

Tom Davies Square
200 Brady St

Wednesday, May 31, 2023

PUBLIC HEARINGS

A0051/2023

**GERALD LEBLANC
LOUISE LEBLANC**

Ward: 7

PIN 73495-0654, Parcel 17544 SEC SES, Lot 135, Plan M-148, Part Lot 5, Concession 2, Township of Garson, 93 Catherine Drive, Garson, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.3 and subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing firstly, an accessory lot coverage of 14.5%, where 10% is permitted, and secondly, a maximum height of 6.1m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0052/2023

**KYLE KOWALUK
KRISTA KOWALUK**

Ward: 2

PIN 73375-0046, Parcel 14050 SEC SWS SRO, Lot 24, Plan M-351, Part Lot 5, Concession 4, Township of Waters, 28 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 5.79m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0053/2023

DR. MEGAN MESSENGER

Ward: 9

PIN 73476-0125, Parcel 9554 SEC SES, Part Broken Lot 6, Concession 4, as in LT52283, Township of Broder, 171 Edgewater Road, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsection 4.41.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the expansion of an attached deck, providing 38% of the natural vegetation of the required shoreline buffer area to be cleared, whereas a maximum of 25% of the required shoreline buffer area may be cleared of natural vegetation, but in no case shall a cleared area exceed a maximum of 276 sq.m. and also providing 32% of the shoreline length measured at the high water mark to be cleared of natural vegetation, where a maximum of 25% of the length of the cleared area at the high water mark may be cleared of natural vegetation.

A0054/2023

**OLLI MATIKAINEN
CYNTHIA MATIKAINEN**

Ward: 2

PIN 73365-0083, Parcel 18274 SEC SWS, Part Lots 1 and 12, Concession 3, being Summer Resort Location AE-637 as in WP8460, Parts 1 and 2 on Plan 53R-13537, Townships of Trill and Fairbank, 800 Mason Road, Worthington, [2010-100Z, SLS (4) (Seasonal Limited Service)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.46m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO A85/00 (14 AUG 00)

A0055/2023

**KEVIN ELLIS
LISA ELLIS**

Ward: 2

PIN 73397-0071, Parcel 17222 SEC SWS, Part Broken Lot 5, Concession 1 as in LT169927, except Part 15 on Plan 53R-8234, Township of Louise, 75 Stoney Bay Road, Whitefish, [2010-100Z, RS (Rural Shoreline)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a sauna providing a maximum height of 5.6m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF APRIL 13, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0034/2023

**TARA ALEXANDER
MARK ALEXANDER**

"REVISED"

Ward: 9

PIN 73477-0096, Parcel 30029 SEC SES, Part Lot 4, Concession 4, as in LT201331 except LT251846, Township of Broder, 198 Birch Hill Road, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1, and Section 4.41, subsections 4.41.2, 4.41.3 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with attached garage, septic system and leaching bed providing, firstly, a high water mark setback of 10.76m for the dwelling and 24.94m for the leaching bed, where no person shall erect any residential building, other accessory structure or leaching bed closer than 30.0m to the high water mark of a lake or river, and secondly, for the proposed single detached dwelling to be 10.76m setback from the high water mark of a lake or a river, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF APRIL 26, 2023, TO ACCOMMODATE THE OWNER, WHO WAS UNABLE TO ATTEND.

A0035/2023

MARGARET RALPH

"REVISED"

Ward: 2

PIN 73365-0006, Parcel 53M-1166-14 SEC SWS SRO, Lot 14, Plan 53M-1166, Part Lot 1, Concession 1, subject to LT605471, Township of Trill, 166 A Wickie Road, Worthington [2010-100Z, SLS (4) (Seasonal Limited Service), RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.04m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A87/16 (JUN 29/16), A124/20 (DEC 10/20) AND A280/92 (OCT 5/92)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, JUNE 7, 2023**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only
2023.01.01

A 0052/2023

S.P.P. AREA

YES ☒ NO ☐

NDCA REG. AREA

YES ☐ NO ☒

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)

A APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): GERALD LEBLANC

Email: [REDACTED]

Mailing Address: 93 Catherine Drive

Home Phone: [REDACTED]

Business Phone: [REDACTED]

City: Garrison

Postal Code: P3L 1H2

Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: GERALD LEBLANC

Email: see above

Mailing Address: [REDACTED]

Home Phone: [REDACTED]

Business Phone: [REDACTED]

City: [REDACTED]

Postal Code: [REDACTED]

Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: CIBC

Mailing Address: 1349 Lasalle Blvd.

City: Sudbury

Postal Code: P3A 1Z2

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: Residential R-1-S

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.3 Accessory Coverage	10%	14.5%	4.5%
4.2.4 Height for garage	5 meters	6.1	1.1

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Personal garage and storage

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

accessory buildings percentage to store Boat / side by side and storage

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: SAISON
 Lot No.: PART 5 Concession No.: 2 Parcel(s): 17544
 Subdivision Plan No.: M 148 Lot: 135 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 93 Catherine Dr

- 7) Date of acquisition of subject land.
- August 23, 2004

- 8) Dimensions of land affected.

Frontage 15.24 (m) Depth 36.5 (m) Area 562 (m²) Width of Street _____ (m)

- 9) Particulars of all buildings:

	Existing			Proposed	
Ground Floor Area:	<u>House 79.54</u>	<u>Gazebo 17.20</u>	<u>Shed 9.2</u>	<u>Garage 53.2</u>	(m ²)
Gross Floor Area:	<u>91.42</u>	<u>17.28</u>	<u>9.2</u>		(m ²)
No. of storeys:	<u>1</u>	<u>1</u>	<u>1</u>		
Width:	<u>9.75</u>	<u>4.8</u>	<u>3.04</u>	<u>7.3</u>	(m)
Length:	<u>8.2</u>	<u>3.6</u>	<u>3.04</u>	<u>7.3</u>	(m)
Height:	<u>7.01</u>	<u>5.4</u>	<u>2.43</u>	<u>6.1</u>	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing			Proposed	
Front:	<u>10</u>	<u>19.7</u>	<u>24.7</u>	<u>26.2</u>	(m)
Rear:	<u>17.84</u>	<u>16.34</u>	<u>11.3</u>	<u>3</u>	(m)
Side: <u>Left</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>6.4</u>	(m)
Side: <u>Right</u>	<u>4.15</u>	<u>9.1</u>	<u>10.86</u>	<u>1.5</u>	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

House - 1952 Gazebo - 1976 Shed - 2018

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Personal Single Family Dwelling Length of time: 71 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?

1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

Residential

A0051/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. water protection zone

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

(We) Gerald and Louise Leblanc (please print all names), the registered owner(s) of the property described as 93 Catherine Drive

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize GERALD LEBLANC (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2023

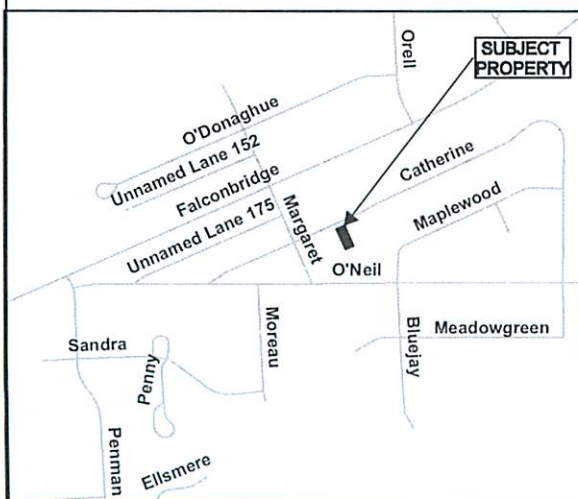
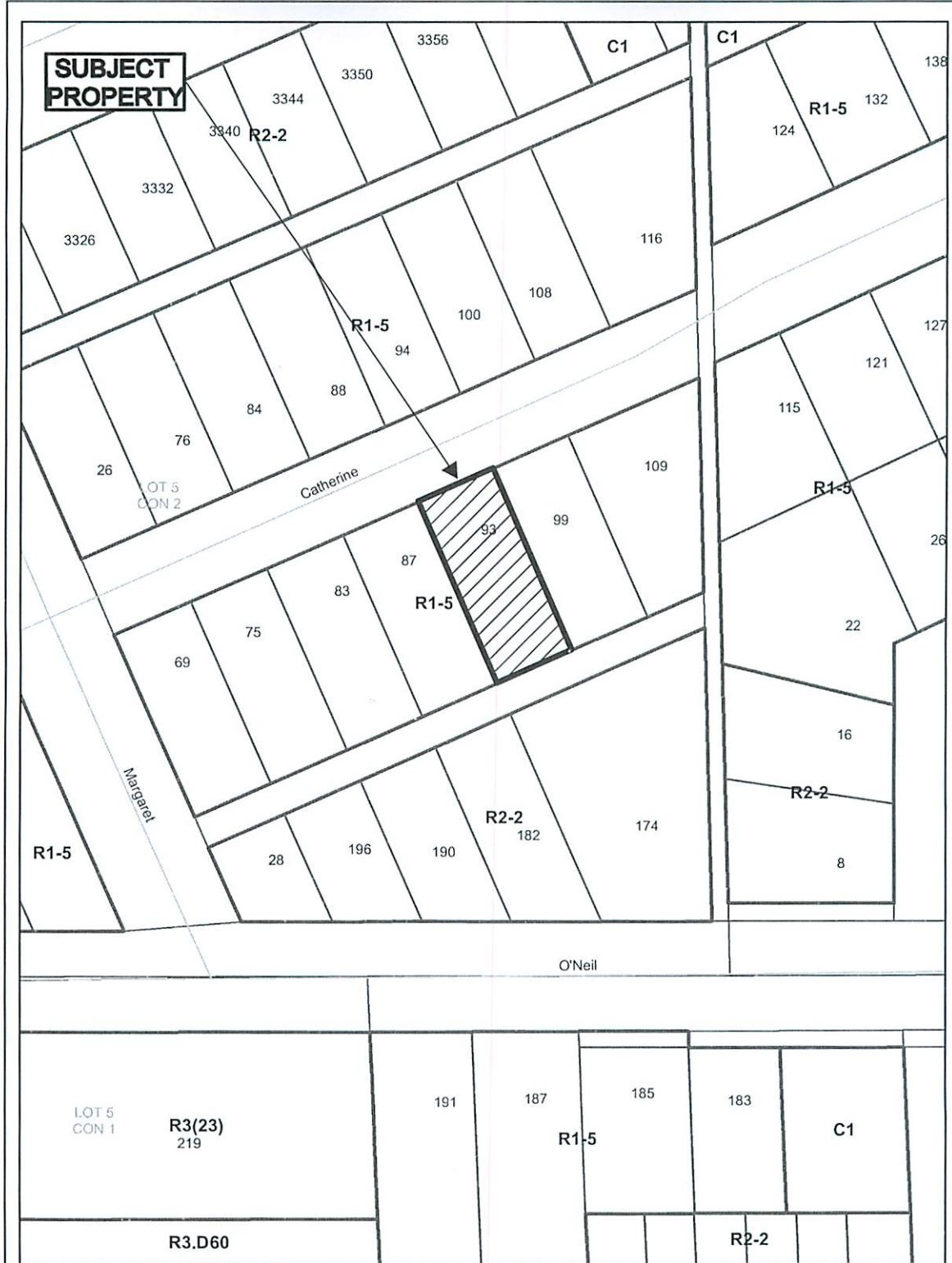
[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: GERALD LOUISE LEBLANC

*I have authority to bind the Corporation

A0051/2023



Application for Minor Variance or Permission

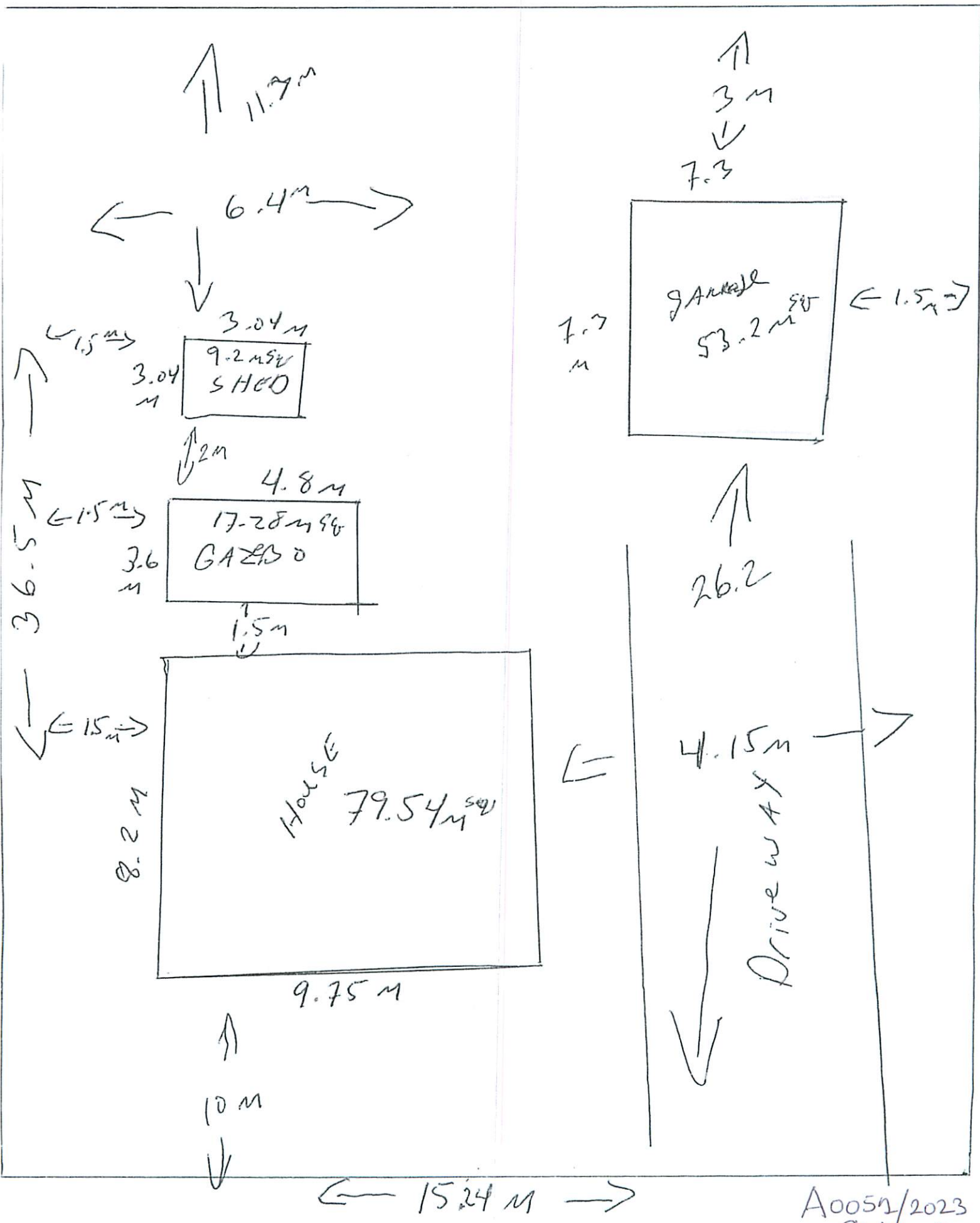


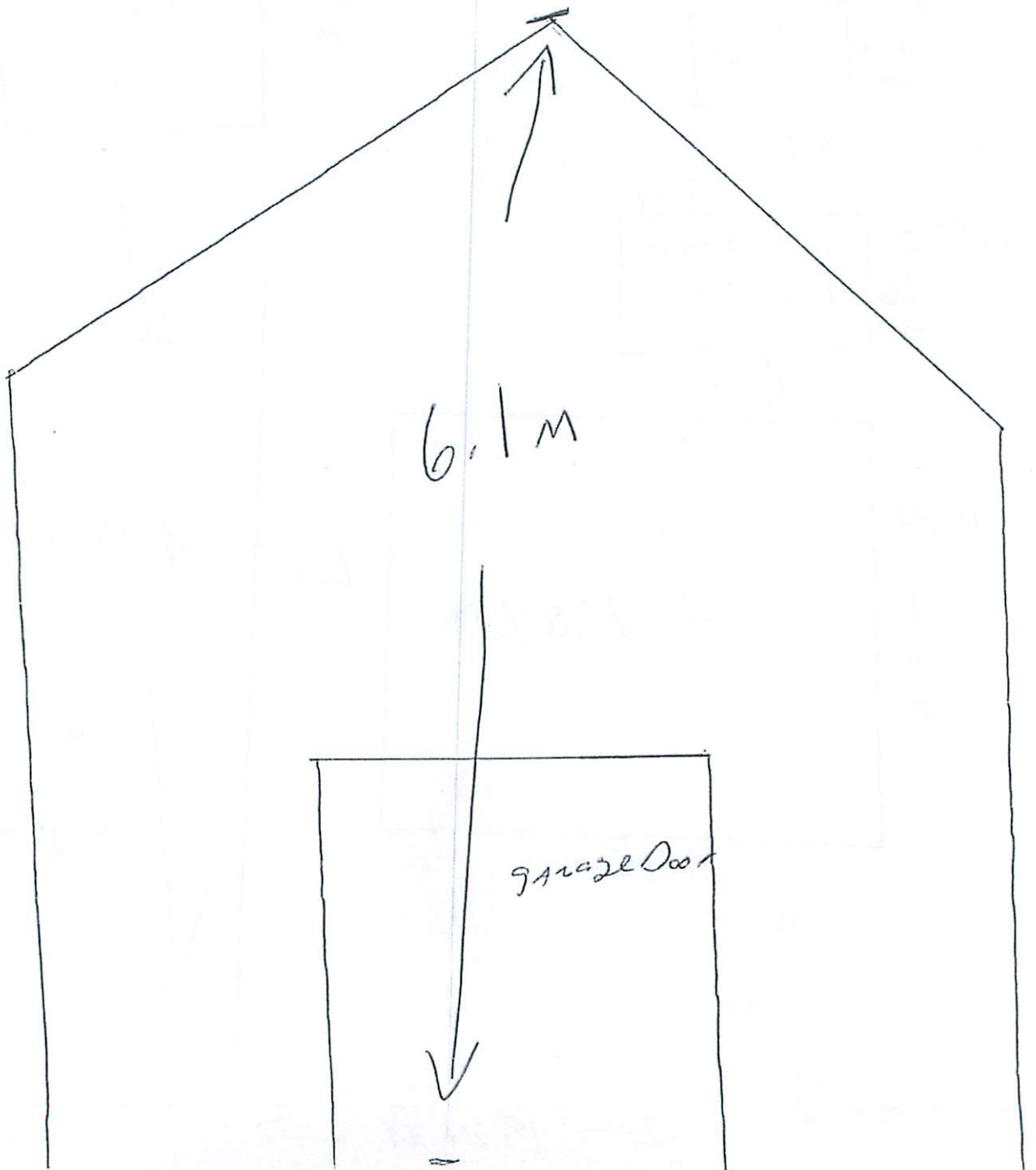
Subject Property being PIN 73495-0654,
Parcel 17544 SEC SES,
Lot 135, Plan M-148,
Part Lot 5, Concession 2,
Township of Garson,
93 Catherine Drive, Garson,
City of Greater Sudbury

Sketch 1, NTS
NDCA Watershed

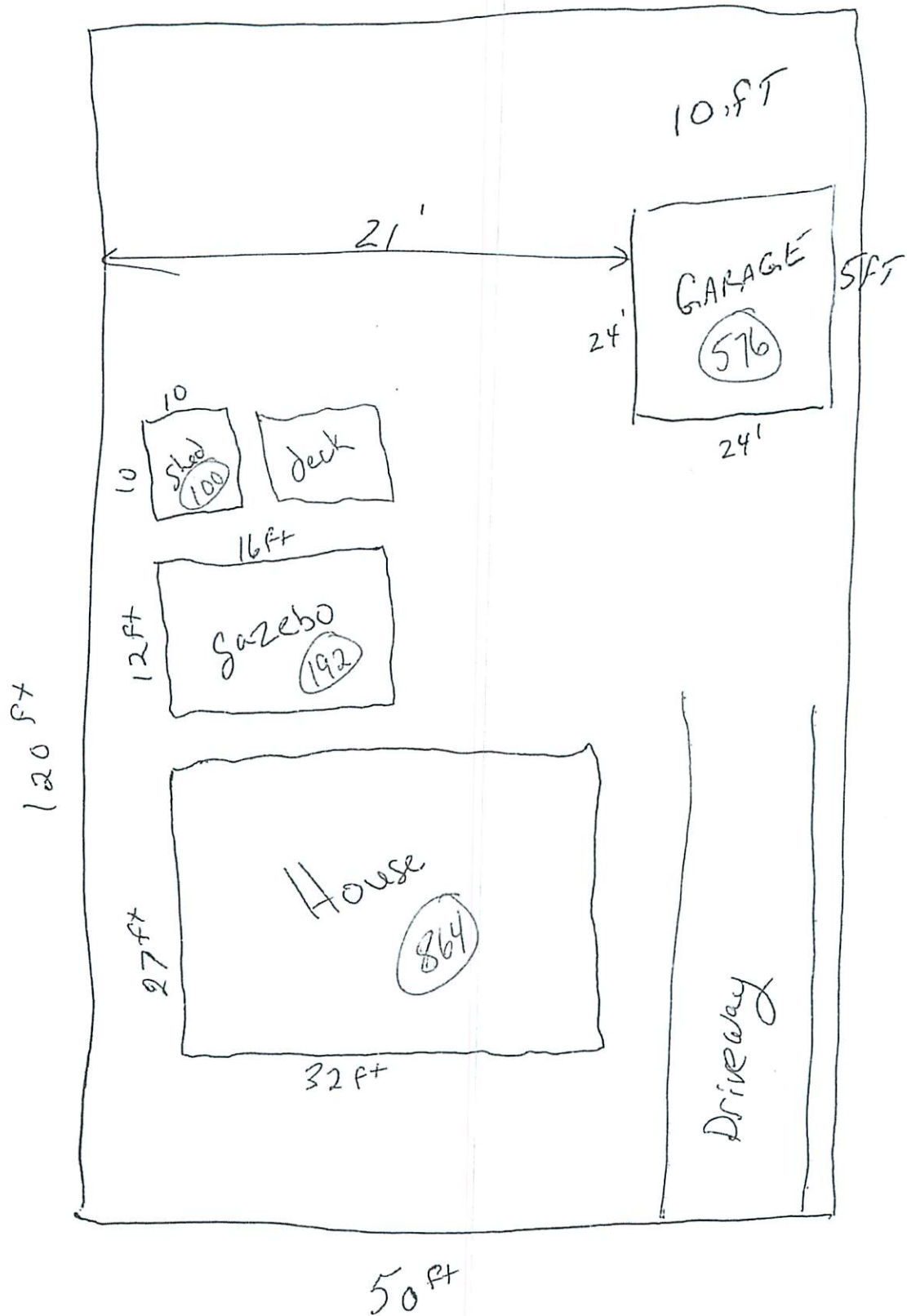
A0051/2023
Date: 2023 05 02

Back Lane





A0052/2023
Sketch-3



A0051/2023
Sketch-4



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4348
Fax (705) 673-2200

City of Greater Sudbury	
A 0052/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT SCHEDULES THAT BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kyle & Krista Kowaluk Email: _____
Mailing Address: 28 Patricia St Home Phone: _____
Business Phone: _____
City: Lively Postal Code: P3Y 1B1 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Kyle Kowaluk Email: _____
Mailing Address: _____ Home Phone: _____
28 Patricia St Business Phone: _____
City: Lively Postal Code: P3Y 1B1 Fax Phone: _____
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: RBC
Mailing Address: 1879 Regent St
City: Sudbury Postal Code: P3Y 1B1 P3E 3Z7

- 4) Current Official Plan designation: Livable Area Current Zoning By-law designation: R1S

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Zoning By-law 2010-100Z	500.38 cm	579.12 cm	78.74 cm
Garage Height	5.0m	5.79m	0.79m

- b) Is there an eave overhang? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: _____

Build a 12' x 12' new on green garage with 6' shed built on 3 posts of brms and a 10'12 post

4.75m x 4.75m

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Due to have 10' minimum

4.75m

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 733750046	Township: Waters	
Lot No.: 5	Concession No.: 4	Parcel(s): 14050
Subdivision Plan No.: M351	Lot: 24	Reference Plan No.:
Municipal Address or Street(s): 28 Patricia St		

7) Date of acquisition of subject land: November 2007

8) Dimensions of land affected.

Frontage 30.48 (m) Depth 45.72 (m) Area 1394.46 (m²) Width of Street 11 (m)

9) Particulars of all buildings: *House* Existing *Shed* *Garage* Proposed

Ground Floor Area:	111.95	13.4 (m ²)	95	(m ²)
Gross Floor Area:	111.35	13.4 (m ²)	95	(m ²)
No. of storeys:	1	1	1	
Width:	8.5	3.66 (m)	9.75	(m)
Length:	13.1	3.66 (m)	9.75	(m)
Height:	6.4	2.16 (m)	5.8	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	9.15	3.15 (m)
Rear:	27.73	26.81 (m)
Side:	1.4	3.66 (m)
Side:	15.86	3.66 (m)

11) What types of water supply, sewage disposal and storm drainage are available?

☒ Municipally owned & operated piped water system
☐ Municipally owned & operated sanitary sewage system
☐ Lake
☐ Individual Well
☐ Communal Well
☐ Individual Septic System
☐ Communal Septic System
☐ Pit Privy
☐ Municipal Sewers/Ditches/Swales

What type of access to the land?

☒ Provincial Highway
☐ Municipal Road
☒ Maintained Yearly
☐ Maintained Seasonal
☐ Right-of-way
☐ Water
 If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

House - 1974 / Deck & Pool - 2016 / Shed - unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: Since 1974?

14) Proposed use(s) of the subject property.

Same as #13 ☒ or,

15) What is the number of dwelling units on the property?

16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

17) Existing uses of abutting properties:

Residential

A0052/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kyle & Krista Kowaluk (please print all names), the registered owner(s) of the property described as 28 Patricia St.
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Kyle Kowaluk (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 19 day of April, 2023

Mike Collins
(witness)

Krista Kowaluk
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Krista Kowaluk

*I have authority to bind the Corporation

A0052/2023


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Kyle & Krista Kowaluk (please print all names),
the registered owner(s) or authorized agent of the property described as 28 Patricia St


in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 19 day of April, 20 23



Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Kyle Kowalik
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: May 2/23 Hearing Date: May 24/23 Received By: S. Pinkerton

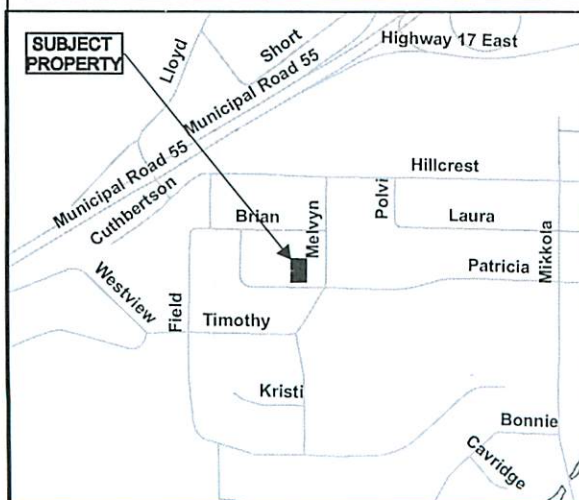
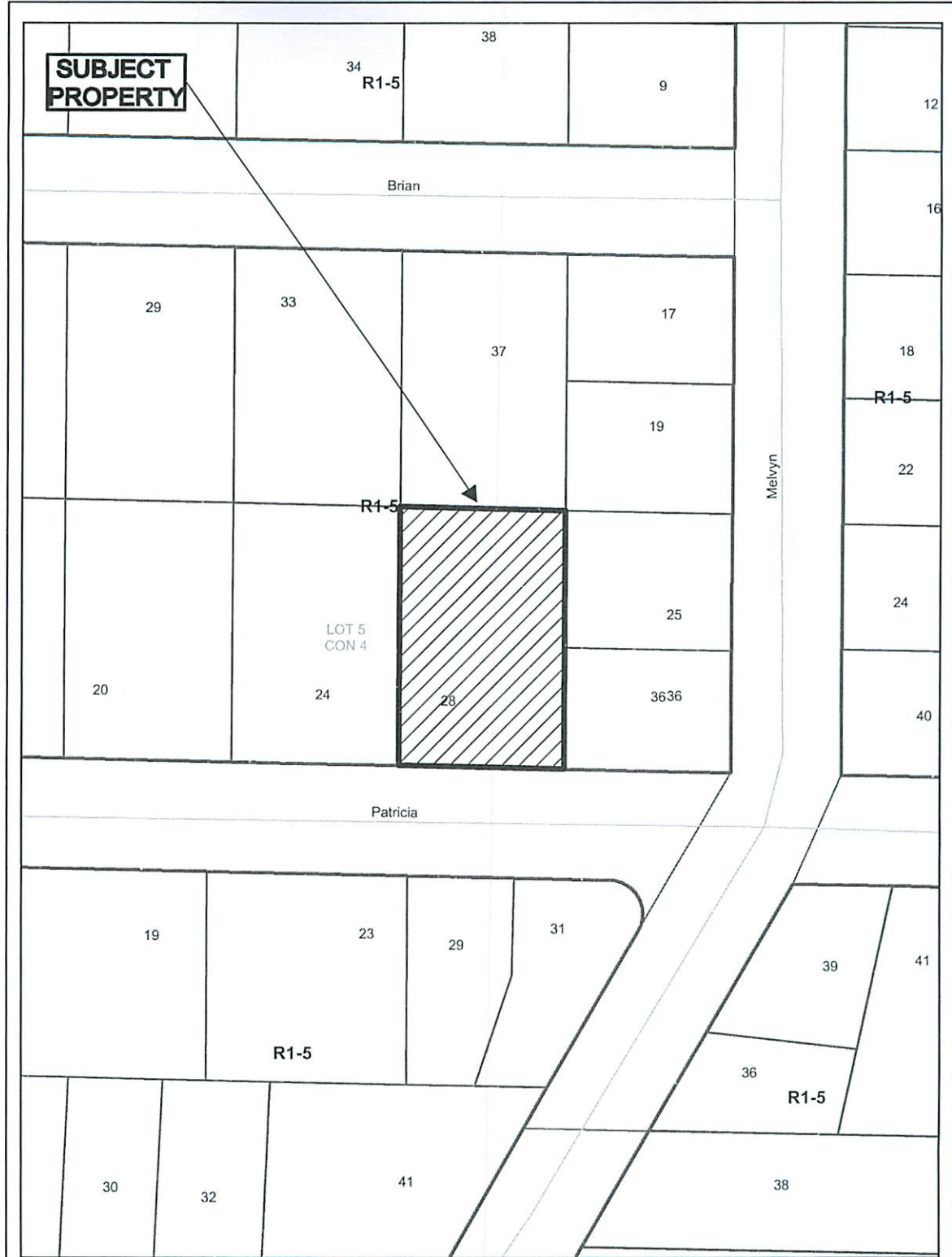
Zoning Designation: R-5 Resubmission: ☐ Yes ☒ No

Previous File Number(s): NONE

Previous Hearing Date:

Notes:

A0052/2023



Application for Minor Variance or Permission

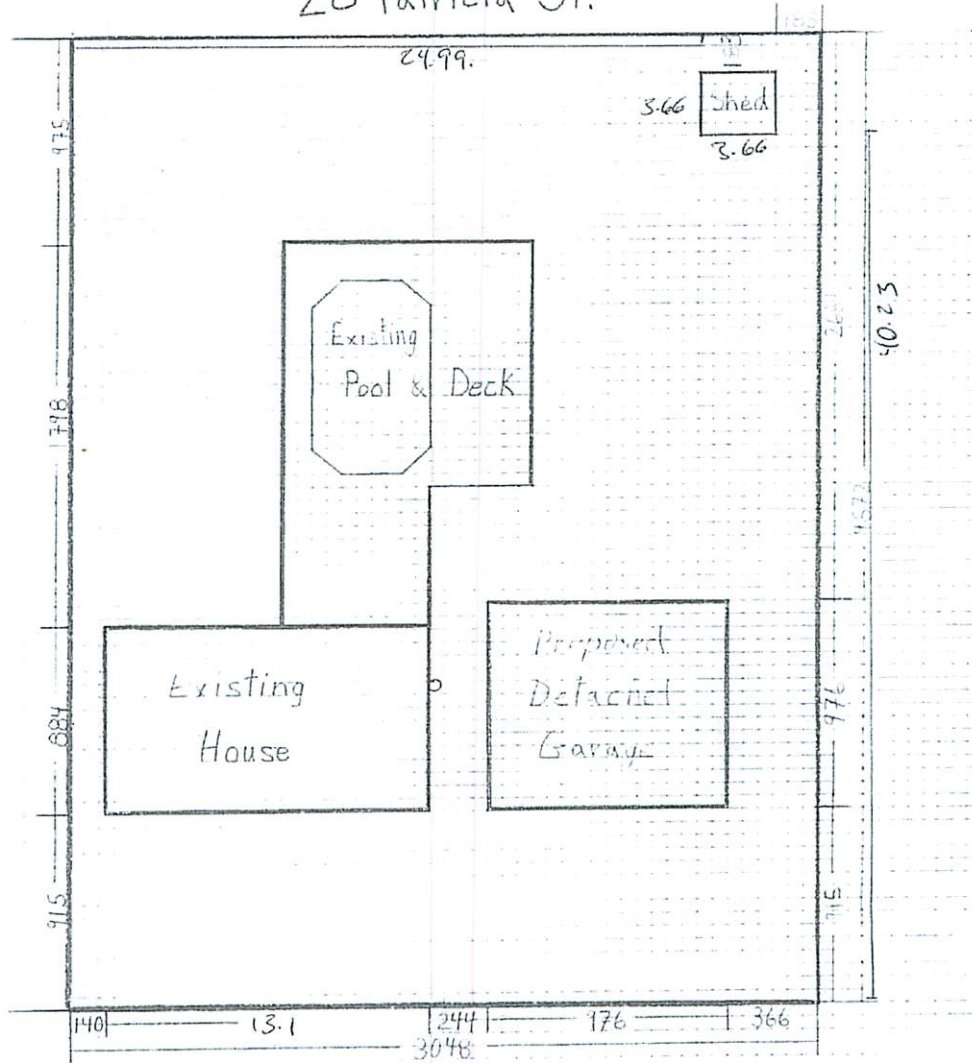


Subject Property being PIN 73375-0046,
Parcel 14050 SEC SWS SRO,
Lot 24, Plan M-351,
Part Lot 5, Concession 4, Township of Waters,
28 Patricia Street, Lively,
City of Greater Sudbury

Sketch 1, NTS
NDCA Watershed

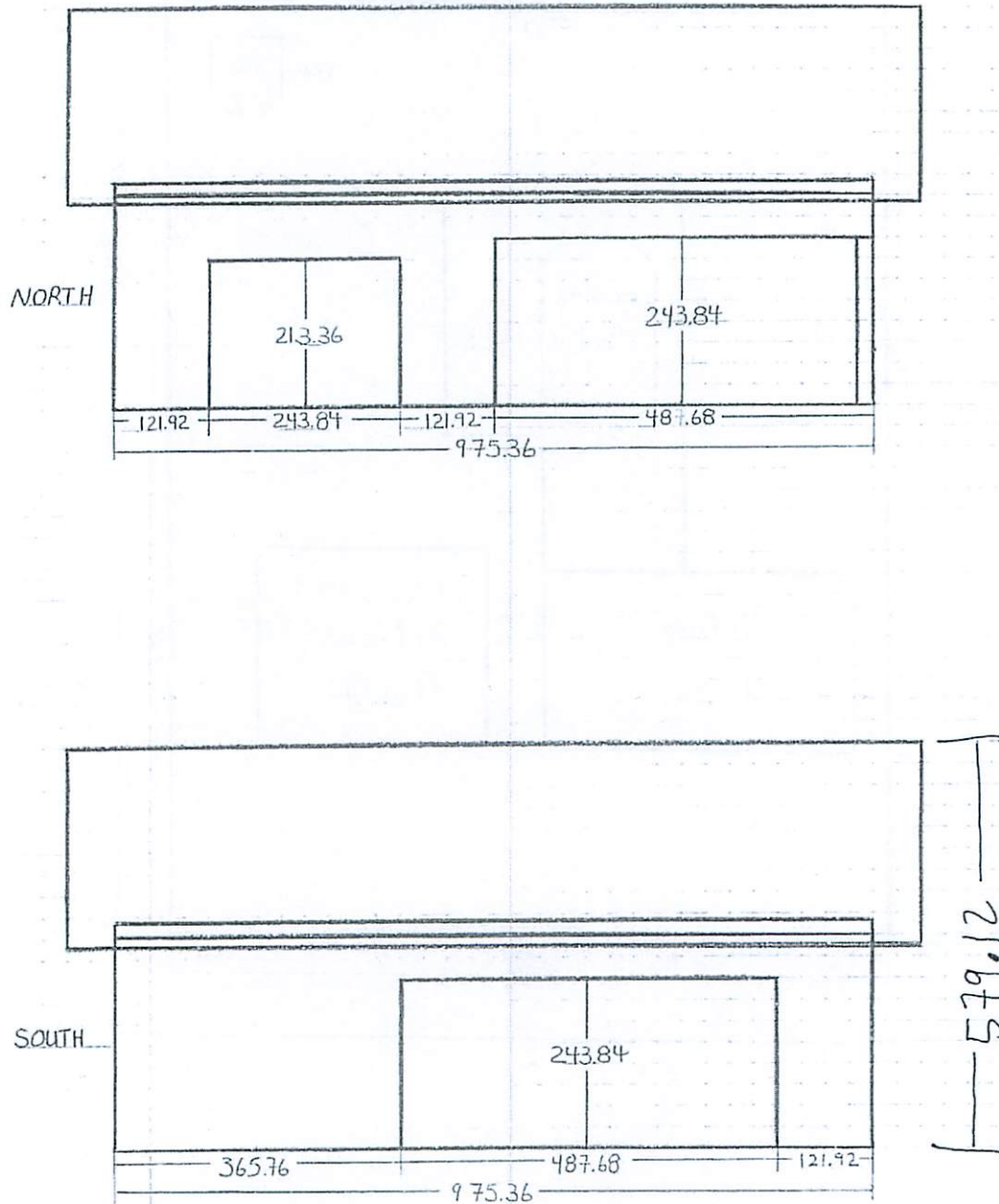
A0052/2023
Date: 2023 05 03

28 Patricia St.



A0052/2023
Sketch-2

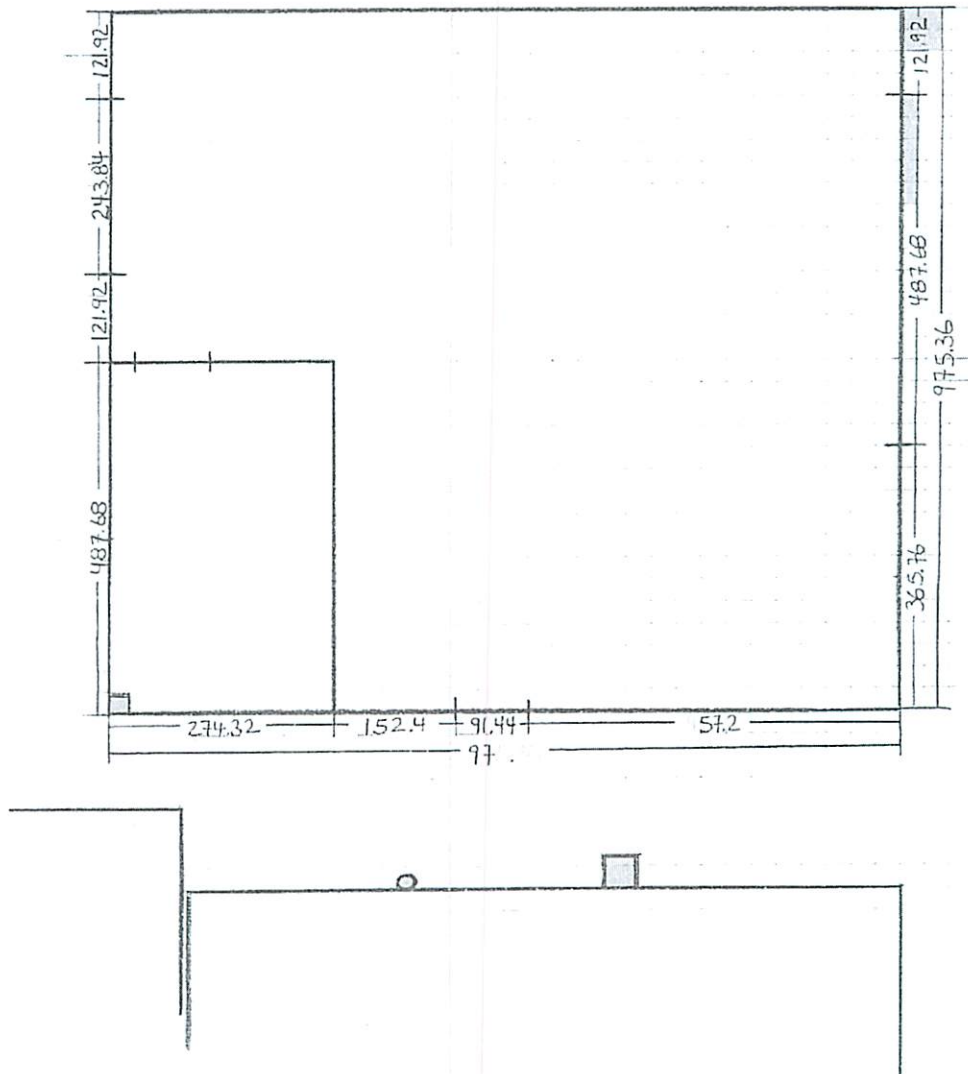
28 Patricia St.



A0052/2023
Sketch-3

← N

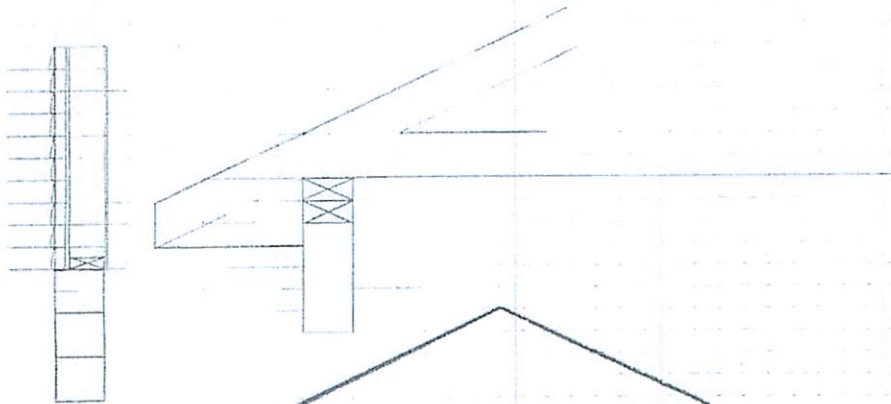
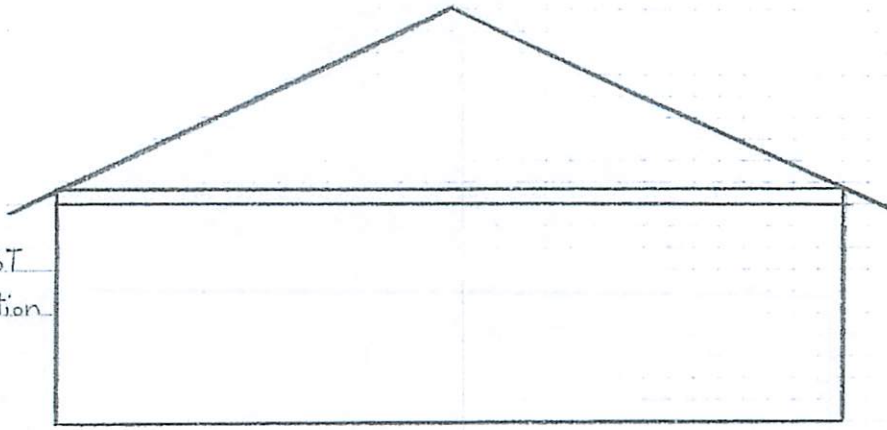
28 Patricia St.



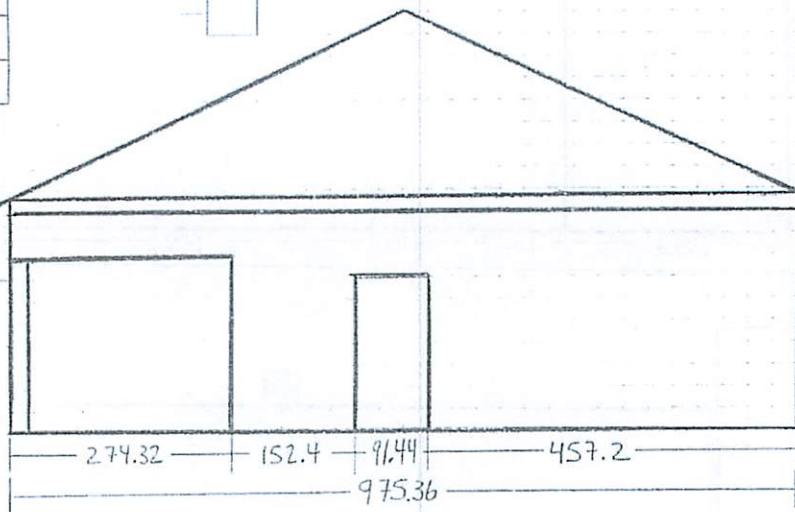
A0052/2023
Sketch - 4

28 Patricia St.

EAST
Elevation



WEST
Elevation



A0052/2023
Sketch-5



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A 00 53 / 2023	
C.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
MICA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dr Megan Messenger	Email: [REDACTED]
Mailing Address: 171 Edgewater Rd	Home: [REDACTED]
	Business Phone:
City: Sudbury	Postal Code: P3G1J8
	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Adam Whitby	Email: [REDACTED]
Mailing Address: 2040 Algonquin Rd., Unit 14	Home P: [REDACTED]
171 Edgewater Rd, Sudbury, ON	Business Phone:
City: Sudbury	Postal Code: P3G1J8
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: ScotiaBank
Mailing Address: 2040 Algonquin Rd., Unit 14
City: Sudbury
Postal Code: P3E4Z6

- 4) Current Official Plan designation: Living Nea # Current Zoning By-law designation: R1-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Shoreline Buffer Area	25%	38%	13%
Shoreline allowed length	25%	32%	7%

- b) Is there an eave encroachment? Yes ☒ No ☐ If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

See Attached Appendix A

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

See Attached Appendix B

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):	Township: Broder		
Lot No.: 6	Concession No.: 4	Parcel(s): 9554	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 171 Edgewater Rd, Sudbury, ON			

- 7) Date of acquisition of subject land. July 10th 2019

- 8) Dimensions of land affected.

Frontage 30.48 (m) Depth 31.7 (m) Area 966.22(m²) Width of Street _____ (m)

- 9) Particulars of all buildings:

	Existing	Proposed	
Ground Floor Area:	house - 178	58 Deck	(m ²)
Gross Floor Area:	365	58	(m ²)
No. of storeys:	3	1	
Width:	11	8.53	(m)
Length:	13.4	9.75	(m)
Height:	5 from street	2.13	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed	
Front:	9.5 ft to 10.1	4' 20	(m)
Rear:	5.5 ft	7.68	(m)
Side:	2.4	7.6 m	(m)
Side:	15	12.5	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

☐ Municipally owned & operated piped water system
☐ Municipally owned & operated sanitary sewage system
☒ Lake
☐ Individual Well
☐ Communal Well
☒ Individual Septic System
☐ Communal Septic System
☐ Pit Privy
☐ Municipal Sewers/Ditches/Swales

What type of access to the land?

☐ Provincial Highway
☐ Municipal Road
☒ Maintained Yearly
☐ Maintained Seasonal
☐ Right-of-way
☐ Water
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

2002-2004

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): residential

Length of time: ~ 50 yrs

- 14) Proposed use(s) of the subject property.

Same as #13

or, _____

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

Yes

No

If "yes", how many? _____

- 17) Existing uses of abutting properties: Residential

A0053/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Megan Messenger (please print all names), the registered owner(s) of the property described as 171 Edgewater RD in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Adam Whitby (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21st day of April, 2023

E. C. Thompson
(witness)

Megan Messenger
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Megan Messenger

*I have authority to bind the Corporation

A0053/2023

Appendix A

Question 5 c)

Proposal

The proposal consists of extending our usable patio area by the construction of a 28x32 elevated deck. Currently, there is a covered patio of 12x28 which was approved by the city when the residence was constructed. Therefore, of the new 28 foot depth, 12ft is already being used as a patio. We would be extending that by 16ft over the hill. The proposed area to which the deck will be extended is unusable due to the elevation change and a safety concern as we have a toddler. This deck would allow for our family to have a safe place to gather without concerns of small children falling down the hill.

This deck will have minimal impact on the natural vegetation as in this area it is mainly rock covered by a thin layer soil. Our plan is to also use Helical piles and in the event we have to use concrete piers for a few post due to ground limitations, all precautions such as sediment barriers etc., will be used as per NDCA request. It should be noted that our family takes great pride in ensuring natural vegetation along the shoreline by planting native plants each spring and having a large area of wild flowers, grasses and shrubs in the buffer area. Our property is unlike an overwhelming amount of manicured green grass lots we see on Long Lake, Ramsey and Nepahwin whom have no natural vegetation along the entire "Shoreline Buffer".

We also met with the Nickel District Conservation Authority who attended our property and had no concerns whatsoever with our proposed project.

Question 5 d)

Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

In 2022 a by-law was passed, introducing a new shoreline buffer zone, drastically impacting a large amount of waterfront properties within the City of Greater Sudbury, which for many years conformed to property regulations. Our lot, like many others is approximately 100ft deep. These lots were approved by the city. Our residence, was permitted to be construction within the new Buffer Zone. As a result, a large percentage of our property is now restricted. This could/may also have impact on our property value.

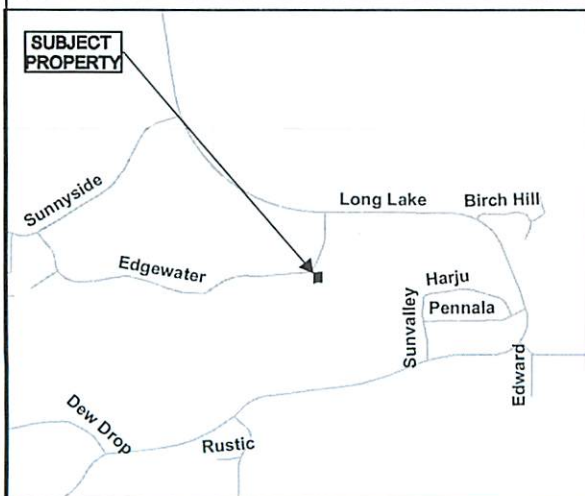
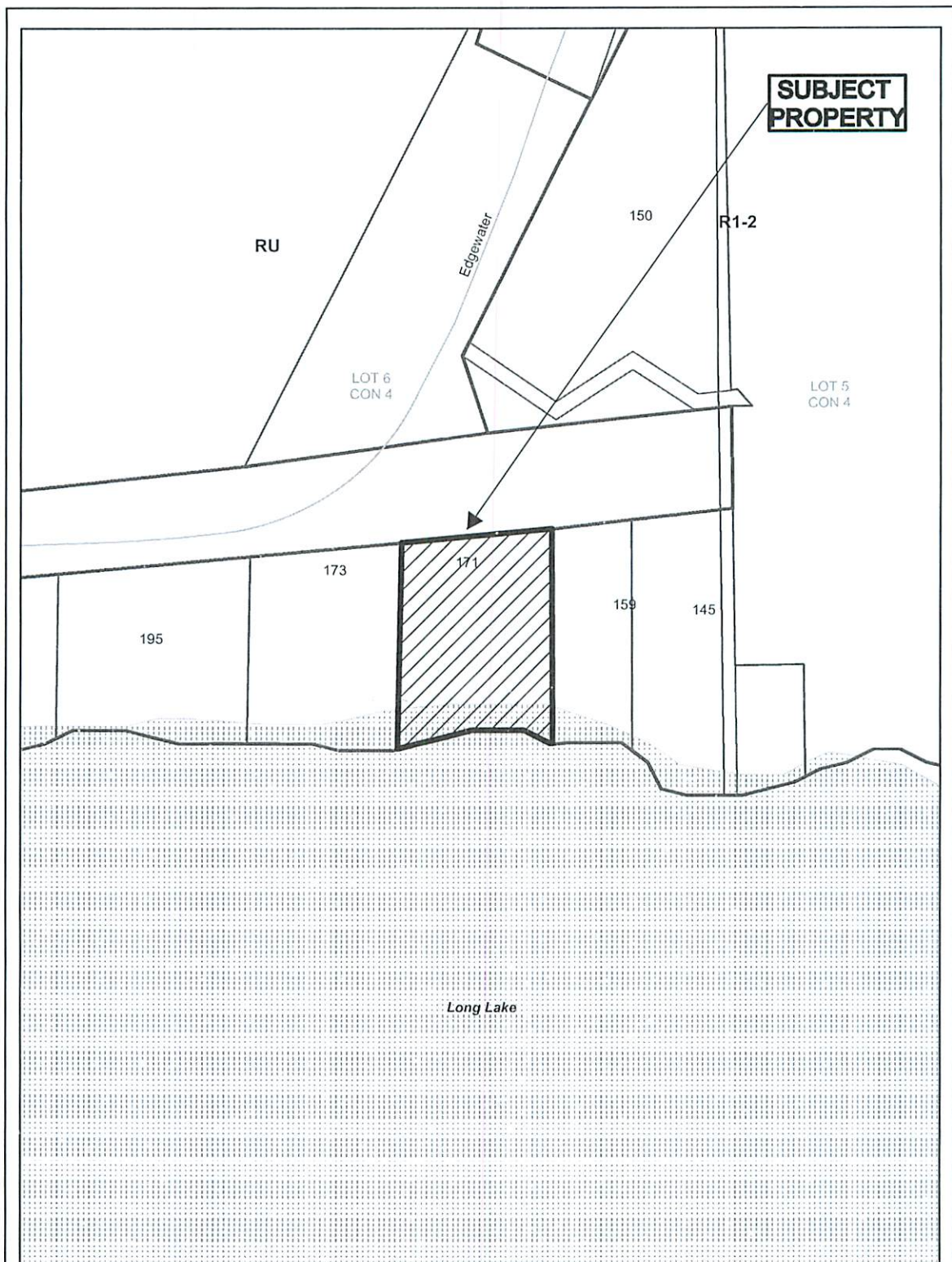
The current bylaw restricts shoreline coverage to 25% of total length and 25% within the large buffer area. With the new restrictions, this would limit us to constructing a 7ft x 7ft "structure" within the buffer zone. In reviewing the pictures I have provided, we feel we have a large amount of natural vegetation, and that our request is not unreasonable.

A0053/2023

Our lot is approximately 10 000 Sq Ft. Our current coverage is 1584(residence) + 336(Patio) + 96(shed) which totals 2016 Sq ft. The extension of the deck/patio would add an extra 624 Sq ft bring the total to 2640 Sq Ft. Our property is zoned as R1-2. As such as per Table 6.2 – Standards for the Low Density Residential One (R1) Zone (By-laws 2012-178Z, 2018-180Z) our maximum lot coverage is 40%. Our proposal would bring our total lot coverage to 26 %, well under the maximum lot coverage.

Further, I have spoken to my neighbours whom are all in support of our proposal.

A0053/2023



Application for Minor Variance or Permission

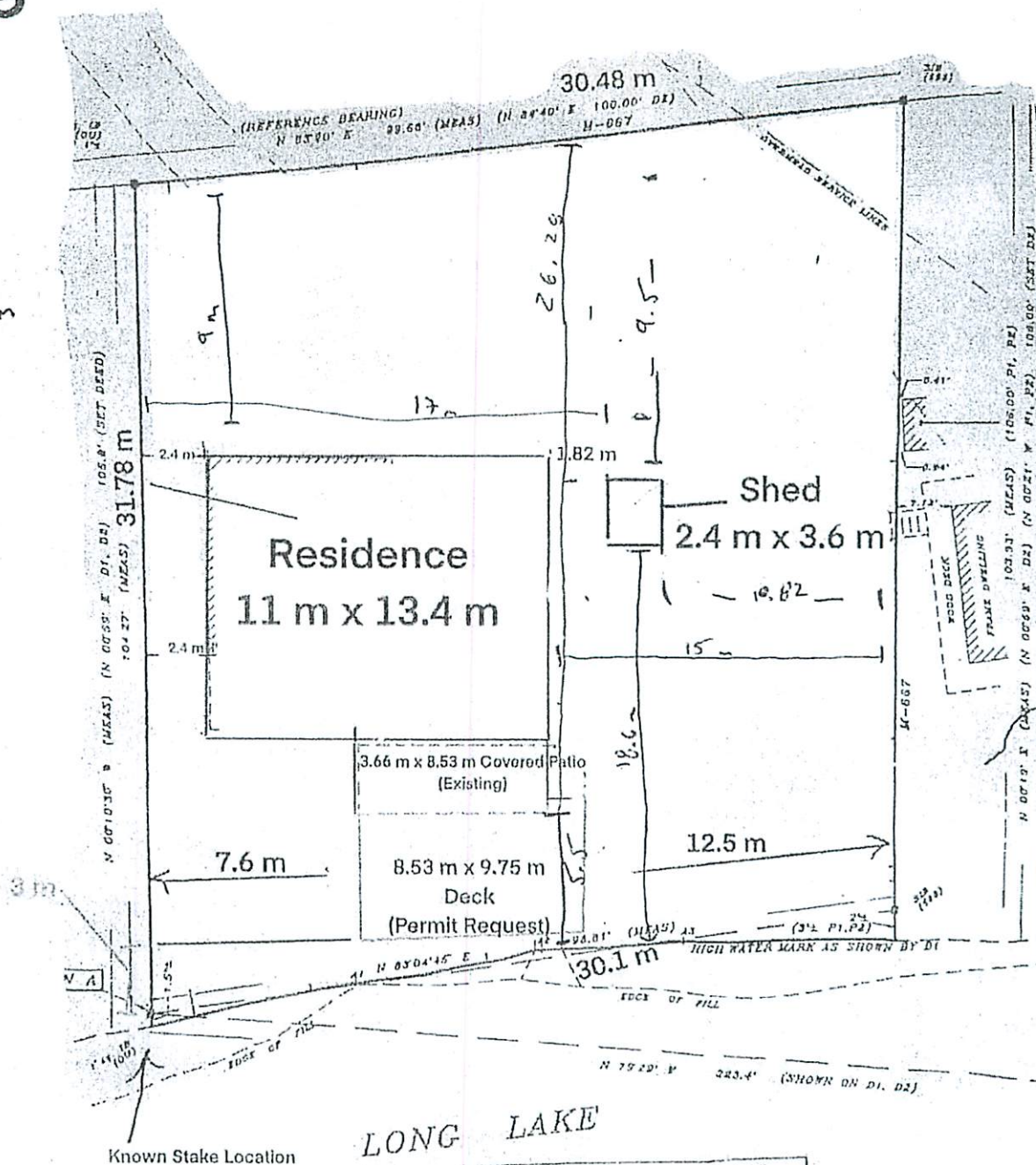


Subject Property being PIN 73476-0125,
Parcel 9554 SEC SES,
Part Broken Lot 6, Concession 4,
as in LT52283, Township of Broder,
171 Edgewater Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA Watershed

A0053/2023
Date: 2023 05 08

1 cm : 2.4 m

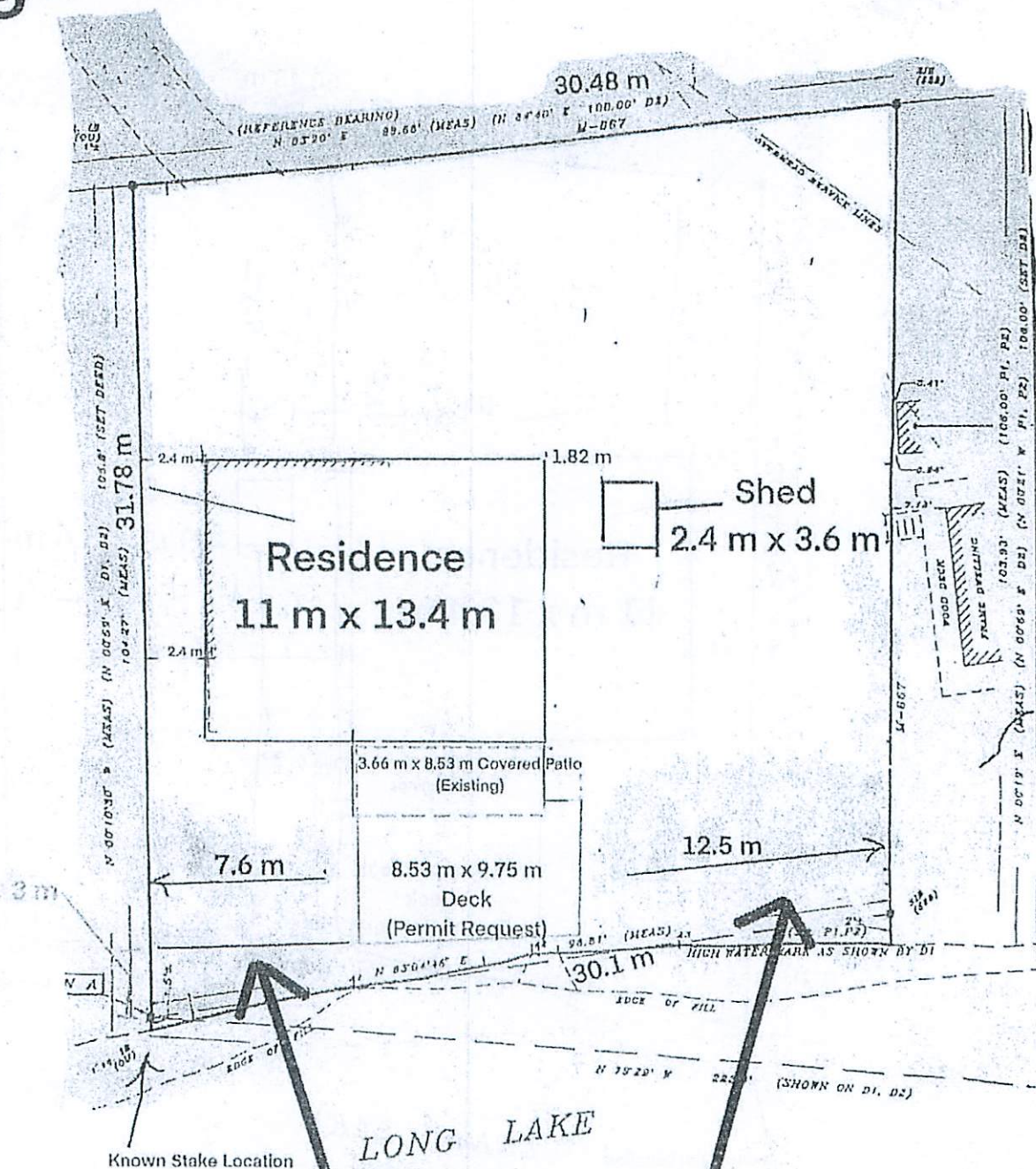


HIGH WATER MARK NOTE

THE LIMIT OF LONG LAKE
SHOWN HEREON IS THE BEST
AVAILABLE EVIDENCE OF THE
ORIGINAL HIGH WATER MARK OR
WATER'S EDGE EXISTING AT THE
TIME OF THE ORIGINAL SURVEY
OF THE TOWNSHIP OF BRODER

A0053/2023
Sketch-2

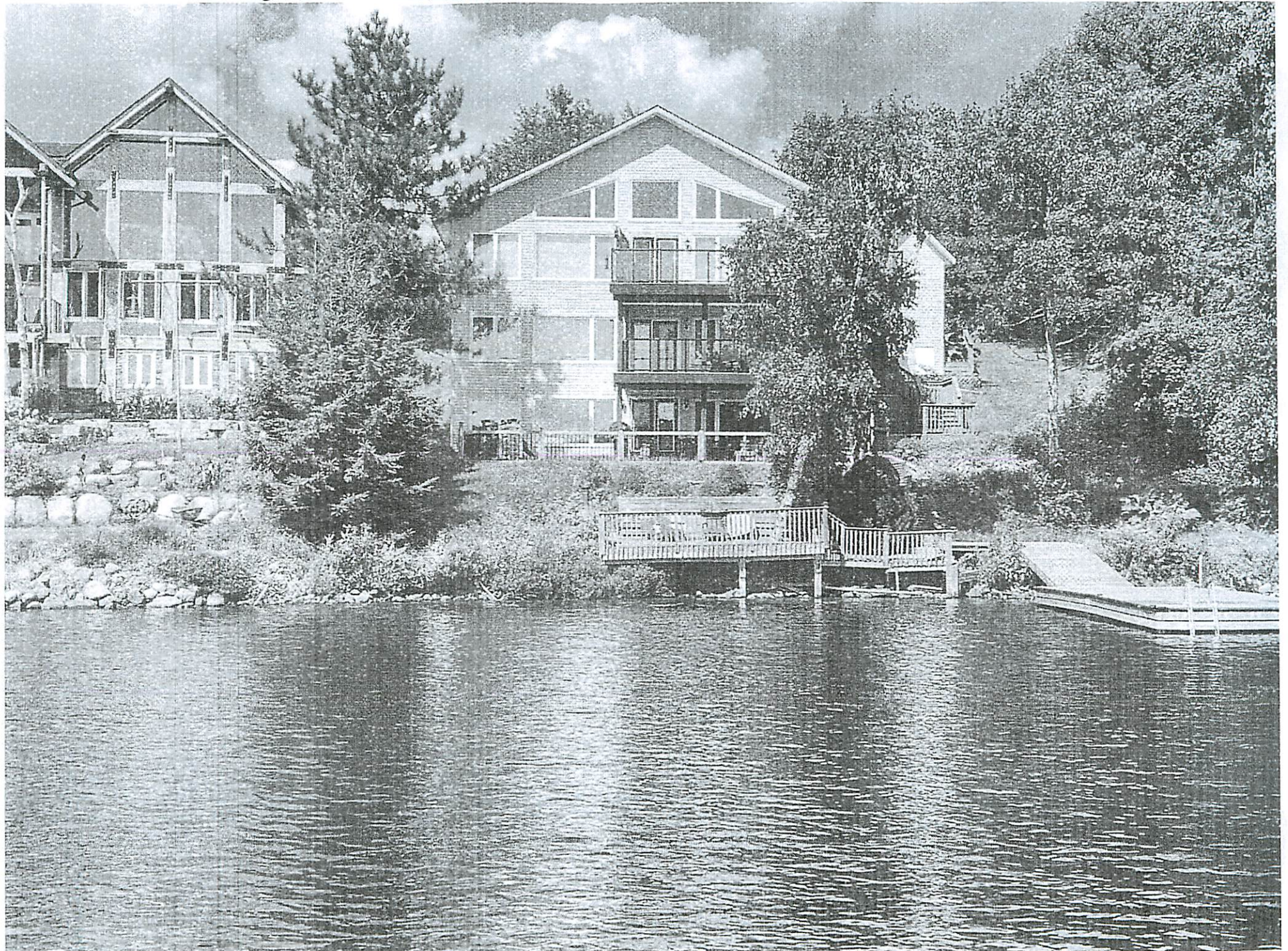
Edgewater Road



Naturalized wild flowers, shrubs and native plants
See photos

A0053/2023
Sketch-3

To show naturalized



Aug 53 / 2023
Sketch - 4



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

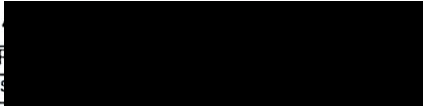
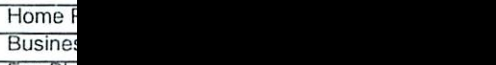


Office Use Only 2023.01.01
A 0054/2023
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO ___

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY


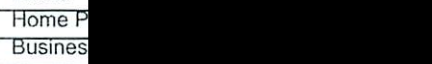


Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

- Registered Owner(s): OLLI & CYNTHIA MATIKAINEN Email: 
Mailing Address: 800 MASON ROAD Home Phone: 
City: WORTHINGTON ON Postal Code: P6M 3H0 Business Phone: 
Fax Phone: 

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: OLLI MATIKAINEN Email: 
Mailing Address: 800 MASON ROAD Home Phone: 
City: WORTHINGTON ON Postal Code: P6M 3H0 Business Phone: 
Fax Phone: 

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NONE

Mailing Address: _____

City: _____ Postal Code: _____

- 4) Current Official Plan designation: RURAL Current Zoning By-law designation: SLS(4)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
HEIGHT 4.2.4(a)	5 m	6.46 m	1.46 m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal: DETACHED GARAGE

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

NEED HEIGHT TO LIFT VEHICLE ON HOIST

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: TRILL
 Lot No.: 12 Concession No.: 3 Parcel(s): 18274
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53R1353 Part(s): 1 & 2
 Municipal Address or Street(s): 800 MASON ROAD

- 7) Date of acquisition of subject land.
- AUG 2010

- 8) Dimensions of land affected.

Frontage 113.2 (m) Depth 90.24 (m) Area 3480 (m²) Width of Street ✓ (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>TABLE SET</u> (m ²)	<u>(GARAGE) 125.3 (m²)</u>
Gross Floor Area:	<u>DOC</u> (m ²)	<u>125.3 (m²)</u>
No. of storeys:	<u>(SEE ATTACHED DOCUMENT)</u>	<u>1</u>
Width:	<u>(SEE ATTACHED DOCUMENT)</u> (m)	<u>9.8 (m)</u>
Length:	<u>(SEE ATTACHED DOCUMENT)</u> (m)	<u>12.8 (m)</u>
Height:	<u>(SEE ATTACHED DOCUMENT)</u> (m)	<u>6.5 (m)</u>

MAIN + BSMT

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>(SEE ATTACHED DOCUMENT & DRAWING)</u> (m)	<u>(SAME)</u> (m)
Rear:	<u>(SEE ATTACHED DOCUMENT & DRAWING)</u> (m)	<u>(SAME)</u> (m)
Side:	<u>(SEE ATTACHED DOCUMENT & DRAWING)</u> (m)	<u>(SAME)</u> (m)
Side:	<u>(SEE ATTACHED DOCUMENT & DRAWING)</u> (m)	<u>(SAME)</u> (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☒
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☒
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

HOUSE & EXISTING GARAGE: 2001 GAZEBO: 2020
SAUNA: EARLY 1960'S

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SEASONAL DWELLING Length of time: 60+ YEARS

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- SEASONAL RESIDENTIAL

A0054/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, OLLI MATIKAINEN & CYNTHIA MATIKAINEN (please print all names), the registered owner(s) of the property described as 800 MASON ROAD, WORTHINGTON
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize OLLI MATIKAINEN (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 1st day of MAY, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: CYNTHIA MATIKAINEN

*I have authority to bind the Corporation

A0054/2023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, OLI MATIKANGU (please print all names),


the registered owner(s) or authorized agent of the property described as

800 MASON ROAD, WORTHINGTON


in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 2ND day of MAY, 20 23


Commissioner of Oaths

Paula Elizabeth Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: OLL MATIKAINEN
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: May 2/23 Hearing Date: May 24/23 Received By: S. Pinkerton

Zoning Designation: SLS(4) Resubmission: ☐ Yes ☒ No

Previous File Number(s): A0085/2000

Previous Hearing Date: (14 Aug 00)

Notes:

A0054/2023

Minor Variance Application

800 Mason Road

42x32 Garage Permit Application

Variance calculations

For building permit application, 800 Mason Road, Worthington
New 32x42 Garage construction

As per bank appraisal report

Site dimensions 370.26 ft by irregular

sq.ft. acre

Site area 37461 0.9

FT M

Frontage on water

133.5

65

64.8

54.37

28.73

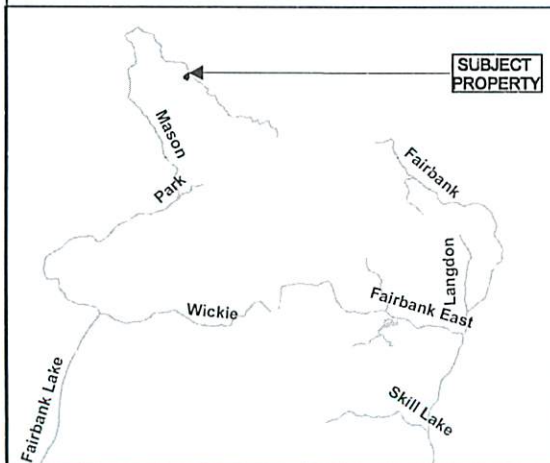
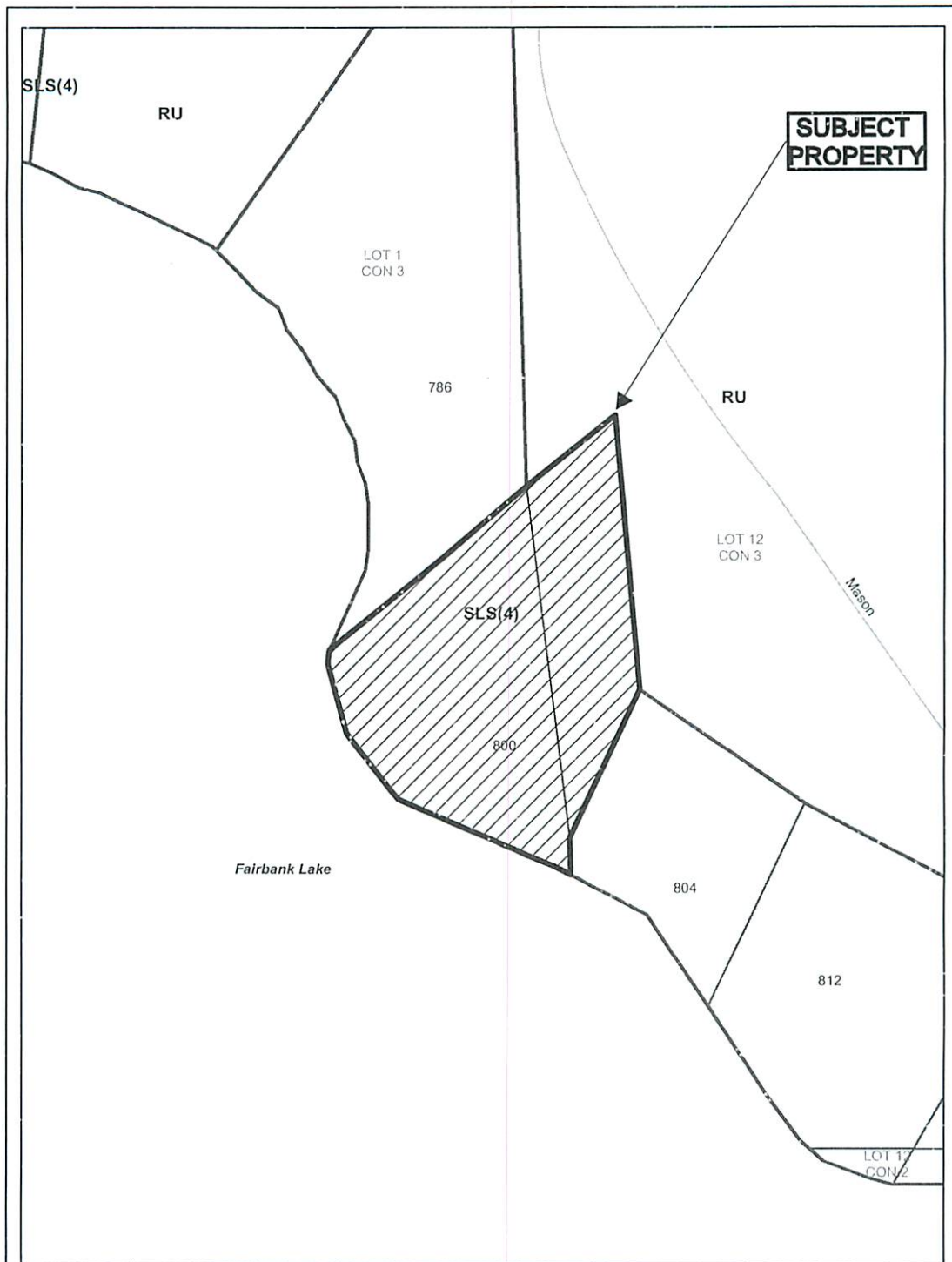
13.4

11.48

Total frontage on lake

371.28

113.2



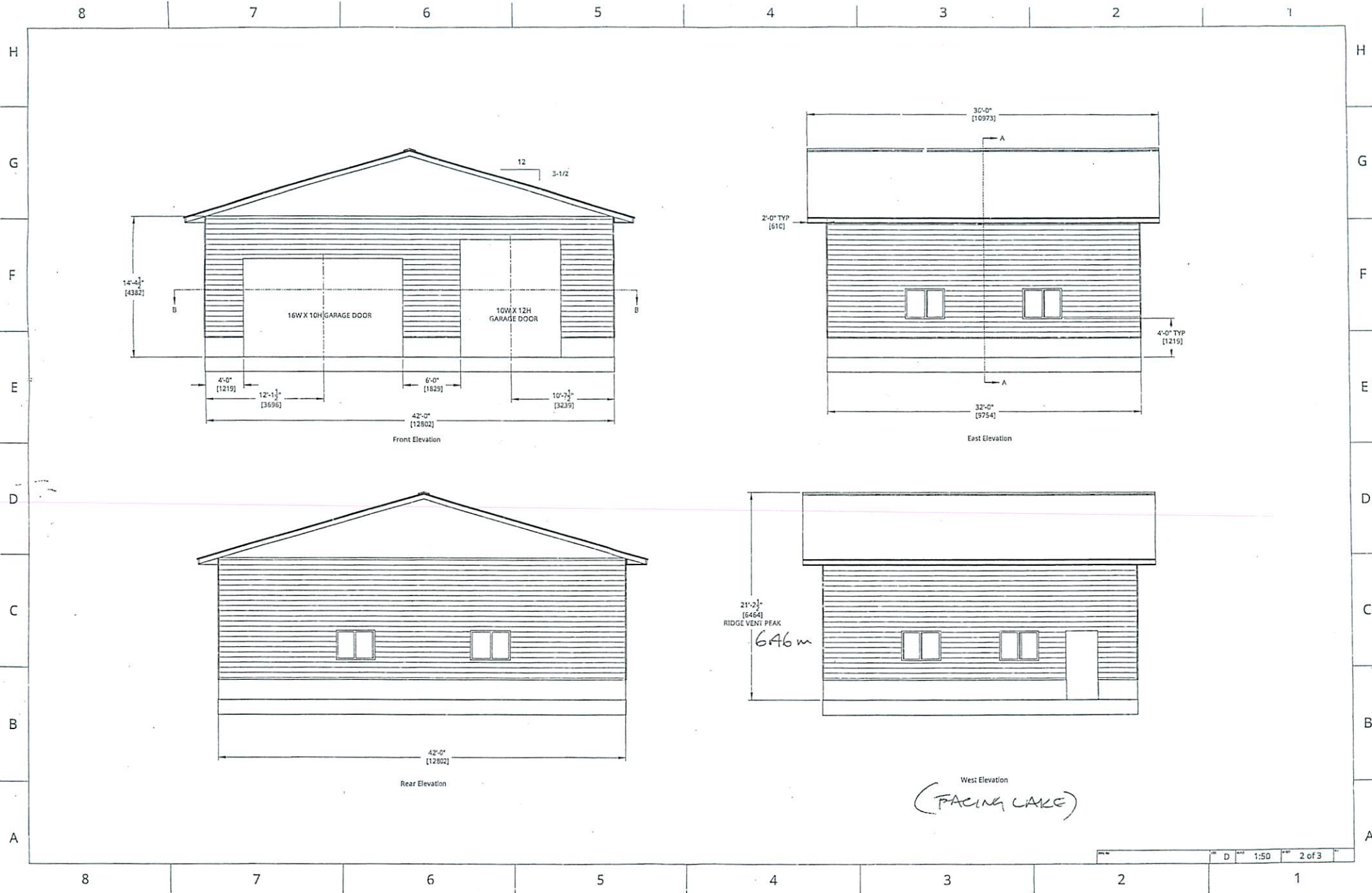
Application for Minor Variance or Permission



Subject Property being PIN 73365-0083,
Parcel 18274 SEC SWS,
Part Lots 1 and 12, Concession 3,
being Summer Resort Location AE-637 as in WP8460,
Parts 1 and 2 on Plan 53R-13537,
Townships of Trill and Fairbank,
800 Mason Road, Worthington,
City of Greater Sudbury

Sketch 1, NTS
NDCA Watershed

A0054/2023
Date: 2023 05 08



A0054/2023
Sketch-3

PLAN 53R-13537

I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE LAND TITLES ACT.

DATE July 29, 1991

RECEIVED AND DEPOSITED

DATE 91 08 13

D. Hutchison
P.L. FINOS, SURVEYOR GENERAL MINISTRY
OF NATURAL RESOURCES

B. Phillips
LAND REGISTRAR FOR THE LAND
TITLES DIVISION OF SUDBURY, (No. 53)

PARTS I & 2 - CROWN

PLAN AND FIELD NOTES OF
LOCATION CL 6480
BEING
PART OF LOT I, CON. III
TOWNSHIP OF TRILL
AND
PART OF LOT 12, CON. III
TOWNSHIP OF FAIRBANK
NOW IN THE
TOWN OF WALDEN
REGIONAL MUNICIPALITY OF SUDBURY
DISTRICT OF SUDBURY
SCALE: 1 INCH = 40 FEET
D.S. DORLAND, O.L.S., 1990

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN AND FIELD NOTES ARE
CORRECT AND ARE PREPARED FROM AN ACTUAL SURVEY
PERFORMED UNDER MY PERSONAL SUPERVISION AND THAT I
WAS IN MY OWN PROPER PERSON PRESENT ON THE GROUND
DURING THE PROGRESS OF SUCH SURVEY.

JULY 27, 1990
SUDBURY, ONTARIO

D.S. Dorland
D.S. DORLAND
ONTARIO LAND SURVEYOR

THE SURVEY REPRESENTED BY THIS PLAN AND FIELD NOTES
WAS COMPLETED ON THE 17th DAY OF AUGUST, 1990.

NOTE

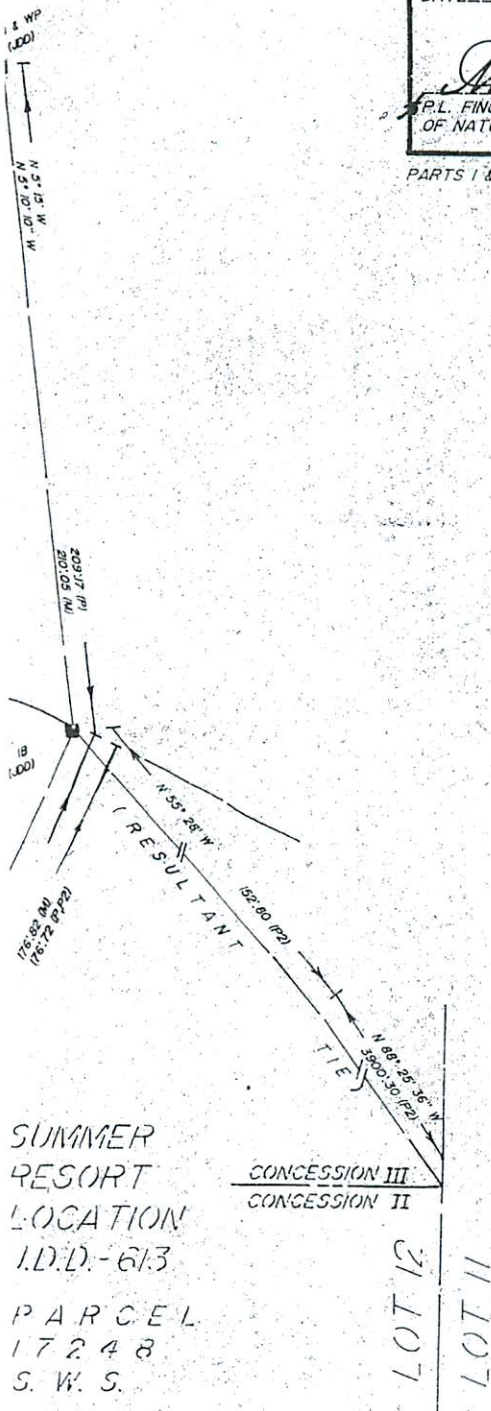
ALL BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE
REFERRED TO THE SOUTHEASTERLY LIMIT OF SUMMER RESORT
LOCATION AE 637, SHOWN ON PLAN AND FIELD NOTES OF
SUMMER RESORT LOCATION AE 637 TO HAVE A BEARING
OF N 25° 27' E.

LEGEND

SIB DENOTES STANDARD IRON BAR
SSIB DENOTES SHORT STANDARD IRON BAR
IB DENOTES IRON BAR
M DENOTES MEASURED
S.W.S. DENOTES SUDBURY WEST SECTION
WP DENOTES WOOD POST
P DENOTES PLAN AND FIELD NOTES OF SUMMER RESORT
LOCATION AE 637
P2 DENOTES PLAN AND FIELD NOTES OF SUMMER RESORT
LOCATION, J.D.D.-613
P3 DENOTES PLAN AND FIELD NOTES OF SUMMER RESORT
LOCATION, J.D.D. - 42
JDD DENOTES J.D. DEARDON, O.L.S.
1400 DENOTES D.S. DORLAND, O.L.S.
DENOTES NOT TO SCALE
WIT DENOTES WITNESS
DENOTES MONUMENT FOUND
DENOTES MONUMENT PLANTED
HWM DENOTES HIGH WATER MARK

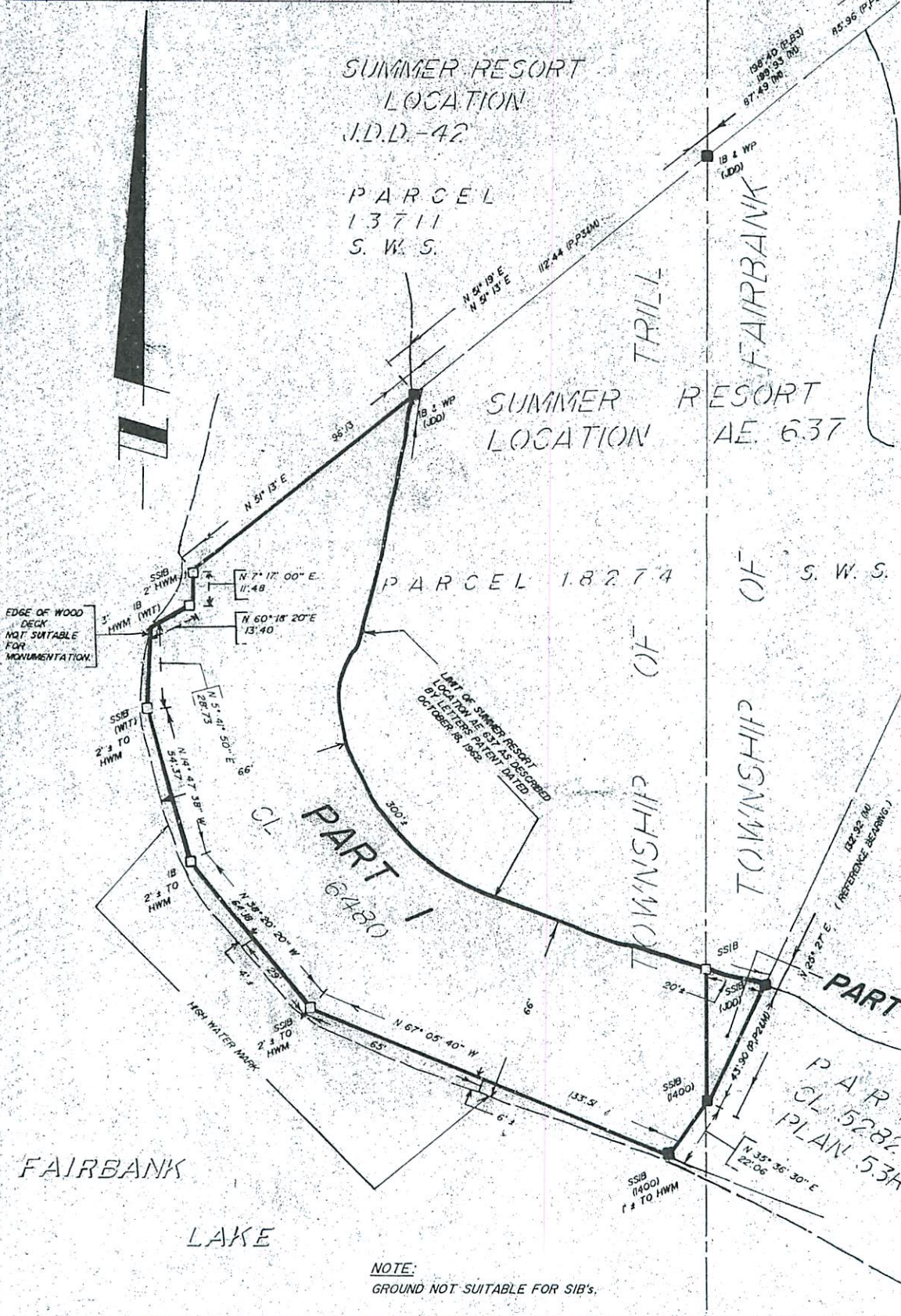
**CAUTION: THIS PLAN IS NOT A PLAN OF SUBDIVISION
WITHIN THE MEANING OF THE PLANNING ACT.**

APPLICANT: D. HUTCHISON



A0054/2023
Sketch-4

SCHEDULE							
PART	LOT BLOCK	CON. PLAN	TOWNSHIP	R/W	AREA	INST./PARCEL	REMARKS
1	1	III	TRILL		0.41 AC./0.146 HA.		
2	12	III	FAIRBANKS		0.01 AC./0.004 HA		
TOTAL AREA					0.42 AC./0.150 HA.		
SUDBURY					AREA	MNR LANDS FILE No. 63479	





Box 5000, Station 'A', 200 Brady Street
Sudbury, ON N3A 6P8
Tel: (705) 671-2489, Ext. 43704346
Fax: (705) 675-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 40 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kevin and Lisa Ellis Email: [REDACTED]
Mailing Address: 54 Mennill Dr. Mississauga, On L9X0J2 Home Phone: [REDACTED]
Subject property: 75 Stoney Bay Rd. Business Phone: [REDACTED]
City: Whitefish Postal Code: P0M3E0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Lisa Ellis Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
75 Stoney Bay Rd. Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Name and mailing address(es) of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: BMO
Mailing Address: 2075 Long Lake Rd
City: Sudbury Postal Code: P3E 4M8

- 4) Current Official Plan designation: Residential RURAL Current Zoning By-law designation: RS

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Height 4.2.4 (a)	5.0m	*5.6m	0.6m
*Per architect's drawing building height is 5.54m. Requesting 5.6m to accommodate room for minor variances during construction (materials difference such as roof vent manufacturers' design variances) - design on paper vs. construction realities shaping materials including minor dimensional errors).			

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

To remove and replace existing sauna

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Architectural plans have been completed - asking for variance to avoid rework of plans and preserve aesthetics of design.
Preference for slightly higher roof line is more desirable.

Office Use Only
2023.01.01
A0055/2023
S.P.P. AREA
YES _____ NO ☒
NDCA REG. AREA
YES _____ NO ☒

6) Legal Description (include any abutting property registered under the same ownership):

PIN(s):	Township: Louise		
Lot No.: 5	Concession No.: 1	Parcel(s): 17222SW	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 75 Stoney Bay Rd			

7) Date of acquisition of subject land: 1996

8) Dimensions of land affected:

Frontage 10 (m) Depth 630 (m) Area 30595 (m²) Width of Street N/A (m)

9) Particulars of all buildings:	House	Shed	Sawm	House	Shed	Sawm
	Existing	(Demo)		Proposed		
Ground Floor Area:	80	7	20	N/C	N/C	70
	(m ²)		(m ²)			(m ²)
Gross Floor Area:						
	(m ²)					
No. of storeys:	1	1	1			
Width:	7	2	3			**11.89
	(m)		(m)			(m)
Length:	11	3	7			~12.5
	(m)		(m)			(m)
Height:	5	3	3			6
	(m)		(m)			(m)

**Includes width of main cavity of building plus extension of lakeside porch roof line

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines):

	Existing			Proposed	
Front:	573	565	617	612	
	(m)		(m)	(m)	
Rear:	61	63	14	11	
	(m)		(m)	(m)	
Side:	13	32	4	2.0	
	(m)		(m)	(m)	
Side:	17	7	20	18	
	(m)		(m)	(m)	

11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐

Municipally owned & operated sanitary sewage system ☒

Lake ☒

Individual Well ☐

Communal Well ☒

Individual Septic System ☒

Communal Septic System ☐

Pit Privy ☐

Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐

Municipal Road ☒

Maintained Yearly ☒

Maintained Seasonal ☐

Right-of-way ☐

Water ☐

If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land:
Circa 1960

13) Existing use(s) of the subject property and length of time if they have continued

Use(s): Residential Length of time: Pre-1960

14) Proposed use(s) of the subject property:

Same as #13 ☒ or, _____

15) What is the number of dwelling units on the property?

16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

A0055/2023

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):	Township: Louise		
Lot No.: 5	Concession No.: 1	Parcel(s): 17222SW	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 75 Stoney Bay Rd			

- 7) Date of acquisition of subject land. 1996

- 8) Dimensions of land affected.

Frontage 10	(m)	Depth 630	(m)	Area 30595	(m ²)	Width of Street N/A	(m)
-------------	-----	-----------	-----	------------	-------------------	---------------------	-----

- 9) Particulars of all buildings:

	House	Shed Existing	Sauna (Deno)	House	Shed Proposed	Sauna
Ground Floor Area:	80	7	20	N/C	N/C	70
Gross Floor Area:						
No. of storeys:	1	1	1			1
Width:	7	2	3			**11.89
Length:	11	3	7			~12.5
Height:	5	3	3			5.6

**Includes width of main cavity of building plus extension of lakeside porch roof line

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing			Proposed	
Front:	573	565	617	612	
Rear:	61	63	14	11	
Side:	13	32	3	3	
Side:	17	7	20	17	

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>
Lake	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>
Communal Well	<input checked="" type="checkbox"/>
Individual Septic System	<input checked="" type="checkbox"/>
Communal Septic System	<input type="checkbox"/>
Pit Privy	<input type="checkbox"/>
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>

- What type of access to the land?

Provincial Highway	<input type="checkbox"/>
Municipal Road	<input checked="" type="checkbox"/>
Maintained Yearly	<input checked="" type="checkbox"/>
Maintained Seasonal	<input type="checkbox"/>
Right-of-way	<input type="checkbox"/>
Water	<input type="checkbox"/>

If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.
-
- Circa 1960

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential	Length of time: Pre 1960
---------------------	--------------------------

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property? _____

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: Residential

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kevin & Lisa Ellis

(please print all

names), the registered owner(s) of the property described as

75 Stoney Bay Rd. Whitefish, ON

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Lisa Ellis (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 26th

day of

April

, 20, 23

On Sudbury

(witness)

Kevin Ellis
Signature of Owner(s) or Signing Officer or Authorized Agent

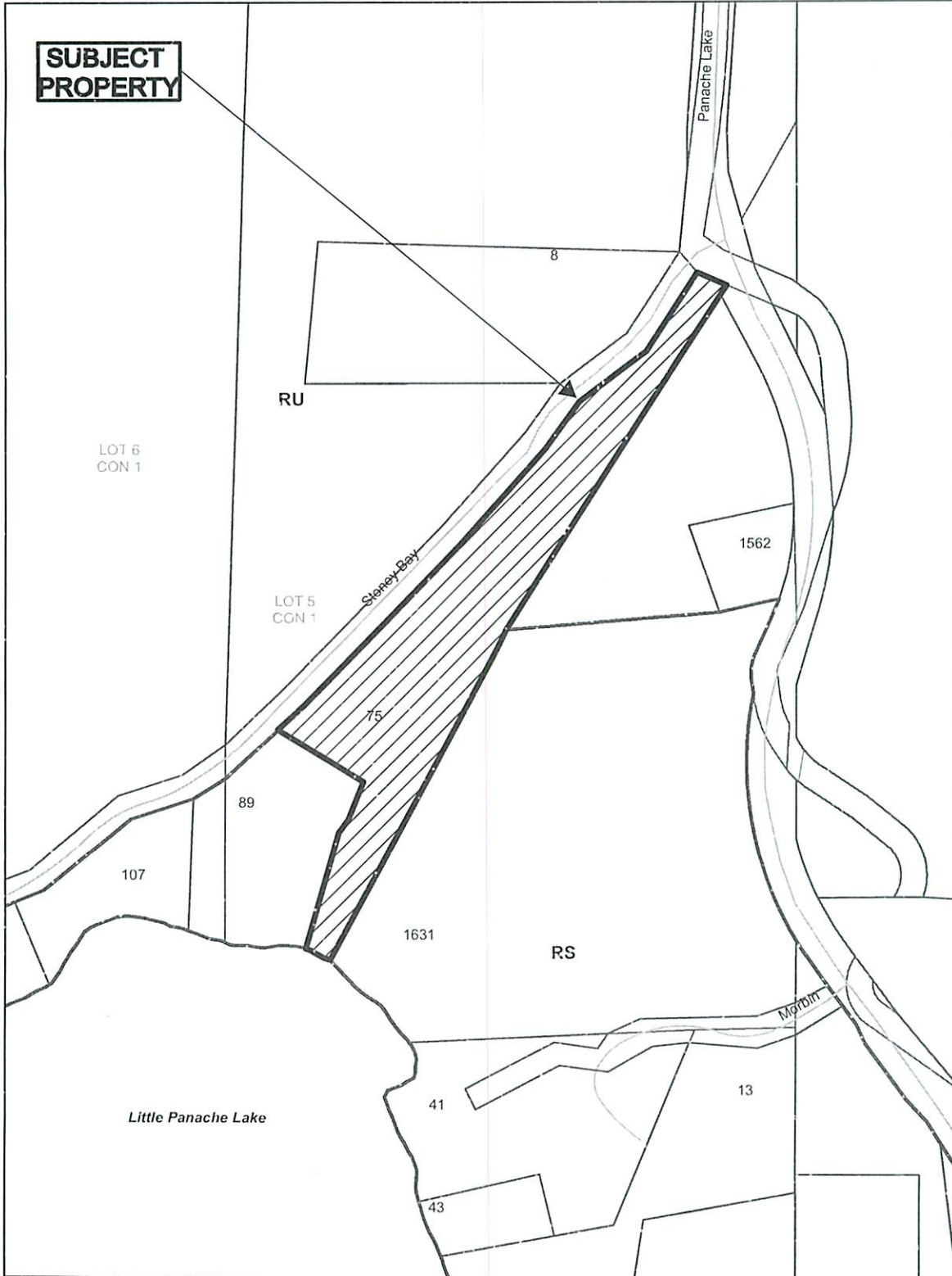
Print Name: KEVIN ELLIS

Lisa Ellis

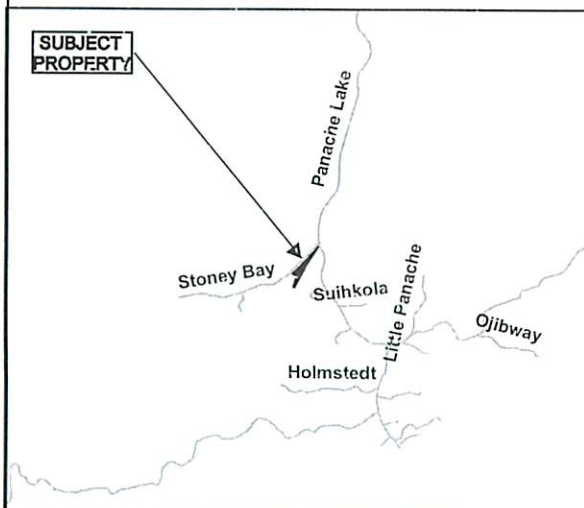
*I have authority to bind the Corporation

A0055/2023

**SUBJECT
PROPERTY**



**SUBJECT
PROPERTY**



Application for Minor Variance or Permission

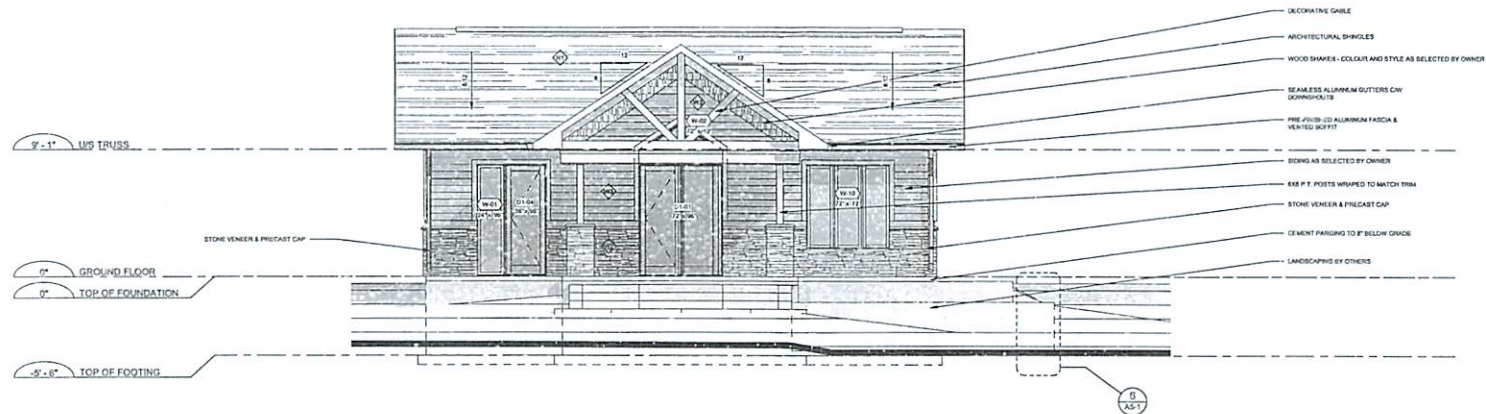


Subject Property being PIN 73397-0071,
Parcel 17222 SEC SWS,
Part Broken Lot 5, Concession 1 as in LT169927,
except Part 15 on Plan 53R-8234,
Township of Louise,
75 Stoney Bay Road, Whitefish,
City of Greater Sudbury

Sketch 1, NTS
MNR Watershed

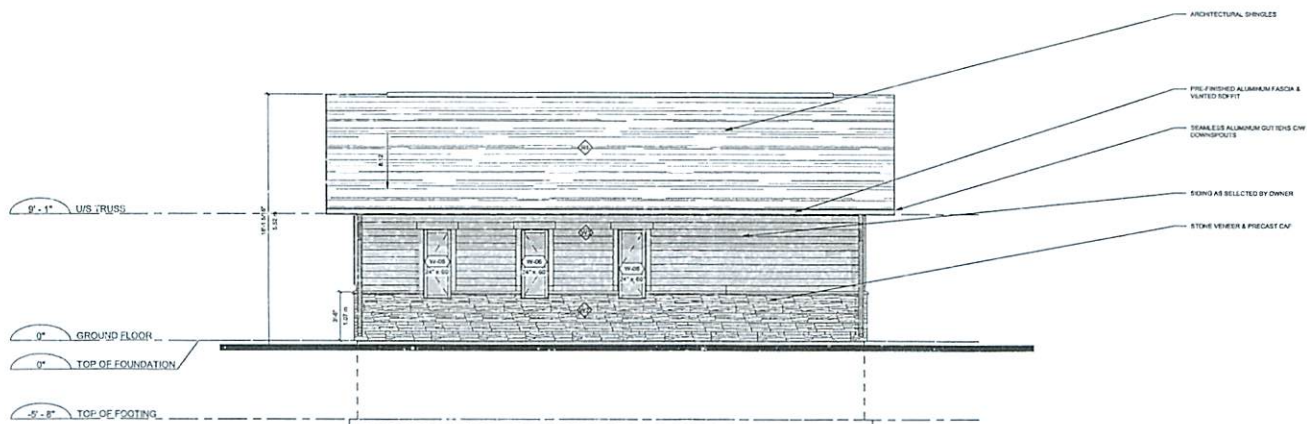
A0055/2023
Date: 2023 05 08

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS & COMMENCEMENT OF CONSTRUCTION



FRONT ELEVATION
1/4" = 1'-0"

NOTE:
GRADE LINES ARE REPRESENTATION ONLY.
ACTUAL GRADE LINES TO BE DETERMINED ON
SITE BY CONTRACTOR



REAR ELEVATION
1/4" = 1'-0"



GENERAL NOTES

1. The drawings are not intended to be used for construction of any building or structure without the approval of the local authority having jurisdiction.
2. The drawings are not intended to be used for construction of any building or structure without the approval of the local authority having jurisdiction.
3. The drawings are not intended to be used for construction of any building or structure without the approval of the local authority having jurisdiction.
4. The drawings are not intended to be used for construction of any building or structure without the approval of the local authority having jurisdiction.
5. The drawings are not intended to be used for construction of any building or structure without the approval of the local authority having jurisdiction.

PROJECT STATUS
ISSUED FOR PERMIT
ISSUED DATE
April 6, 2023
REVISIONS

PROJECT
ELLIS SAUNA

18 Strong Day Road - South

PROJECT NUMBER
Project No. 2023-01

DRAWN BY / CHECKED BY
DS / DS

SCALE
1/4" = 1'-0"

CONTENTS
FRONT & REAR
ELEVATIONS

SHEET NUMBER
A3-1

A0055/2023
Sketch-3

* Existing Building

SURVEYOR'S REAL PROPERTY REPORT

PART OF LOT 5
CONCESSION 1
TOWNSHIP OF LOUISE
DISTRICT OF SUDBURY

REGIONAL MUNICIPALITY OF SUDBURY
SCALE : 1 INCH = 200 FEET
BORTOLUSSI-RUTTAN SURVEYOR'S
1996

LEGEND:

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
SIS	DENOTES STANDARD IRON BAR
SSB	DENOTES SHORT STANDARD IRON BAR
	DENOTES IRON BAR
P1	DENOTES PLAN ATTACHED TO INST. # 17222
P2	DENOTES PLAN 53R-8234
RTL	DENOTES R T LANE, OLS
RB	DENOTES ROUND IRON BAR
CALC	DENOTES CALCULATED FROM P1
MD	DENOTES MINISTRY OF TRANSPORTATION OF CANADA

NOTE:

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO PART
OF THE EASTERLY LIMIT OF STONEY BAY ROAD SHOWN ON A PLAN
ATTACHED TO INST # 17222 HAVING A BEARING OF N44°05'E

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:
THE FIELD SURVEY ON THIS PLAN WAS COMPLETED ON THE
6TH DAY OF MAY, 1996.

MAY 15, 1996

STEVEN C. RUTTAN, OLS

DESCRIPTION:

PARCEL 17222 SWS, BEING PART OF LOT 5, CONCESSION 1,
TOWNSHIP OF LOUISE

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:

THERE ARE NO EASEMENTS OR RIGHTS-OF-WAY

NOTES:

THERE IS A PARTIAL OLD POST AND WIRE FENCE LOCATED AS SHOWN ON SAID PLAN

NOTE THE LOCATION OF THE OVERHEAD SERVICE WIRES.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:

NOT CERTIFIED BY THIS REPORT

THIS PLAN AND REPORT IS PREPARED FOR:
MR. K. ELLIS

FILE: 06-06

A0055/2023
Sketch-4

NOT TO SCALE

LOT 5
CONCESSION 1
TWP OF LOUISE

PARCEL
17588
SWS

PARCEL 17586 SWS

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1045088



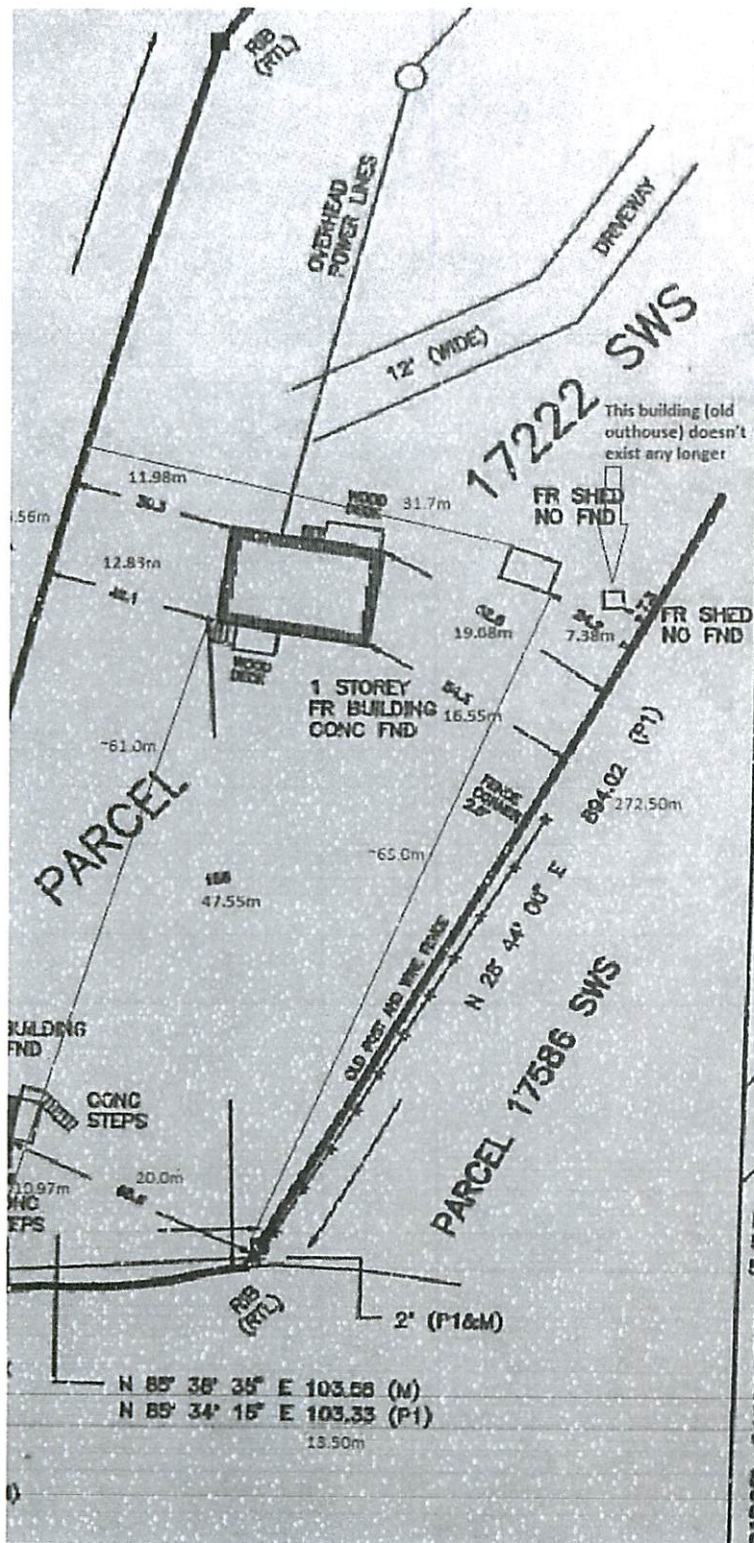
THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1020, Section 20(3)

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER
THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN
PERMISSION OF BORTOLUSSI-RUTTAN SURVEYORS.
© BORTOLUSSI-RUTTAN SURVEYORS 1996

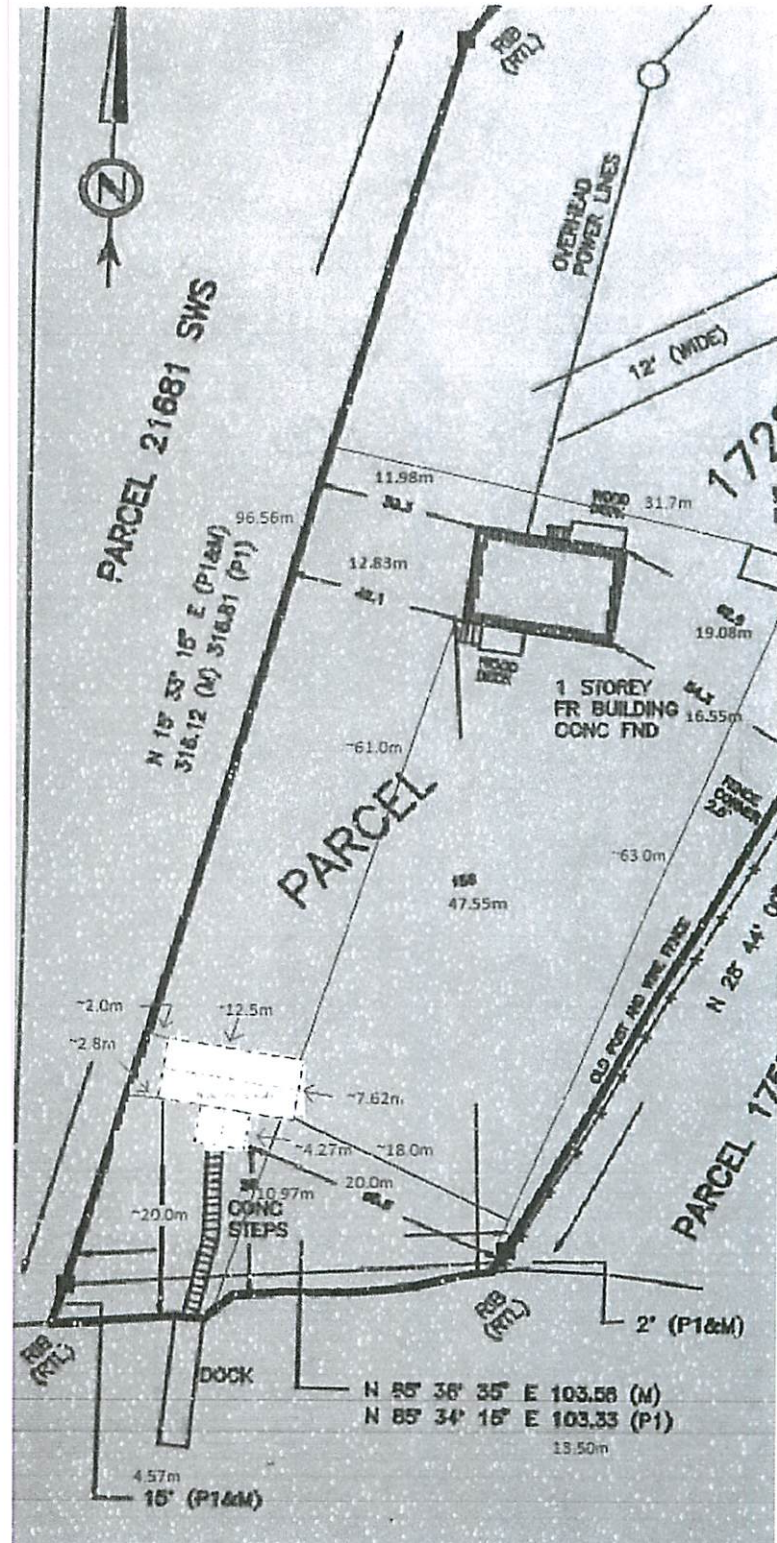
LITTLE PANACHE LAKE

LITTLE PANACHE LAKE

Existing Site Configuration



Proposed Site Configuration

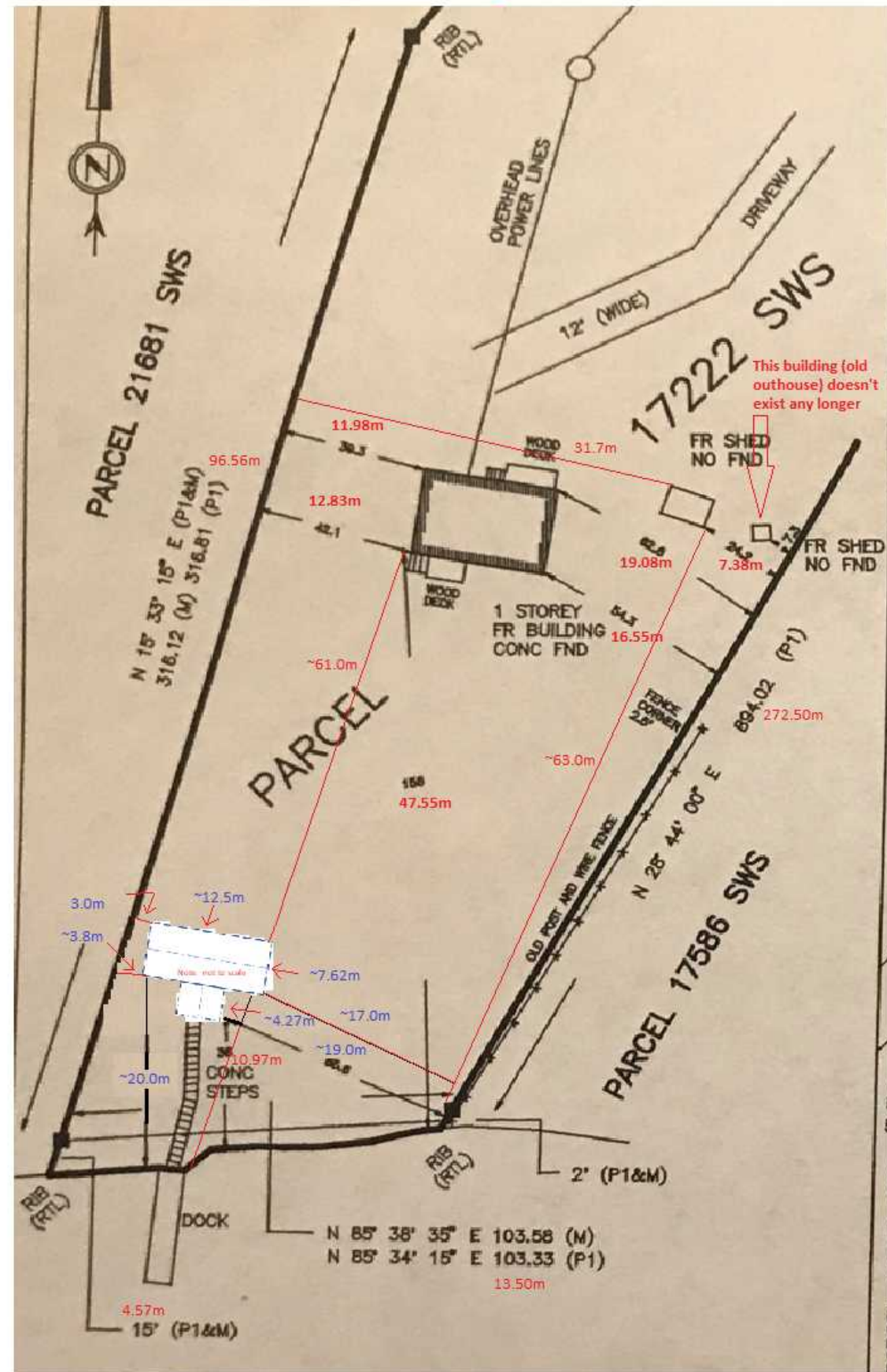


NOTES: Measurements in blue

- 1) These are best guess measurements. Once excavation is undertaken building may be moved from property line and upwards towards primary building to address bed rock profile.
- 2) The numbers indicated include the dimensions of the wall footprint PLUS the 2 foot (0.61m) distance from new building to right side of property line is best guess per comment in #1 ab

A0055/2023
Sketch-6

REVISÉ



- 1) These are best guess measurements. Once excavation is undertaken building may be moved slightly further away from property line and upwards towards primary building to address bed rock profile.
- 2) The numbers indicated include the dimensions of the wall footprint PLUS the 2 foot (0.61m) eaves line.
- 3) Distance from new building to right side of property line is best guess per comment in #1 above.

GENERAL NOTES

GENERAL REQUIREMENTS

1. ALL DESIGN/ANALYSIS, CALCULATIONS OR CONFLICTS SHALL BE REPORTED TO DESIGNER PRIOR TO WORK.
2. CONTRACTOR IS NOT TO PROCEED WITH ANY CHANGES OR MODIFICATIONS TO THE DESIGN UNLESS A WRITTEN COST OF THE CHANGES IS APPROVED BY THE DESIGNER PRIOR TO THE CHANGES BEING MADE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

CODE AND STANDARDS

1. CONFORM WITH PART 6 OF THE 2015 CANADIAN BUILDING CODE AND THE REGULATIONS THEREOF.
2. MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS, SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.
3. CONFORM WITH THE CANADIAN OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.

CONSTRUCTION REQUIREMENTS

1. REFER TO FLOOR PLANS FOR PARTITION TYPES.
2. CONTRACTOR TO PROVIDE ADDITIONAL FRAMING TO BRACE WALLS AT BEAMS, JOISTS, STRUCTURE, PIPING AND DUCT WORK AS REQUIRED TO MAINTAIN PERFORMANCE OF PARTITION.
3. CONTRACTOR TO PROVIDE BLOCKING AND BRACING FOR CEILING OR WALLS FOR MECHANICAL, ELECTRICAL, PLUMBING, FIREWORKS, CABINETRY, ETC.
4. PROVIDE BLOCKING IN BATHROOMS FOR FUTURE GEAR BARS AS PER D.C. 8.3.2.
5. INTERIOR WALLS ARE 1/2" MIN. THICK (ACTUAL WIDTH) UNLESS NOTED OTHERWISE.
6. EXTERIOR WALLS ARE 1/2" MIN. THICK (ACTUAL WIDTH) UNLESS NOTED OTHERWISE.

PERMITS AND INSPECTIONS

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

REQUIREMENTS FOR BUILDING PERMITS

1. SHOP DRAWINGS FOR ALL PRE-ENGINEERED COMPONENTS MUST BE SUBMITTED TO THE DESIGNER FOR REVIEW PRIOR TO THE START OF CONSTRUCTION. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

FLOOR FINISHES NOTES

1. CONTRACTOR TO HAVE ALL FLOORS READY TO ACCEPT INSTALLATION OF NEW FLOOR FINISH.
2. ALL MATERIALS FOR INSTALLATION OF FLOOR FINISHES SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
3. CHANGES TO FLOOR FINISHES SHALL BE APPROVED BY THE DESIGNER PRIOR TO THE CHANGES BEING MADE.
4. WHERE A CHANGE IN MATERIAL OCCURS, PROVIDE THRESHOLD OR FLUSH JOINTS AS REQUIRED.

CONSTRUCTION LEGEND

- EXISTING** (Solid line) - EXISTING TO REMAIN
- REMOVE** (Dashed line) - REMOVE
- NEW** (Thin solid line) - NEW
- NEW WALL** (Thick solid line) - NEW WALL

SYMBOL LEGEND

- LEVEL WHERE DOOR IS LOCATED**
- DOOR** (Symbol) - DOOR
- WINDOW** (Symbol) - WINDOW
- CONSTRUCTION ASSEMBLY** (Symbol) - CONSTRUCTION ASSEMBLY
- WINDPROOF EXHAUST FAN** (Symbol) - WINDPROOF EXHAUST FAN
- CARBON MONOXIDE DETECTOR** (Symbol) - CARBON MONOXIDE DETECTOR
- NON-FREEZE HOUSE BIBS** (Symbol) - NON-FREEZE HOUSE BIBS
- NATURAL GAS TIE-IN** (Symbol) - NATURAL GAS TIE-IN
- CLIMATE - 1/2" THERMAL BARRIER** (Symbol) - CLIMATE - 1/2" THERMAL BARRIER
- FLOOR DRAIN OR TRAP SEAL PRIMER & BACK FLOW PREVENTER** (Symbol) - FLOOR DRAIN OR TRAP SEAL PRIMER & BACK FLOW PREVENTER

CONSTRUCTION NOTES

EXCAVATION NOTE - D.C. 8.3.1

1. EXCAVATIONS FOR FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL BELOW THE DEPTH OF FROST PENETRATION.
2. EXCAVATIONS SHALL BE KEPT FREE FROM STANDING WATER.
3. THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FREE FROM FREEZING THROUGHOUT THE CONSTRUCTION PERIOD.
4. BOTTOM OF EXCAVATIONS SHALL BE FREE FROM ORGANIC MATERIAL.
5. TOP SOIL & ORGANIC MATERIAL SHALL BE REMOVED FROM ALL UNDISTURBED AREAS UNDER A BUILDING.

FOOTINGS NOTE - D.C. 8.3.2

1. FOOTINGS SHALL BE PROVIDED UNDER ALL WALLS.
2. PLASTER, EXTERIOR, FIBER, FIREPLACES & CHIMNEYS THAT BEAR ON SOIL OR ROCK.
3. MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS, SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.
4. CONFORM WITH THE CANADIAN OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.

FOUNDATION WALL NOTE

1. FOUNDATION CONC. WALL SHALL BE 200 PSI @ 28 DAYS.
2. FOUNDATION SHALL BE MIN. 12" MIN. ABOVE GRADE.
3. LATERAL SUPPORT OF WALL PROVIDED BY ANCHORED BRACE.
4. WATER PROOF EXTERIOR FACE OF WALL BELOW GRADE AS PER D.C. 8.3.2.
5. EXTERIOR WALLS ARE 1/2" MIN. THICK (ACTUAL WIDTH) UNLESS NOTED OTHERWISE.
6. EXTERIOR WALLS ARE 1/2" MIN. THICK (ACTUAL WIDTH) UNLESS NOTED OTHERWISE.

DOOR/SLIP NOTE - D.C. 8.3.3

1. DOOR/SLIP SHALL BE PLACED BY AVOIDING ANY STRUCTURE OR MATERIAL DAMAGE.
2. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
3. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
4. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.

FOUNDATION NOTE

1. ALL FRAMING LUMBER TO BE SPF NO. 2 OR BETTER.
2. END BEARING JOISTS - 1"2" BEAMS - 1"2" JOISTS.
3. LATERAL SUPPORT FOR WALLS PARALLEL TO JOISTS.
4. ALL INTERIOR WALLS TO BE 1/2" MIN. THICK (ACTUAL WIDTH) UNLESS NOTED OTHERWISE.
5. EXTERIOR WALLS ARE 1/2" MIN. THICK (ACTUAL WIDTH) UNLESS NOTED OTHERWISE.
6. EXTERIOR WALLS ARE 1/2" MIN. THICK (ACTUAL WIDTH) UNLESS NOTED OTHERWISE.

DOOR/SLIP NOTE

1. DOOR/SLIP SHALL BE PLACED BY AVOIDING ANY STRUCTURE OR MATERIAL DAMAGE.
2. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
3. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
4. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.

STRUCTURAL NOTE

1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40.21 GRADE 50W STEEL.
2. REINFORCING STEEL SHALL CONFORM TO CAN/CSA-G40.21 GRADE 60W STEEL.

INSULATION NOTE - D.C. 8.3.2.1

1. THERMAL INSULATION SHALL BE PROVIDED IN ALL FLOORS, WALLS AND CEILINGS EXCEPTING A LIMITED SPACE FROM AN UNHEATED SPACE WITH A EXTERIOR AIR OR EXTERIOR SOIL.
2. FOUNDATION WALLS END OTHERS A HEATED SPACE SHALL HAVE CONTINUOUS INSULATION TO FROSTING DEPTH.

AIR VAPOUR BARRIER NOTE

1. AIR BARRIER SYSTEM MUST PROVIDE CONTINUOUS BARRIER AGAINST AIR LEAKAGE.
2. RECOMMEND SMART MEMBRANE TO REPLACE INTERIOR VAPOUR BARRIER.
3. WHERE POLYETHYLENE SHEET IS USED TO PROVIDE AN AIR BARRIER THE AIR BARRIER SHALL CONFORM TO CAN/CSA-G40.21 GRADE 50W STEEL.
4. CONTRACTOR TO PROVIDE BARRIER MUST BE PROVIDED ON THE INSIDE OF EXTERIOR WALLS, CEILING, & FLOOR ASSEMBLIES TO PREVENT CONDENSATION FROM OCCURRING.
5. WHERE POLYETHYLENE SHEET IS USED AS VAPOUR BARRIER IT SHALL CONFORM TO CAN/CSA-G40.21 GRADE 50W STEEL.

VENTILATION - D.C. 8.3.3

1. EVERY DWELLING UNIT SHALL BE PROVIDED WITH ELECTRICAL POWER SHALL BE PROVIDED WITH MECHANICAL VENTILATION TO SUPPLY NATURAL VENTILATION TO ALL ROOMS SPECIFIED WITHIN THE DWELLING UNIT.
2. MECHANICAL VENTILATION SHALL PROVIDE ONLY AIR CHANGE "PER HOUR" COOLED IN THE SUMMER MONTHS & AIR CHANGE "PER HOUR" HEATED IN THE WINTER MONTHS.
3. SEE SECTION 8.3.2.1 TABLE 8.3.2.1 FOR UNSTRUCTURED NATURAL VENTILATION AREA.
4. ALL MECHANICAL VENTILATION REQUIREMENTS TO CONFORM TO THE CANADIAN BUILDING CODE 8.3.3. VENTILATION.

DISCREET VENTILATION TERMINAL

1. TO BE A MIN. 300mm (12") FROM A GAS REGULATOR.
2. TO BE A MIN. 300mm (12") FROM A GAS REGULATOR.
3. TO BE A MIN. 300mm (12") FROM A GAS REGULATOR.
4. TO BE A MIN. 300mm (12") FROM A GAS REGULATOR.

FIREPLACE CHIMNEY - D.C. 8.3.4

1. TOP OF FIREPLACE CHIMNEY SHALL BE 1" MIN. ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND GABLES (2") ABOVE THE ROOF FLASHING WITHIN A MIN. DISTANCE OF 300mm (12") FROM THE CHIMNEY.
2. TO BE A MIN. 300mm (12") FROM A GAS REGULATOR.
3. TO BE A MIN. 300mm (12") FROM A GAS REGULATOR.
4. TO BE A MIN. 300mm (12") FROM A GAS REGULATOR.

DOOR/SLIP NOTE

1. DOOR/SLIP SHALL BE PLACED BY AVOIDING ANY STRUCTURE OR MATERIAL DAMAGE.
2. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
3. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
4. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.

DOOR/SLIP NOTE

1. DOOR/SLIP SHALL BE PLACED BY AVOIDING ANY STRUCTURE OR MATERIAL DAMAGE.
2. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
3. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
4. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.

DOOR/SLIP NOTE

1. DOOR/SLIP SHALL BE PLACED BY AVOIDING ANY STRUCTURE OR MATERIAL DAMAGE.
2. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
3. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
4. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.

DOOR/SLIP NOTE

1. DOOR/SLIP SHALL BE PLACED BY AVOIDING ANY STRUCTURE OR MATERIAL DAMAGE.
2. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
3. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.
4. DOOR/SLIP SHALL BE SLOPED AWAY FROM BUILDING TO PREVENT ANY DAMAGE TO MATERIALS OR FOUNDATION AFTER SETTING.

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES

- PARTITION TYPE - #1**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
- PARTITION TYPE - #2**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT

PARTITION TYPE - #3

- 1/2" GYPSUM BOARD, PLANT
- 1/2" GYPSUM BOARD, PLANT
- 1/2" GYPSUM BOARD, PLANT
- 1/2" GYPSUM BOARD, PLANT

WALL ASSEMBLIES

- WALL TYPE - #1**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
- WALL TYPE - #2**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT

WALL TYPE - #3

- 1/2" GYPSUM BOARD, PLANT
- 1/2" GYPSUM BOARD, PLANT
- 1/2" GYPSUM BOARD, PLANT
- 1/2" GYPSUM BOARD, PLANT

FLOOR ASSEMBLIES

- FLOOR TYPE - #1**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
- FLOOR TYPE - #2**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT

ROOF ASSEMBLIES

- ROOF TYPE - #1**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
- ROOF TYPE - #2**
- 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT
 - 1/2" GYPSUM BOARD, PLANT

PRODUCT SELECTION

ATTIC ACCESS HATCH

- LOW PROFILE ATTIC ACCESS HATCH BY ATTIC HATCH INC. (SEE APPROVED LIST)
- HOSE BIBS**
- WATERPROOF HOSE BIBS TO BE NON-FREEZE SINGLE-HANDLED OR APPROVED EQUAL, STRENGTHENED TO TEST DEPTH.
- NON-FREEZE RECESSED HOSE BIBS TO BE NON-FREEZE SINGLE-HANDLED OR APPROVED EQUAL, STRENGTHENED TO TEST DEPTH.

SMOKE AND CO DETECTORS

- SMOKE DETECTORS TO BE INSTALLED IN EACH BED ROOM WITH LOW PROFILE PHOTOELECTRIC (BY CODE).
- SMOKE & CO DETECTORS CONFORMING TO CAN/ULC-S531-01 (ULC-S531-01) STANDARD FOR SMOKE DETECTORS.

SMOKE & CO DETECTORS

- SMOKE & CO DETECTORS CONFORMING TO CAN/ULC-S531-01 (ULC-S531-01) STANDARD FOR SMOKE DETECTORS.
- SMOKE & CO DETECTORS CONFORMING TO CAN/ULC-S531-01 (ULC-S531-01) STANDARD FOR SMOKE DETECTORS.

SMOKE & CO DETECTORS

- SMOKE & CO DETECTORS CONFORMING TO CAN/ULC-S531-01 (ULC-S531-01) STANDARD FOR SMOKE DETECTORS.
- SMOKE & CO DETECTORS CONFORMING TO CAN/ULC-S531-01 (ULC-S531-01) STANDARD FOR SMOKE DETECTORS.

DOOR SCHEDULE

No.	TYPE	WIDTH	HEIGHT	HARDWARE
101	1A	36"	80"	LOCKSET, GLASS & WEATHERSTRIPPING
102	1B	36"	80"	LOCKSET, GLASS & WEATHERSTRIPPING
103	1C	36"	80"	LOCKSET, GLASS & WEATHERSTRIPPING
104	1D	36"	80"	LOCKSET, GLASS & WEATHERSTRIPPING
105	1E	36"	80"	LOCKSET, GLASS & WEATHERSTRIPPING

DOOR TYPE

- TYPE 1 - INTERIOR WOOD DOOR
- TYPE 2 - EXTERIOR INSULATED DOOR
- TYPE 3 - GLASS DOOR
- TYPE 4 - PATIO DOOR
- TYPE 5 - GARDEN DOOR
- TYPE 6 - FRENCH DOOR
- TYPE 7 - OVERHEAD DOOR
- TYPE 8 - POCKET DOOR
- TYPE 9 - SLIDING GLASS DOOR

WINDOW SCHEDULE

No.	WIDTH	HEIGHT	HEAD	HEIGHT	QTY	COMMENTS
101	36"	80"	36"	80"	1	GLASS DOOR
102	36"	80"	36"	80"	1	GLASS DOOR
103	36"	80"	36"	80"	1	GLASS DOOR
104	36"	80"	36"	80"	1	GLASS DOOR
105	36"	80"	36"	80"	1	GLASS DOOR

WINDOW TYPE

- TYPE 1 - DOUBLE HUNG WINDOW
- TYPE 2 - SINGLE HUNG WINDOW
- TYPE 3 - CASSETTE WINDOW
- TYPE 4 - SLIDING WINDOW
- TYPE 5 - SKYLIGHT WINDOW
- TYPE 6 - TRANSOM WINDOW
- TYPE 7 - BAY WINDOW
- TYPE 8 - BOW WINDOW
- TYPE 9 - CORNER WINDOW
- TYPE 10 - CURTAIN WALL WINDOW

DRAWING LIST

1. PROJECT INFORMATION
2. SITE PLAN & EXISTING CONDITIONS
3. FLOOR PLANS (1/4" = 1'-0")
4. ROOF & CEILING PLANS
5. ELEVATIONS
6. SECTION ELEVATIONS
7. TYPICAL DETAILS

ROOM SCHEDULE

ROOM NAME	AREA
Bed Room	100 sq ft
Bathroom	50 sq ft
Kitchen	100 sq ft
Living Room	150 sq ft
Dining Room	100 sq ft
Staircase	50 sq ft

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE

ROOM TYPE

- TYPE 1 - BED ROOM
- TYPE 2 - BATHROOM
- TYPE 3 - KITCHEN
- TYPE 4 - LIVING ROOM
- TYPE 5 - DINING ROOM
- TYPE 6 - STAIRCASE



GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR THE BUILDING PERMIT AND ASSOCIATED INSPECTIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR MECHANICAL WORK.
3. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS FOR ELECTRICAL WORK.

A005/2023
Sketch - 7

2. MINIMUM TENSILE RESISTANCE RATING OF NOT LESS THAN 900 DIRECTLY ABOVE ACCESS HATCHES AND NEAR CAVES AT INNER SURFACES OF EXTERIOR WALLS.

3. 2.2.3. PROTECTION FROM DAMPNESS

WOOD FRAMING MEMBERS THAT ARE NOT PRESURE-TREATED WITH A WOOD PRESERVATIVE AND THAT ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND SHALL BE PROTECTED FROM THE CONCRETE BY NOT LESS THAN 50 MILS UNPOLLUTED ETHYLENE GLASS FIBER REINFORCED PLASTIC (GFRP) FILM REFERRED TO ABOVE, AS NOT REQUIRED WHERE THE WOOD MEMBER IS AT LEAST 100 MM ABOVE THE GROUND.

4. SLODGING REQUIRED FOR FUTURE GRASS GRASS IN MAIN LATHWORK

SURFACE DRAINAGE MUST BE DIRECTED AWAY FROM THE BUILDING

5. RESISTANCE TO FORCED ENTRY REQUIREMENTS OF DOORS AND WINDOWS MUST BE PROVIDED AND IN ACCORDANCE WITH DIV. 8 SECTIONS 8.6.8 TO 8.7.8



GROUND FLOOR - CONSTRUCTION PLAN
1/4" = 1'-0"



C | A

CONTROLLING AND RESTORING
1000 S. 1st Ave. Suite 400
Boulder, CO 80502
303/440-9999

Continued
RESEARCH
ON ANCHORAGE
Design-It
ANCHORAGE SYSTEMS
1991
DRUGS, DRINKING WATER
LABORATORY
1992

GENERAL NOTES

1. This drawing, an installation of water, is the property of Lawrence Architectural Services, Inc. It is to be used only for the project and location specified. No reproduction is allowed without permission. The drawings are to be used only when they have been approved by the owner.
2. Any changes from the design shown on this drawing must be approved by Lawrence Architectural Services, Inc. and the owner. The contractor is responsible for obtaining all necessary permits and approvals.
3. The contractor is to verify dimensions, elevations and materials with the owner and the architect before construction begins. The contractor is to verify dimensions, elevations and materials with the owner and the architect before construction begins.
4. These drawings remain the property of Lawrence Architectural Services, Inc. and are to be used only for the project and location specified. No reproduction is allowed without permission. The drawings are to be used only when they have been approved by the owner.

This drawing is not to be used.

PROJECT STATUS

ISSUED FOR PERMIT

ISSUED DATE

April 8, 2023

REVISIONS

PROJECT	ELLIS SALINA
75 Stearns Bay Road - Saddle	
PROJECT NUMBER	Project No. 2022-024
DRAWN BY / CHECKED BY	DS / DEG
SCALE	1/4" = 1'-0"
CONTENTS	FOUNDATION & GROUND FLOOR P
SHEET NUMBER	A1-1

A1-1

STRUCTURAL NOTES

- ALL JOISTS TO HAVE BRIDGING AS PER D.B.C.
- ALL LINTEL MEMBERS TO BE NAILED TOGETHER WITH NOT LESS THAN 3 1/4" NAILS IN A DOUBLE ROW SPACE NOT MORE THAN 17 3/4" APART (ENCL. 8.2.3.12.2)

LINTEL & BEAM SUPPORT

ALL BEAM SUPPORTS SHALL HAVE NOT LESS THAN 3" X 2" BEARING.

CONTRACTOR TO FOLLOW LINTEL TABLE OVER EACH OPENING TO ENSURE FLOPHAM INSULATION WITHIN THE WALL ASSEMBLY. A TYPICAL BUL FOR ALL WINDOWS IS NOT RECOMMENDED.

LINTEL SPANS ARE AS FOLLOWS:

ROOF AND CEILING ONLY (IN MM MAX)

2.034	20" MAX
2.035	20" MAX
2.036	20" MAX
2.037	20" MAX
2.038	20" MAX

ROOF AND CEILING ONLY (IN MM MAX - SUPPORTING GABLE)

2.034	20" MAX
2.035	20" MAX
2.036	20" MAX
2.037	20" MAX
2.038	20" MAX

ROOF, CEILING AND 1 STORY ONLY

2.034	20" MAX
2.035	20" MAX
2.036	20" MAX
2.037	20" MAX
2.038	20" MAX

ALL JOISTS HANGERS ARE TO BE NAILED - SCREWS ARE NOT ACCEPTABLE

3. POST LEGEND

P.1. TYPICAL LAMP ADJUSTABLE SUPPORT COLUMNS, 1/2" BUSHES BY MEIN

P.2. 1 KING POST + 1 JACK POST

TYPICAL @ ALL LINTEL SPANS LESS THAN 7'-0"

P.3. 1 KING POST + 2 JACK POST

TYPICAL @ ALL LINTEL SPANS 7'-0" TO 12'-0"

P.4. 1 KING POST + 3 JACK POST

TYPICAL @ ALL LINTEL SPANS 12'-0" ON MORE

P.5. PRE-ENGINEERED (VIA COLUMNS)

P.6. 6x8 POST

P.7. 6x10 POST

P.8. 6x12 POST

P.9. 6x14 POST

P.10. 6x16 POST

P.11. 6x18 POST

P.12. 6x20 POST

P.13. 6x22 POST

P.14. 6x24 POST

P.15. 6x26 POST

P.16. 6x28 POST

P.17. 6x30 POST

P.18. 6x32 POST

P.19. 6x34 POST

P.20. 6x36 POST

P.21. 6x38 POST

P.22. 6x40 POST

P.23. 6x42 POST

P.24. 6x44 POST

P.25. 6x46 POST

P.26. 6x48 POST

P.27. 6x50 POST

P.28. 6x52 POST

P.29. 6x54 POST

P.30. 6x56 POST

P.31. 6x58 POST

P.32. 6x60 POST

P.33. 6x62 POST

P.34. 6x64 POST

P.35. 6x66 POST

P.36. 6x68 POST

P.37. 6x70 POST

P.38. 6x72 POST

P.39. 6x74 POST

P.40. 6x76 POST

P.41. 6x78 POST

P.42. 6x80 POST

P.43. 6x82 POST

P.44. 6x84 POST

P.45. 6x86 POST

P.46. 6x88 POST

P.47. 6x90 POST

P.48. 6x92 POST

P.49. 6x94 POST

P.50. 6x96 POST

P.51. 6x98 POST

P.52. 6x100 POST

P.53. 6x102 POST

P.54. 6x104 POST

P.55. 6x106 POST

P.56. 6x108 POST

P.57. 6x110 POST

P.58. 6x112 POST

P.59. 6x114 POST

P.60. 6x116 POST

P.61. 6x118 POST

P.62. 6x120 POST

P.63. 6x122 POST

P.64. 6x124 POST

P.65. 6x126 POST

P.66. 6x128 POST

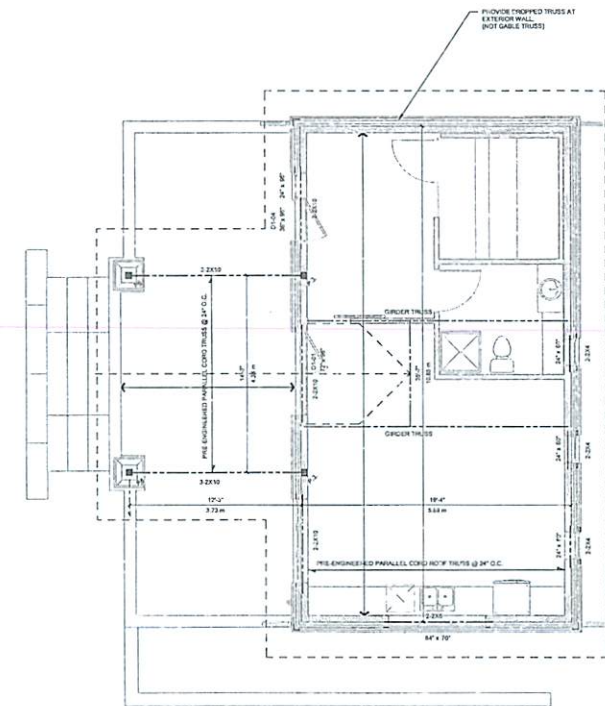
P.67. 6x130 POST

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS & COMMENCEMENT OF CONSTRUCTION.

NOTE: IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO COORDINATE ENG. LINTELS FOR GABLE TRUSSES FALLING OVER OPENINGS.

NOTE: TOTAL INSULATED CEILING AREA = 145.8 SQ. FT. TOTAL AREA OF ROOF VENTING REQUIRED = 358.38 SQ. IN.

VENT AREA SHOULD NOT BE LESS THAN 100% OF THE INSULATED CEILING AREA.

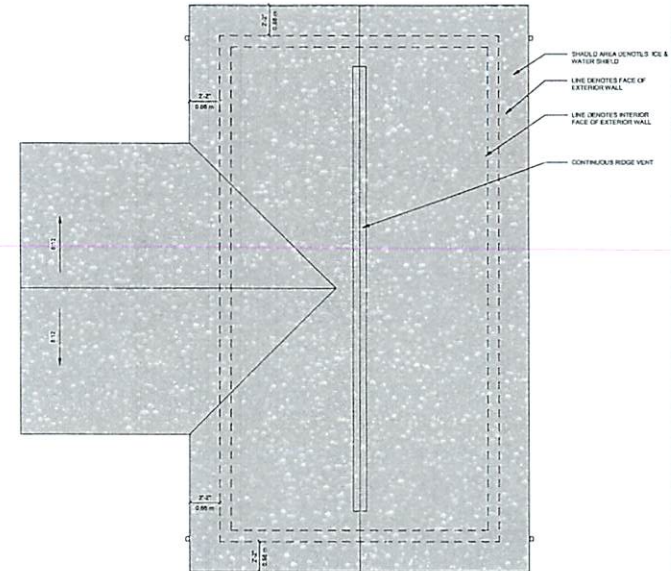


GROUND FLOOR - FRAMING PLAN
1/4" = 1'-0"

NOTE: IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO COORDINATE ENG. LINTELS FOR GABLE TRUSSES FALLING OVER OPENINGS.

TOTAL INSULATED CEILING AREA = 145.8 SQ. FT. TOTAL AREA OF ROOF VENTING REQUIRED = 358.38 SQ. IN.

VENT AREA SHOULD NOT BE LESS THAN 100% OF THE INSULATED CEILING AREA.



ROOF PLAN
1/4" = 1'-0"



GENERAL NOTES

- The drawings are the property of the architect and are not to be reproduced or used in any way without the written consent of the architect.
- All changes shall be in the design being submitted and shall be approved by the architect.
- The owner shall be responsible for obtaining all necessary permits and for the payment of all fees.
- The drawings shall be used for the purpose of the project only and shall not be used for any other purpose without the written consent of the architect.
- The drawings shall be used for the purpose of the project only and shall not be used for any other purpose without the written consent of the architect.
- The drawings shall be used for the purpose of the project only and shall not be used for any other purpose without the written consent of the architect.
- The drawings shall be used for the purpose of the project only and shall not be used for any other purpose without the written consent of the architect.
- The drawings shall be used for the purpose of the project only and shall not be used for any other purpose without the written consent of the architect.
- The drawings shall be used for the purpose of the project only and shall not be used for any other purpose without the written consent of the architect.
- The drawings shall be used for the purpose of the project only and shall not be used for any other purpose without the written consent of the architect.

PROJECT STATUS

ISSUED FOR PERMIT

ISSUED DATE

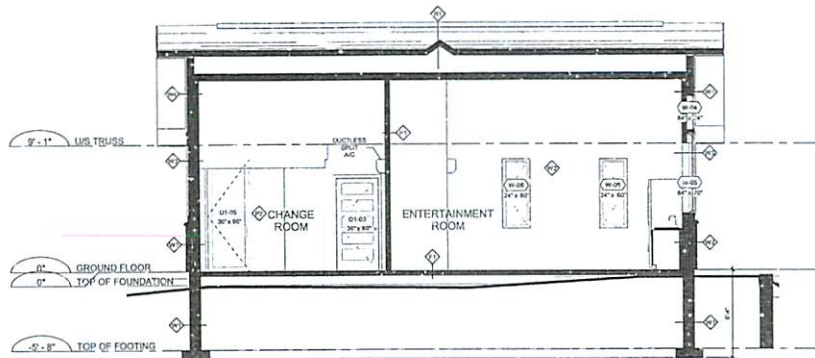
April 6, 2023

REVISIONS

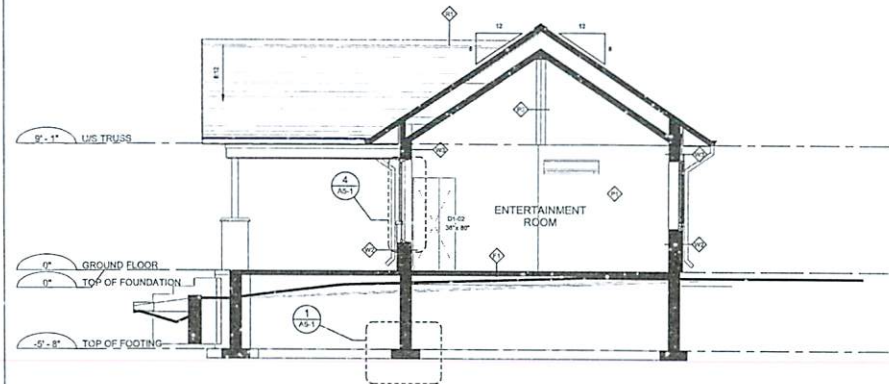
A005/2023
Sketch-9

A2-1

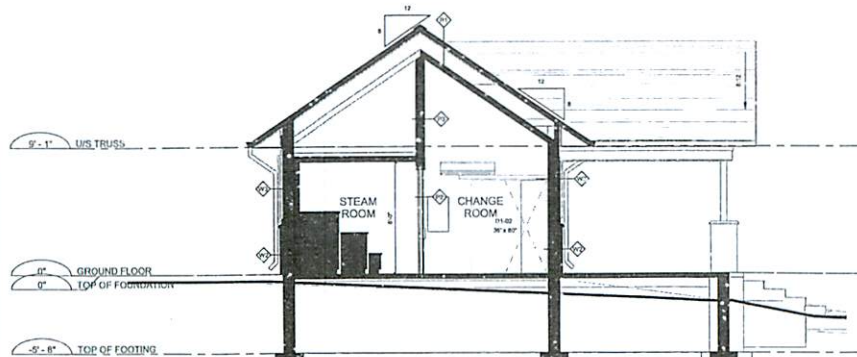
NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS & COMMENCEMENT OF CONSTRUCTION



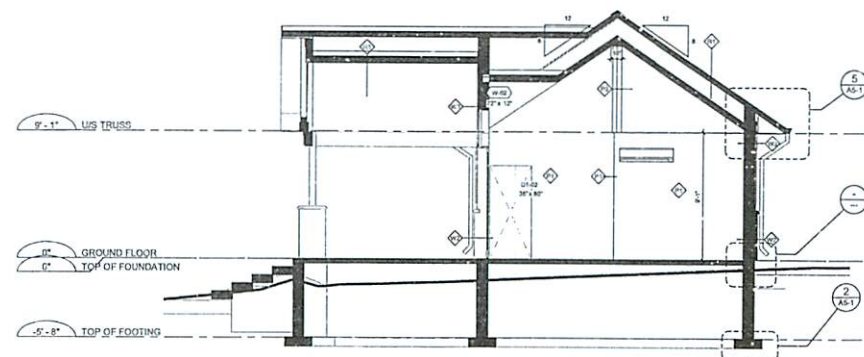
BUILDING SECTION 1
1/8" = 1'-0"



BUILDING SECTION 2
1/8" = 1'-0"



BUILDING SECTION 3
1/8" = 1'-0"



BUILDING SECTION 4
1/8" = 1'-0"

A0055/2023
Sketch-11



GENERAL NOTES

1. This drawing is a representation of the design of the building and is not a contract. The contractor is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.
2. Any changes to this drawing must be made in writing and signed by the architect.
3. The architect is not responsible for the construction of the building or for the safety of the building or for the safety of the people using the building.
4. These drawings are the property of the architect and are not to be reproduced or used in any way without the written consent of the architect.
5. The architect is not responsible for the construction of the building or for the safety of the building or for the safety of the people using the building.

PROJECT STATUS
ISSUED FOR PERMIT
ISSUED DATE
April 8, 2023
REVISIONS

PROJECT
ELLIS SALINA

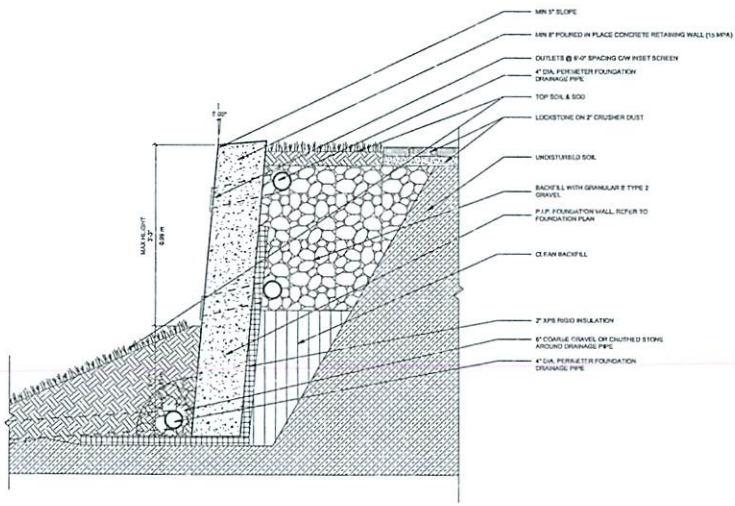
PROJECT NUMBER
PROJECT NO. 002-024

DRAWN BY / CHECKED BY
DB / DBB

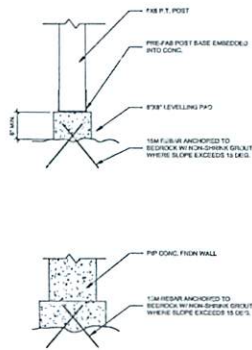
SCALE
1/8" = 1'-0"

CONTENTS
BUILDING SECTIONS

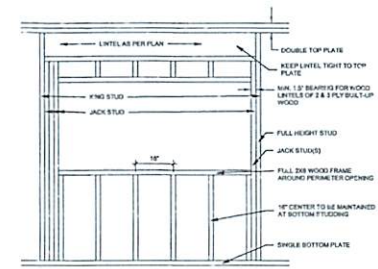
SHEET NUMBER
A4-1



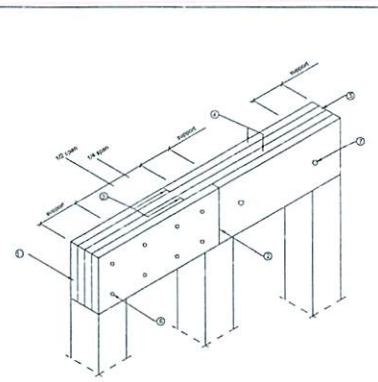
RETAINING WALL 1" = 1'-0" A3-1



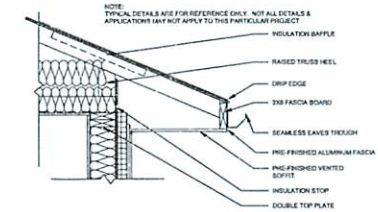
TYPICAL - BEDROCK ANCHOR 1" = 1'-0" A4-1



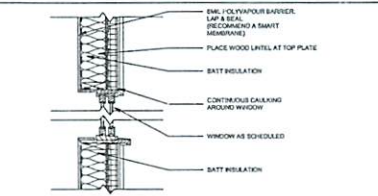
FRAMING - WALL OPENING 1/4" = 1'-0"



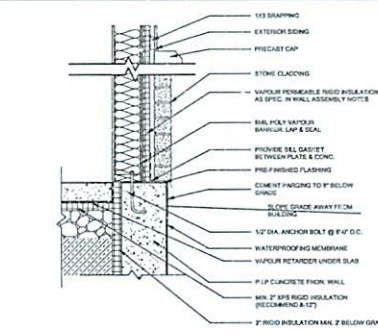
FRAMING - BUILT-UP BEAM 1" = 1'-0"



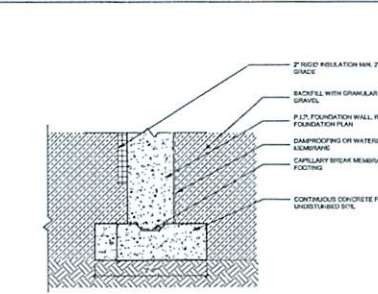
TYPICAL - TRUSS 1" = 1'-0" A4-5



TYPICAL - WINDOW 1" = 1'-0" A4-1



SILL PLATE - P.I.P. CONC. 1" = 1'-0" A3-3



FOOTING - P.I.P. CONC. 1" = 1'-0" A4-2

GENERAL NOTES

- The drawings are for reference only. Not all details & applications may not apply to this particular project.
- Any detail shown in the drawings shall be subject to the approval of the Engineer.
- The drawings are for reference only. Not all details & applications may not apply to this particular project.
- The drawings are for reference only. Not all details & applications may not apply to this particular project.

PROJECT STATUS

ISSUED FOR PERMIT

ISSUED DATE

APRIL 8, 2023

REVISIONS

PROJECT

ELLIS SALINA

75 Steeles Bay Road - 1st Floor

PROJECT NUMBER

Project No. 2023-024

DRAWN BY / CHECKED BY

DS / DS

SCALE

As Indicated

CONTENTS


TYPICAL DETAILS

SHEET NUMBER

A5-1

A0055/2023
Sketch-12

Revised.

 **Greater Sudbury**
www.greatersudbury.ca
Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0057/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
A APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-law, as amended.

Registered Owner(s): Tara and Mark Alexander Email: [REDACTED]
Mailing Address: 392 Main Ave. 198 Birch Hill Road Home P: [REDACTED]
538 1K1 Business Phone: [REDACTED]
City: Sudbury, Ontario Postal Code: P3E 0P5 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify. *alyk*

Name of Agent: Greg Bruce for Timber Block Email: [REDACTED]
Mailing Address: 1936 Commerce Park Drive Home P: [REDACTED]
Business: [REDACTED] Fax Phone: [REDACTED]
City: Innisfil, Ontario Postal Code: L9S 4A3
Note: Unless otherwise requested, all communication will be sent to the agent, if any. *men*

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application). *will not be present at hearing.*

Name: ScoliaBank
Mailing Address: 44 King St West
City: Toronto, Ontario Postal Code: M5H 1H1

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.41.2 minimum setback to waterbody	30m	10.76m	19.24m
4.41.3 20 m shoreline buffer requirement	20m	10.76m	9.24m
4.41.4 limitation of types of structures within 20m	20m	10.76m	9.24m
4.41.2 c) minimum leaching bed setback	30m	bed 24.94m	5.06m
		tank 21.37m	8.63m

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: .46 (m)

- c) Description of Proposal:

To have existing front yard setback for legal non-complying home recognized as appropriate to reconstruct a new single family residential dwelling of modest size on this small but largely non-complying lot

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

This setback request is necessary to allow sufficient backyard buffering to use for the integrated septic system that ensures minimum distances are maintained for separation from a dP/d and adjacent structures, and property lines

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73477-0096 Township: Broder
 Lot No.: PT LT4 Concession No.: 4 Parcel(s): 30029 SES
 Subdivision Plan No.: Lot: Reference Plan No.: Part(s):
 Municipal Address or Street(s): 198 Birch Hill Road

- 7) Date of acquisition of subject land: December 15th, 2022

- 8) Dimensions of land affected.

Frontage	51.1	(m)	Depth	41.6 +/-	(m)	Area	1124 +/-	(m ²)	Width of Street	13.6	(m)
Particulars of all buildings:	House	Existing	Shed			House	Proposed				
Ground Floor Area:	140.6	6.25m	(m ²)			174.19	(m ²)				
Gross Floor Area:	140.6	6.25m	(m ²)			238.85	(m ²)				
No. of storeys:	1					1.5					
Width:	18.9	2.25m	(m)			27.1 irregular	(m)				
Length:	7.8	2.25m	(m)			11.2 irregular	(m)				
Height:	4.75 +/-	2.25m	(m)			7.2m	(m)				

- 9) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	(m)	Proposed	(m)
Front:	10.76	(m)	10.76	(m)
Rear:	14.78	(m)	14.09	(m)
Side:	3.54	(m)	1.25	(m)
Side:	6.86	(m)	4.7	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system
 Municipally owned & operated sanitary sewage system
 Lake
 Individual Well
 Communal Well
 Individual Septic System
 Communal Septic System
 Pit Privy
 Municipal Sewers/Ditches/Swales

☐
☐
☐
☐
☐
☐
☐
☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1999

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): single family residential Length of time: 53 yrs

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, _____

- 15) What is the number of dwelling units on the property?

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: single family residential / open space

A0034/2023

APPLICATION FOR MINOR VARIANCE

PAGE 3 OF 4

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. coverage) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, Tara Alexander (please print all names), the registered owner(s) of the property described as 148 Birch Hill Road

in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Tara Alexander (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 9th day of March, 2023

[Signature]
(Witness)

[Signature]
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Tara Alexander

*I have authority to bind the Corporation

A0034/2023



**Public Health
Santé publique**
SUDBURY & DISTRICTS

Sewage System Permit

POST THIS NOTICE ON SITE

Public Health Sudbury & Districts
1300 Paris Street, Sudbury, ON P3E 3A3
Telephone: 705.522.9200, ext. 398 / Fax: 705.677.9607

Permit Number: 104-22-SP005

Date Issued: May 30, 2022

Owners' Name:
Rosa Barone

Agents' Name:
Bruce Tait, Bruce Tait Construction

Legal Description:

District:
Sudbury

Municipality:
City of Greater Sudbury

Township:
Broder

Lot:
4

Concession:
4

Parcel:

Plan:

Sublot:

Street Address: 198 Birch Hill Road

Other:

Work Authorized By Permit:

of bedrooms: 2
of bathrooms: 2

Approval for a:

Class 4 Filter Bed

Consisting of:

Septic Tank Capacity: 3600 L

Filter Bed Area: 28 m²

Holding Tank Capacity: L

Contact Area: 28 m²

Leaching Bed Distribution Pipe: m

Soil Mantle Area: m²

Soil Mantle Area: m²

Stone Layer Area: m²

Shallow Buried Trench: m

Sand Layer Area: m²

Soil Mantle Area: m²

Comments: Section 11 approval where setback distance from surface water is 15 meters rather than the required 30 meters.

Substantial Inspection Notification: At least 5 days notice must be given to the Sewage System Inspector prior to backfilling.

Note: At least one set of approved drawings, specifications and plans must be maintained at the construction site. No changes or additions to this project may be undertaken without prior written approval of the Inspector.

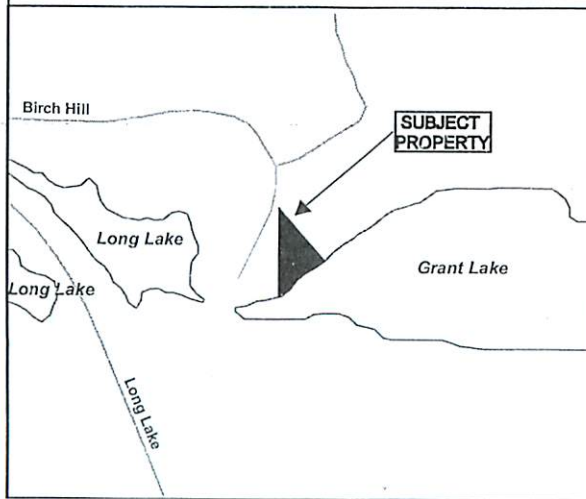
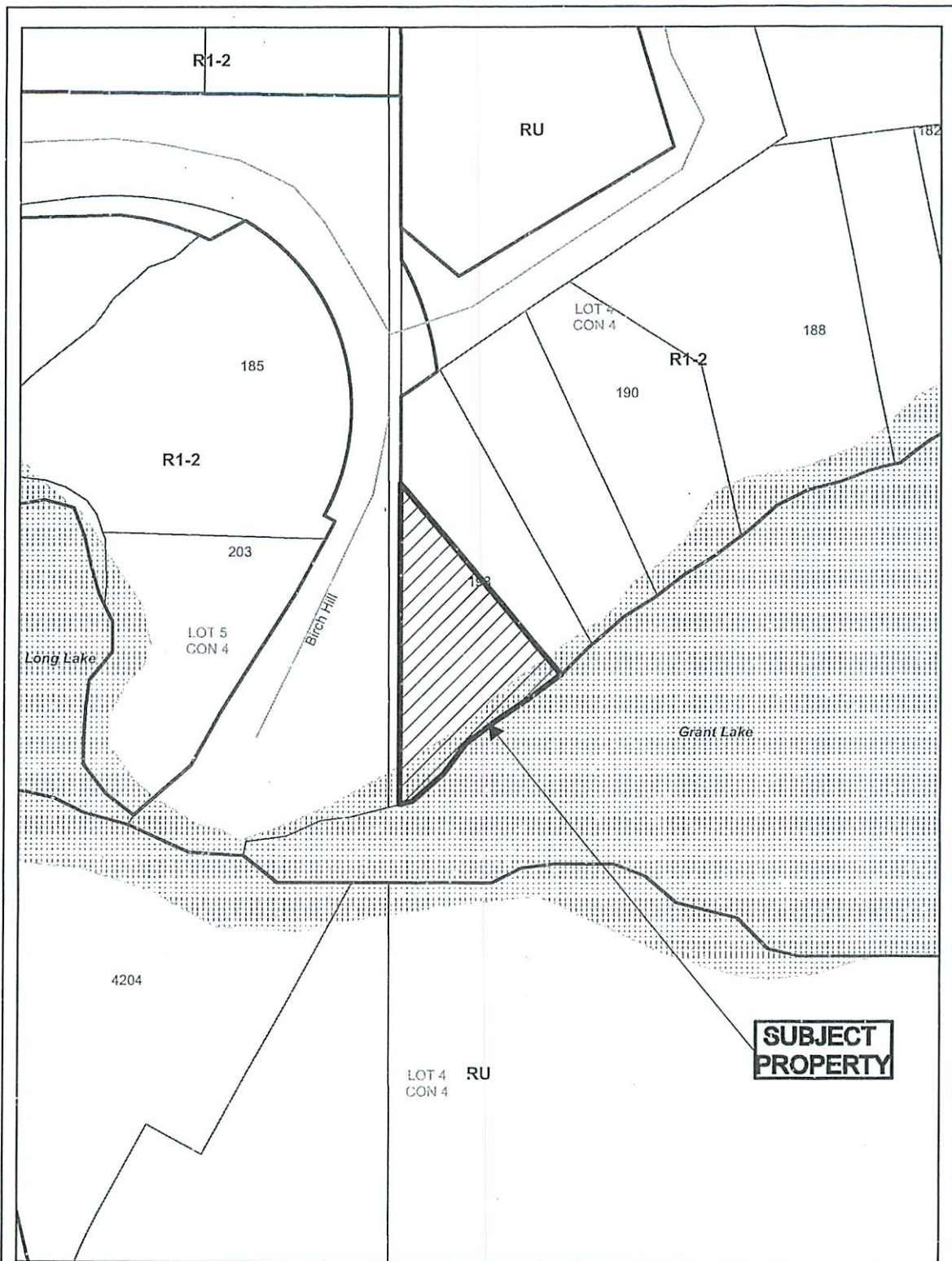
The owner/agent and contractor share responsibility for ensuring that all work is carried out in accordance with this Permit, the Building Code Act, and Public Health Sudbury & Districts' By-laws.

Permit Recommended By:

Signature:

Alan Ferguson, BSc, BHS (Public Health), CPHI(C.)

A0034/2023



Application for Minor Variance or Permission

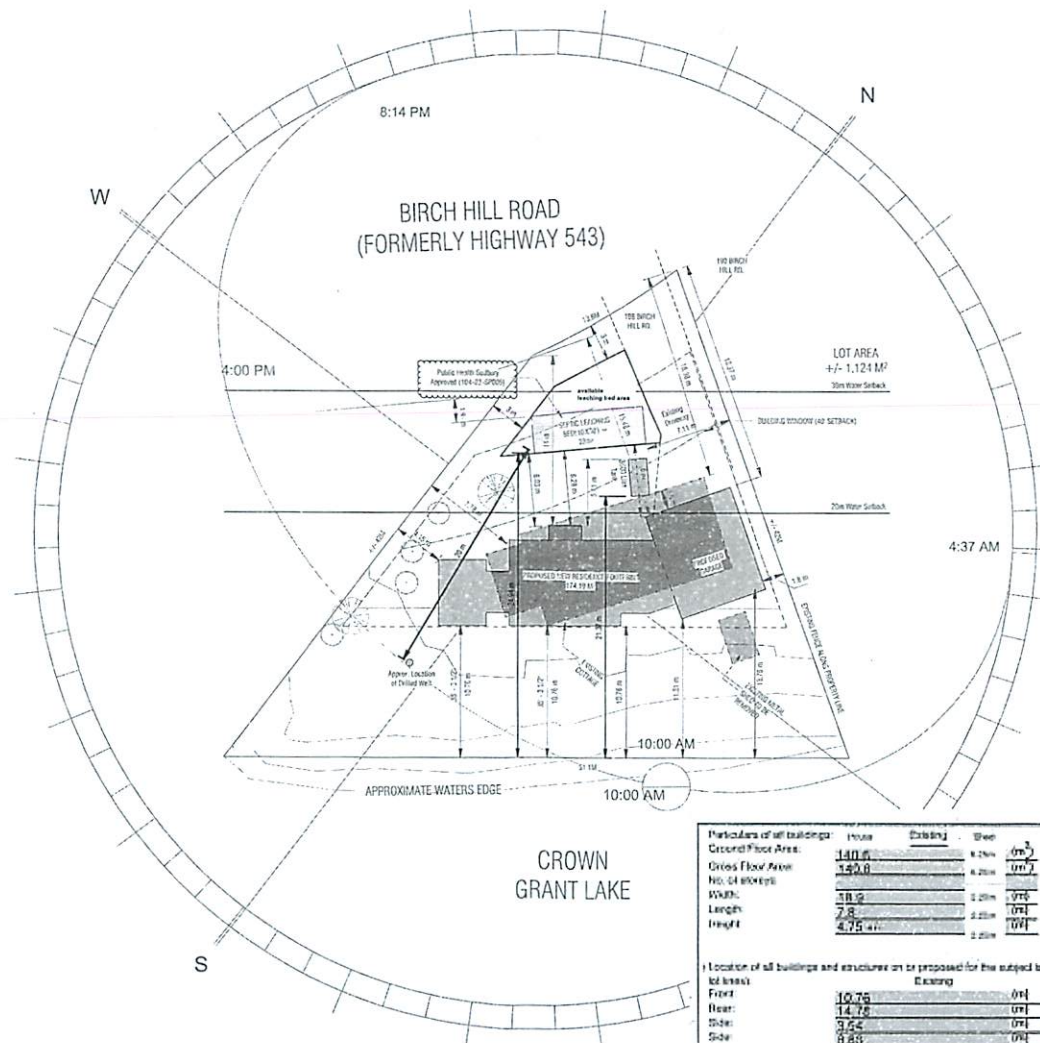


PIN 73477-0096,
Parcel 30029 SEC SES,
Part Lot 4, Concession 4,
as in LT201331 except LT251846,
Township of Broder,
198 Birch Hill Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0034/2023
Date: 2023 03 24

NET FOR CONSTRUCTION



Particulars of all buildings:		Existing	Proposed
Gross Floor Area:	140.6	174.10	
Gross Floor Area:	140.6	238.85	
No. of stories:	1.0	2.0	
Width:	7.8	27.1 irregular	
Length:	4.75	11.2 irregular	
Height:	4.75	7.5	

Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines):		Existing	Proposed	Required
Front:	10.75	10.75		30m
Rear:	14.75	14.02		7.5m
Side:	9.54	1.25		1.2m
Side:	8.85	4.7		1.2m

A0034/2023
Sketch-2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01
A 0035/2023
S.P.P. AREA
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA
YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
A APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Margaret Ralph Email: [REDACTED]
Mailing Address: 166A Wickie Rd Home: [REDACTED]
City: Worthington Postal Code: P0M 3H0 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Larry Ralph Email: [REDACTED]
Mailing Address: 166A Wickie Rd Home: [REDACTED]
City: Worthington Postal Code: P0M 3H0 Business Phone: [REDACTED]
Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NA
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Mineral Resource Current Zoning By-law designation: SLS(4)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.4 Height	5	6.04	1.04

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: [REDACTED] (m)

- c) Description of Proposal: Garage 6.04m in height

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: allows for extra storage.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: TELL
 Lot No.: 1 Concession No.: 1 Parcel(s): _____
 Subdivision Plan No.: S3M-1166 Lot: 14 Reference Plan No.: S3M-1166 Part(s): _____
 Municipal Address or Street(s): 106 A Wickie

- 7) Date of acquisition of subject land. about 12 yrs

- 8) Dimensions of land affected.

Frontage 83.63 (m) Depth 87.2 (m) Area 7292.5 (m²) Width of Street _____ (m)

Particulars of all buildings:	House	Sauna Existing	Shed	Garage Proposed	
Ground Floor Area:	<u>202.6</u>	<u>26.95</u>	<u>11.47</u> (m ²)	<u>89.06</u>	(m ²)
Gross Floor Area:	<u>202.6</u>	<u>26.95</u>	<u>11.47</u> (m ²)	<u>111.36</u>	(m ²)
No. of storeys:	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>	(Loft)
Width:	<u>10.3</u>	<u>4.9</u>	<u>3.1</u> (m)	<u>7.3</u>	(m)
Length:	<u>19.67</u>	<u>5.5</u>	<u>3.7</u> (m)	<u>12.2</u>	(m)
Height:	<u>4.6</u>	<u>3.7</u>	<u>3.7</u> (m)	<u>6.1</u>	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House	Sauna Existing	Shed	Proposed	
Front:	<u>6.4</u>	<u>5.1±</u>	<u>5.1</u> (m)	<u>31</u>	(m)
Rear:	<u>50±</u>	<u>76±</u>	<u>70</u> (m)	<u>30</u>	(m)
Side:	<u>6.4±</u>	<u>30±</u>	<u>5.1</u> (m)	<u>19</u>	(m)
Side:	<u>60±</u>	<u>35±</u>	<u>40</u> (m)	<u>40</u>	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☒
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

House Sauna and Shed Aug 2016.

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Seasonal Length of time: Aug 2016.

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?

1 dwelling

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

Seasonal

A0035/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☒ Yes ☐ No

If "yes", indicate the application number(s): High water mark A008/2016
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Margaret Ralph (please print all names), the registered owner(s) of the property described as 166A Wickie Rd
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Larry Ralph (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 17 day of March, 20 23

A. Opatowski
(witness)

Margaret Ralph
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Margaret Ralph

*I have authority to bind the Corporation

A0035/2023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Larry Ralph (please print all names),
the registered owner(s) or authorized agent of the property described as

166A Wickie Rd

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 17 day of March, 20 23

Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name:

Larry Ralph
*I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: March 17/23 Hearing Date: April 26/23

Received By: S. Pinkerton

Zoning Designation: SLS(4) Resubmission: ☐ Yes ☒ No

Previous File Number(s): A0087/2016

A0134/2020

A0280/1992

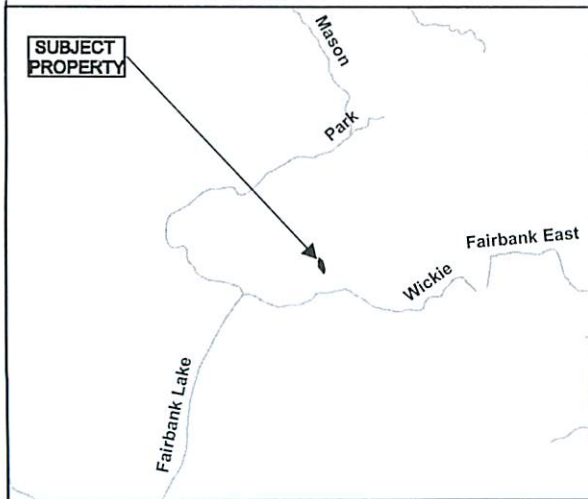
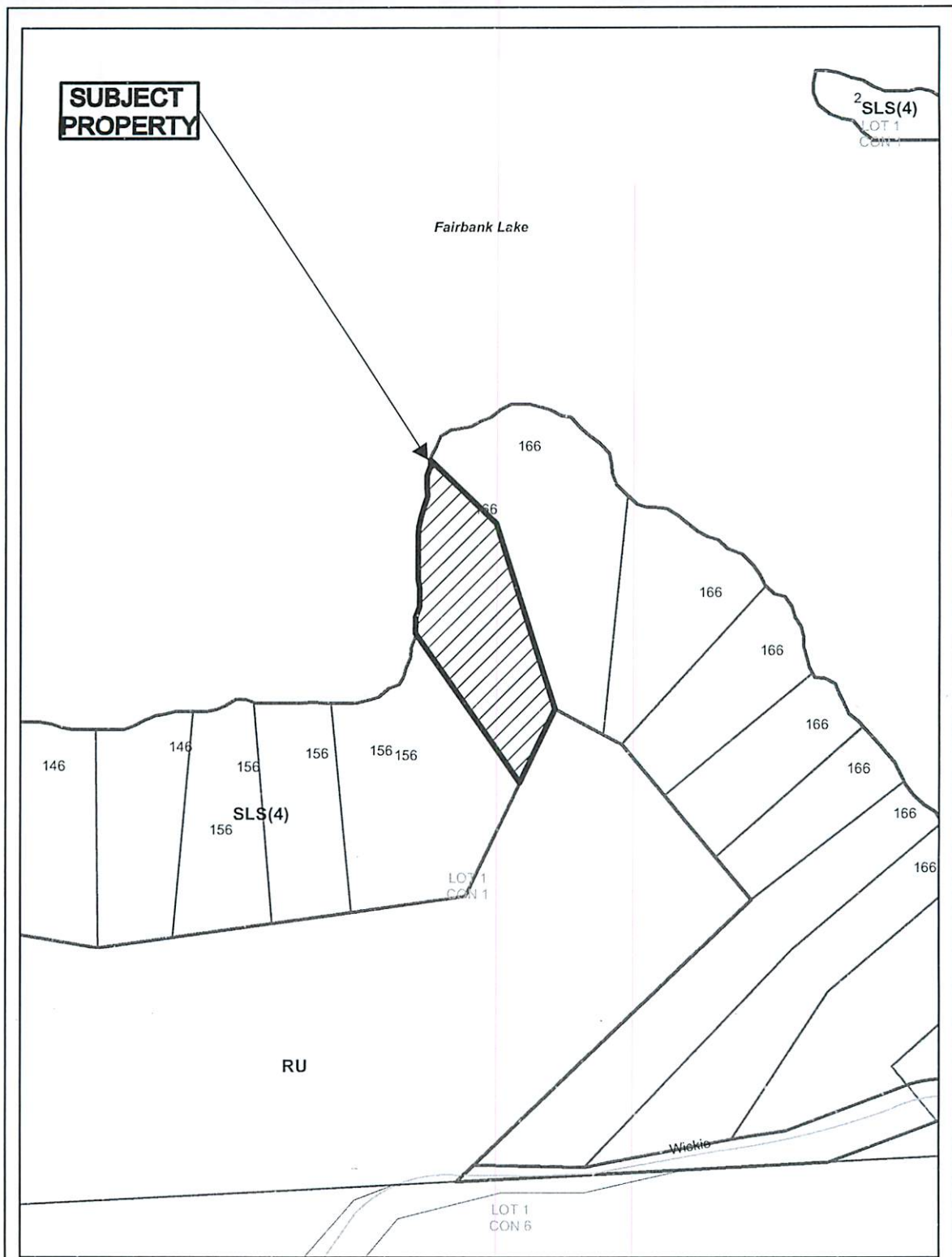
Previous Hearing Date: Jun 29/16

(Dec 10/20)

(Oct 5/92)

Notes:

A0035/2023



Application for Minor Variance or Permission



Subject Property being PIN 73365-0006,
Parcel 53M-1166-14 SEC SWS SRO,
Lot 14, Plan 53M-1166,
Part Lot 1, Concession 1,
subject to LT605471, Township of Trill,
166 A Wickie Road, Worthington,
City of Greater Sudbury

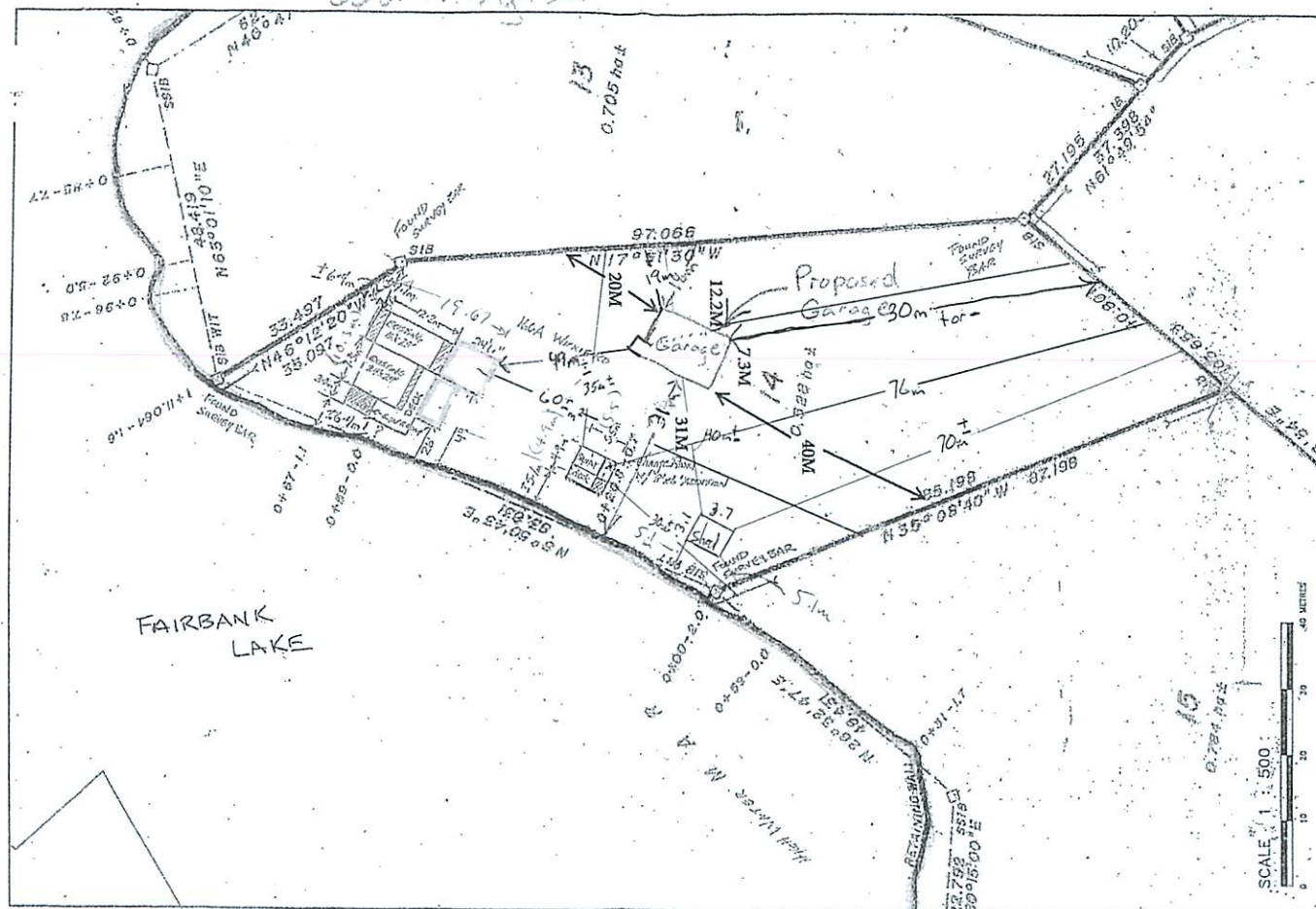
Sketch 1, NTS

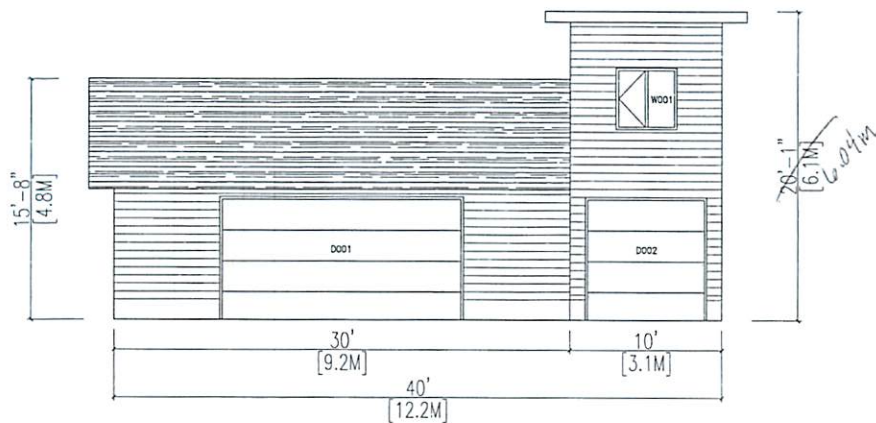
A0035/2023

NDCA Watershed

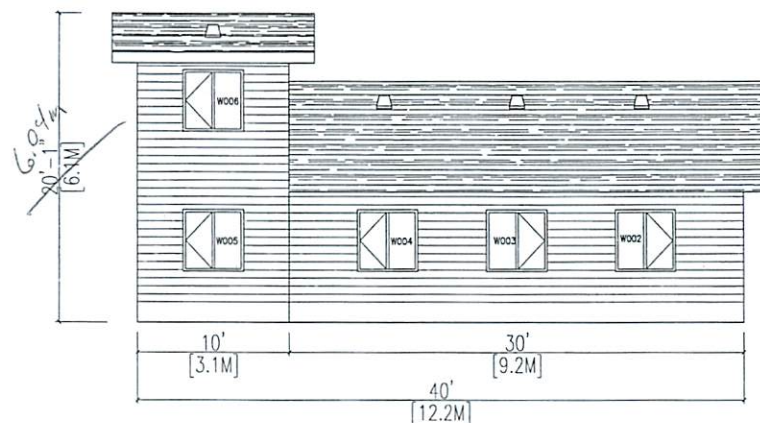
Date: 2023 03 30

166A Wickie Rd
Worthington

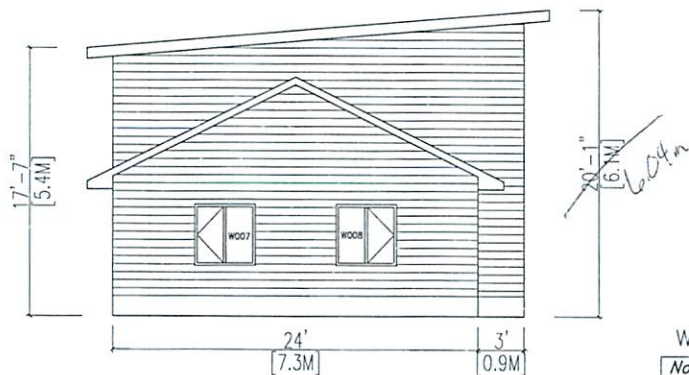




FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

WINDOW SCHEDULE

No.	LOCATION	OPENING SIZE
FRONT-ELEVATION		
DOO1	GARAGE-DOOR-1	16'x8'
DOO2	GARAGE-DOOR-2	8'x8'
W001	LOFT	48"x48"
REAR-ELEVATION		
W002	GARAGE-AREA	48"x48"
W003	GARAGE-AREA	48"x48"
W004	GARAGE-AREA	48"x48"
W005	GARAGE-AREA	48"x48"
W006	LOFT	48"x48"
LEFT-ELEVATION		
W007	GARAGE-AREA	48"x48"
W008	GARAGE-AREA	48"x48"
RIGHT-ELEVATION		
DOO3	GARAGE-MAN-DOOR	36"x80"
W009	LOFT	48"x48"
W010	LOFT	48"x48"
W011	LOFT	48"x48"

A0035/2023
Sketch-3



PROJECT		DATE	SHEET
DETACHED GARAGE		RW	
ADDRESS		DATE	PROJECT
166A WICKIE ROAD			
TITLE		DATE	SCALE
ELEVATIONS		2023-05-02	1/8"=1'-0"
			A1