

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

May 27, 2026

PUBLIC HEARINGS

PL-MV-2025-00128 DIANE ALINE SUTHERLAND

Ward: 2

PIN(s) 733830060, Parcel 25972 SEC SWS SRO, Part Lot 9, Concession 2, Parts 1 to 3, 5 to 7, and 9-17, Plan 53R-7219, Township of Drury, 380 High Falls Road, Whitefish, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing detached garage providing a maximum height of 7.8m, where the height of any building or structure accessory to a residential dwelling shall be 6.5m.

PL-MV-2026-00021 KROBERGE PROPERTIES INC.

Ward: 4

PIN(s) 021340013, Parcel 19511 SEC SES, Lot 58, Plan M-309, Part Lot 7, Concession 4, Township of McKim, 476 White Avenue, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 5, Section 5.2, subsection 5.2.9.2 and 5.2.9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit two existing dwelling units within the existing two-unit dwelling for a total of four-dwelling units providing, firstly, a minimum parking aisle width of 4.79m, where the minimum width of a parking aisle providing access to a parking space within a parking area shall be 6.0m, secondly, a driveway accessing a parking area to be a minimum width of 2.9m, where driveways accessing a parking area shall be a minimum width of 6.0m for two-way traffic.

PL-MV-2026-00031 1001471304 ONTARIO LTD

Ward: 4

PIN(s) 021350050, Lot 54, Plan 1-SC, Part Lot 6, Concession 4, Township of McKim, 234 Bloor Street, Sudbury, [By-law 2010-100Z, R3-1]

For relief from Part 5, Section 5.2, subsections 5.2.4.3 d), 5.2.9.1 and 5.2.9.1.1, Section 5.5, Table 5.5 and Part 6, Section 6.3, Table 6.5 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a multiple dwelling containing six dwelling units providing, firstly, a rear yard setback of 6.91m, where 7.5m is required, secondly, a corner side yard setback of 3.89m, where 4.5m is required, thirdly, Parking spaces #1 and #2 to be located within the required corner side yard both providing a corner side yard setbacks of 0.84m, where no part of any parking area shall be located in any required corner side yard in any Residential Zone, fourthly, six parking spaces, where 9 parking spaces are required, fifthly, one tandem parking space, where each required parking space shall be accessible at all times and where only lots containing not more than 4 dwelling units is permitted a tandem parking space, sixthly, a lot area of 92.9 sq. m per unit, where 110.0 sq. m per unit is required, and seventhly, a minimum lot frontage of 15.25m, where 20.0m is required.

PL-MV-2026-00061 SEBASTIAN GONZALEZ

Ward: 10

PIN(s) 735850209, Parcel 7904 SEC SES, Lot 539, Plan M-95, Part Lot 6, Concession 3, Township of McKim, 219 Hyland Drive, Sudbury, [By-law 2010-100Z, R2-2]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the front of the existing dwelling providing, firstly, for the addition to provide a front yard setback of 4.8m, where a 6.0m front yard setback is required, and secondly, for the addition to provide an interior side yard setback of 0.94m, where a 1.2m interior side yard setback is required.

PL-MV-2026-00062 GREATER SUDBURY HOUSING CORPORATION

Ward: 7

PIN(s) 734940430, Parcel 33092 SEC SES SRO, Part of Lots 3 & 4, Plan M-690, Part Lot 5, Concession 1, Township of Garson, 303 O'Neil Drive, Garson, 307 O'Neil Drive, Garson, 303 /307 O'Neil Drive, Garson, [By-law 2010-100Z, R3.D60]

For relief from Part 5, Section 5.4, subsection 5.4.2 c) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit two existing driveways on a proposed lot subject of Consent Application PL-CON-2026-00002, where only one driveway is permitted per lot.

SUBJECT TO CONCURRENT APPLICATION PL-CON-2026-00002 AND PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0114/2021 (DEC 13/21)

PL-MV-2026-00064 MEGAN MESSENGER

Ward: 9

PIN(s) 734760125, Parcel 9554 SEC SES, as in LT52283, Part Lot 6, Concession 4, Township of Broder, 171 Edgewater Road, Sudbury, [By-law 2010-100Z, R1-2]

For relief from Part 4, Section 4.2, subsection 4.2.5, Table 4.1, and Section 4.41, subsection 4.41.2 a), and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing, firstly, a high water mark setback of 23.0m, where no person shall erect any residential building or other accessory building or structure closer than 30.0m to the high water mark of a lake, and secondly, a minimum front yard setback of 1.2m with eaves encroaching an additional 0.5m into the proposed 1.2m setback, where 6.0m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0053/2023 (MAY 31/23)

PL-MV-2026-00065 MOE PAQUETTE

Ward: 6

PIN(s) 735080585, Parcel 28881 SEC SES SRO, Lot 30, Plan M-476, Part Lot 12, Concession 2, Township of Capreol, 4404 Odile Street, Hanmer, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsections 4.2.3, 4.2.4 a) and 4.2.5, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing dwelling and an addition on the existing detached garage providing, firstly, an accessory lot coverage of 17%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%, secondly, a maximum height of 6.0m for the detached garage addition, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, thirdly, a front yard setback of 3.66m for the addition on the existing dwelling with eaves encroaching an additional 0.5m into the proposed 3.66m, where 6.0m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and fourthly, a rear yard setback of 0.9m for the addition on the existing detached garage with eaves encroaching an additional 0.3m into the proposed 0.9m setback, where accessory buildings and structures greater than 2.5m in height shall be no closer than 1.2m from the rear lot line and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION
A0017/2020 (JUN 10/20)

PL-MV-2026-00067 FELIX LOPES JR.

Ward: 11

PIN(s) 735590116, Part Lot 10, Concession 2, Parts 1-8, Plan 53R-21923, and Parts 1-3, Plan 53R-22391, as in EP5414, Township of Neelon, 0 Dube Road, Sudbury, [By-law 2010-100Z, R1-1]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction a detached garage and shed providing a maximum height of 9.0m for the detached garage and 5.5m for the shed, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B108/72 (JUL 31/72), B52/75 (MAY 12/75), B30/23 (APR 24/23) AND PL-CON-2025-00079

PL-MV-2026-00068 PAUL CHARBONNEAU

Ward: 10

PIN(s) 735830182, Lots 7 & 8 and Part Lots 3 & 4, Plan 13-SB, Part 2, Plan 53R-13449, Part Lot 4, Concession 3, Township of McKim, 343/345/347 Cartier Avenue, Sudbury, 345 Cartier Avenue, Sudbury, 347 Cartier Avenue, Sudbury, 343 Cartier Avenue, Sudbury, [By-law 2010-100Z, R2-3]

For permission under Section 45(2) of the Planning Act, R.S.O. 1990, c. P.13 to expand the legal non-conforming use of the existing building municipally known as 343 Cartier Avenue, from 14 dwelling units to 15 dwelling units, to expand the legal non-conforming use of the existing building municipally known as 345 Cartier Avenue, from 9 dwelling units to 10 dwelling units and to maintain 15 parking space for 25 dwelling units, where 15 parking spaces for 23 dwelling units currently exists.

A reminder... the next scheduled meeting is Wednesday, June 10, 2026.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00128

APPLICATION SUMMARY

File Date: 08/31/2025

Application Type: Minor Variance

Address(es): 380 High Falls Road, Whitefish P0M 3H0

Applicant(s): SEAN SUTHERLAND

Owner(s): DIANE ALINE SUTHERLAND

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
July 6 1977

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
1

What is the number of proposed new dwelling units on the property?
0

What is the number of proposed new buildings/structures on the property?
1

What is the number of existing buildings/structures on the property?
3

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

Proposed development involves a garage renovation, including expansion of the existing footprint and construction of an additional attached garage bay. The project will maintain the current exterior aesthetics while increasing storage and functional space

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The proposed garage renovation requires an increase in building height to accommodate larger garage doors and allow for safe storage of oversized equipment. The additional height ensures functionality while maintaining the design and scale consistent with the existing property. Without this variance, the proposed expansion would not be practical for the intended use.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

489

Lot Depth of the property

468

Lot Area of the property

228852

Total width of the public road giving access to the property

15

List all buildings and structures on the property and their respective date of construction

main house - 1962

Garage - 1975

tool shed - 1962

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Rural - forestry use

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

rural - residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

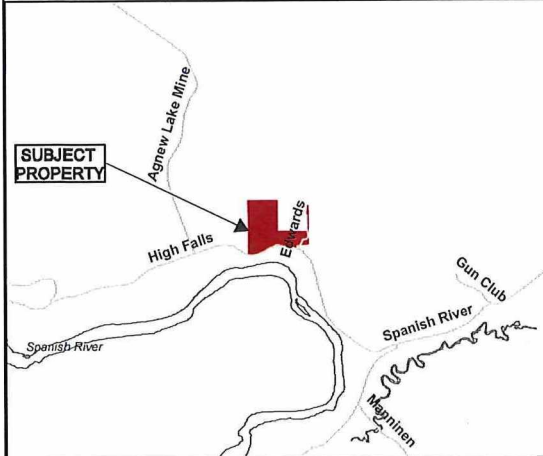
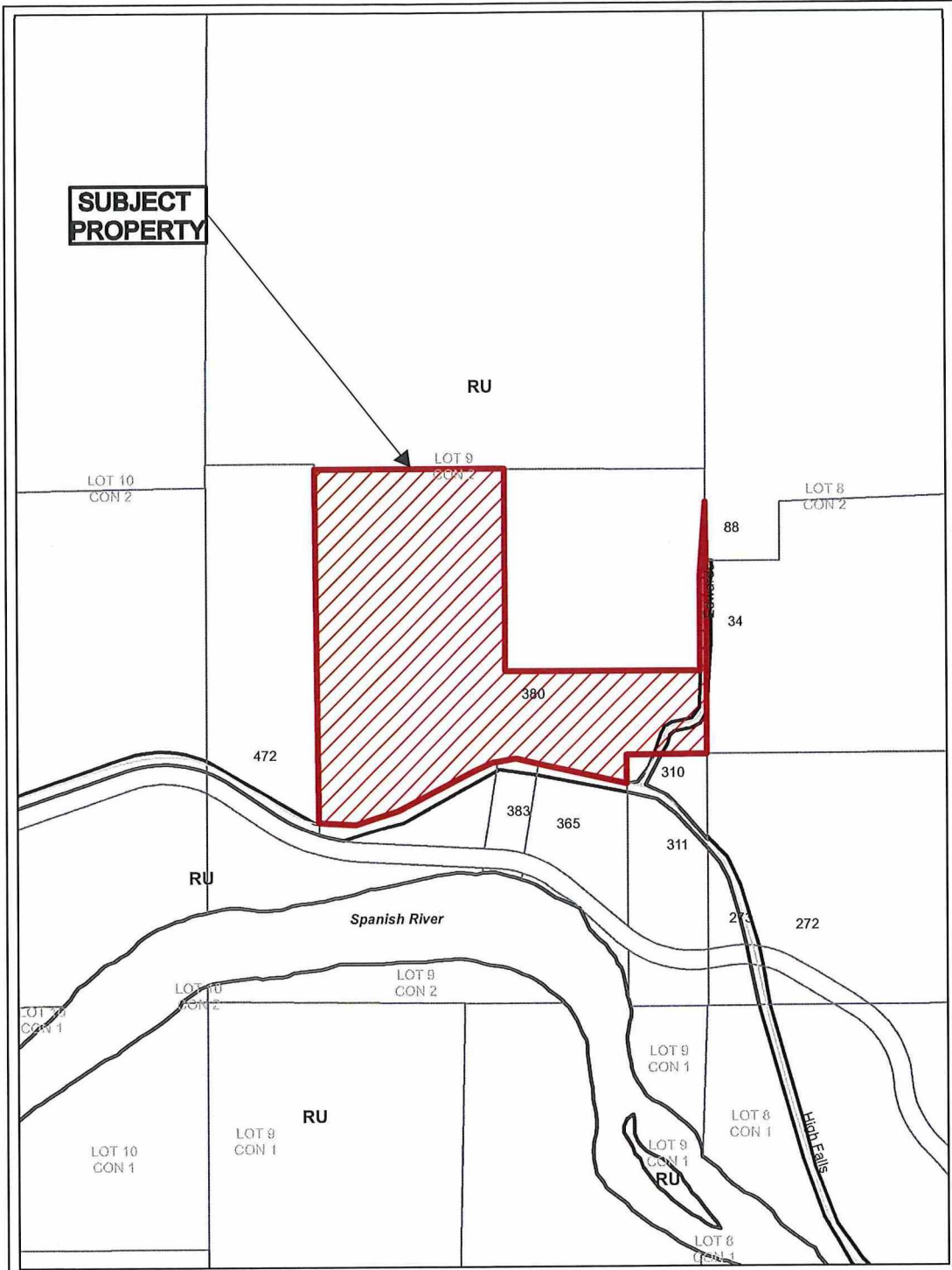
Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
garage	No	228.5	228.5	1	24.4	25.8	7.8	94.1	332	290	300

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
garage	No	44.6	44.6	1	18	8.8	4.9	94.1	332	290	300
Main house	No	114	284	2	10	18	7.6	81.9	356.3	282	318
tool shed	No	15	15	1	3	4.8	3.3	89.2	50	260	344.5

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height of Proposed Garage Addition	6.5m	7.8m	1.3m

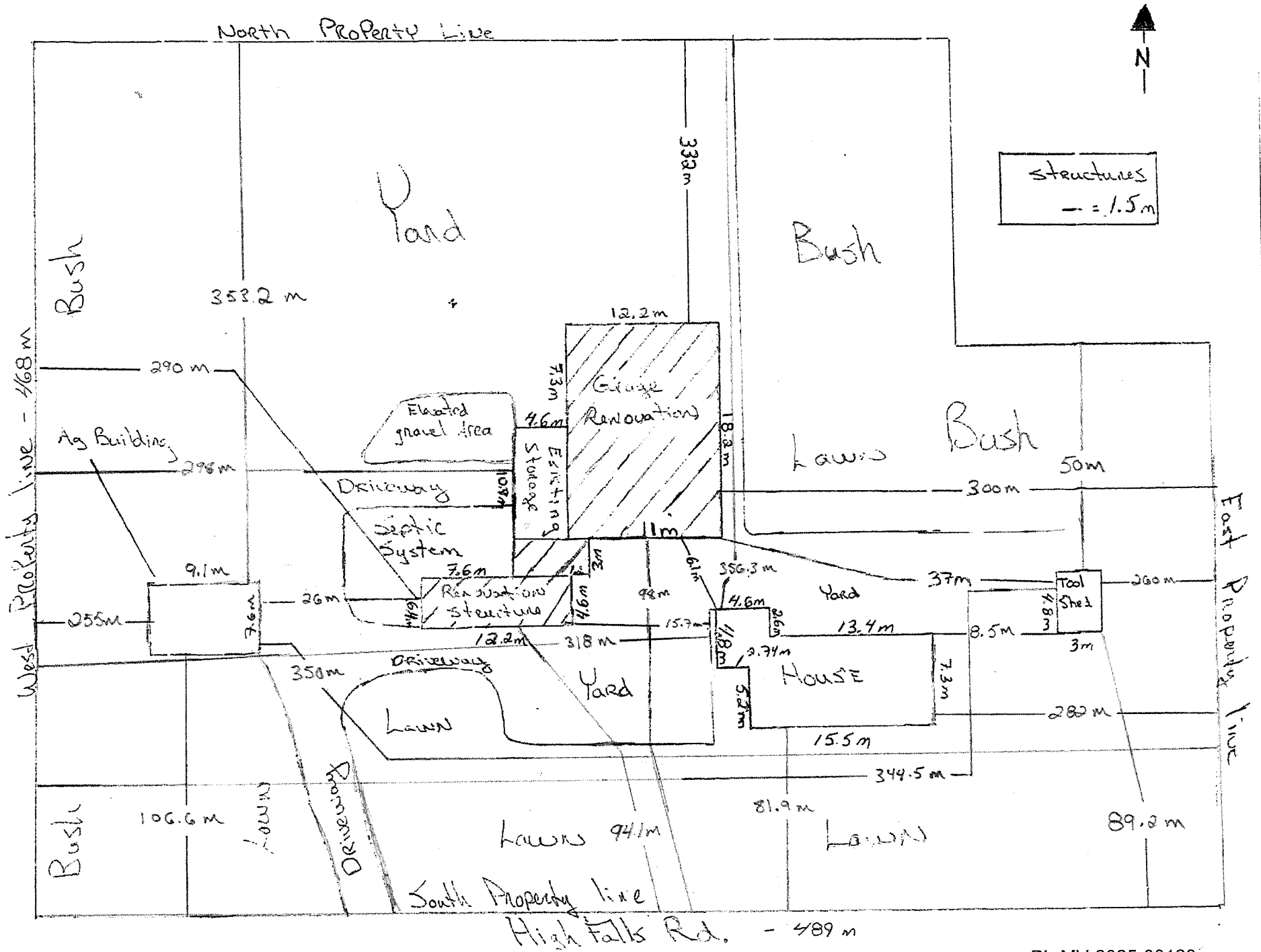


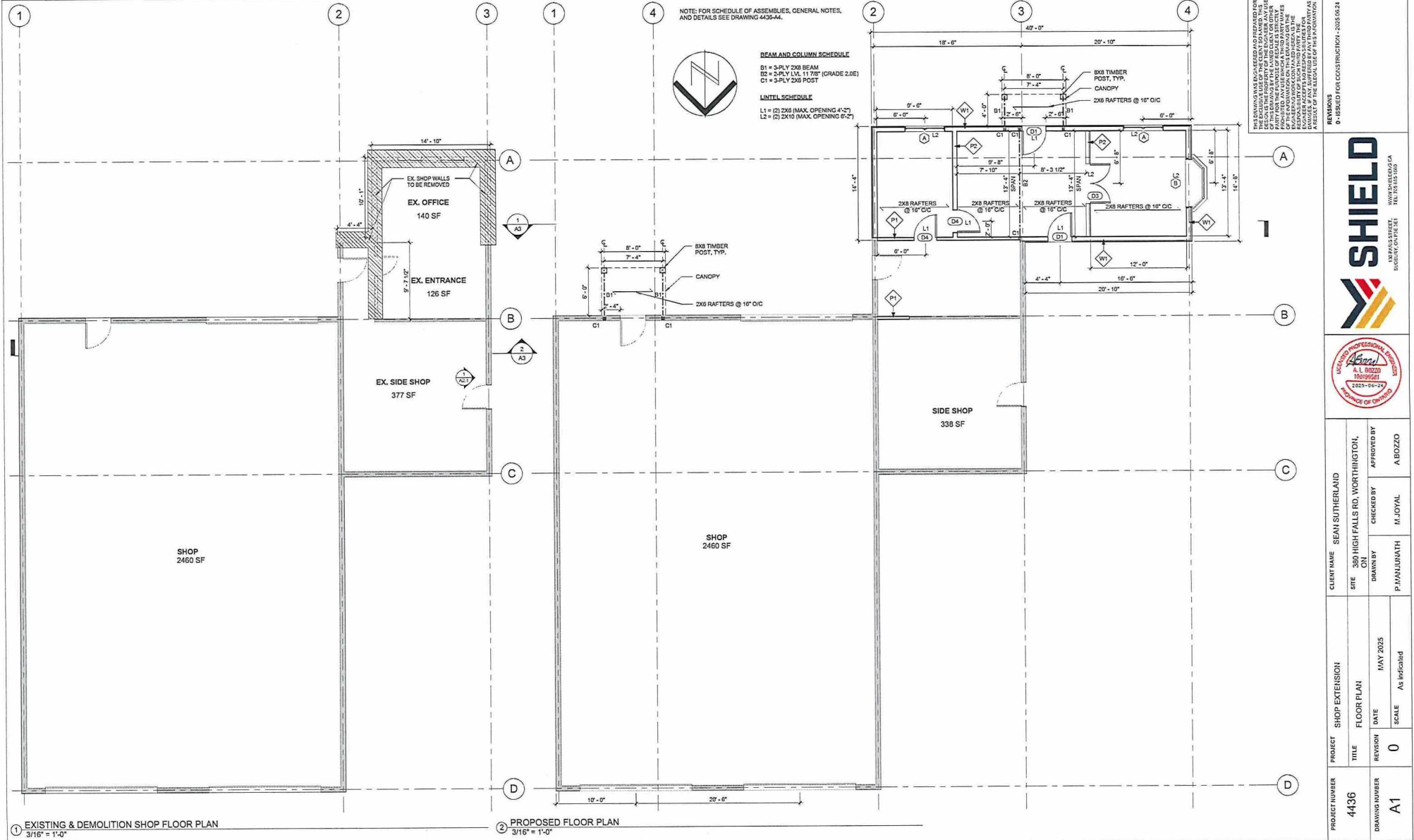
**Application for Minor
Variance or Permission**



Subject Property being PIN 73383-0060,
Parcel 25972 SEC SWS SRO,
Part Lot 9, Concession 2,
Parts 1 to 3, 5 to 7, and 9-17, Plan 53R-7219,
Township of Drury,
380 High Falls Road, Whitefish,
City of Greater Sudbury

Sketch 1, NTS	PL-MV-2025-00128
MNR	Date: 2026 05 05





1 EXISTING & DEMOLITION SHOP FLOOR PLAN
 3/16" = 1'-0"

2 PROPOSED FLOOR PLAN
 3/16" = 1'-0"

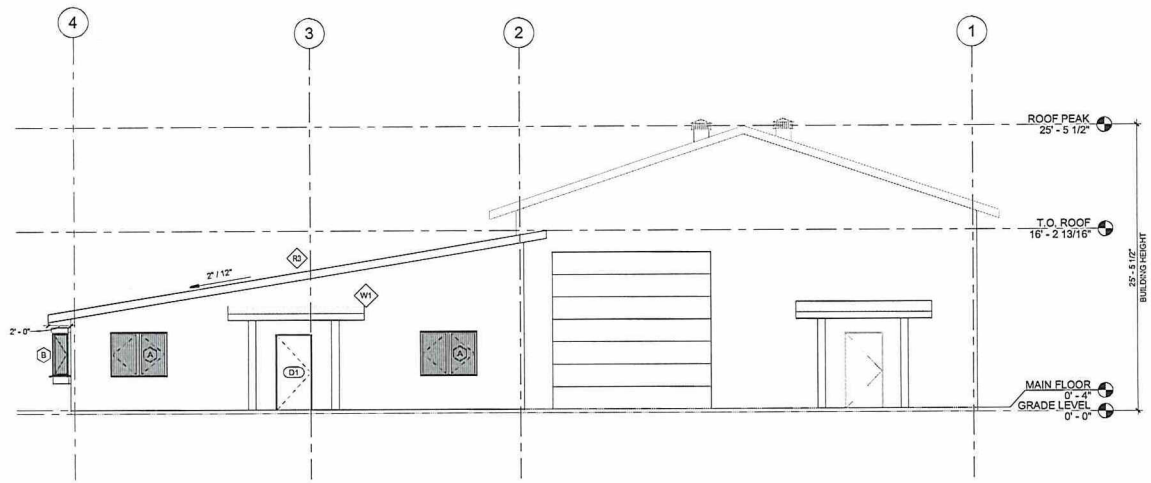


CLIENT NAME	SEAN SUTHERLAND
SITE	300 HIGH FALLS RD, WORTHINGTON, ON
DRAWN BY	P. MANJUNATH
CHECKED BY	M. JOYAL
APPROVED BY	A. BOZZO

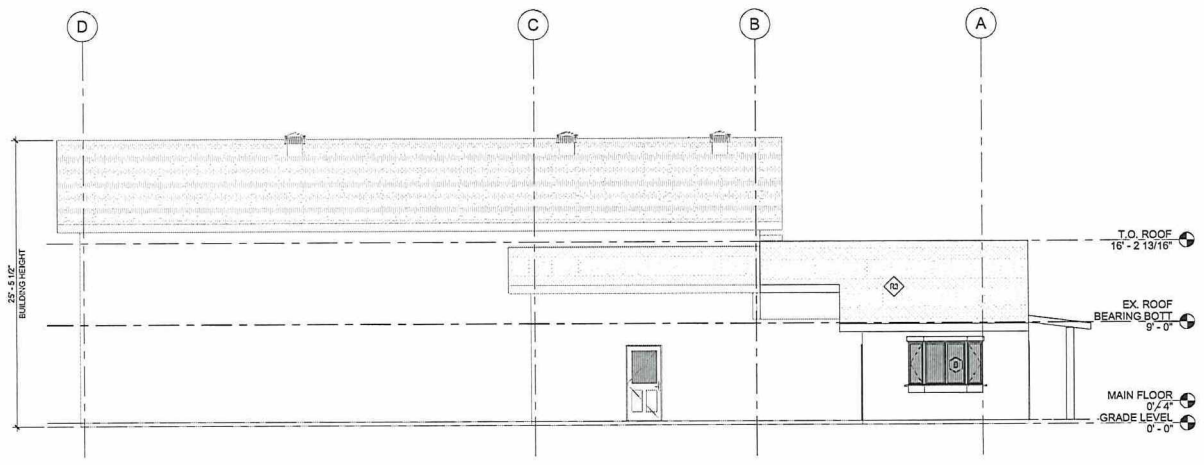
PROJECT	SHOP EXTENSION
TITLE	FLOOR PLAN
REVISION	DATE
0	MAY 2025
SCALE	As Indicated
DRAWING NUMBER	A1
PROJECT NUMBER	4436

PL-MV-2025-00128
 sketch 4

FOR SCHEDULE OF ASSEMBLIES, GENERAL NOTES, AND DETAILS SEE DRAWING 4436-A4.



① NORTH ELEVATION
3/16" = 1'-0"



② WEST ELEVATION
3/16" = 1'-0"

THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT TO MAINTAIN THE RECORD OF THE WORK AND TO BE USED BY THE ARCHITECT OR OTHER PROFESSIONAL ENGINEER OR ARCHITECT AS PROVIDED. ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR OTHER PROFESSIONAL ENGINEER OR ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT OR OTHER PROFESSIONAL ENGINEER OR ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION AS A RESULT OF THE LEGAL USE OF THIS INFORMATION.

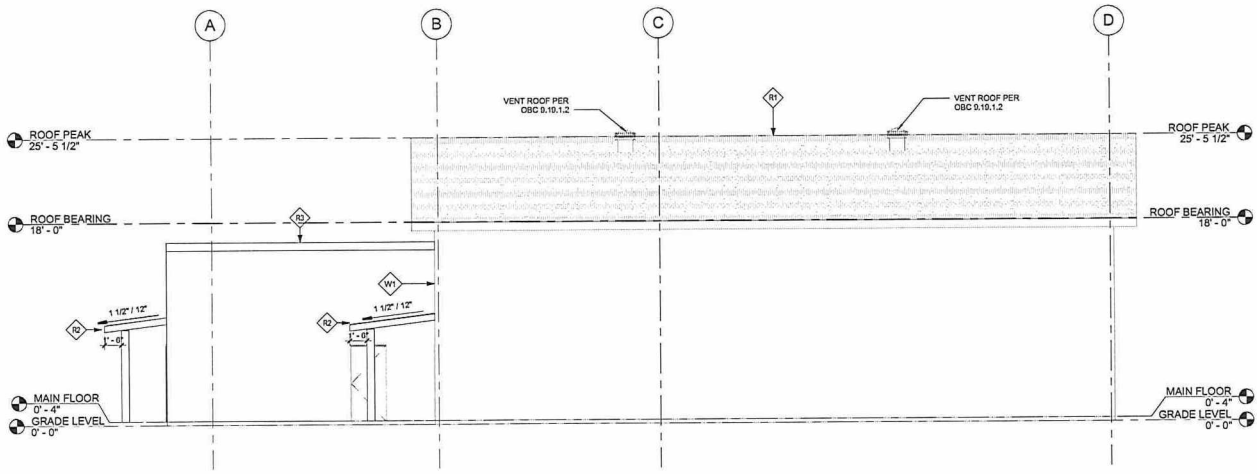
REVISIONS
0 - ISSUED FOR CONSTRUCTION - 2025.05.24



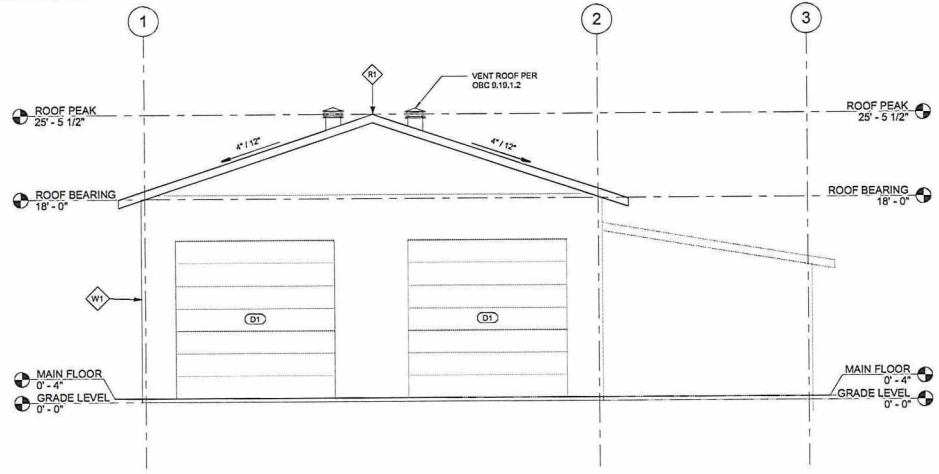
PROJECT NUMBER 4436	CLIENT NAME SEAN SUTHERLAND	PROJECT TITLE SHOP EXTENSION	DATE MAY 2025	SCALE 3/16" = 1'-0"
	SITE 380 HIGH FALLS RD, WORTHINGTON, ON		CHECKED BY M. JOYAL	APPROVED BY A. BOZZO
DRAWING NUMBER A2	REVISION NUMBER 0	REVISION DATE MAY 2025		

PL-MV-2025-00128
sketch 5

FOR SCHEDULE OF ASSEMBLIES, GENERAL NOTES, AND DETAILS SEE DRAWING 4436-A4.



1 EAST ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

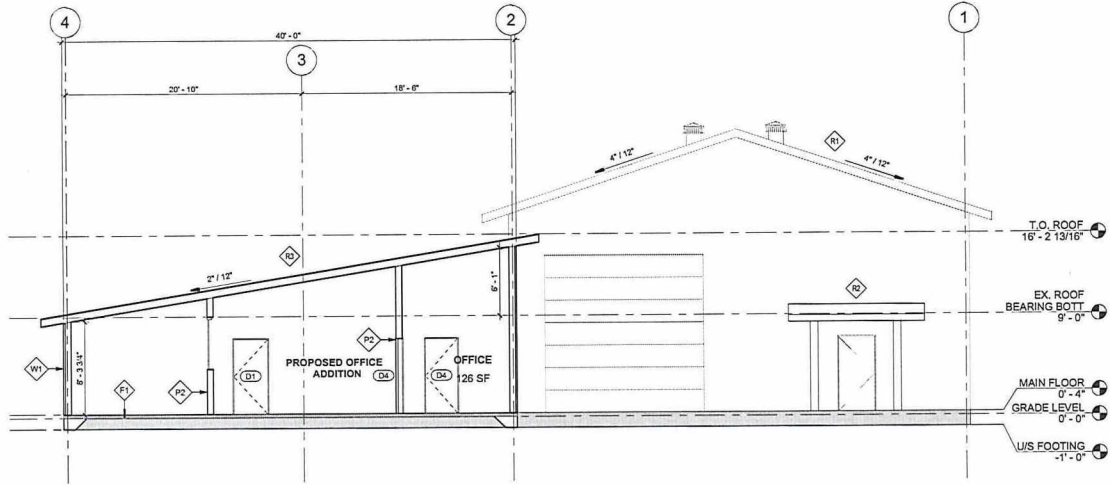
THIS DRAWING WAS PREPARED AND REVISIONS MADE BY THE ARCHITECT OR AN ARCHITECT EMPLOYEE. THE EXCLUSIVE USE OF THE CLIENT IS GRANTED. THE ARCHITECT ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF THE WORK UNLESS IT IS PROVEN THAT THE ARCHITECT OR AN ARCHITECT EMPLOYEE HAS BEEN NEGLIGENT IN THE PERFORMANCE OF HIS OR HER PROFESSIONAL SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK UNLESS IT IS PROVEN THAT THE ARCHITECT OR AN ARCHITECT EMPLOYEE HAS BEEN NEGLIGENT IN THE PERFORMANCE OF HIS OR HER PROFESSIONAL SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK UNLESS IT IS PROVEN THAT THE ARCHITECT OR AN ARCHITECT EMPLOYEE HAS BEEN NEGLIGENT IN THE PERFORMANCE OF HIS OR HER PROFESSIONAL SERVICES.

REVISIONS
0 - ISSUED FOR CONSTRUCTION - 2023.08.24

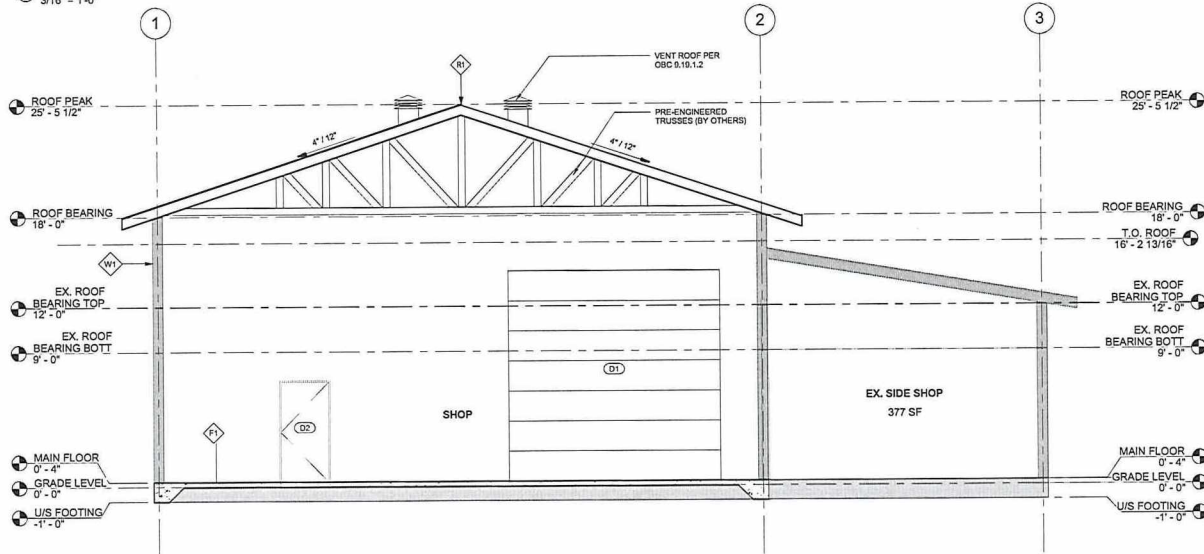


PROJECT NUMBER	4436	PROJECT	SHOP EXTENSION	CURB NAME	SEAN SUTHERLAND
DRAWING NUMBER	A2.1	TITLE	EAST & SOUTH ELEVATIONS	SITE	380 HIGH FALLS RD, WORTHINGTON, ON
REVISION	0	DATE	MAY 2025	DRAWN BY	P. MANJUNATH
SCALE	3/16" = 1'-0"	DATE	MAY 2025	CHECKED BY	M. JOYAL
		SCALE	3/16" = 1'-0"	APPROVED BY	A. BOZZO

PL-MV-2025-00128
sketch 6



1 SECTION A
3/16" = 1'-0"



2 SECTION B
1/4" = 1'-0"

FOR SCHEDULE OF ASSEMBLIES, GENERAL NOTES, AND DETAILS SEE DRAWING 4436-A4.

THIS DRAWING HAS BEEN REVIEWED AND REVISIONS FOR THE EXCLUSIVE USE OF THE CLIENT. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS DRAWING. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY OTHER ASPECTS OF THE PROJECT, INCLUDING THE DESIGN OF THE FOUNDATION OR THE LEGAL USE OF THE INFORMATION.

REVISIONS
0 - ISSUED FOR CONSTRUCTION - 2023.08.24



PROJECT NUMBER	4436	PROJECT	SHOP EXTENSION
DRAWING NUMBER	A3	CUSTOMER	SEAN SUTHERLAND
TITLE	SECTIONS	SITE	300 HIGH FALLS RD, WORTHINGTON, ON
REVISION	0	DRAWN BY	P. MANJUNATH
DATE	MAY 2025	CHECKED BY	M. JOYAL
SCALE	As Indicated	APPROVED BY	A. BOZZO

PL-MV-2025-00128
Sketch 7

GENERAL NOTES:

1. ANY REFERENCE DIMENSIONS SHOWN ON THE DRAWING ARE NOT TO BE USED FOR CONSTRUCTION.
2. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND FABRICATION.
3. ALL WORK, FABRICATION, AND CONNECTIONS SHALL BE IN CONFORMANCE WITH THE OBC AND APPLICABLE CSA STANDARDS, WHERE THE DRAWING DEVIATES FROM THE OBC AND APPLICABLE STANDARDS, THE MORE STRINGENT SHALL GOVERN. ALL SPECIFIED AND PROPRIETARY PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
4. FINISHES SHALL BE COMPLETED PER OBC AND WEATHER TIGHT COMPLETE WITH APPROPRIATE DRIP EDGES, FLASHING, WATER & ICE SHIELD, DOWNSPOUTS WITH SPLASH PADS, E.T.C. AS REQUIRED AND EXPECTED BY GOOD CONSTRUCTION PRACTICES.
5. IF ANY MODIFICATIONS ARE REQUIRED WHICH DO NOT FOLLOW THE DRAWING INSTRUCTIONS CONTACT ENGINEER FOR APPROVAL PRIOR TO PROCEEDING WITH THESE CHANGES.
6. ELECTRICAL AND MECHANICAL ARE NOT INCLUDED WITH THIS DRAWING. PROPER E.S.A. INSPECTIONS ARE TO BE COMPLETED, AND ALL WORK TO COMPLY WITH O.B.C. (LATEST EDITION).
7. ANY WOOD IN CONTACT WITH CONCRETE OR THE GROUND SHALL BE PRESERVATIVE TREATED. ALL TIMBER SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH CSA SPECIFICATION 2804 "WOOD PRESERVATION", AS PER CATEGORY UC13. REQUIREMENTS FOR SPECIES AND PRESERVATION TYPE, SHOULD UNREATED WOOD BE USED, THE WOOD SHALL BE SEPARATED FROM THE CONCRETE BY A 2 MIL POLYETHYLENE FILM, OR OTHER DAMPROOFING MATERIAL.
8. CLEAN & MAKE GOOD ALL TRADES TO MATCH NEW AND EXISTING FINISHES, INCLUDING ANY DAMAGE CAUSED BY CONSTRUCTION.
9. WHERE REQUIRED THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING, THE SHORING LOADS SHALL BE ASSESSED AND CONSTRUCTED BY A COMPETENT PERSON.
10. SHOULD AT ANY TIME ANY DETAILS CONTAINED WITHIN THIS DRAWING PACKAGE ARE NOT UNDERSTOOD FULLY, CONTACT ENGINEER FOR GUIDANCE AND/OR CLARIFICATION.
11. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/OWNER'S TO CONTACT THE ENGINEER FOR INSPECTION AND TO NOTIFY THE ENGINEER WHEN THE PROJECT IS READY FOR INSPECTIONS PRIOR TO COMPLETION, CONTACT THE ENGINEER AND BUILDING OFFICIAL FOR THE APPROPRIATE INSPECTION INTERVALS TO SUIT THE CONSTRUCTION.
12. ATTACHMENT OF 3.2.80.F.T. IS REQUIRED WHERE ATTYE SPACE IS GREATER THAN 23.88" IN HEIGHT, AND SHALL BE 21.10" X 2" MINIMUM INSULATED AND SEALED.
13. SPRAY FOAM NOT IN A CONCEALED SPACE, SHALL BE PROTECTED FROM THE REMAINDER OF THE BUILDING BY BEING COVERED WITH GYPSUM BOARD, PLYWOOD, HANDBOARD, INSULATING FIBRE BOARD, O.S.B., WAFERBOARD, AS PRESCRIBED BY THE O.B.C. ONLY.

FRAMED CONSTRUCTION NOTES:

1. ALL FRAMING LUMBER SHALL BE GRADE No. 1/2 SPF LINO.
2. JOISTS TO HAVE A MINIMUM 1-1/2" END BEARING, BEAMS TO HAVE A MINIMUM 3-1/2" END BEARING.
3. DOUBLE STUDS TO BE AT ALL CORNERS, DOUBLE END JOISTS WHICH SUPPORT UNITS IN EXT WALLS, AND DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 9'-11" AND 10'-0".
4. METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY ARE FRAMING INTO THE SIDE OF BEAMS, TRIMMERS AND HEADERS.
5. WALLS REQUIRING BLOCKING REFER TO WALL BRACING DETAIL ON THIS DRAWING.
6. BUILT-UP BEAMS SHALL BE CONSTRUCTED PER OBC REQUIREMENTS. REFER TO OBC CL. 9.2.3.1 FOR REFERENCE.
7. STRUCTURAL MEMBERS GREATER THAN 40' CLEAR SPAN ARE NOT PERMITTED UNDER PART 9 DESIGN.

RESIDENTIAL

1. ROOF SHEATHING (PLYWOOD AND OSB) SHALL BE INSTALLED WITH THE STRONG DIRECTION (SURFACE GRAIN OR DIRECTION OF FACE ORIENTATION) AT RIGHT ANGLES TO THE ROOF FRAMING.
2. FASTENERS SHALL CONFORM TO ASTM F 1627 FOR "DRIVEN FASTENERS- NAILS, SPIKES, AND STAPLES"; TO CSA B111 "WIRE NAILS, SPIKES, AND STAPLES"; AND TO ASME B18.8 "WOOD SCREWS (INCH SIZES) WITH LENGTHS DESCRIBED WITHIN TABLE 9.2.3.3.5.4. REFER TO NBCO CLAUSE 9.2.3.16 & CLAUSE 9.2.3.3.5.4 RESPECTIVELY.

TIMBER NOTES:

1. ALL WORK, FABRICATION, AND CONNECTIONS SHALL BE IN CONFORMANCE WITH THE OBC AND APPLICABLE CSA STANDARD, WHERE DRAWINGS DEVIATE FROM THE OBC AND APPLICABLE STANDARD, THE MORE STRINGENT SHALL GOVERN. ALL SPECIFIED AND PROPRIETARY PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
2. ALL TIMBER SHALL BE GRADE No. 1/2 SPF OR APPROVED EQUAL.
3. ALL LAG BOLTS AND THROUGH BOLTS SHALL CONFORM TO ASTM A307. BOLTS SHALL BE A MINIMUM 1/2" DIA. A 1/4" PILOT HOLE IS TO BE DRILLED PRIOR TO INSTALLATION. FASTENERS SHALL BE EITHER 316 STAINLESS STEEL, OR GALVANIZED.
4. ALL NAILS SHALL BE 2" ARDUX NAILS.

CONCRETE NOTES:

1. ALL CONCRETE MATERIALS, WORK, DESIGN, AND TESTING SHALL CONFORM WITH CSA A23.1/03 (LATEST EDITIONS).
2. THE MINIMUM COMPRESSIVE STRENGTH SHALL BE 25 MPa AT 28 DAYS WITH AN EXPOSURE CLASS F-3 (CSA A23.1), AND AIR CONTENT BETWEEN 4% TO 7%. A SLUMP OF 3" (+/- 1") IS TO BE ACHIEVED WITH A MAX. AGGREGATE SIZE, CRUSHED STONE OF 3/4", A TRUCK DISCHARGE TEMPERATURE OF 10°C TO 20°C IS REQUIRED.
3. GROUT SHALL BE A NON-SINKING, NON-METALLIC GROUT U.L.O.
4. REINFORCEMENT SHALL BE ALL CODES PER THE LATEST EDITIONS:
 1. DEFORMED BARS OR NON-BUILDING STEEL CONFORMING TO CANCSA C22.3/18 GRADE 400R.
 2. WELDED WIRE REINFORCEMENT CONFORMING TO ASTM A1818/1818M.
 3. STEEL FIBRES CONFORMING TO ASTM STANDARD A1082/1082M.
 4. W/ SPLICES AT A MINIMUM SHALL EQUAL TO OR EXCEED THAT OF CLASS V TENSION LAP SPLICES PER CSA-A23.3.
5. FOR COLD WEATHER CONCRETE (WEATHER EXPECTED TO DROP BELOW 0°C) FOLLOW THE REQUIREMENTS OF CSA STANDARD A23.1. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 1. DO NOT PLACE CONCRETE AGAINST FROZEN MATERIAL.
 2. CONTRACTOR SHALL PROVIDE MEANS OF ENSURING THE CONCRETE CURES FOR A MIN. OF 5 DAYS AT OR ABOVE 10°C.
 3. DO NOT ALLOW CONCRETE TO COOL BELOW FREEZING FOR A MIN. OF 7 DAYS.
6. WET CURE SLAB FOR A MIN. OF 7 DAYS.
7. REFER TO FOUNDATION PLAN FOR LOCATION OF SAWCUTS. SAWCUTS SHALL BE FREE OF DEBRIS AND FILLED WITH JOINT FILLER OR ELASTOMERIC JOINT SEALANT TO FIT USE AND AESTHETIC PREFERENCE. SAWCUTS SHALL BE MADE WITHIN 24 HOURS OF FINAL TROWELING AND PRIOR TO ANY SHRINKAGE OCCURRING.

FOUNDATION NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROPRIATE WATER CONTROL/DRAINAGE METHODS ON THE WORKSITE AS REQUIRED DURING THE PROJECT.
2. CONTACT ENGINEER ONCE REBAR/REINFORCEMENT AND FORMS ARE IN PLACE FOR FINAL INSPECTION PRIOR TO PLACING CONCRETE.
3. FOR ADDITIONAL DETAILS REGARDING ANCHORAGE OF STRUCTURE TO FOUNDATION REFER TO CLAUSE 9.2.3.1 OF THE ONTARIO BUILDING CODE. OWNER SHALL CONSIDER A BOLTS, POST INSTALLED ANCHORS, OR MUDDILL ANCHORS FOR ANCHORING SILL PLATE TO CONCRETE. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE A308 OR BETTER.
4. CONTRACTOR SHALL ENSURE ALL PROPER LOCATES ARE PERFORMED PRIOR TO CONSTRUCTION.
5. CO-ORDINATE ALL WORK WITH OWNER, AND SHOULD ANY SUBSTITUTIONS BE REQUIRED CONSULT AND SEEK APPROVAL IN WRITING FROM OWNER PRIOR TO PROCEEDING WITH THE WORK.
6. OWNER/CONTRACTOR SHALL PLACE FLOOR DRAINS AS DESIRED WITHIN BUILDING. ALL DRAINS WITHIN DETACHED GARAGES SHALL NOT BE CONNECTED TO MUNICIPAL SEWER SERVICES. DISCHARGE TO PROPER DRAINAGE SWALE OR CURB.
7. MIN ALLOWABLE BEARING PRESSURE OF 75kPa (kSL) (TO BE CONFIRMED BY OWNER/OTHERS). IT IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER TO RENDER THE SERVICES OF A GEOTECHNICAL ENGINEER AS REQUIRED TO SATISFY THE SOIL AND DRAINAGE REQUIREMENTS OF THIS DRAWING, AND TO SATISFY THE REQUIREMENTS OF LOCAL BUILDING OFFICIALS. THE GEOTECHNICAL ENGINEER SHALL ALSO PROVIDE RECOMMENDATIONS TO THE FILL AND SOIL SHOWN IN THIS DRAWING BASED ON THEIR INVESTIGATION.
8. A SOIL CONSULTANT SHALL APPROVE ON SITE THE ASSIGNED SAFE NET BEARING PRESSURE FOR EACH FOOTING. IF THE SAFE NET BEARING PRESSURE FOR DESIGN IS NOT APPROVED, THE FOUNDATION DETAILS WILL BE ADJUSTED BY THE ENGINEER ACCORDING TO SITE CONDITIONS.
9. SPECIFIED INSULATION TO BE APPROVED BY QUALIFIED GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE LOCAL SOIL CONDITIONS.
10. IF SOIL SOFTENING OCCURS BEFORE CONCRETE FOOTING CAN BE POURED, OR AS REQUIRED BY THE SOILS REPORT, CONSTRUCT FOOTINGS ON A LEVEL 2" THICK SKIM SLAB OF 2000W MINIMUM 28 DAY STRENGTH. PLACE IMMEDIATELY AFTER COMPLETION OF BACKFILL.
11. LOCATE FOOTING ELEVATIONS AS REQUIRED TO ACCOMMODATE BURIED ELECTRICAL OR MECHANICAL SERVICES AND PROTECT EXISTING AND ADJACENT FOOTINGS FROM BEING UNDERMINED AND OVERLOADED BY LIMITING THE SLOPE OF THE LINE BETWEEN THE ADJACENT FOOTING ELEVATIONS TO A 7 IN 10 MAXIMUM SLOPE WITH A MAXIMUM RISE OF 2'-0".
12. USE EXCAVATED MATERIALS AS BACKFILL ONLY AS APPROVED BY SOILS CONSULTANT.
13. PROTECT ALL STRUCTURAL STEEL EXPOSED TO EARTH WITH AT LEAST 2" OF CONCRETE COVER UNLESS NOTED OTHERWISE ON DRAWINGS.
14. BACKFILL UNDER SLAB-ON-GRADE WITH GRANULAR "B" COMPACTED IN 6" MAXIMUM LIFTS TO 98% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT. SLAB-ON-GRADE MAY BE PLACED OVER FILL WHICH DOES NOT CONTAIN ORGANIC MATERIAL. THE SOILS ENGINEER MUST EXAMINE ALL FILL MATERIAL. SHOULD THE FILL BE UNACCEPTABLE, REMOVE THIS FILL DOWN TO UNDISTURBED SOIL AND REPLACE WITH COMPACTED GRANULAR "B".
15. IF THE PERMETER RIGID INSULATION IS OMITTED OR NOT INSTALLED AS DETAILED WITHIN THIS DRAWING, AND IF THE NATURAL SOIL BASE IS NOT FREE DRAINING GRANULAR MATERIAL, AND/OR THE WATER TABLE IS NOT BELOW FROST DEPTH, THE SLAB-ON-GRADE MAY HEAVE, RESULTING IN ADDITIONAL SLAB CRACKING DUE TO THERMAL EFFECTS, WHICH WILL NOT BE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

PRE-ENG ROOF TRUSS REQUIREMENTS:

1. TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
2. CONNECTIONS TO BE DESIGNED BY TRUSS MANUFACTURER AND STAPLED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
3. BRACING REQUIREMENTS TO SUIT APPLICABLE LOADING AND DESIGNED BY TRUSSES ENGINEER.
4. TRUSS PACKAGE TO BE SHARED WITH, AND APPROVED BY, SHIELD CONSULTING ENGINEERS LTD. PRIOR TO CONSTRUCTION.
5. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER/OWNER TO ENSURE THE REQUIREMENTS OF THE TRUSSES ARE COMPLETED AND CARRIED OUT AS DESCRIBED IN THIS DRAWING PACKAGE.

SCHEDULE OF ASSEMBLIES

WALL TYPES

WALL TYPE W1

METAL CLADDING (BY OWNER)
TYVEK AIR BARRIER
1 1/2" CONTINUOUS RIGID INSULATION (R7.5)-OPTIONAL
1/2" PLYWOOD SHEATHING
2" X 6" FRAMING @ 16" O.C.
R-22 BATT INSULATION
6 MIL POLY VAPOUR BARRIER

PARTITION P1

1/2" GYPSUM BOARD
2" X 4" FRAMING @ 16" C.C.
1/2" GYPSUM BOARD

PARTITION P2

1/2" GYPSUM BOARD
2" X 4" FRAMING @ 16" C.C.
1/2" GYPSUM BOARD

ROOF TYPES

ROOF TYPE R1

METAL ROOFING (PROFILE & COLOUR BY OWNER)
BUILDING FELTS 15#
ICE AND WATER SHIELD AS PER CODE REQUIREMENTS
7/16" OSB SHEATHING WITH CLIPS
PRE-ENG TRUSSES @ 24" C.C. (BY OTHERS)
R-20 BLOWN IN INSULATION
6 MIL POLY VAPOUR INSULATION

ROOF TYPE R2

METAL ROOFING (PROFILE & COLOUR BY OWNER)
BUILDING FELTS 15#
ICE AND WATER SHIELD AS PER CODE REQUIREMENTS
7/16" OSB SHEATHING WITH CLIPS
2X6 RAFTERS @ 16" O.C.

ROOF TYPE R3

METAL ROOFING (PROFILE & COLOUR BY OWNER)
BUILDING FELTS 15#
ICE AND WATER SHIELD AS PER CODE REQUIREMENTS
7/16" OSB SHEATHING WITH CLIPS
2X6 RAFTERS @ 16" O.C.
R21 CLOSED CELL SPRAY FOAM INSULATION
INTERIOR FINISH (BY OWNER)

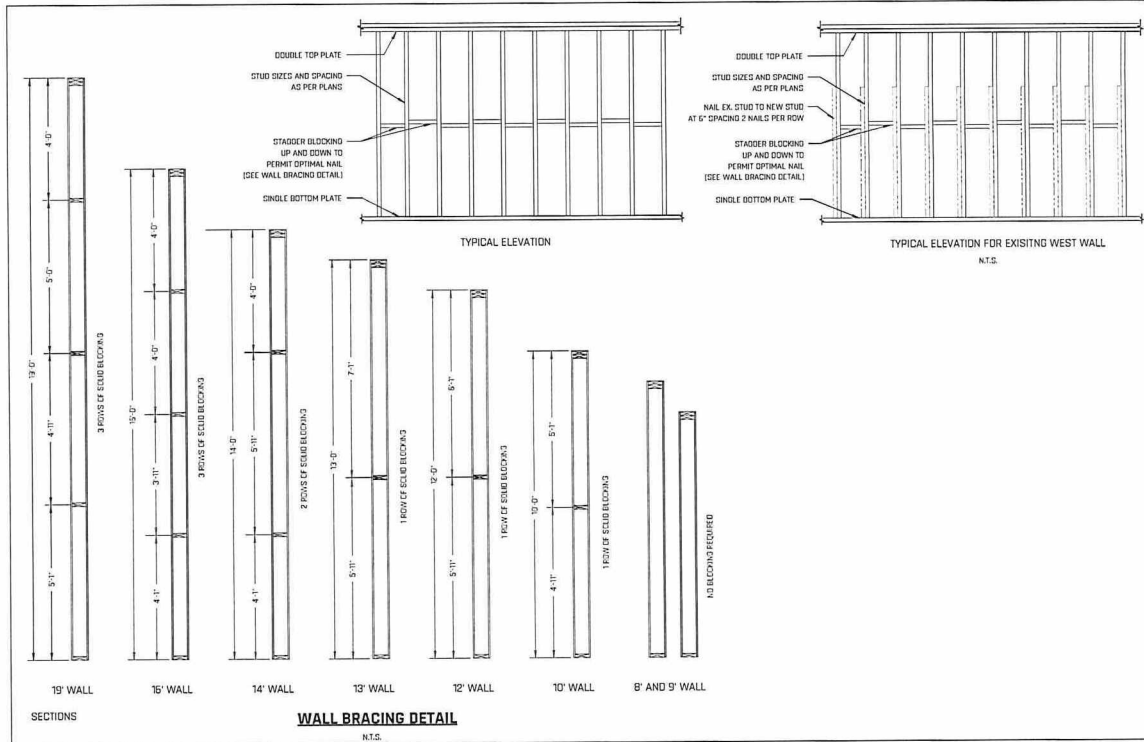
FLOOR TYPES

FLOOR TYPE FL1

FLOOR FINISH (BY OWNER)
4" CONC. SLAB ON GRADE
10 MIL POLY VAPOUR BARRIER
R-10 RIGID INSULATION
COMPACTED GRANULAR BASE PER GEOTECHNICAL REPORT

Tag Label	Width	Height	Qty	Description
D1	3'-0"	6'-6"	2	EXTERIOR INSULATED DOOR
D3	5'-0"	6'-6"	1	
D4	2'-10"	6'-6"	2	

Tag Label	Width	Height	Head Height	Count
A	5'-0"	2'-0"	7'-0"	2
B	6'-0"	4'-0"	7'-0"	1



THIS PLAN/SECTION REQUIREMENTS AS REFERRED FOR THE EXISTING OF THE EXISTING AS SHOWN. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE WORK AND REPORT TO THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND REPORTING TO THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND REPORTING TO THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND REPORTING TO THE ENGINEER PRIOR TO CONSTRUCTION.

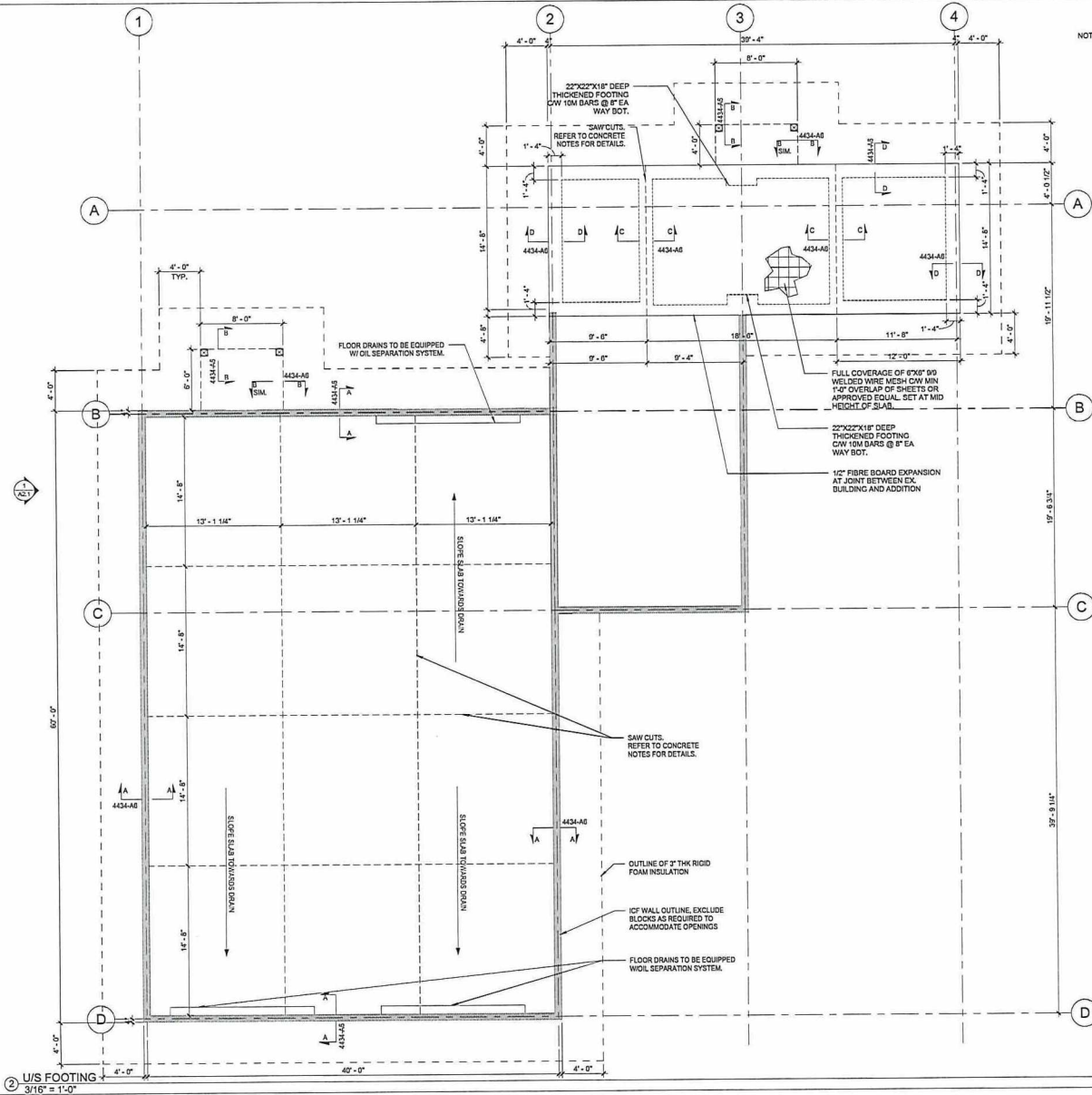
REVISIONS
0 - ISSUED FOR CONSTRUCTION - 2025 08/24



CUSTOMER	SEAN SUTHERLAND	APPROVED BY	A. BOZZO
SITE	300 HIGH FALLS RD, WORTHINGTON, ON	CHECKED BY	M. JOYAL
DRAWN BY	P. MANJUNATH	SCALE	As Indicated

PROJECT	SHOP EXTENSION	REVISION	0
TITLE	GENERAL NOTES	DATE	MAY 2025
DRAWING NUMBER	4436	SCALE	As Indicated

PL-MV-2025-00128
Sketch 8



NOTE: FOR GENERAL NOTES AND DETAILS SEE DRAWING 4436-AA.

② U/S FOOTING
3/16" = 1'-0"

THIS DRAWING HAS BEEN REVIEWED AND PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS DRAWING. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY OTHER ASPECTS OF THE PROJECT OR FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT.

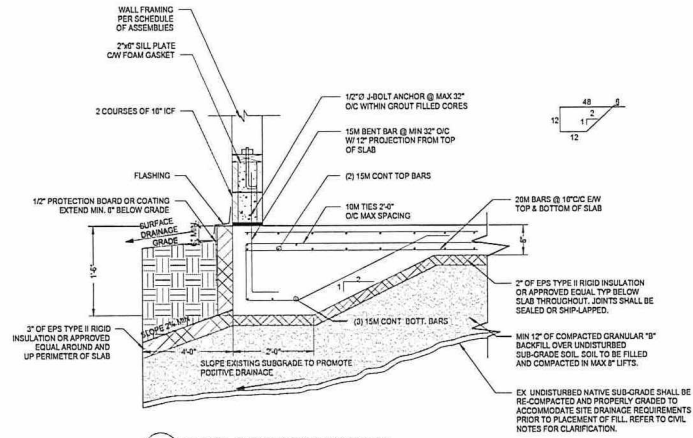
REVISIONS
0 - ISSUED FOR CONSTRUCTION - 2025.06.24



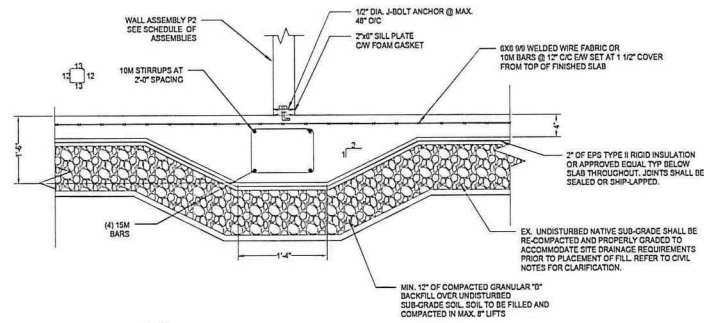
PROJECT NUMBER	4436	CLIENT NAME	SEAN SUTHERLAND
DRAWING NUMBER	A5	SITE	380 HIGH FALLS RD, WORTHINGTON, CT
PROJECT TITLE	SHOP EXTENSION	DRAWN BY	P. MANJUNATH
REVISION	0	CHECKED BY	M. JOYAL
DATE	MAY 2025	APPROVED BY	A. BOZZO
SCALE	3/16" = 1'-0"		

PL-MV-2025-00128
Sketch 9

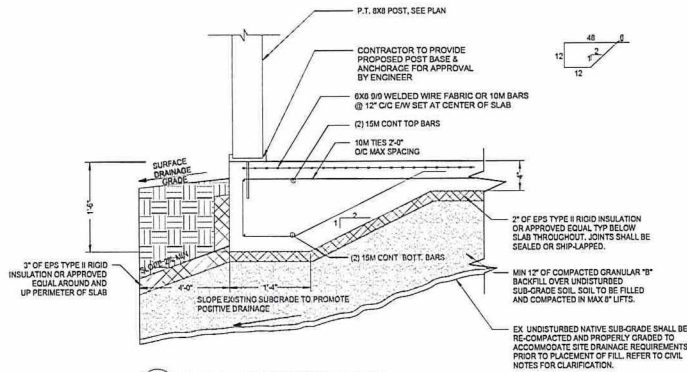
NOTE: FOR GENERAL NOTES AND DETAILS SEE DRAWING 4430-A4.



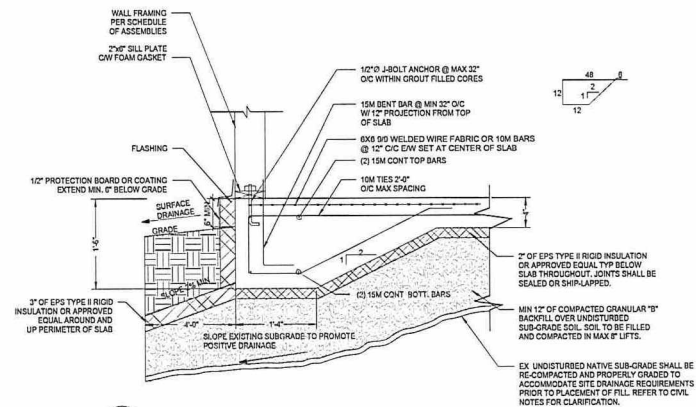
A SECTION - SLAB THICKENED EDGE DETAIL
SCALE: NTS
*WALL FINISH NOT SHOWN FOR CLARITY



C SECTION - SLAB DETAIL SECTION
SCALE: NTS
*WALL FINISH NOT SHOWN FOR CLARITY



B SECTION - SLAB THICKENED EDGE DETAIL
SCALE: NTS
*WALL FINISH NOT SHOWN FOR CLARITY



D SECTION - SLAB THICKENED EDGE DETAIL
SCALE: NTS
*WALL FINISH NOT SHOWN FOR CLARITY

THIS DRAWING WAS ENGINEERED AND SEALED FOR THE PROFESSION OF CIVIL ENGINEERING IN THE STATE OF CALIFORNIA. THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR THIS DRAWING TO BE VALID. THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR THIS DRAWING TO BE VALID. THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR THIS DRAWING TO BE VALID.

REVISIONS
P. ISSUED FOR CONSTRUCTION - 2025.05.24



PROJECT NUMBER	4436	CLIENT NAME	SEAN SUTHERLAND
DRAWING NUMBER	A6	SITE	380 HIGH FALLS RD, WORTHINGTON,
REVISION	0	DRAWN BY	M. JOYAL
DATE	MAY 2025	CHECKED BY	A. BOZZO
SCALE	3/16" = 1'-0"	APPROVED BY	A. BOZZO

PL-MV-2025-00128
Sketch 10



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00021

APPLICATION SUMMARY

File Date: 02/24/2026

Application Type: Minor Variance

Address(es): 476 White Avenue, Sudbury P3C 2G5

Applicant(s): KROBERGE PROPERTIES INC.

Owner(s): KROBERGE PROPERTIES INC.

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Dec 2 2025

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

4

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

2

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Requesting minor variance for 4-plex parking

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Not enough parking for new legal 4-plex.

I purchased the building in December 2025 with the intention of bringing it into compliance, recognizing the strong demand for housing in the Sudbury area. My goal is to legalize the existing units and ensure the property meets all requirements, including appropriate parking.

I didn't anticipate the process would be as challenging as it has been, but I'm committed to doing what's necessary to move forward and make the building fully compliant.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

15.24

Lot Depth of the property

30.48

Lot Area of the property

464.5

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

1987 house and garage

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

residential

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

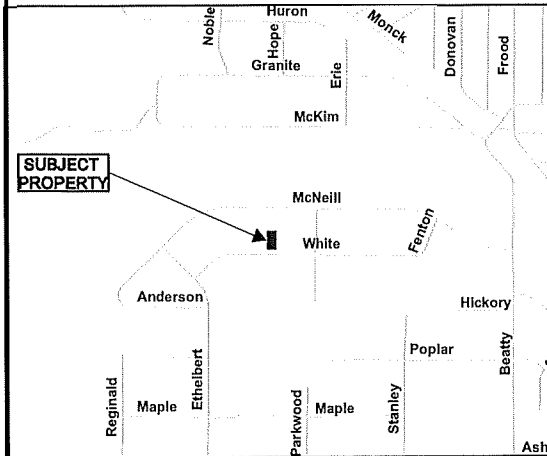
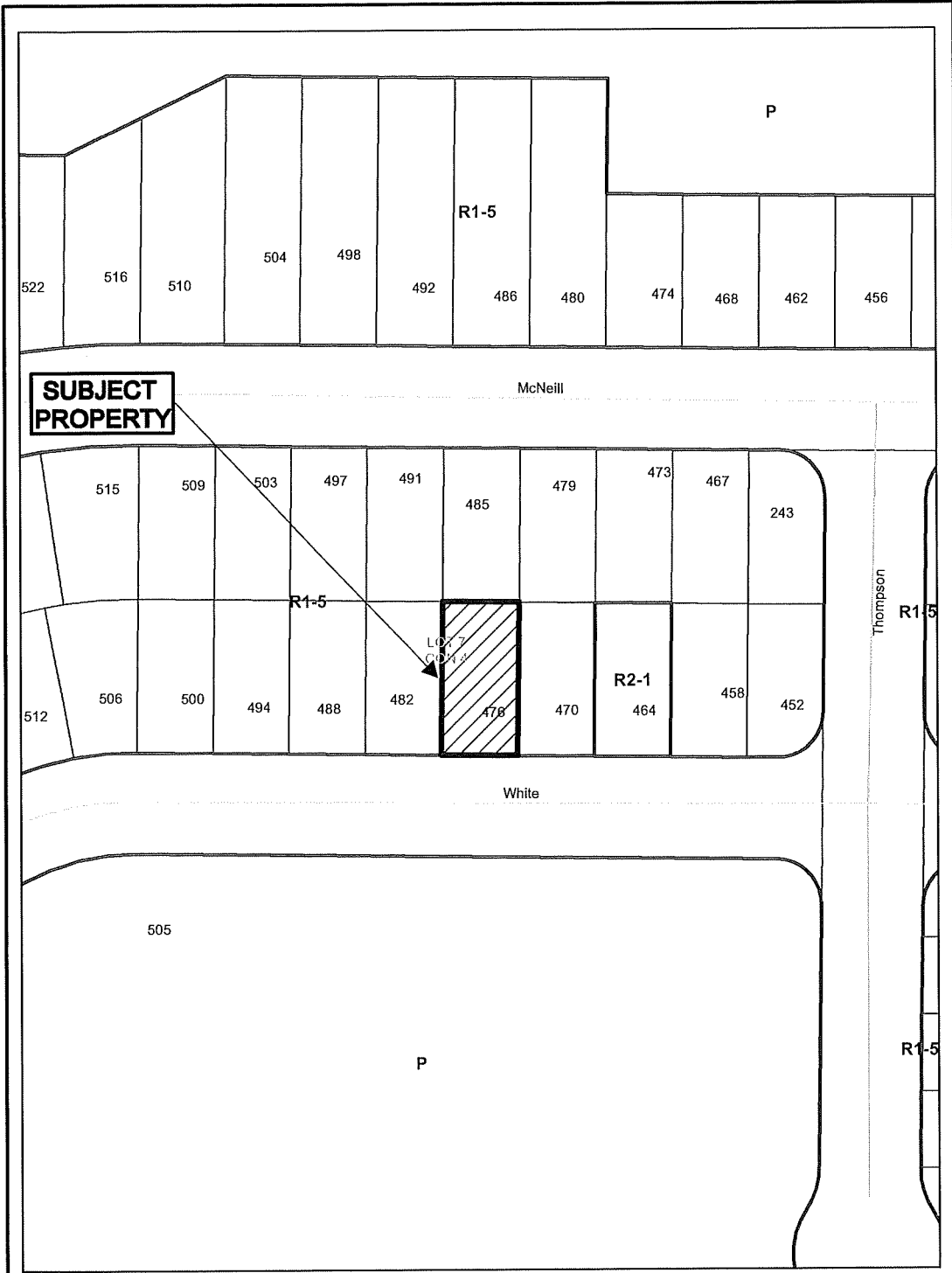
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
4-plex	No	139.0	374.0	2	9.39	14.85	8	4.41	11.22	1.87	3.99
Detached Garage	No	23.0	23.0	1	3.6	6.31	5.0	24.04	0.13	11.19	0.45

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Subsection 5.2.9.2 - Parking Aisle Width	5.2.9.2 Width of Parking Aisles The minimum width of a parking aisle providing access to a parking space within a parking area shall be 6.0 metres	4.79m	1.21m
Subsection 5.2.9.3 - Driveway Width for Two-way Traffic	5.2.9.3 Width of Access Ramps and Driveways Access ramps, driveways and parking aisles accessing a parking area or parking lot shall be a minimum of 3.0 metres in width for one-way traffic and a minimum of 6.0 metres in width for two-way traffic	2.9m for two-way traffic	3.1m



N

**Application for Minor
Variance or Permission**

Subject Property being PIN 02134-0013,
Parcel 19511 SEC SES,
Lot 58, Plan M-309,
Part Lot 7, Concession 4,
Township of McKim,
476 White Avenue, Sudbury,
City of Greater Sudbury

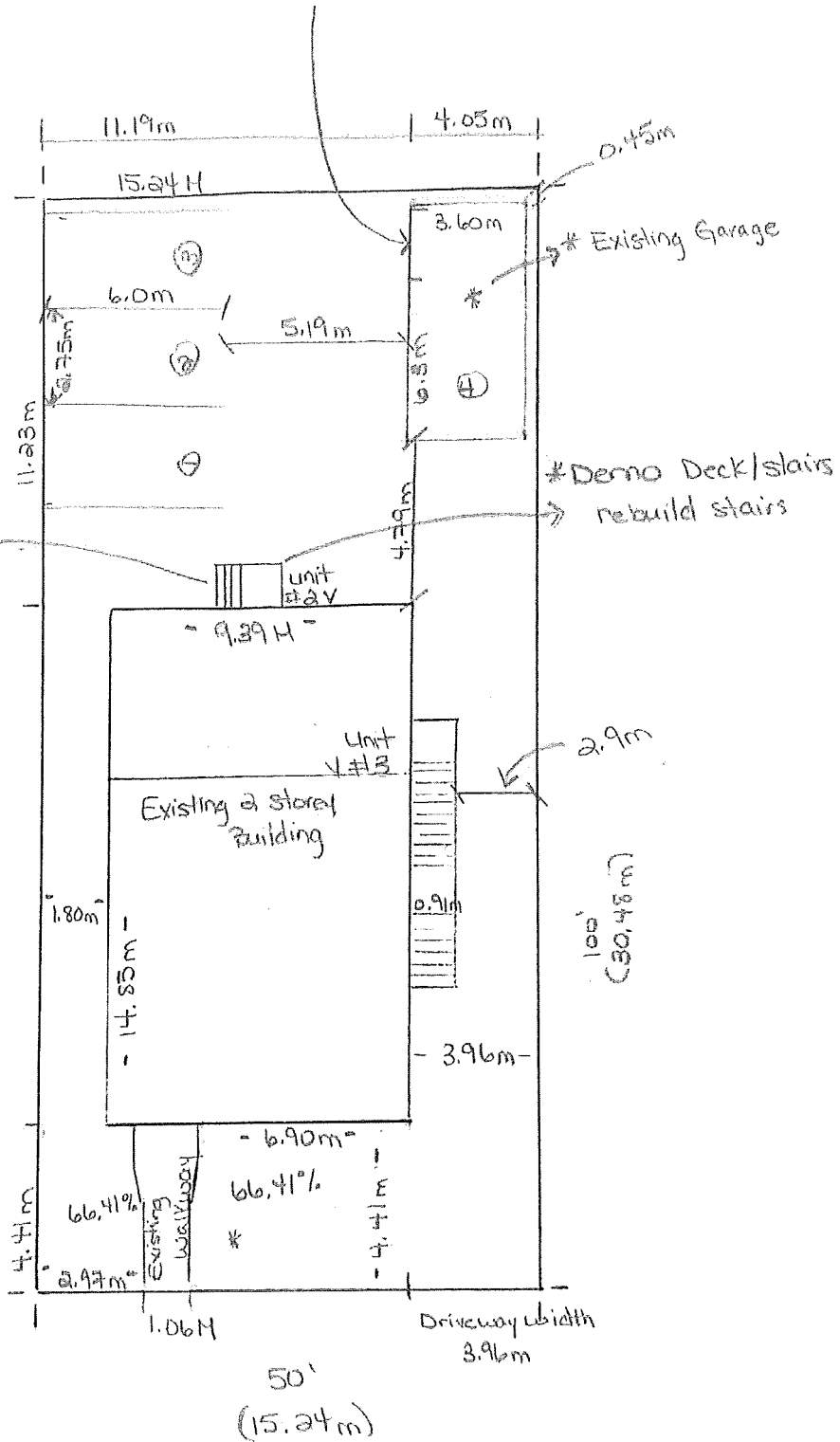
Sketch 1, NTS PL-MV-2026-00021
NDCA Date: 2026 03 02

• Bicycle in garage
Size 0.6m X 1.8m

• Transit. location in relation to transit route on McNeil Blvd
Thompson bus stop (190m)

• orienting Unit 2 entry to open up distance for vehicle

• snow to be removed with snowblower tractor and removed from property.



To be landscape
- Asphalt to be removed
(44.63sq.M)
includes existing landscaping -> 66.41% Total Frontyard landscape



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00031

APPLICATION SUMMARY

File Date: 03/10/2026

Application Type: Minor Variance

Address(es): 234 Bloor Street, Sudbury, ON

Applicant(s): CR DESIGN

Owner(s): 1001471304 ONTARIO LTD

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
01/20/2026

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
0

What is the number of proposed new dwelling units on the property?
6

What is the number of proposed new buildings/structures on the property?
1

What is the number of existing buildings/structures on the property?
0

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Mixed Use Commercial

Current Official Plan designation (additional)

Current Zoning By-law designation

R3-1

Provide a detailed description of what is being proposed

CONSTRUCTION OF A TWO STOREY SIX UNIT MULTIPLE DWELLING

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

THERE IS A LETTER OF RATIONALE ATTACHED TO EXPLAIN

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

15.25

Lot Depth of the property

36.06

Lot Area of the property

557.4

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

MULTI UNIT RESIDENTIAL

Existing uses of neighbouring properties

SFD'S, MULTI UNIT BUILDINGS, HOTEL, CHURCHES, RETAIL

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
TWO STOREY SIX UNIT MULTIPLE DWELLING	No	216.5	649.5	2	9.35	23.18	8	6.51	6.91	3.89	2.01

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
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ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
REAR YARD SETBACK - BUILDING - TABLE 6.5	7.5M	6.91M	0.59M
CORNER SIDE YARD SETBACK - BUILDING - TABLE 6.5	4.5M	3.89M	0.61M
CORNER SIDE YARD SETBACK - PARKING SPACE - 5.2.4.3.(D)	4.5M	0.84M	3.66M
NUMBER OF PARKING SPACES - TABLE 5.5.	1.5 PARKING SPACES / PER UNIT - 6 UNITS - 9 SPACES	1 PARKING SPACE PER UNIT - 6 SPACES	3 SPACES
LOT AREA PER UNIT - TABLE 6.5	110.0 SQ. M	92.9 SQ. M	17.1 SQ. M
LOT FRONTAGE - TABLE 6.5	20.0M	15.25M	4.75M

TANDEM PARKING SPACE - SECTION 5.2.9.1 AND
5.2.9.1.1

5.2.9.1 Double Parking

Each required parking space shall be accessible at all times for parking a vehicle without the necessity of moving any other vehicle, except that nothing in this By-law shall apply to prevent the parking of a vehicle in any part of a driveway accessory to a dwelling.

ONE TANDEM ONE
PARKING SPACE

5.2.9.1.1 Tandem Parking

Notwithstanding Section 5.2.9.1, where any lot containing not more than 4 dwelling units is permitted, a parking space that is provided and maintained for the sole use of the occupant of a dwelling unit may be a tandem parking space, which may be permitted within the required front yard or corner side yard.

Minor Variance Application – Letter of Rationale

234 Bloor Street – City of Greater Sudbury

The subject property located at 234 Bloor Street is situated within the Flour Mill area of the City of Greater Sudbury, an established residential neighborhood that has historically experienced limited new development and reinvestment. The proposal represents a positive reinvestment in the area through the creation of additional housing units on an existing serviced urban lot.

Project Overview: The owner is proposing to construct a two-storey, six-unit residential building consisting of five two-bedroom units approximately 750–800 square feet in size and one one-bedroom unit of approximately 600 square feet. The basement level will contain storage areas and the mechanical room. The intent of the development is to provide moderately sized and more attainable rental housing within the city.

The proposal supports Provincial housing initiatives, including the More Homes Built Faster Act (Bill 23), by contributing to the supply of housing and encouraging efficient use of existing municipal infrastructure and serviced urban land. The proposed development also represents an appropriate form of residential intensification that remains compatible with the surrounding neighborhood.

Zoning and Context: The property is zoned R3-1 (Medium Density Residential) under the City of Greater Sudbury Zoning By-law. The R3-1 Zone permits multiple dwellings and allows buildings up to five storeys and 19 metres in height. The proposed development is significantly smaller in scale, consisting of a two-storey building approximately 9 metres in height, and therefore represents a modest form of development that remains well within the overall permissions contemplated by the zoning by-law.

A variance is requested to reduce the required parking from 1.5 spaces per unit to 1.0 space per unit. Given the relatively modest size of the proposed units and the central location of the property with access to public transportation and nearby amenities, one parking space per unit is considered appropriate for this development.

The original proposal was to have two driveways, including one driveway from the rear laneway and one driveway from Bloor Street. However, Development Engineering advised that two driveways are not permitted on a residential lot and a variance is not attainable to allow it as it falls under **By-Law 2011-220 - Regulate the Use of Private Entrances**. As a result, relief is being requested to permit one tandem parking space, whereas tandem parking is currently only permitted on properties containing four dwelling units or less.

The proposed tandem parking space is intended to serve the one-bedroom apartment unit. Given the unit mix, central location, and access to public transit, it is reasonable to expect that at least one unit may be occupied by a tenant with reduced reliance on a personal vehicle.

The property is located within approximately 300 metres of a bus stop on Kathleen Street providing access to transit routes 11 and 26. These routes provide direct transportation to the downtown transit terminal, College Boreal, New Sudbury Shopping Centre, and Cambrian College. Given the proximity to public transit and major service hubs, the requested parking relief is considered appropriate and reasonable for the proposed development.

Relief is requested for the corner side yard and rear yard setbacks. These adjustments are minor and facilitate a practical building footprint. With a 3.43m buffer between the property and the sidewalk, visibility for pedestrians and motorists at the intersection remains unencumbered. The proposed design maintains 42% landscaped open space (exceeding the 30% requirement) and 40% lot coverage (well below the 50% limit).

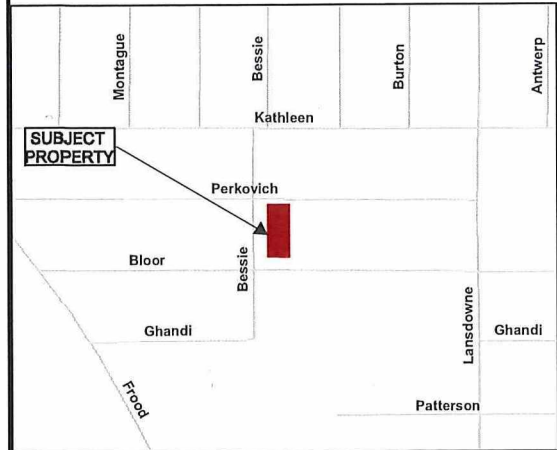
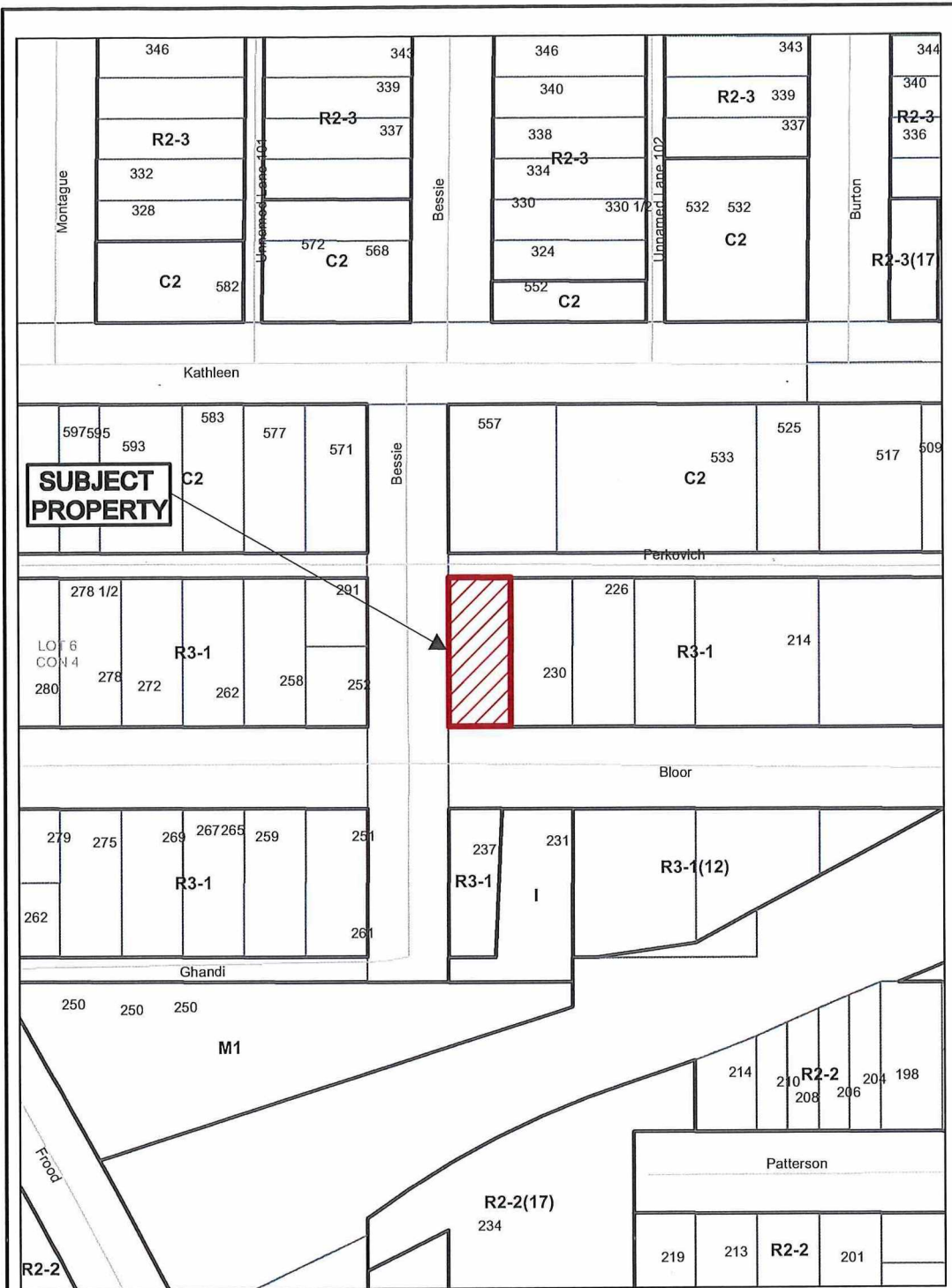
Variations are also included for lot frontage and density. Regarding frontage, we note that 234 Bloor is an existing lot of record; this relief is sought to formally recognize the lot's historic configuration within the R3-1 framework. Similarly, while Special Provision 9 in Table 6.5 offers significant flexibility for dwelling counts in this zone, a density variance is requested to ensure the project meets all technical interpretations of the by-law. These requests are technical in nature and do not alter the physical impact of the building on the streetscape.

The proposed development provides approximately 42% landscaped open space, exceeding the minimum required 30%, and the proposed lot coverage of approximately 40% remains well below the maximum permitted 50% in the R3-1 Zone.

In our opinion, the requested variations satisfy the four tests under Section 45(1) of the Planning Act, as the variations are minor in nature, maintain the general intent and purpose of both the Zoning By-law and Official Plan, and represent appropriate development of the land.

The proposal represents a positive reinvestment within an established neighborhood while contributing additional attainable housing within the City of Greater Sudbury. For these reasons, we respectfully request the Committee's support and approval of the requested variations.

Rohit Walia
C.R. Design

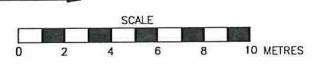
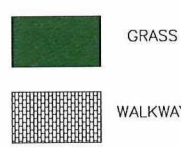
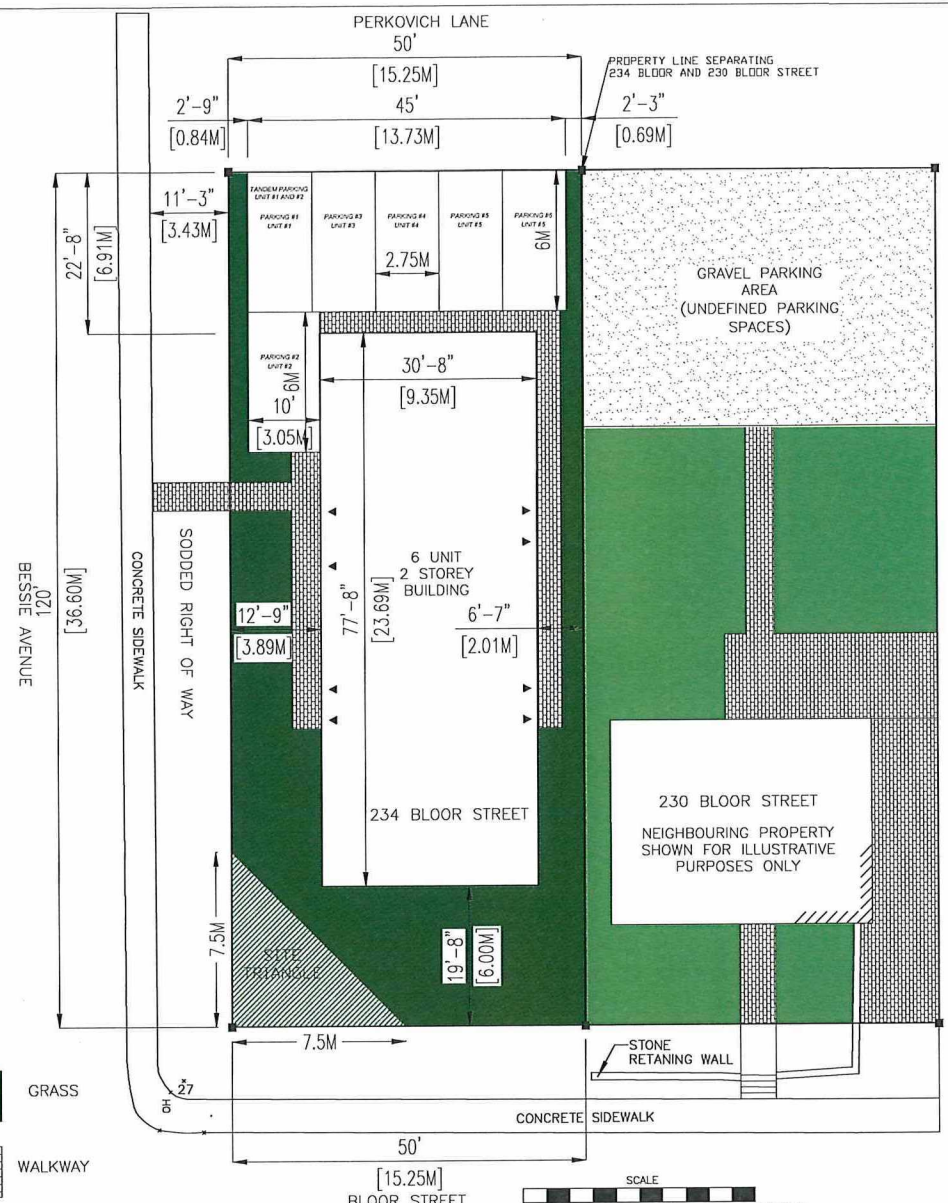
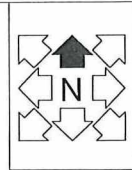


Application for Minor Variance or Permission

Subject Property being PIN 02135-0050,
 Lot 54, Plan 1-SC,
 Part Lot 6, Concession 4,
 Township of McKim,
 234 Bloor Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

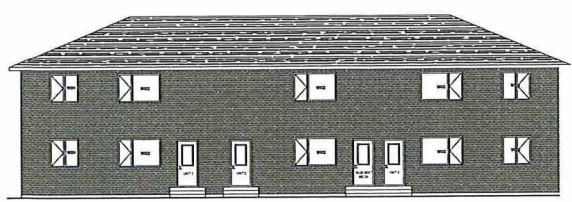
PL-MV-2026-00031
 Date: 2026 03 17



SITE STATISTIC TABLE		
CURRENT ZONING	R3-1	
REQUIRED / PROVIDED FOR PROPERTY	N/A / 557.4 m ²	
LOT AREA	50xTABLE 5 (R3-1 ZONING) 221.5 m ² (39.7%)	
TOTAL LOT COVERAGE	15.25M EXISTING LOT OF RECORD	
LOT FRONTAGE	18M+2M (CORNER LOT) 36.6M	
LOT DEPTH	30M	
BUILDING SETBACKS		
FRONT YARD	6M	6M
REAR YARD	7.5M	6.91M
SIDE YARD	1.8M	2.01M
CORNER SIDE YARD	4.5M	3.89M
BUILDING AREA	221.5 M ²	
GROSS FLOOR AREA	664.5 M ² (INCLUDES BASEMENT AREA)	
STOREYS ABOVE GRADE	2	
STOREYS BELOW GRADE	1	
BUILDING HEIGHT (R3-1 ZONE)	19M / 9M	
PARKING CALCULATION RATIO	1.5 PARKING PER UNIT 6x1.5 = 9 PARKING SPACES	6 (1 TANDEM) VARIANCE
LANDSCAPE OPEN SPACE %	30%	42% 235 M ²

VARIANCES REQUIRED			
	REQUIRED	PROPOSED	DIFFERENCE
REAR YARD SETBACK (BUILDING) TABLE 6.5	7.5M	6.91M	0.59M
CORNER SIDE YARD SETBACK (BUILDING) - TABLE 6.5	4.5M	3.89M	0.61M
CORNER SIDE YARD SETBACK (PARKING SPACE) - 5.2.4.3(D)	4.5M	0.84M	3.66M
PARKING SPACES TABLE 5.5	1.5 PARKING SPACE / PER UNIT (9 SPACES)	1 PARKING SPACE PER UNIT (6 SPACES)	3 SPACES
DOUBLE PARKING 5.2.9.1	EACH REQUIRED PARKING SPACE SHALL BE ACCESSIBLE AT ALL TIMES FOR PARKING A VEHICLE WITHOUT THE NECESSITY OF MOVING ANY OTHER VEHICLE	1 TANDEM SPACE WHERE NO TANDEM SPACE IS PERMITTED UNLESS THERE ARE 4 UNITS OR LESS ON THE PROPERTY	1 TANDEM SPACE
LOT FRONTAGE TABLE 6.5	18M+2M FOR MULTIPLE DWELLING BUILDINGS = 20M	15.25M EXISTING UNDERSIZED LOT OF RECORD	4.75M
DENSITY PER UNIT TABLE 6.5	110M ² PER UNIT - NO MAXIMUM FOR R3-1 ZONING (AS PER SPECIAL PROVISIONS #9, TABLE 6.5)	92.5M ² PER UNIT	17.1M ² PER UNIT

NOTE:
BICYCLE PARKING WILL BE IN A STORAGE AREA IN THE BASEMENT, WHICH IS PERMITTED AS PER 5.8(c) OF THE ZONING BYLAW. THE OWNER WOULD PREFER TO AVOID POTENTIAL THEFT OF TENANT'S PROPERTY.



WEST ELEVATION (BESSIE AVENUE)



PROJECT	6 UNIT MULTIPLE DWELLING	DATE	2026-05-06	SHEET	PP
CLIENT	234 BLOOR STREET, SUDBURY	SCALE	1/8"=1'-0"		
TITLE	Plot Plan				



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00061

APPLICATION SUMMARY

File Date: 04/29/2026

Application Type: Minor Variance

Address(es): 219 Hyland Drive, Sudbury P3E 1R7

Applicant(s): ANTHONY FARRUGIA

Owner(s): SEBASTIAN GONZALEZ

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

June 20th, 2025

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

Excavate and replace existing footings of front addition to bring into compliance with OBC

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The existing dwelling structure and subsequent additions were built at an unknown time without the necessary setbacks

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

12.19

Lot Depth of the property

36.58

Lot Area of the property

445.91

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Covered Porch - Unknown

Closed Porch - Unknown

Detached Dwelling - 1940

Deck - Unknown

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Single Family, Residential - 1940

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

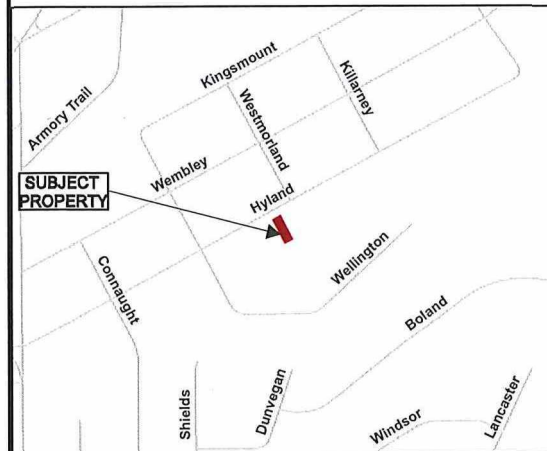
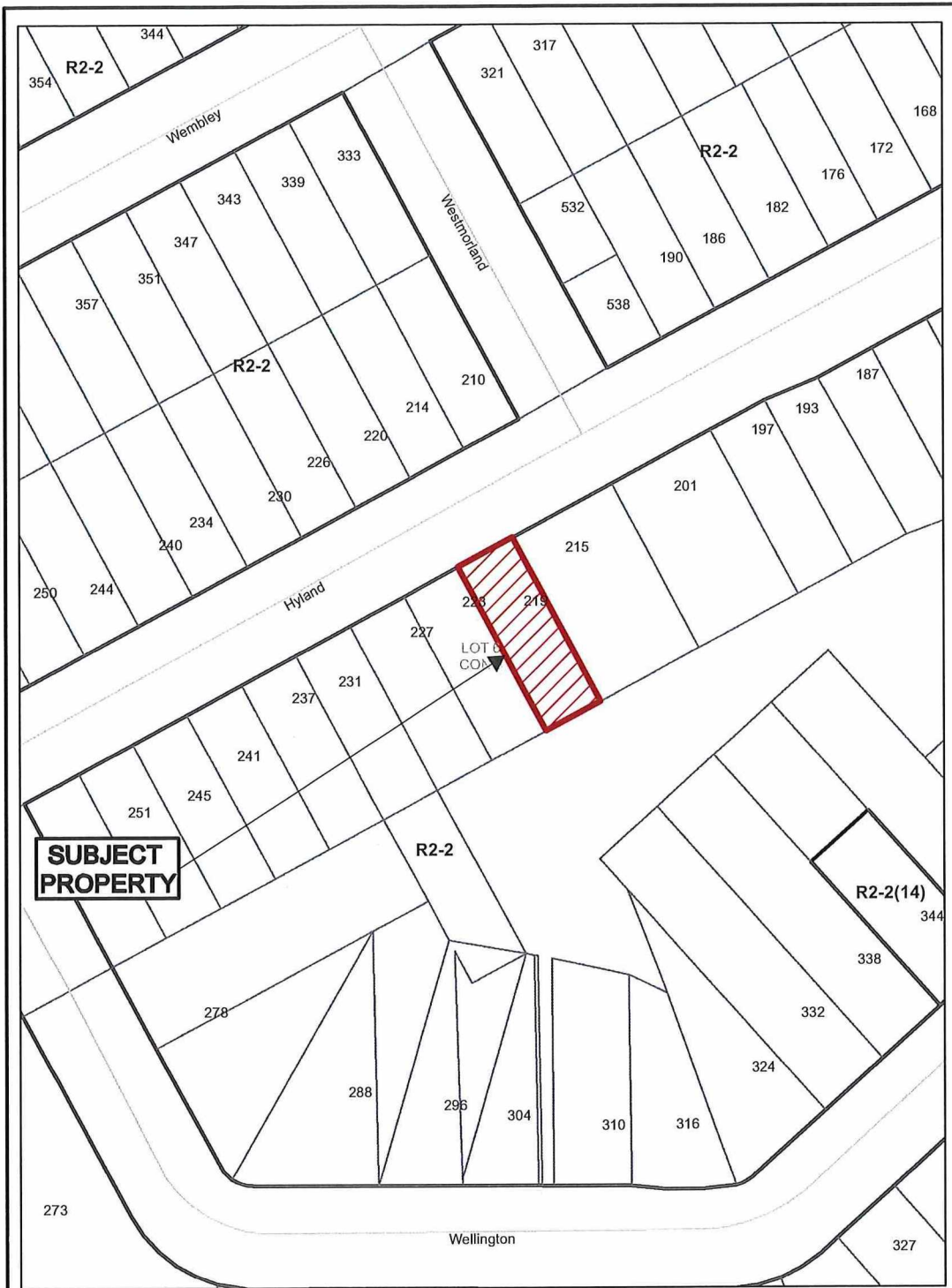
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Dwelling, Single Family with addition of closed porch	No	101.82	101.82	1	7.16	14.22	5.49	4.8	17.56	4.02	0.67
Covered Porch	No	5.28	5.28	1	2.41	2.21	5.17	4.94	29.38	4.02	5.72

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Detached Dwelling, Single Family	No	85.99	85.99	1	7.16	12.01	5.49	7.01	17.56	2.99	0.67
Deck, to be converted to covered porch	No	5.28	5.28	1	2.39	2.21	0.81	3.3	29.38	4.02	5.72

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Section 6.3 Zone Standards, Table 6.3, for the addition of a closed porch in R2-2	Minimum Required Front Yard, 6.0 m	4.80 m	1.20 m
Section 6.3 Zone Standards, Table 6.3, for the addition of a closed porch in R2-2	Minimum Required Interior Side Yard, 1.2 m	0.94 m	0.26 m



Application for Minor Variance or Permission



Subject Property being PIN 73585-0209,
 Parcel 7904 SEC SES,
 Lot 539, Plan M-95,
 Part Lot 6, Concession 3,
 Township of McKim,
 219 Hyland Drive, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

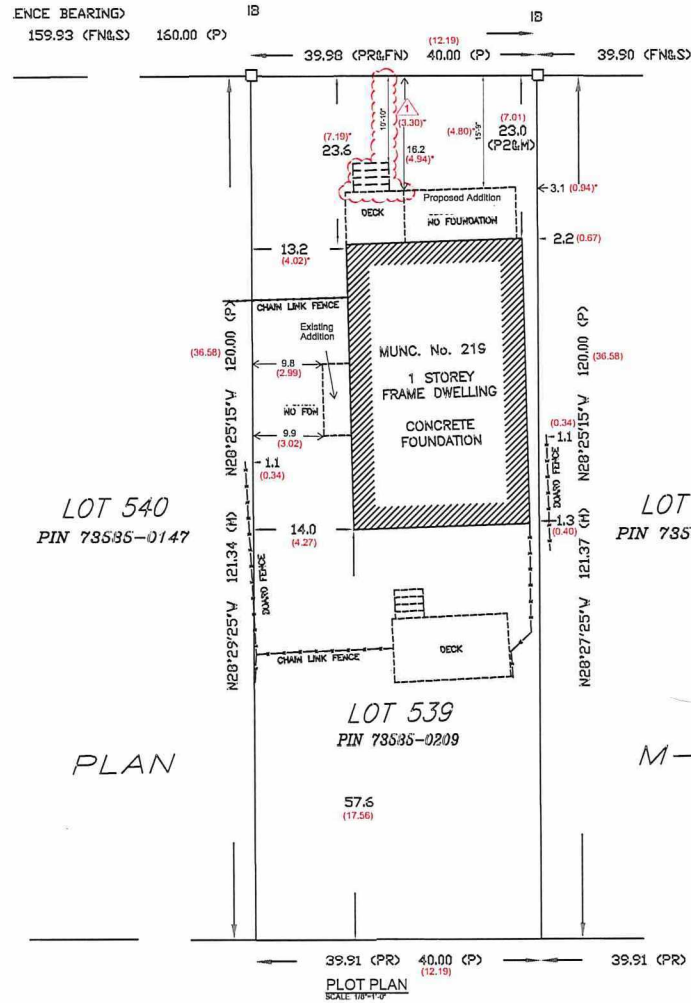
PL-MV-2026-00061
 Date: 2026 05 04



HYLAND DRIVE

PIN 73535-0023

*All dimensions are measured from the closest point of the structure to the lot line.
However, wherever convenient, dimensions may be indicated elsewhere for clarity and notated as such.



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ENGINEERS IMMEDIATELY OF ANY DISCREPANCY OR VARIATION FROM THE DRAWINGS.
THIS DRAWING AND THE DESIGN AND INFORMATION IT CONTAINS, IS THE PROPERTY OF THE ENGINEERS AND MAY NOT BE REPRODUCED OR USED OTHERWISE THAN ON THE SPECIFIED PROJECT WITHOUT THEIR WRITTEN PERMISSION.
DO NOT SCALE DRAWINGS.

Rev	Description	Date
0	ISSUED FOR CONSTRUCTION	OCT. 20, 2025
1	ISSUED FOR REVISION	DEC. 15, 2025
2		
3		
4		
5		
6		

NOTES



CDCD ENGINEERING LIMITED
CONSULTING ENGINEERS
300 Cedar Street
Sudbury, Ontario, P3B 1M8
Tel: (705) 674-4447
Fax: (705) 674-7839
Email: info@cdcdeengineering.com
www.cdcdeengineering.com

NEW ADDITION AND WOOD DECK
219 HYLAND DRIVE, SUDBURY ON P3E 1R7

PLOT PLAN

Print Date:	DEC. 15, 2025
Drawn by:	BSA
Checked by:	AS NOTED
Scale:	AS NOTED
Job No.:	EO25159
Drawing No.:	A0
Rev.:	1

PAPER SIZE: 24x36"

I:\2 - L&L\2025\anuga Group\EO25159 (219 Hyland Dr) Oct 24\Dept\Arch\01\CAD\CHUP.dwg

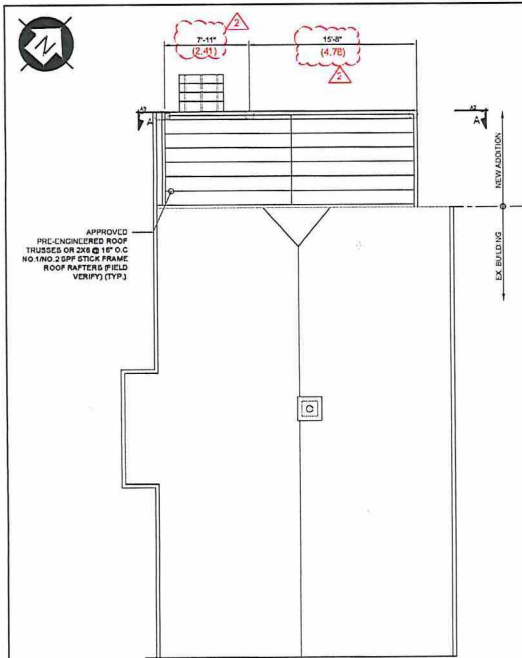
PL-MV-2026-00061
Sketch 2



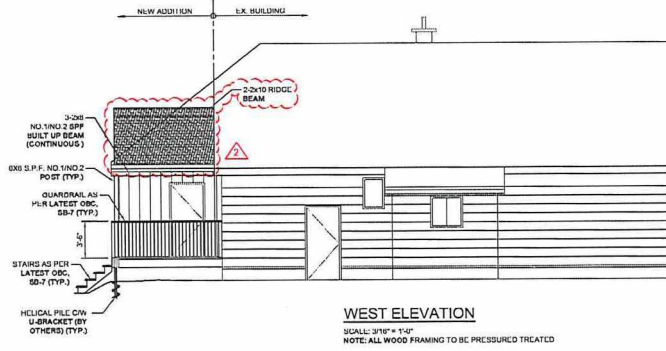
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Sketch3



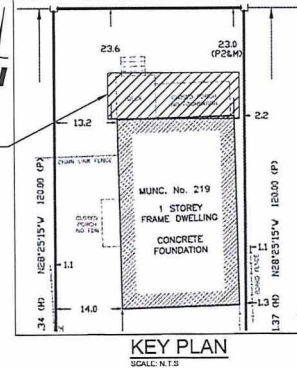
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Sketch 4



ROOF PLAN
SCALE: 3/16" = 1'-0"
NOTE: ALL WOOD FRAMING TO BE PRESSURE TREATED



WEST ELEVATION
SCALE: 3/16" = 1'-0"
NOTE: ALL WOOD FRAMING TO BE PRESSURE TREATED



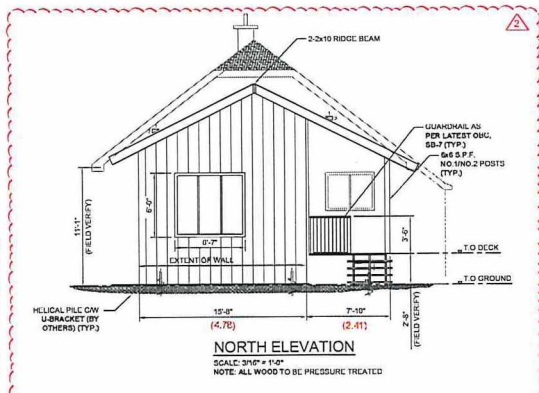
KEY PLAN
SCALE: N.T.S.

ZONE 2: SB-12 ENERGY REQUIREMENTS IN HOMES
SUDBURY, ONTARIO CLIMATIC DATA: HDD 5180 + 8000

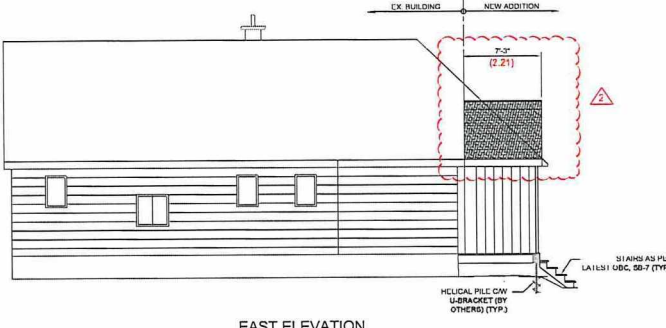
COMPLIANCE PACKAGE TABLE 3.1.3.A (RP)	PRESCRIPTIVE, AS MINIMUM REQUIREMENTS
GLASS RATIO	WALL AREA 36.5m ² GLASS AREA 3.67m ² % GLASS TO WALL 10% < 17%
FUEL SUPPLY	GAS (G)
CEILING WITH ATTIC SPACE	R20 (EFFECTIVE R50.22)
WALLS ABOVE GRADE	R24 (EFFECTIVE 114.1)
HEATED SLAB OR SLAB < 600 BELOW GRADE	R10 (EFFECTIVE 11.13)
EXPANDED FLOOR	R20 (EFFECTIVE 29.80)
EDGE OF BELOW GRADE SLAB < 600 BELOW GRADE	R10
WINDOWS AND SLIDING GLASS DOORS	MAX U0.25 ENERGY RATING - 29
SKYLIGHTS	MAX U0.49
SPACE HEATING EQUIPMENT	MIN AFUE - 92%
HRV	MIN AFUE - 75%
DOMESTIC WATER HEATER	MIN EF - 0.70

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND REVISIONS OF ONTARIO BUILDING CODE, ELECTRICAL CODE, LOCAL BY-LAWS AND BUILDING CONTROL REQUIREMENTS.
 - INSTALLING CONTRACTOR SHALL EXAMINE THE SITE AND VERIFY ALL REQUIRED RELEVANT DIMENSIONS AND CONDITIONS WHICH WILL AFFECT HIS WORK PRIOR TO FABRICATION AND CONSTRUCTION.
 - ALL STRUCTURAL STEEL DESIGN, FABRICATION AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE CANADIAN INSTITUTE OF STEEL CONSTRUCTION APPLICABLE CODES AND SPECIFICATIONS AND THE REQUIREMENTS OF THE NATIONAL AND ONTARIO BUILDING CODE.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS WITH ARCHITECTURAL DRAWINGS. REPORT ANY DISCREPANCIES TO STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK IS CARRIED OUT IN ACCORDANCE WITH MINISTRY OF LABOUR REQUIREMENTS AS WELL AS THE OCCUPATIONAL HEALTH AND SAFETY ACT.
 - IN CASE OF CONFLICTING INFORMATION GIVEN BETWEEN CONTRACT DRAWINGS AND SPECIFICATIONS THE MORE STRINGENT SHALL GOVERN OR CONTRACTOR MUST SEEK CLARIFICATION IN WRITING FROM ENGINEER.

- STRUCTURAL WOOD NOTES**
- CONFORM TO CSA 906 "ENGINEERING DESIGN IN WOOD".
 - MATERIALS:
 - LUMBER CONFORMING TO CSA 94.1
 - 1.1.1 SPRUCE-PINE-FIR (SPF) MINIMUM 2 MINIMUM 31 UD GRADE IN NOT PERMITTED IN STRUCTURAL WORK.
 - 1.1.2 KSH DRIED WITH MAXIMUM MOISTURE CONTENT OF 18%
 - 1.1.3 COLUMNS: 1700F+3E MINIMUM
 - 1.1.4 ALL MEMBERS TO BE PRESSURE TREATED.
 - NAILS:
 - 2.1.1 NAILS TO BE COMMON ROUND STEEL WIRE CONFORMING TO CSA B11 DO NOT SUBSTITUTE WITH BOX OR PNEUMATIC NAILS UNLESS SPECIFICALLY NOTED IN THE DOCUMENTS.
 - 2.1.2 PLYWOOD TO BE CANADIAN SOFTWOOD PLYWOOD CONFORMING TO CSA 916.
 - 2.1.3 ORIENTED STRANBOARD (OSB) TO BE TYPE 0-1 MINIMUM CONFORMING TO CSA 647.3 PROVIDE ALL REQUIRED TEMPORARY BRACING TO ALLOW FOR SAFE ERECTION AND INSTALLATION OF ALL TRUSSES. REFER TO GUIDELINE "HANDLING, ERECTION AND BRACING OF WOOD TRUSSES" PRODUCED BY THE TRUSS PLATE INSTITUTE OF CANADA.
 - 2.1.4 REFER TO BC51 SUMMARY SHEET "PERMANENT RESTRAINT BRACING OF CHORDS AND WEB MEMBERS" FOR ALL REQUIRED PERMANENT BRACING. TEMPORARY BRACING INSTALLED AND CONNECTED TO MEET REQUIREMENTS OF PERMANENT BRACING CAN REMAIN AS PERMANENT BRACING.
 - 2.1.5 ALL CONNECTORS BY EMPLOY STRONG-TIE OR EQUIVALENT APPROVED BY THE CONSULTANT PRIOR TO CONSTRUCTION.
 - 2.1.6 CONNECT BUILT-UP MEMBERS AS PER THE TYPICAL DETAILS OR AS RECOMMENDED BY THE SUPPLIER (FOR STRUCTURAL COMPOSITE LUMBER) UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.
 - 2.1.7 SPLICES ARE NOT PERMITTED IN BUILT-UP MEMBERS.
 - 2.1.8 PROVIDE PRESSURE-TREATED WOOD OR FOAM GASKET BETWEEN WOOD IN CONTACT WITH MASONRY OR CONCRETE.
 - 2.1.9 GUE AND NAIL ALL FLOOR SHEATHING TO THE FRAMING. UNLESS OTHERWISE NOTED, ALL NAILING IS SHALL CONFORM WITH PART 9 OF THE ONTARIO BUILDING CODE.
 - 2.1.10 DO NOT NOTCH STRUCTURAL WOOD MEMBERS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER AND/OR CONSULTANT.
 - 2.1.11 DO NOT DRILL HOLES IN BEAMS, COLLARS OR PROPRIETARY WOOD MEMBERS UNLESS APPROVED IN WRITING BY THE DESIGNER. HOLES DRILLED IN STUDS, TOP/BOTTOM PLATES AND JOIST CHAINS ARE NOT TO EXCEED 20% OF THE MEMBER DEPTH AND SHALL NOT BE CLOSER THAN 80 (2) TO ANY EDGE OF THE MEMBER SPLICE AND ACCEPT HOLES NO CLOSER THAN 4x THE LARGER HOLE DIAMETER.



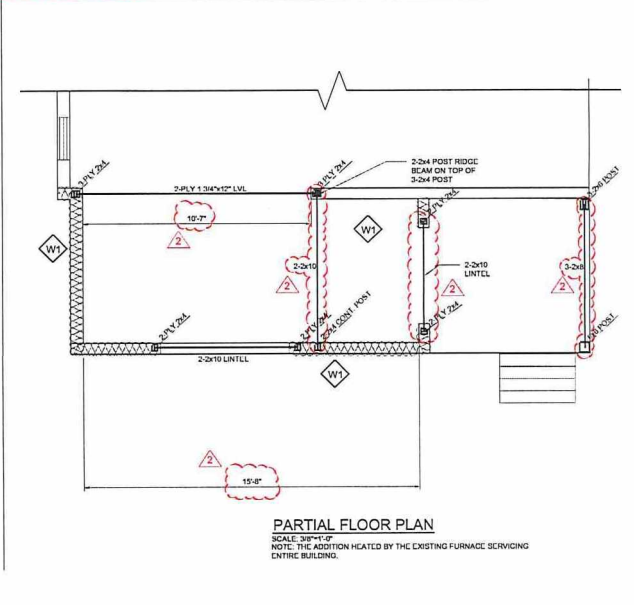
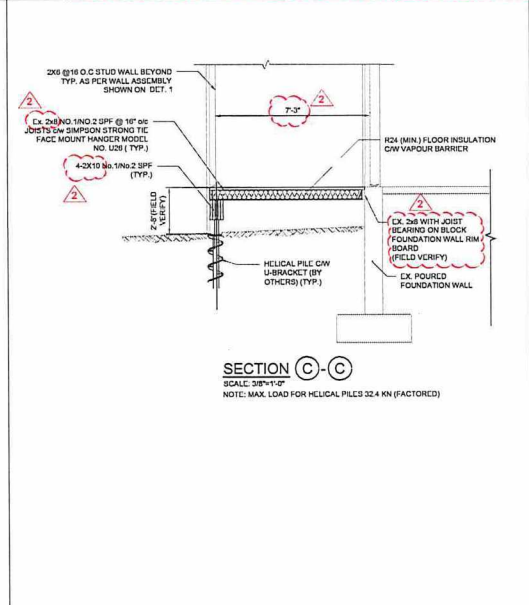
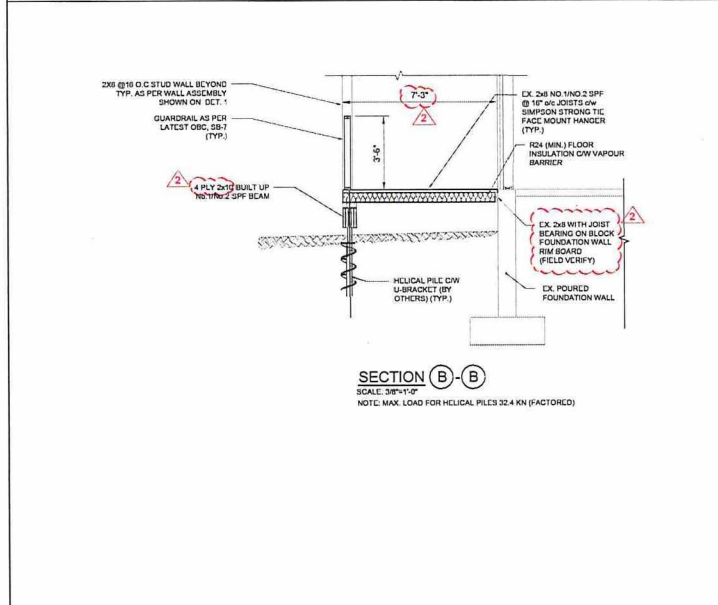
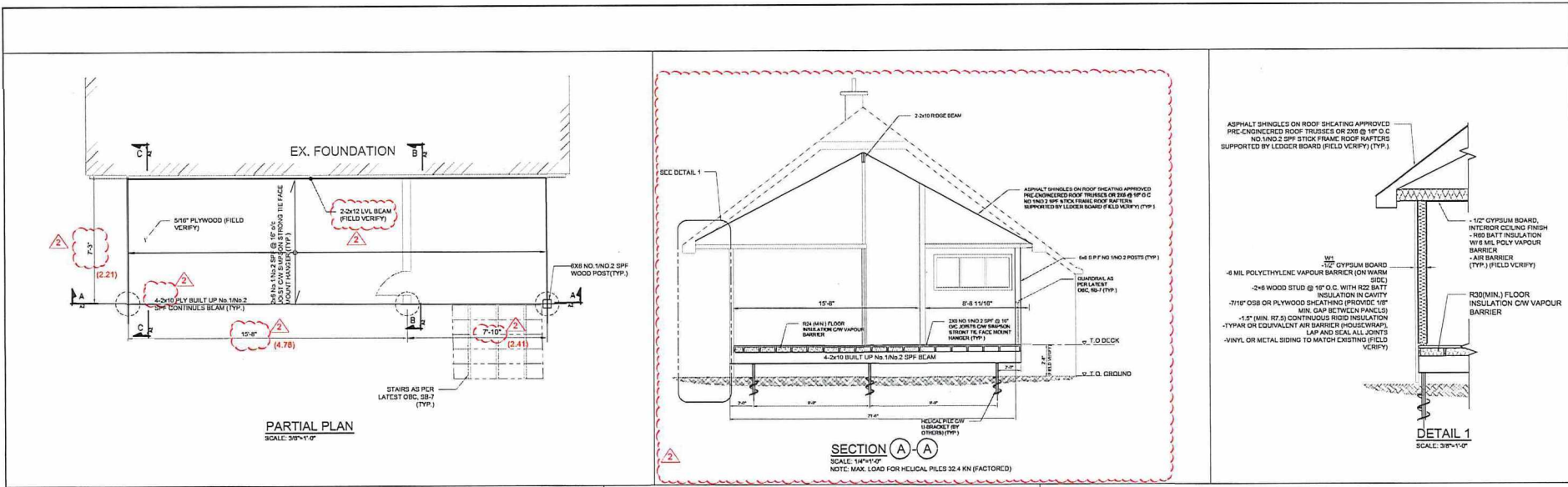
NORTH ELEVATION
SCALE: 3/16" = 1'-0"
NOTE: ALL WOOD TO BE PRESSURE TREATED



EAST ELEVATION
SCALE: 3/16" = 1'-0"
NOTE: ALL WOOD FRAMING TO BE PRESSURE TREATED

SUBMISSION RECORD			NOTES				CDGD ENGINEERING LIMITED CONSULTING ENGINEERS 300 Crick Street Sudbury, Ontario P1B 1M8 Tel: (705) 874-4141 Fax: (705) 874-4139 Email: info@cdgdesign.com www.cdcdesign.com	NEW ADDITION AND WOOD DECK 219 HYLAND DRIVE, SUDBURY ON P3C 1R7	PLAN ELEVATIONS AND SECTION	Issue Date:	DATE: 13. 2023	
Rev	Description	Date								Drawn by:	BAR	Checked by:
0	ISSUED FOR CONSTRUCTION	OCT. 10. 2023			Drawn No.:		Checked No.:				1	2
1	ISSUED FOR REVISION	OCT. 26. 2023										
2	ISSUED FOR REVISION	DEC. 15. 2023										
3												
4												
5												

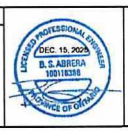
PL-UV-2026-0006d
Sketch 5



-THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ENGINEERS IMMEDIATELY OF ANY DISCREPANCY OR VARIATION FROM THE DRAWINGS.
-THIS DRAWING, AND THE DESIGN AND INFORMATION IT CONTAINS, IS THE PROPERTY OF THE ENGINEERS AND MAY NOT BE REPRODUCED OR USED OTHERWISE THAN ON THE SPECIFIED PROJECT WITHOUT THEIR WRITTEN PERMISSION.
-DO NOT SCALE DRAWINGS.

SUBMISSION RECORD		
Rev	Description	Date
0	ISSUED FOR CONSTRUCTION	OCT. 10, 2025
1	ISSUED FOR REVISION	OCT. 30, 2025
2	ISSUED FOR REVISION	DEC. 15, 2025
3		
4		
5		
6		

NOTES



CDCE ENGINEERING LIMITED
CONSULTING ENGINEERS
303 Cedar Street
Sudbury, Ontario, P3B 1M8
Tel: (705) 674-8457
Fax: (705) 674-7839
Email: info@cdceengineering.com
www.cdceengineering.com

Drawn Date: DEC 15, 2025
Drawn by: RAB
Checked by: BSA
Scale: AS NOTED
Job No.: EC25159
Drawing No.:
Rev:

NEW ADDITION AND WOOD DECK
219 HYLAND DRIVE, SUDBURY ON P3E 1R7

PLAN SECTIONS

A2 **2**

PL-MV-2026-00061
Sketch b



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00062

APPLICATION SUMMARY

File Date: 04/30/2026

Application Type: Minor Variance

Address(es): 303 O'Neil Drive, Garson P3L 1J3, 307 O'Neil Drive, Garson, Ontario P3L 1J3, 303 /307 O'Neil Drive, Garson, Ontario P3L 1J3

Applicant(s): GREATER SUDBURY HOUSING CORPORATION

Owner(s): GREATER SUDBURY HOUSING CORPORATION

PLANNING APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

303 and 307 O'Neil Drive East semi detached

What is the date the current Owner(s) acquired the property?

1970

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

2

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Living Area I

Current Zoning By-law designation

R3.D60

Provide a detailed description of what is being proposed

Request to keep two current driveways (1968) on 1 property to accommodate a semi detached dwelling

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Section 5.4.2. c) to permit the two existing driveways

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

22.098

Lot Depth of the property

30.48

Lot Area of the property

655

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Semi-Detached Dwellings

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

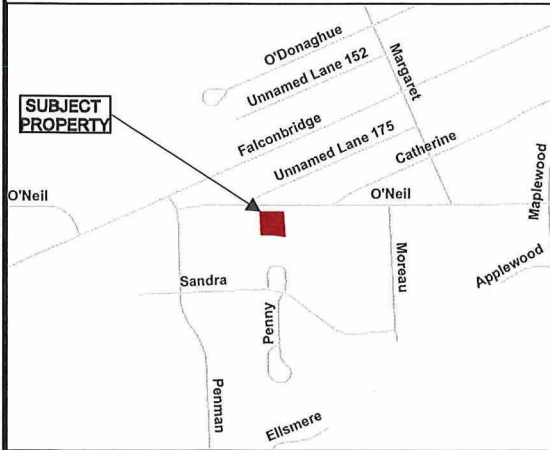
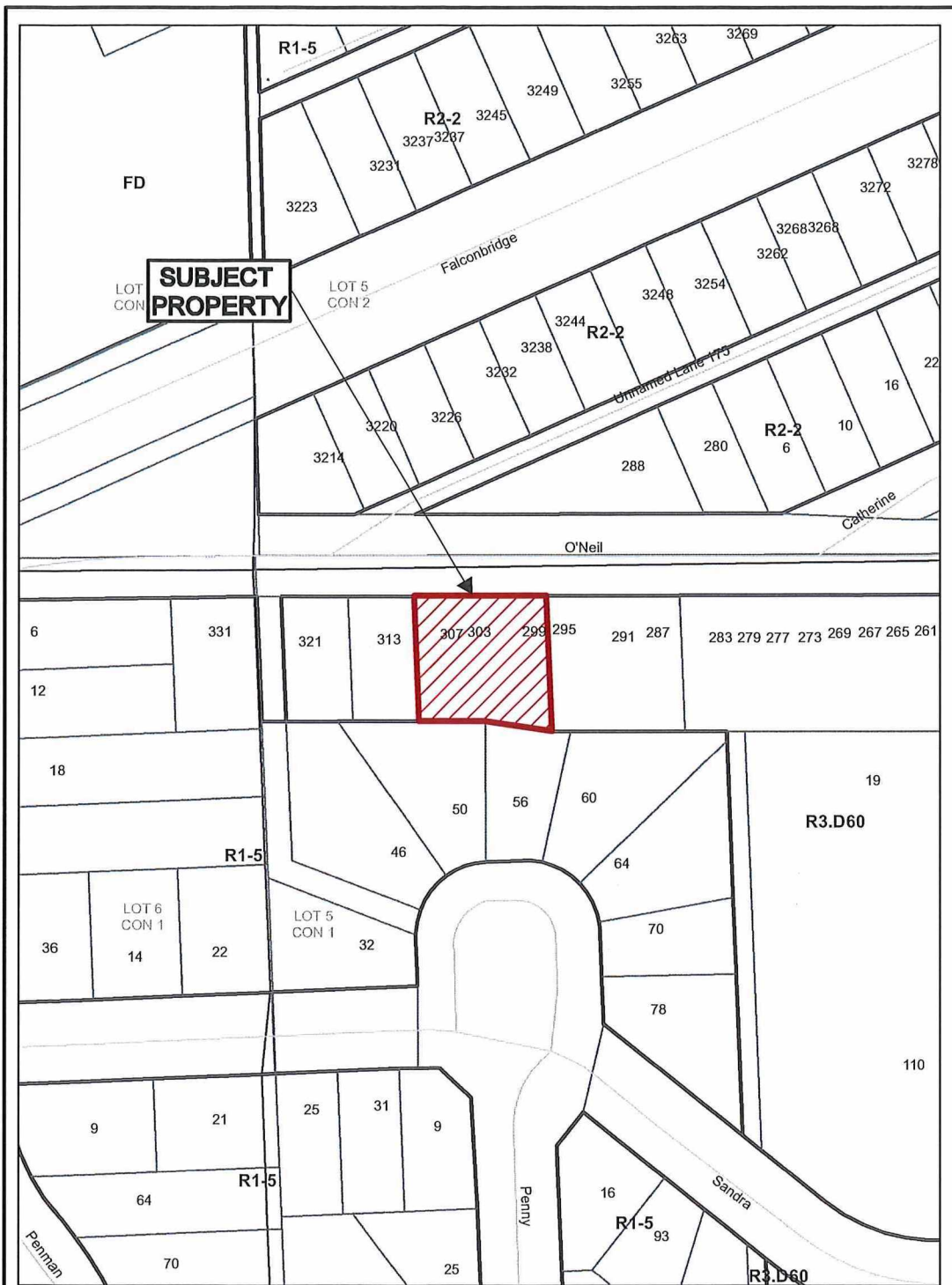
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
303 and 307 O'Neil Drive East	Yes										

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
303 and 307 O'Neil Drive East	No	100.3	198.07	2	12.7	7.9	8.54	7.84	14.51	5.07	4.29

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Section 5.4.2. c) - Request to keep two current driveways on 1 property to accommodate two semi detached dwelling units	Section 5.4.2. c) only one driveway permitted on one lot	2 driveways on one lot	1



Application for Minor Variance or Permission



Subject Property being PIN 73494-0430, Parcel 33092 SEC SES SRO, Part of Lots 3 & 4, Plan M-690, Part Lot 5, Concession 1, Township of Garson, 303 and 307 O'Neil Drive, Garson, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00062
Date: 2026 05 04

SURVEYOR'S REAL PROPERTY REPORT – PART 1
 PLAN OF SURVEY OF
 ALL OF LOTS 3 TO 6 (INCLUSIVE)
 REGISTERED PLAN M-690
 GEOGRAPHIC TOWNSHIP OF GARSON
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY

SCALE 1 : 250 METRES
 0 1 2 3 4 5 10 20 30
 SURVEYORS ON SITE INC. © 2024

PART 2
 THIS PLAN MUST BE READ IN CONJUNCTION WITH A SURVEY REPORT DATED MAY __, 2024.
 THIS REPORT WAS PREPARED FOR GREATER SUDBURY HOUSING CORPORATION AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

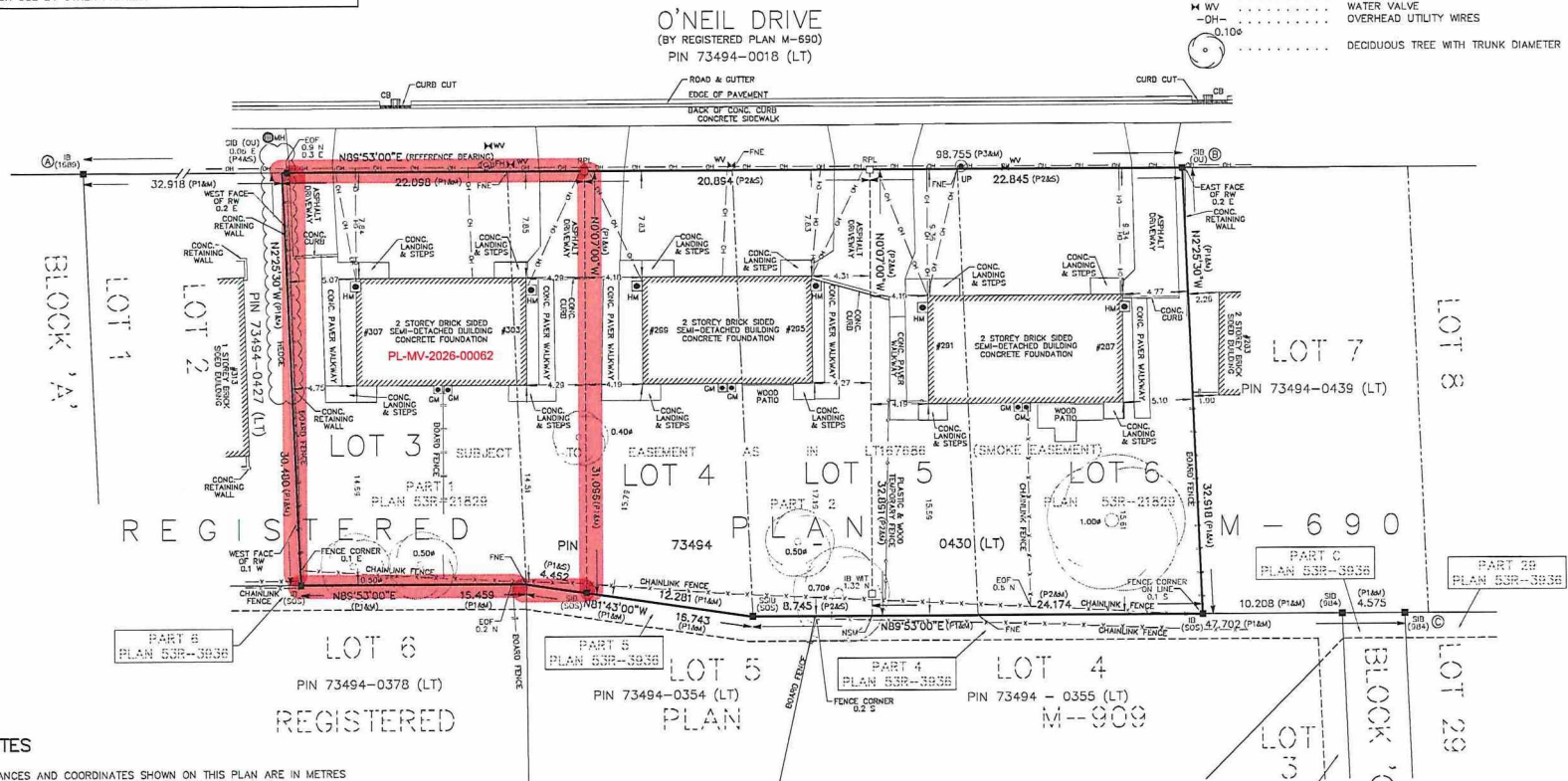
COORDINATES BELOW ARE DERIVED FROM NETWORK RTK GPS OBSERVATIONS (SMARTNET) AND ARE REFERRED TO UTM ZONE 17, NAD83 (CSRS) (2010.0).
 COORDINATES COMPLY WITH THE URBAN ABSOLUTE ACCURACY PER SEC. 14(2) OF O.REG. 215/10.

POINT ID	NORTHING	EASTING
(A)	5155211.701	509845.091
(B)	5155211.931	509943.808
(C)	5155179.065	509959.952

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND

□	MONUMENT PLANTED
■	MONUMENT FOUND
SIB	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR
IB	IRON BAR
RPL	ROCK PILING
M	MEASURED
S	SET
WT	WITNESS
FNE	FOUND NO EVIDENCE
NSM	NOT SUITABLE FOR MONUMENTATION
P1	PLAN 53R-21829
P2	PLAN SR-1915
P3	REGISTERED PLAN M-690
984	MURRAY R. MAHER, O.L.S.
1589	BARTOLUSSI SURVEYING INC.
984	MURRAY R. MAHER, O.L.S.
SOS	SURVEYORS ON SITE INC.
OU	ORIGIN UNKNOWN
EF	END OF FENCE
RW	RETAINING WALL
CB	CATCH BASIN
FT	FIRE TRENCH
FM	FIRE METER
HM	HYDRO METER
MH	MANHOLE
UP	UTILITY POLE
WV	WATER VALVE
OH	OVERHEAD UTILITY WRES
○	DECIDUOUS TREE WITH TRUNK DIAMETER



NOTES

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DISTANCES ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE AVERAGE COMBINED SCALE FACTOR OF 0.999560.

BEARINGS ARE UTM GRID DERIVED FROM NETWORK RTK GPS OBSERVATIONS (SMARTNET) ON MONUMENTS (A) AND (B) AS SHOWN HEREON, HAVING A GRID BEARING OF N89°53'00"W, NAD83 CSRS (2010.0) AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (81° W LONGITUDE).

FOR BEARING COMPARISONS, THE FOLLOWING ROTATIONS WERE APPLIED:
 P2 & P3 - 0°04'30" COUNTER-CLOCKWISE

ALL BUILDING TIES SHOWN HEREON ARE TO THE FACE OF BRICK UNLESS OTHERWISE NOTED.

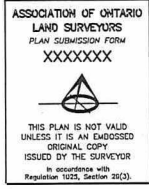
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 27th DAY OF APRIL, 2024.

MAY __, 2024

RYAN WILLIAM SEGUIN
 ONTARIO LAND SURVEYOR



50 WHITEWOOD AVENUE
 NEW LISKEARD, ONTARIO
 P0J 1P0
 705-622-0872
 www.surveyorsonsite.com

DRAWN BY: BS CHECKED BY: PWS DATE: MAY __, 2024 FILE: SUD2024-019_SPPV_v1

PL-MV-2026-0062
 Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00064

APPLICATION SUMMARY

File Date: 05/04/2026

Application Type: Minor Variance

Address(es): 171 Edgewater Road, Sudbury P3G 1J8

Applicant(s): ADAM WHITBY

Owner(s): MEGAN MESSENGER

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

10JUL2019

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-2

Provide a detailed description of what is being proposed

A 4.87m x 7.31m Detached garage

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Lot is only 30m deep. Zoning does not allow for garage within 30m.

Only spot available on lot due to septic and terrain will require setback from lot line to be decreased.

Is there an eave encroachment?

Yes

Size of eaves

0.5

Lot Frontage of the property

30.48

Lot Depth of the property

31.78

Lot Area of the property

968.65

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

Residence - 2002 (approx)

Shed - 2002 (approx)

Deck - 2023

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

residential - 1950 approx.

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Yes

Have you consulted with the Strategic and Environmental Planning department regarding this relief?
Yes

Have you consulted with Conservation Sudbury regarding this relief?
Yes

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage	No	35.6	35.6	1	4.87	7.31	5	1.2	23	9.75	15.85

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Residence	No	147.4	294.8	1	13.4	11	6	9	11.87	2.4	15
shed	No	8.64	8.64	1	2.4	3.6	4	9.5	18.6	10.8	17.62
deck	No	83.16	83.16	1	8.53	9.75	2	20.71	3	7.6	12.5

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.41.2 Setback Requirements for Residential Buildings and Accessory Structures	30	23	7
6.3 ZONE STANDARDS Front yard set back	6	1.2	4.8

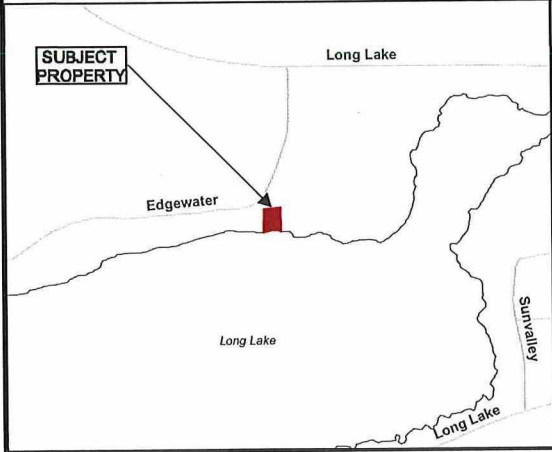
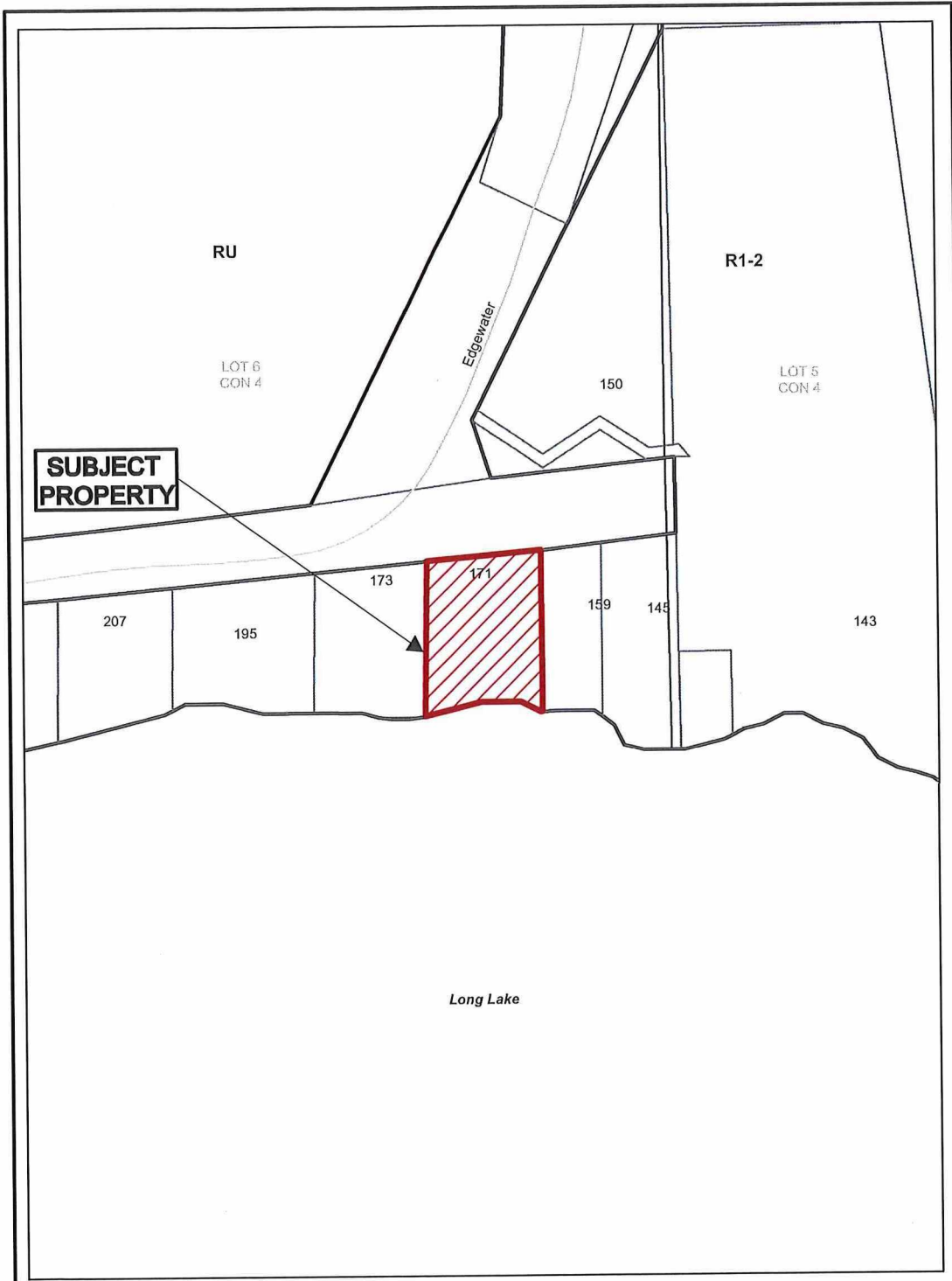
Explanation of requested variance.

In 2019 my spouse and I purchased this house located at 171 Edgewater Road Sudbury. At that time, it was just the two of us purchasing our dream house on Long Lake. Over the years, our family has grown and as such storage and expandable spaces are limited on our property.

We try our best to maintain our yard and waterfront as natural as possible, while balancing the enjoyment of our property and lake life. Through onsite consultation with Public Health Sudbury and the Conservation Authority, the only location for our garage would be the location to which the minor variance is requested. This would alleviate the request for further decrease in the buffer zone allowance.

Although we are seeking to have the garage close to the property line, this particular location is still over 50 feet from the travelled portion of Edgewater Road. The garage would also not interfere with any neighboring views or site lines.

PL-MV-2026-00064



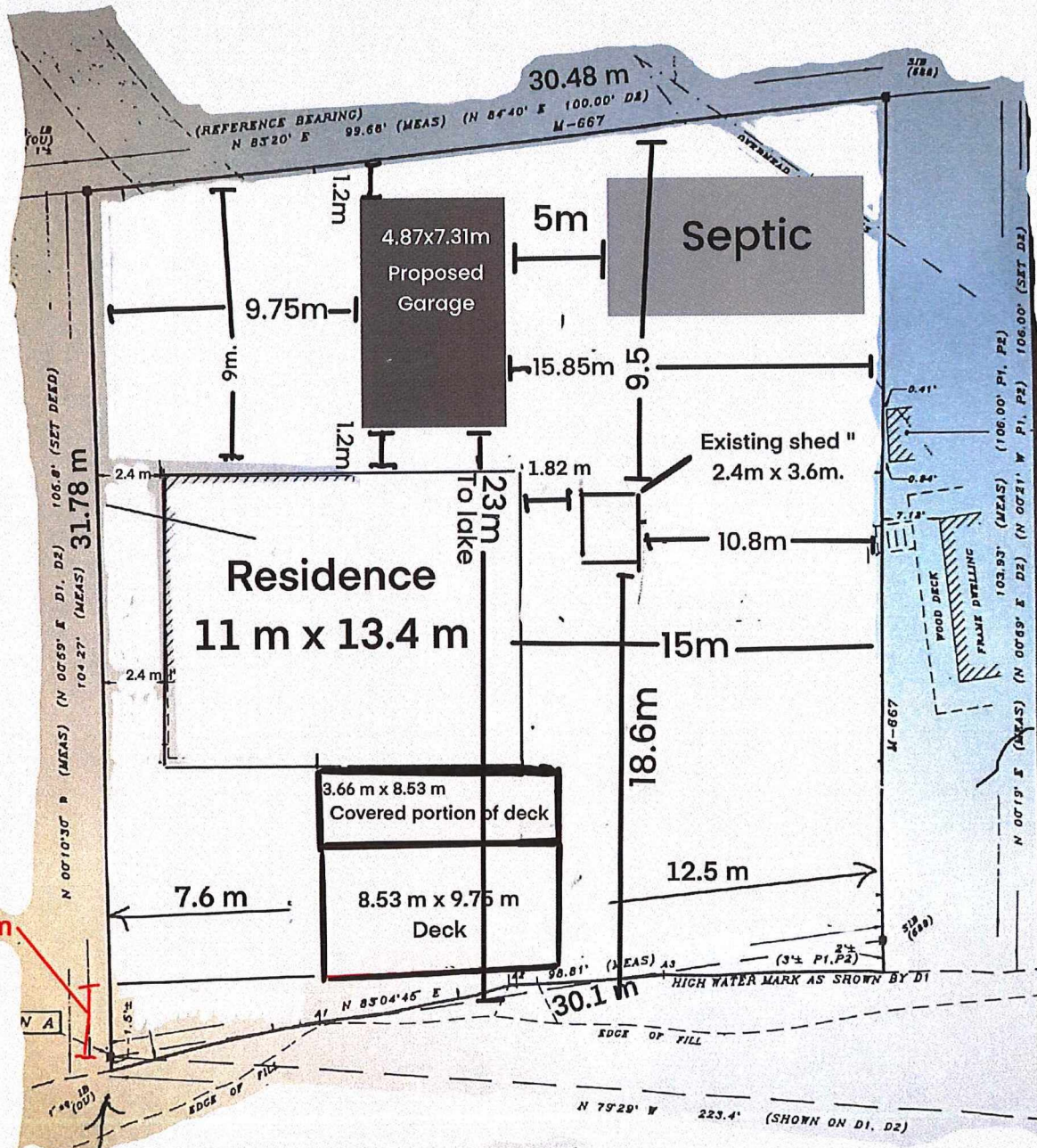
Application for Minor Variance or Permission



Subject Property being PIN 73476-0125, Parcel 9554 SEC SES, as in LT52283, Part Lot 6, Concession 4, Township of Broder, 171 Edgewater Road, Sudbury, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00064
Date: 2026 05 06



LONG LAKE

HIGH WATER MARK NOTE
 THE LIMIT OF LONG LAKE SHOWN HEREON IS THE BEST AVAILABLE EVIDENCE OF THE ORIGINAL HIGH WATER MARK OR WATER'S EDGE EXISTING AT THE TIME OF THE ORIGINAL SURVEY OF THE TOWNSHIP OF BRODER

PL-MV-2026-00064
 Sketch 2



PL-MV-2026-00064
Sketch 3



Public Health
Santé publique
SUDBURY & DISTRICTS

Monday, May 04, 2026

Megan Messenger Adam Whitby
171 Edgewater Road
Sudbury, ON P3G1J8

Dear Megan Messenger Adam Whitby:

Re: Application for a Renovation Permit
File Number: 104-26-RE007

Lot: 4	Conc: 6	Parcel: 9554
Plan:	Sublot:	Other:
Legal Address: 171 Edgewater Road, Sudbury, ON P3G 1G8		
Township: Broder		
Municipality: City of Greater Sudbury		
District: Sudbury		
Owners' Name: Megan Messenger Adam Whitby		

The owner(s) proposes to construct a 16'x24' detached garage without plumbing or living space.

Further to your application received on April 17, 2026, the proposal as submitted would not appear to contravene the *Ontario Building Code* respecting sewage systems.

Therefore, Public Health Sudbury & Districts has no objection at this time. We recommend, however, that the existing sewage system be protected from damage during the new construction.

Yours truly,

Ryan Auld, BAsC, MSc, CPHI(C.)
Public Health Inspector
Health Protection Division

RA:as

cc: It should be noted that a copy of this letter may be required by the owner/applicant when applying for a building permit from the City of Greater Sudbury.

Sudbury

1300 rue Paris Street
Sudbury ON P3E 3A3
t: 705.522.9700
f: 705.522.5182

Elm Place

10 rue Elm Street
Unit / Bureau 130
Sudbury ON P3C 5N3
t: 705.522.9200
f: 705.677.9611

Sudbury East / Sudbury-Est

1 rue King Street
Box / Boîte 58
St.-Charles ON P0M 2W0
t: 705.222.9201
f: 705.867.0474

Espanola

800 rue Centre Street
Unit / Bureau 100 C
Espanola ON P5E 1J3
t: 705.222.9202
f: 705.869.5583

Île Manitoulin Island

6163 Highway / Route 542
Box / Boîte 87
Mindemoya ON P0P 1S0
t: 705.370.9200
f: 705.377.5580

Chapleau

34 rue Birch Street
Box / Boîte 485
Chapleau ON P0M 1K0
t: 705.860.9200
f: 705.864.0820

toll-free / sans frais

1.866.522.9700

phsd.ca

Public Health
Santé Publique

PL-MV-2026-00064
Sketch 4



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00065

APPLICATION SUMMARY

File Date: 05/05/2026

Application Type: Minor Variance

Address(es): 4404 Odile Street, Hanmer P3P 1L9

Applicant(s): MOE PAQUETTE

Owner(s): MOE PAQUETTE

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2014

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan

IPZ part IV
WHPA
Subwatershed

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Addition to front of house for entrance.
Addition to rear of yard with reduced rear yard setback, exceeding 5 m and increase accessory lot coverage

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Garage - increased storage
House - increase entrance area

Is there an eave encroachment?

No

Size of eaves

0.5

Lot Frontage of the property

37.26

Lot Depth of the property

37.36

Lot Area of the property

1391.2

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

House - 1962
Garage - 2020
Shed - 2019

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential since 1962

Is the use remaining the same? If no, please provide the proposed new use

Same

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

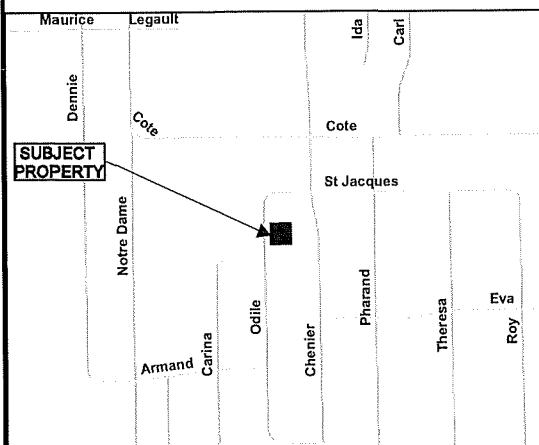
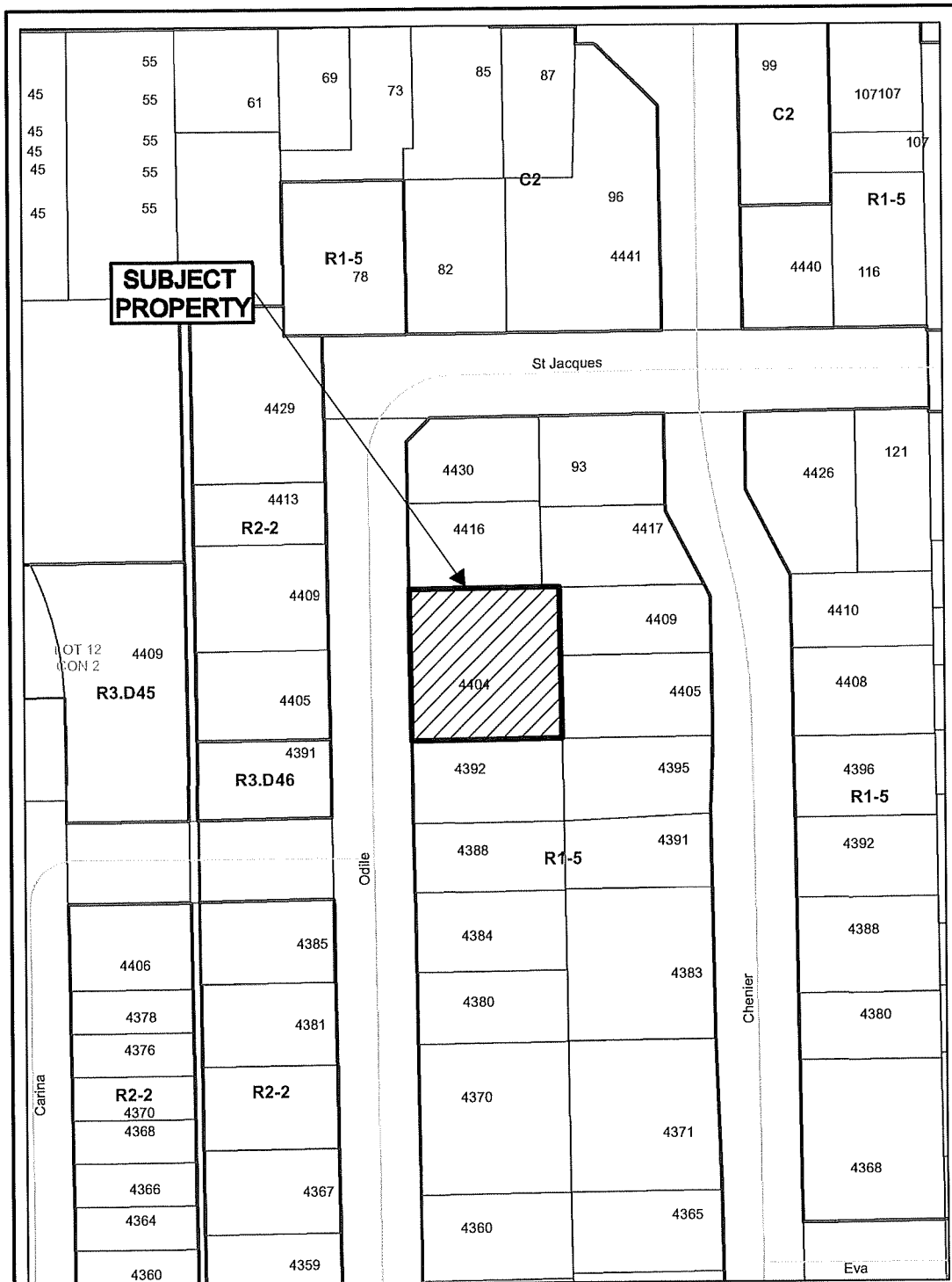
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
House addition	No	9.29	9.29	1	3.048	3.048	5	3.66	30.66	28.76	5.45
Garage Addition	No	63.2	63.2	1	6.096	10.36	6	30.34	0.914	1.8	25.1

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	104.5	104.5	1	7.62	13.716	5	6.7	23.04	3.05	20.5
Shed	No	8.17	8.17	1	2.43	3.35	3	32.8	1.2	1.2	33.6
Garage	No	158	158	1	10.36	15.24	6	15.1	7	1.8	25.1

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Front setback for House addition	6m	3.66	2.34
Accessory Lot Coverage	10%	17%	7%
Height of garage addition	5	6	1
Rear yard setback for garage addition	1.2	0.914	0.29



N

**Application for Minor
Variance or Permission**

Subject Property being PIN 73508-0585,
Parcel 28881 SEC SES SRO,
Lot 30, Plan M-476,
Part Lot 12, Concession 2,
Township of Capreol,
4404 Odile Street, Hanmer,
City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00065
NDCA Date: 2026 05 07

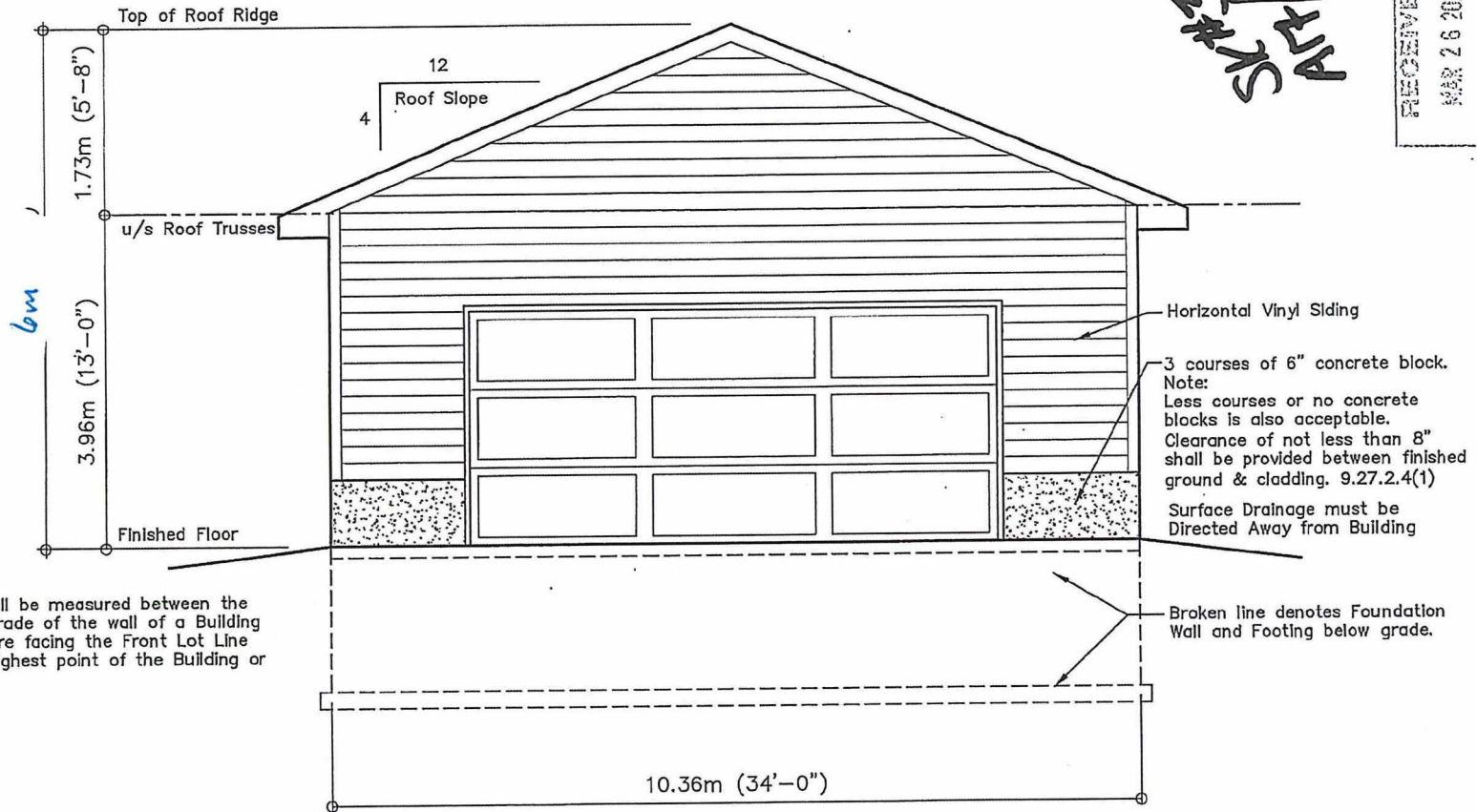
4/12 Roof Slope
 $.333 \times 10.36\text{m}$ (width of bldg) = 3.45m
 $3.45\text{m} \div 2 = 1.73\text{m}$
 3.96m (wall ht) + 1.73m (truss ht) = 5.69m

4/12 Roof Slope
 $.333 \times 34'$ (width of bldg) = 11.33'
 $11.33' \div 2 = 5'-8"$
 $13'$ (wall ht) + $5'-8"$ (truss ht) = 18'-8"

BUILDING ELEVATION MAY
 NOT APPEAR AS BUILT

SK #15
 SK #120
 APR 20

RECEIVED
 MAR 26 2020
 COA - CONSENTS



Height shall be measured between the Finished Grade of the wall of a Building or Structure facing the Front Lot Line and the highest point of the Building or Structure.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00067

APPLICATION SUMMARY

File Date: 05/05/2026

Application Type: Minor Variance

Address(es): 0 Dube Road, Sudbury P3B 1A1

Applicant(s): TULLOCH

Owner(s): FELIX LOPES JR.

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

july 30 2024

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

2

What is the number of existing buildings/structures on the property?

12

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
Intake Protection Zone 3

Current Official Plan designation
Living Area II

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-1

Provide a detailed description of what is being proposed
Construction of a new garage on the subject property with a proposed height of 9m and a tool shed with a height of 5.5m

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
The height of a structure of this nature shall not exceed 5m as per Section 4.2.4 of the zoning by-law.
The height of the proposed garage must be 9 metres to accommodate the storage of a recreational vehicle and seasonal recreational vehicles as well as stacked car storage where cars are hoisted up and stacked above one another. The height of the proposed tool shed must be 5.5 metres to ensure safe and proper storage of tools and small machines year-round.

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
56.7

Lot Depth of the property
175.7

Lot Area of the property
15463.2

Total width of the public road giving access to the property
20

List all buildings and structures on the property and their respective date of construction
Single Detached Dwelling - 1960s
Chapel - 1980s
Cabin, decks associated with main dwelling (2), pump house, sauna and deck, gazebo and deck, garage - prior to 2005
Greenhouse - unknown

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
residential, since the 1960s at least

Is the use remaining the same? If no, please provide the proposed new use
yes

Existing uses of neighbouring properties
Low density residential, local street

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Garage	No	302.3	302.3	1	19.5	15.2	9	71.2	30	5.2	96.7
Shed	No	64.6	64.6	1	8.5	7.6	5.5	26.2	31.3	10.2	47.9

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Chapel	No	67.2	67.2	1	7.3	9.2	4	102.5	21.7	35.4	110
Wood Deck (east)	No	16.4	16.4	0	2.4	6.8	1	105.2	37	56.2	121.1
Cabin	No	19.3	19.3	1	4.2	4.6	4	104.7	37.9	60.8	120.4
Single Detached Dwelling (Log Cabin)	No	176.2	352.4	2	17.6	9.9	7	106.4	29.2	62	120.4
Wood Deck (west)	No	71.1	71.1	0	5.6	17.5	1	111.4	27.9	73.9	122.8
Pump House	No	4.0	4.0	1	2.5	1.6	3	148.2	6.8	130.8	148.8
Sauna	No	17.9	17.9	1	3.7	4.9	3.5	139.2	4.7	122.1	139.8
Deck with overhang (west)	No	5.8	5.8	0	3.6	1.6	1	139.4	3.7	123.5	139.8
Gazebo	No	20.2	20.2	1	9.5	2.1	3.5	62.5	5.7	46.3	70.7
Deck with overhang (east)	No	14.1	14.1	0	9.3	1.5	1	62.1	4.2	47.3	69.8
Garage	Yes	63.2	63.2	1	8.6	7.4	4	26.2	31.6	10.2	48

Greenhouse	No	32.2	32.2	1	6.3	5.1	3	45.9	32.8	12.7	66.4
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ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Section 4.2.4 - Height of accessory buildings or structures	maximum height of 5 metres	9	4
Section 4.2.4 - Height of accessory buildings and structures	maximum height of 5 metres	5.5	0.5



Planners | Surveyors | Biologists | Engineers

May 05, 2026
File No. 260912

Committee of Adjustment
Tom Davies Square – City of Greater Sudbury
200 Brady Street
Sudbury, ON
P3A 5P3

Re: 2750 Dube Road Minor Variance – Height of Proposed Accessory Buildings

Dear Committee of Adjustment,

TULLOCH has been retained by the current owner of those lands known municipally as 2750 Dube Road (being PIN 73559-0116) in Sudbury to facilitate the submission of a minor variance application for the construction of a detached garage and tool shed.

The following reliefs are sought through the application:

- To permit a maximum height of 9.0 metres for a proposed detached garage where a maximum height of 5.0-metres is permitted for accessory buildings and structures in the R1-1 (Low Density Residential One) zone as per Section 4.2.4 of the City of Greater Sudbury Zoning By-law 2010-100Z; and,
- To permit a maximum height of 5.5 metres for a proposed shed (tool shed) where a maximum height of 5.0-metres is permitted for accessory buildings and structures in the R1-1 (Low Density Residential One) zone as per Section 4.2.4 of the City of Greater Sudbury Zoning By-law 2010-100Z.

SUBJECT PROPERTY

The subject property is zoned R1-1 (Low Density Residential One) in the *City of Greater Sudbury Zoning By-Law 2010-100Z* and designated Living Area II per Schedule 1b of the *City of Greater*

Sudbury Office 131 Fielding Rd., Lively, ON. P3Y 1L7
T: 705.671.2295 | TF: 800.797.2997



PL-MV-2026-00067

Sudbury Official Plan (OP). The subject property is located within the Settlement Area as per Schedule 3 of the OP.

The subject property is located on the eastern shore of Ramsey Lake and has an extensive shoreline which surrounds the property on three sides. The subject property is characterized by varied topography (exposed bedrock, vegetation types) and elevation changes typical within the Canadian Shield. The subject property is primarily covered by coniferous trees which act as a buffer between the lake and the 11 buildings and structures on the subject property. The subject property currently contains a single detached dwelling, garage, greenhouse, chapel, sauna, gazebo, pump house, cabin, and multiple decks attached to the existing buildings.

TESTS FOR MINOR VARIANCE

The proposed variances to the permitted height are appropriate in this location and is minor because:

- Existing mature vegetation (deciduous and coniferous trees) present throughout the property would act as a natural buffer between the proposed garage and tool shed and the surrounding area) (see *Figure 1*). No vegetation removal beyond that required for the construction of the proposed garage is anticipated.
- The development of this garage and tool shed would not result in crowding of the subject property and will not appear imposing upon the main building. The proposed garage is located +/- 60.8 metres from the main building on the subject property and represents 2% of the total lot coverage. A garage is permitted accessory to the main building in the R1-1 zone to a maximum lot coverage of 10%.
- The main building located on the abutting property is greater than 60 metres from the proposed garage and is elevated 4-5 metres above the land where the proposed garage is to be located. Therefore, it is reasonable to assume that from the abutting property the proposed garage would appear as a building which is 5 metres tall.
- The difference between the proposed height of the tool shed and the permitted height as per the Zoning By-law is 10%, which is a marginal increase and not be noticeable, especially considering the mature trees throughout the subject property.

The proposed variances conform to the general intent of the Official Plan and Zoning By-law because:

- The proposed garage and tool shed are located outside of the required 30.0m shoreline buffer area and separated from the shoreline by existing mature vegetation and a 6-metre elevation change. This eliminates any risk of flooding and provides an aesthetic buffer, retaining the natural character of the shoreline as it appears from Ramsey Lake throughout all seasons.

- The proposed development considers the health of Ramsey Lake which is the source of drinking water for many residents of the city. The proposed buildings are located outside of the required shoreline buffer, separated from the shoreline by dense natural vegetation, and will not alter or add any new sewage systems on the subject property.
- The size and use of the proposed garage and tool shed situated on a large lot surrounded by mature trees fits in with the surrounding character of the neighbourhood.



Figure 1: Bird's eye view of the subject lands and the immediate surrounding area (2016)

Given the above justification, the proposed garage and tool shed with a height of 9.0 metres and 5.5 metres respectively is appropriate for the development of the property and is minor in nature. It also reflects the intent of the applicable Zoning By-law and Official Plan to protect shorelines and the character of established neighbourhoods. Therefore, the proposed minor variance represents good planning. Please find attached in Pronto the following information for your consideration in addition to this Cover Letter:

- Concept Plan
- Legal Property Description (Parcel Register)

- Map of the location and boundary of the subject property
- Section 59 Application

Should there be any questions with respect to the above, please do not hesitate to contact the undersigned.

Respectfully submitted,

Prepared By:

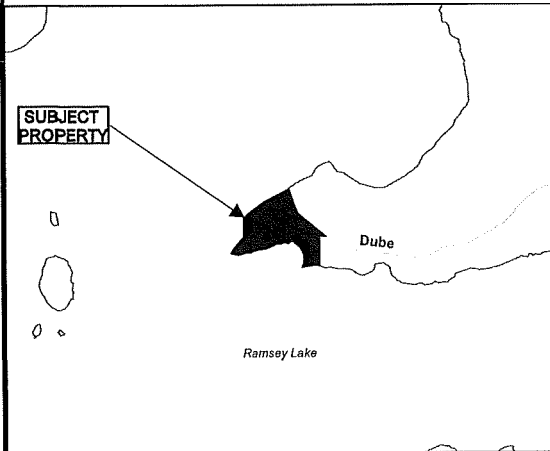
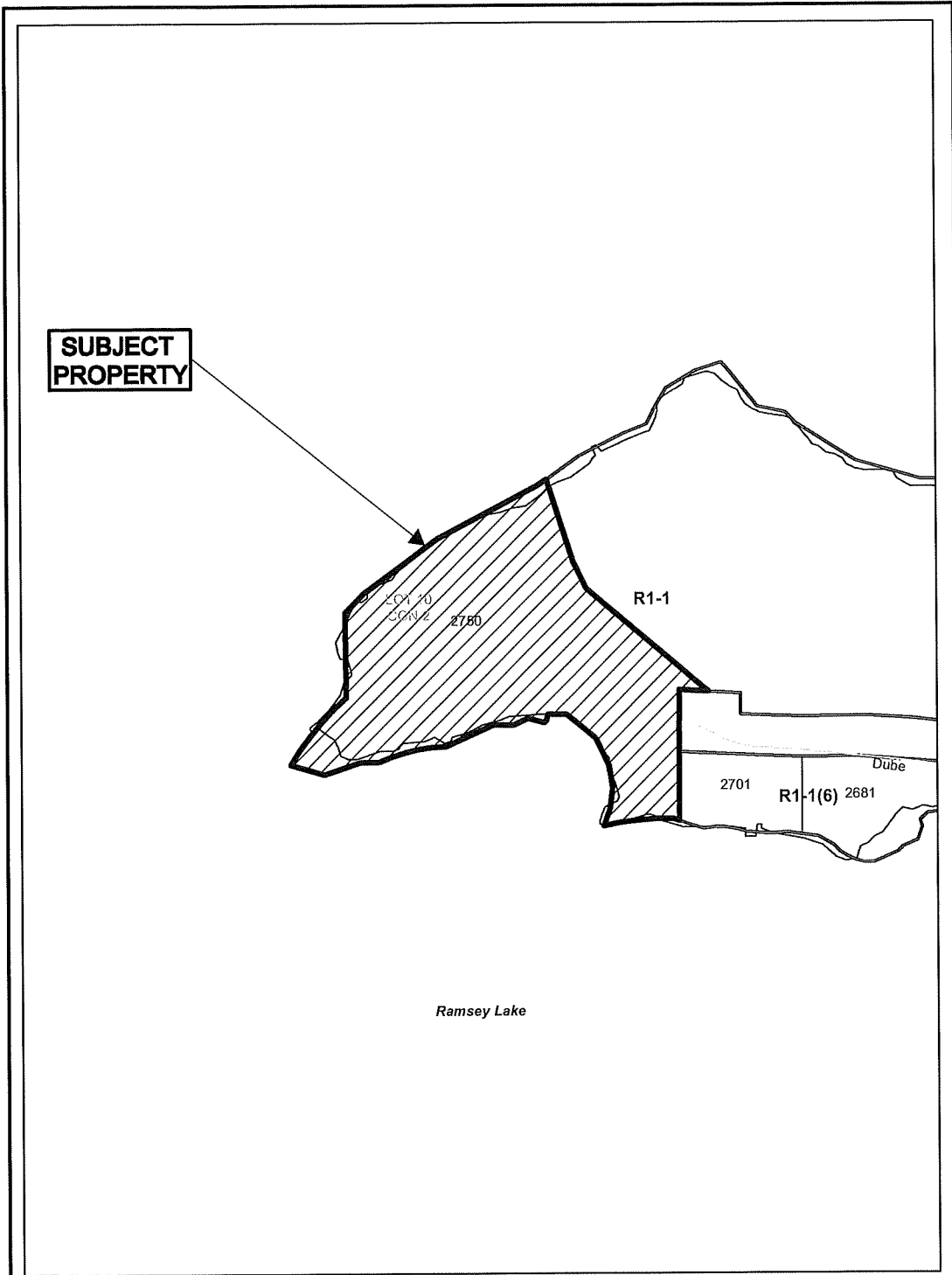


Ryland Thompson
Planner

Reviewed By:



Vanessa Smith, M.Pl., RPP
Senior Planner |Project Manager



Application for Minor Variance or Permission



Subject Property being PIN 73559-0116, Part Lot 10, Concession 2, Parts 1-8, Plan 53R-21923, and Parts 1-3, Plan 53R-22391, as in EP5414, Township of Neelon, 0 Dube Road, Sudbury, City of Greater Sudbury

Sketch 1, NTS	PL-MV-2026-00067
NDCA	Date: 2026 05 11

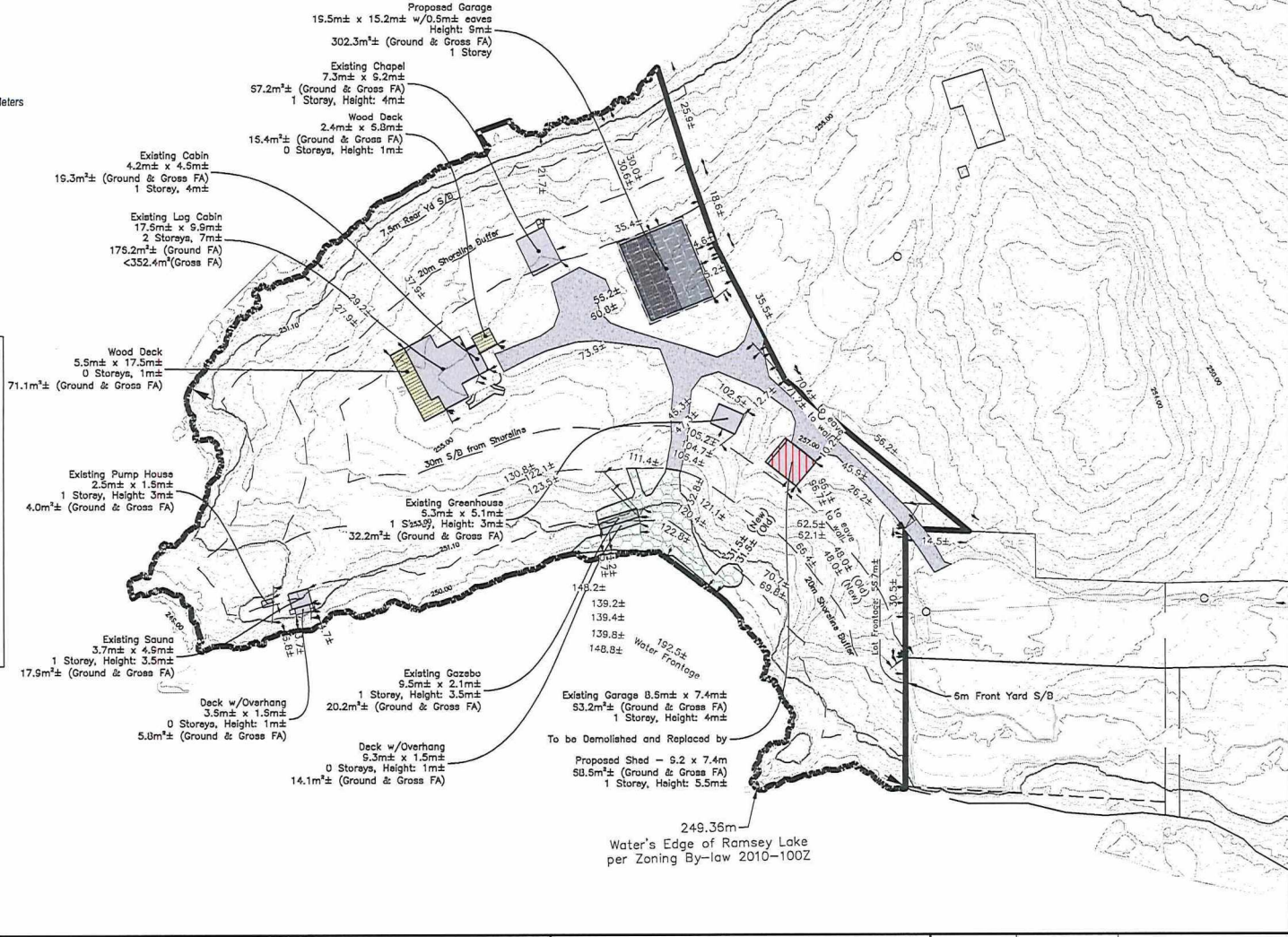


ZONING MATRIX

ZONING:	R1-1 (Low Density Residential One) REQUIRED	RESIDENTIAL ONE PROVIDED
LOT AREA:	MIN 0.4ha	1.55ha± (15,453.2m²±)
LOT FRONTAGE:	MIN 45m	55.7m±
LOT DEPTH:	MIN 30m	175.7m± (Irreg.)
LOT COVERAGE		
- Unserviced Lot:	MAX 25%	5.1%±
- Accessory Bldg:	MAX 10%	3.9%±
BUILDING HEIGHT:	MAX 11m	<11m
Accessory:	MAX 5m	5m (Garage) 5.5m (Shed)
SETBACKS		
FRONT YARD:	5m	25.2m± (As Existing)
INTERIOR YARD:	1.2m	North: 4.5m± to eave, 5.2m± to wall S.E.: 47.5m±
REAR YARD:	+0.5m/storey 7.5m	21.7m± (To Chapel) 3.7m± (To Roofed Deck Att'd to Sauna)
WATERBODY FRONTAGE, SETBACKS & BUFFERS		
WATER FRONTAGE:	MIN 45m	192.5m±
S/B TO RESIDENTIAL:	MIN 30m	21.7m± (To Chapel, As Existing)
SHORE BUFFER		
- DEPTH:	MIN 20m	20m
- CLEARED AREA:	MAX 25%	5.7%±
- CLEARING LENGTH:	UP TO 275m¹	439m²±
	MAX 25%	7.7%±
	UP TO 23m	38.1m±

LEGEND

- Property Boundaries
- Setbacks
- Existing Buildings
- Uncovered Decks
- Proposed Shed
- Proposed Garage
- Driveways
- Cleared area within Shoreline Buffer



P:\2025\26-0912\2025-09-12\2025-09-12.dwg - 2025-09-12.dwg

CAUTION THIS DRAWING IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSES INDICATED IN THE TITLE. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF TULLOCH ENGINEERING. © TULLOCH ENGINEERING, 2025.		131 FIELDING ROAD LIVELY, ONTARIO P3Y 1L7	DRAWING: Concept Plan for Minor Variance	PROJECT: PIN 73559-0116 Dube Rd, Greater Sudbury Part Lot 10, Concession 2 Geographic Twp. of Neelon	DRAWN BY: MDJ	CHECKED BY: VS/RT	PROJECT No. : 26-0912
			SCALE: 1:1000	PLOT SIZE: 11x17	DATE: May 7, 2026		

PL-MV-2026-00067
 Sketch 2

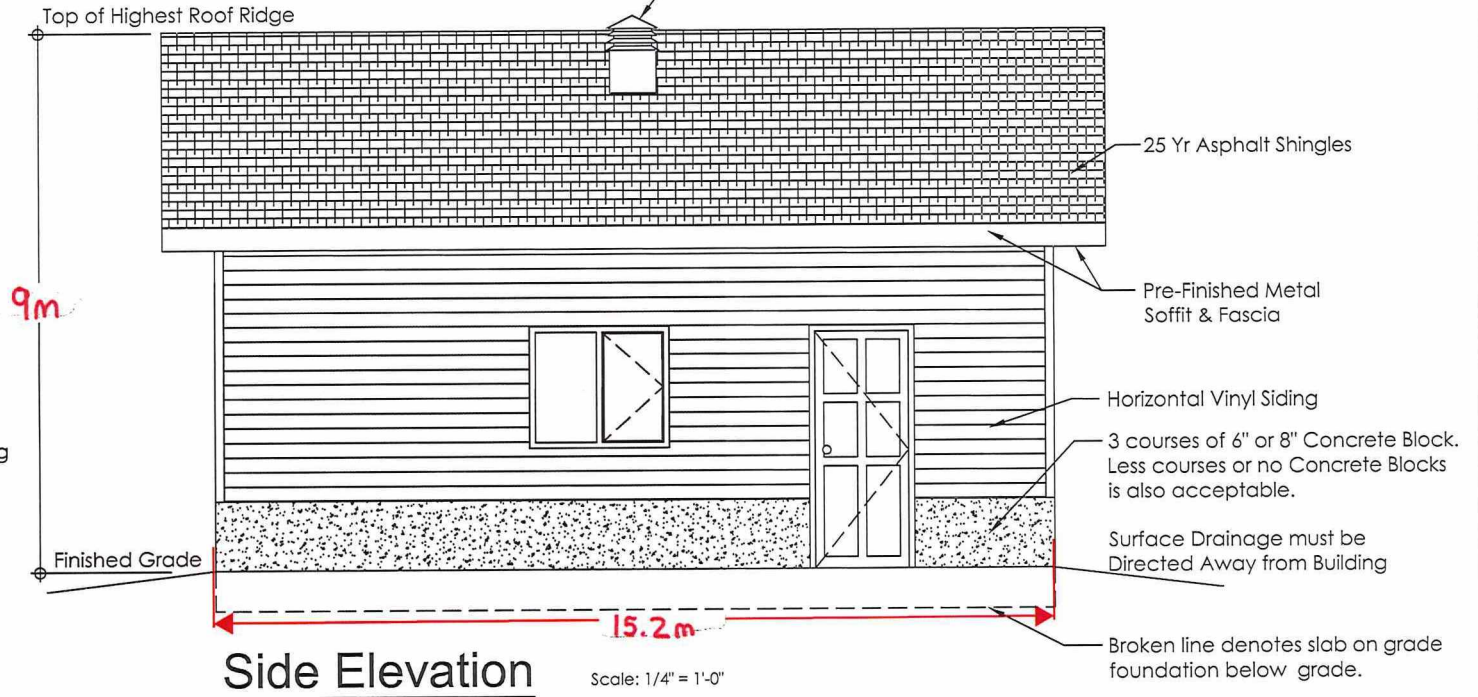
2750 Dube Road Main Garage

Notes:

- 1) Building Elevation may Not Appear As Built. Garage Door, Man Door and Window Locations will vary.
- 2) Footing Inspection Required Prior to Pouring Concrete
- 3) Framing Inspection required once Roof Sheathing has been Installed

Note:

If detached garage is insulated, provide roof ventilation of 1/300 of insulated ceiling area.



Note:

Height shall be measured between the Finished Grade of the Wall of a Building or Structure Facing the Front Lot Line and the Highest Point of the Building or Structure.

Max. Ht. on a Residential Lot
16'-5" (5m)

Max. Ht. within an Agricultural & Rural Zone
21'-4" (6.5m)

NOTE:

It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notations made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



Detached Garage

Slab on Grade with Perimeter Footing

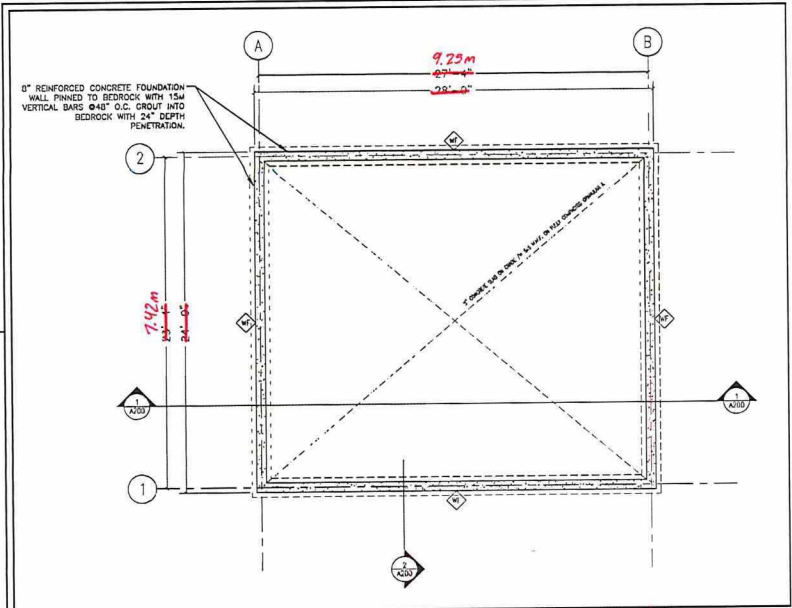
Building Elevation (Side) (not to scale)

DRAWN BY: CS

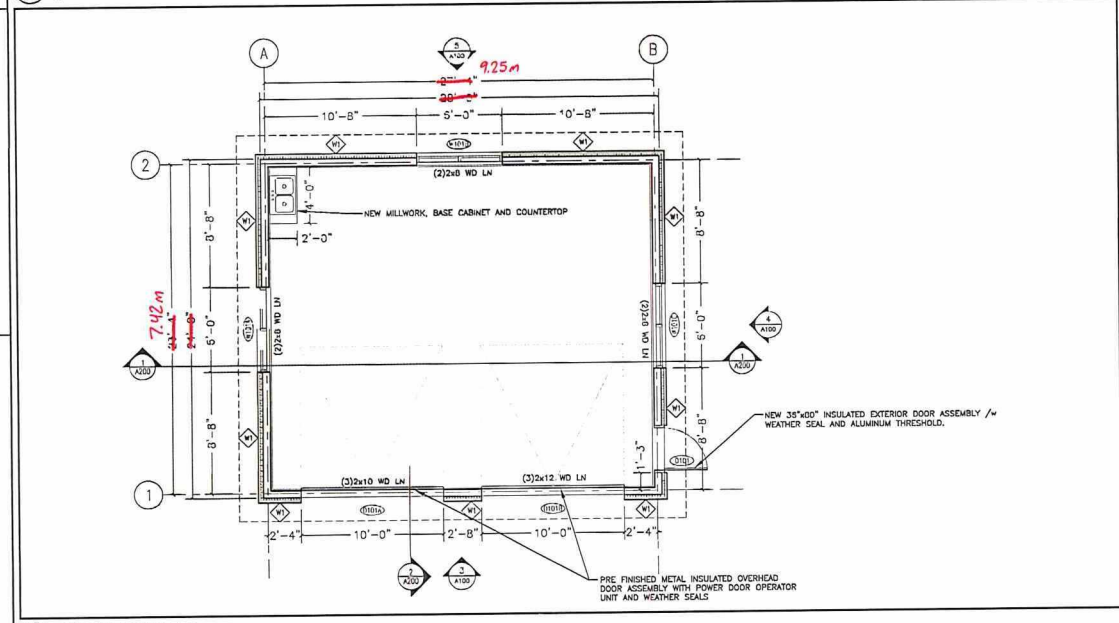
DATE: 05/29/24

A-4 (SOG)
SHEET

PL-MV-2026-00067
Sketch 3



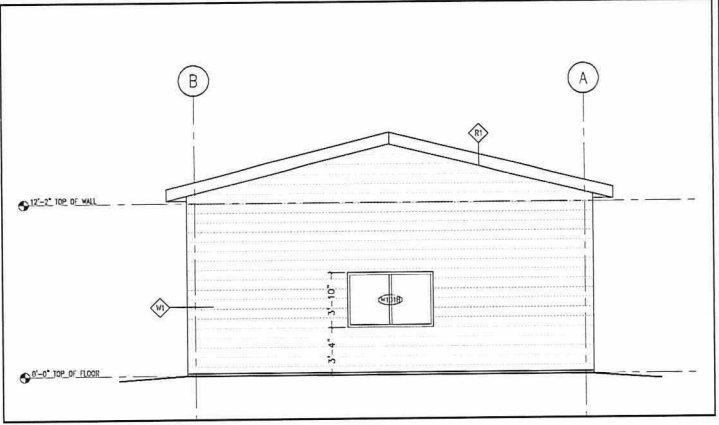
1 SHED FOUNDATION PLAN
1/4"=1'-0"



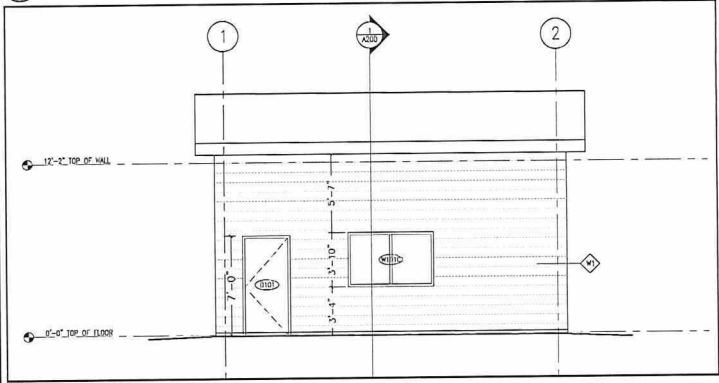
2 SHED FLOOR PLAN
1/4"=1'-0"

CONSTRUCTION TYPES

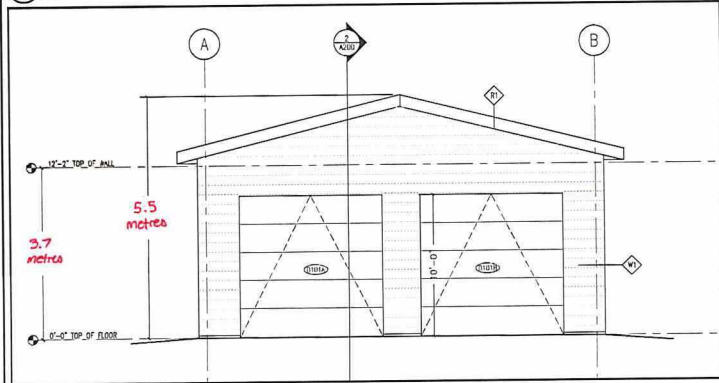
- ◆ EXTERIOR WALL CONSTRUCTION
PRE FINISHED FIBER CEMENT PANEL CLADDING WITH BATTEN TRIM, VERTICAL METAL Z GIRT /W THERMALLY BROKEN CLIP, AIR BARRIER MEMBRANE, 2" RIGID INSULATION, 1/2" GLASS MAT EXTERIOR GRADE GYPSUM BOARD SHEATHING, 2x6 WOOD STUDS @ 15" O.C. WITH R21 BATT INSULATION, 10 MIL POLY VAPOUR BARRIER TAPED AND SEALED, 5/8" TYPE X GYPSUM BOARD, WALL FINISH AS PER OWNER
- ◆ FOUNDATION WALL CONSTRUCTION
2" RIGID INSULATION, 8" REINFORCED CONCRETE WALL /W M15 @ 15" O.C. EACH WAY, BOTTOM OF WALL PINNED TO BEDROCK WITH 48" LONG M15 VERTICAL DOWELS @ 48" O.C. GROUT INTO BEDROCK WITH 24" PENETRATION.
- ◆ NEW SLAB CONSTRUCTION
FLOOR FINISH AS PER OWNER, 5" REINFORCED CONCRETE SLAB /W 5x5 WELDED WIRE MESH, 10 MIL POLY VAPOUR RETARDER MEMBRANE TAPED AND SEALED, R10 BELOW SLAB EXTRUDED RIGID INSULATION, 5" MIN. FULLY COMPACTED GRANULAR A MATERIAL, COMPACTED TO 100% SP400, UNDISTURBED NATIVE SOIL /W ORGANIC LAYER REMOVED
- ◆ NEW ROOF CONSTRUCTION
ARCHITECTURAL 3 PLY SHINGLES, COLOUR AND TYPE AS SELECTED BY OWNER, /W FULL ICE AND WATER SHIELD MEMBRANE, STARTER STRIP AND PRE FINISHED METAL DRIP EDGE, 1/2" PLYWOOD SHEATHING WITH H CLIPS, FIRE ENGINEERED WOOD ROOF TRUSSES AT 24" O.C., R 7.1 FIBERGLASS BATT INSULATION, 10 MIL POLY VAPOUR RETARDER MEMBRANE TAPED AND SEALED, METAL FLOORING CHANNEL @ 15" O.C., 1/2" GYPSUM BOARD, CEILING FINISH AS PER OWNER



5 SHED SOUTH ELEVATION
1/4"=1'-0"



4 SHED WEST ELEVATION
1/4"=1'-0"



3 SHED NORTH ELEVATION
1/4"=1'-0"

DATE: JANUARY 23, 2024
REVISIONS: DRAWING ISSUED FOR PERMIT

ARCHITECTS

perry perry

SCHEMATIC DEVELOPMENT

LOPES TOOL SHED
2750 DUBE ROAD
PLANS AND ELEVATIONS

JANUARY 3, 2024
AS NOTED
DH OK CP
2247
A100

PL-MV-2026-00067
Sketch 4

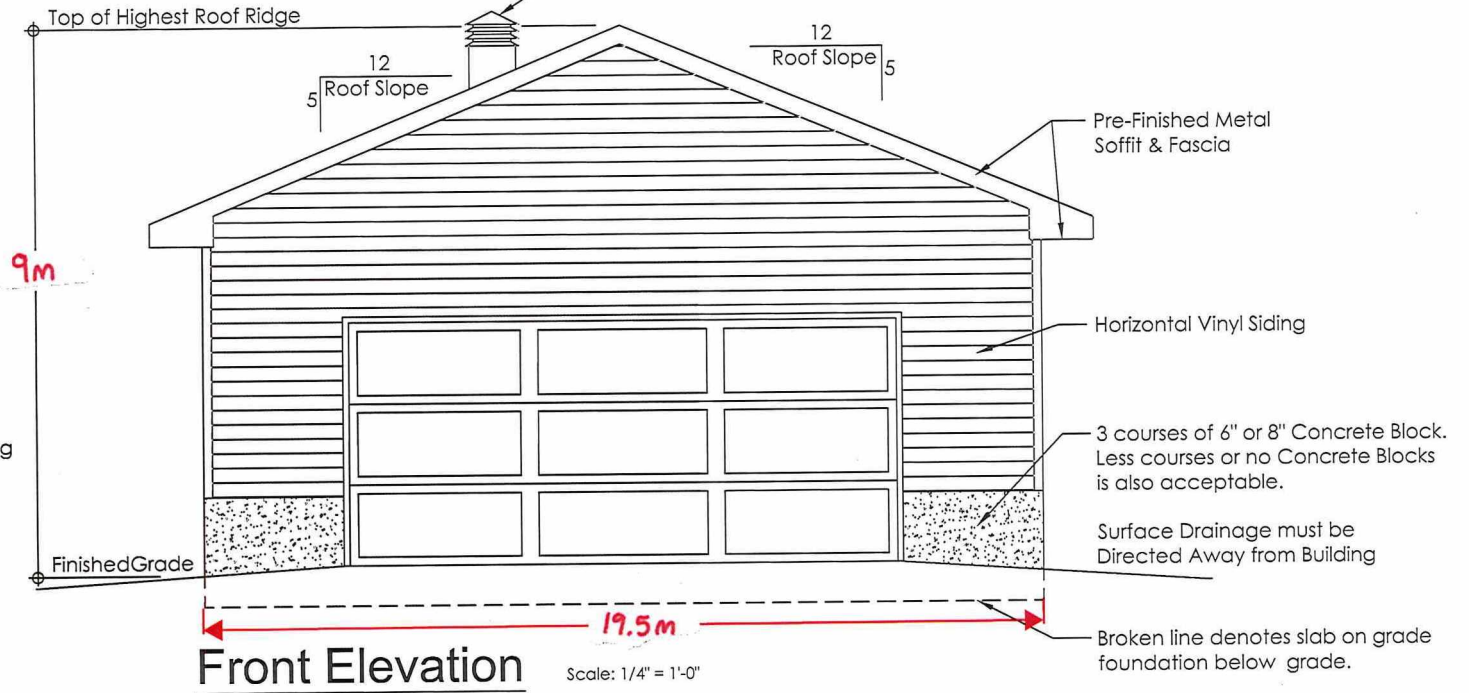
2750 Dube Road Main Garage

Notes:

- 1) Building Elevation may Not Appear As Built. Garage Door, Man Door and Window Locations will vary.
- 2) Slab Footing Inspection Required Prior to Pouring Concrete
- 3) Framing Inspection required once Roof Sheathing has been Installed

Note:

If detached garage is insulated, provide roof ventilation of 1/300 of insulated ceiling area.



Note:

Height shall be measured between the Finished Grade of the Wall of a Building or Structure Facing the Front Lot Line and the Highest Point of the Building or Structure.

Max. Ht. on a Residential Lot
16'-5" (5m)

Max. Ht. within an Agricultural & Rural Zone
21'-4" (6.5m)

NOTE:

It is the Contractor's responsibility to ensure that all construction conforms to the requirements of the Ontario Building Code. Notations made on these drawings are for your information and assistance only and do not necessarily comment on all areas of construction.



Detached Garage

Slab on Grade with Perimeter Footing

Building Elevation (Front) (not to scale)

DRAWN BY: CS

DATE: 05/28/24

A-3 (SOG)
SHEET

PL-MV-2026-00067
Sketch 5

LOPES TOOL SHED

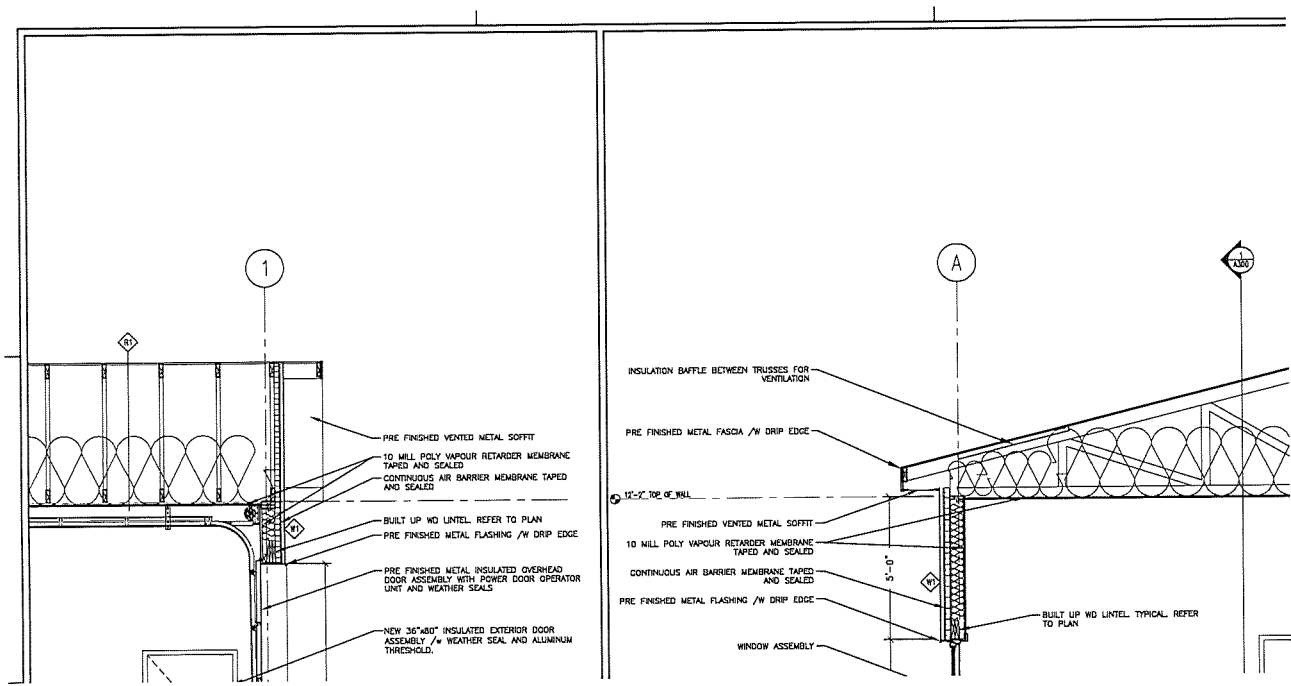
2750 DUBE ROAD

SUDBURY, ONTARIO

PROJECT 2247

JANUARY 3 2024

PL-MV-2026-00007
Sketch 6



PL-MV-2026-00067
Sketch 7



735590116

Dube Rd

735590002

PL-MV-2026-00067

PL-MV-2026-00007 Sketch 8



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00068

APPLICATION SUMMARY

File Date: 05/05/2026

Application Type: Minor Variance

Address(es): 343 /345/347 Cartier Avenue, Sudbury P3B 1C5, 345 Cartier Avenue, Sudbury, Ontario P3B 1C5, 347 Cartier Avenue, Sudbury, Ontario P3B 1C5

Applicant(s): TULLOCH

Owner(s): PAUL CHARBONNEAU

PLANNING APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

343, 345 and 347 Cartier Avenue

What is the date the current Owner(s) acquired the property?

Sep 9, 2011

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

23

What is the number of proposed new dwelling units on the property?

2

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

1

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan Intake Protection Zone 2

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)
Downtown

Current Zoning By-law designation
R2-3

Provide a detailed description of what is being proposed
the development of two (2) additional dwelling units on the subject property for a total of 25 dwelling units. See attached cover letter for more detail.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
Existing lot size and parking area

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
40.47

Lot Depth of the property
51.3

Lot Area of the property
2108

Total width of the public road giving access to the property
20

List all buildings and structures on the property and their respective date of construction
two existing multiple dwelling buildings (date of construction unknown)

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
Residential -since at least 1969 (see attached historical aerial imagery)

Is the use remaining the same? If no, please provide the proposed new use
Yes

Existing uses of neighbouring properties
Residential

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
multiple dwelling (14 units)	No	317.7	1270.8	4	10	31.77	12	3.05	17.33	3.07	27.3
multiple dwelling (9 units)	No	317.7	953.1	3	10	30	10	3.83	17.05	26.74	3.63

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
permit one (1) additional dwelling unit in the existing 14-unit multiple dwelling (being 343 Cartier Avenue)	14 units	15 units	1 unit
permit one (1) additional unit in the existing 9-unit multiple dwelling (being 345 Cartier Avenue)	9 units	10 units	1 unit
permit 15 parking spaces for 25 dwelling units where 15 spaces for 23 units exists	n/a	n/a	n/a



Planners | Surveyors | Biologists | Engineers

May 5th, 2026
File No. 260866

Committee of Adjustment

Tom Davies Square – City of Greater Sudbury
200 Brady Street
Sudbury, ON
P3A 5P3

Re: Minor Variance – 343-345 Cartier Avenue – LT 7-8 PL 13SB MCKIM; PT LT 3-4
PL 13SB MCKIM PT 2 53R13449; GREATER SUDBURY [PIN 73583-0182]

Dear Committee of Adjustment,

TULLOCH has been retained by the current owner of 343-345 Cartier Avenue (PIN 73583-0182) in Sudbury to obtain a minor variance to facilitate the development of two (2) additional dwelling units on the subject property for a total of 25 dwelling units. Please find attached in Pronto the following information for your consideration in addition to this Cover Letter:

- GeoWarehouse Property Report;
- Concept Plan;
- Source Protection Plan Section 59 Notice Application Form; and
- Historical Aerial Imagery of Subject Property in 1969.

The subject property is zoned R2-3 (Low Density Residential Two) in the *City of Greater Sudbury Zoning By-Law 2010-100Z* and designated 'Living Area 1' per *Schedule 1b* of the *City of Greater Sudbury Official Plan* (OP). The property has a lot area of $\pm 2,108.1\text{m}^2$ with ± 40.47 metres of frontage and is located within the City's Settlement Area and Built Boundary per *Schedule 3* of the OP. There are two (2) existing multiple dwelling buildings located on the property, with a paved parking area located to the rear of the buildings.

The subject property benefits from GOVA Transit Route 10, which connects the Minnow Lake area to the downtown transit hub. The closest bus stops are located within 200 metres of the subject property on VanHorne Street to the northeast and on Morris Street to the south. This route runs every 30 minutes on weekdays and every hour on weekends, with connections to other GOVA Transit Routes being available at the downtown transit hub. The property also benefits from active transportation infrastructure in the area

Sudbury Office 131 Fielding Rd., Lively, ON. P3Y 1L7

T: [REDACTED] | TF: 800.797.2997

 **BEST
MANAGED
COMPANIES**
PL-MV-2026-00068

with pedestrian walkways/stairs leading to Grotto Park available to west, and other infrastructure leading to Sudbury's Downtown.

As mentioned, there are two (2) existing multiple dwelling buildings located on the subject property. The building on the west side of the property (being 343 Cartier Ave) currently contains 14 dwelling units, and the building on the east side (being 345 Cartier Ave) currently contains 9 dwelling units as well as one unit that is not currently permitted (10 total), for a total of 23 permitted dwelling units. The application proposes to legalize the existing 10th unit within 345 Cartier and to permit one (1) additional unit within 343 Cartier for a total of 25 dwelling units on the property.

As such, the application proposes the following under Section 45(2) of the Planning Act:

- To permit one (1) additional dwelling unit in the existing 14-unit multiple dwelling (being 343 Cartier Avenue) for a total of 15 multiple dwelling units;
- To permit one (1) additional unit in the existing 9-unit multiple dwelling (being 345 Cartier Avenue) for a total of 10 multiple dwelling units; and
- To permit 15 parking spaces for 25 dwelling units where 15 spaces for 23 units exists;

Other powers

(2) In addition to its powers under subsection (1), the committee, upon any such application,

(a) where any land, building or structure, on the day the by-law was passed, was lawfully used for a purpose prohibited by the by-law, may permit,

(i) the enlargement or extension of the building or structure, if the use that was made of the building or structure on the day the by-law was passed, or a use permitted under subclause (ii) continued until the date of the application to the committee, but no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the by-law was passed, or

(ii) the use of such land, building or structure for a purpose that, in the opinion of the committee, is similar to the purpose for which it was used on the day the by-law was passed or is more compatible with the uses permitted by the by-law than the purpose for which it was used on the day the by-law was passed, if the use for a purpose prohibited by the by-law or another use for a purpose previously permitted by the committee continued until the date of the application to the committee; or

(b) where the uses of land, buildings or structures permitted in the by-law are defined in general terms, may permit the use of any land, building or structure for any purpose that, in the opinion of the committee, conforms with the uses permitted in the by-law. R.S.O. 1990, c. P.13, s. 45 (2)

The existing building and use pre-date the Zoning By-law and is therefore a legal non-conforming use in accordance with Section 34(9) of *the Planning Act*.

Unlike *Section 45(1)* of the *Planning Act*, which prescribes a clear set of tests, *Section 45(2)* does not clearly state which tests must be met for permission to expand a non-conforming use. However, the tests used to review *Section 45(2)* applications have been established through the decision of the *Supreme Court of Canada in Saint-Romuald (Ville) v. Olivier, 2001, SCC 57, 2001 Carswell Que 2013*, OMB case *Asgharzadeh, Re, 2010 Carswell Ont 4047* and more recently, Ontario Land Tribunal (OLT) case *Fraser v. Rideau Lakes (Township), 2020*. As a result, applications applied for under *Section 45(2)* of the *Planning Act*, must be evaluated on the basis of the following two tests:

1. *Whether the application is desirable for appropriate development of the subject property; and*
2. *Whether the application will result in undue adverse impacts on the surrounding properties and neighborhood.*

Furthermore, *Fraser v. Rideau Lakes (Township), 2020*, case also established that for variations applied for under *Section 45(2)* of the *Planning Act*, the intent and purpose of the Official Plan is not a relevant consideration. Nevertheless, Official Plan policies are referenced in the following planning analysis.

IS THE APPLICATION DESIRABLE FOR THE APPROPRIATE DEVELOPMENT OF THE PROPERTY?

It is the author's opinion that the two (2) additional dwelling units with the retention of the existing parking standard is appropriate, and desirable given that:

- The proposed development represents a more efficient use of the property by converting existing vacant usable space within the building to 1 additional dwelling unit and legalizing the other existing unit.
- The development of additional dwelling units on the property is considered a form of residential intensification and is consistent with the housing objectives discussed in *Section 2.2* of the PPS.
- The application would facilitate the development of 2 additional purpose built rental units, which are identified as a core housing need in the *City of Greater Sudbury Housing Supply Strategy, 2024*; represents residential intensification that makes more efficient use of the property, municipal sewer and water infrastructure and supports the use of active transportation infrastructure; and supports the use of nearby public transit (nearest bus stop within 200 metres of property) (*Section 2.2.1 b, c, & d* of the PPS).
- The subject property directly abuts the Downtown designation and is in close proximity to a variety of social and commercial services/amenities within Sudbury's Central Business District to the west, including but not limited to the new downtown event centre set to open in 2028. Thus, supporting local businesses and promoting the use of public transit services.
- This area is characterized by a mixture of dwelling types on small lots, often with limited parking. While the zoning by-law only permits 4 dwelling units, *Section 3.2.1.7* of the OP states that more units and/or alternative development standards may be considered to achieve the goals of this Plan. The objectives of the City's Living Area policies are outlined in *Section 3.1* and address

meeting Greater Sudbury's housing needs, encouraging a mix of residential uses, ensuring that a sufficient supply of designated and serviceable land is available to meet existing and future needs, ensure that communities permit a variety of complementary and compatible uses, including community facilities, small-scale commercial uses and open space areas, focus residential development in areas that have sufficient infrastructure and provide a balance between the natural environment and urban development.

- The current density on the subject property is +/-109.1 units/hectare. Per Section 3.2.1.2 the OP, low density housing forms, including small apartment buildings no more than five storeys in height are permitted for medium density developments generally with a net density of up to 90 units/hectare. The additional 2 dwelling units would increase the net density to +/-118.6 units/hectare. This represents a marginal increase in density and as noted above, Section 3.2.1.7 of the OP outlines that more units may be considered to achieve the goals of this plan. The proposed density increase is appropriate as it aligns with the objectives of the Living Area I policies and can be supported by existing public transit and active transportation infrastructure.
- Additional parking for the proposed units can not be provided and function adequately given the configuration of the existing buildings and lot. Therefore, this Section 45(2) application is required to retain the existing parking standard for the proposed units.

WILL THE APPLICATION RESULT IN UNDUE ADVERSE IMPACTS ON THE SURROUNDING PROPERTIES AND NEIGHBOURHOOD.

It is the author's opinion that the two (2) additional dwelling units with the retention of the existing parking standard will not result in any adverse impacts on the surrounding properties and neighbourhood given that:

- The existing multiple dwelling buildings already represent a higher-density development, and an increase of 2 additional units on the property would not come at the expense of existing residents or the surrounding neighbourhood. In fact, the development is expected to benefit local businesses and support public transit services.
- No negative impact will result from the variance with regard to aesthetic impact on the surrounding area as there will be no alterations to the exterior or changes to the size and massing of the multiple dwelling.
- The proposed minor variance would enable intensification of the subject lands in a manner that is compatible with the character and uses in the surrounding neighbourhood. The subject property directly abuts the downtown designation to the west and is situated in a mixed-use area with a mixture of dwelling types and built forms where high-density housing is common, and lot configurations are generally more compact compared to other urban areas throughout the City.
- There is no expected impact on traffic given the marginal increase in density, and considering the property would maintain its existing parking area located to the rear of the buildings.
- On-street parking for visitors is permitted along Cartier Avenue east of Howey Drive for a maximum duration of 4 hours. Parking is prohibited along both sides of Cartier Avenue between Lourdes Street & Howey Drive due to nearby intersections. The City can enforce on-street parking in prohibited areas through municipal by-law enforcement.

Given the analysis contained herein, the proposed variance does not introduce any adverse effects to either the subject property or the abutting lands. The proposed development is an increase of only two (2) dwelling units at a manageable scale and represents a logical use of an unoccupied area within a legal non-conforming multiple dwelling. There are sufficient active transportation and public transit options and amenity space within the surrounding neighbourhood to support the increase in units. As such, it is the author's opinion that the proposed variance is appropriate for the facilitation of the development for the subject property, given that:

1. The application is desirable for appropriate development of the subject property; and
2. The application will not result in undue adverse impacts on the surrounding properties and neighborhood.

Respectfully submitted,

Prepared By:



Brandon Cormier
Planner

Reviewed By:

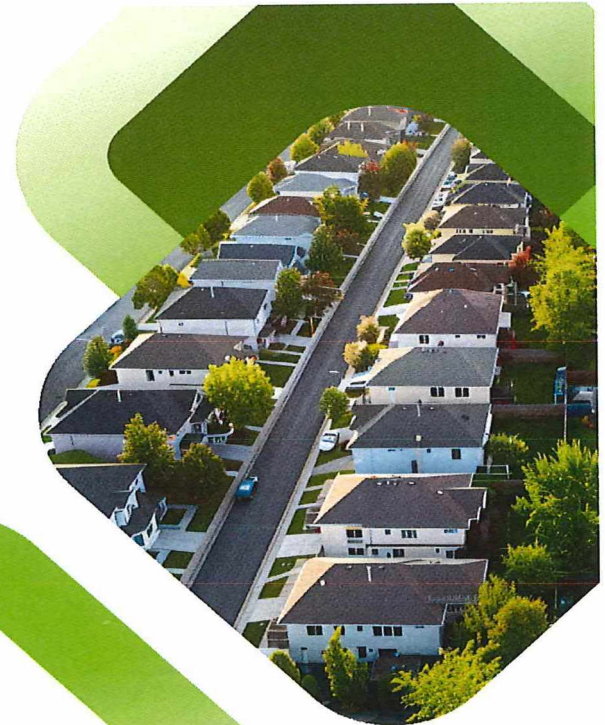


Vanessa Smith, M.Pl., RPP
Senior Planner | Project Manager

343 CARTIER AVE
SUDBURY

PIN 735830182

GeoWarehouse Property Report



Property Details

GeoWarehouse Address:

343 CARTIER AVE

SUDBURY

P3B1C5

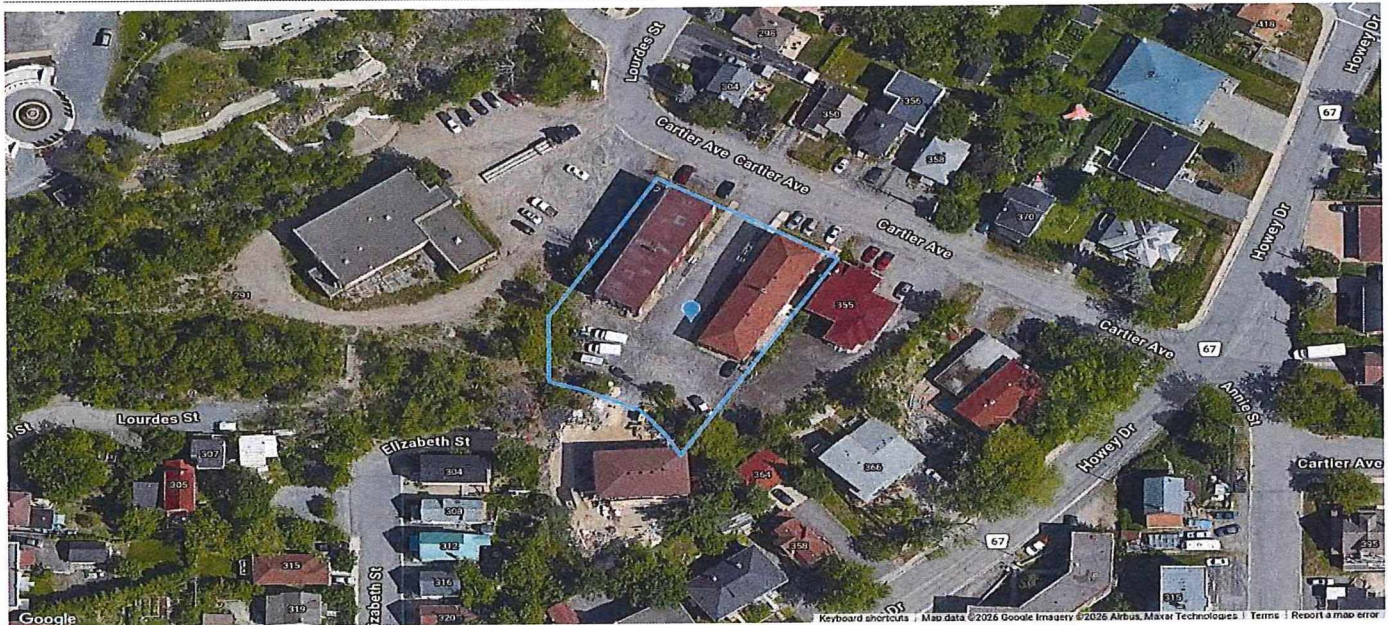
PIN: 735830182

Land Registry Office: SUDBURY (53)

Land Registry Status: Active

Registration Type: Certified (Land Titles)

Ownership Type: Freehold



Ownership

Owner Name:

CHARBONNEAU, PAUL

Legal Description

LT 7-8 PL 13SB MCKIM; PT LT 3-4 PL 13SB MCKIM PT 2 53R13449; GREATER SUDBURY

Lot Size

Area: 2202.0 sq.m

Perimeter: 192.0 m

Measurements: 41.49m x 16.44m x 19.78m x 14.08m x 58.95m x 41.37m

Lot Measurement Accuracy : LOW

These lot boundaries may have been adjusted to fit within the overall parcel fabric and should only be considered to be estimates.



Sales History

Sale Date	Sale Amount	Type	Party To	Notes
Sep 09, 2011	[REDACTED]	Transfer	CHARBONNEAU, PAUL;	
Dec 21, 2010	[REDACTED]	Transfer	TCAP REAL ESTATE INC.;	
Jul 05, 2006	[REDACTED]	Transfer	1701902 ONTARIO INC.; TCAP REAL ESTATE INC.;	
Jul 05, 2006	[REDACTED]	Transfer	LEVESQUE, EDWARD PAUL;	
Jun 26, 1996	[REDACTED]	Transfer	LEVESQUE, LOUISE FRANCOISE; LEVESQUE, EDWARD PAUL;	

Terms and Conditions

Reports Not the Official Record. Reports, other than the Parcel Register, obtained through Geowarehouse are not the official government record and will not necessarily reflect the current status of interests in land.

Currency of Information. Data contained in the Geowarehouse reports are not maintained real-time. Data contained in reports, other than the Parcel Register, may be out of date ten business days or more from data contained in POLARIS.

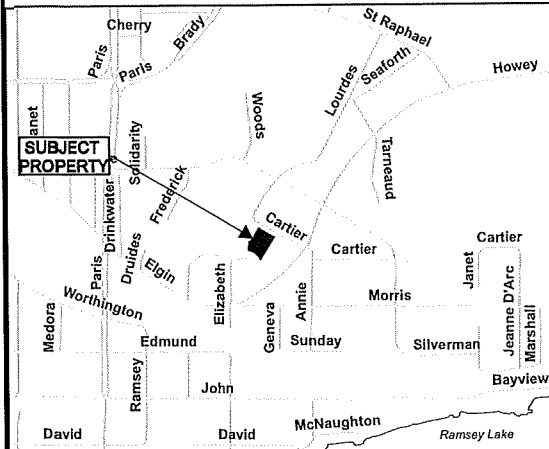
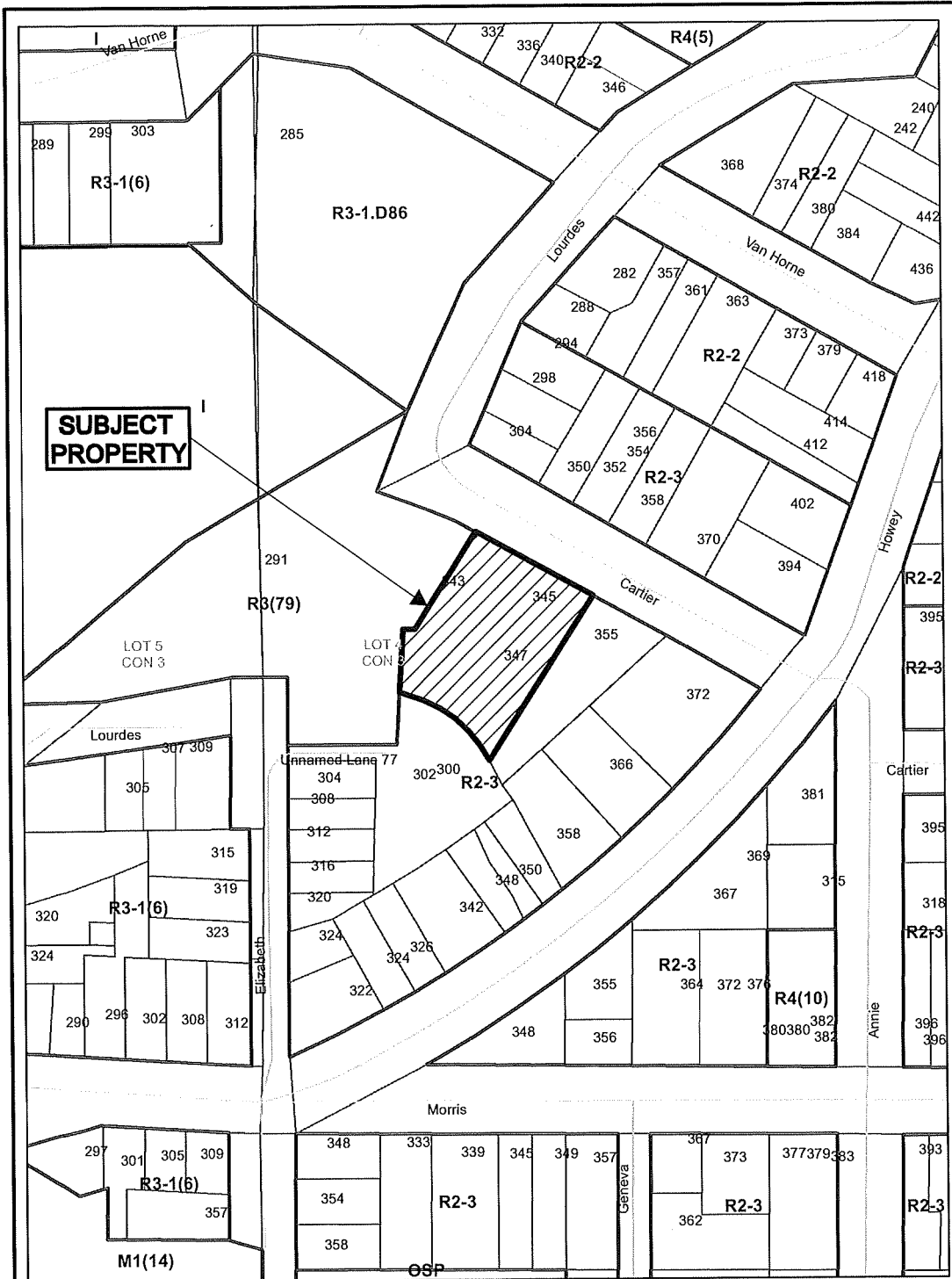
Coverage. Data, information and other products and services accessed through the Land Registry Information Services are limited to land registry offices in the areas identified on the coverage map.

Completeness of the Sales History Report. Some Sales History Reports may be incomplete due to the amount of data collected during POLARIS title automation. Subject properties may also show nominal consideration or sales price (e.g. \$2) in cases such as transfers between spouses or in tax exempt transfers.

Demographic Information. Demographic Information is obtained from Environics Analytics. Environics Analytics acquires and distributes Statistics Canada files in accordance with the Government of Canada's Open Data Policy. No information on any individual or household was made available to Environics Analytics by Statistics Canada. PRIZM and selected PRIZMC2 nicknames are registered trademarks of The Nielsen Company (U.S.) and are used with permission.

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Parcel Mapping shown on the site was compiled using plans and documents recorded in the Land Registry System and has been prepared for property indexing purposes only. It is not a Plan of Survey. For actual dimensions of property boundaries, see recorded plans and documents.

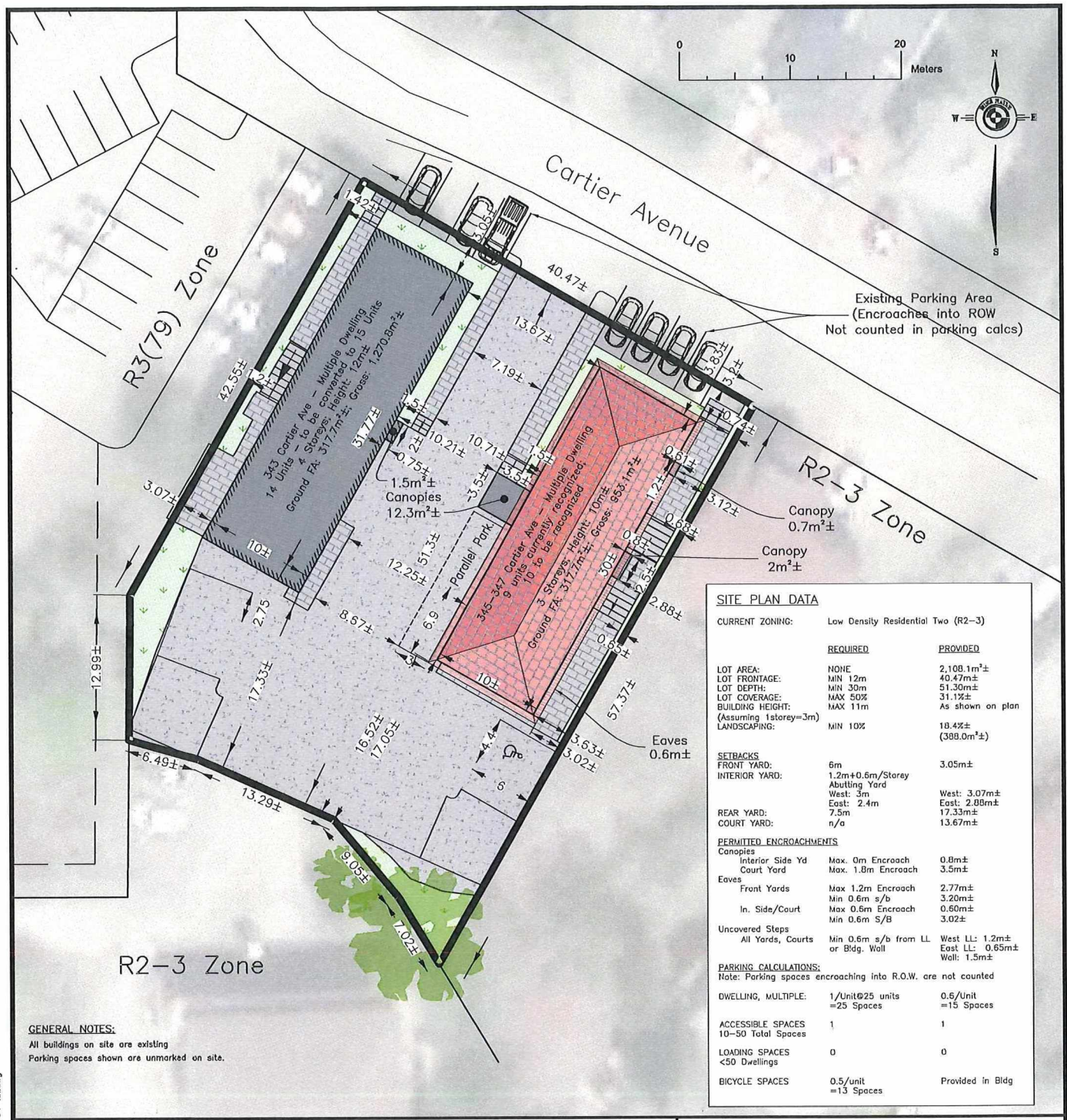
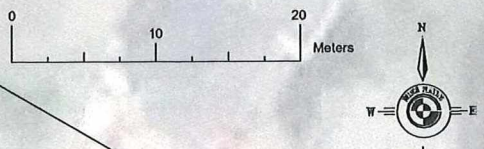


Application for Minor Variance or Permission



Subject Property being PIN 73583-0182, Lots 7 & 8 and Part Lots 3 & 4, Plan 13-SB, Part 2, Plan 53R-13449, Township of McKim, 343, 345 and 347 Cartier Avenue, Sudbury, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2026-00068
 Date: 2026 05 11



SITE PLAN DATA

CURRENT ZONING: Low Density Residential Two (R2-3)

	REQUIRED	PROVIDED
LOT AREA:	NONE	2,108.1m ² ±
LOT FRONTAGE:	MIN 12m	40.47m±
LOT DEPTH:	MIN 30m	51.30m±
LOT COVERAGE:	MAX 50%	31.1%±
BUILDING HEIGHT:	MAX 11m	As shown on plan
(Assuming 1storey=3m)		
LANDSCAPING:	MIN 10%	18.4%± (388.0m ² ±)
SETBACKS		
FRONT YARD:	6m	3.05m±
INTERIOR YARD:	1.2m+0.6m/Storey Abutting Yard	
REAR YARD:	West: 3m East: 2.4m	West: 3.07m± East: 2.88m±
COURT YARD:	7.5m	17.33m±
	n/a	13.67m±
PERMITTED ENCROACHMENTS		
Canopies		
Interior Side Yd	Max. 0m Encroach	0.8m±
Court Yard	Max. 1.8m Encroach	3.5m±
Eaves		
Front Yards	Max 1.2m Encroach	2.77m±
	Min 0.6m s/b	3.20m±
In. Side/Court	Max 0.6m Encroach	0.60m±
	Min 0.6m S/B	3.02±
Uncovered Steps		
All Yards, Courts	Min 0.6m s/b from LL or Bldg. Wall	West LL: 1.2m± East LL: 0.65m± Wall: 1.5m±
PARKING CALCULATIONS:		
Note: Parking spaces encroaching into R.O.W. are not counted		
DWELLING, MULTIPLE:	1/Unit@25 units =25 Spaces	0.6/Unit =15 Spaces
ACCESSIBLE SPACES	1	1
10-50 Total Spaces		
LOADING SPACES	0	0
<50 Dwellings		
BICYCLE SPACES	0.5/Unit =13 Spaces	Provided in Bldg

GENERAL NOTES:
 All buildings on site are existing
 Parking spaces shown are unmarked on site.

LEGEND

	Subject Lands - 2,108.1m ² ±		Landscaping
	Current Zoning: R2-3		Asphalt Driveways
	Walkways		Stairs (arrow points up)

CAUTION

THE BOUNDARIES AND FEATURES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM WORK COMPLETED BY TULLOCH GEOMATICS IN 2019, REGISTRY PLANS, AND AERIAL IMAGERY. ALL OF THE ABOVE HAVE NOT BEEN CONFIRMED.

THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.

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PROJECT: **343, 345 & 347**
Cartier Ave, Sudbury
Lots 7-8 P113SB; Pt Lots 3-4 P1 13SB
Pt 2, 53R-13449, McKim

DRAWING: **Sketch for Minor Variance**

DRAWN BY: MDJ	CHECKED BY: BC/VS	PROJECT NUMBER: 26-0866
SCALE: 1:500	PLOT SIZE: 8.5x11	DATE: May 8, 2026

PL-MV-2026-00068
 sketch 2

F:\2025\250055_Minor_Variance\07_Drawing\250055 - MW - 2025-04-xx.dwg



Source: City of Greater Sudbury Aerial Photo App (Year: 1969; Photo Number: 53)

PL-MV-2026-00065 sketch 3