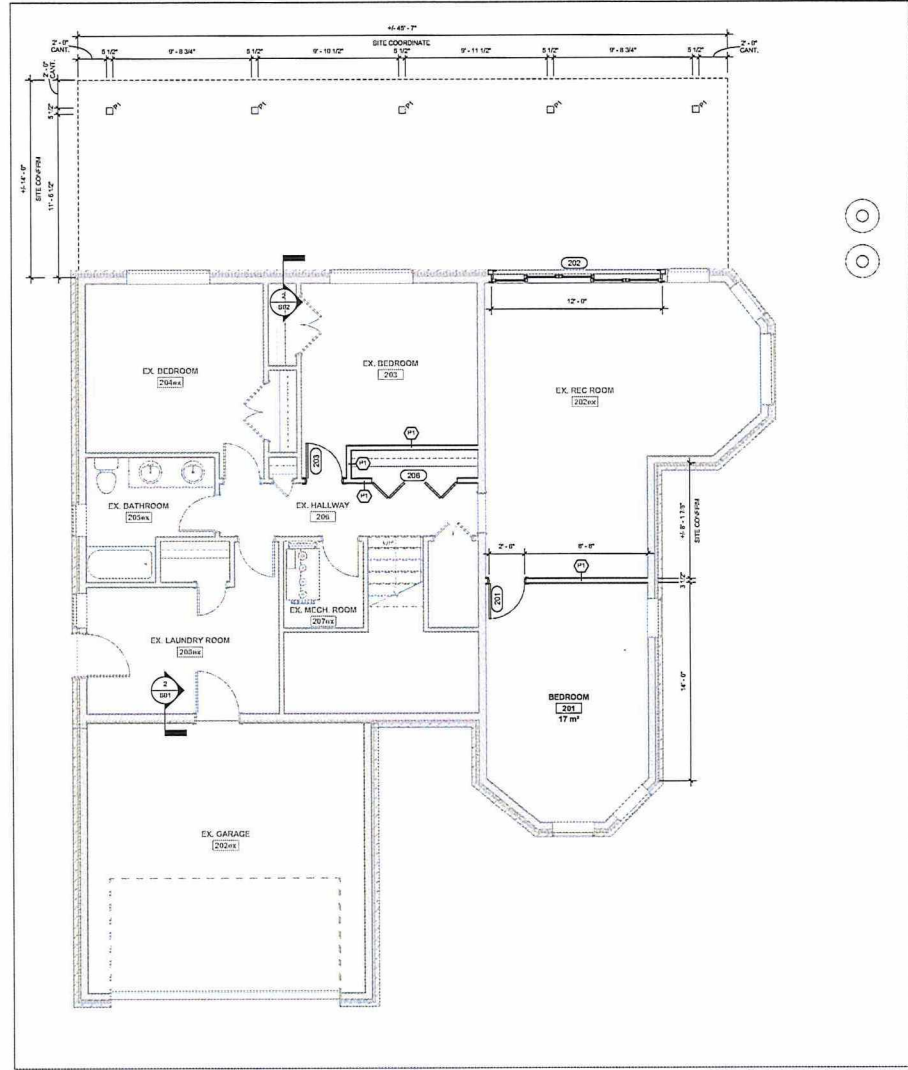
CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

- ALL INTERIOR PARTITIONS ARE TO BE #1 UNLESS NOTED OTHERWISE - NEXT TO ANY DIMENSION INDICATES THAT MEASUREMENT SHOULD BE FIELD HEIGHT AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS.
- HEIGHT TO ROOM ENGINEERING AS REQUIRED IF DESIGN INTENT CANNOT BE MET WITH #1.
- PROVIDE 1/2" GYPSUM WALL BOARD ON ALL WET SIDES OF PARTITIONS. A CLIMATE BOARD BEHIND ALL WALL MOUNTED TALL WORK.
- PROVIDE WOOD BLOCKING TO ACCOMMODATE WALL HEIGHTS IN ACCESSORIES. COORDINATE LOCATIONS AS REQUIRED.
- ALL PARTITIONS TO LET END TO USE OF STRUCTURE UNLESS OTHERWISE NOTED.
- BRACE AS REQUIRED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DATUM ELEVATION OF 88.
- ALL CAPPED VERTICAL CORNERS IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNER CHAIRS.
- ALL DOORS SHALL BE LOCATED # FROM WALL FACE TO DOOR FRAME CODE TYPICAL UNLESS NOTED OTHERWISE.
- THE LETTER "N" NEXT TO PARTITION TAGS INDICATES PARTITIONS THAT ONLY EXIST TO USE OF CEILING.

PARTITION ASSEMBLIES:

- TYPICAL INTERIOR WOOD STUD PARTITION**
- 1/2" GYPSUM BOARD ON BOTH SIDES @ 16" O.C.
 - 2 x 4 SPP NO. 1 NO. 2 WOOD STUD @ 16" O.C.



BASEMENT FLOOR CONSTRUCTION PLAN
 1/4" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE DONE TO THE EXISTING FOUNDATION UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE DONE TO THE EXISTING FOUNDATION UNLESS OTHERWISE NOTED.
 3. THESE PLANS SHALL BE THE PROPERTY OF KOMRI ENGINEERING AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF KOMRI ENGINEERING.
 4. 10% SCALE DRAWING

REVISIONS
 1. REVISION FOR CONSTRUCTION



SILVINOUS
 1317 NORTH SHORE DR. SUDBURY, ON
 PROJECT NO. K2402333
 BASEMENT FLOOR CONSTRUCTION PLAN

DESIGN: NL/CB
 CHECKED: DP/KO
 SCALE: As Indicated
 SHEET: A05

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

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LEGEND

- ROOM NAME**
[101] DENOTES ROOM NAME AND NUMBER REFERENCE
- WINDOW TAG**
[W1] DENOTES WINDOW TAG REFERENCE
- EXTERIOR WALL TAG**
[E] DENOTES EXTERIOR WALL TAG REFERENCE
- DOOR TAG**
[D] DENOTES DOOR AND DOOR NUMBER

FLOOR PLAN NOTES:

1. ROOM DIMENSIONS ARE TO FACE OF STUDIO BLOCK UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS, DIMENSIONS, AND LAYOUTS TO BE VERIFIED ON SITE. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ROOM NAMES AND USES SHOWN ON PLANS ARE FOR REFERENCE ONLY. FINAL FUNCTION TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION.
4. PROVIDE RADON VENT PIPE UNDER BASEMENT FLOOR AS PER OGC 9.3.4.3. EXTEND TO ROOF LEVEL AND CAP FOR TESTING ACTIVATION.
5. ALL LANDING FIRE WALLS TO BE SHOWN WITH STRUCTURAL DRAWINGS PRIOR TO FRAMING.
6. LAUNDRY ROOMS ABOVE GRADE TO INCLUDE FLOOR DRAIN CONNECTED TO DRAINAGE SYSTEM.
7. FLOOR DRAINS TO BE INSTALLED IN MECHANICAL ROOMS, LAUNDRY ROOMS, GARAGES OR WHERE REQUIRED BY PLANNING CODE.
8. PROVIDE ANTI-VIBRATION ISOLATION CONTROLS AND SEALED AT HEADERS, IRM JOISTS, AND PENETRATIONS PER BS-13 REQUIREMENTS.
9. WINDU, STAIR GUARDS OR HANDRAILS ARE REQUIRED. INSTALL IN COMPLIANCE WITH OGC ELECTION 9.8 AND 9.8.7.

CONSTRUCTION NOTES (TAGS):

- (C) CONTRACTOR TO INFILL STUD WALL TO MATCH EXISTING ASSEMBLY, MAKE GOOD ON ALL SURFACES.
- (D) CONTRACTOR TO INFILL STUD WALL TO MATCH EXISTING ASSEMBLY, MAKE GOOD ON ALL SURFACES.
- (E) CONTRACTOR TO INSTALL SOLID BLOCKING IN FLOOR CAVITIES BELOW POINT LOADS ABOVE. MAKE GOOD ON ALL SURFACES.
- (F) CONTRACTOR TO CONFIRM FOOTING SIZE FOR ROOMS UNLOADING AT TIME OF CONSTRUCTION. MINIMUM 4'X4'X4' W/ 4" MIN. REINFORCEMENT WALL BE REQUIRED IF THAT SIZE IS NOT FOUND ON SITE.
- (G) CONTRACTOR TO REINFORCE EXISTING ROOM PARTS WITH 2# 8" BARS. NO HANGERS. DISTRICT FULL LENGTH OF BARS WHICH ACCESSIBLE USING 3/16" NAILS @ 18" ON CENTER. BRACE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND DETAILS.

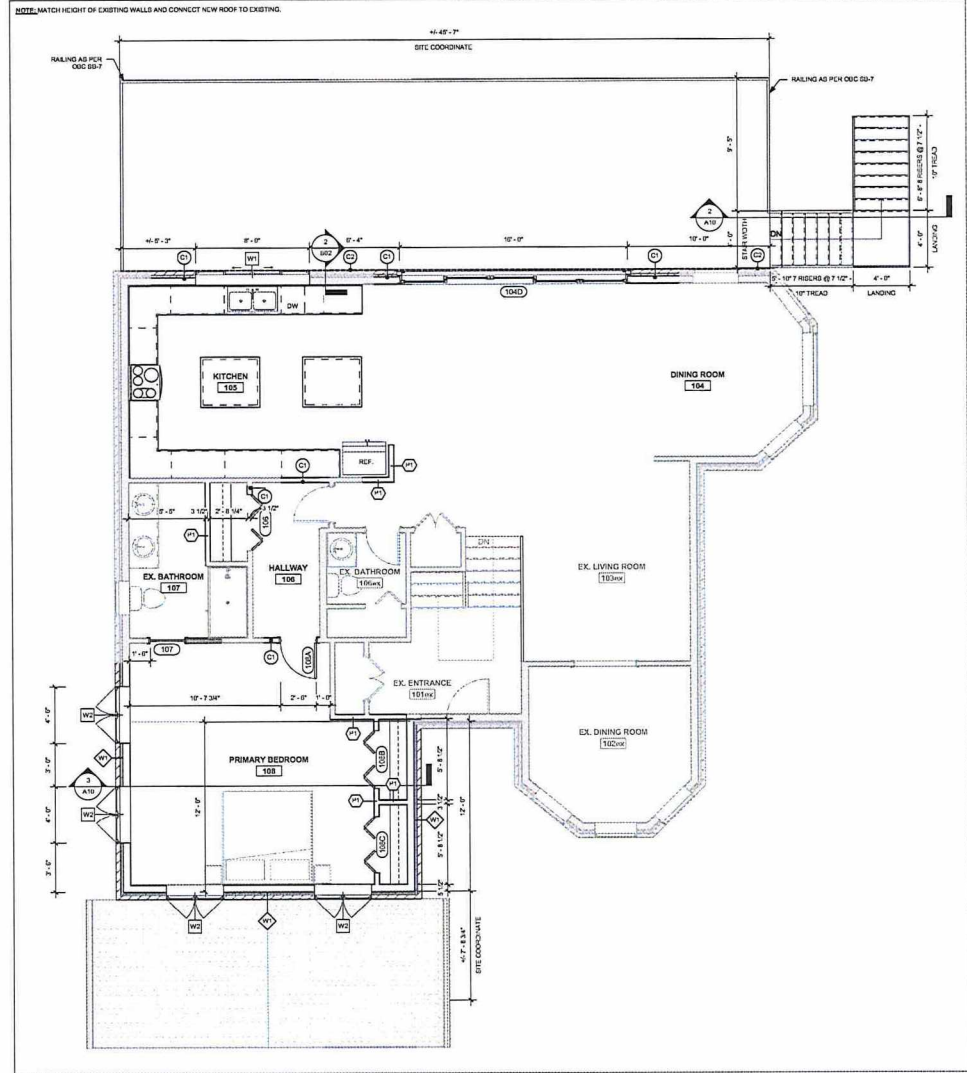
CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

1. ALL INTERIOR PARTITIONS ARE TO BE 1/2" UNLESS NOTED OTHERWISE.
2. IF NEXT TO ANY DIMENSION INDICATES THAT MEASUREMENT SHOULD BE HELD. VERIFY AND NOTIFY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. REPORT TO OWNER ENGINEERING AS REQUIRED IF DESIGN INTENT CANNOT BE MAINTAINED.
3. USE WATER RESISTANT GYPSUM WALL BOARD ON ALL WET SIDES OF PARTITIONS. A CEMENT BOARD BEING ALL WALL MOUNTED TILE WORK.
4. PROVIDE WOOD BLOCKING TO ACCOMMODATE WALL MOUNTED IN ACCESSORIES. CANNOT BE LOCATED AS TO USE OF STRUCTURE UNLESS OTHERWISE NOTED. BRACE AS REQUIRED.
5. ALL PARTITIONS TO LANDING TO USE OF STRUCTURE UNLESS OTHERWISE NOTED. BRACE AS REQUIRED.
6. ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM CHORD FLOOR DATUM ELEVATION OF 8.0.
7. ALL EXPOSED VERTICAL CORNER IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNER GUARDS.
8. ALL DOORS SHALL BE LOCATED FROM WALL FACE TO DOOR FRAME CODE TYPICAL UNLESS NOTED OTHERWISE.
9. THE LETTER 'N' TO PARTITION TAGS INDICATES PARTITIONS THAT ONLY EXTEND TO USE OF CEILING.

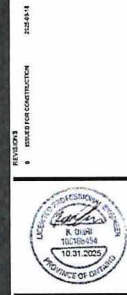
PARTITION ASSEMBLIES:

- (P) TYPICAL INTERIOR WOOD STUD PARTITION
 - 1. 1/2" GYPSUM BOARD ON BOTH SIDES OF
 - 2. 2 x 4 SPP NO. 12 WOOD STUD @ 16" OC.



MAIN FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

GENERAL
1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
2. VERIFY ALL DIMENSIONS AND LAYOUTS TO BE VERIFIED ON SITE. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ROOM NAMES AND USES SHOWN ON PLANS ARE FOR REFERENCE ONLY. FINAL FUNCTION TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION.
4. PROVIDE RADON VENT PIPE UNDER BASEMENT FLOOR AS PER OGC 9.3.4.3. EXTEND TO ROOF LEVEL AND CAP FOR TESTING ACTIVATION.
5. ALL LANDING FIRE WALLS TO BE SHOWN WITH STRUCTURAL DRAWINGS PRIOR TO FRAMING.
6. LAUNDRY ROOMS ABOVE GRADE TO INCLUDE FLOOR DRAIN CONNECTED TO DRAINAGE SYSTEM.
7. FLOOR DRAINS TO BE INSTALLED IN MECHANICAL ROOMS, LAUNDRY ROOMS, GARAGES OR WHERE REQUIRED BY PLANNING CODE.
8. PROVIDE ANTI-VIBRATION ISOLATION CONTROLS AND SEALED AT HEADERS, IRM JOISTS, AND PENETRATIONS PER BS-13 REQUIREMENTS.
9. WINDU, STAIR GUARDS OR HANDRAILS ARE REQUIRED. INSTALL IN COMPLIANCE WITH OGC ELECTION 9.8 AND 9.8.7.



SILVINOUS
1317 NORTH SHORE DR. SUDBURY, ON
PROJECT NO. K20250333
MAIN FLOOR CONSTRUCTION PLAN
DRAWN: NUCS
CHECKED: Checker
SCALE: As Indicated
SHEET: A06

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 6

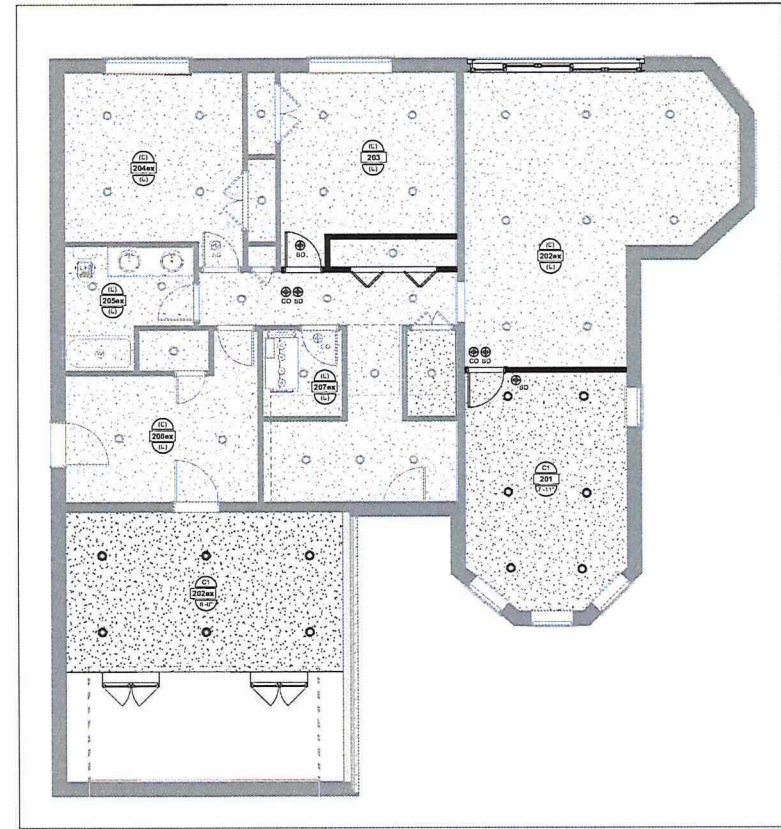
RCP LEGEND

- 101 DENOTES ROOM NUMBER REFERENCE
- C1 DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE
- F10 DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR
- DENOTES RECESSED POT LIGHTS
- DENOTES WATERPROOF RECESSED POT LIGHTS
- EF DENOTES EXHAUST FAN
- DENOTES CYCLUM DDAHD CEILING
- CO CARBON MONOXIDE DETECTOR
- ED INTERCONNECTED SMOKE DETECTION WITH VISUAL COMPONENT
- AH DENOTES ATTIC ACCESS HATCH - PRE-MANUFACTURED HATCH 800mm x 800mm MIN. COORDINATE LOCATION OF HATCH WITH OWNER AND CONFIRM WITH CONSULTANT PRIOR TO INSTALLATION

NOTE:
ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN WOOD TRUSSES AT 800mm C-TO-C CENTER

REFLECTED CEILING PLAN NOTES:

1. CEILING HEIGHTS ARE BASED ON THE FLOOR LEVELS THEY ARE LOCATED ON. ALL FLOOR PLANS AND RCP FOR DIMENSIONS, REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON CEILING MATERIALS AND FINISHES.
2. LIGHT FIXTURES, LOCATIONS ON DRAWINGS AND FOR INFORMATION ONLY. FINAL LOCATIONS TO BE COORDINATED ON SITE BETWEEN OWNER AND CONTRACTOR UNLESS OTHERWISE SPECIFIED.
3. ALL DOWNRODS, DOWNED CEILING, AND CEILING CHANGES TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL LAYOUTS. REFER TO ELECTIONS AND ELEVATIONS AS REQUIRED.
4. SUSPENDED CEILING TO BE INSTALLED LEVEL AND SECURELY FASTENED TO STRUCTURE ABOVE. PROVIDE LATERAL BRACING WHERE REQUIRED.
5. CEILING ACCESS PANELS TO BE PROVIDED WHERE REQUIRED FOR WIRE, ELECTRICAL, AND PLUMBING SERVICES. ACCESS LOCATIONS TO BE COORDINATED WITH TRADES.
6. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING, CEILING JOINTS OR ATTIC SPACES, OR ISOLATED JOINT ASSEMBLIES (E.G. OVER GARAGE OR CANTILEVERED TO BE CEILING AND AIRTIGHT) FIXTURES TO BE SEALED TO MAINTAIN CONTINUOUS AIR/WATER BARRIER IN ACCORDANCE WITH OBC AND ENERGY CODE REQUIREMENTS.
7. MAINTAIN CLEARANCE AROUND LIGHT FIXTURES AND DOWNRODS FOR REQUIRED INSULATION, AIR CIRCULATION, AND MAINTENANCE ACCESS.
8. ALL BATHROOMS TO BE VENTED DIRECTLY TO EXTERIOR IN ACCORDANCE WITH OBC 9.23.1.
9. SMOKE, ALARM AND CARBON MONOXIDE DETECTORS TO BE INSTALLED AND INTERCONNECTED AS PER OBC 9.18.1.
10. SMOKE DETECTORS SHALL BE INSTALLED IN THE SUPPLY OR RETURN DUCT SYSTEM AND SHALL SHUT DOWN HEAT AND ELECTRICAL POWER UPON ACTIVATION AS PER MECHANICAL DESIGN.
11. FIRE DAMPERS TO BE INSTALLED IN THE PLANE OF FIRE RESISTING WALLS OR FIRE RESISTING PENETRATED WALLS ON FLOORING AS REQUIRED BY OBC.
12. ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PUNCTURE THE AIR/WATER BARRIER ARE TO BE SEALED WITH APPROPRIATE SEALANTS AND MEMBRANES. REFER TO SPEC SECTIONS 0909 SEALANTS AND OTHER MEMBRANES, AIR/WATER BARRIERS.
13. ATTIC HATCHES TO BE INSULATED AND AIR SEALED. LOCATIONS AS SHOWN ON REFLECTED CEILING PLANS.
14. ATTIC ACCESS TO BE PROVIDED IN ACCORDANCE WITH OBC 9.18.1, AND COORDINATED WITH INSULATION AND INSULATION LAYOUT.



BASEMENT FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE OBC 2025 AND THE 2025 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMEC) 2025.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE OBC 2025 AND THE 2025 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMEC) 2025.

REVISIONS
REVISION FOR CONSTRUCTION 2025-11-14



SLV: HOUDES
1127 NORTH BRIDGE DR. SUDBURY, ON
PROJECT NO. K54025239
BASEMENT FLOOR REFLECTED CEILING PLAN

DRAWN: CB
CHECKED: DP/KKO
SCALE: 1/4" = 1'-0"
TITLE: A07

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 7

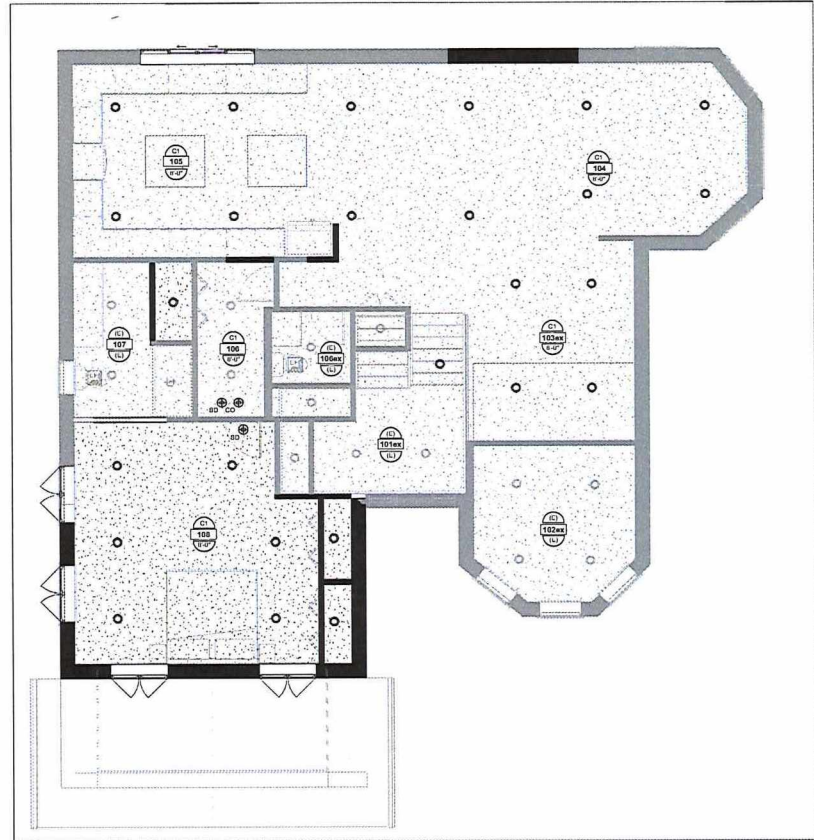
RCP LEGEND

- 101 DENOTES ROOM NUMBER REFERENCE
- CL DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE
- VUF DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR
- DENOTES RECESSED POT LIGHTS
- DENOTES WATERPROOF RECESSED POT LIGHTS
- EF DENOTES EXHAUST FAN
- DENOTES GYPSUM BOARD CEILING
- CO CARBON MONOXIDE DETECTOR
- SD INTERCONNECTED SMOKE DETECTOR WITH VISUAL COMPONENT
- AH DENOTES ATTIC ACCESS HATCH - PRE-MANUFACTURED HATCH 500mm x 800mm MIN. COORDINATE LOCATION OF HATCH WITH OWNER AND CONTRACTOR WITH CONSULTANT PRIOR TO INSTALLATION

NOTE:
ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN WOOD TRUSSES AT 800mm (2'-0") ON CENTER.

REFLECTED CEILING PLAN NOTES:

1. CEILING HEIGHTS ARE BASED ON THE FLOOR LEVEL THEY ARE LOCATED ON. SEE FLOOR PLANS AND RCP FOR DIMENSIONS. REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON CEILING MATERIALS AND FINISHES.
2. LIGHT FIXTURES, LOCATIONS ON DRAWINGS ARE FOR INFORMATION ONLY. FINAL LOCATIONS TO BE COORDINATED ON SITE BETWEEN OWNER AND CONTRACTOR UNLESS OTHERWISE SPECIFIED.
3. ALL DOWNHEADS, DOWNED CEILING, AND CEILING CHANGES TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL LAYOUTS. REFER TO SECTIONS AND ELEVATIONS AS REQUIRED.
4. SUGGESTED CEILING TYPE, INSTALLATION LEVEL, AND SECURELY FASTENED TO STRUCTURE ABOVE. PROVIDE LATENT SHADING WHERE REQUIRED.
5. CEILING ACCESS PANELS TO BE PROVIDED WHERE REQUIRED FOR TRAC, ELECTRICAL, AND PLUMBING SERVICE ACCESS. LOCATIONS TO BE COORDINATED WITH TRADES.
6. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING, CEILING BELOW ATTIC HATCHES OR INSULATED ROOF ASSEMBLIES (I.E. OVER GARAGE OR CANTEEN) NEED TO BE IC-RATED AND AIR-TIGHT. FIXTURES TO BE SEaled TO MAINTAIN CONTINUOUS AIR/WATER BARRIER IN ACCORDANCE WITH OBC AND ENERGY CODE REQUIREMENTS.
7. MAINTAIN CLEARANCE AROUND LIGHT FIXTURES AND DUCTWORK FOR REQUIRED INSULATION, AIR CIRCULATION, AND SERVICE ACCESS.
8. ALL BATHROOMS TO BE VENTED DIRECTLY TO EXTERIOR IN ACCORDANCE WITH OBC 323.1.
9. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS TO BE INSTALLED AND INTERCONNECTED AS PER OBC 315.
10. SMOKE DETECTORS SHALL BE INSTALLED IN THE SUPPLY OR RETURN DUCT (PER OBC) AND SHALL SHUT DOWN HEAT AND ELECTRICAL POWER UPON ACTIVATION AS PER MECHANICAL DESIGN.
11. THE DAMPERS TO BE INSTALLED IN THE PLUMB OR FIRE SEPARATIONS W/ELC DUCTWORK PENETRATES WALLS OR FLOORING, BE SEaled BY OBC.
12. ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PUNCTURE THE VAPOUR BARRIER ARE TO BE SEaled WITH APPROPRIATE GASKETING AND MEMBRANES. REFER TO SPEC SECTIONS (PER OBC) AND/ OR IF THE MEMBRANE IS APPROPRIATE (BARRIERS).
13. ATTIC HATCHES TO BE INSULATED AND AIR SEaled. LOCATIONS AS SHOWN ON REFLECTED CEILING PLANS.
14. ATTIC ACCESS TO BE PROVIDED IN ACCORDANCE WITH OBC 315.2.1 AND COORDINATED WITH TRUSSES AND INSULATION LAYOUT.



MAIN FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL
1. ALL WORK SHALL BE DONE TO THE EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE O.C.B.C. 2024.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE O.C.B.C. 2024.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE O.C.B.C. 2024.

DESIGN
1. ALL WORK SHALL BE DONE TO THE EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE O.C.B.C. 2024.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE O.C.B.C. 2024.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE O.C.B.C. 2024.



KOMRI ENGINEERING
166 DODD STREET, SUDBURY, ON, P1E 1J1

SIV MOSES
137 NORTH SHORE DR, SUDBURY, ON
PROJECT NO. 24-05-233
MAIN FLOOR REFLECTED CEILING PLAN

DRAWN: CB
CHECKED: DP/KO
SCALE: 1/4" = 1'-0"
SHEET: 1

A08

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 8

LEGEND

- MFL FL DENOTES METAL FLASHING
- ASPH SH DENOTES 25 YEAR ASPHALT SHINGLES
- STONE DENOTES STONE CLADDING BY OWNER
- MFL LAV DENOTES METAL LAUGHTHROUGH
- DS DENOTES METAL DOWN SPOUT
- R1 ROOF IDENTIFICATION IN SCHEDULE
- F1 FOUNDATION IDENTIFICATION IN SCHEDULE
- W1 WALL IDENTIFICATION IN SCHEDULE
- D1 DOOR IDENTIFICATION IN SCHEDULE
- W1 WINDOW IDENTIFICATION IN SCHEDULE
- F1 FOOTING IDENTIFICATION IN SCHEDULE
- H1 HELICAL IDENTIFICATION IN SCHEDULE
- P1 POST IDENTIFICATION IN SCHEDULE

CONSTRUCTION NOTES (TAGS):

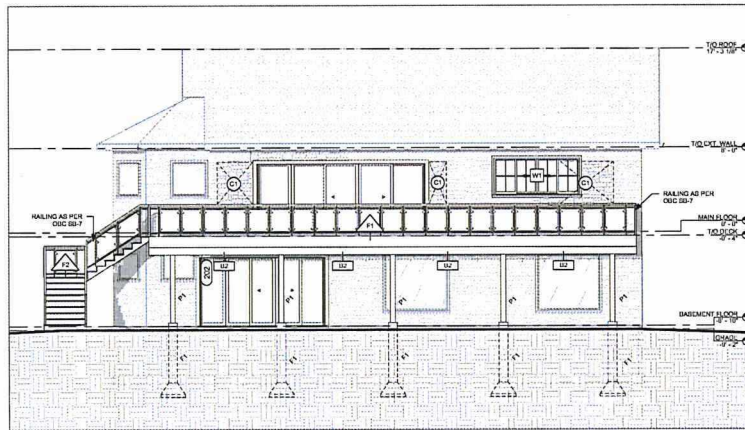
- C1 CONTRACTOR TO INSTALL STUD WALL TO MATCH EXISTING ASSEMBLY. MAKE GOOD ON ALL SURFACES.
- C2 CONTRACTOR TO INSTALL 1/2" LEDGER BOARD. HICKER TO DETAIL. (2025) MAKE GOOD ON ALL SURFACES.
- C3 CONTRACTOR TO CONFIRM HOISTING SIZE FOR KOMR ENGINEERING AT TIME OF CONSTRUCTION. CHANGE MR. BERRY* W/ 4-10M LHM REINFORCEMENT WILL BE REQUIRED IF THAT SIZE IS NOT FOUND ON SITE.
- C4 CONTRACTOR TO REINFORCE EXISTING ROOF RAFTERS WITH ONE (1) 2" X 8" L2 BOSTITCH FULL LENGTH OR RAFTER WHICH ACCESSIBLE LIVING 3-1/2" MAX IS 1/2" O.C. IF RAFTERS. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND DETAILS.



SOUTH ELEVATION
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.
 2. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.
 3. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.
 4. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.

REVISED FOR CONSTRUCTION
 10/31/2025



SLV INCHES
 137 NORTH SHORE DR, SOBBURY, ON
 PROJECT NO. K0405333

DRAWN: CS
 CHECKED: DP/KC
 SIGNAL: As Indicated
 SHEET:

A09

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 sketch 9



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00152

APPLICATION SUMMARY

File Date: 10/21/2025

Application Type: Minor Variance

Address(es): 4015 Dupuis Drive, Hanmer P3P 0B3

Applicant(s): SONYA ARCAND

Owner(s): SONYA ARCAND

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

November 25,2016

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

10

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Rural

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

The building of a 9.14mx10.67m slab on grade two story additional dwelling

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

There are driveways, other structures and trees, that we would prefer not to cut down, that would prevent building the 2nd home 30 meters away from the current dwelling. We would like the bigger house closer to the road than the main dwelling.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

123.14

Lot Depth of the property

164.59

Lot Area of the property

20267.61

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

1. 9.14m x 7.92m garage in 2018, turned into home with an 8x10 addition in 2020
2. 3.05m x 3.05m tool shed, 2018
3. 3.66m x 3.05m wood cover, 2020
4. 3.05m x 3.05m potting shed, 2021 with an added 2.13m x 2.44m in 2024
5. 2.44m x 3.66m machine shed, 2022
6. 1.83m x 3.04m chicken coop, 2022
7. 3.35m x 4.27m female goat shed, 2023
8. 3.35m x 4.27m hay storage shed, 2024
9. 2.13m x 3.05m male goat shed, 2025
10. 6.10m x 2.44m tarped tent, 2022

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential / Hobby farm

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

- Residential/hobby farm to the South
- residential and trailer repair to the North

- Agricultural/Hay farm to the East
- Residential/Hay farm to the West

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
ADU	No	97.52	195.05	2	9.14	10.67	7.32	21.34	129.54	7.01	105.16

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Potting Shed	No	14.49	14.49	1	5.18	3.05	3.35	74.68	86.87	86.26	30.48
Machine shed	No	8.93	8.93	1	2.44	3.66	3.12	80.77	80.77	88.39	30.48
Hay storage shed	No	14.3	14.3	1	3.35	4.27	2.9	36.58	124.36	88.39	29.26
Goat Shed	No	14.3	14.	1	3.35	4.27	2.9	36.58	124.36	75.9	42.67
Chicken Coop	No	5.58	5.58	1	1.83	3.05	2.9	76.2	86.87	73.15	45.72
House	No	72.39	72.39	1	11.58	7.92	4.57	74.68	82.3	49.38	60.96
Tool Shed	No	9.3	9.3	1	3.05	3.05	3.84	83.82	77.2	45.72	73.15
Boy goat shed	No	6.5	6.5	1	2.13	3.05	2.44	83.82	77.2	36.58	83.22
Wood Cover	No	11.16	11.16	1	3	6	2.44	83.82	77.2	38.7	79.24
Tarped Garage	Yes	14.88	14.88	1	6.1	2.44	2.59	64.01	97.54	21.33	94.50

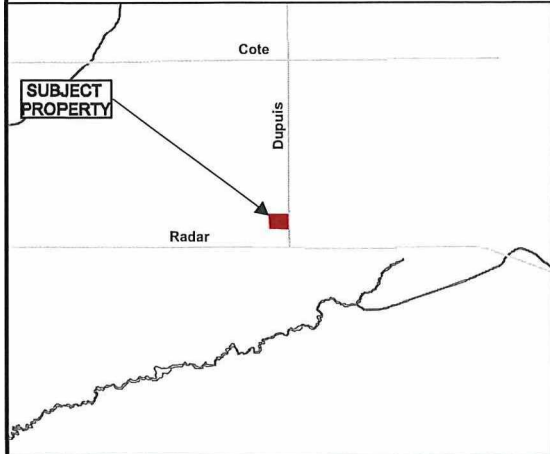
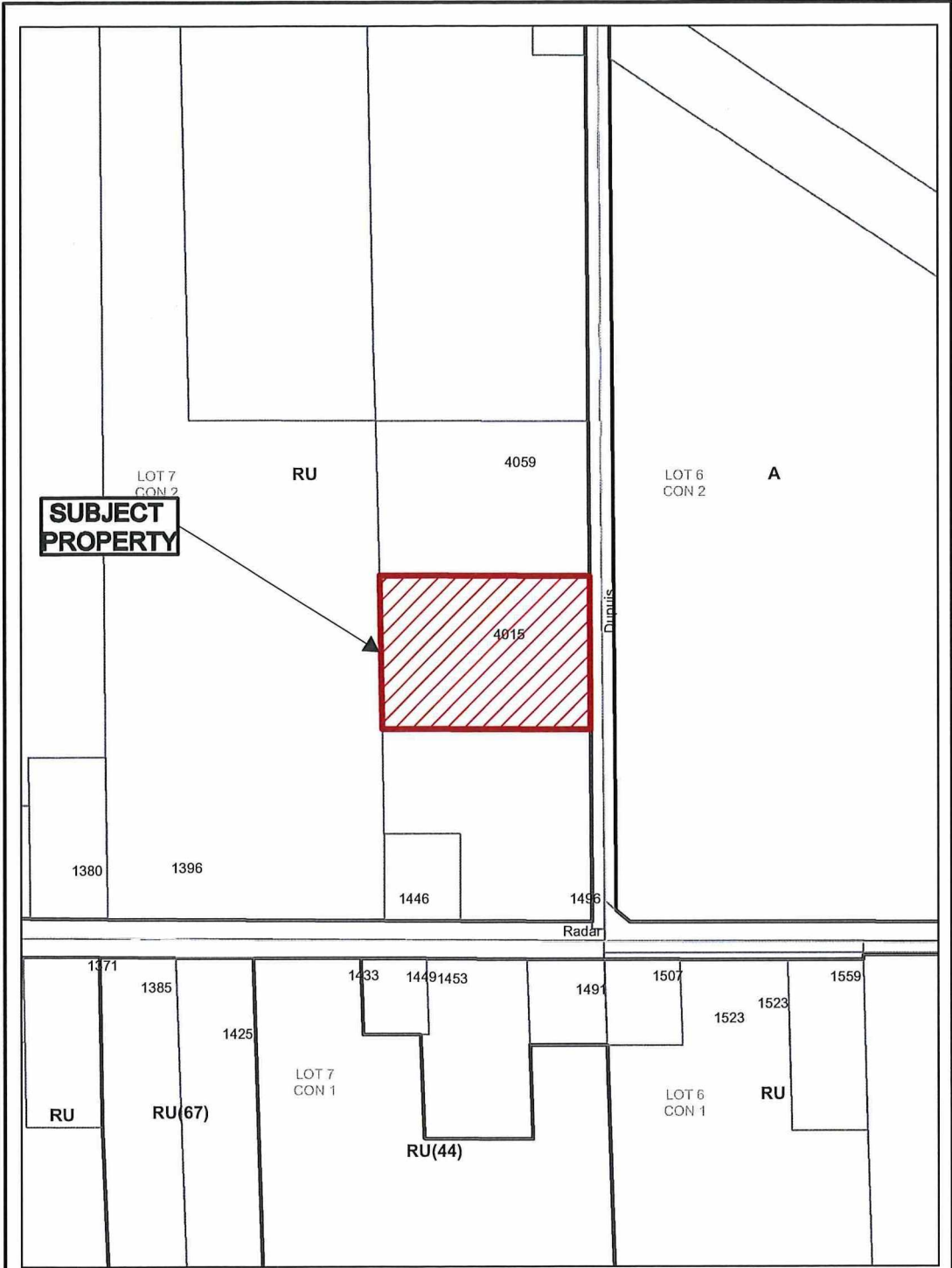
ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Distance between dwellings	30 m between dwellings	51.82 m approximately	21.82 m

4.2.10.3 e) Additional Dwelling Units in Accessory Buildings

Shall only be permitted within the rear and/or interior side yards

Permit within front yard n/a

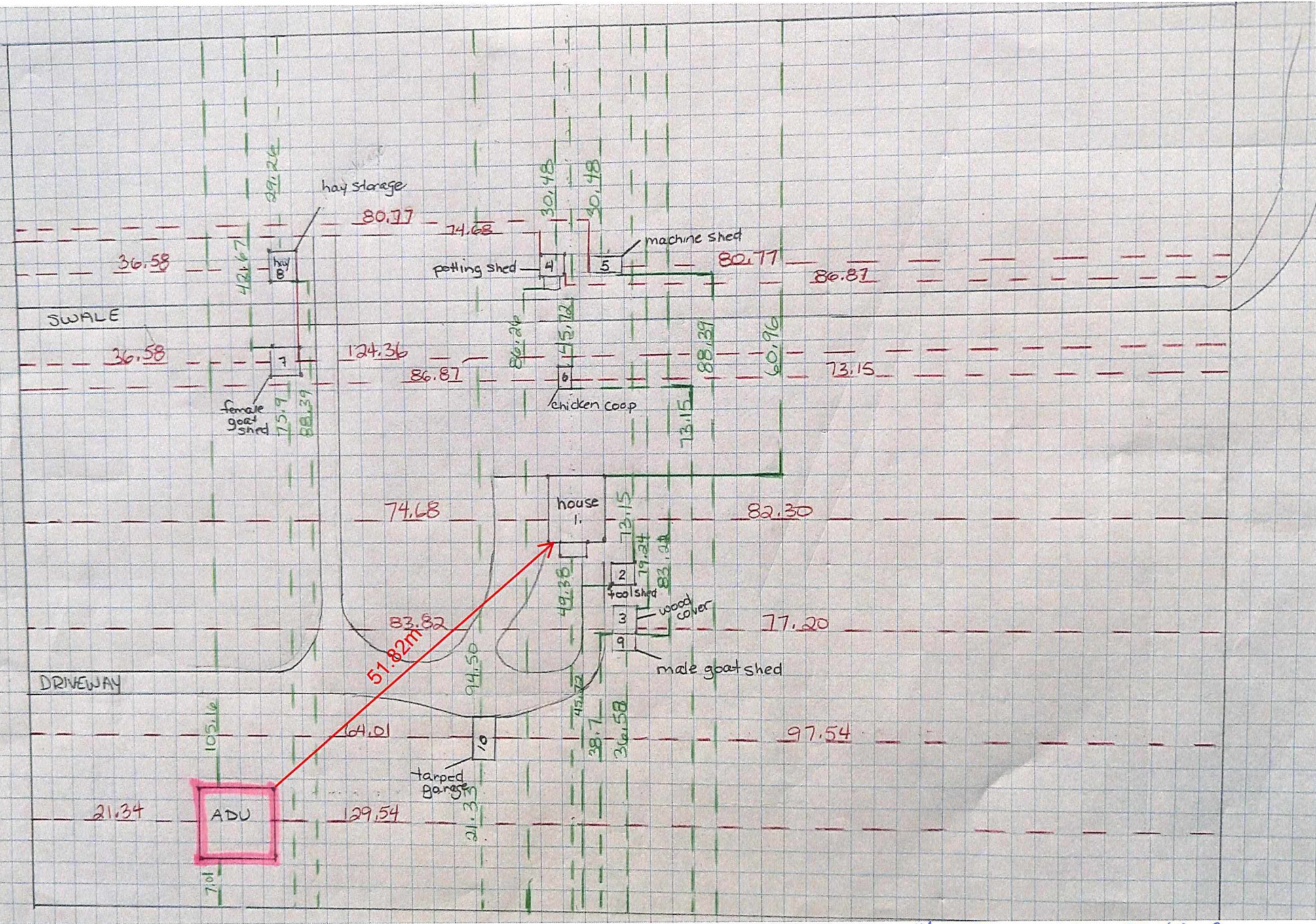


Application for Minor Variance or Permission

Subject Property being PIN 73509-0332, Part Lot 7, Concession 2, being Part 2, Plan 53R-19256, Township of Capreol, 4015 Dupuis Drive, Hanmer, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00152
Date: 2025 10 27





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00153

APPLICATION SUMMARY

File Date: 10/22/2025
Application Type: Minor Variance
Address(es): 117 First Avenue, Sudbury P3B 3L2
Applicant(s): A.L. PERMITS
Owner(s): KYLE ARZENI AND MELISSA ARZENI

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
July 2016

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
1

What is the number of proposed new dwelling units on the property?
0

What is the number of proposed new buildings/structures on the property?
0

What is the number of existing buildings/structures on the property?
2

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
Ramsey Lake Watershed

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5, FD

Provide a detailed description of what is being proposed
71.349 m² addition to existing 89.186 m² detached garage with a height of 6.187m where the bylaw permits a max height of 5m

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
Owner would like to install a lift for storage of his classic cars which requires slightly more height than currently permitted under by-law 2010-100Z section 4.2.4.(a)

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
16.14

Lot Depth of the property
103.676

Lot Area of the property
1673.339

Total width of the public road giving access to the property
19.6

List all buildings and structures on the property and their respective date of construction
Single Family Dwelling - 1965
Detached Garage -2008

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
Residential - 70 years

Is the use remaining the same? If no, please provide the proposed new use
Yes

Existing uses of neighbouring properties
Residential

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

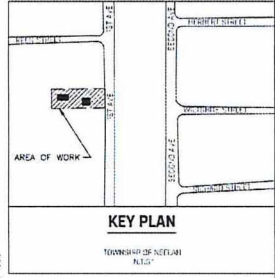
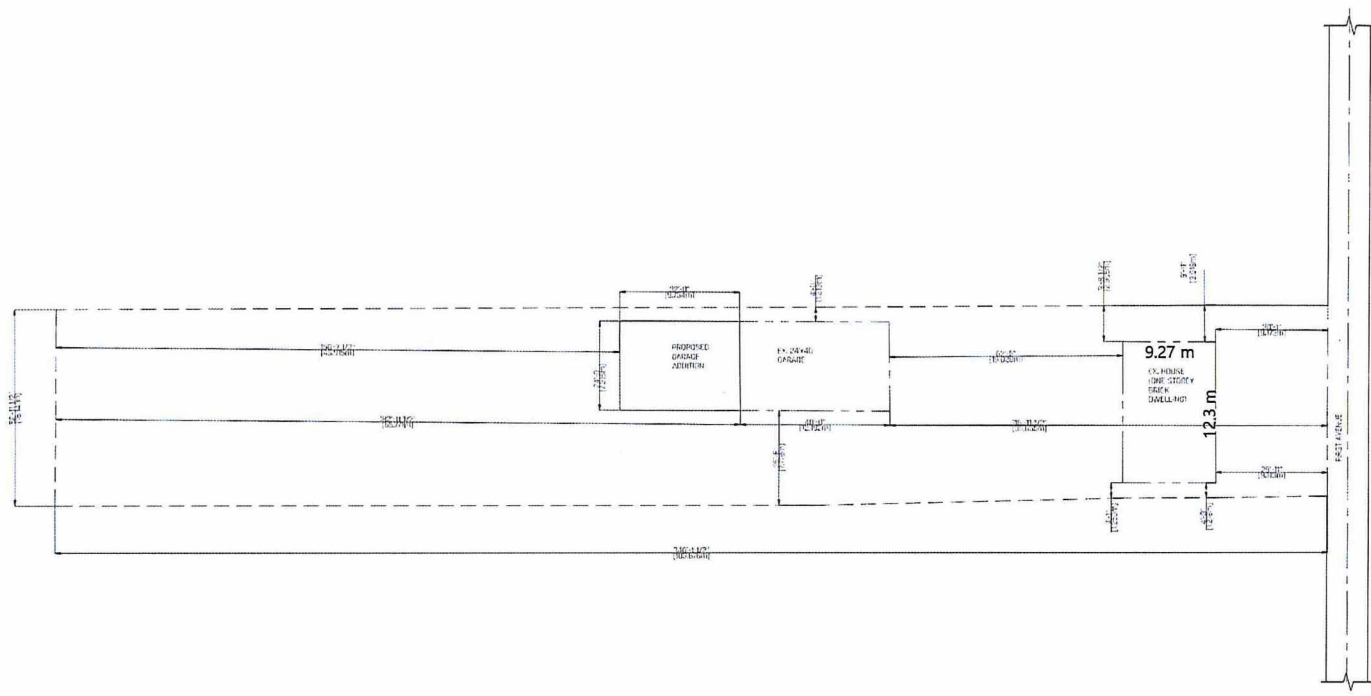
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Addition to detached garage	No	71.349	71.349	1	7.315	9.754	6.187	47.847	45.915	1.213	7.778

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Family Dwelling	No	123.2	123.2	1	12.6	9.58	6.096	19.113	86.991	2.966	1.219
Detached garage	No	89.186	89.186	1	7.315	12.192	5	35.615	55.77	1.213	7.778

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
By-law 2010-100Z 4.2.4.(a)	5 m	6.187 m	1.187 m



9.27 m

**PRELIMINARY
NOT FOR CONSTRUCTION**



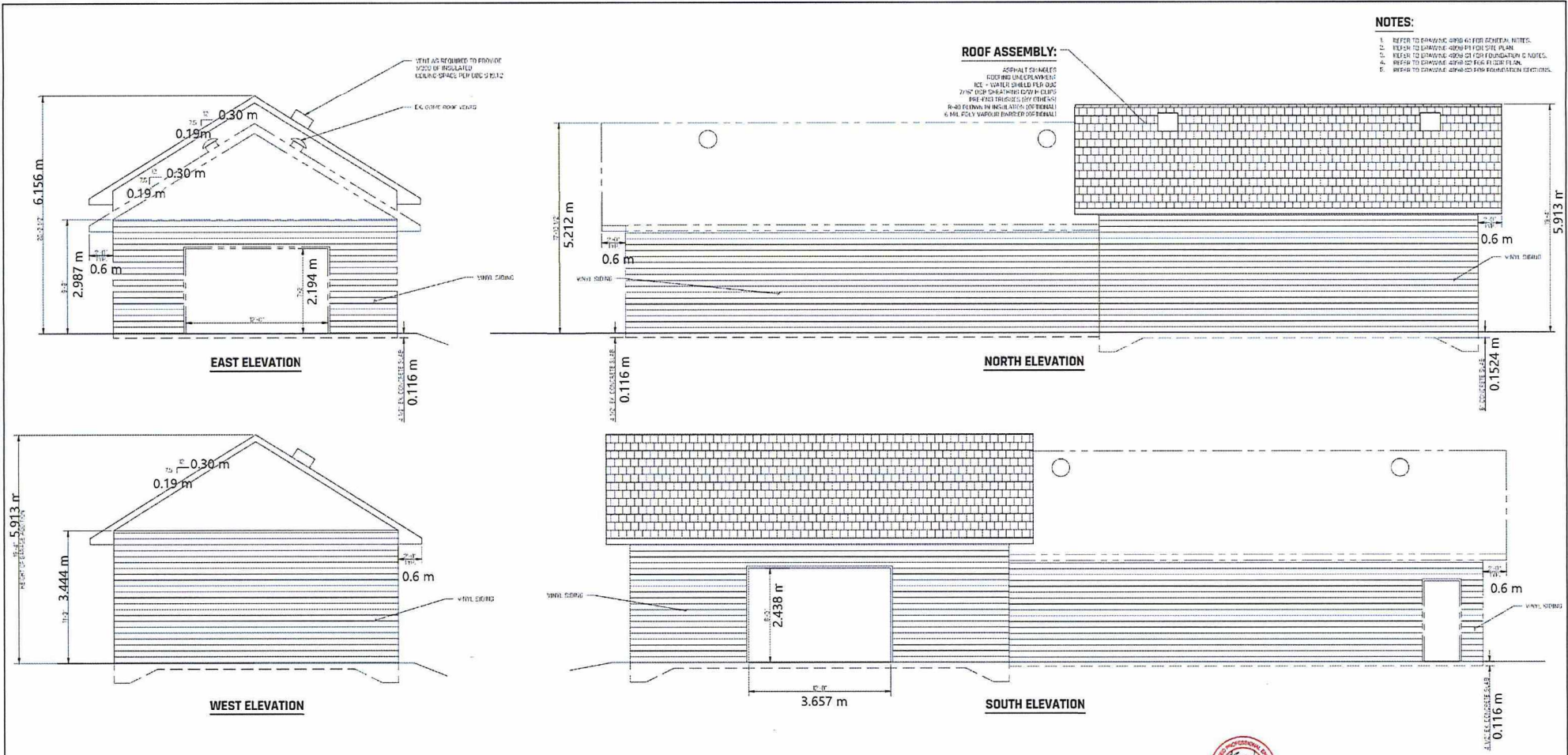
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REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			A	ISSUE FOR REVIEW	M.B.		

CLIENT NAME		KYLE ARZENI	
SITE		117 FIRST AVENUE, SUDBURY, ON	
PROJECT DESCRIPTION		GARAGE ADDITION	
DRAWING DESCRIPTION		SITE PLAN	
DRAWN BY	DATE DRAWN	CHECKED BY	DATE CHECKED
M. BELANGER	2025-08-21		
APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER
		1/16"=1'-0"	4898-P1
REVISION			
A			

PL-MV-2025-00153

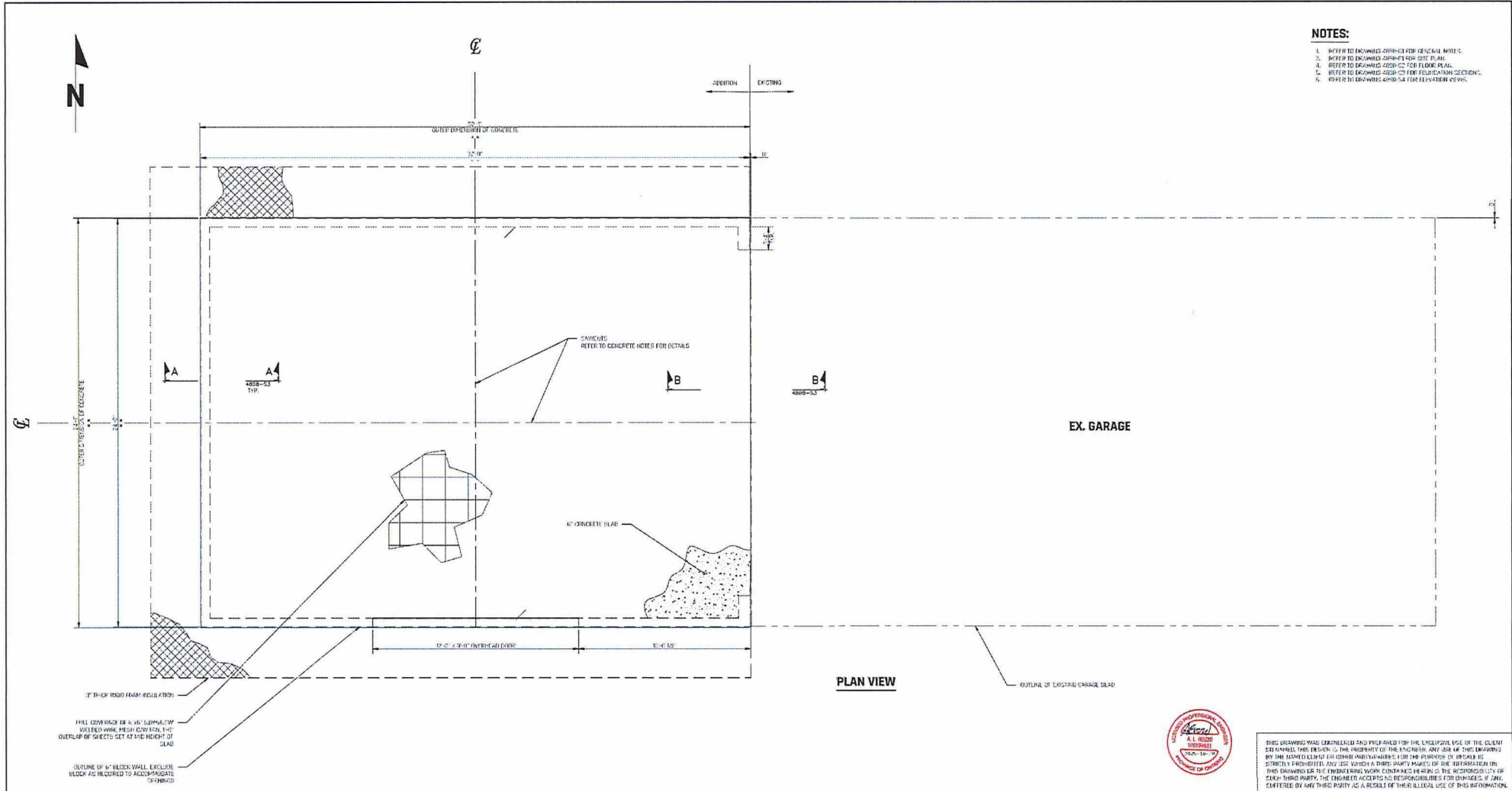
Sketch *2*



REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APPD BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20

		CLIENT NAME	KYLE ARZENI					
		SITE	117 FIRST AVENUE, SUDBURY, ON					
		PROJECT DESCRIPTION	GARAGE ADDITION					
		DRAWING DESCRIPTION	ELEVATION VIEWS					
DRAWN BY	DATE DRAWN	CHECKED BY	DATE CHECKED	APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER	REVISION
M. BELANGER	2025-10-10	M. JOYAL	2025-10-20	A. BOZZO	2025-10-20	1/4"=1'-0"	4898-S4	0

PL-MV-2025-00153
 Sketch 3



- NOTES:**
1. REFER TO DRAWING OBJECT FOR DESIGN NOTES.
 2. REFER TO DRAWING OBJECT FOR SITE PLAN.
 3. REFER TO DRAWING OBJECT FOR FLOOR PLAN.
 4. REFER TO DRAWING OBJECT FOR ELEVATION SECTIONS.
 5. REFER TO DRAWING OBJECT FOR ELEVATION VIEWS.



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REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			D	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20



CLIENT NAME		KYLE ARZENI	
SITE		117 FIRST AVENUE, SUDBURY, ON	
PROJECT DESCRIPTION		GARAGE ADDITION	
DRAWING DESCRIPTION		FOUNDATION & NOTES	
DRAWN BY	DATE DRAWN	CHECKED BY	DATE CHECKED
M. BELANGER	2025-09-21	M. JOYAL	2025-10-20
APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER
A. BOZZO	2025-10-20	3/8"=1'-0"	4898-S1
REVISION			
0			



NOTES:

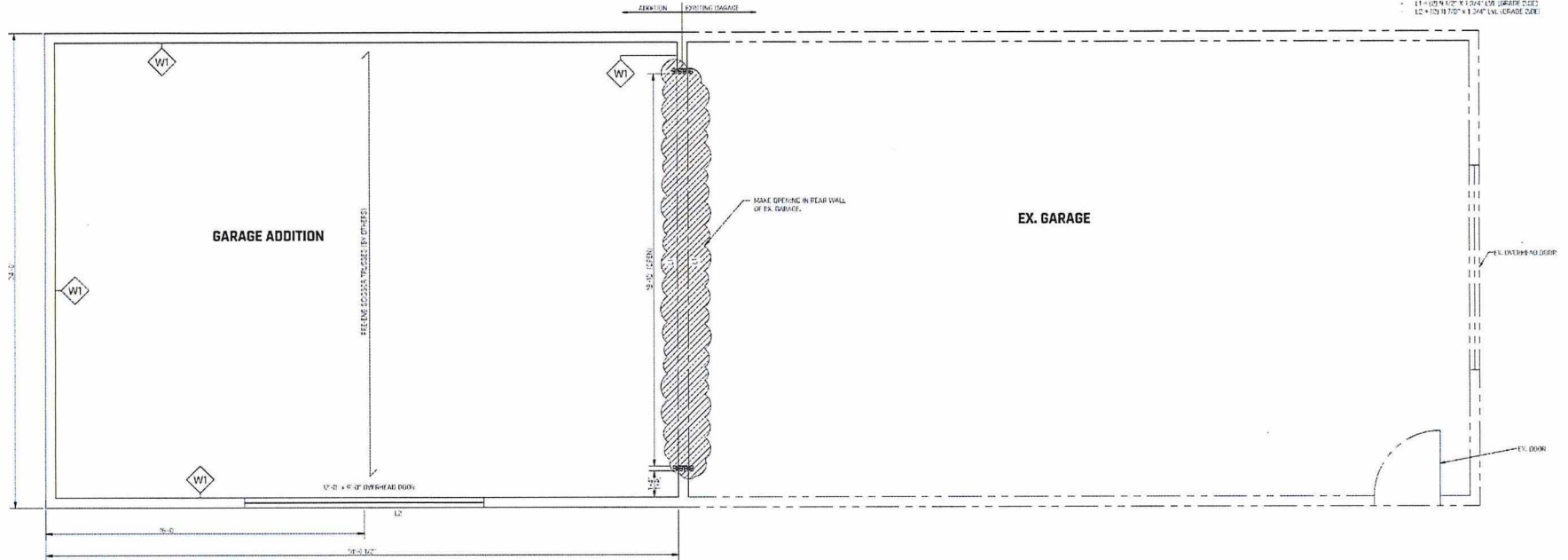
1. REFER TO DRAWING SPECIFICATIONS FOR GENERAL NOTES.
2. REFER TO DRAWING SPECIFICATIONS FOR FLOOR PLAN.
3. REFER TO DRAWING SPECIFICATIONS FOR FOUNDATION PLAN.
4. REFER TO DRAWING SPECIFICATIONS FOR FOUNDATION ELEVATIONS.
5. REFER TO DRAWING SPECIFICATIONS FOR ELEVATION VIEWS.

W1 WALL ASSEMBLY:

- 2" X 4" STUDS @ 16" ON CENTER
- 1/2" X 1/2" GYPSUM BOARD
- 2" X 4" STUDS @ 16" ON CENTER
- 1/2" X 1/2" GYPSUM BOARD
- 1/2" X 1/2" GYPSUM BOARD (OPTIONAL)
- 1/2" X 1/2" GYPSUM BOARD (OPTIONAL)
- 1/2" X 1/2" GYPSUM BOARD (OPTIONAL)

LINTEL SCHEDULE:

- L1 = 1" X 4" X 1/2" X 1/2" LINTEL (GARAGE DOOR)
- L2 = 1" X 4" X 1/2" X 1/2" LINTEL (GARAGE DOOR)



FLOOR PLAN



THIS DRAWING WAS ENGINEERED AND PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. ANY USE OF THIS DRAWING BY THE CLIENT OR OTHER PARTIES WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ENGINEER IS STRICTLY PROHIBITED. ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSE IS STRICTLY PROHIBITED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, INCURRED BY ANY THIRD PARTY AS A RESULT OF THEIR ILL-LEGAL USE OF THIS INFORMATION.

REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20



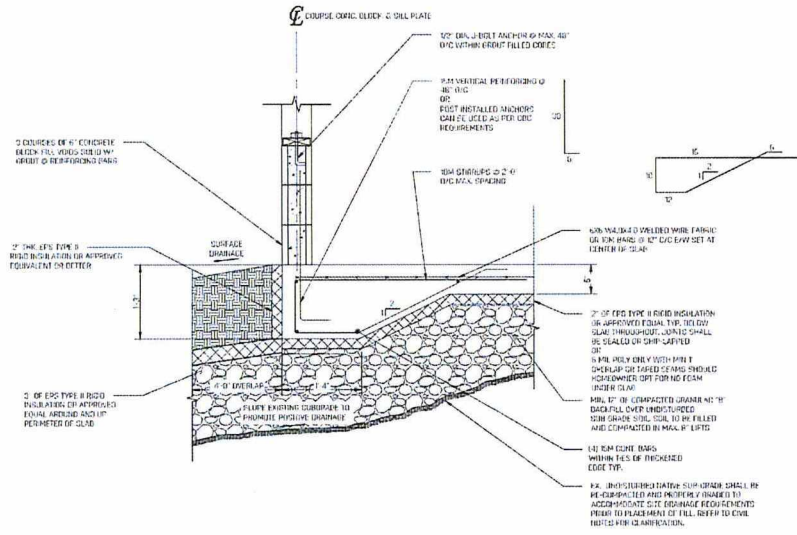
CLIENT NAME	KYLE ARZENI
SITE	117 FIRST AVENUE, SUDBURY, ON
PROJECT DESCRIPTION	GARAGE ADDITION
DRAWING DESCRIPTION	FLOOR PLAN
DRAWN BY	M. BÉLANGER
DATE DRAWN	2025-08-21
CHECKED BY	M. JOYAL
DATE CHECKED	2025-10-20
APPROVED BY	A. BOZZO
DATE APPROVED	2025-10-20
SCALE	3/8"=1'-0"
DRAWING NUMBER	4898-S2
REVISION	0

PL-MV-2025-00153

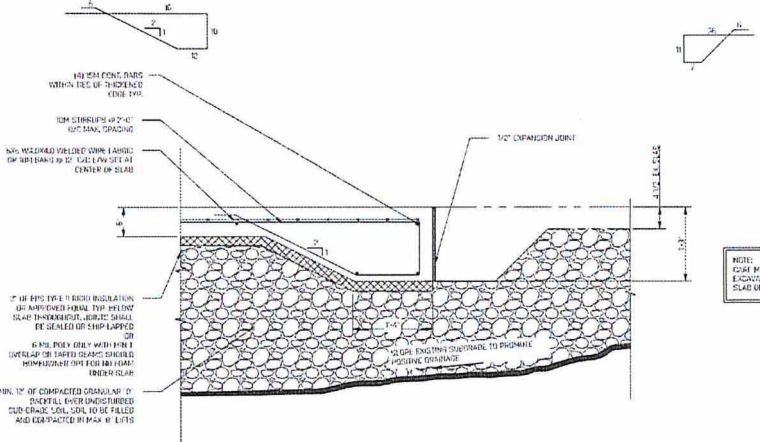
Sketch 6

- NOTES:**
- DESIGN AND CONSTRUCTION OF GARAGE FRAMING OTHERS AND SHALL COME WITH THE UTILITY RUNNING CODE DESIGN BY ENGINEER AND CONTRACTOR.
 - PERFORM THE INSTALLATION AS INDICATED IN RECOMMENDED PENETRATED DRAINAGE AND INSULATION FOR HEATED GARAGE. RAISED CURB TO SEAL OFF ALL PERMEABLE MATERIALS. PENETRATIONS SHALL BE SEaled WITH SUITABLE MATERIALS.
 - ENSURE NO FROST SUSCEPTIBLE MATERIALS BENEATH SLAB.

- NOTES:**
- REFER TO DRAWING 4898-04 FOR GENERAL NOTES.
 - REFER TO DRAWING 4898-01 FOR FLOOR SLAB.
 - REFER TO DRAWING 4898-01 FOR FOUNDATION & INTER.
 - REFER TO DRAWING 4898-01 FOR FLOOR PLAN.
 - REFER TO DRAWING 4898-04 FOR ELEVATION VIEWS.



SECTION A-A - TYPICAL SLAB DETAIL
SCALE: 1" = 1'-0"



SECTION B-B - SLAB DETAIL
SCALE: 1" = 1'-0"

NOTE: CARE MUST BE TAKEN WHEN EXCAVATING NOT TO UNDERMINE SLAB OF EXISTING GRADE.

REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20

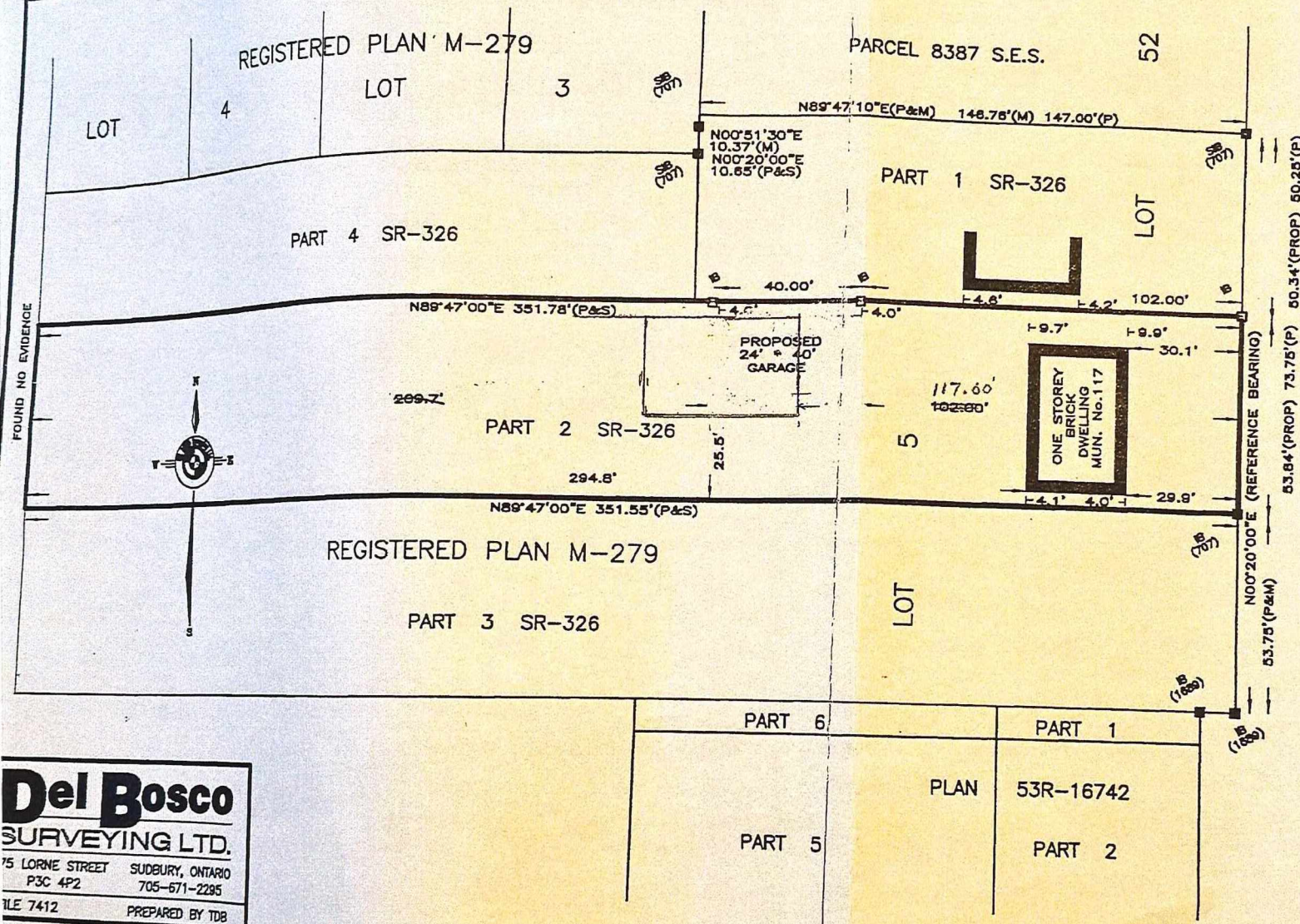
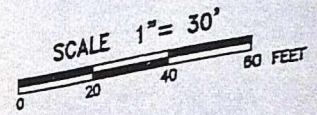


THIS DRAWING WAS ENGINEERED AND PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND SHALL BE THE PROPERTY OF THE ENGINEER. ANY USE OF THIS DRAWING BY THE CLIENT OR OTHER PARTIES FOR THE PURPOSES OF REUSE IS STRICTLY PROHIBITED. ANY USE OF THIS DRAWING BY ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ENGINEER SHALL BE AT THE USER'S SOLE RISK. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, ENTERED BY ANY THIRD PARTY AS A RESULT OF THEIR ILL-LEGAL USE OF THIS INFORMATION.

CLIENT NAME	KYLE ARZENI
DATE	117 FIRST AVENUE, SUDBURY, ON
PROJECT DESCRIPTION	GARAGE ADDITION
DRAWING DESCRIPTION	FOUNDATION SECTIONS
DRAWN BY	M. BÉLANGER
DATE DRAWN	2025-08-21
CHECKED BY	M. JOYAL
DATE CHECKED	2025-10-20
APPROVED BY	A. BOZZO
DATE APPROVED	2025-10-20
SCALE	AS NOTED
DRAWING NUMBER	4898-S3
REVISION	0

ORIGINAL
DO NOT REMOVE
PROJECT # AR-1054

SKETCH SHOWING LOCATION
OF
PROPOSED GARAGE
PART 2, PLAN SR-326
GEOGRAPHIC TOWNSHIP OF NEE
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TERRY DEL BOSCO, O.L.S.
2007



LEGEND

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT SET
▬	DENOTES STANDARD IRON BAR
▬	DENOTES SHORT STANDARD IRON BAR
⊕	DENOTES IRON BAR
⊕	DENOTES ROCK BAR
⊕	DENOTES ROCK PLUG
⊕	DENOTES MEASURED SET
⊕	DENOTES NO VISIBLE MARKINGS
⊕	DENOTES WITNESS MONUMENT
⊕	DENOTES PROPORTIONED
⊕	DENOTES PROPERTY IDENTIFIER NUMBER
1855	DENOTES TERRY DEL BOSCO, O.L.S.
707	DENOTES R. T. LANE, O.L.S.
1888	DENOTES A. BORTOLUSSI, O.L.S.
1542	DENOTES J. A. COLE, O.L.S.
P	DENOTES PLAN SR-326
⊕	DENOTES NOT TO SCALE

Del Bosco
SURVEYING LTD.
75 LORNE STREET SUDBURY, ONTARIO
P3C 4P2 705-671-2285
FILE 7412 PREPARED BY TDB

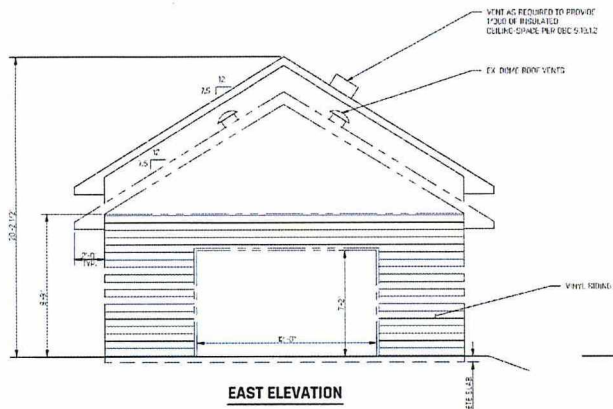
PL-MV-2025-00153

Sketch 8

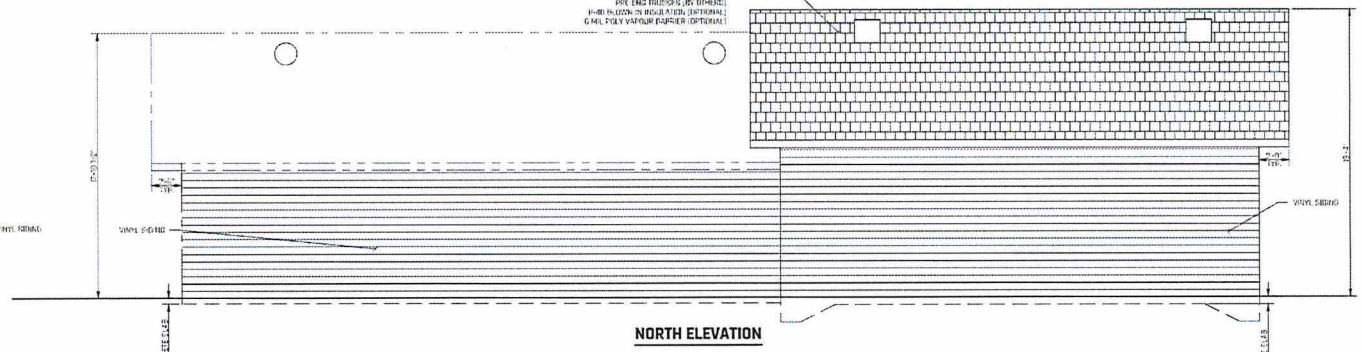
- NOTES:**
1. REFER TO DRAWING 4898-S4 FOR GENERAL NOTES.
 2. REFER TO DRAWING 4898-S1 FOR SITE PLAN.
 3. REFER TO DRAWING 4898-S3 FOR FOUNDATION & DETAILS.
 4. REFER TO DRAWING 4898-S4 FOR FLOOR PLAN.
 5. REFER TO DRAWING 4898-S3 FOR FOUNDATION DETAILS.

ROOF ASSEMBLY:

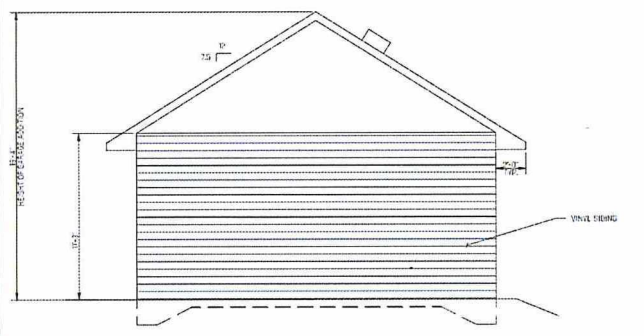
ASPHALT SHINGLES
 1/2" OSB SHEATHING
 1" X 4" WOOD RAFTERS
 1" X 6" WOOD CEILING JOISTS
 1" X 6" WOOD BRACES (IF APPLICABLE)
 1" X 6" WOOD STUDS (OPTIONAL)
 6-MIL POLY VAPOR BARRIER (OPTIONAL)



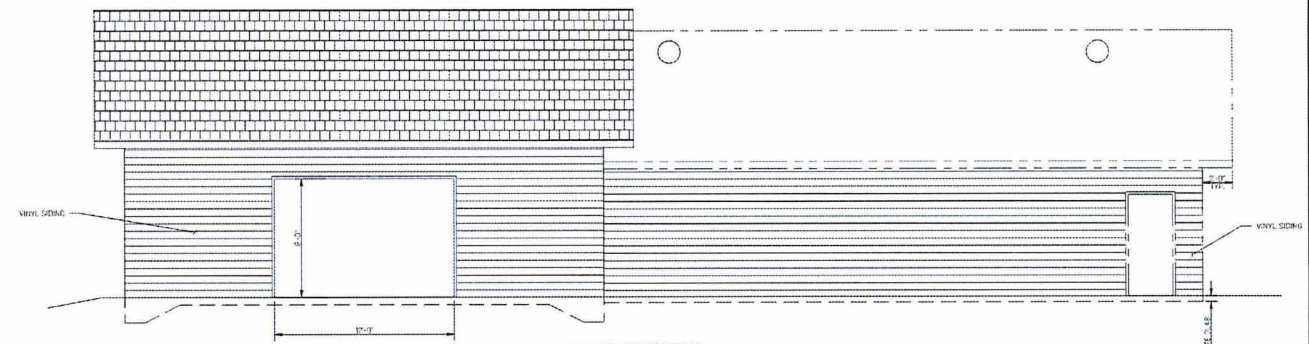
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



THIS DRAWING WAS ENGINEERED AND PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND HIS PROPERTY. THIS DRAWING IS THE PROPERTY OF THE ENGINEER AND USER OF THIS DRAWING BY THE REVISED CLIENT OR OTHER PARTY. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS STRICTLY PROHIBITED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF THEIR ILLICIT USE OF THIS INFORMATION.

REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20



CLIENT NAME: **KYLE ARZENI**
 SITE: **117 FIRST AVENUE, SUDBURY, ON**
 PROJECT DESCRIPTION: **GARAGE ADDITION**
 DRAWING DESCRIPTION: **ELEVATION VIEWS**

DRAWN BY	DATE DRAWN	CHECKED BY	DATE CHECKED	APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER	REVISION
M. BÉLANGER	2025-10-10	M. JOYAL	2025-10-20	A. BOZZO	2025-10-20	1/4"=1'-0"	4898-S4	0

PL-MV-2025-00153
 Sketch 9



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00155

APPLICATION SUMMARY

File Date: 11/03/2025

Application Type: Minor Variance

Address(es): 1385 Regent Street, Sudbury P3E 3Z1

Applicant(s): DALRON HOMES

Owner(s): AMBERWOOD REAL ESTATE INC.

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
August 31, 2011

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
90

What is the number of proposed new dwelling units on the property?
0

What is the number of proposed new buildings/structures on the property?
0

What is the number of existing buildings/structures on the property?
1

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Regional Corridor

Current Official Plan designation (additional)

Current Zoning By-law designation

C2(34), C2(63), R3-1

Provide a detailed description of what is being proposed

Request to remove the required fence along the the west property line.

Request to remove the fence along the South property line.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

See Schedule A

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

88.88

Lot Depth of the property

78

Lot Area of the property

5989

Total width of the public road giving access to the property

30

List all buildings and structures on the property and their respective date of construction

2014

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Retirement home since 2003

Is the use remaining the same? If no, please provide the proposed new use

no change

Existing uses of neighbouring properties

South: Commercial

North: Commercial

West: R3-1 Nesbit Towers. Multiple apartment units.

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
----------------------	------------------	---------------------------------	--------------------------------	----------------------------	--------------------	---------------------	---------------------	---------------------------------	--------------------------------	--------------------------------	--------------------------------------

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
3 story, 90 bed retirement home	No	2008	7026	3	68	21	10	16	10	3.47	3.3

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.15.5 - Planting Strip - Contents	Screening devices in the form of a continuous row of trees, a continuous hedgerow of evergreens, bushes or shrubs, or berm, a wall, or a fence must be provided in Planting Strip	No screening device	N/A

SCHEDULE “A”

Subject Property:

1385 Regent Street – The Amberwood Suites (TAS)

A three (3) story, ninety (90) bed retirement home.

Zoning By-law 4.15.4 and 4.15.5 – Planting Strip – Location and Contents

Requirement:

A 3.0-metre-wide planting strip (*or fence*) adjacent to the full length of the lot line shall be required:

- (i) Where the lot line of a non-residential lot, other than a lot containing an open space use or a lot in an Industrial Zone, abuts a residential lot or a lot in a Residential Zone.

Required planting strips shall contain one or more of the following screening devices: A fence.

Relief Requested:

Relief is requested from **Zoning By-law Section 4.15.5 – Planting Strip - Contents** for the installation of a 1.5m (5.0') fence along the west lot line for the following reasons:

1. Nature of Use:

The subject property abuts lands that are zoned **R3-1**, and while the subject property is zoned non-residential, the existing use as a **retirement home** is *residential in character*. This use is permitted within the residential (R4) zoning category. Accordingly, the intent of the planting strip provision—to provide visual and functional buffering between dissimilar uses—is effectively maintained without the need for a formal planting strip/fence (see Appendences 1 and 2).

2. Topography of Adjacent Site:

The abutting property **consists of several multi-residential apartment buildings, each over six (6) stories** in height, with the closest building being located **more than 20 metres** from the lot line requiring the fence. Further they are situated at a much **higher elevation** than the subject property. Due to the location and the **topographical difference**, a fence would **not achieve the intended screening effect** between the two properties (see Appendix 2).

3. Site Conditions and Screening Effectiveness:

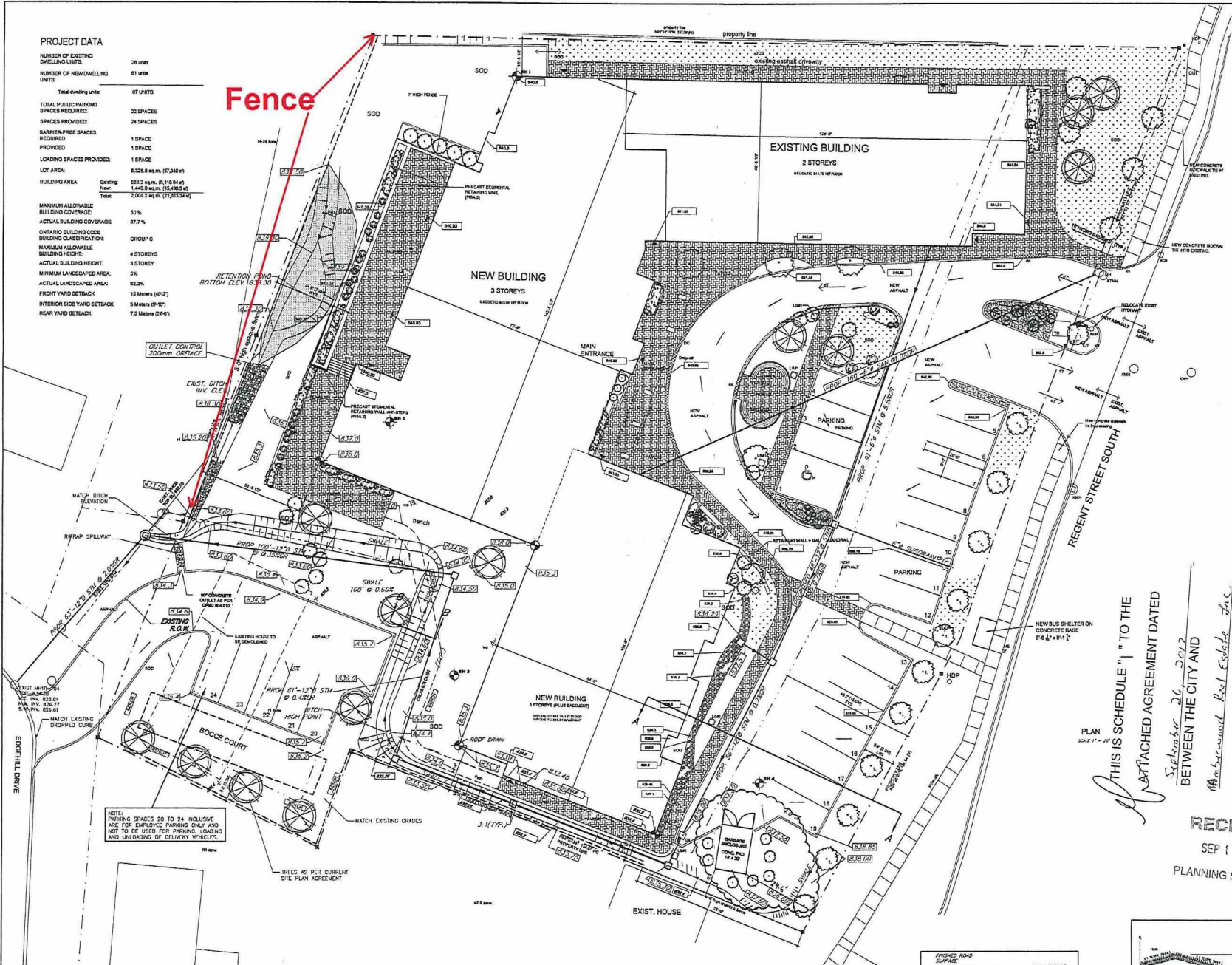
The proposed fence location would be **along the property line**, which lies within the **lowest point of the existing drainage swale**. A **1.5 m (5.0 ft)** fence in this location would **not provide effective screening** as intended by the By-law.

In consideration of the above, we respectfully submit that the requested relief is **minor in nature**, **maintains the intent and purpose** of the By-law, and will **not adversely impact** adjacent properties or the surrounding area. The proposed approach provides a practical and appropriate solution given the existing site conditions and topography.

PROJECT DATA

NUMBER OF EXISTING DWELLING UNITS:	28 UNITS
NUMBER OF NEW DWELLING UNITS:	81 UNITS
Total dwelling units:	109 UNITS
TOTAL PUBLIC PARKING SPACES REQUIRED:	23 SPACES
SPACES PROVIDED:	24 SPACES
BARBER-FREE SPACES REQUIRED:	1 SPACE
PROVIDED:	1 SPACE
LOADING SPACES PROVIDED:	1 SPACE
LOT AREA:	6,326.8 sq.m. (15,240 sq.ft.)
BUILDING AREA:	Existing: 229.2 sq.m. (5,193.84 sq.ft.) New: 1,440.0 sq.m. (15,616.5 sq.ft.) Total: 2,669.2 sq.m. (57,810.34 sq.ft.)
MAXIMUM ALLOWABLE BUILDING COVERAGE:	55%
ACTUAL BUILDING COVERAGE:	37.7%
ONTARIO BUILDING CODE BUILDING CLASSIFICATION:	GROUP C
MAXIMUM ALLOWABLE BUILDING HEIGHT:	4 STOREYS
ACTUAL BUILDING HEIGHT:	3 STOREY
MINIMUM LANDSCAPED AREA:	5%
ACTUAL LANDSCAPED AREA:	62.3%
FRONT YARD SETBACK:	15 Metres (49'-2")
INTERIOR SIDE YARD SETBACK:	3 Metres (9'-0")
REAR YARD SETBACK:	7.5 Metres (24'-6")

Fence



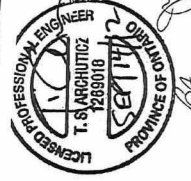
LEGEND

PROPERTY LINE	---
EXIST. FIRE HYDRANT	⊗
FIRE DOTT. CONNECTION	○
NEW CONCRETE CURB TO BE SHOWN	▬
EXIST. CONCRETE CURB TO REMAIN	▬
NEW (DOUBLE HATCH) CATCH BASIN	⊞
NEW CATCH BASIN	⊞
NEW MANHOLE / CATCH BASIN	⊞
NEW MANHOLE	⊞
EXIST. SPOT ELEVATION	⊞
NEW SPOT ELEVATION	⊞
BUILDING ELEVATION	⊞
BONE HOLE REFER TO TERRAIN/USE SOIL SHEET	⊞
STANDARD RIB BAR	▬
CURB CUT	▬
CONCRETE LIMIT PAVERS	▬
SOD	▬
LANDSCAPING	▬
NEW BUILDING FOOTPRINT	▬
EXIST. TREES TO REMAIN	⊞
NEW TREE OR BUSH	⊞
EXISTING LIGHT STANDARD	⊞
LIGHT STANDARD	⊞
EXIST. CATCH BASIN	⊞
CONCRETE FILLED STEEL ROLLWAY	⊞
RAIN WATER LEADER	⊞
UTILITY POLE	⊞
VALVE BOX	⊞
CABLE TELEPHONE / GAS METER	⊞
WALL MOUNTED LIGHT FIXTURE	⊞
LIGHT FIXTURE (S.M.)	⊞
RIP RAP	▬

No.	Revision / Notes
1	ISSUED FOR PERMIT
2	REVISED PER CITY
3	REVISED PER CITY
4	REVISED PER CITY
5	REVISED PER CITY
6	REVISED PER CITY
7	REVISED PER CITY
8	REVISED PER CITY
9	REVISED PER CITY
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28	REVISED PER CITY
29	REVISED PER CITY
30	REVISED PER CITY

NOTE: PARKING SPACES 20 TO 24 INCLUSIVE ARE FOR EMPLOYEE PARKING ONLY AND NOT TO BE USED FOR PARKING, LOADING AND UNLOADING OF DELIVERY VEHICLES.

THIS IS SCHEDULE "1" TO THE ATTACHED AGREEMENT DATED September 26, 2012 BETWEEN THE CITY AND [Signature]



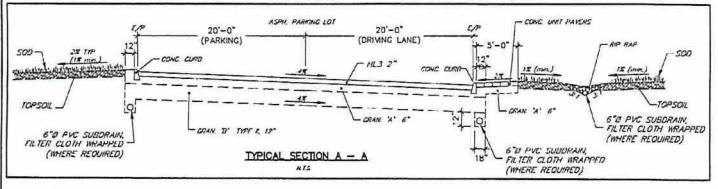
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SEP 14 2012
PLANNING SERVICES

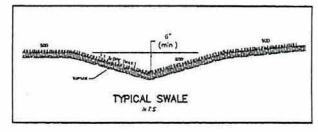
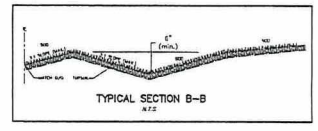
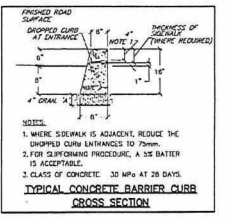
C. ASTELLAR JAMES & PARTNERS
ARCHITECTS & ENGINEERS
288 LESLIE STREET, SUITE 200, TORONTO, ONT. M4M 1B2

BREEZES RETIREMENT RESIDENCE PHASE II SUBURBY, ONTARIO
SITE PLAN, LEGEND & LIST OF DRAWINGS

Drawn by: [Name]
Checked by: [Name]
Project: [Name]
Scale: 1/8" = 1'-0"
Date: 10/04/12
Drawing No: C-1



GENERAL NOTES
LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE ONLY AND MUST BE CONFIRMED IN THE FIELD.
ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE ONTARIO PROVISIONAL STANDARDS DRAWINGS AND SPECIFICATIONS AND CITY OF GREATER TORONTO SUPPLEMENTAL SPECIFICATIONS AND STANDARD DRAWINGS.
NO EXISTING UTILITIES SHALL BE CUT OR REMOVED UNLESS SO ORDERED BY THE CITY. THE KEY SECTION SHALL BE TESTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER BEFORE CONNECTION TO THE EXISTING PLANT ON THE BASE.
ALL SANITARY WARE SHALL BE PVC 200.25. ALL WATERTIGHT PVC SHALL BE PVC DRIP-CLOSE WEAVING WARP CURB.
ALL SANITARY SEWERS AND WATERTIGHT SEWERS SHALL BE AS PER 0220-102710.
ALL WARE SHALL BE AS PER 0220-102710.
CONSTRUCTION NOTES
1. SPOT ELEVATIONS ON ASPHALT REFER TO FINISHED ASPHALT ELEVATION.

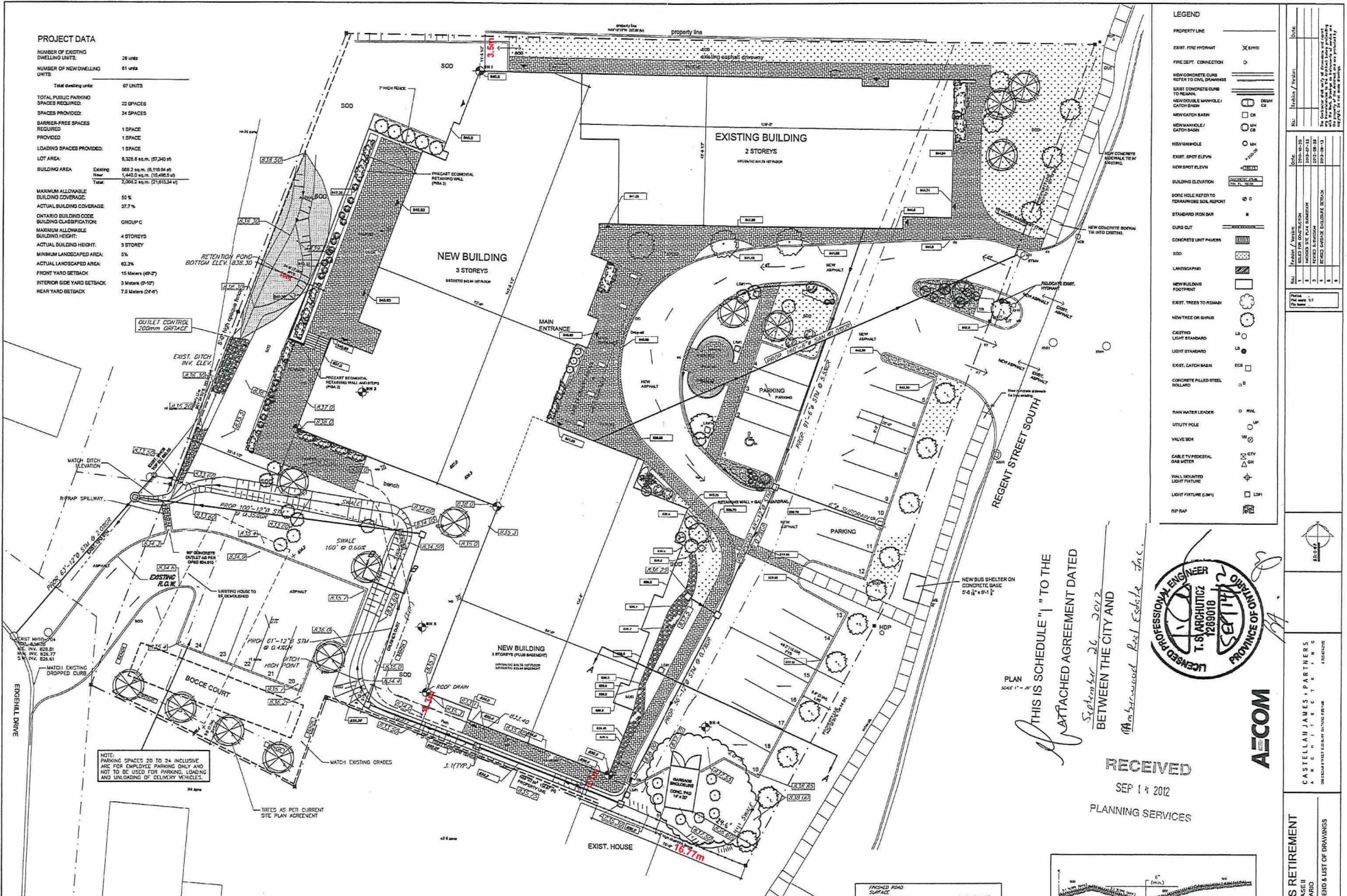


PL-MV-2026-00155

Sketch 2

PROJECT DATA

NUMBER OF EXISTING DWELLING UNITS	28 UNITS
NUMBER OF NEW DWELLING UNITS	61 UNITS
Total dwelling units	89 UNITS
TOTAL PUBLIC PARKING SPACES REQUIRED	22 SPACES
SPACES PROVIDED	24 SPACES
BARRIER-FREE SPACES REQUIRED	1 SPACE
PROVIDED	1 SPACE
LOADING SPACES PROVIDED	1 SPACE
LOT AREA	6,326.84 sq.m. (15,240 sq.ft.)
BUILDING AREA	Existing: 269.7 sq.m. (5,818.54 sq.ft.) New: 1,440.0 sq.m. (15,496.54 sq.ft.) Total: 2,109.7 sq.m. (45,315.08 sq.ft.)
MAXIMUM ALLOWABLE BUILDING COVERAGE	50 %
ACTUAL BUILDING COVERAGE	33.7 %
ONTARIO BUILDING CODE BUILDING CLASSIFICATION	GROUP C
MAXIMUM ALLOWABLE BUILDING HEIGHT	3 STOREYS
ACTUAL BUILDING HEIGHT	3 STOREYS
MINIMUM LANDSCAPED AREA	5%
ACTUAL LANDSCAPED AREA	62.2%
FRONT YARD SETBACK	15 Meters (49'-2")
INTERIOR SIDE YARD SETBACK	3 Meters (9'-0")
REAR YARD SETBACK	7.5 Meters (24'-6")



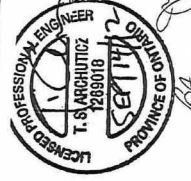
LEGEND

PROPERTY LINE	---
EXIST. FIRE HYDRANT	⊗
FIRE DUCT CONNECTION	○
NEW CONCRETE CURB REFER TO THIS DRAWING	▬
SOFT CONCRETE CURB TO REMAIN	▬
NEW/EXIST. MANHOLE/CATCH BASIN	⊕
NEW/EXIST. MANHOLE/CATCH BASIN	⊕
NEW/EXIST. MANHOLE/CATCH BASIN	⊕
NEW/EXIST. ELEVATION	±
NEW/EXIST. ELEVATION	±
BUILDING ELEVATION	±
BONE HOLE REFER TO TEMPORARY SOIL SHEET	⊕
STANDARD FINISH	▬
CURB CUT	▬
CONCRETE LIMIT PAVERS	▬
SOD	▬
LANDSCAPING	▬
NEW BUILDING FOOTPRINT	▬
EXIST. TREES TO REMAIN	⊕
NEW TREE OR BURLAP	⊕
EXISTING LIGHT STANDARD	⊕
LIGHT STANDARD	⊕
EXIST. CATCH BASIN	⊕
CONCRETE FILLED STEEL COLLAR	⊕
RAIN WATER LEADER	⊕
UTILITY POLE	⊕
VALVE BOX	⊕
CABLE TELEPHONE GAS METER	⊕
WALL MOUNTED LIGHT FIXTURE	⊕
LIGHT FIXTURE (L.S.F.)	⊕
REP/REP	⊕

No.	Revised / Added	Date
1	ISSUED FOR PERMIT	2025-09-14
2	ISSUED FOR PERMIT	2025-09-14
3	ISSUED FOR PERMIT	2025-09-14

NOTE: PARKING SPACES 20 TO 24 INCLUSIVE ARE FOR EMPLOYEE PARKING ONLY AND NOT TO BE USED FOR PARKING, LOADING AND UNLOADING OF DELIVERY VEHICLES.

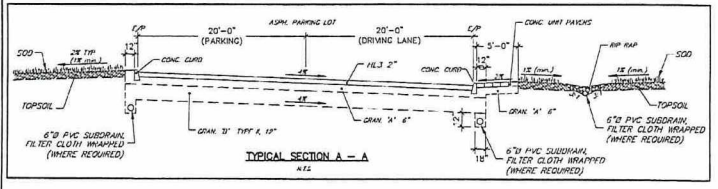
THIS IS SCHEDULE "1" TO THE ATTACHED AGREEMENT DATED September 26, 2022 BETWEEN THE CITY AND A.M. Incorporated Real Estate Inc.



AECOM

CASTELLAN JAMES & PARTNERS
ARCHITECTS
200 HURONTARIO STREET SUITE 1000
TORONTO, ONTARIO M5S 1B5
TEL: 416-593-8888
WWW.CASTELLAN.COM

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GENERAL NOTES

LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE ONLY AND MUST BE CONFIRMED IN THE FIELD.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO PROVISIONAL STANDARDS DRAWINGS AND SPECIFICATIONS AND CITY OF GREATER TORONTO SUPPLEMENTAL SPECIFICATIONS AND STANDARD DRAWINGS.

NO CONSTRUCTION SHALL BE UNDERTAKEN UNTIL THE CITY HAS ISSUED A PERMIT TO CONSTRUCT. ALL WORK SHALL BE TESTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER BEFORE CONNECTION TO THE CITY'S PLANT CAN TAKE PLACE.

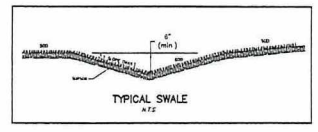
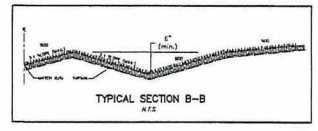
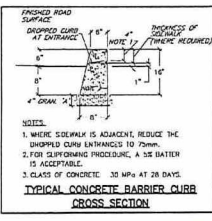
ALL SANITARY WARE SHALL BE PVC 800. ALL WATERMAIN PVC SHALL BE PVC 800-1000. ALL WATER MAIN SHALL BE 150mm (6") DIA. UNLESS OTHERWISE SPECIFIED.

ALL SHIELDING SHALL BE AS PER 0205-100.00.

ALL NEW WORK SHALL BE AS PER 0205-100.00.

CONSTRUCTION NOTES:

1. SPOT ELEVATIONS ON ADJACENT PLOTS TO INDICATE EXISTING ELEVATION.



BREEZES RETIREMENT
REFERENCE PHASE II
SUBURBY, ONTARIO
SITE PLAN, LEGEND & LIST OF DRAWINGS

Drawn by: M
Checked by: M
Project: 2025-09-14
Scale: AS SHOWN
Drawing No.: C-1

PL-MV-2025-00165 sketch 3

1385 Regent Street Appendix 2

Legend





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00157

APPLICATION SUMMARY

File Date: 11/04/2025

Application Type: Minor Variance

Address(es): 216 Nolin Street, Sudbury P3C 2V5

Applicant(s): LATOURELLE CARPENTRY

Owner(s): ROGER DOUCET AND EVA MARIE DOUCET

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Sept 10, 2004

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

3

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

2

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

New Main deck higher than 1.2 meters needs to be constructed less than the minimum setback

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

to match current upstairs unit exit landing, which is preexisting and less than the minimum setback

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

12.17

Lot Depth of the property

35.05

Lot Area of the property

427.35

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

shed 50+ years

house 50+ years

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

residential apartments

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

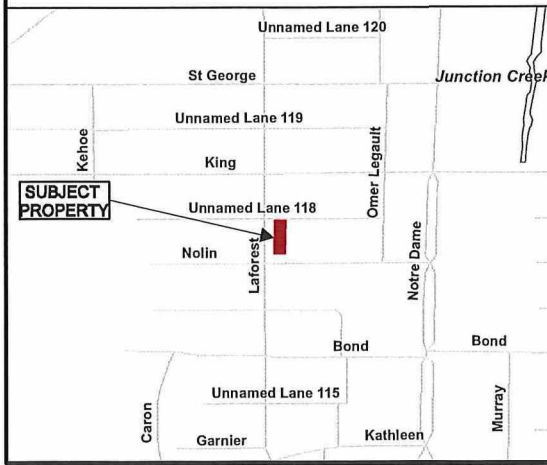
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Deck leading to upper unit main deck is 13.37 m2 lower landing is roughly 1.5 m2	No	1.48	14.85	1	3.58	3.73	2.8	16.56	12.01	0.8	7.9
main level deck	Yes	4.173	4.173	1	1.67	2.49	1.21	16.57	15.53	5.66	2.97

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	171.2976	513.8928	2	8.356	10.48	9.144	6.1	18.28	1.85	0.81
shed	No	17.59	17.59	1	3.2	5.6	2.2	31.9	0	5.08	1.52

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Side yard setback - Upper Deck	1.2m from lot line for an uncovered deck above 1.2m	0.8m from lot line	0.4
Side yard setback - stairs and landing	1.8m	0.8m	1.0m



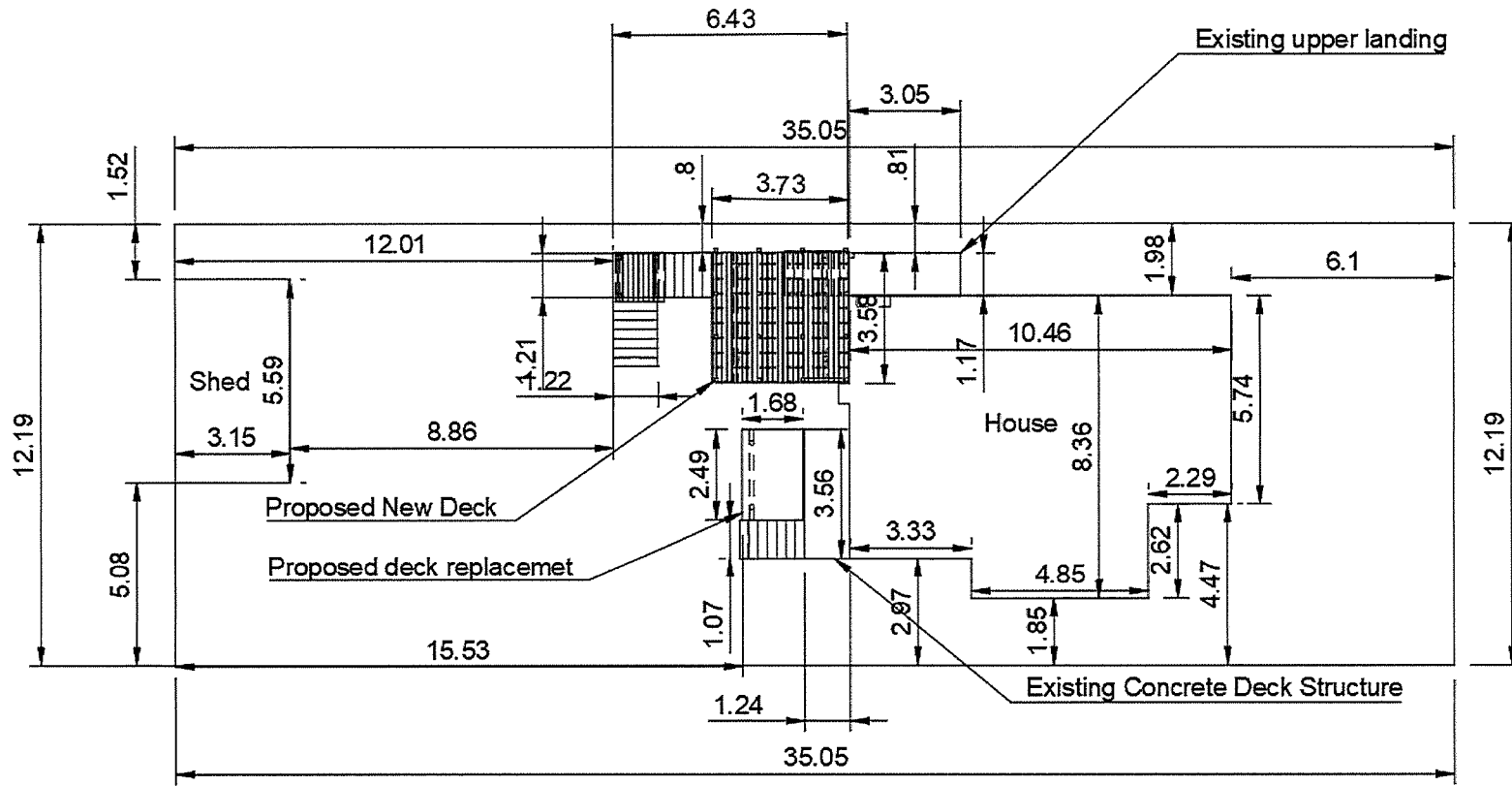
Application for Minor Variance or Permission

N

Subject Property being PIN 02133-0050,
 Lot 39, Plan 18-SB,
 Part Lot 5, Concession 4,
 Township of McKim,
 216 Nolin Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 MNR

PL-MV-2025-00157
 Date: 2025 11 10



Laforest Ave

Nolin St

Dept.	Technical reference	Created by mike Latourelle 11/7/2025	Approved by	
		Document type	Document status	
		Title 216 Nolin	DWG No.	
Rev.	Date of issue	Sheet		
		1/1		

PL-MV-2025-00157

Sketch 2