



Re: PL-CON-2025-00058
PL-CON-2025-00059
PL-CON-2025-00060

Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

NOTICE OF CONSENT APPLICATION

In the matter of an application for Consent under Section 53 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended.

Take notice that an application has been made by:

GREATER SUDBURY HOUSING CORPORATION

The Owner(s) of: PIN 73349-0825, Parcel 21039 SEC SWS SRO, Lots 16 to 23, Plan M-441, Part Lot 1, Concession 3, Township of Balfour, 108 and 112 Charlotte Avenue, 116 and 120 Charlotte Avenue, and 150 and 154 Gaudette Street, Chelmsford

For Consent to: Consent to sever three lots each containing two semi-detached dwelling units.

Anyone interested in this matter may call the number noted above or attend at the Office of the Consent Official, Tom Davies Square, 200 Brady Street, Sudbury, ON, during regular office hours, where additional information regarding the application will be available for inspection.

For more information about this matter contact Nia Lewis, Consent Official for the City of Greater Sudbury at (705) 674 - 4455, ext 4376 or 4346, by email to coa_mv@greatersudbury.ca, fax to (705) 673-2200 or attend the above address.

Written submission regarding this application must be received no later than

Friday, November 21, 2025

Comments submitted on the matter, including the originators name and address become part of the public record, may be viewed by the public and published in the Consent Official's decision. By submitting information, including print or electronic information, you are indicating that you have obtained the consent of the persons whose personal information is included in the information to be disclosed to the public.

A copy of the decision will only be sent to each person who files with the Consent Official a written request for notice of the decision. This will also entitle you to be notified of any appeal of the decision to the Ontario Land Tribunal.

Zoning: R2-2

Note: If a person or public body that files an appeal of decision of the Consent Official in respect of the proposed consent does not make a written submission to the Consent Official before a provisional consent is given, the Ontario Land Tribunal may dismiss the appeal.

The owner of any land that receives the notice, where land contains seven or more residential units, is requested to post a copy of this notice in a location that is visible to all residents.



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NOTICE OF CONSENT APPLICATION

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Take notice that an application has been made by:

DENIS HENRI AND LISE HENRI

The Owner(s) of: PIN(s) 735000090, Parcel 43296 SEC SES SRO, Part Lot 12, Concession 5, Part 1, Plan 53R-6961, except Part 1, Plan 53R-9283, Township of Blezard, 0 Valleyview Road, Blezard Valley P3N 1R2

For Consent to: To sever and consolidate an approximate 22996.0 sq. m east portion with abutting PIN 73500-0087, municipally known as 2996 Valleyview Road.

Anyone interested in this matter may call the number noted above or attend at the Office of the Consent Official, Tom Davies Square, 200 Brady Street, Sudbury, ON, during regular office hours, where additional information regarding the application will be available for inspection.

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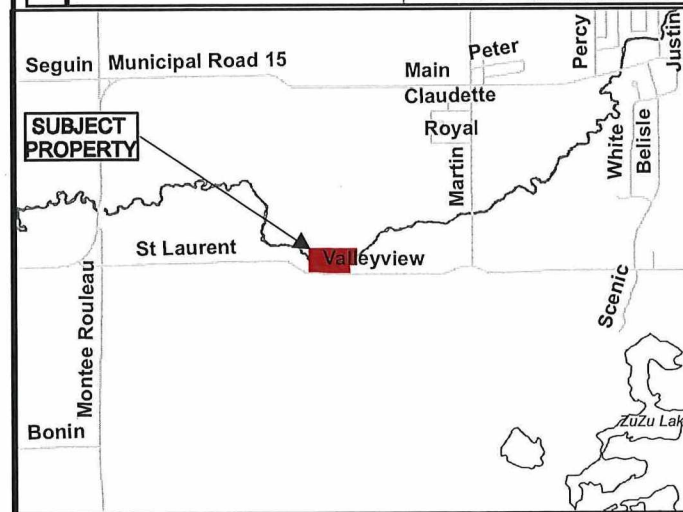
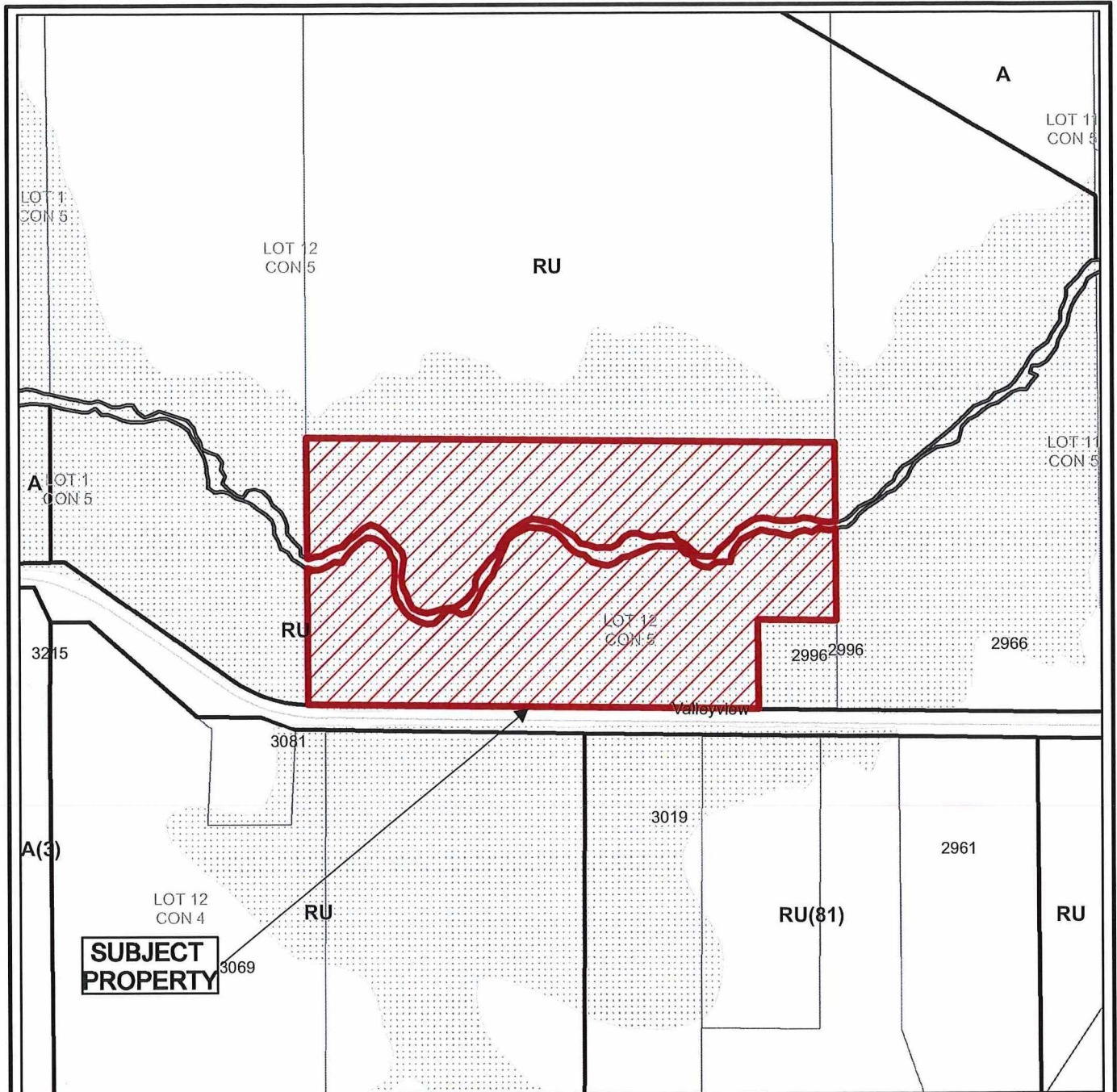
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Zoning: RU

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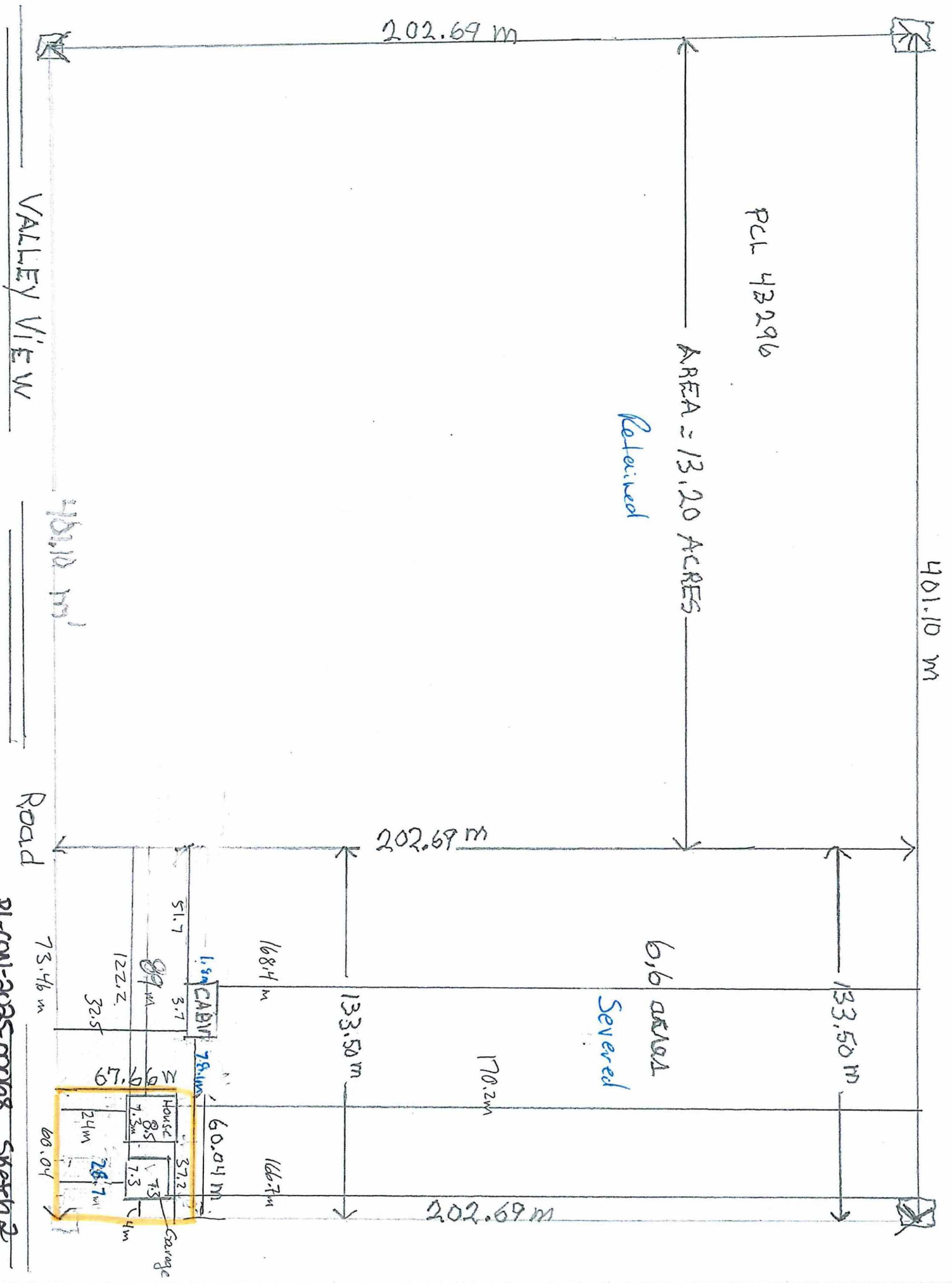
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Application for Consent

Subject Property being PIN 73500-0090,
Parcel 43296 SEC SES SRO,
Part Lot 12, Concession 5,
Part 1, Plan 53R-6961,
except Part 1, Plan 53R-9283,
Township of Blezard,
Valleyview Road, Blezard Valley,
City of Greater Sudbury

NTS
Sketch 1

PL-CON-2025-00068
Date: 2025 10 14



PCL 42296

AREA = 13.20 ACRES

Retained

6.6 AREA

Severed

VALLEY VIEW

49.10 m

Road

PL-COM-00008 Sketch 2

Garage

House

1.5m CABIN

202.69 m

401.10 m

202.69 m

202.69 m

133.50 m

133.50 m

168.4 m

166.7 m

170.2 m

51.7

3.7

78.1 m

60.04 m

122.2

32.5

67.66 m

7.3 m

7.3 m

24 m

28.7 m

4 m

73.46 m

60.04

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NOTICE OF CONSENT APPLICATION

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Take notice that an application has been made by:

MTR GROUP LTD.

The Owner(s) of: PIN(s) 735043155, Firstly: Part Lot 5, Concession 3 as in LT66142; Secondly: Part Lot 5 Concession 3, Part 4, Plan 53R-21423, Township of Hanmer, 5074 Municipal Road 80 Road, Hanmer P3P 1B9

For Consent to: To sever and consolidate an approximate 462.0 sq. m east portion with abutting PIN 73504-3177, municipally known as 4633 Deschene Road, subject to an easement in the nature of a right-of-way in favour of the retained lands.

Anyone interested in this matter may call the number noted above or attend at the Office of the Consent Official, Tom Davies Square, 200 Brady Street, Sudbury, ON, during regular office hours, where additional information regarding the application will be available for inspection.

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Zoning: C2

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La version française de ce document est disponible sur demande.



Re: PL-CON-2025-00072

Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
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NOTICE OF CONSENT APPLICATION

In the matter of an application for Consent under Section 53 of the Planning Act, R.S.O. 1990, Chapter P.13, as amended.

Take notice that an application has been made by:

KATHY HEIKKILA AND MARK HEIKKILA

The Owner(s) of: PIN(s) 733830142, Parcel 8871A SEC SWS, Part Lot 5, Concession 2, Parts 1 & 2, Plan 53R-9758, Township of Drury, 357 Spanish River Road, Whitefish, ON P0M3H0

For Consent to: Transfer an approximate 54227.0 sq. m west vacant portion of the subject property.

Anyone interested in this matter may call the number noted above or attend at the Office of the Consent Official, Tom Davies Square, 200 Brady Street, Sudbury, ON, during regular office hours, where additional information regarding the application will be available for inspection.

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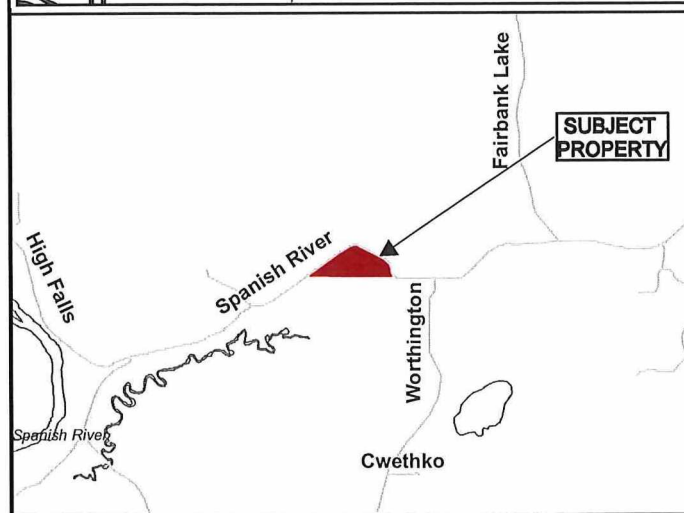
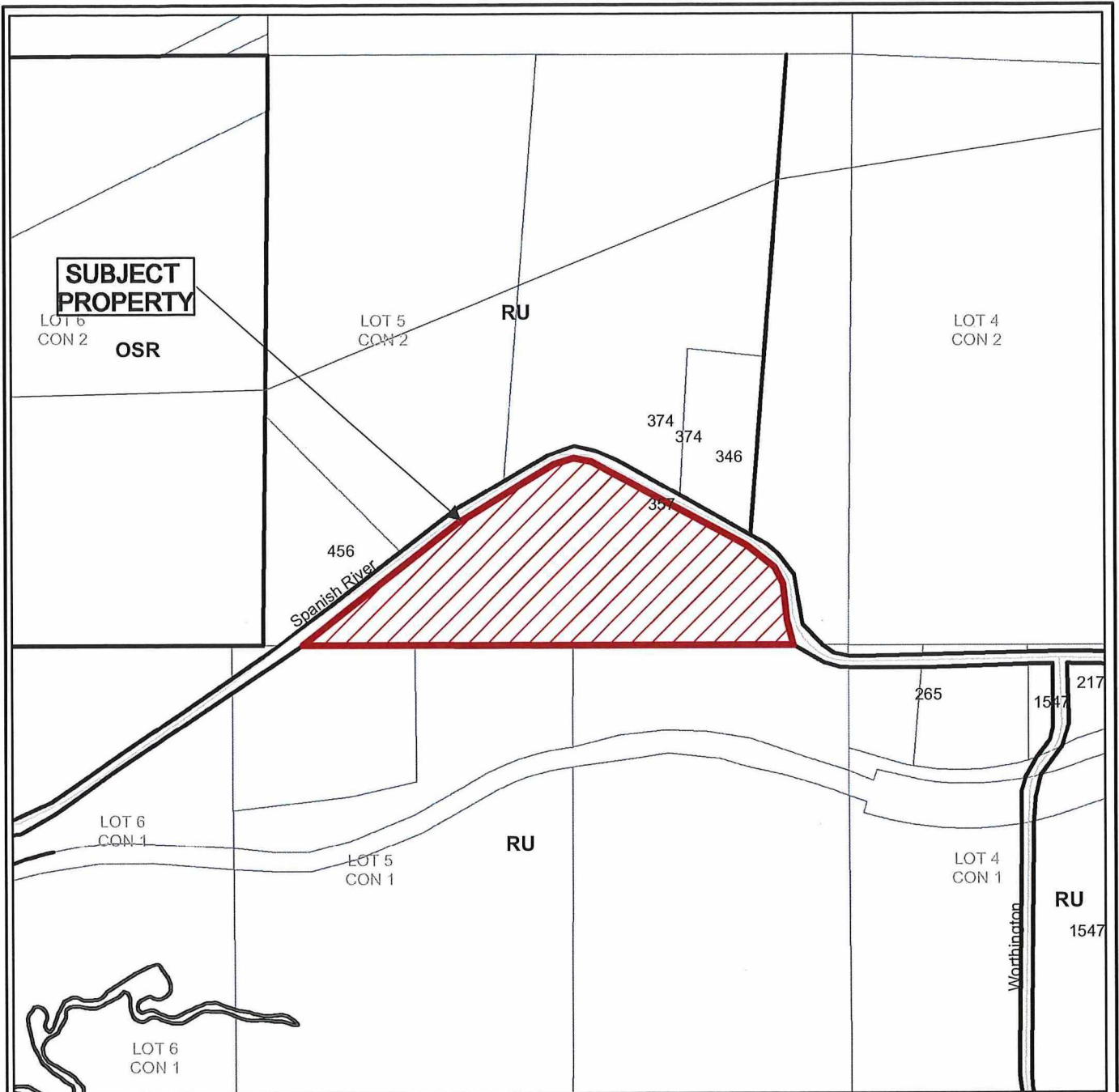
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Zoning: RU

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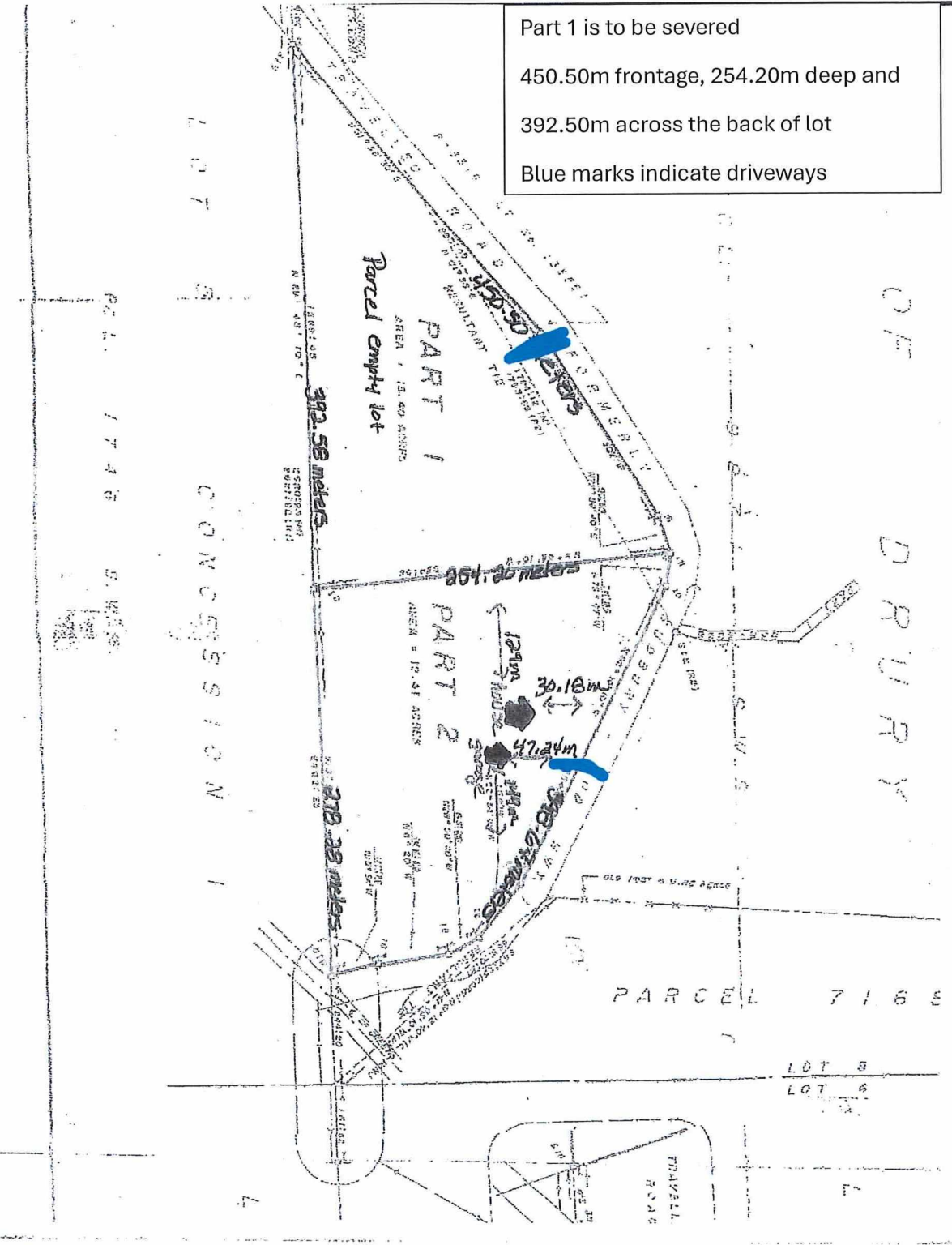

Application for Consent

Subject Property being PIN 73383-0142,
 Parcel 8871A SEC SWS,
 Part Lot 5, Concession 2,
 Parts 1 & 2, Plan 53R-9758,
 Township of Drury,
 357 Spanish River Road, Whitefish,
 City of Greater Sudbury

NTS
 Sketch 1

PL-CON-2025-00072
 Date: 2025 10 29

Part 1 is to be severed
 450.50m frontage, 254.20m deep and
 392.50m across the back of lot
 Blue marks indicate driveways



PL-CON-2025-00072
 Sketch 2