

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

November 26, 2025

PUBLIC HEARINGS

PL-MV-2025-00127

LIAM DEACON

Ward: 2

PIN(s) 733770233, Parcel 22662 SEC SWS SRO, Lot 261, Plan M-923, Part Lot 7, Concession 5, Township of Waters, 240 Ninth Avenue, Lively, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsections 4.2.3 and 4.2.4, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage and a 1.8m high fence providing, firstly, accessory lot coverage of 14%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%, secondly, for the detached garage to be a maximum height of 5.18m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, thirdly, for the detached garage to be setback 2.0m from the corner side lot line with eaves encroaching an additional 0.3m into the proposed 2.0m corner side yard, where 4.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and fourthly, for the 1.8m high fence to provide no setback from the corner side lot line, where no encroachment is permitted and where a 4.5m setback from the corner side lot line is required.

PL-MV-2025-00147

**PAT HEAPHY
STACEY HEAPHY**

Ward: 11

PIN(s) 735810034, Parcel 50476 SEC SES, Part Lot 2, Concession 3, Parts 4, 8, 9, 12, 13, 22, 23, 24, 25, 26 & 39, Plan 53R-13778, Township of McKim, 1257 North Shore Drive, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.41.2 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing single detached dwelling and to permit an existing pergola providing, firstly, a high water mark setback of 25.9m for the addition, where a residential building or other accessory building or structure shall be no closer than 30.0m to the high water mark, and secondly, a high water mark setback of 5.8m for the existing pergola, where a residential building or other accessory building or structure shall be no closer than 30.0m to the high water mark and where the only permitted structures within 20.0m of the high water mark are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0284/1989 (AUG 26/91) AND CONSENT APPLICATIONS B0529/1989 (AUG 26/91), B0011/1992 (APR 8/92) AND B0031/2000 (MAY 29/00).

PL-MV-2025-00152**SONYA ARCAND**

Ward: 7

PIN(s) 735090332, Part Lot 7, Concession 2, being Part 2, Plan 53R-19256, Township of Capreol, 4015 Dupuis Drive, Hanmer, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.10.3, d) and e) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an accessory building containing an additional dwelling unit, firstly, providing a 51.82m setback from the main building, where an additional dwelling unit located in a building accessory to a main building in an "RU", Rural zone shall be located no more than 30.0m from the main building, and secondly, to permit it to be in the front yard, where an accessory building containing an additional dwelling unit is only permitted in the rear and/or interior side yards.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0047/2005 (JUL 8/05), B0025/2010 AND B0026/2010 (APR 01/10)

PL-MV-2025-00153**KYLE ARZENI
MELISSA ARZENI**

Ward: 11

PIN(s) 735730079, Parcel 16387 SEC SES, Part Lot 5, Plan M-279, Part 2, Plan SR-328, Part Lot 12, Concession 4, Township of Neelon, 117 First Avenue, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate a 71.35 sq. m addition on the existing detached garage providing a height of 6.2m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m

PL-MV-2025-00155**AMBERWOOD REAL ESTATE INC.**

Ward: 1

PIN(s) 735960935, Part of Lot 7, Concession 1, as in LT63621, LT63721, LT68251 & LT68789, except LT69355, LT95108 & LT99279; Township of McKim, 1385 Regent Street, Sudbury, [By-law 2010-100Z, C2(63)]

For relief from Part 4, Section 4.15, subsection 4.15.5 of By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the existing planting strip adjacent to the rear lot on the western side abutting the R3-1 zone to provide no screening device, where required planting strips shall contain one or more screening devices in the form of a continuous row of trees, a continuous hedgerow of evergreens, bushes or shrubs, or berm, a wall, or a fence.

PREVIOUSLY THE SUBJECT OF MINOR VARIANCE APPLICATIONS A0111/2013 (SEP 11/13), A0062/1989 (MAR13/89), AND SIGN VARIANCE APPLICATIONS A0100/1972 (AUG 28/72) & A0165/1971 (NOV 22/21)

PL-MV-2025-00157

**ROGER DOUCET
EVA MARIE DOUCET**

Ward: 12

PIN(s) 021330050, Lot 39, Plan 18-SB, Part Lot 5, Concession 4, Township of McKim, 216 Nolin Street, Sudbury, [By-law 2010-100Z, R2-3]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a deck, stairs and landing on the eastern side of the existing dwelling providing, firstly, an interior side yard setback of 0.8m for the deck, where uncovered decks greater than 1.2m in height may encroach 1.2m into the interior side yard but no closer than 1.2m to the interior side lot line, and secondly, an interior side yard setback of 0.8m for the stairs and landing, where 1.8m is required.

**A reminder... the next scheduled meeting is
Wednesday, December 10, 2025 at the Lionel E. Lalonde Centre.**



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00127

APPLICATION SUMMARY

File Date: 08/28/2025

Application Type: Minor Variance

Address(es): 240 Ninth Avenue, Lively P3Y 1M6

Applicant(s): LIAM DEACON

Owner(s): LIAM DEACON

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

August 22, 2025

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Construct detached garage

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Existing shed, which is attached to neighbours shed on property with an existing retaining wall that cannot be removed. Proposed detached garage cannot be placed anywhere else on the property.

Is there an eave encroachment?

Yes

Size of eaves

0.3

Lot Frontage of the property

28.26

Lot Depth of the property

31

Lot Area of the property

745.2

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Single Family Dwelling - 1951

Existing Shed - 1951

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential - 1951

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

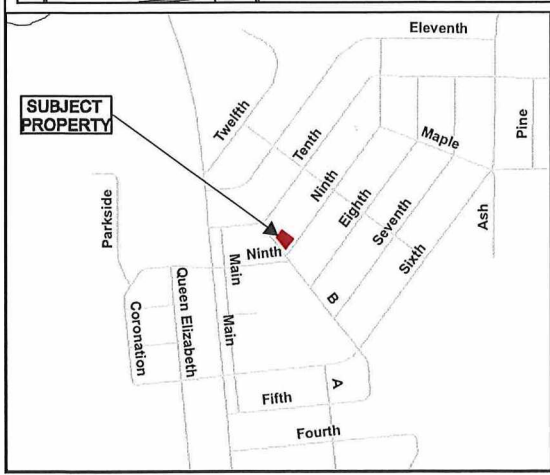
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage	No	80.269	80.269	1	7.315	10.972	5.18	22.83	1.2	7.1	2

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Family Dwelling	No	85.099	85.099	1	10.362	7.925	7	5.4	16.5	3.35	13.288
Shed	No	22.48	22.48	1	3.35	6.7	3.65	18.8	5.3	16.26	0

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height	5	5.18	0.18
Corner Yard Set Back	4.5	2	2.5
Eave Encroachment into Corner Sideyard	3.3	1.7	1.6
Accessory Lot Coverage	10%	13.8%	3.8%
Height of Fence in corner side yard	1 m	1.8 m	0.8 m



Application for Minor Variance or Permission



Subject Property being PIN 73377-0233,
 Parcel 22662 SEC SWS SRO,
 Lot 261, Plan M-923,
 Part Lot 7, Concession 5,
 Township of Waters,
 240 Ninth Avenue, Lively,
 City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00127
 NDCA Date: 2025 10 08



PHOTOGRAPHY • MULTIMEDIA

118 Regent Street
Sudbury, ON, P3C 4C2
www.crocodilepress.com

Permit

New Driveway & Garage

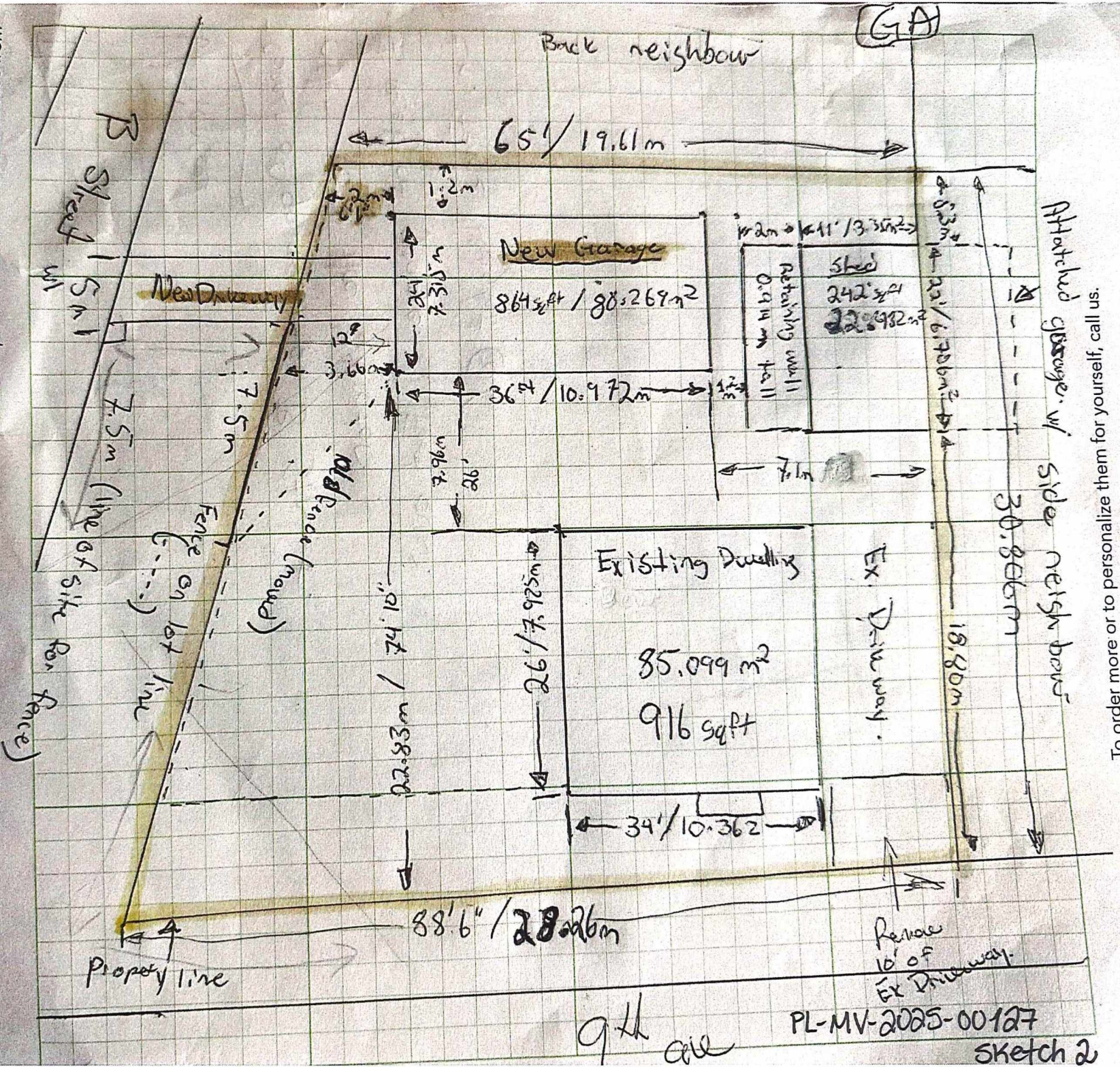
Variance

Corner of garage

to B St.
- Height of garage
over 10ft

Fence

over 80 products and services to choose from





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00147

APPLICATION SUMMARY

File Date: 10/08/2025

Application Type: Minor Variance

Address(es): 1257 North Shore Drive, Sudbury P3B 1E7

Applicant(s): KOMRI ENGINEERING

Owner(s): PAT HEAPHY AND STACEY HEAPHY

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

October 1st, 2025

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan

Intake Protection Zone - Ramsey

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

The proposal involves interior and exterior modifications to improve the overall functionality, efficiency, and livability of the existing dwelling. Inside, the bedroom and kitchen areas will be relocated to create a more practical and cohesive layout that better supports the daily needs of the occupants. These changes are intended to enhance comfort, accessibility, and circulation throughout the home while improving the overall use of available space.

In addition to the interior reconfiguration, the owners are proposing to construct a new second-storey addition at the front of the dwelling, positioned above the existing garage. This addition will provide additional living space and improved accommodation for the growing needs of the household, while maintaining the existing building footprint. The design has been developed to complement the existing architectural style and remain consistent with the character of the surrounding neighbourhood.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The proposal cannot fully comply with the requirements of Section 4.41 of the City's Zoning By-law, which restricts development within the 30.0 m and 20.0 m high water mark (HWM) setback areas. The proposed addition extends into these regulated areas and therefore requires relief from both setback provisions. The intent of the addition is to improve the functionality and livability of the dwelling without expanding the overall footprint toward the water beyond existing development patterns.

Due to the lot's limited depth and the position of the existing dwelling relative to the high-water mark, it is not possible to construct the proposed addition outside the 30.0 m and 20.0 m setback areas while maintaining a cohesive and practical interior layout. The relief sought will allow for modest improvements to the home while respecting the intent of the Zoning By-law to minimize environmental and visual impacts along the shoreline.

Regarding the existing pergola, it is recognized that pergolas are not permitted within the HWM setbacks. The owners are prepared to seek a variance to permit it within both the 30.0 m and 20.0 m setback areas.

Is there an eave encroachment?

Yes

Size of eaves

0.3

Lot Frontage of the property

3.7

Lot Depth of the property

135

Lot Area of the property

1114.3

Total width of the public road giving access to the property

10.0

List all buildings and structures on the property and their respective date of construction

(99-1514)Single Family Dwelling Demolition - 2000-03-07

(02-1376)Single Family Dwelling w/ basement, attached garage and deck - 2003-08-12

(05-0618)Deck + Balcony - 2005-06-09

(11-0835)Deck - 2012-01-09

Pergola - 2012-01-09

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential

Is the use remaining the same? If no, please provide the proposed new use

Remaining the same

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Yes

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

No

Have you consulted with Conservation Sudbury regarding this relief?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

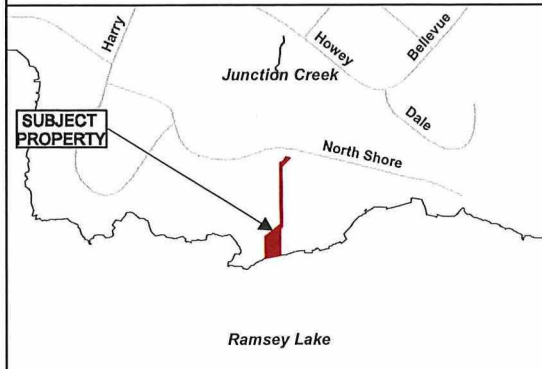
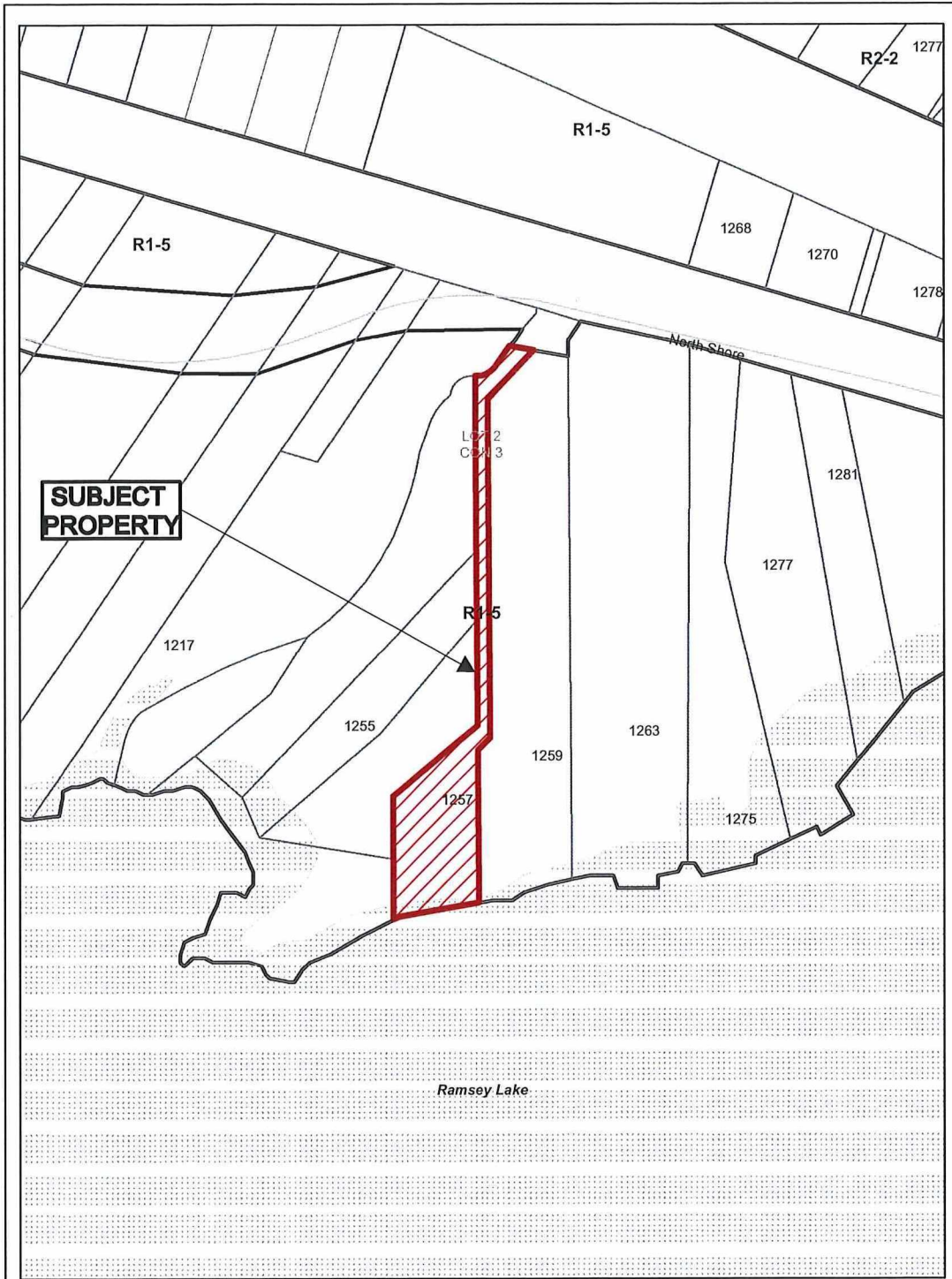
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Addition	No	171.0	302.6	2	14.8	13.2	5.4	104.9	21.6	1.9	3.7
New Deck	No	51	51	1	14	4.3	2.7	118.2	9.8	2.0	5.1

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Family Dwelling	No	171.0	279.6	2	14.8	16.0	5.4	102.2	18.2	1.9	3.8
Pergola	No	10.0	10.0	1	5.5	1.8	2.4	130.1	0.9	7.5	7.9

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
30m Highwater Mark setback relief for proposed new addition as encroaching	Must not have any erection of residential dwelling, structures or anything encroaching the highwater mark setback	25.9	4.1m
30m Highwater Mark setback relief as existing pergola is encroaching	Must not have any erection of residential dwelling, structures or anything encroaching the highwater mark setback	5.8m	24.2m
20m Shoreline Buffer setback relief as existing pergola encroaching	Must not have any erection of residential dwelling structures or anything encroaching the shoreline setback	5.8m	14.2m



Application for Minor Variance or Permission









Subject Property being PIN 73581-0034,
 Parcel 50476 SEC SES, Part Lot 2, Concession 3,
 Parts 4, 8, 89, 12, 13, 22, 23, 24, 25, 26 & 39, Plan 53R-13778,
 Township of McKim,
 1257 North Shore Drive, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2025-00147
 Date: 2025 10 14







SITE PLAN LEGEND

-  PROPOSED NOW
-  DENOTES EXISTING BUILDING
-  DENOTES ASPHALT
-  DENOTES GRASS
-  DENOTES PROPERTY LINE
-  DENOTES SETBACK LINE

GENERAL NOTES:

1. REFER TO SURVEY DRAWING PREPARED BY LICENSED SURVEYOR FOR EXISTING EXHAUST, PROPERTY LINE, EASEMENTS, AND EasCHMARK INFORMATION. CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION ON SITE WORK.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS. FINISHED GRADE TO BE SUFFICIENTLY AWAY FROM FOUNDATION FOR 12" MINIMUM.
3. FINISHED GRADE TO BE PROVIDED AS SHOWN ON SITE PLAN AND TO COMPLY WITH MUNICIPAL ZONING BY-LAW FOR MINIMUM DIMENSIONS, LAYOUT, AND DRIVE ABLE WIDTHS. ALL PAVING TO BE LINED, PAINTED AND SIGNED AS REQUIRED.

ROOF PLAN LEGEND

-  SLOPE
-  DENOTES DRAINAGE FROM EAVES & ROOF SLOPE
-  DENOTES DOWN SPOUTS OR SPLASH PAD
-  DENOTES CAVGSTROUGH OR DOWNSPOUT
-  DENOTES RIDGE VENT
-  DENOTES MINIMUM EXTENT OF EAVE PROTECTION SUCH AS ICE AND WATER SHIELD OR APPROVED EQUAL. EAVE PROTECTION TO EXTEND A MINIMUM OF 10" PAST INTERIOR FACE OF EXTERIOR WALL.

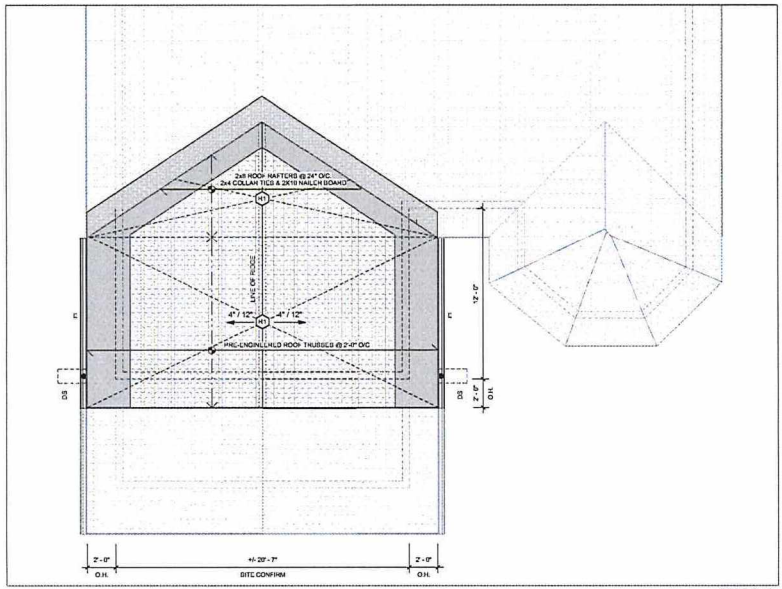
NOTES:

1. CONTRACTOR TO SITE VERIFY EXISTING SLOPE, DIMENSIONS, AND WALL CENTERLINE PRIOR TO BEGINNING TRUSSES. REPORT ANY DISCREPANCIES TO KOMRI ENGINEERING.
2. EAVE PROTECTION SUCH AS ICE AND WATER SHIELD OR APPROVED EQUAL TO EXTEND MINIMUM 10" BEYOND THE INTERIOR FACE OF EXTERIOR WALL (TYPICAL) AND TO BE INSTALLED AT ALL EAVES, VALLEYS, AND OVERLAP TRANSITIONS.
3. THE MANUFACTURED ROOF TRUSS SUPPLIER SHALL PROVIDE TRUSSES IN ACCORDANCE WITH KOMRI ENGINEERING DESIGN PARAMETERS AND IRC PART 8 - SECTION 22.13.11 (WOOD TRUSSES).
4. ROOF BRIDGING SHALL BE DESIGNED BY A LICENSED ENGINEER AND SUBMITTED TO KOMRI ENGINEERING FOR REVIEW PRIOR TO FABRICATION.
5. ALL ROOF BRIDGING TO BE INSTALLED WITH STAGGED JOINTS AND MINIMUM 3" SUPPORT SPACING.
6. PROVIDE CONTINUOUS VENTILATION AT EAVES AND RIDGE TO ACHIEVE ONE MINIMUM 1:800 VENTILATION RATIO FOR ATTIC SPACE.
7. PROVIDE WATER VENTILATION (BARRIERS) AT EAVES TO MAINTAIN MINIMUM 10MM (3/8") AIR CLEARANCE BETWEEN INSULATION AND ROOF BRIDGING.
8. PROVIDE ZIP D-CAP FLASHING AT ALL EAVES AND GABLE ENDS, INSTALLED OVER UNDRYLINIC.
9. PROVIDE ICE WATER VALLEY FLASHING OR KELCO-MORNING AT ALL VALLEYS TO BE LAPPED MIN. 150MM AND SEALED.
10. TYPICAL ROOF BRIDGING TO BE 30MM ON SITE. ANY DEVIATIONS FROM PLANS TO BE APPROVED PRIOR TO PROCEEDING WITH INSTALLATION.
11. PROVIDE BLOSSING, NAILERS, OR LOG SUPPORT AT ALL ROOF SPONGES, CORNERS, AND PITCH TRANSITIONS.
12. ROOF PENETRATIONS FOR PLUMBING VENTS, DUCTS, OR EXHAUST TO BE SEALED, FLASHED, AND LOCATED TO MINIMIZE ROOF STRUCTURE CONFLICT.
13. ALL PLUMBING VENTS AND DUCTS TO BE COORDINATED BY PLUMBING CONTRACTOR.

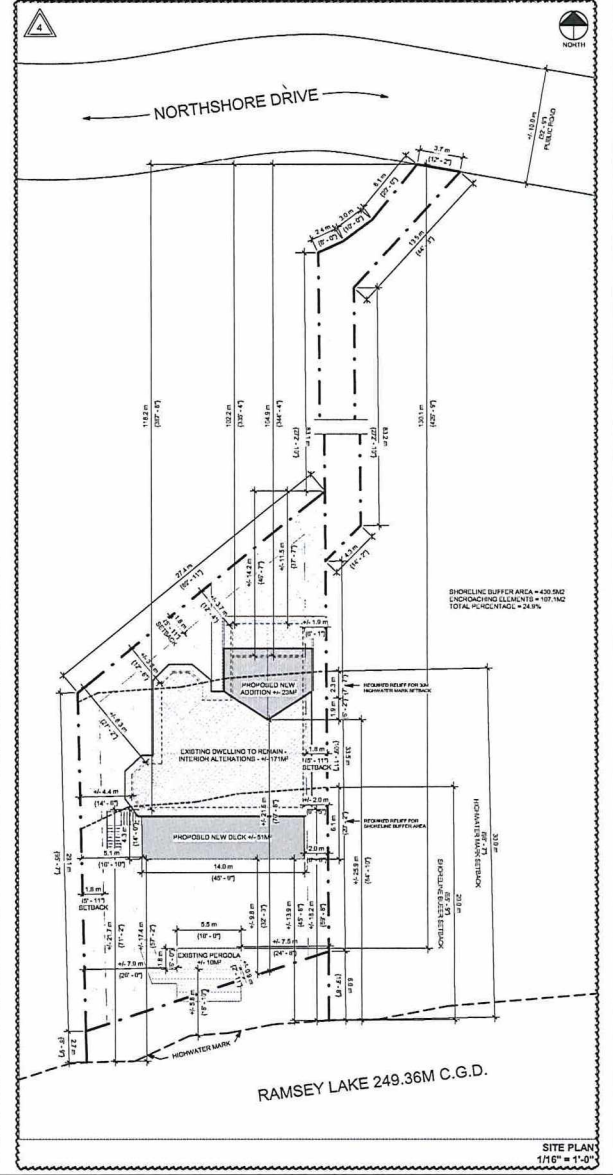
ROOF ASSEMBLIES:

- (1) TYPICAL ZIP D-CAP FLASHING**
 - 25 YEAR ASPHALT SHINGLES
 - CAVGSTROUGH AROUND PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FELT PAPER
 - 1/2" X 1/2" WOOD BRIDGING OR W/ F-CLIPS
 - IRC ENGINEERED ROOF TRUSSES @ 24" O.C.
 - BLOWN INSULATION (R-30) WITH GYPSUM BOARD (5/8") OVER CEILING (R-30)
 - CEILING AS SCHEDULED
- (2) TYPICAL CONVENTIONAL OVERFRAME**
 - 25 YEAR ASPHALT SHINGLES
 - CAVGSTROUGH AROUND PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FELT PAPER
 - 1/2" X 1/2" WOOD BRIDGING OR W/ F-CLIPS
 - 2x4 ROOF JOISTS @ 24" O.C. OR 2x4 COLLAR TIES @ 24" O.C.
 - RAFTERS @ 16" O.C. OR W/ WOOD BOARD PER 1" O.C. NAILS @ 16" O.C. (EXISTING TRUSSES)

DIMENSIONS ON SITE PLAN (FIELD VERIFIED BY HOME OWNER, CONTRACTOR OR SITE SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING)	
ZONE =	-E1.5
TOTAL PROPERTY AREA =	11,114.50 sqft
PROPOSED NOW =	0.00 sqft
EXISTING DWELLING =	177 sqft
PROPOSED ADDITION =	1,100 sqft
NEW TOTAL LOT COVERAGE =	22.8%
MAXIMUM LOT COVERAGE =	40%
MINIMUM SETBACK =	1.5m
MINIMUM LOT FORWARD =	1.5m
MINIMUM FRONT YARD =	0.9m
MINIMUM REAR YARD =	1.5m
MINIMUM INTERIOR SIDE YARD =	1.5m
MINIMUM CORNER SIDE YARD =	0.9m



ROOF PLAN
1/4" = 1'-0"



SITE PLAN
1/16" = 1'-0"

GENERAL
 ALL WORK SHALL BE DONE TO THE SATISFACTION OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

EXTENSIONS
 THIS PLAN IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

10/31/2025
 PROJECT OF 01/2025



KOMRI ENGINEERING
 168 DOUGLAS STREET, SUDBURY, ON, P1E 1G1

SLV INCHES
 1:16 NORTH SHORE DR. SUDBURY, ON
 PROJECT NO. K54025339

SITE PLAN & ROOF PLAN

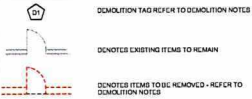
DRAWN: CBNL
 CHECKED: DP/KO
 SCALE: As Indicated
 SHEET: As Indicated

A04

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 sketch 2

DEMOLITION LEGEND



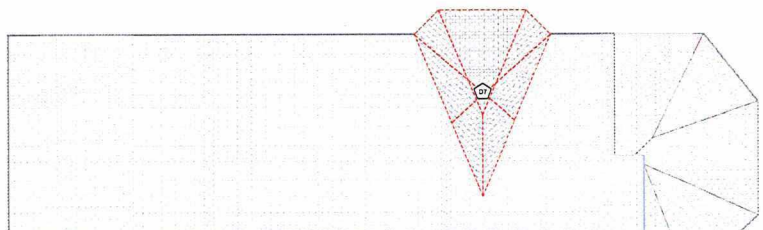
DEMOLITION NOTES (GENERAL):

- REFER TO CONSTRUCTION FLOOR PLAN, SCHEDULES, AND LEGENDS FOR NEW LAYOUT, MATERIALS, AND DETAILS.
- REFER TO STRUCTURAL DRAWINGS FOR LIMITS, REQUIREMENTS PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK.
- REFER TO CONSTRUCTION FLOOR PLAN AND COORDINATE WORK BETWEEN TRADES.
- REFER ALSO TO MECH/ELEC FOR ADDITIONAL DEMOLITION NOTES AND REQUIREMENTS.
- ALL ELECTRICAL DEVICES SUBJECT TO DUST AND DEBRIS ARE TO BE REMOVED PRIOR TO DEMOLITION PHASE AND REINSTALLED DURING CONSTRUCTION PHASE. MAKE SAFE ALL ELECTRICAL.
- PROTECT EXISTING MECHANICAL AND ELECTRICAL SYSTEMS TO REMAIN. PROVIDE WATER-TIGHT ENCLOSURE AT THESE SYSTEMS WHEN EXPOSED TO THE ELEMENTS.
- MECHANICAL DUCTS ARE TO BE DAMPED DURING DEMOLITION PHASE TO PREVENT THE SPRING OF DUST TO THE REST OF THE BUILDING STEEL IN OPERATION.
- ALL REMOVED ITEMS NOT REUSED IN NEW CONSTRUCTION OR TURN OVER TO OWNER SHALL BE REMOVED ON SITE.
- PROTECT EXISTING FLOORS, WALLS, EQUIPMENT, MECHANICAL AND OTHER PERMANENT FEATURES FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OF THE WORK. AS A MINIMUM USE POLYETHYLENE AND PLYWOOD HOARDING.

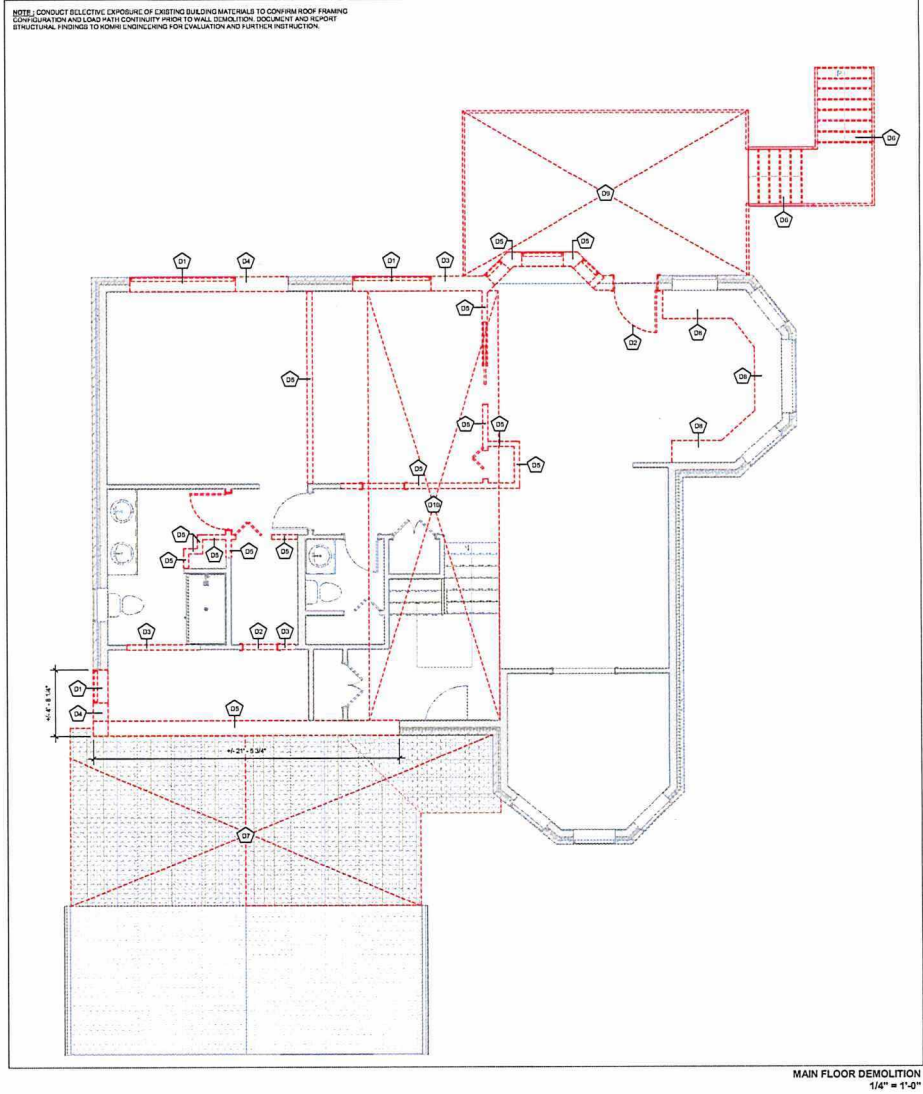
DEMOLITION NOTES (TAGS):

- D1 CONTRACTOR TO REMOVE EXISTING WINDOW AND ASSOCIATED COMPONENTS IN ITS ENTIRETY. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WALL INFILL.
- D2 CONTRACTOR TO REMOVE EXISTING DOOR IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FRAME, HANDRAIL, HINGES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WALL INFILL.
- D3 CONTRACTOR TO NEARLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN ITS ENTIRETY AS REQUIRED FOR NEW DOOR OPENING. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D4 CONTRACTOR TO NEARLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN ITS ENTIRETY AS REQUIRED FOR NEW WINDOW OPENING. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D5 CONTRACTOR TO REMOVE EXISTING STUD WALL IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FINISHES, DOORS, WINDOWS, HANGERS, TYPICALS, ELECTRICAL, DEVICES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D6 CONTRACTOR TO REMOVE EXISTING STAIRS IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO STRUCTURES, TREADS, RISERS, HANGERS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D7 CONTRACTOR TO REMOVE PORTION OF EXISTING ROOF AS REQUIRED, INCLUDING BUT NOT LIMITED TO ROOF JOISTS, BRACING, BRIMMES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. PATCH AND REPAIR EXISTING AFFECTED ROOF AS REQUIRED. REMOVE EXISTING COLLARS TELS AND CEILING TO ALLOW FOR ROOF BEAM.
- D8 CONTRACTOR TO REMOVE EXISTING KITCHEN IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO CABINETS, COUNTERTOPS, APPLIANCES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. ALL APPLIANCES TO BE TURNED OVER TO OWNER.
- D9 CONTRACTOR TO NEARLY SAW CUT AND REMOVE EXISTING DECK IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO DECK JOISTS, BEAMS, BRIMMING, BATTERS, DECK BRACKETS, HANGERS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D10 CONTRACTOR TO NEARLY SAW CUT AND REMOVE EXISTING COLLAR TIES AND CEILING JOISTS AS REQUIRED. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. LOCATE PROTECT SURFACES IN PREPARATION FOR NEW WORK. LOCATE PROTECT TEMPORARY SHORING DURING DEMOLITION AND INSTALLATION OF NEW SLAB.
- D11 CONTRACTOR TO NEARLY SAW CUT AND REMOVE PORTION OF EXISTING SLAB AS REQUIRED IN PREPARATION FOR NEW PAD FOOTING. MAKE GOOD ON ALL ADJACENT SURFACES. REFER TO FOUNDATION AND STRUCTURAL PLANS FOR LOCATIONS AND DETAILS, AND FOOTING SCHEDULE FOR EXIST.

NOTE: CONDUCT SELECTIVE EXPOSURE OF EXISTING BUILDING MATERIALS TO CONFIRM ROOF FRAMING CONFIGURATION AND LOAD WITH CONTINUITY PRIOR TO WALL DEMOLITION. DOCUMENT AND REPORT STRUCTURAL FINDINGS TO KOMRI ENGINEERING FOR EVALUATION AND FURTHER INSTRUCTION.



DEMOLITION ROOF PLAN
1/4" = 1'-0"



MAIN FLOOR DEMOLITION
1/4" = 1'-0"

GENERAL
IF ANY DISCREPANCY EXISTS BETWEEN THE GENERAL CONTRACT DOCUMENTS AND THE SPECIFICATIONS, THE SPECIFICATIONS SHALL PREVAIL.
IF ANY DISCREPANCY EXISTS BETWEEN THE SPECIFICATIONS AND THE CONTRACT DRAWINGS, THE CONTRACT DRAWINGS SHALL PREVAIL.
IF ANY DISCREPANCY EXISTS BETWEEN THE CONTRACT DOCUMENTS AND THE CONTRACT DRAWINGS, THE CONTRACT DOCUMENTS SHALL PREVAIL.
IF ANY DISCREPANCY EXISTS BETWEEN THE CONTRACT DOCUMENTS AND THE CONTRACT DRAWINGS, THE CONTRACT DOCUMENTS SHALL PREVAIL.
IF ANY DISCREPANCY EXISTS BETWEEN THE CONTRACT DOCUMENTS AND THE CONTRACT DRAWINGS, THE CONTRACT DOCUMENTS SHALL PREVAIL.
IF ANY DISCREPANCY EXISTS BETWEEN THE CONTRACT DOCUMENTS AND THE CONTRACT DRAWINGS, THE CONTRACT DOCUMENTS SHALL PREVAIL.

REVISED FOR CONSTRUCTION
10/31/2025
PROJECT NO. 24-0000000000
10/31/2025
PROFESSOR OF ENGINEERING
KOMRI ENGINEERING

KOMRI ENGINEERING
165 DOUGLASS STREET, SUDBURY, ON, P1E 1G1

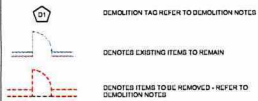
SLV INCHES
1337 NORTH SHORE DR, SUDBURY, ON
PROJECT NO. 24-0000000000
MAIN FLOOR & ROOF DEMOLITION PLANS

DRAWN: NLCS
CHECKED: DP/KO
SCALE: 1/4" = 1'-0"
SHEET: A02

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 4

DEMOLITION LEGEND



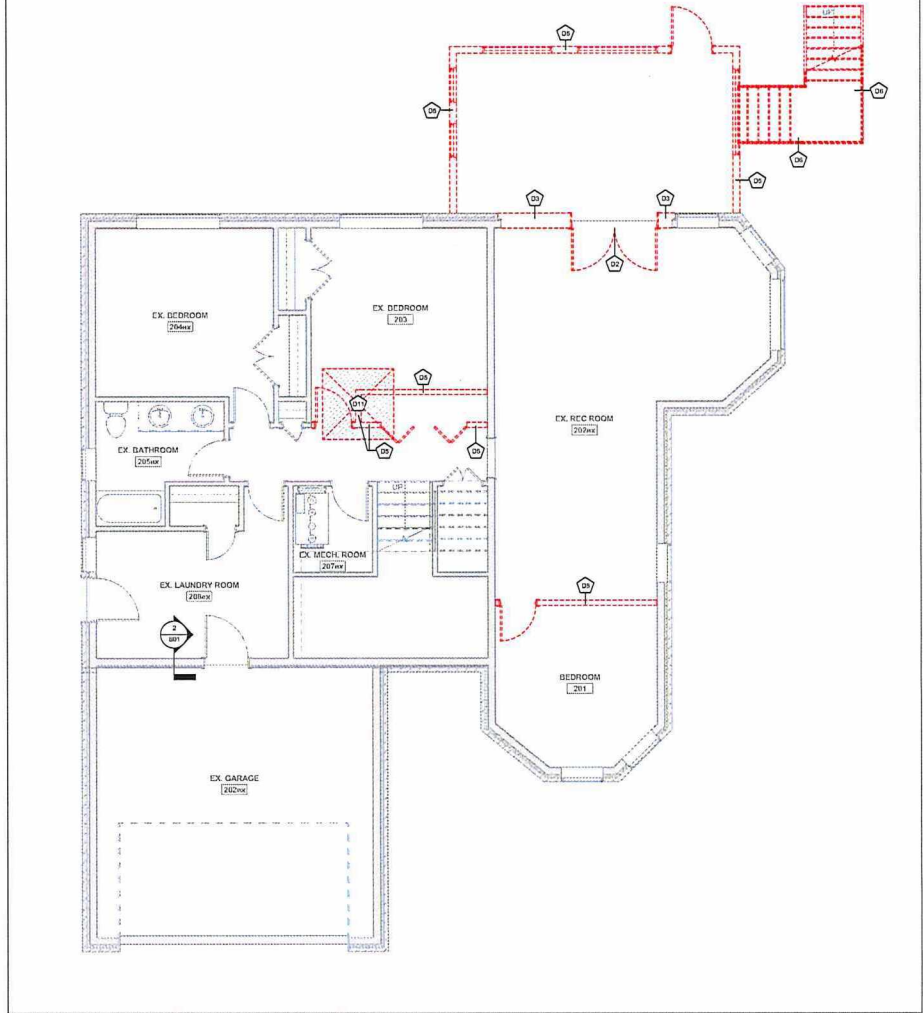
DEMOLITION NOTES (GENERAL):

- REFER TO CONSTRUCTION FLOOR PLAN, SCHEDULES, AND LEGENDS FOR NEW LAYOUT, MATERIALS, AND DETAILS.
- REFER TO STRUCTURAL DRAWINGS FOR UNTIL REQUIREMENTS PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK.
- REFER TO DEMOLITION FLOOR PLAN AND COORDINATE WORK BETWEEN TRADES.
- REFER ALSO TO MECH/ELEC FOR ADDITIONAL DEMOLITION NOTES AND REQUIREMENTS.
- ALL ELECTRICAL DEVICES SUBJECT TO TEST AND DEBRIS ARE TO BE REMOVED PRIOR TO DEMOLITION PHASE AND RE-INSTALLED DURING CONSTRUCTION PHASE. MAKE SURE ALL ELECTRICAL SYSTEMS ARE PROTECTED FROM MECHANICAL AND ELECTRICAL SYSTEMS TO REMAIN.
- PROTECT EXISTING MECHANICAL AND ELECTRICAL SYSTEMS EXPOSED TO THE ELEMENTS.
- MECHANICAL DEVICES ARE TO BE DAMPED DURING DEMOLITION PHASE TO PREVENT THE SPREAD OF DUST TO THE REST OF THE BUILDING STILL IN OPERATION.
- ALL REMOVED ITEMS NOT RE-USED IN NEW CONSTRUCTION OR TURN OVER TO OWNER SHALL BE RECYCLED ON SITE.
- PROTECT EXISTING FLOORS, WALLS, EQUIPMENT, MILLWORK AND OTHER PERMANENT FIXTURES FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OF THE WORK AS A MINIMUM USE POLYETHYLENE AND PLYWOOD SHEATHING.

DEMOLITION NOTES (TAGS):

- D1** CONTRACTOR TO REMOVE EXISTING WINDOW AND ASSOCIATED COMPONENTS IN ITS ENTIRETY. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WALL/CEILING.
- D2** CONTRACTOR TO REMOVE EXISTING DOOR IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FRAME, HANDRAIL, HINGING, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WALL/CEILING.
- D3** CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN ITS ENTIRETY AS REQUIRED FOR NEW DOOR OPENING. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D4** CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN ITS ENTIRETY AS REQUIRED FOR NEW WINDOW OPENING. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D5** CONTRACTOR TO REMOVE EXISTING STUD WALL IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FINISHES, DOORS, WINDOWS, FRAME, HANDRAIL, ELECTRICAL DEVICES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D6** CONTRACTOR TO REMOVE EXISTING STAIRS IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO FINISHES, TREADS, RISERS, HANDRAILS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D7** CONTRACTOR TO REMOVE PORTION OF EXISTING ROOF AS REQUIRED, INCLUDING BUT NOT LIMITED TO ROOF JOISTS, BRACING, GIRDERS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. PATCH AND REPAIR EXISTING AFFECTED ROOF AS REQUIRED. REMOVE EXISTING COLLARS TIES AND CEILING TO ALLOW FOR ROOF BEAM.
- D8** CONTRACTOR TO REMOVE EXISTING KITCHEN IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO CABINETS, COUNTERTOP, APPLIANCES, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. ALL APPLIANCES TO BE TURNED OVER TO OWNER.
- D9** CONTRACTOR TO NEATLY SAW CUT AND REMOVE EXISTING DECK IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO FLOOR JOISTS, BEAMS, GIRDERS, BATTLES, DECK BOARDING, RAILINGS, AND ASSOCIATED COMPONENTS. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK.
- D10** CONTRACTOR TO NEATLY SAW CUT AND REMOVE EXISTING COLLAR TIES AND CEILING JOISTS AS REQUIRED. MAKE GOOD ON ALL ADJACENT SURFACES IN PREPARATION FOR NEW WORK. CEILING JOISTS TO BE TEMPORARILY SHORED DURING DEMOLITION AND INSTALLATION OF NEW BEAM.
- D11** CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING SLAB AS REQUIRED IN PREPARATION FOR NEW PAD FOOTING. MAKE GOOD ON ALL ADJACENT SURFACES. REFER TO FOUNDATION AND STRUCTURAL PLANS FOR LOCATIONS AND DETAILS, AND FOOTING SCHEDULE FOR SIZES.

NOTE: CONDUCT SELECTIVE EXPOSURE OF EXISTING BUILDING MATERIALS TO CONFIRM ROOF FRAMING CONFIGURATION AND LOAD PATH CONTINUITY PRIOR TO WALL DEMOLITION. DOCUMENT AND REPORT STRUCTURAL FINDINGS TO HOME ENGINEERING FOR EVALUATION AND FURTHER INSTRUCTION.



BASEMENT FLOOR DEMOLITION PLAN
1/4" = 1'-0"

GENERAL
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE BOOK AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
4. ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE BOOK AND ALL APPLICABLE LOCAL ORDINANCES.

2025.10.31
REVISED FOR CONSTRUCTION
K. R. O'NEILL
REGISTERED PROFESSIONAL ENGINEER
10.31.2025
PROFESSION OF GEORGIA

KOMRI ENGINEERING
165 DOUGLAS STREET, SUDBURY, ON, P3E 1G1

SILVINOUS
1277 NORTH SHORE DR, SUDBURY, ON
PROJECT NO. K54025333
BASEMENT DEMOLITION PLAN

DRAWN: NL/CB
CHECKED: DR/KO
SCALE: 1/4" = 1'-0"
SHEET: A03

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 sketch 5

LEGEND

- ROOM NAME**
 [R1] DENOTES ROOM NAME AND NUMBER REFERENCE
- [W1] DENOTES WINDOW TAG REFERENCE
- [D1] DENOTES EXTERIOR WALL TAG REFERENCE
- [D1] DENOTES DOOR AND DOOR NUMBER

FLOOR PLAN NOTES:

- ROOM DIMENSIONS ARE TO FACE OF STUD OR BLOCK UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS, DIMENSIONS, AND LAYOUTS TO BE VERIFIED ON SITE. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ROOM NAMES AND USES SHOWN ON PLANS ARE FOR REFERENCE ONLY. FINAL FUNCTIONS FOR EACH ROOM WITH DIMENSIONS TO BE DETERMINED PRIOR TO CONSTRUCTION.
- PROVIDE RAISED FLOOR FINISH UNLESS OTHERWISE NOTED AS PER DDC 9.13.4.3. EXTEND TO ROOMS AND CORNERS FOR FUTURE ACTIVATION.
- ALL LIFTING AND BEARING WALLS TO BE VERIFIED WITH STRUCTURAL DRAWINGS PRIOR TO FRAMING.
- LACKING ROOMS ABOVE DMS: TO INCLUDE FLOOR DRAIN CONNECTED TO DRAINAGE SYSTEM.
- FLOOR DRAINS TO BE INSTALLED IN MECHANICAL ROOMS, LAUNDRY ROOMS, GARAGES OR WHERE REQUIRED BY PLUMBING CODE.
- PROVIDE ANTI-MOISTURE BARRIER TO BE CONTIGUOUS AND SEALED AT HEADERS, RM JOISTS, AND PENETRATIONS PER 20-12 REQUIREMENTS.
- WHERE STAIN GUARDS OR HANDRAILS ARE REQUIRED, INSTALL IN COMPLIANCE WITH DDC SECTION 9.8 AND 9.9.7.

WALL ASSEMBLIES:

- TYPICAL EXTERIOR WALL ASSEMBLY**
- HORIZONTAL VMP SIDING BY OWNER
 - 1X4 VERTICAL WOOD SHAKING @ 1" O.C
 - 1" TOP RIGID INSULATION (R-5)
 - AIR BARRIER MEMBRANE - LAP & SEAL
 - 7/8" GIB BRACING
 - 2x4 SPP NO. 1 NO. 2 STUD AT 16" O.C (DOUBLE TOP PLATE) W/ BRACING AND RIGID
 - 1/2" GYPSUM BOARD SHEATHING

CONSTRUCTION NOTES (TADS):

- CONTRACTOR TO INFILL STUD WALL TO MATCH EXISTING ASSEMBLY, MAKE GOOD ON ALL SURFACES.
- CONTRACTOR TO INFILL SUE LIGERS BOARD. REFER TO DETAIL (D024), MAKE GOOD SMALL EQUIVALLS.
- CONTRACTOR TO INSTALL SOLID BLOCKING IN FLOOR CAVITIES BELOW FLOOR LIGERS BOARD. MAKE GOOD ON ALL SURFACES.
- CONTRACTOR TO CONFIRM HOOTING SIZE FOR ROOMS ENGINEERING AT TIME OF CONSTRUCTION - ENSURE MIN. 4X4X10" W/ 4" MIN. NUMBER OF WALLS BE REQUIRED IF THIS SIZE IS NOT FOUND ON SITE.
- CONTRACTOR TO REWORKS EXISTING ROOF RAMTECH WITH 2x8 SPP NO. 2 SISTERED FULL LENGTH OF WATER W/ 2" ACCESSIBLE SPIND 3/4" DIA @ 12" OC STAGGERED. INSURE TIGHT SEALING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND DETAILS.

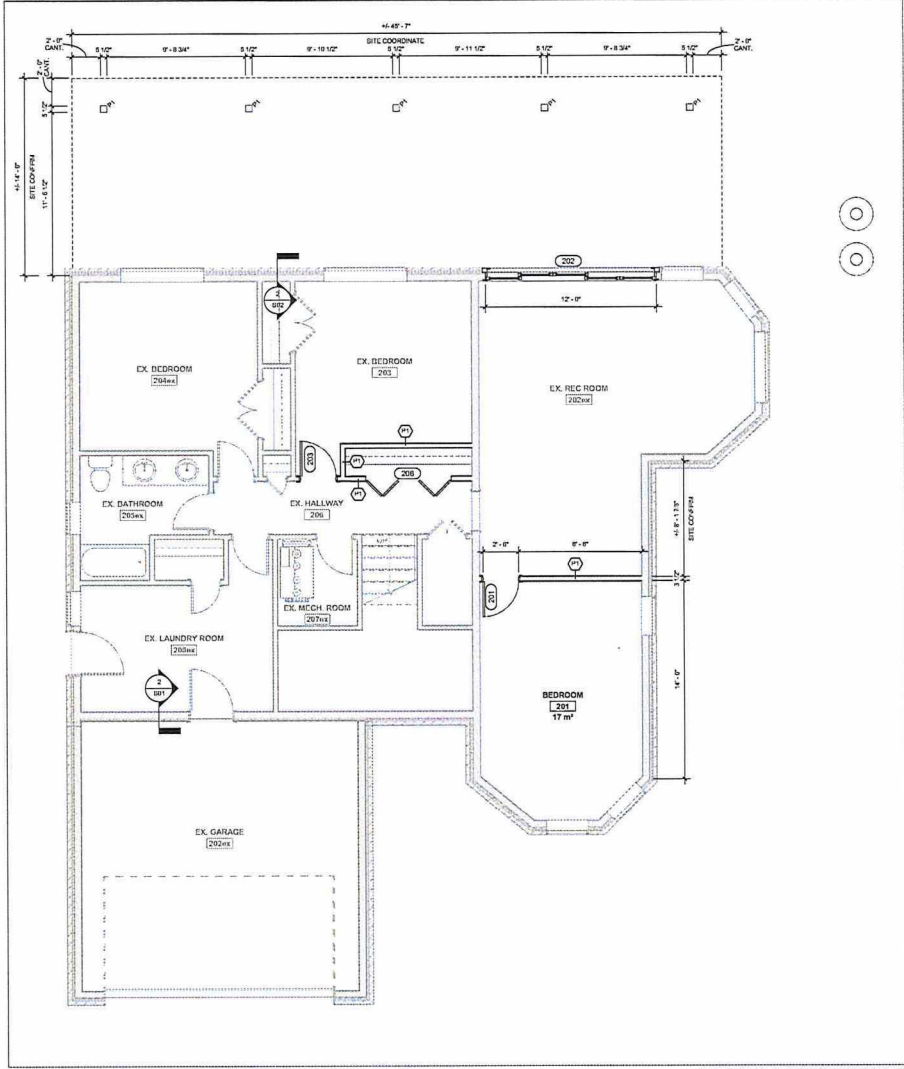
CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

- ALL INTERIOR PARTITIONS ARE TO BE #1 UNLESS NOTED OTHERWISE - NEXT TO ANY DIMENSION INDICATES THAT MEASUREMENT SHOULD BE FIELD MEASURED AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS.
- HEIGHT TO ROOM ENGINEERING AS REQUIRED IF DESIGN INTENT CANNOT BE MET WITH #1.
- PROVIDE 1/2" GYPSUM WALL BOARD ON ALL WET SIDES OF PARTITIONS. A CLIMATE BOARD BEHIND ALL WALL MOUNTED TALL WORK.
- PROVIDE WOOD BLOCKING TO ACCOMMODATE WALL RELATED IN ACCESSORIES. COORDINATE LOCATIONS AS REQUIRED.
- ALL PARTITIONS TO LET TO USE OF STRUCTURE UNLESS OTHERWISE NOTED.
- BRACE AS REQUIRED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DATUM ELEVATION OF 88.
- ALL CAPPED VERTICAL CORNERS IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNER CURBS.
- ALL DOORS SHALL BE LOCATED # FROM WALL FACE TO DOOR FRAME CODE.
- ALL PARTITIONS TO BE FINISHED WITH CORNER CURBS.
- THE LETTER 'N' NEXT TO PARTITION TAGS INDICATES PARTITIONS THAT ONLY EXIST TO USE OF CEILING.

PARTITION ASSEMBLIES:

- TYPICAL INTERIOR WOOD STUD PARTITION**
- 1/2" GYPSUM BOARD ON BOTH SIDES @ 16" O.C.
 - 2 x 4 SPP NO. 1 NO. 2 WOOD STUD @ 16" O.C.



BASEMENT FLOOR CONSTRUCTION PLAN
 1/4" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE DONE TO THE EXISTING FOUNDATION AND STRUCTURE UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE DONE TO THE EXISTING FOUNDATION AND STRUCTURE UNLESS OTHERWISE NOTED.
 3. THESE PLANS SHALL BE THE PROPERTY OF KOMRI ENGINEERING AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF KOMRI ENGINEERING.
 4. 10% SCALE DRAWING

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	2025/10/31



SILVINOUS
 1317 NORTH SHORE DR. SUDBURY, ON
 PROJECT NO. K2402333
 BASEMENT FLOOR CONSTRUCTION PLAN

DESIGN: NL/CB
 CHECKED: DP/KO
 SCALE: As Indicated
 SHEET: A05

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 6

LEGEND

- ROOM NAME**
 [101] DENOTES ROOM NAME AND NUMBER REFERENCE
- WINDOW TAG**
 [W1] DENOTES WINDOW TAG REFERENCE
- EXTERIOR WALL TAG**
 [E1] DENOTES EXTERIOR WALL TAG REFERENCE
- DOOR TAG**
 [D1] DENOTES DOOR AND DOOR NUMBER

FLOOR PLAN NOTES:

- ROOM DIMENSIONS ARE TO FACE OF STUDIO BLOCK UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS, DIMENSIONS, AND LAYOUTS TO BE VERIFIED ON SITE. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ROOM NAMES AND USES SHOWN ON PLANS ARE FOR REFERENCE ONLY. FINAL FUNCTION TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE RADON VENT PIPE UNDER BASEMENT FLOOR AS PER OGC 9.5.4.3. EXTEND TO ROOF LEVEL AND CAP FOR TESTING ACTIVATION.
- ALL LANDING FIRE WALLS TO BE SHOWN WITH STRUCTURAL DRAWINGS PRIOR TO FRAMING.
- LAUNDRY ROOMS ABOVE GRADE TO INCLUDE FLOOR DRAIN CONNECTED TO DRAINAGE SYSTEM.
- FLOOR DRAINS TO BE INSTALLED IN MECHANICAL ROOMS, LAUNDRY ROOMS, GARAGES OR WHERE REQUIRED BY PLANNING CODE.
- PROVIDE ANCHORAGE BARS FOR TIE-RODS, CORNERS AND SCALED AT HEADERS, RM JOISTS, AND PENETRATIONS PER BS-13 REQUIREMENTS.
- WHICH STAIR GUARDS OR HANDRAILS ARE REQUIRED, INSTALL IN COMPLIANCE WITH OGC ELECTION 9.8 AND 9.9.7.

CONSTRUCTION NOTES (TAGS):

- CONTRACTOR TO INFILL STUD WALL TO MATCH EXISTING ASSEMBLY, MAKE GOOD ON ALL SURFACES.
- CONTRACTOR TO INSTALL 2x12 LEOCCS BOARD. REF TO DETAIL (D001). MAKE GOOD ON ALL SURFACES.
- CONTRACTOR TO INSTALL SOLID BLOCKING IN FLOOR CAVITIES BELOW POINT LOADS ABOVE. MAKE GOOD ON ALL SURFACES.
- CONTRACTOR TO CONFIRM HOOTING SIZE FOR ROOFER UNLOADING AT TIME OF CONSTRUCTION. INCLUDE MIN. 4X4X8" W/ 1/2" MIN. MICROREINFORCMENT WALL BE REQUIRED IF THAT SIZE IS NOT FOUND ON SITE.
- CONTRACTOR TO REINFORCE EXISTING ROOF MATTERS WITH 20# BPP. NO HANGERS DISTRICT FULL LENGTH OF MATTER WHICH ACCESSIBLE USING 2x10x8x8" OR 2" DIA. STAIRCASE. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND DETAILS.

CONSTRUCTION ASSEMBLIES

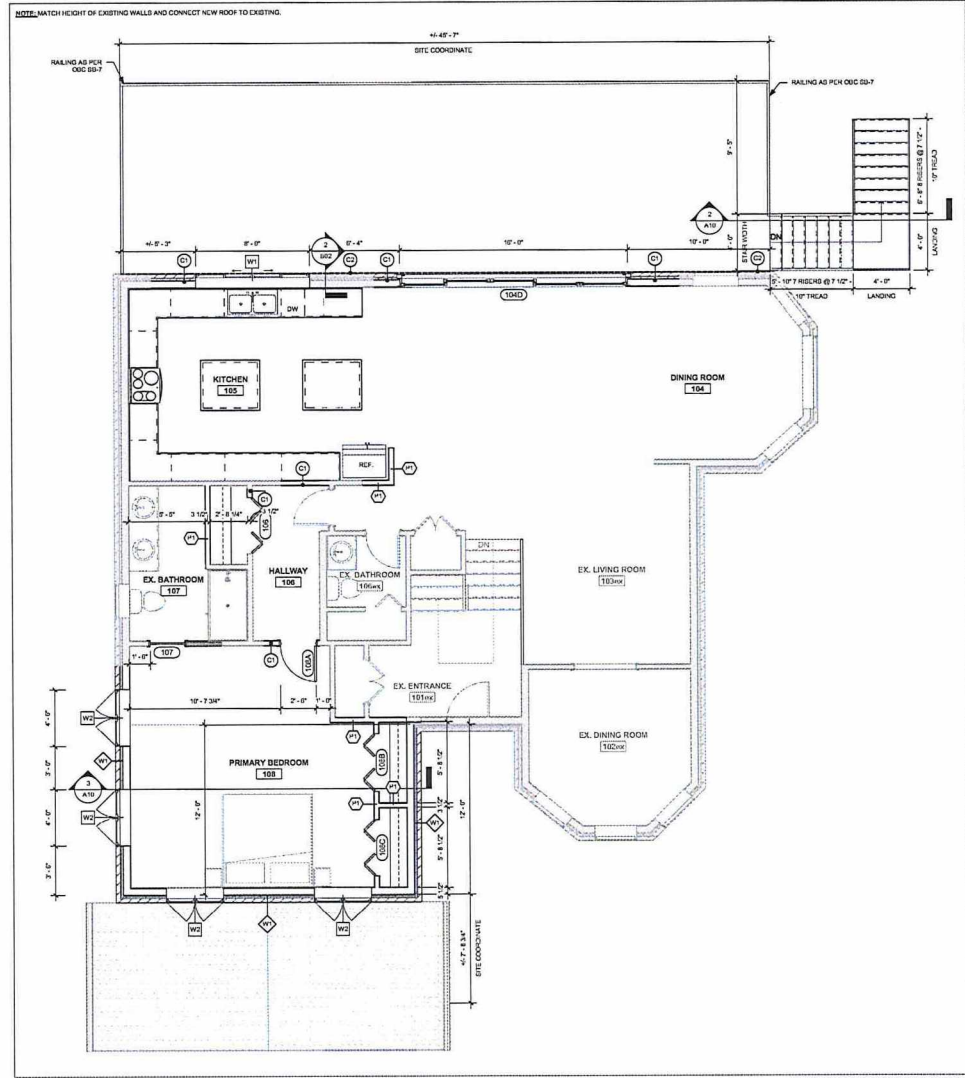
PARTITION ASSEMBLIES NOTES:

- ALL INTERIOR PARTITIONS ARE TO BE 1/2" UNLESS NOTED OTHERWISE.
- IF NEXT TO ANY DIMENSION INDICATES THAT MEASUREMENT SHOULD BE HELD, VERIFY AND NOTIFY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. REPORT TO OWNER ENGINEERING AS REQUIRED IF DESIGN INTENT CANNOT BE MAINTAINED.
- USE WATER RESISTANT GYPSUM WALL BOARD ON ALL WET SIDES OF PARTITIONS & CEILING BOARD BEING ALL WALL MOUNTED TILE WORK.
- PROVIDE WOOD BLOCKING TO ACCOMMODATE WALL MOUNTED IN ACCESSORIES. CONFIRMATE LOCATIONS AS TO USE OF STRUCTURE UNLESS OTHERWISE NOTED. BRACE AS REQUIRED.
- ALL PARTITIONS TO LANDING TO USE OF STRUCTURE UNLESS OTHERWISE NOTED. BRACE AS REQUIRED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM CHORDING FLOOR DATUM ELEVATION OF 8.0.
- ALL EXPOSED VERTICAL CORNER IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNER GUARDS.
- ALL DOORS SHALL BE LOCATED 4" FROM WALL FACE TO DOOR FRAME CODE TYPICAL UNLESS NOTED OTHERWISE.
- THE LETTER 'N' TO PARTITION TAGS INDICATES PARTITIONS THAT ONLY EXTEND TO USE OF CEILING.

PARTITION ASSEMBLIES:

- TYPICAL INTERIOR WOOD STUD PARTITION**
- 1/2" GYPSUM BOARD ON BOTH SIDES OF
 - 2 x 4 BPP NO. 12 WOOD STUD @ 16" O.C.

NOTE: MATCH HEIGHT OF EXISTING WALLS AND CONNECT NEW ROOF TO EXISTING.



MAIN FLOOR CONSTRUCTION PLAN
 1/4" = 1'-0"

GENERAL
 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 2. VERIFY ALL DIMENSIONS AND LAYOUTS TO BE VERIFIED ON SITE. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 3. ROOM NAMES AND USES SHOWN ON PLANS ARE FOR REFERENCE ONLY. FINAL FUNCTION TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION.
 4. PROVIDE RADON VENT PIPE UNDER BASEMENT FLOOR AS PER OGC 9.5.4.3. EXTEND TO ROOF LEVEL AND CAP FOR TESTING ACTIVATION.
 5. ALL LANDING FIRE WALLS TO BE SHOWN WITH STRUCTURAL DRAWINGS PRIOR TO FRAMING.
 6. LAUNDRY ROOMS ABOVE GRADE TO INCLUDE FLOOR DRAIN CONNECTED TO DRAINAGE SYSTEM.
 7. FLOOR DRAINS TO BE INSTALLED IN MECHANICAL ROOMS, LAUNDRY ROOMS, GARAGES OR WHERE REQUIRED BY PLANNING CODE.
 8. PROVIDE ANCHORAGE BARS FOR TIE-RODS, CORNERS AND SCALED AT HEADERS, RM JOISTS, AND PENETRATIONS PER BS-13 REQUIREMENTS.
 9. WHICH STAIR GUARDS OR HANDRAILS ARE REQUIRED, INSTALL IN COMPLIANCE WITH OGC ELECTION 9.8 AND 9.9.7.

REVISED BY: [Signature]
 DATE: 10/31/2025
 PROJECT NO. 2025-00147
 PREPARED BY: [Signature]

KOMRI ENGINEERING
 155 DOUGLASS STREET, SUDBURY, ON, P1E 1J1

SILVINOUS
 1317 NORTH SHORE DR, SUDBURY, ON
 PROJECT NO. K20250333
 MAIN FLOOR CONSTRUCTION PLAN

DRAWN: [Signature]
 CHECKED: [Signature]
 SCALE: As Indicated
 SHEET: A06

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 6

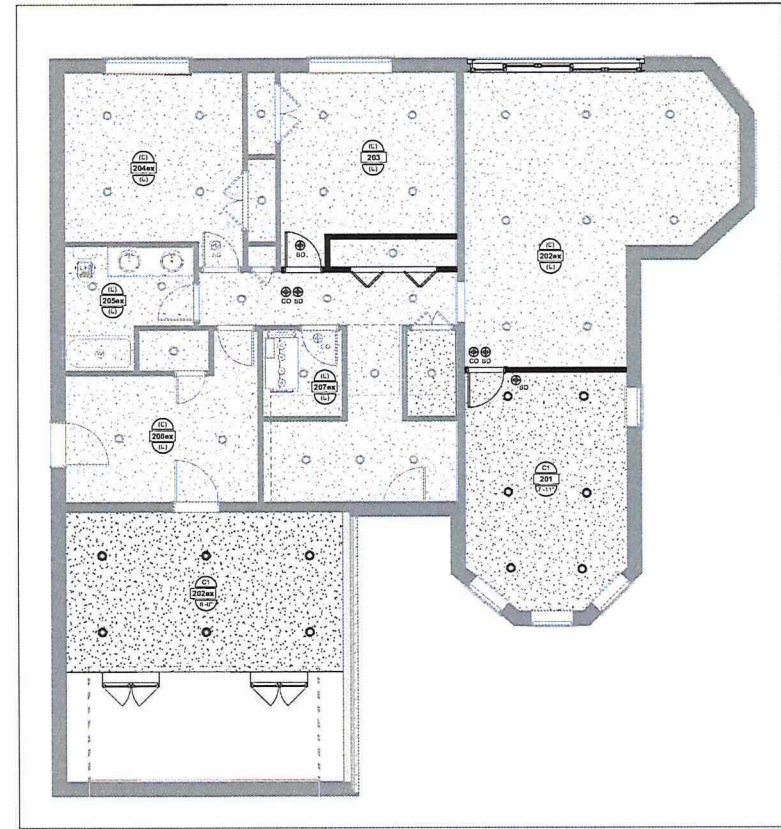
RCP LEGEND

- 101 DENOTES ROOM NUMBER REFERENCE
- C1 DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE
- F10 DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR
- DENOTES RECESSED POT LIGHTS
- DENOTES WATERPROOF RECESSED POT LIGHTS
- EF DENOTES EXHAUST FAN
- DENOTES CYCLUM DDAHD CEILING
- CO CARBON MONOXIDE DETECTOR
- SD INTERCONNECTED SMOKE DETECTION WITH VISUAL COMPONENT
- AH DENOTES ATTIC ACCESS HATCH - PRE-MANUFACTURED HATCH 800mm x 800mm MIN. COORDINATE LOCATION OF HATCH WITH OWNER AND CONFIRM WITH CONSULTANT PRIOR TO INSTALLATION

NOTE:
ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN WOOD TRUSSES AT 800mm C-TO-C CENTER

REFLECTED CEILING PLAN NOTES:

1. CEILING HEIGHTS ARE BASED ON THE FLOOR LEVELS THEY ARE LOCATED ON. ALL FLOOR PLANS AND RCP FOR DIMENSIONS, REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON CEILING MATERIALS AND FINISHES.
2. LIGHT FIXTURES, LOCATIONS ON DRAWINGS AND FOR INFORMATION ONLY. FINAL LOCATIONS TO BE COORDINATED ON SITE BETWEEN OWNER AND CONTRACTOR UNLESS OTHERWISE SPECIFIED.
3. ALL DOWNLIGHTS, SPOFFED CEILING, AND CEILING CHANGES TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL LAYOUTS. REFER TO ELECTIONS AND ELEVATIONS AS REQUIRED.
4. SPOFFED CEILING TO BE INSTALLED LEVEL AND SECURELY FASTENED TO STRUCTURE ABOVE. PROVIDE LATERAL BRACING WHERE REQUIRED.
5. CEILING ACCESS PANELS TO BE PROVIDED WHERE REQUIRED FOR WIRE, ELECTRICAL, AND PLUMBING SERVICES. ACCESS LOCATIONS TO BE COORDINATED WITH TRADES.
6. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING, CEILING JOINTS OR ATTIC SPACES, OR ISOLATED JOINT ASSEMBLIES (E.G. OVER GARAGE OR CANTILEVERED TO BE INSTALLED AND AIRTIGHT. FIXTURES TO BE SEALED TO MAINTAIN CONTINUOUS AIR/WATER BARRIER IN ACCORDANCE WITH OBC AND ENERGY CODE REQUIREMENTS.
7. MAINTAIN CLEARANCE AROUND LIGHT FIXTURES AND DOWNLIGHTS FOR REQUIRED INSULATION, AIR CIRCULATION, AND MAINTENANCE ACCESS.
8. ALL BATHROOMS TO BE VENTED DIRECTLY TO EXTERIOR IN ACCORDANCE WITH OBC 9.23.1.
9. SMOKE, ALARM AND CARBON MONOXIDE DETECTORS TO BE INSTALLED AND INTERCONNECTED AS PER OBC 9.18.1.
10. SMOKE DETECTORS SHALL BE INSTALLED IN THE SUPPLY OR RETURN DUCT SYSTEM AND SHALL SHUT DOWN FUEL AND ELECTRICAL POWER UPON ACTIVATION AS PER MECHANICAL DESIGN.
11. FIRE DAMPERS TO BE INSTALLED IN THE PLANE OF FIRE RESISTING WALLS OR FIRE RESISTING PENETRATED WALLS ON FLOORING AS REQUIRED BY OBC.
12. ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PUNCTURE THE AIR/WATER BARRIER ARE TO BE SEALED WITH APPROVED CALKING AND MEMBRANES. REFER TO SPEC SECTIONS 9.09.09 (SEALANTS) AND OTHER MEMBRANE APPLICABLE BARRIERS.
13. ATTIC HATCHES TO BE INSULATED AND AIR SEALED. LOCATIONS AS SHOWN ON REFLECTED CEILING PLANS.
14. ATTIC ACCESS TO BE PROVIDED IN ACCORDANCE WITH OBC 9.18.1, AND COORDINATED WITH INSULATION LAYOUT.



BASEMENT FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE REGULATIONS.

REVISIONS
REVISION FOR CONSTRUCTION 2/25/24



SLV: HOUDES
1/27 NORTH SHORE DR. SUDBURY, ON
PROJECT NO. K54025239
BASMENT FLOOR REFLECTED CEILING PLAN

DRAWN: CB
CHECKED: DP/KKO
SCALE: 1/4" = 1'-0"
SHEET:

A07

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 7

RCP LEGEND

101

101 DENOTES ROOM NUMBER REFERENCE

CL

CL DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE

9'0"

9'0" DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR

○

○ DENOTES RECESSED POT LIGHTS

W

W DENOTES WATERPROOF RECESSED POT LIGHTS

EF

EF DENOTES EXHAUST FAN



DENOTES GYPSUM BOARD CEILING

CO

CO CARBON MONOXIDE DETECTOR

SD

SD INTERCONNECTED SMOKE DETECTOR WITH VISUAL COMPONENT

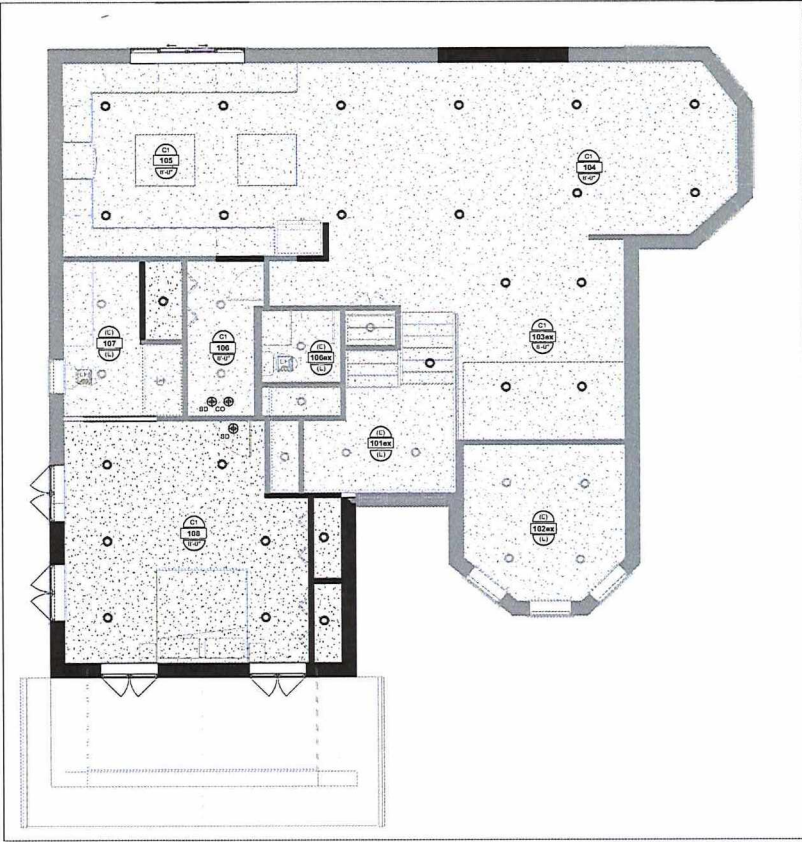


AH DENOTES ATTIC ACCESS HATCH - PRE-MANUFACTURED HATCH 500mm x 800mm MIN. COORDINATE LOCATION OF HATCH WITH OWNER AND CONTRACTOR WITH CONSULTANT PRIOR TO INSTALLATION

NOTE: ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN WOOD TRUSSES AT 800mm (3'-0") ON CENTER.

REFLECTED CEILING PLAN NOTES:

1. CEILING HEIGHTS ARE BASED ON THE FLOOR LEVEL THEY ARE LOCATED ON. SEE FLOOR PLANS AND RCP FOR DIMENSIONS. REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON CEILING MATERIALS AND FINISHES.
2. LIGHT FIXTURES, LOCATIONS ON DRAWINGS ARE FOR INFORMATION ONLY. FINAL LOCATIONS TO BE COORDINATED ON SITE BETWEEN OWNER AND CONTRACTOR UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS, SHOWN ON DRAWINGS, AND CEILING HEIGHTS TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL LAYOUTS.
4. SUPPRESSED CEILING TYPE, INSTALLATION, AND SECURELY FASTENED TO STRUCTURE ABOVE. PROVIDE LATENT SHADING WHERE REQUIRED.
5. CEILING ACCESS PANELS TO BE PROVIDED WHERE REQUIRED FOR TRAC, ELECTRICAL, AND PLUMBING SERVICE. LOCATIONS TO BE COORDINATED WITH TRADES.
6. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING ASSEMBLY (I.C. OVER GARAGE OR CANTILEVERED) TO BE IC-RATED AND AIR-TIGHT. FIXTURES TO BE SEaled TO MAINTAIN CONTINUOUS AIR-WATER BARRIER IN ACCORDANCE WITH OBC AND ENERGY CODE REQUIREMENTS.
7. MAINTAIN CLEARANCE AROUND LIGHT FIXTURES AND DUCTWORK FOR REQUIRED INSULATION, AIR CIRCULATION, AND SERVICE ACCESS.
8. ALL BATHROOMS TO BE VENTED DIRECTLY TO EXTERIOR IN ACCORDANCE WITH OBC 9.23.1.
9. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS TO BE INSTALLED AND INTERCONNECTED AS PER OBC 9.18.
10. SMOKE DETECTORS SHALL BE INSTALLED IN THE SUPPLY OR RETURN DUCT (RETURN AND SHALL SHUT DOWN HEAT AND ELECTRICAL POWER UPON ACTIVATION AS PER MECHANICAL DESIGN).
11. THE SMOKE TO BE INSTALLED IN THE PLANE OR ARE SEPARATIONS W/ELC. DUCTWORK PENETRATES WALLS OR FLOORING, BE SEaled BY OBC.
12. ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PUNCTURE THE VAPOUR BARRIER ARE TO BE SEaled WITH APPROPRIATE CALKING AND MEMBRANES. REFER TO OBC SECTION 9.18.01 (CALKING) AND 9.18.02 (MEMBRANES) APPROPRIATE BARRIERS).
13. ATTIC HATCHES TO BE INSULATED AND AIR SEaled. LOCATIONS AS SHOWN ON REFLECTED CEILING PLANS.
14. ATTIC ACCESS TO BE PROVIDED IN ACCORDANCE WITH OBC 9.18.1, AND COORDINATED WITH INSULATION AND REGISTRATION LAYOUT.



MAIN FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL

1. ALL WORK SHALL BE DONE TO THE EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED.
2. ALL WORK SHALL BE DONE TO THE EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED.
3. ALL WORK SHALL BE DONE TO THE EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED.
4. ALL WORK SHALL BE DONE TO THE EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED.

PREPARED BY
DESIGNED BY
CHECKED BY
APPROVED BY



CLIENT
SILV MOSES
1337 NORTH SHORE DR, SUDBURY, ON
PROJECT NO. 24-05-233

PROJECT
MAIN FLOOR REFLECTED CEILING PLAN

DRAWN CB
CHECKED DP/KO
SCALE 1/4" = 1'-0"
SHEET

A08

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 8

LEGEND

- MFL FL DENOTES METAL FLASHING
- ASPH SH DENOTES 25 YEAR ASPHALT SHINGLES
- STONE DENOTES STONE CLADDING BY OWNER
- MFL LAV DENOTES METAL LAUGHTHROUGH
- DS DENOTES METAL DOWN SPOUT
- R1 ROOF IDENTIFICATION IN SCHEDULE
- F1 FOUNDATION IDENTIFICATION IN SCHEDULE
- W1 WALL IDENTIFICATION IN SCHEDULE
- D1 DOOR IDENTIFICATION IN SCHEDULE
- W1 WINDOW IDENTIFICATION IN SCHEDULE
- F1 FOOTING IDENTIFICATION IN SCHEDULE
- H1 HELICAL IDENTIFICATION IN SCHEDULE
- P1 POST IDENTIFICATION IN SCHEDULE

CONSTRUCTION NOTES (TAGS):

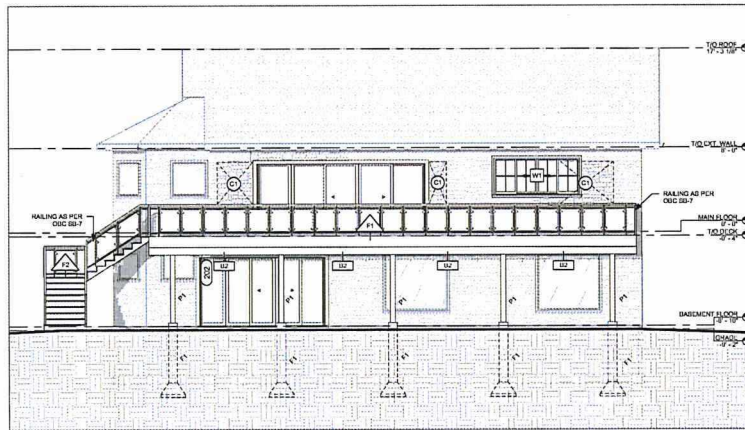
- (C1) CONTRACTOR TO INSTALL STUD WALL TO MATCH EXISTING ASSEMBLY, MAKE GOOD ON ALL SURFACES
- (C2) CONTRACTOR TO INSTALL 3/4" LEDGER BOARD, KICKER TO DETAIL, (2502), MAKE GOOD ON ALL SURFACES
- (C3) CONTRACTOR TO CONFIRM HOISTING SIZE FOR CONCRETE ENCHURING AT TIME OF CONSTRUCTION, CHANGE MIN. BEARING WT 4'-10" ON REINFORCEMENT WILL BE REQUIRED IF THAT SIZE IS NOT FOUND ON SITE
- (C4) CONTRACTOR TO REINFORCE EXISTING ROOF RAFTERS WITH ONE (1) 2" X 4" L2 BOSTED FULL LENGTH OR RAFTERS WHICH ACCESSIBLE LIVING 3" MIN. CLEARANCE TO BE MAINTAINED. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND DETAILS.



SOUTH ELEVATION
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.
 2. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.
 3. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.
 4. ALL WORK SHALL BE DONE TO THE RELEVANT CODES AND REGULATIONS.

REVISED FOR CONSTRUCTION
 10/31/2025



SLV INCHES
 137 NORTH SHORE DR, SOBBURY, ON
 PROJECT NO. K0405333

DRAWN: CS
 CHECKED: DP/KC
 SIGNAL: As Indicated
 SHEET:

A09

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 sketch 9

CONSTRUCTION NOTES (TAGS):

(C) CONTRACTOR TO INFILL STUD WALL TO MATCH EXISTING ASSEMBLY. MAKE GOOD ON ALL SURFACES.

(C) CONTRACTOR TO INSTALL 2x4 FLOOR BOARDS. REFER TO DETAIL (S02) MAKE GOOD ON ALL SURFACES.

(C) CONTRACTOR TO INSTALL SOLID BLOCKING IN FLOOR CAVITIES BELOW POINT LOADS. MAKE GOOD ON ALL SURFACES.

(C) CONTRACTOR TO CONFIRM FOOTING SIZE FOR HOME ENGINEERING AT TIME OF CONSTRUCTION. ENGINE MIN. 4X4X16" W/4" MIN. CW REINFORCEMENT WILL BE REQUIRED IF THAT SIZE IS NOT FOUND ON SITE.

(C) CONTRACTOR TO REINFORCE EXISTING ROOF RAFTERS WITH DWS SPP NO. 1/2 2x12 BUSHED FULL LENGTH ON RAFTERS WHERE ACCESSIBLE. USE 3x10x16 @ 12" ON 2x12 RAFTERS. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND DETAILS.

FLOOR ASSEMBLIES:

TYPICAL P.T. 2.1 1" FLOOR ASSEMBLY

- 5/8" DECK BOARDS
- 2x12 P.T. SPP NO. 1/2 NO. 2 WOOD JOISTS @ 16" O.C. CW BRIDGING - REFER TO STRUCTURAL

TYPICAL P.T. 2.2 1" LANDING FLOOR ASSEMBLY

- 5/8" DECK BOARDS
- 2x12 P.T. SPP NO. 1/2 NO. 2 WOOD JOISTS @ 16" O.C. CW BRIDGING - REFER TO STRUCTURAL

TYPICAL 2.3 1" FLOOR ASSEMBLY

- 5/8" T&G WOOD SHEATHING
- 2x12 SPP NO. 1/2 NO. 2 WOOD JOISTS @ 16" O.C. CW BRIDGING - REFER TO STRUCTURAL
- FILL W/ DRYWALL INSULATION MIN. (R-35 MIN) (SEEING AS REQUIRED)

WALL ASSEMBLIES:

DOUBLE EXTERIOR WEIRING

- HORIZONTAL W/WR. BOND BY OWNER
- 10" VERTICAL WOOD STRAPPING @ 16" O.C
- 1" RIGID INSULATION (R-5)
- AH-BARRIER MEMBRANE - LAP & SEAL
- 7/16" OSB SHEATHING
- 2x6 SPP NO. 1/2 NO. 2 STUD @ 16" O.C (DOUBLE TOP PLATE) W/ BRIDGING AND FLIGHT
- 12" GYPSUM BOARD SHEATHING

BEAM SCHEDULE

IDENTITY	SIZE
B1	P.T. 3-PLY 2x6 SPP NO. 1/2 NO. 2
B2	P.T. 4-PLY 2x12 SPP NO. 1/2 NO. 2
B3	3-PLY 1 3/4" x 11" WESTFRASER LVL 2.4E
B4	W16X44 WIDE FLANGE STEEL BEAM

LINTEL SCHEDULE

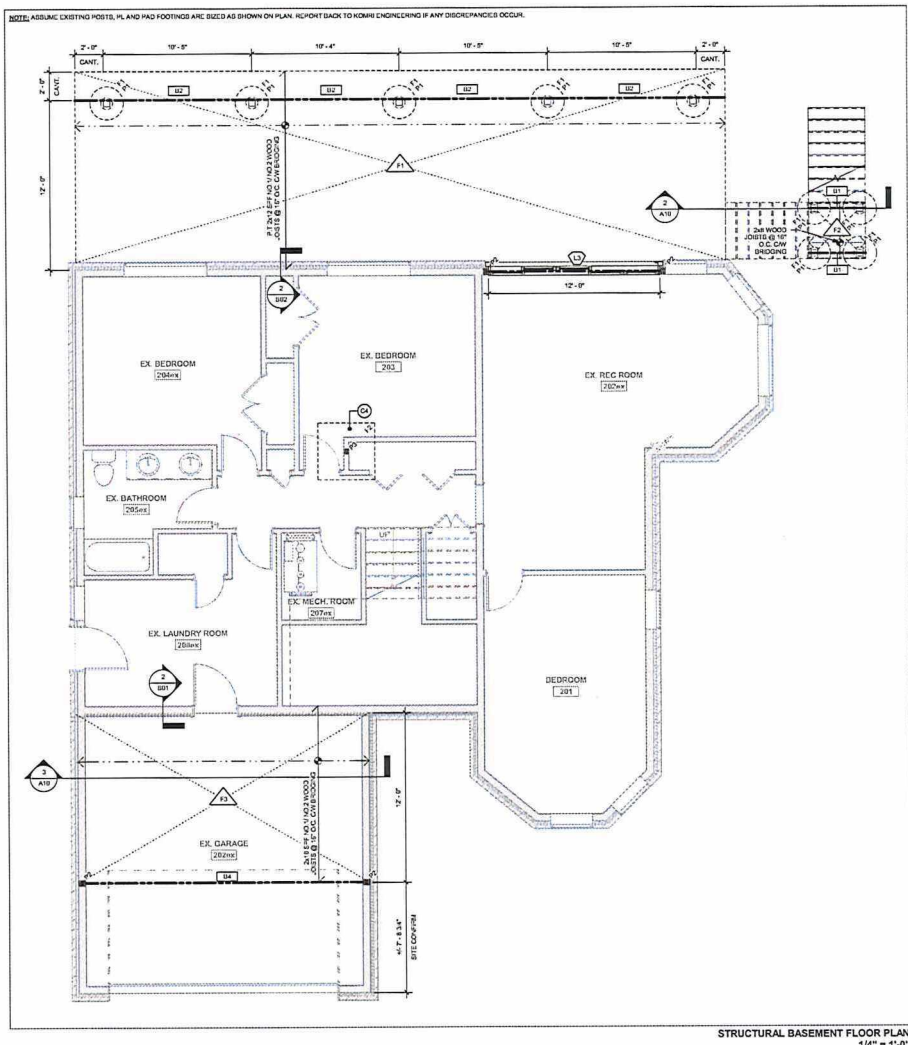
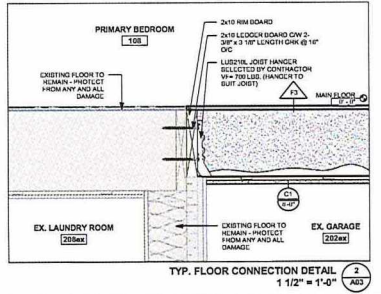
IDENTITY	SIZE
L1	2-PLY 2x6 SPP NO. 1/2 NO. 2
L2	2-PLY 2x6 SPP NO. 1/2 NO. 2
L3	3-PLY 1 3/4" x 11" WESTFRASER LVL 2.4E
L4	2-PLY 1 3/4" x 11" WESTFRASER LVL 2.4E

POSTCOLUMN SCHEDULE 1 3/4" x 11" WESTFRASER LVL 2.4E

IDENTITY	SIZE
P1	P.T. 6x4 WOOD POST SPP NO. 1/2 NO. 2
P2	3-PLY 2x6 SPP NO. 1/2 NO. 2
P3	3-PLY 2x6 SPP NO. 1/2 NO. 2

FOOTING SCHEDULE

IDENTITY	SIZE
F1	12" SONOTUBE CW 3" REEF FOOT WITH 3-HM REBAR L&E REFER TO DETAIL FOR ADDITIONAL INFORMATION
F2	3'-0" X 9'-0" X 12" DEEP PAD FOOTING CW 3-HM BARS EW



GENERAL

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2025 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2025 INTERNATIONAL FOUNDATION AND STRUCTURAL CONCRETE CODE BOOK (IFC).

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PERMITTED BY THE PERMITTED FOUNDATION PLAN.

3. THESE DIMENSIONS ARE APPROXIMATE AND A POWER SURVEY SHALL BE OBTAINED FOR THE FOUNDATION PLAN FOR THE EXISTING FOUNDATION.

4. 10/31/2025

KOMRI ENGINEERING

115 DOUGLAS STREET, SUDBURY, ON, P3E 1G1

SILV HINES
117 NORTH SHORE DR. SUDBURY, ON
PROJECT NO. 2025-0233

STRUCTURAL BASEMENT FLOOR PLAN

DRAWN: CB
CHECKED: DP/KO
SCALE: As Indicated
SHEET: S01

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

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CONSTRUCTION NOTES (TAGS):

- (C1) CONTRACTOR TO INSTALL BRUSH WALL TO MATCH EXISTING. ASSEMBLY: 1/2" GYP BOARD ON ALL SURFACES.
- (C2) CONTRACTOR TO INSTALL 2x12 LEDGER BOARD. REFER TO DETAIL (2502). MAKE GOOD ON ALL SURFACES.
- (C3) CONTRACTOR TO INSTALL SOLID BLOOMING IN FLOOR GAVITIES BELOW POINT LOADS ABOVE. MAKE GOOD ON ALL SURFACES.
- (C4) CONTRACTOR TO CONFIRM FOOTING SIZE (4 OR 6MM) INCLUDING AT TIME OF CONSTRUCTION. CHECKING MIN. 4K/4K/11 W/ 4-1/2" DIA. REIN. OR CEMENT WILL BE REQUIRED IF THAT SIZE IS NOT FOUND ON SITE.
- (C5) CONTRACTOR TO REINFORCE EXISTING ROOF RAFTERS WITH 2X8 8'@16' AND 2" BENTONITE FULL LENGTH ON RAFTERS WHERE ACCESSIBLE. USING 2x10 NAILS @ 12" O.C. BRACING. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND SPACING.

FLOOR ASSEMBLIES:

- TYPICAL 1.2 x 1.2 FLOOR ASSEMBLY**
 - 5/8" DECK BOARDS
 - 2x12 P.T. 2" FLOOR JOISTS @ 16" O.C. CW BRIDGING - REFER TO STRUCTURAL
- TYPICAL 1.2 x 1.2 LANDING FLOOR ASSEMBLY**
 - 5/8" DECK BOARDS
 - 2x8 P.T. 2" FLOOR JOISTS @ 16" O.C. CW BRIDGING - REFER TO STRUCTURAL
- TYPICAL 2.2 FLOOR ASSEMBLY**
 - 5/8" TAG PLANK BRACING
 - 2x8 8'@16' AND 2" BENTONITE FULL LENGTH ON RAFTERS WHERE ACCESSIBLE. USING 2x10 NAILS @ 12" O.C. BRACING. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND SPACING.
 - FILL W/ SPRAY FOAM INSULATION MIN. (R-35 MIN) CEILING AS INDICATED

WALL ASSEMBLIES:

- DWELLING EXTERIOR FINISHING**
 - HORIZONTAL VINYL SIDING BY OWNER
 - 1/2" VERTICAL WOOD SHAPING @ 16" O.C.
 - 1" X 2" INSULATION (R-5)
 - 1/2" GYP BOARD
 - 1/2" GYP BOARD
 - 7/16" OGD BRACING @ 24" O.C.
 - 2x8 8'@16' AND 2" BENTONITE FULL LENGTH ON RAFTERS WHERE ACCESSIBLE. USING 2x10 NAILS @ 12" O.C. BRACING. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND SPACING.
 - 1/2" GYP BOARD BRACING

ROOF ASSEMBLIES:

- DWELLING PRE-ENGINEERED TRUSS**
 - 25 YEAR ASPHALT SHINGLES
 - CAVITY THROUGH AROUND PERIMETER AS PER DETAIL
 - OC AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FILL FRACK
 - 1/2" X 1/2" WOOD BRACING CW 1/2" CLIPS
 - PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
 - 2x8 8'@16' AND 2" BENTONITE FULL LENGTH ON RAFTERS WHERE ACCESSIBLE. USING 2x10 NAILS @ 12" O.C. BRACING. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND SPACING.
 - 1/2" GYP BOARD BRACING
- TYPICAL CONVENTIONAL OVERFRAMING**
 - 25 YEAR ASPHALT SHINGLES
 - CAVITY THROUGH AROUND PERIMETER AS PER DETAIL
 - OC AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FILL FRACK
 - 1/2" X 1/2" WOOD BRACING CW 1/2" CLIPS
 - 2x8 8'@16' AND 2" BENTONITE FULL LENGTH ON RAFTERS WHERE ACCESSIBLE. USING 2x10 NAILS @ 12" O.C. BRACING. ENSURE TIGHT BEARING AT SUPPORTS AND PROPER LOAD TRANSFER. COORDINATE WITH STRUCTURAL PLANS FOR LOCATIONS AND SPACING.
 - 1/2" GYP BOARD BRACING

BEAM SCHEDULE

IDENTITY	SIZE
B1	P.T. 3-PLY 2x8 SPF NO. 1 NO. 2
B2	P.T. 4-PLY 2x8 SPF NO. 1 NO. 2
B3	3-PLY 1 3/4" x 11 3/8" WESTFRASER LVL 2.5E
B4	W16M10 WIDE FLANGE STEEL BEAM

LINTEL SCHEDULE

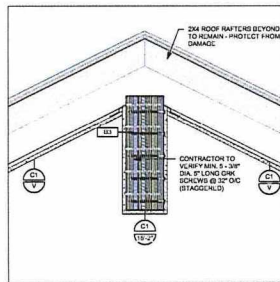
IDENTITY	SIZE
L1	2-PLY 2x8 SPF NO. 1 NO. 2
L2	2-PLY 2x8 SPF NO. 1 NO. 2
L3	3-PLY 1 3/4" x 11 3/8" WESTFRASER LVL 2.5E
L4	2-PLY 1 3/4" x 11 3/8" WESTFRASER LVL 2.5E
L5	2-PLY 1 3/4" x 11 3/8" WESTFRASER LVL 2.5E

POSTCOLUMN SCHEDULE

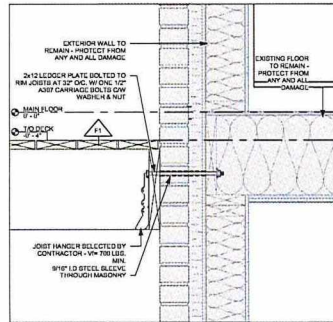
IDENTITY	SIZE
P1	P.T. 6x4 WOOD POST SPF NO. 1 NO. 2
P2	3-PLY 2x4 SPF NO. 1 NO. 2
P3	3-PLY 2x4 SPF NO. 1 NO. 2

FOOTING SCHEDULE

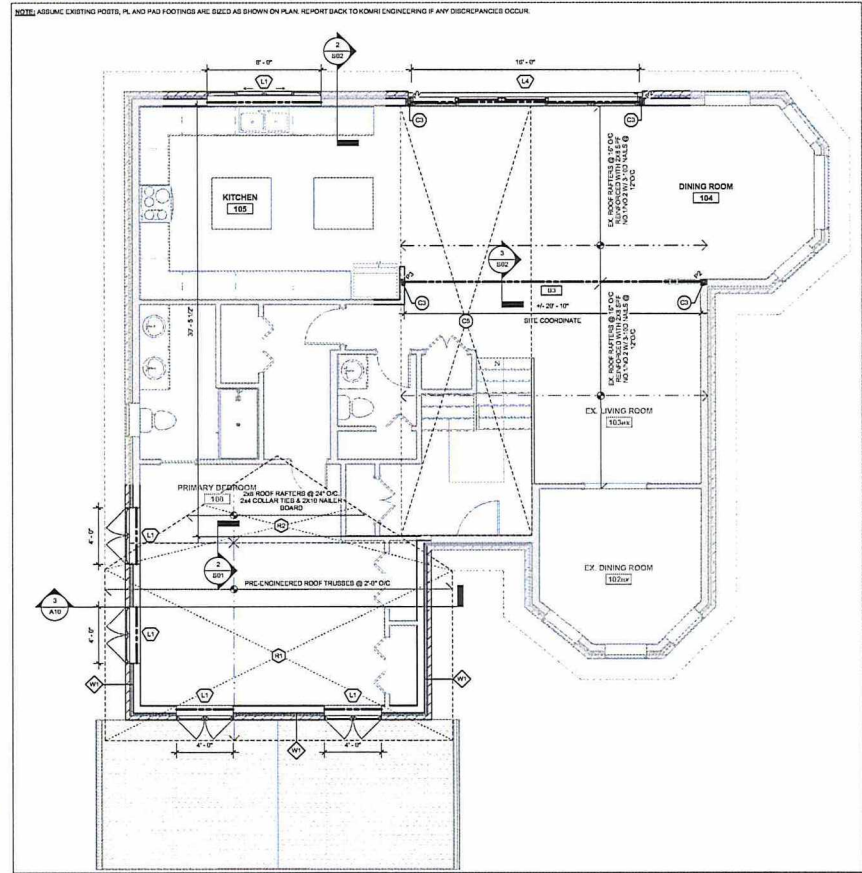
IDENTITY	SIZE
F1	12" SCHEDULE CW 3" DEEP FOOT WITH 3-HM REBAR LEO REFER TO DETAIL FOR ADDITIONAL INFORMATION
F2	3'-0" X 3'-0" X 12" DEEP PAD FOOTING CW 3-HM BARS EW



TYP. LVL BEAM CONNECTION DETAIL 1 1/2" x 1'-0" 3 SEE



TYP. LEDGER BOARD DETAIL 1 1/2" x 1'-0" 2 SEE



MAIN FLOOR STRUCTURAL PLAN 1/4" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODES (CNMPC & CNMCC).
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

PROVISIONS
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.



SLV BOBES
 1237 NORTH SHORE DR. SUDBURY, ON
 PROJECT NO. 2025-0113
 STRUCTURAL MAIN FLOOR PLAN & DETAILS

DRAWN: CB
 CHECKED: DP/KG
 SCALE: As Indicated
 TITLE:

S02

ISSUED FOR CONSTRUCTION - OCTOBER 31, 2025

PL-MV-2025-00147 Sketch 12



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00152

APPLICATION SUMMARY

File Date: 10/21/2025

Application Type: Minor Variance

Address(es): 4015 Dupuis Drive, Hanmer P3P 0B3

Applicant(s): SONYA ARCAND

Owner(s): SONYA ARCAND

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

November 25,2016

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

10

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Rural

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

The building of a 9.14mx10.67m slab on grade two story additional dwelling

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

There are driveways, other structures and trees, that we would prefer not to cut down, that would prevent building the 2nd home 30 meters away from the current dwelling. We would like the bigger house closer to the road than the main dwelling.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

123.14

Lot Depth of the property

164.59

Lot Area of the property

20267.61

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

1. 9.14m x 7.92m garage in 2018, turned into home with an 8x10 addition in 2020
2. 3.05m x 3.05m tool shed, 2018
3. 3.66m x 3.05m wood cover, 2020
4. 3.05m x 3.05m potting shed, 2021 with an added 2.13m x 2.44m in 2024
5. 2.44m x 3.66m machine shed, 2022
6. 1.83m x 3.04m chicken coop, 2022
7. 3.35m x 4.27m female goat shed, 2023
8. 3.35m x 4.27m hay storage shed, 2024
9. 2.13m x 3.05m male goat shed, 2025
10. 6.10m x 2.44m tarped tent, 2022

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential / Hobby farm

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

- Residential/hobby farm to the South
- residential and trailer repair to the North

- Agricultural/Hay farm to the East
- Residential/Hay farm to the West

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
ADU	No	97.52	195.05	2	9.14	10.67	7.32	21.34	129.54	7.01	105.16

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Potting Shed	No	14.49	14.49	1	5.18	3.05	3.35	74.68	86.87	86.26	30.48
Machine shed	No	8.93	8.93	1	2.44	3.66	3.12	80.77	80.77	88.39	30.48
Hay storage shed	No	14.3	14.3	1	3.35	4.27	2.9	36.58	124.36	88.39	29.26
Goat Shed	No	14.3	14.	1	3.35	4.27	2.9	36.58	124.36	75.9	42.67
Chicken Coop	No	5.58	5.58	1	1.83	3.05	2.9	76.2	86.87	73.15	45.72
House	No	72.39	72.39	1	11.58	7.92	4.57	74.68	82.3	49.38	60.96
Tool Shed	No	9.3	9.3	1	3.05	3.05	3.84	83.82	77.2	45.72	73.15
Boy goat shed	No	6.5	6.5	1	2.13	3.05	2.44	83.82	77.2	36.58	83.22
Wood Cover	No	11.16	11.16	1	3	6	2.44	83.82	77.2	38.7	79.24
Tarped Garage	Yes	14.88	14.88	1	6.1	2.44	2.59	64.01	97.54	21.33	94.50

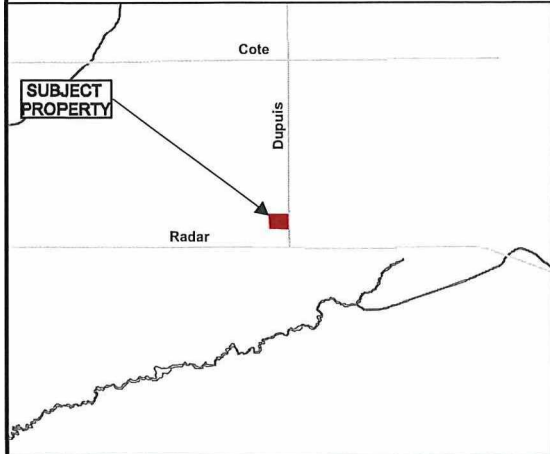
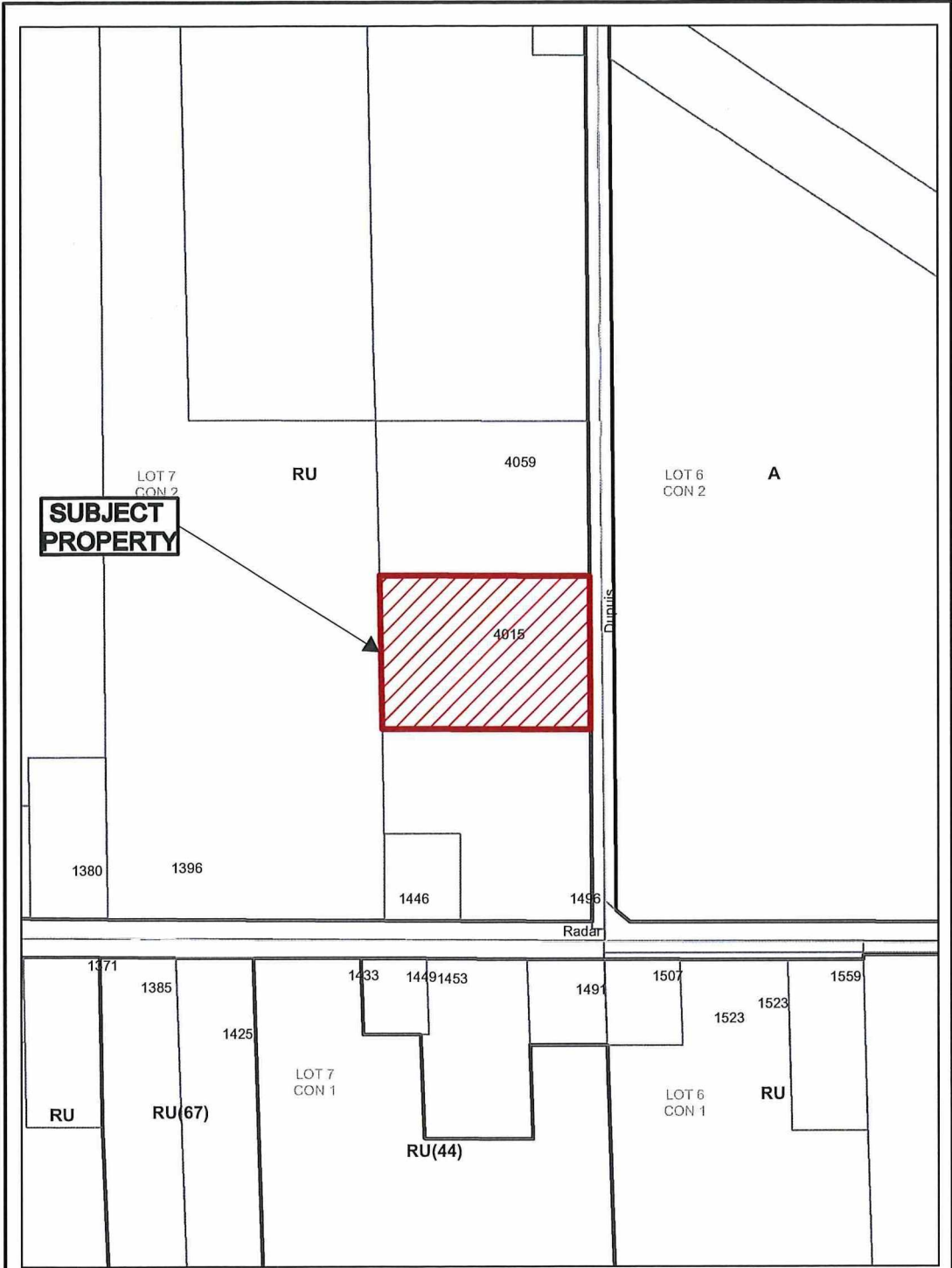
ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Distance between dwellings	30 m between dwellings	51.82 m approximately	21.82 m

4.2.10.3 e) Additional Dwelling Units in Accessory Buildings

Shall only be permitted within the rear and/or interior side yards

Permit within front yard n/a



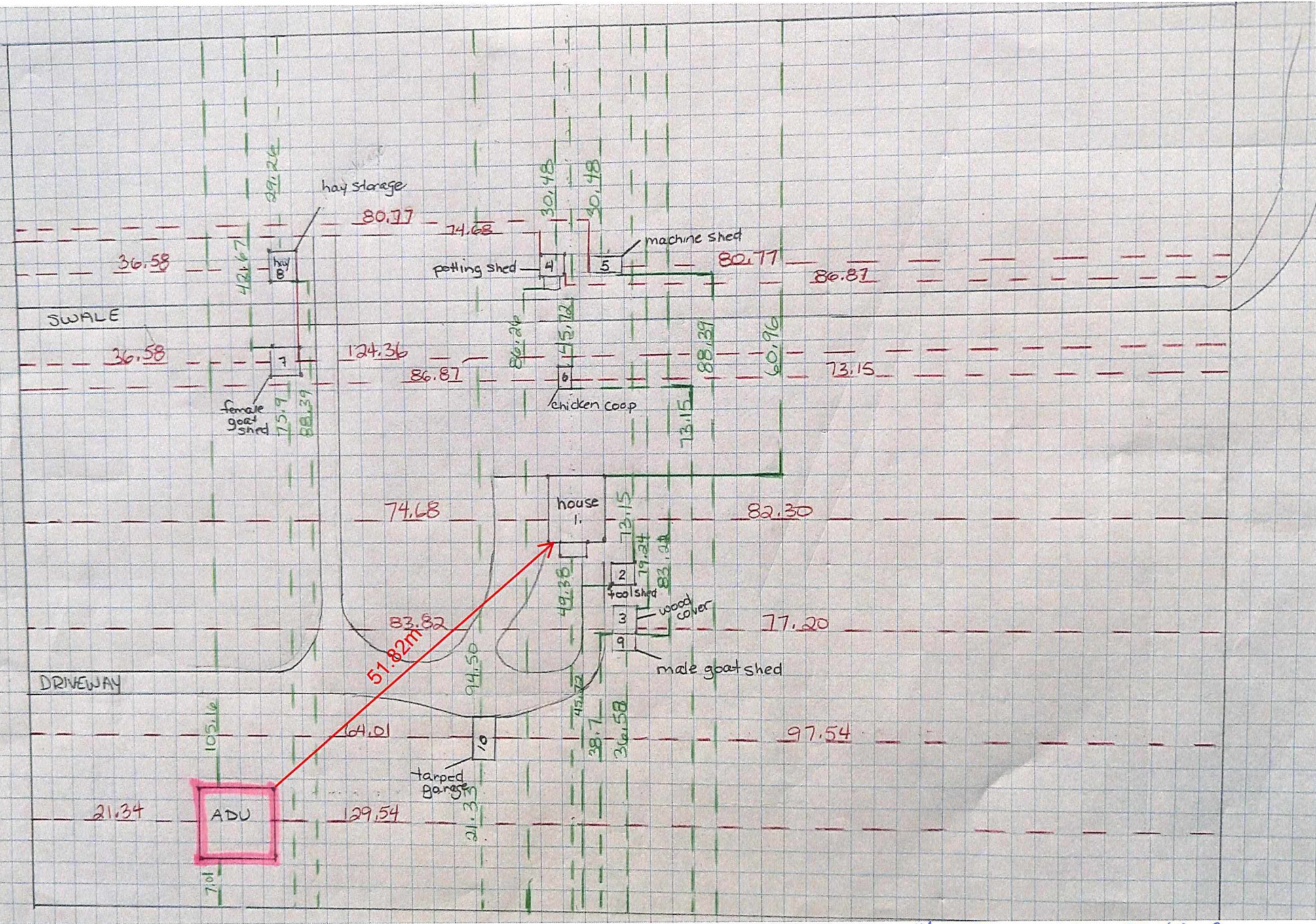
Application for Minor Variance or Permission



Subject Property being PIN 73509-0332,
 Part Lot 7, Concession 2,
 being Part 2, Plan 53R-19256,
 Township of Capreol,
 4015 Dupuis Drive, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2025-00152
 Date: 2025 10 27





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00153

APPLICATION SUMMARY

File Date: 10/22/2025

Application Type: Minor Variance

Address(es): 117 First Avenue, Sudbury P3B 3L2

Applicant(s): A.L. PERMITS

Owner(s): KYLE ARZENI AND MELISSA ARZENI

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
July 2016

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
1

What is the number of proposed new dwelling units on the property?
0

What is the number of proposed new buildings/structures on the property?
0

What is the number of existing buildings/structures on the property?
2

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
Ramsey Lake Watershed

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5, FD

Provide a detailed description of what is being proposed
71.349 m² addition to existing 89.186 m² detached garage with a height of 6.187m where the bylaw permits a max height of 5m

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
Owner would like to install a lift for storage of his classic cars which requires slightly more height than currently permitted under by-law 2010-100Z section 4.2.4.(a)

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
16.14

Lot Depth of the property
103.676

Lot Area of the property
1673.339

Total width of the public road giving access to the property
19.6

List all buildings and structures on the property and their respective date of construction
Single Family Dwelling - 1965
Detached Garage -2008

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
Residential - 70 years

Is the use remaining the same? If no, please provide the proposed new use
Yes

Existing uses of neighbouring properties
Residential

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

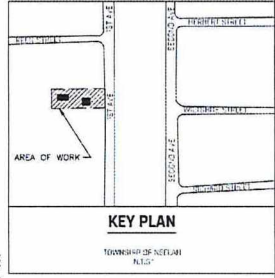
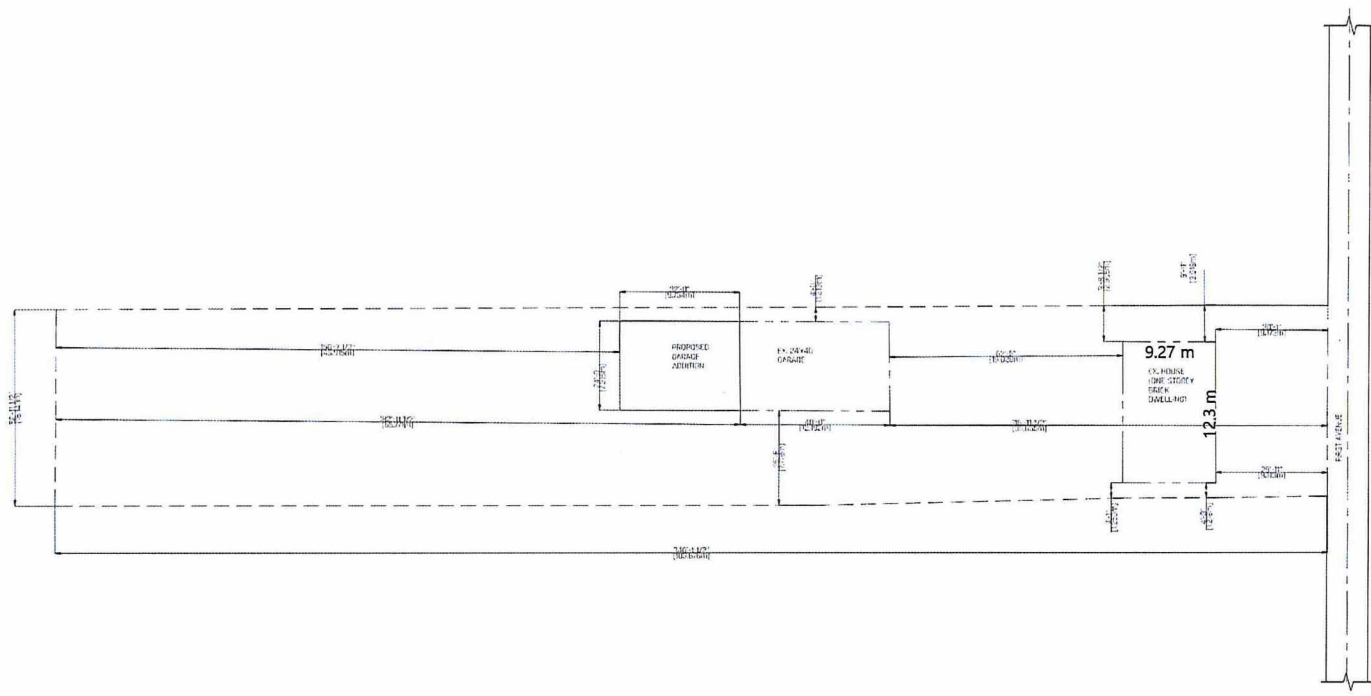
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Addition to detached garage	No	71.349	71.349	1	7.315	9.754	6.187	47.847	45.915	1.213	7.778

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Family Dwelling	No	123.2	123.2	1	12.6	9.58	6.096	19.113	86.991	2.966	1.219
Detached garage	No	89.186	89.186	1	7.315	12.192	5	35.615	55.77	1.213	7.778

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
By-law 2010-100Z 4.2.4.(a)	5 m	6.187 m	1.187 m



9.27 m

**PRELIMINARY
NOT FOR CONSTRUCTION**



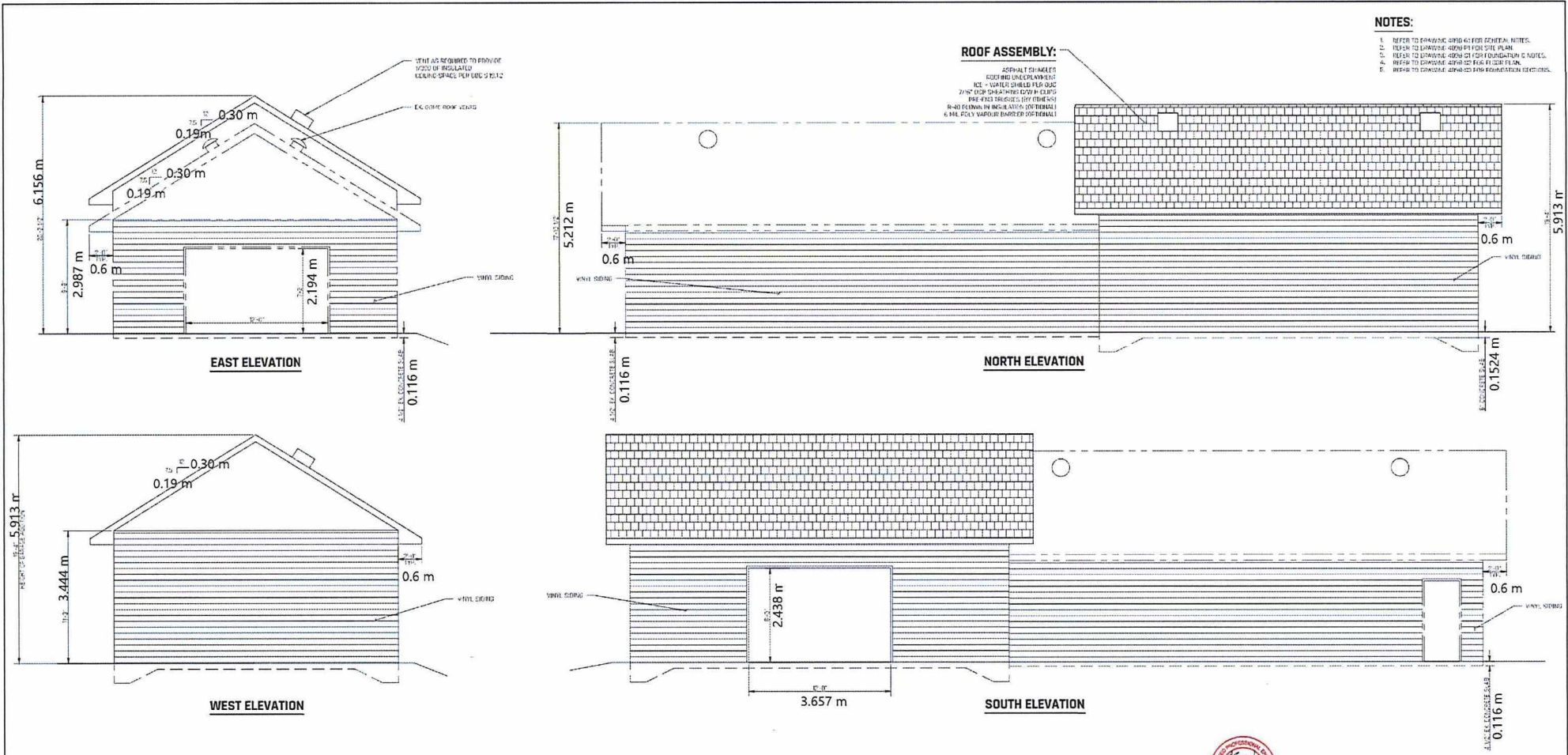
THIS DRAWING WAS ENGINEERED AND PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT SO SHOWN. THIS DRAWING IS THE PROPERTY OF THE ENGINEER AND ANY USE OF THIS DRAWING BY THE CLIENT OR OTHER PARTY WITHOUT THE PERMISSION OF THE ENGINEER IS STRICTLY PROHIBITED. ANY USE THEREOF AS A SUBSTITUTE FOR THE INFORMATION ON THIS DRAWING OR FOR ENGINEERING WORK CONSIDERED HEREIN IS THE RESPONSIBILITY OF SUCH THIRD PARTY. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF THEIR LEGAL USE OF THIS INFORMATION.

REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			A	ISSUE FOR REVIEW	M.B.		

CLIENT NAME		KYLE ARZENI	
SITE		117 FIRST AVENUE, SUDBURY, ON	
PROJECT DESCRIPTION		GARAGE ADDITION	
DRAWING DESCRIPTION		SITE PLAN	
DRAWN BY	DATE DRAWN	CHECKED BY	DATE CHECKED
M. BELANGER	2025-08-21		
APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER
		1/16"=1'-0"	4898-P1
REVISION			
A			

PL-MV-2025-00153

Sketch 2



NOTES:

1. REFER TO GENERAL NOTES FOR GENERAL NOTES.
2. REFER TO DRAWING 400-01 FOR SITE PLAN.
3. REFER TO DRAWING 400-01 FOR FOUNDATION NOTES.
4. REFER TO DRAWING 400-01 FOR FOUNDATION.
5. REFER TO DRAWING 400-01 FOR FOUNDATION DETAILS.

ROOF ASSEMBLY:

ASPHALT CONCRETE
 15mm INSULATION
 15mm GYPSUM BOARD
 15mm OSB
 15mm GYPSUM BOARD
 15mm INSULATION
 15mm GYPSUM BOARD
 15mm OSB
 15mm GYPSUM BOARD
 15mm INSULATION
 15mm GYPSUM BOARD
 15mm OSB

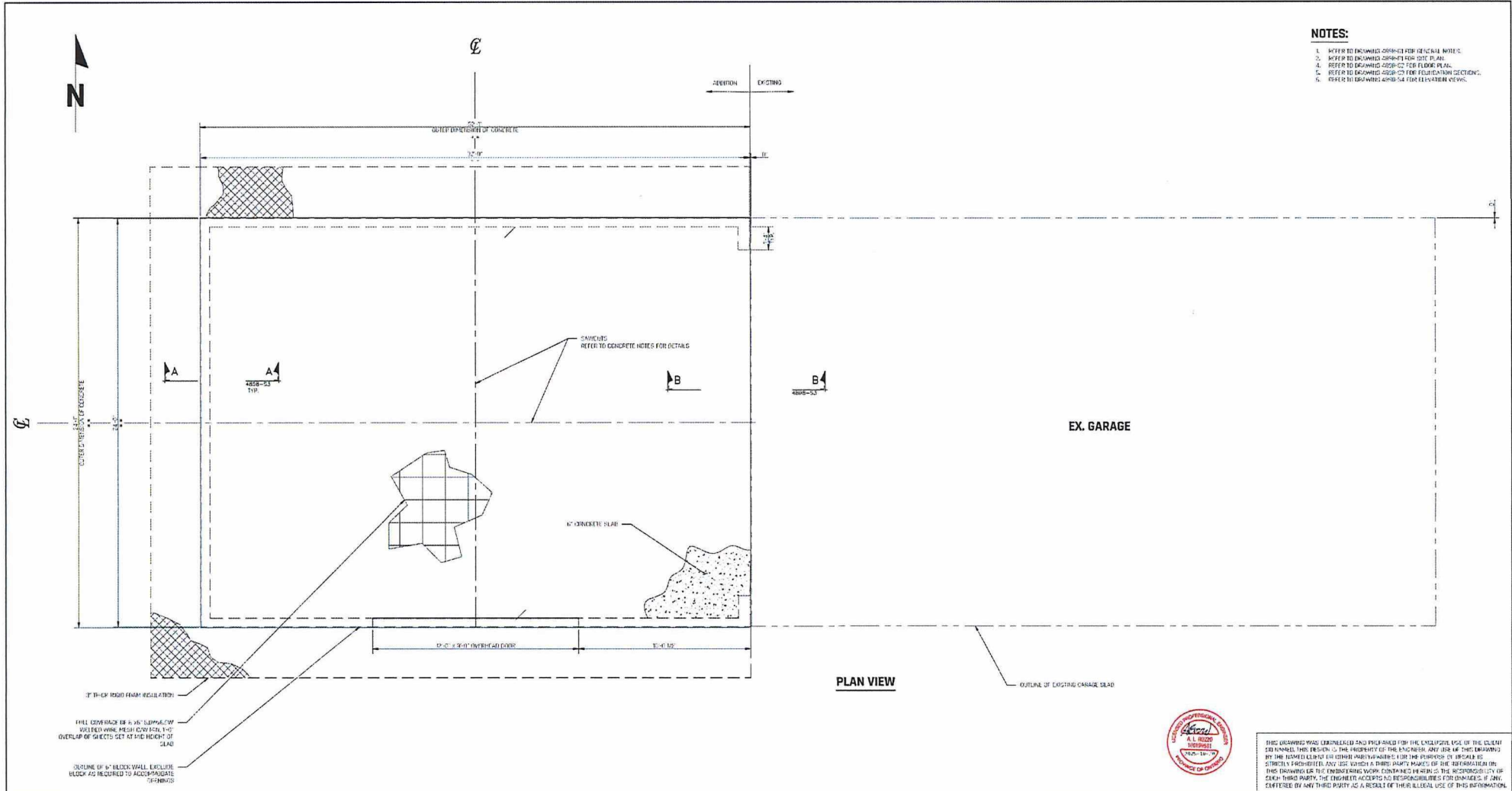
REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APPD BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20

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CLIENT NAME	KYLE ARZENI							
SITE	117 FIRST AVENUE, SUDBURY, ON							
PROJECT DESCRIPTION	GARAGE ADDITION							
DRAWING DESCRIPTION	ELEVATION VIEWS							
DRAWN BY	DATE DRAWN	CHECKED BY	DATE CHECKED	APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER	REVISION
M. BÉLANGER	2025-10-10	M. JOYAL	2025-10-20	A. BOZZO	2025-10-20	1/4"=1'-0"	4898-S4	0

PL-MV-2025-00153
 Sketch 3



- NOTES:**
1. REFER TO DRAWING OBJECT FOR GENERAL NOTES.
 2. REFER TO DRAWING OBJECT FOR SITE PLAN.
 3. REFER TO DRAWING OBJECT FOR FLOOR PLAN.
 4. REFER TO DRAWING OBJECT FOR ELEVATION SECTIONS.
 5. REFER TO DRAWING OBJECT FOR ELEVATION VIEWS.



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REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20



CLIENT NAME	KYLE ARZENI
SITE	117 FIRST AVENUE, SUDBURY, ON
PROJECT DESCRIPTION	GARAGE ADDITION
DRAWING DESCRIPTION	FOUNDATION & NOTES
DRAWN BY	M. BÉLANDER
DATE DRAWN	2025-09-21
CHECKED BY	M. JOYAL
DATE CHECKED	2025-10-20
APPROVED BY	A. BOZZO
DATE APPROVED	2025-10-20
SCALE	3/8"=1'-0"
DRAWING NUMBER	4898-S1
REVISION	0



NOTES:

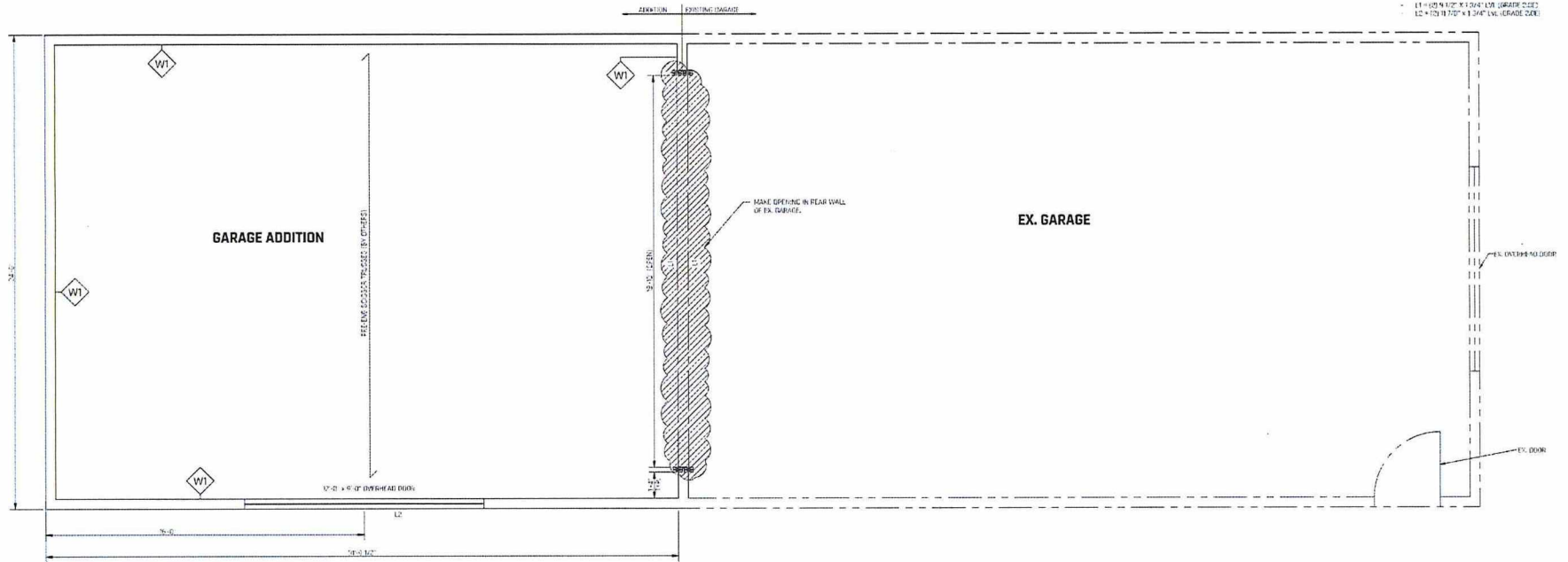
1. REFER TO DRAWING 4898-S1 FOR GENERAL NOTES.
2. REFER TO DRAWING 4898-S2 FOR SITE PLAN.
3. REFER TO DRAWING 4898-S3 FOR FOUNDATION PLAN.
4. REFER TO DRAWING 4898-S4 FOR FOUNDATION ELEVATIONS.
5. REFER TO DRAWING 4898-S5 FOR ELEVATION NOTES.

W1 WALL ASSEMBLY:

- VENEER USING 100 POUND CHICKEN
- TYVEK AIR BARRIER
- 2X6 JOIST CHANGING
- 2X6 FLOORING @ 16" O.C.
- R-22 BATT INSULATION (OPTIONAL)
- 1/2" GYPSUM BOARD (OPTIONAL)
- INTERIOR FINISH (BY OWNER)

LINTEL SCHEDULE:

- L1 = 10" X 4" X 1/2" X 1/4" LVL (GRADE FLOOR)
- L2 = 12" X 8" X 1/2" X 1/4" LVL (GRADE FLOOR)



FLOOR PLAN



THIS DRAWING WAS ENGINEERED AND PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND I WARRANT THAT IT IS THE PROPERTY OF THE ENGINEER AND NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF THEIR ILLUSORY USE OF THIS INFORMATION.

REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20



DRAWN BY	DATE DRAWN	CHECKED BY	DATE CHECKED	APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER	REVISION
M. BÉLANGER	2025-08-21	M. JOYAL	2025-10-20	A. BOZZO	2025-10-20	3/8"=1'-0"	4898-S2	0

CLIENT NAME	KYLE ARZENI
DATE	117 FIRST AVENUE, SUDBURY, ON
PROJECT DESCRIPTION	GARAGE ADDITION
DRAWING DESCRIPTION	FLOOR PLAN

PL-MV-2025-00153

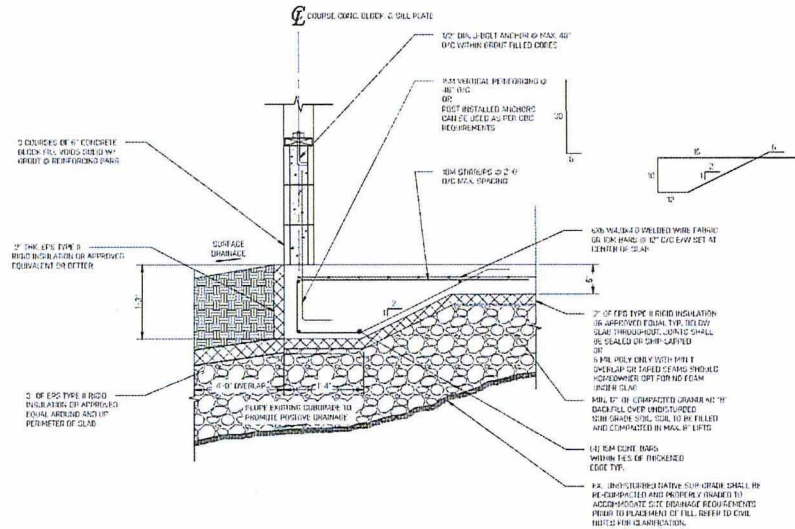
Sketch 6

NOTES:

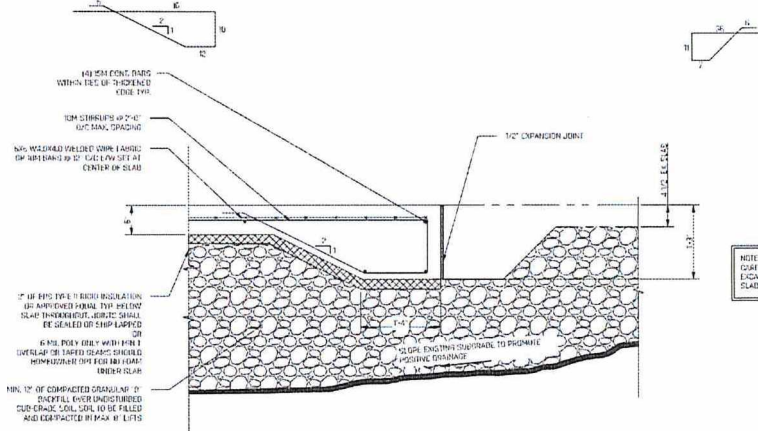
- DESIGN AND CONSTRUCTION OF GARAGE FRAMING OTHERS AND SHALL COME WITH THE UNITS RUMING CODE DESIGN BY ARCHITECTURAL.
- PERFORM THE INSULATION INDICATED IS RECOMMENDED FOR INDICATED GARAGE AND INSULATION FOR HEATED GARAGE; HANDED BY SEALER AS PER MANUFACTURER'S RECOMMENDATIONS.
- ENSURE NO FROST SUSCEPTIBLE MATERIALS BENEATH SLAB.

NOTES:

- REFER TO DRAWING 4898-D FOR GENERAL NOTES.
- REFER TO DRAWING 4898-B FOR FLOOR PLAN.
- REFER TO DRAWING 4898-B FOR FOUNDATION & NOTES.
- REFER TO DRAWING 4898-B FOR FLOOR PLAN.
- REFER TO DRAWING 4898-D FOR ELEVATION VIEWS.



SECTION A-A - TYPICAL SLAB DETAIL
SCALE: 1" = 1'-0"



SECTION B-B - SLAB DETAIL
SCALE: 1" = 1'-0"

NOTE: CARE MUST BE TAKEN WHEN EXCAVATING NOT TO UNDERMINE SLAB OF EXISTING GARAGE.



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REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20

CLIENT NAME
KYLE ARZENI

SITE
117 FIRST AVENUE, SUDBURY, ON

PROJECT DESCRIPTION
GARAGE ADDITION

DRAWING DESCRIPTION
FOUNDATION SECTIONS

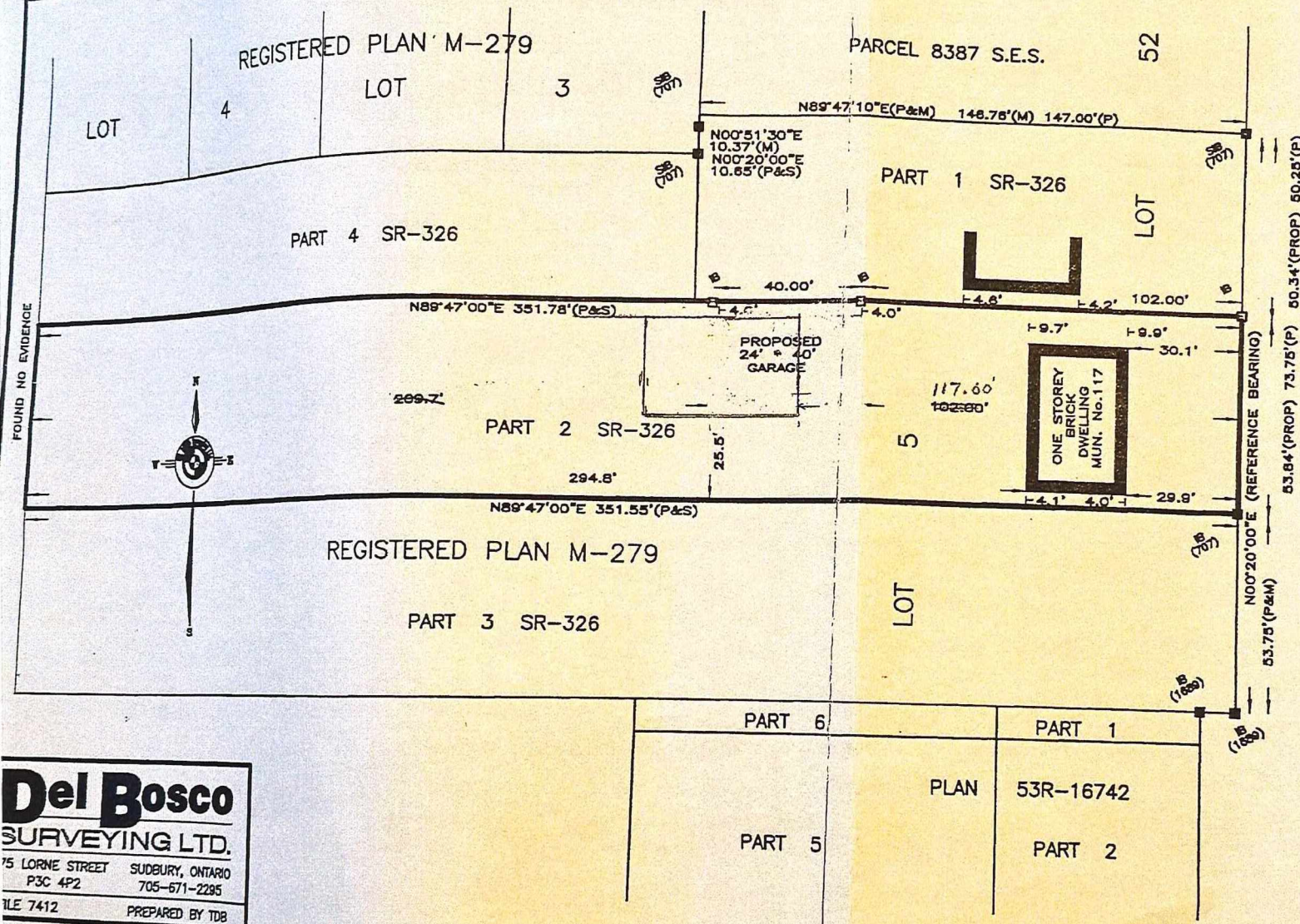
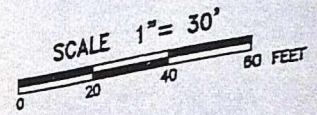
DRAWN BY M. BÉLANGER	DATE DRAWN 2025-09-21	CHECKED BY M. JOYAL	DATE CHECKED 2025-10-20	APPROVED BY A. BOZZO	SCALE AS NOTED	DRAWING NUMBER 4898-S3	REVISION 0
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PL-MV-2025-00153

Sketch 7

ORIGINAL
DO NOT REMOVE
PROJECT # AR-1054

SKETCH SHOWING LOCATION
OF
PROPOSED GARAGE
PART 2, PLAN SR-326
GEOGRAPHIC TOWNSHIP OF NEE
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TERRY DEL BOSCO, O.L.S.
2007



LEGEND

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT SET
▬	DENOTES STANDARD IRON BAR
▬	DENOTES SHORT STANDARD IRON BAR
⊕	DENOTES IRON BAR
⊕	DENOTES ROCK BAR
⊕	DENOTES ROCK PLUG
⊕	DENOTES MEASURED SET
⊕	DENOTES NO VISIBLE MARKINGS
⊕	DENOTES WITNESS MONUMENT
⊕	DENOTES PROPORTIONED
⊕	DENOTES PROPERTY IDENTIFIER NUMBER
1855	DENOTES TERRY DEL BOSCO, O.L.S.
707	DENOTES R. T. LANE, O.L.S.
1888	DENOTES A. BORTOLUSSI, O.L.S.
1542	DENOTES J. A. COLE, O.L.S.
P	DENOTES PLAN SR-326
⊕	DENOTES NOT TO SCALE

Del Bosco
SURVEYING LTD.
75 LORNE STREET SUDBURY, ONTARIO
P3C 4P2 705-671-2285
FILE 7412 PREPARED BY TDB

PL-MV-2025-00153

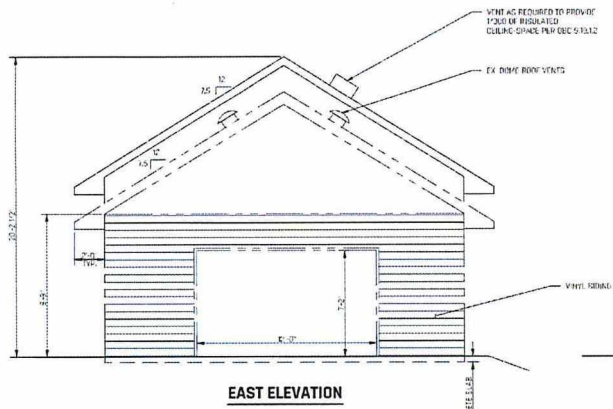
Sketch 8

NOTES:

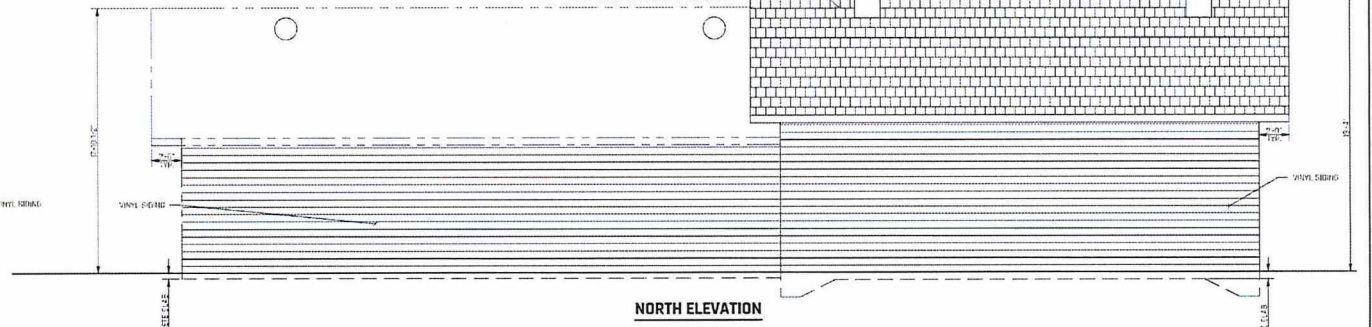
1. REFER TO DRAWING 4898-S4 FOR GENERAL NOTES.
2. REFER TO DRAWING 4898-S1 FOR SITE PLAN.
3. REFER TO DRAWING 4898-S3 FOR FOUNDATION & DETAILS.
4. REFER TO DRAWING 4898-S5 FOR FLOOR PLAN.
5. REFER TO DRAWING 4898-S6 FOR FOUNDATION DETAILS.

ROOF ASSEMBLY:

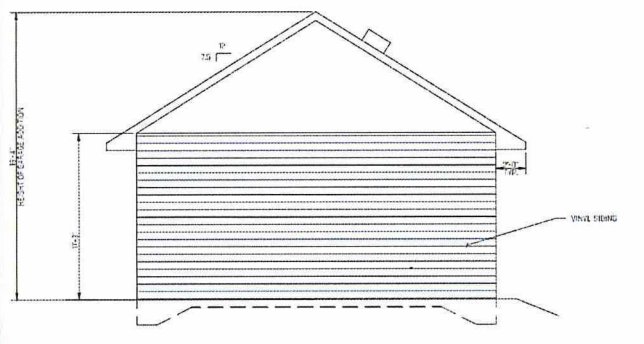
- 1. ASPHALT SHINGLES
- 2. ROOF INSULATION
- 3. 1/2" WATER SHIELD FIBERGLASS
- 4. 1" OSB SHEATHING
- 5. 2" X 6" RAFTERS (ON CENTER)
- 6. 1/2" GYPSUM BOARD (OPTIONAL)



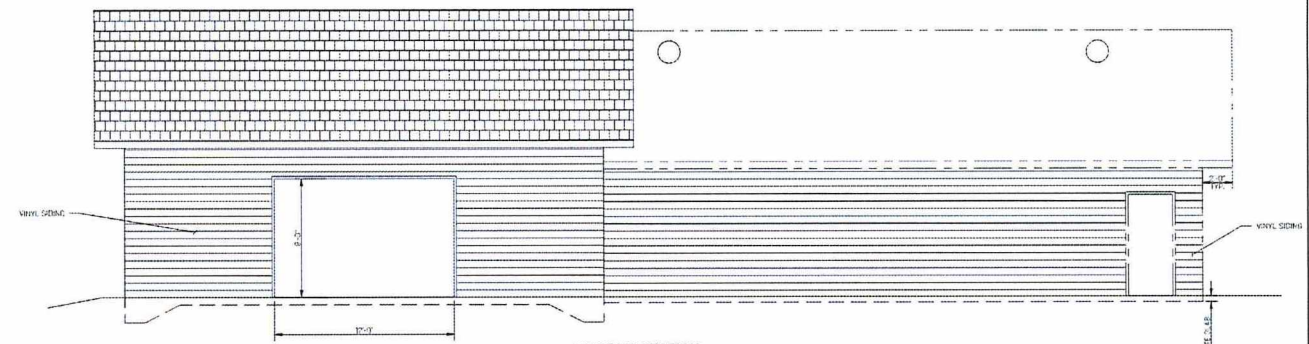
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



THIS DRAWING WAS ENGINEERED AND PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND HIS PROPERTY. THIS DRAWING IS THE PROPERTY OF THE ENGINEER AND USER OF THIS DRAWING BY THE REVISED CLIENT OR OTHER PARTY. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS STRICTLY PROHIBITED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF THEIR ILLICIT USE OF THIS INFORMATION.

REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUE FOR CONSTRUCTION	M.B.	A.B.	2025-10-20



CLIENT NAME	KYLE ARZENI
SITE	117 FIRST AVENUE, SUDBURY, ON
PROJECT DESCRIPTION	GARAGE ADDITION
DRAWING DESCRIPTION	ELEVATION VIEWS
DRAWN BY	M. BELANGER
DATE DRAWN	2025-10-10
CHECKED BY	M. JOYAL
DATE CHECKED	2025-10-20
APPROVED BY	A. BOZZO
DATE APPROVED	2025-10-20
SCALE	1/4"=1'-0"
DRAWING NUMBER	4898-S4
REVISION	0



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00155

APPLICATION SUMMARY

File Date: 11/03/2025

Application Type: Minor Variance

Address(es): 1385 Regent Street, Sudbury P3E 3Z1

Applicant(s): DALRON HOMES

Owner(s): AMBERWOOD REAL ESTATE INC.

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
August 31, 2011

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
90

What is the number of proposed new dwelling units on the property?
0

What is the number of proposed new buildings/structures on the property?
0

What is the number of existing buildings/structures on the property?
1

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Regional Corridor

Current Official Plan designation (additional)

Current Zoning By-law designation

C2(34), C2(63), R3-1

Provide a detailed description of what is being proposed

Request to remove the required fence along the the west property line.

Request to remove the fence along the South property line.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

See Schedule A

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

88.88

Lot Depth of the property

78

Lot Area of the property

5989

Total width of the public road giving access to the property

30

List all buildings and structures on the property and their respective date of construction

2014

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Retirement home since 2003

Is the use remaining the same? If no, please provide the proposed new use

no change

Existing uses of neighbouring properties

South: Commercial

North: Commercial

West: R3-1 Nesbit Towers. Multiple apartment units.

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
3 story, 90 bed retirement home	No	2008	7026	3	68	21	10	16	10	3.47	3.3

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.15.5 - Planting Strip - Contents	Screening devices in the form of a continuous row of trees, a continuous hedgerow of evergreens, bushes or shrubs, or berm, a wall, or a fence must be provided in Planting Strip	No screening device	N/A

SCHEDULE “A”

Subject Property:

1385 Regent Street – The Amberwood Suites (TAS)

A three (3) story, ninety (90) bed retirement home.

Zoning By-law 4.15.4 and 4.15.5 – Planting Strip – Location and Contents

Requirement:

A 3.0-metre-wide planting strip (*or fence*) adjacent to the full length of the lot line shall be required:

- (i) Where the lot line of a non-residential lot, other than a lot containing an open space use or a lot in an Industrial Zone, abuts a residential lot or a lot in a Residential Zone.

Required planting strips shall contain one or more of the following screening devices: A fence.

Relief Requested:

Relief is requested from **Zoning By-law Section 4.15.5 – Planting Strip - Contents** for the installation of a 1.5m (5.0') fence along the west lot line for the following reasons:

1. Nature of Use:

The subject property abuts lands that are zoned **R3-1**, and while the subject property is zoned non-residential, the existing use as a **retirement home** is *residential in character*. This use is permitted within the residential (R4) zoning category. Accordingly, the intent of the planting strip provision—to provide visual and functional buffering between dissimilar uses—is effectively maintained without the need for a formal planting strip/fence (see Appendences 1 and 2).

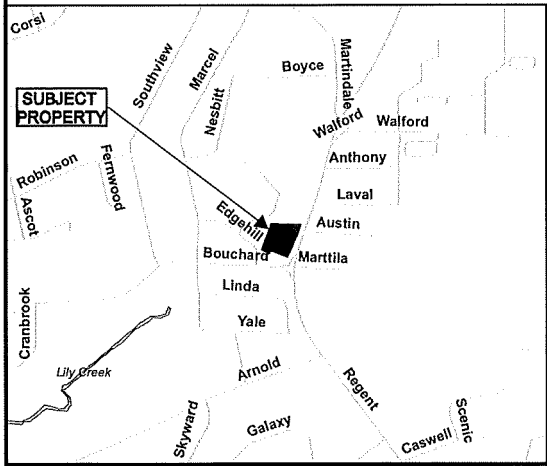
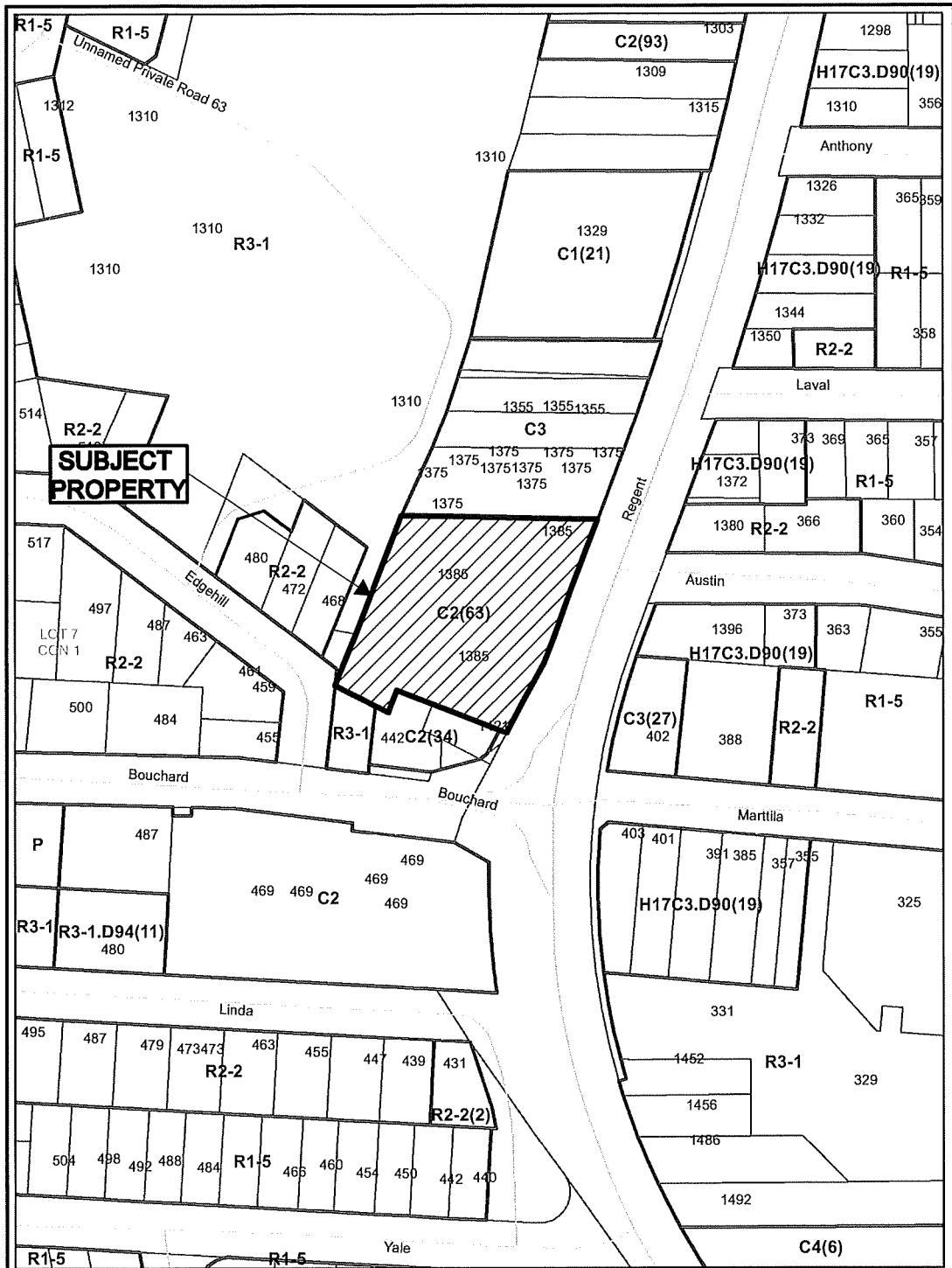
2. Topography of Adjacent Site:

The abutting property **consists of several multi-residential apartment buildings, each over six (6) stories** in height, with the closest building being located **more than 20 metres** from the lot line requiring the fence. Further they are situated at a much **higher elevation** than the subject property. Due to the location and the **topographical difference**, a fence would **not achieve the intended screening effect** between the two properties (see Appendix 2).

3. Site Conditions and Screening Effectiveness:

The proposed fence location would be **along the property line**, which lies within the **lowest point of the existing drainage swale**. A **1.5 m (5.0 ft)** fence in this location would **not provide effective screening** as intended by the By-law.

In consideration of the above, we respectfully submit that the requested relief is **minor in nature**, **maintains the intent and purpose** of the By-law, and will **not adversely impact** adjacent properties or the surrounding area. The proposed approach provides a practical and appropriate solution given the existing site conditions and topography.



**Application for Minor
Variance or Permission**



Subject Property being PIN 73596-0935,
 Firstly: Part of Lot 7, Concession 1,
 as in LT63621, LT63721, LT68251 & LT68789,
 except LT69355, LT95108 & LT99279;
 Township of McKim,
 1385 Regent Street, Sudbury,
 City of Greater Sudbury

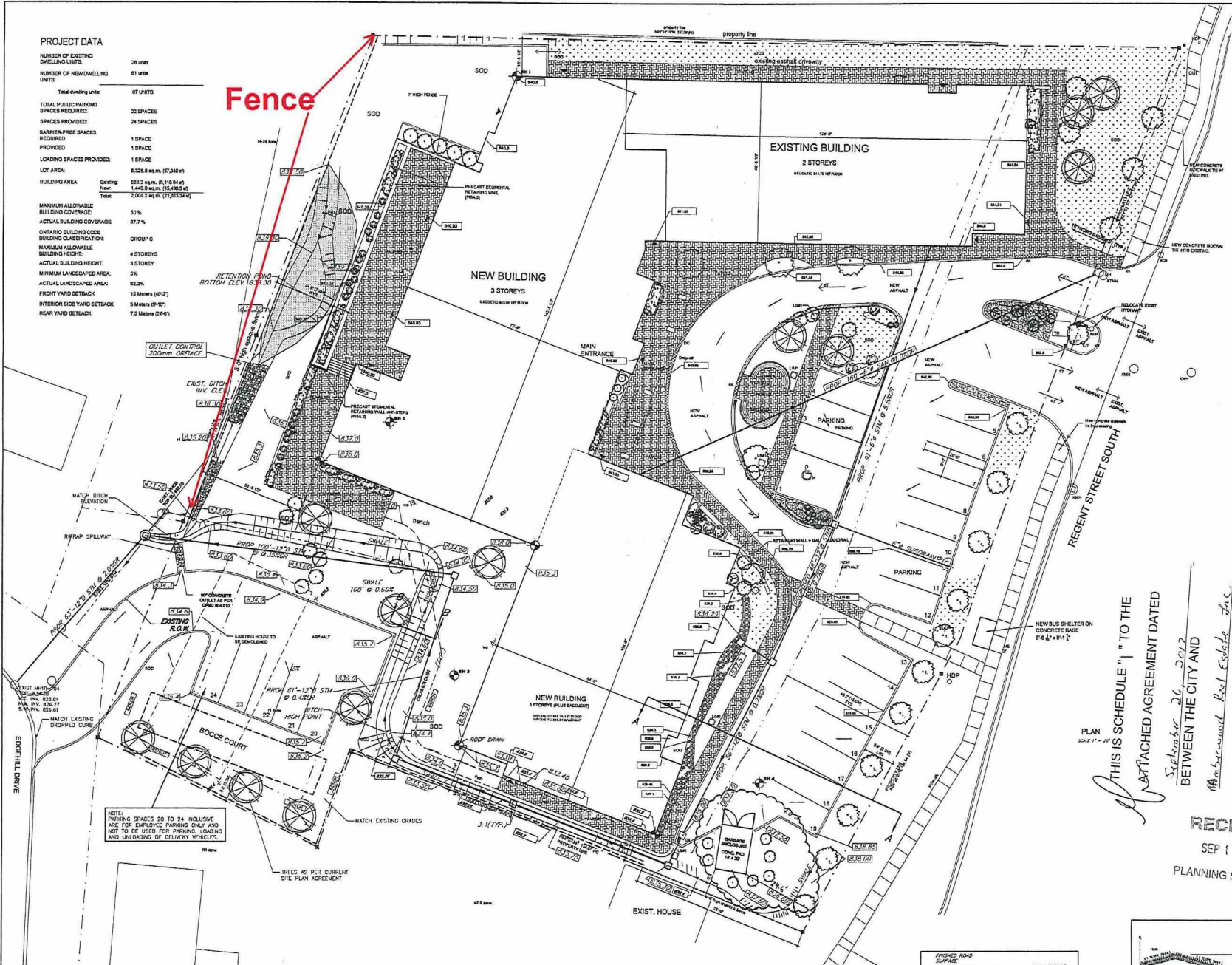
Sketch 1, NTS
 NDCA

PL-MV-2025-00155
 Date: 2025 11 10

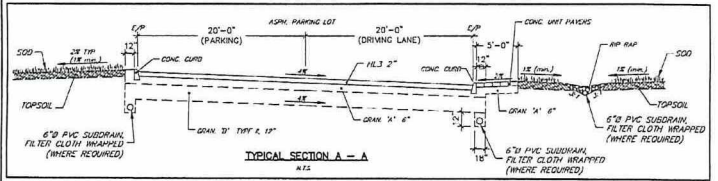
PROJECT DATA

NUMBER OF EXISTING DWELLING UNITS:	28 UNITS
NUMBER OF NEW DWELLING UNITS:	81 UNITS
Total dwelling units:	109 UNITS
TOTAL PUBLIC PARKING SPACES REQUIRED:	23 SPACES
SPACES PROVIDED:	24 SPACES
BARBER-FREE SPACES REQUIRED:	1 SPACE
PROVIDED:	1 SPACE
LOADING SPACES PROVIDED:	1 SPACE
LOT AREA:	6,326.8 sq.m. (15,240 sq.ft.)
BUILDING AREA:	Existing: 229.2 sq.m. (5,194.84 sq.ft.) New: 1,440.0 sq.m. (15,485.5 sq.ft.) Total: 2,669.2 sq.m. (57,680.34 sq.ft.)
MAXIMUM ALLOWABLE BUILDING COVERAGE:	55%
ACTUAL BUILDING COVERAGE:	37.7%
ONTARIO BUILDING CODE BUILDING CLASSIFICATION:	GROUP C
MAXIMUM ALLOWABLE BUILDING HEIGHT:	4 STOREYS
ACTUAL BUILDING HEIGHT:	3 STOREY
MINIMUM LANDSCAPED AREA:	5%
ACTUAL LANDSCAPED AREA:	62.3%
FRONT YARD SETBACK:	15 Metres (49'-2")
INTERIOR SIDE YARD SETBACK:	3 Metres (9'-0")
REAR YARD SETBACK:	7.5 Metres (24'-6")

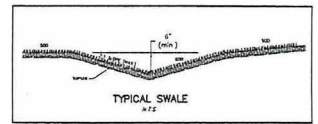
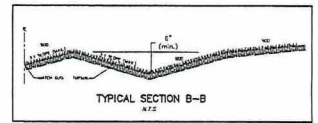
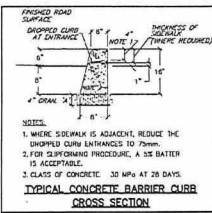
Fence



NOTE: PARKING SPACES 20 TO 24 INCLUSIVE ARE FOR EMPLOYEE PARKING ONLY AND NOT TO BE USED FOR PARKING, LOADING AND UNLOADING OF DELIVERY VEHICLES.



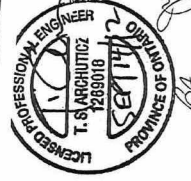
GENERAL NOTES
 LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE ONLY AND MUST BE CONFIRMED IN THE FIELD.
 ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE ONTARIO PROVISIONAL STANDARDS DRAWINGS AND SPECIFICATIONS AND CITY OF GASTON SECOND SUPPLEMENTAL SPECIFICATIONS AND STANDARD DRAWINGS.
 IN CONNECTION WITH THE EXISTING UTILITIES SHALL HAVE PLACED ONLY WORKING HAS BEEN RECORDED FROM THE CITY. THE KEY SECTION SHALL BE TESTED BY THE CONTRACTOR AND APPROVED BY THE DESIGNER BEFORE CONNECTION TO THE EXISTING PLANT ON THE BASE.
 ALL SANITARY WATERS SHALL BE PVC 200. ALL WATER MAINS SHALL BE PVC 100-CLASS WITH 10% WATERSHED.
 ALL SANITARY SEWERS AND WATER MAINS SHALL BE AS PER 0220-102710.
 ALL WWTB SHALL BE AS PER 0220-102710.
CONSTRUCTION NOTES
 1. SPOT ELEVATIONS ON ASPHALT REFER TO FINISHED ASPHALT ELEVATION.



LEGEND

PROPERTY LINE	---
EXIST. FIRE HYDRANT	⊗
FIRE DOTT. CONNECTION	○
NEW CONCRETE CURB TO BE SHOWN	▬
EXIST. CONCRETE CURB TO BE REMAIN	▬
NEW (DOUBLE MAINS) CATCH BASIN	⊗
NEW CATCH BASIN	⊗
NEW MANHOLE / CATCH BASIN	⊗
NEW MANHOLE	⊗
EXIST. SPOT ELEVATION	⊗
NEW SPOT ELEVATION	⊗
BUILDING ELEVATION	⊗
BONE HOLE REFER TO TEMPERATURE SENSITIVE	⊗
STANDARD RIB BAR	▬
CURB CUT	▬
CONCRETE LIMIT PAVERS	▬
SOD	▬
LANDSCAPING	▬
NEW BUILDING FOOTPRINT	▬
EXIST. TREES OR SHRUBS	⊗
NEW TREE OR SHRUB	⊗
EXISTING LIGHT STANDARD	⊗
LIGHT STANDARD	⊗
EXIST. CATCH BASIN	⊗
CONCRETE FILLED STEEL ROLLWAY	▬
RAIN WATER LEADER	⊗
UTILITY POLE	⊗
VALVE BOX	⊗
CABLE TELEPHONE / GAS METER	⊗
WALL MOUNTED LIGHT FIXTURE	⊗
LIGHT FIXTURE (S.M)	⊗
RIP RAP	▬

THIS IS SCHEDULE "1" TO THE ATTACHED AGREEMENT DATED September 26, 2012 BETWEEN THE CITY AND A.M. Incorporated Real Estate Inc.



ACCOM

RECEIVED
 SEP 14 2012
 PLANNING SERVICES

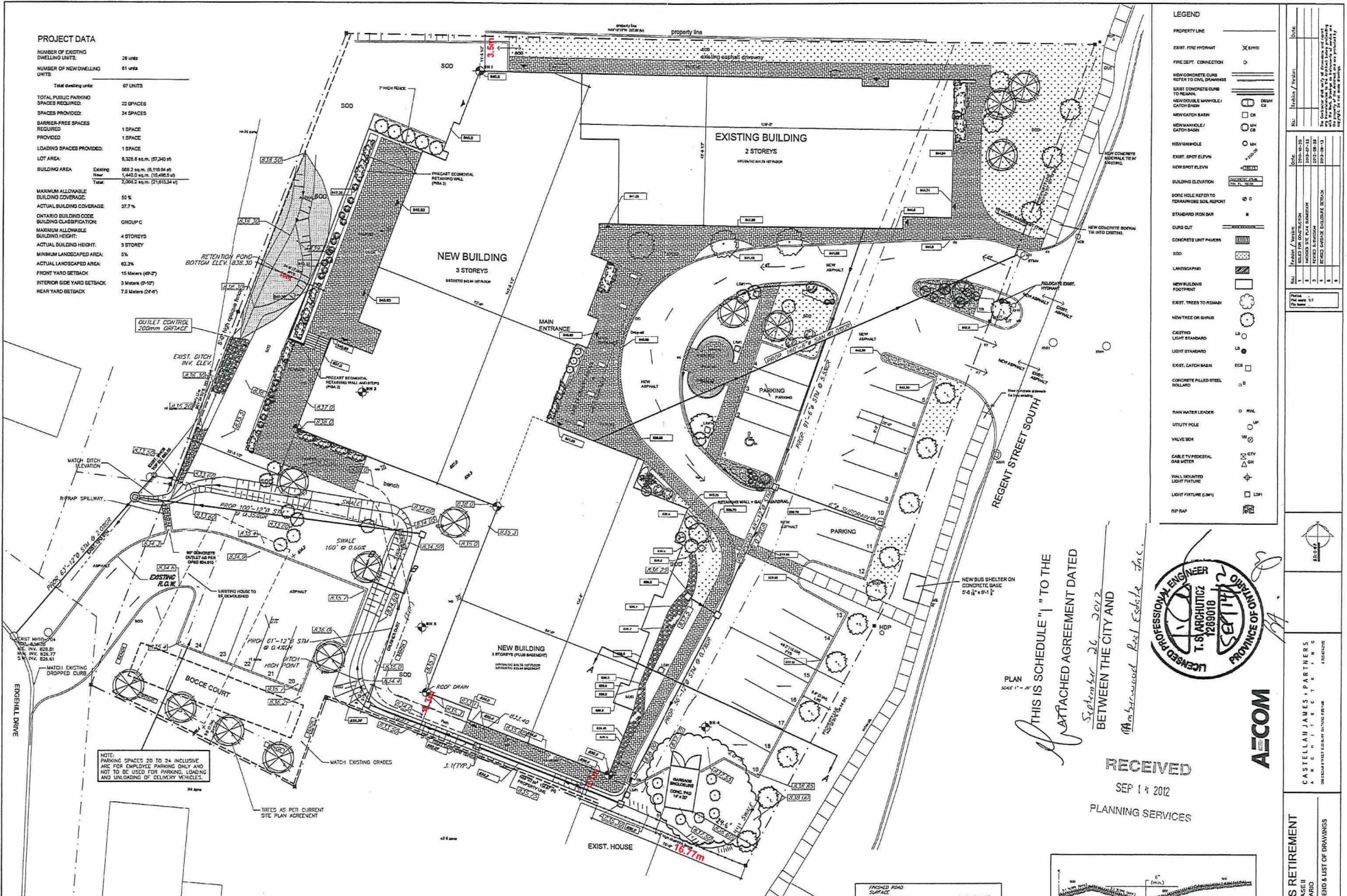
Drawn by: M	Checked by: M
Project: BREEZES RETIREMENT RESIDENCE PHASE II SUBURBY, ONTARIO	Scale: AS SHOWN
Sheet: 0221	Drawing No: C-1
SITE PLAN, LEGEND & LIST OF DRAWINGS	

PL-MV-2026-00155

Sketch 2

PROJECT DATA

NUMBER OF EXISTING DWELLING UNITS	28 UNITS
NUMBER OF NEW DWELLING UNITS	61 UNITS
Total dwelling units	89 UNITS
TOTAL PUBLIC PARKING SPACES REQUIRED	23 SPACES
SPACES PROVIDED	24 SPACES
BARRIER-FREE SPACES REQUIRED	1 SPACE
PROVIDED	1 SPACE
LOADING SPACES PROVIDED	1 SPACE
LOT AREA	6,326.8 sq.m. (15,240 sq.ft.)
BUILDING AREA	Existing: 269.7 sq.m. (5,816.84 sq.ft.) New: 1,440.0 sq.m. (15,496.5 sq.ft.) Total: 2,110.2 sq.m. (45,153.4 sq.ft.)
MAXIMUM ALLOWABLE BUILDING COVERAGE	50 %
ACTUAL BUILDING COVERAGE	33.7 %
ONTARIO BUILDING CODE BUILDING CLASSIFICATION	GH/UP/C
MAXIMUM ALLOWABLE BUILDING HEIGHT	3 STOREYS
ACTUAL BUILDING HEIGHT	3 STOREYS
MINIMUM LANDSCAPED AREA	5%
ACTUAL LANDSCAPED AREA	62.2%
FRONT YARD SETBACK	15 Meters (49'-2")
INTERIOR SIDE YARD SETBACK	3 Meters (9'-0")
REAR YARD SETBACK	7.5 Meters (24'-6")



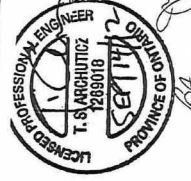
LEGEND

PROPERTY LINE	---
EXIST. FIRE HYDRANT	⊗
FIRE DEPT. CONNECTION	○
NEW CONCRETE CURB REFER TO THIS DRAWING	▬
SOFT CONCRETE CURB TO REMAIN	▬
NEW/CATCH BASIN	□
NEW MANHOLE / CATCH BASIN	○
NEW MANHOLE	○
EXIST. SPOT ELEVATION	▽
NEW SPOT ELEVATION	▽
BUILDING ELEVATION	▬
BONE HOLE REFER TO TEMPORARY SOIL SHEET	○
STANDARD FINISH	▬
CURB CUT	▬
CONCRETE LIMIT PAVERS	▬
SOD	▬
LANDSCAPING	▬
NEW BUILDING FOOTPRINT	▬
EXIST. TREES TO REMAIN	○
NEW TREE OR BUSH	○
EXISTING LIGHT STANDARD	⊕
LIGHT STANDARD	⊕
EXIST. CATCH BASIN	□
CONCRETE FILLED STEEL COLLAR	▬
RAIN WATER LEADER	▬
UTILITY POLE	⊕
VALVE BOX	⊕
CABLE TELEPHONE / GAS METER	⊕
WALL MOUNTED LIGHT FIXTURE	⊕
LIGHT FIXTURE (L.S.P.)	⊕
REP/APP	▬

No.	Revised / Added	Date
1	ISSUED FOR PERMIT	2025-09-14
2	REVISED PER CITY	2025-09-14
3	REVISED PER CITY	2025-09-14
4	REVISED PER CITY	2025-09-14

NOTE: PARKING SPACES 20 TO 24 INCLUSIVE ARE FOR EMPLOYEE PARKING ONLY AND NOT TO BE USED FOR PARKING, LOADING AND UNLOADING OF DELIVERY VEHICLES.

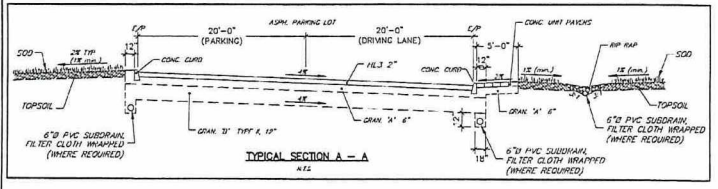
THIS IS SCHEDULE "1" TO THE ATTACHED AGREEMENT DATED September 26, 2012 BETWEEN THE CITY AND A.M. Incorporated Real Estate Inc.



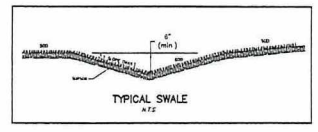
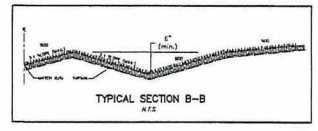
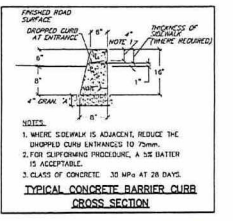
AECOM

CASTELLAN JAMES & PARTNERS ARCHITECTS

RECEIVED
SEP 14 2012
PLANNING SERVICES



GENERAL NOTES
LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE ONLY AND MUST BE CONFIRMED IN THE FIELD.
ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO PROVISIONAL STANDARDS DRAWINGS AND SPECIFICATIONS AND CITY OF GREATER TORONTO SUPPLEMENTAL SPECIFICATIONS AND STANDARD DRAWINGS.
NO CONSTRUCTION BY THE CONTRACTOR SHALL TAKE PLACE UNLESS APPROVED AND SEEN BY THE CITY. ALL CITY BY-LAWS SHALL BE OBEYED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER BEFORE CONNECTION TO THE CITY'S PLANT CAN TAKE PLACE.
ALL SANITARY WORK SHALL BE PVC 800. ALL WATERMAIN WORK SHALL BE PVC 800-CL240 WITH 10% W.P.
ALL SHEET PILING AND WATERMAIN TRENCHES SHALL BE AS PER 0205-1012.01.
ALL WORK SHALL BE AS PER 0205-1012.01.
CONSTRUCTION NOTES:
1. SPOT ELEVATIONS ON ADJACENT PLOTS TO FINISH ADAPTATION ELEVATION.



BREEZES RETIREMENT
REFERENCE PHASE II
SUBURBY, ONTARIO
SITE PLAN, LEGEND & LIST OF DRAWINGS

Drawn by: M
Checked by: M
Project: 2221
Date: 02/08/2025
Drawing No.: C-1

PL-MV-2025-00165 sketch 3

1385 Regent Street Appendix 2

Legend





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00157

APPLICATION SUMMARY

File Date: 11/04/2025

Application Type: Minor Variance

Address(es): 216 Nolin Street, Sudbury P3C 2V5

Applicant(s): LATOURELLE CARPENTRY

Owner(s): ROGER DOUCET AND EVA MARIE DOUCET

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Sept 10, 2004

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

3

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

2

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

New Main deck higher than 1.2 meters needs to be constructed less than the minimum setback

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

to match current upstairs unit exit landing, which is preexisting and less than the minimum setback

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

12.17

Lot Depth of the property

35.05

Lot Area of the property

427.35

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

shed 50+ years

house 50+ years

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

residential apartments

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

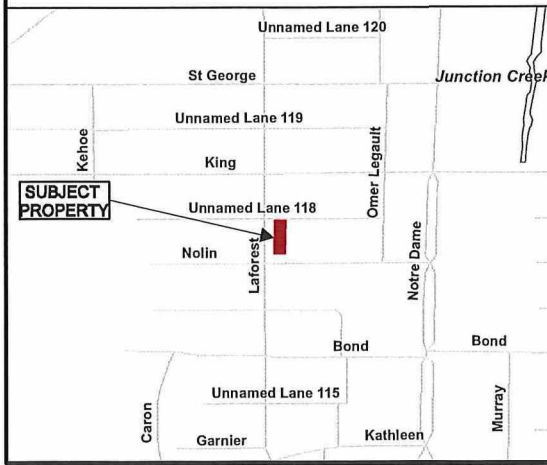
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Deck leading to upper unit main deck is 13.37 m2 lower landing is roughly 1.5 m2	No	1.48	14.85	1	3.58	3.73	2.8	16.56	12.01	0.8	7.9
main level deck	Yes	4.173	4.173	1	1.67	2.49	1.21	16.57	15.53	5.66	2.97

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	171.2976	513.8928	2	8.356	10.48	9.144	6.1	18.28	1.85	0.81
shed	No	17.59	17.59	1	3.2	5.6	2.2	31.9	0	5.08	1.52

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Side yard setback - Upper Deck	1.2m from lot line for an uncovered deck above 1.2m	0.8m from lot line	0.4
Side yard setback - stairs and landing	1.8m	0.8m	1.0m



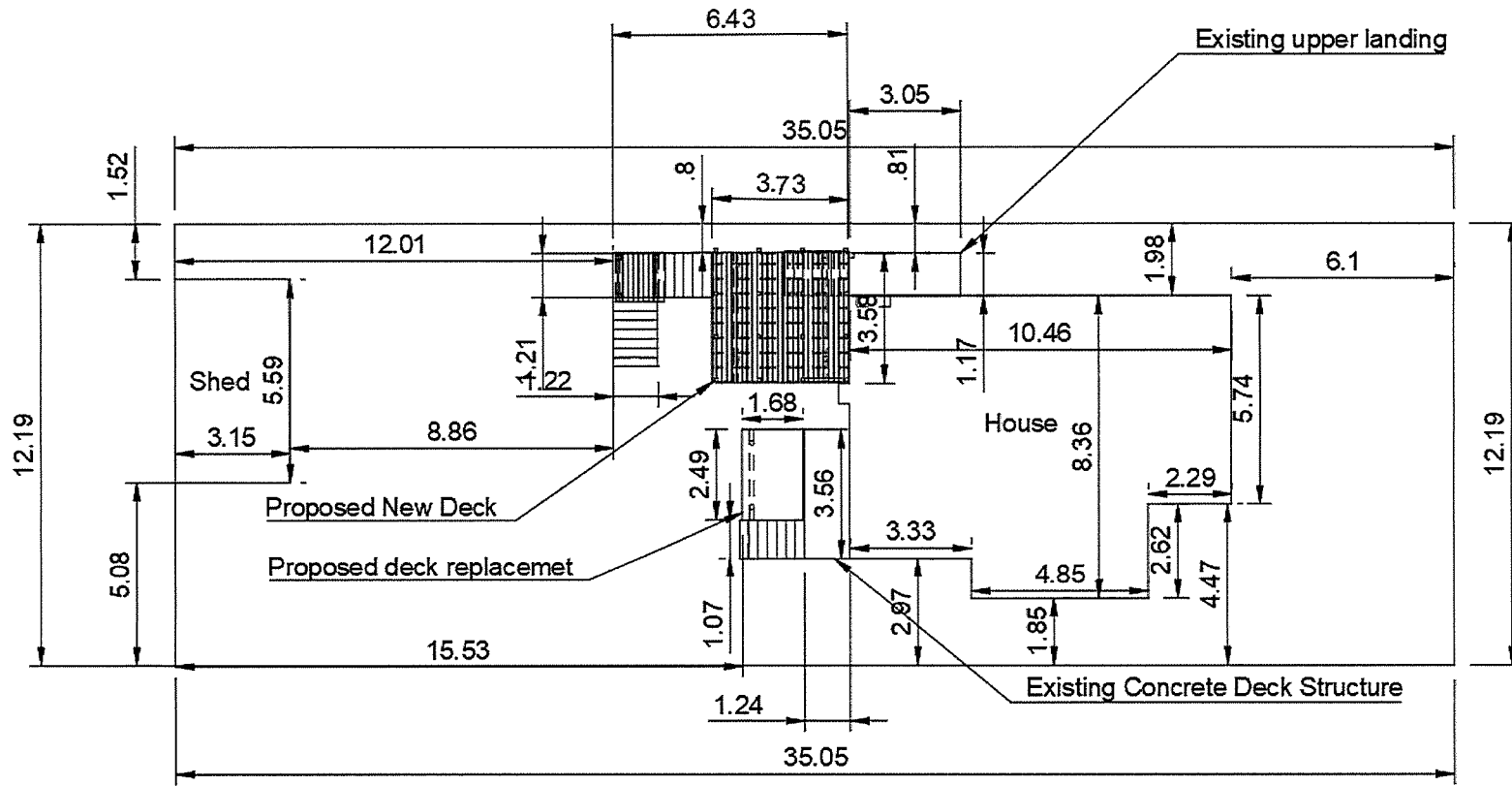
Application for Minor Variance or Permission

N

Subject Property being PIN 02133-0050,
 Lot 39, Plan 18-SB,
 Part Lot 5, Concession 4,
 Township of McKim,
 216 Nolin Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 MNR

PL-MV-2025-00157
 Date: 2025 11 10



Laforest Ave

Nolin St

Dept.	Technical reference	Created by mike Latourelle 11/7/2025	Approved by
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Sketch 2