

Tom Davies Square
200 Brady St

Wednesday, May 18, 2022

PUBLIC HEARINGS

A0047/2022

**LEE ANNE DESRIVIERES
COREY O'BRIEN**

Ward: 6

PIN 73503 0646, Parcel 35854, Lot(s) 75, Subdivision M-434, Lot Pt 2, Concession 3, Township of Hanmer, 5011 Proulx Court, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage with secondary unit providing maximum height of 6.6m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0048/2022

PATRICK GOULET

Ward: 6

PIN 73503 0487, Parcel 7018, Lot(s) 27, Subdivision M-107, Lot Pt 1, Concession 2, Township of Hanmer, 4443 Notre Dame Avenue, Hanmer, [2010-100Z, C2 (General Commercial)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 7, Section 7.3, Table 7.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing, firstly, eaves to encroach 1.0m into the required interior side yard and 6.7m into the required rear yard, where eaves may encroach 0.6m into the required interior side yard and 1.2m into the required rear yard but not closer than 0.6m to the lot line, secondly, a minimum rear yard setback of 1.2m, where 7.5m is required, and thirdly, a minimum interior side yard setback of 0.6m, where 1.2m is required.

A0049/2022

CAMILE LAPLANTE

Ward: 3

PIN 73342 0315, Parcel 24129 SEC SWS SRO, Survey Plan 53R-14779 Part(s) 1 to 3, Lot(s) Pt 10, Subdivision M-1008, Lot Pt 9, Concession 1, Township of Levack, 80 Elm Crescent, Levack, [2010-100Z, R2-2 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Application B0024/2022, providing a minimum front yard setback of 4.83m, where 6.0m is required and eaves to encroach 1.77m into the required front yard, where eaves may encroach 1.2m into the required front yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0264/93 (AUG 23/93)

A0050/2022

KYLE DUMPIS

Ward: 12

PIN 02130 0166, Parcels 13750 & 2182, Survey Plan 53R-20708 Part(s) 2, Lot(s) 846 and Part 844 and 845, Subdivision M-100, Township of McKim, 426 Melvin Avenue, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.37, subsection 4.37.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a deck providing a minimum railroad setback of 4.5m, where all buildings and structures shall be setback 30.0m from any lot line abutting a railroad right-of-way.

A0051/2022

**SHANNON BUBALO
ADRIAN BUBALO**

Ward: 11

PIN 73577 0544, Parcel 9275 SEC SES, Survey Plan 53R-14167 Part(s) 2, 7, 8, 9, and 11, Lot Pt 11, Concession 3, Township of Neelon, 2246 Greenwood Drive, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.31m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A113/21 (SEP 15/21) AND B306/91 (SEP 9/91)

A0052/2022

**AMY DUCHARME
YVAN DUCHARME**

Ward: 6

PIN 73508 1412, Lot(s) 17, Subdivision 53M-1413, Lot Pt 1, Concession 3, Township of Capreol, 279 Timberglade Court, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.94m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0053/2022

**NICOLE DESCHAMPS
PAUL LALONDE**

Ward: 4

PIN 73345 0135, Parcel 16704 SEC SWS, Lot Pt 2, Concession 4, Township of Rayside, 3393 St Laurent Street, Chelmsford, [2010-100Z, A (Agricultural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition to the existing single detached dwelling providing a minimum corner side yard setback of 4.39m, where 4.5m is required.

A0054/2022

**CRYSTAL WILLETT
RICHARD PELLERIN**

Ward: 11

PIN 73575 0482, Lot(s) 12, Subdivision 53M-1355, Lot Pt 9, Concession 3, Township of Neelon, 45 Equinox Crescent, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit an existing uncovered deck to encroach 4.45m into the required rear yard, where uncovered decks greater than 1.2m in height may encroach 3.6m into the required rear yard but not closer than 3.0m to the rear lot line.

A0055/2022

ROBERT DEREK BURGESS

Ward: 9

PIN 73478 0772, Parcel 17617 SEC SES, Lot(s) 14, Subdivision M-214, Lot Pt 1, Concession 5, Township of Broder, 1360 Cawthorpe Street, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition to the existing single detached dwelling providing, firstly, eaves to encroach 1.025m into the required interior side yard, where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line, and secondly, a minimum interior side yard setback of 0.81m, where 1.2m is required.

A0056/2022

**STEPHAN VILLENEUVE
CHRIS ROUSSELLE**

Ward: 6

PIN 73503 0558, Parcel 3793 SEC SES, Lot(s) 6, Subdivision M-107, Lot Pt 1, Concession 3, Township of Hanmer, 4533 Notre Dame Avenue, Hanmer, [2010-100Z, C2 (General Commercial)]

For relief from Part 7, Section 7.2, Table 7.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a residential use on the ground floor of a proposed single detached dwelling containing a secondary dwelling unit and detached tertiary dwelling unit, where any dwelling containing not more than two dwelling units must have a permitted non-residential use as a main use on the ground floor provided that the lot is a fully serviced lot.

A0057/2022

**STEPHAN VILLENEUVE
CHRIS ROUSSELLE**

Ward: 6

PIN 73503 0478, Parcel 9319 SEC SES, Lot(s) 4, Subdivision M-107, Lot Pt 1, Concession 2, Township of Hanmer, 4549 Notre Dame Avenue, Hanmer, [2010-100Z, C2 (General Commercial)]

For relief from Part 7, Section 7.2, Table 7.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a residential use on the ground floor of a proposed single detached dwelling containing a secondary dwelling unit and detached tertiary dwelling unit, where any dwelling containing not more than two dwelling units must have a permitted non-residential use as a main use on the ground floor provided that the lot is a fully serviced lot.

A0058/2022

**KAREN REYNOLDS
PHIL REYNOLDS**

Ward: 7

PIN 73513 0462, Survey Plan 53R-19412 Part(s) 1, 2, 3, 4, 5, and 12, Lot Pt Broken 1, Concession 5, Township of MacLennan, 146 Oakridge Trail, Skead, [2010-100Z, SLS (5) (Seasonal Limited Service)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a seasonal dwelling providing a maximum height of 15.5448m, where 11.0m is permitted.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B131/10 (OCT 18/10)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, JUNE 1, 2022**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2022.01.01 A 0047/2022
S.P.P. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT, SCHEDULES MAY BE INCLUDED, IF NECESSARY:

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Corey O'Brien, Lee Anne Desrivieres Email: _____
Mailing Address: 5011 Proulx Court Home Phone: _____
Business Phone: _____
City: Hanmer Postal Code: P3P 1H4 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Corey O'Brien Email: _____
Mailing Address: 5011 Proulx Court Hanmer ON Home Phone: _____
Business Phone: _____
City: Sudbury Postal Code: P3P 1H4 Fax Phone: _____
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Lendwise
Mailing Address: 390 Bay street Suite 1800
City: Toronto Postal Code: M5H 2Y2

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.4.(a)	5 metres	6.6 metres	1.6 metres

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Construction of a detached garage with loft and ground level secondary unit at the back of the structure

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

To have higher ceiling for trailers to go inside the garage, also looking at purchasing a motorhome in the future and we don't want to park it in the driveway

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Hanmer
 Lot No.: 2 Concession No.: 3 Parcel(s): 35854
 Subdivision Plan No.: M434 Lot: 75 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 501 PROULX COURT, HANMER

- 7) Date of acquisition of subject land.
- December 14, 2018

- 8) Dimensions of land affected.

Frontage 22.9 (m) Depth 105.5 (m) Area 2,415.95 (m²) Width of Street 7.5 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	House - 93 sq. m Garage - 50 (m ²)	New garage - 194.4 (m ²)
Gross Floor Area:	House - 93 sq. m Garage - 50 (m ²)	New garage - 194.4 (m ²)
No. of storeys:	One Storey	One Storey / Two Storey
Width:	House - 12.4m Garage - 5 (m)	New garage - 9.15 (m)
Length:	House - 7.5m Garage - 10 (m)	New garage - 21.3 (m)
Height:	House - 4.5 Garage - 3.5 (m)	New garage - 6.6 (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	House - 7.7m Garage - 21.4 (m)	New garage - 27.8 (m)
Rear:	House - 90.2m Garage - 74 (m)	New garage - 56.32 (m)
Side:	House - 4.9m Garage - 16.77 (m)	New garage - 11.9 (m)
Side:	House - 5.8m Garage - 1.22 (m)	New garage - 1.8 (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

House - 1971 Garage - unknown

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential (SFD w/ detached garage) Length of time: 1971

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ OR Residential Use (Single family dwelling, new attached garage and secondary unit)

- 15) What is the number of dwelling units on the property?
- One currently, (two is proposed)

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- Residential (single family dwellings)

10047/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. it is in a well head
protection area with a vulnerability scoring of 6

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Corey O'Brien and Lee Anne Desrivieres (please print all names), the registered owner(s) of the property described as 5011 Proulx Court
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- x g) appoint and authorize Corey O'Brien + LeeAnne Desrivieres (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 19th day of April, 20 22

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Corey O'Brien + LeeAnne Desrivieres


*I have authority to bind the Corporation


AD004712022

I/We, Corey O'Brien and Lee Anne Desrivieres (please print all names),
the registered owner(s) or authorized agent of the property described as 5011 Proulx Court

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 19 day of April, 20 22


Commissioner of Oaths



Paula Elizabeth Green, a Commissioner for taking Affidavits In and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy Clerk for the City of Greater Sudbury.

Print Name: Gary O'Brien
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: April 19/22 Hearing Date: May 18/22 Received By: N. Lewis

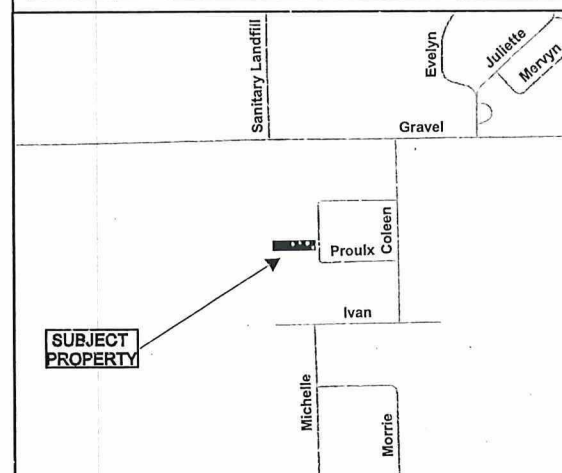
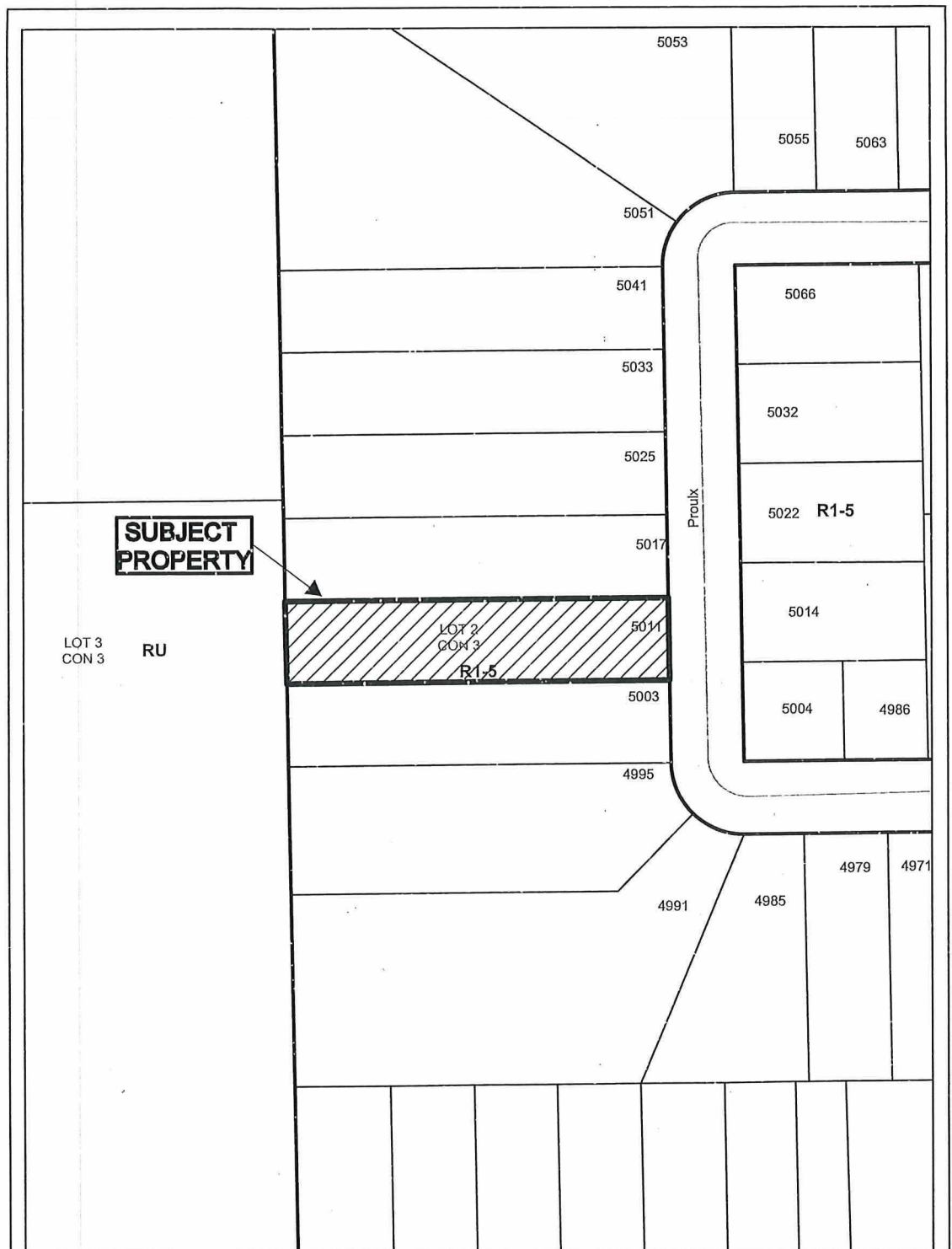
Zoning Designation: R1-S Resubmission: ☐ Yes ☒ No

Previous File Number(s): None

Previous Hearing Date: None

Notes: Sketch is indicating that existing garage to be demolished

AP047/2022



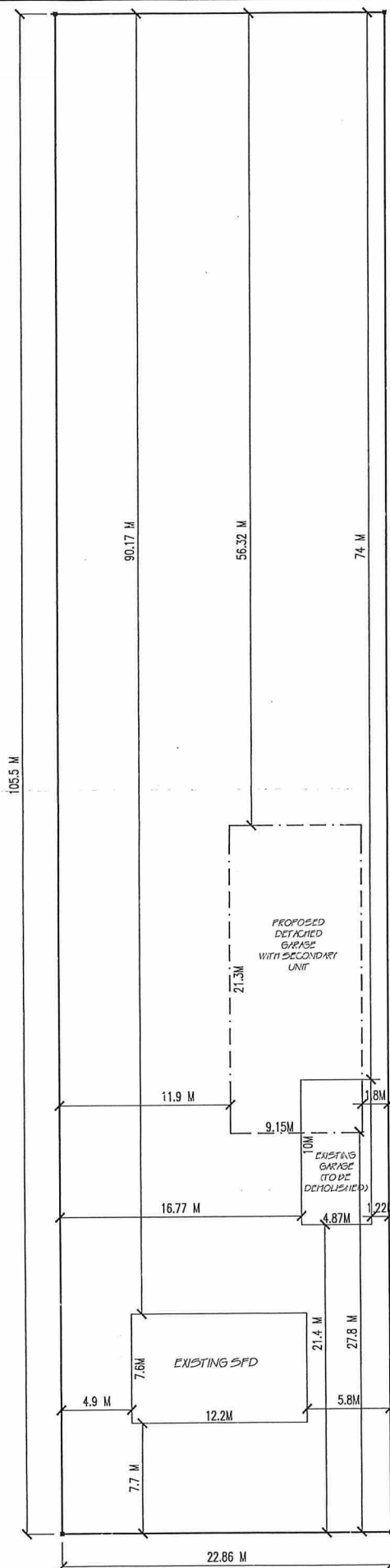
Application for Minor Variance or Permission



Subject Property being,
PIN 73503-0646,
Parcel 35854, Lot 75, Plan M-434,
Township of Hanmer,
5011 Proulx Court, Hanmer
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0047/2022
Date: 2022 04 26



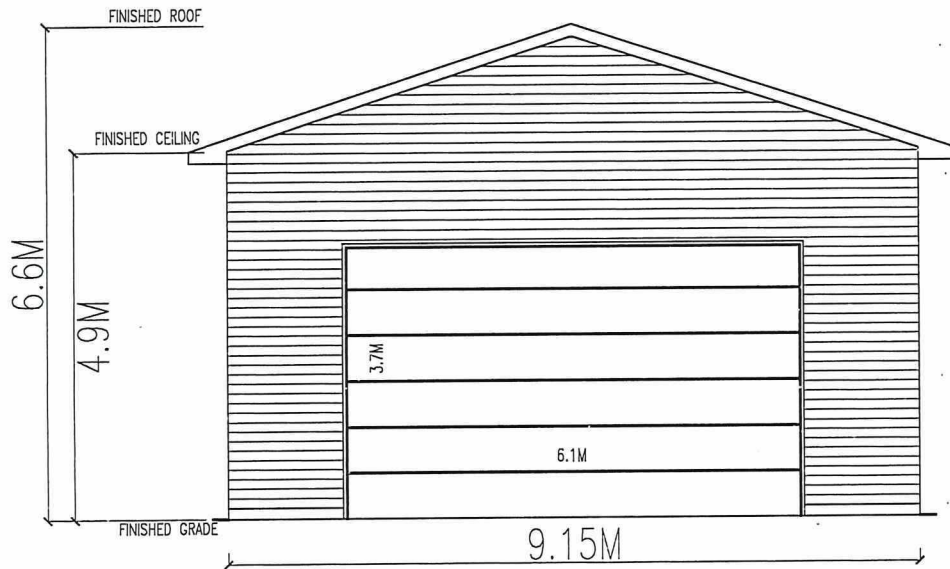
ZONING - ACCESSORY BUILDING

SITE AREA	22.86M X 105.5M = 2412 M ²	
ZONING	R1-5	
BUILDING FOOTPRINT	PROPOSED: (194 M ²)	
LOT COVERAGE	PROPOSED: 0.08%	PERMITTED: 10%
BUILDING SETBACKS		
	REQUIRED	PROPOSED
FRONT	6.0 m (19 ft 8 in)	27.8 m (91 ft 2 in)
SIDE	1.8 m (5 ft 11 in)	1.8 m (5 ft 11 in)
SIDE	1.2 m (3 ft 11 in)	11.9 m (39 ft 0 in)
REAR	1.2 m (3 ft 11 in)	56.3 m (184 ft 8 in)

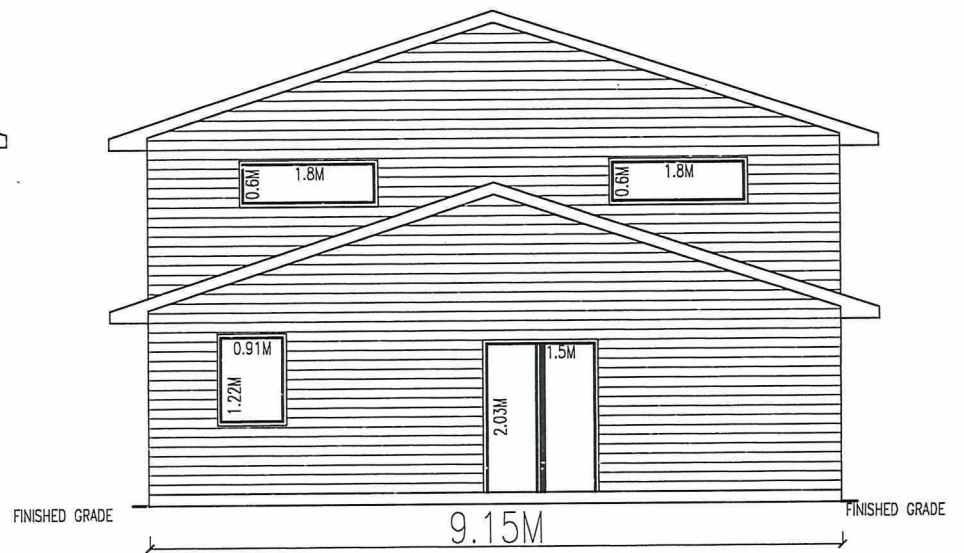
A004712022
Sketch 2

PROJECT	DETACHED GARAGE W/ SECONDARY UNIT	DATE	2022-04-17	PP
SUBJECT	5011 PROULX COURT	SCALE	N/A	
TYPE	PLOT PLAN	DATE	2022-04-17	
		BY	N/A	

5011 PROULX COURT



FRONT ELEVATION

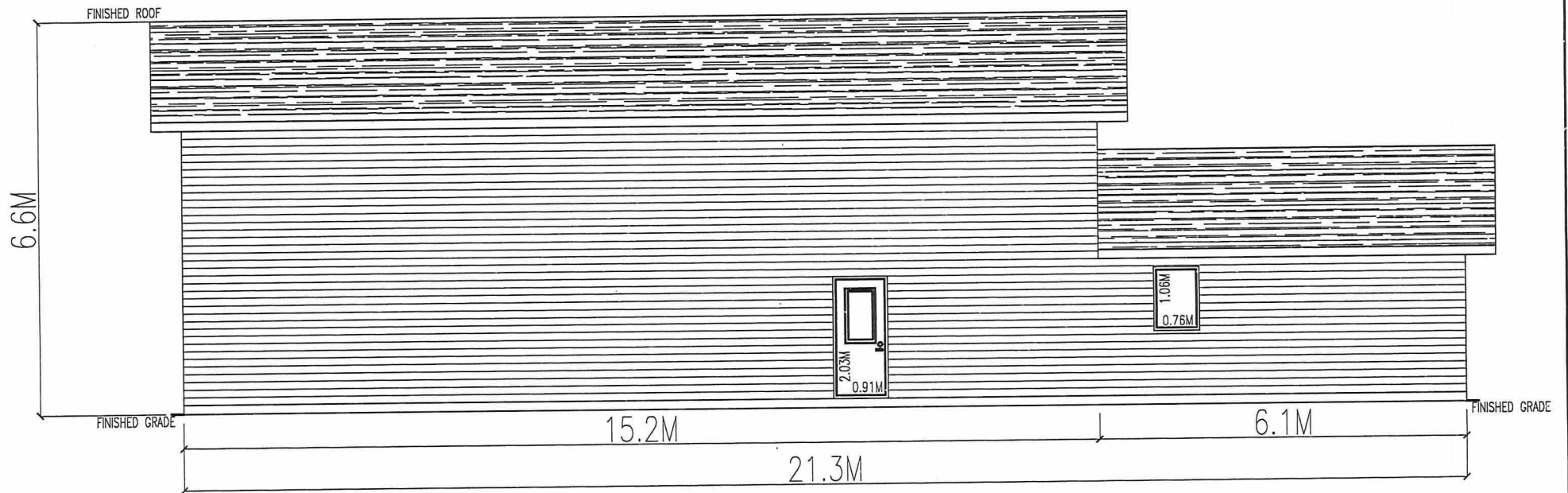


REAR ELEVATION

A0047/2022
 sketch 3

PROJECT	DETACHED GARAGE W/ SECONDARY UNIT	DATE	2022-04-17	SHEET	A1
CLIENT	5011 PROULX COURT	SCALE	1/8"=1'-0"	PROJECT #	
DATE	2022-04-17	SCALE	1/8"=1'-0"	OWNER	
ELEVATIONS					

5011 PROULX COURT

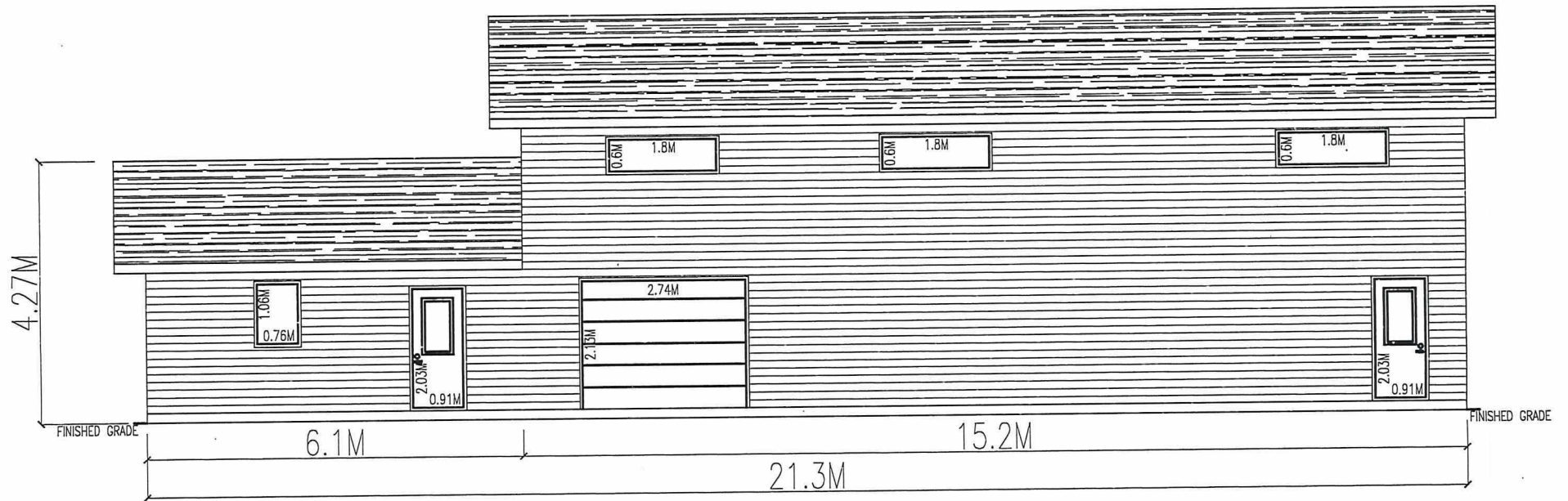


RIGHT ELEVATION

A0047/2022
Sketch 4

PROJECT	DETACHED GARAGE W/ SECONDARY UNIT	DRAWN	PROJECT
SHEET	5011 PROULX COURT	DATE	2022-04-17
TITLE	ELEVATIONS	SCALE	1/8"=1'-0"
			A2

5011 PROULX COURT



LEFT ELEVATION

A0047/2022
Sketch 5

PROJECT	DETACHED GARAGE W/ SECONDARY UNIT	DATE	2022-04-17	SHEET	A3
LOCATION	5011 PROULX COURT	SCALE	1/8"=1'-0"	PROJECT #	
FILE	ELEVATIONS				



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only	
A0048/2022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Patrick Goulet, Melissa Goulet Email: [REDACTED]
Mailing Address: 4443 notredame ave Home: [REDACTED]
Business Phone: XXXXXXXXXXXXXXX
City: hanmer ontario Postal Code: p3p1x6 Fax Phone: XXXXXXXXXXXXXXX

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Patrick Goulet Email: [REDACTED]
Mailing Address: 5118 HWY 69N unit 3 Home: [REDACTED]
4443 Notredame Ave. Hanmer On Business Phone: XXXXXXXXXXXXXXX
City: hanmer ontario Postal Code: p3p1x6 Fax Phone: XXXXXXXXXXXXXXX
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Royal Bank of Canada
Mailing Address: 5118 HWY 69N unit 3
City: hanmer Postal Code: p3p1p9

- 4) Current Official Plan designation: mixed use commercial Current Zoning By-law designation: C2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
minimum rear yard	7.5m	1.2m	6.3m
minimum side yard (south)	1.2m	0.6m	0.6m

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: 0.4064 (m)

- c) Description of Proposal:

Construction of a 8.53m x 7.92m garage 1.2m from the rear lot line, and 0.6m from the south side lot line on the property located at 4443 notredame ave hanmer.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The lot is only 30m x 15m, and the rearmost portion of the house ends at 16.5m of the 30m deep lot. a rear yard of 7.5m makes it impossible to build the garage unless it is reduced.
The garage door would be offset from the driveway by the 1.2m side yard requirement. A reduction in this requirement would make entering with a vehicle more direct, and less cumbersome.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73503-0487 Township: Capreol
 Lot No.: 27 1 Concession No.: 2 Parcel(s): 7018
 Subdivision Plan No.: M107 Lot: 1 2 3 Reference Plan No.: M1107 Part(s):
 Municipal Address or Street(s): 4443 Notredame Ave. Hanmer On

- 7) Date of acquisition of subject land. 2013/06/26

- 8) Dimensions of land affected.

Frontage 15.24 (m) Depth 30.48 (m) Area 5464. (m²) Width of Street 10 (m)

- 9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	85.65 (house)	9 (shed) (m ²)	(remove shed)	67.5 (garage) (m ²)
Gross Floor Area:	85.65 (house)	9 (shed) (m ²)	(remove shed)	67.5 (garage) (m ²)
No. of storeys:	1 (house) 1 (shed)		(remove shed)	1+attic (garage)
Width:	8.83 (house)	3 (shed) (m)	(remove shed)	8.53 (garage) (m)
Length:	9.7 (house)	3 (shed) (m)	(remove shed)	7.92 (garage) (m)
Height:	4.9 (house)	2.4 (shed) (m)	(remove shed)	6.14 (garage) (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	6.4 (house)	26.28 (shed) (m)	(remove shed)	21.36 (garage) (m)
Rear:	14.4 (house)	1.2 (shed) (m)	(remove shed)	1.2 (garage) (m)
Side:	1.2 (house)	1.2 (shed) (m)	(remove shed)	0.6 (garage) (m)
Side:	5.1 (house)	11.04 (shed) (m)	(remove shed)	6.11 (garage) (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

house 1959 shed unknown

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 1959

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: Residential

P0048/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If 'Yes', indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, PATRICK GOULET (please print all names), the registered owner(s) of the property described as 4443 NOTREDAME AVE. in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

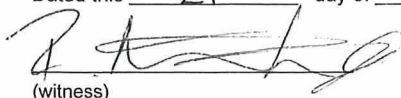
Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of APRIL, 2022


(witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: PATRICK GOULET

*I have authority to bind the Corporation

20048/2022

I/We, PATRICK GOLLET (please print all names),
the registered owner(s) or authorized agent of the property described as 4443 NOTRE DAME
AVE.

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this ~~April 21~~ 21 day of APRIL, 2022

Paula Elizabeth Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: PATRICK GOWEX
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: April 21/22 Hearing Date: May 18, 2022 Received By: N. Lewis

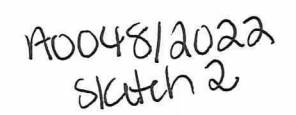
Zoning Designation: C2 Resubmission: ☐ Yes ☒ No

Previous File Number(s): None

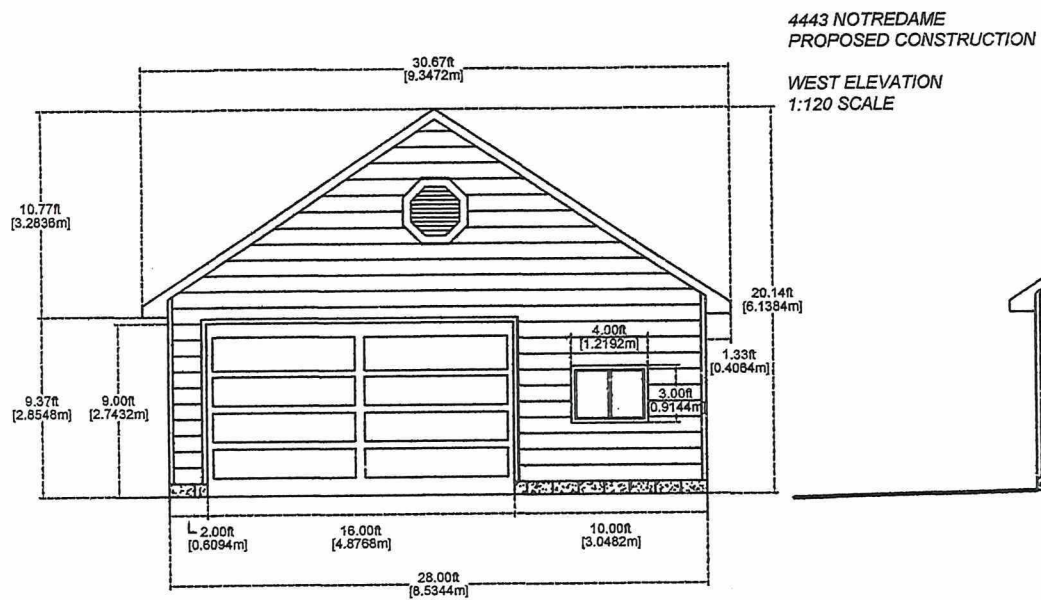
Previous Hearing Date: None

Notes:

170048/2022



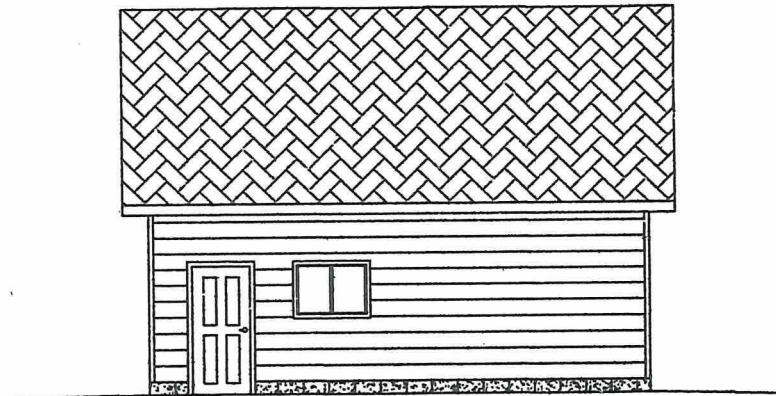
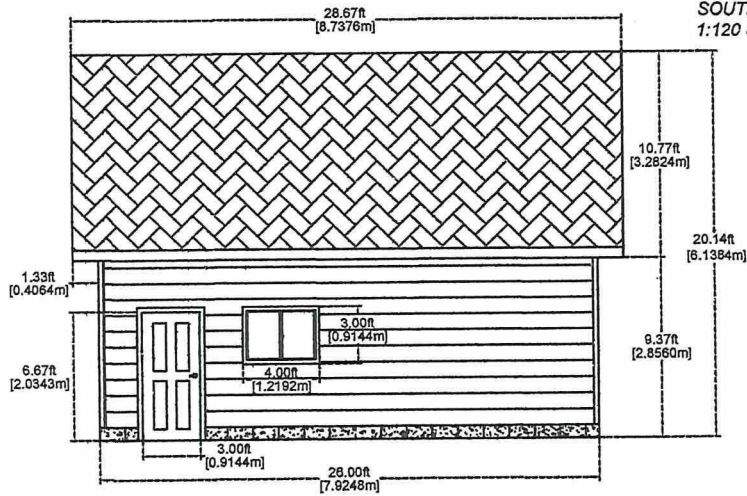
NOTRE DAME AVE.



170048/2022
sketch 3

4443 NOTREDAME
PROPOSED CONSTRUCTION

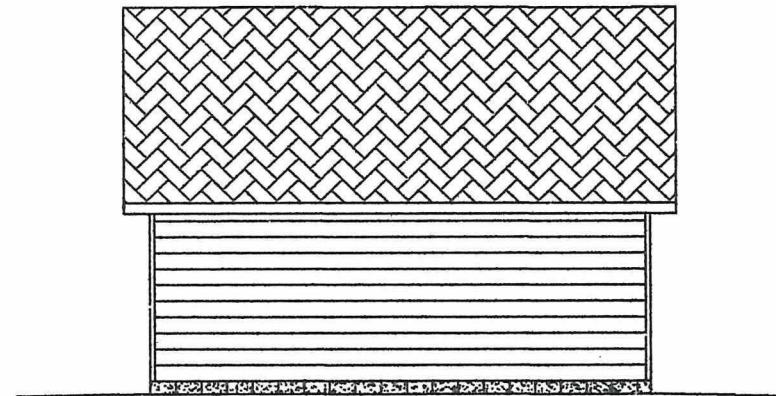
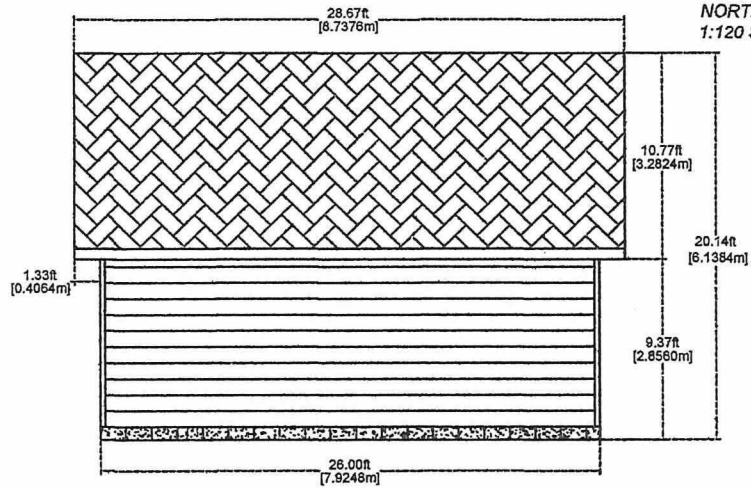
SOUTH ELEVATION
1:120 SCALE



A00481 2022
Sketch 4

4443 NOTREDAME
PROPOSED CONSTRUCTION

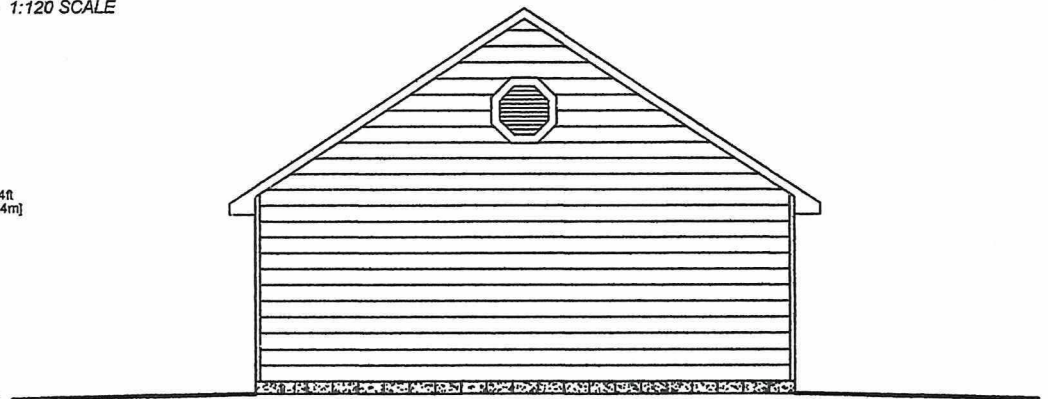
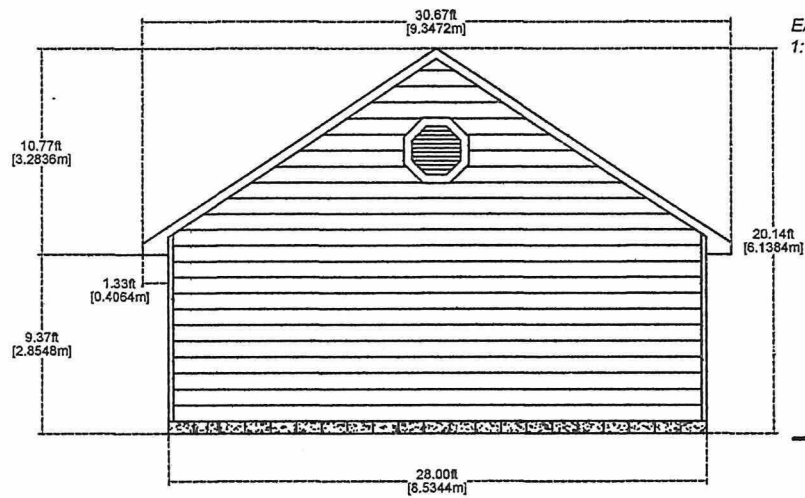
NORTH ELEVATION
1:120 SCALE



A004812022
Sketch 5

4443 NOTREDAME
PROPOSED CONSTRUCTION

EAST ELEVATION
1:120 SCALE



A0048/2022
Sketch 6



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only 2022.01.01	
A 0044/2022	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Camile Laplante Email: [REDACTED]
Mailing Address: 80 Elm Crescent Home: [REDACTED]
Business Phone: [REDACTED]
City: Levack Postal Code: P0M 2C0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Jo-Anne Laplante Email: [REDACTED]
Mailing Address: [REDACTED] Home: [REDACTED]
80 Elm Crescent, Levack, Ontario, P0M 2C0 Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: NO MORTGAGE
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Front Yard Setback	6.0m	4.83m	1.17m

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: .6 (m)

- c) Description of Proposal:

Proposal will reorient what is considered the "front lot line" as defined in the City's Zoning By-Law.

Currently the front lot line is considered to be First Avenue, after the proposed severance, the front lot line would be considered Elm Crescent.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

After the proposed severance the front lot line would be considered Elm Crescent and the existing dwelling would no longer be in compliance for the required front yard setback.

The required front yard setback in the R2-2 zone is 6.0 and the existing dwelling is setback 4.83m.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73342-0315 Township: Levack
 Lot No.: 9 Concession No.: 187 Parcel(s): 24129 14332
 Subdivision Plan No.: M-1008 Lot: 10 Reference Plan No.: 53R-14779 Part(s): 1-3 2
 Municipal Address or Street(s): 80 Elm Crescent, Levack, Ontario, P0M 2C0

- 7) Date of acquisition of subject land. 1991 or 1992

- 8) Dimensions of land affected.

Frontage 40.68 (m) Depth 33.52 (m) Area 1535.21 (m²) Width of Street 19.13 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	124.95 (m ²)	124.95 (m ²)
Gross Floor Area:	249.90 (m ²)	249.90 (m ²)
No. of storeys:	1	1
Width:	15.94 (m)	14.36 (m)
Length:	14.36 (m)	15.94 (m)
Height:	9.14 (m)	9.14 (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	7.48 (m)	4.83 (m)
Rear:	19.62 (m)	12.68 (m)
Side:	4.83 (m)	1.33 (m)
Side:	12.68 (m)	7.48 (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1992-1993

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential home

Length of time: 29 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or,

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: roadway and residential homes

A0049/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): CONCURRENT CONSENT APPLICATION

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Camile Laplante (please print all names), the registered owner(s) of the property described as 80 Elm Crescent, Levack, Ontario, P0M 2C0
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Jo-Anne Laplante (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21st day of APRIL, 2022

[Signature]
(witness)

Camile Laplante 
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Camile Laplante

*I have authority to bind the Corporation

PO049/2022

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Camile Laplante (please print all names),
the registered owner(s) or authorized agent of the property described as 80 Elm Crescent, Levack, Ontario, P0M 2C0

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22nd day of APRIL, 2022

Commissioner of Oaths

Paula Elizabeth Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

Jo Anne Lapolante
signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: JO-ANNE LAPLANTE
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: April 22/22 Hearing Date: May 18/22 Received By: N. Lewis

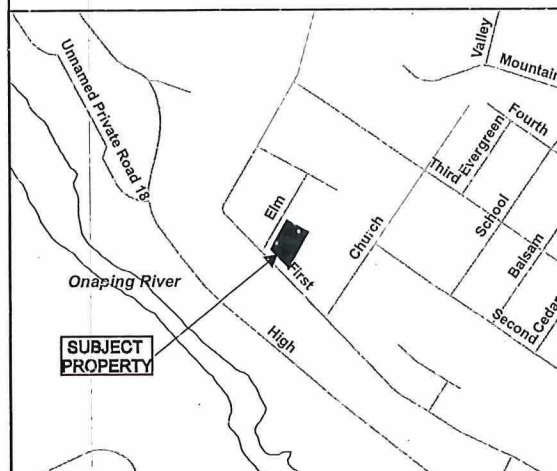
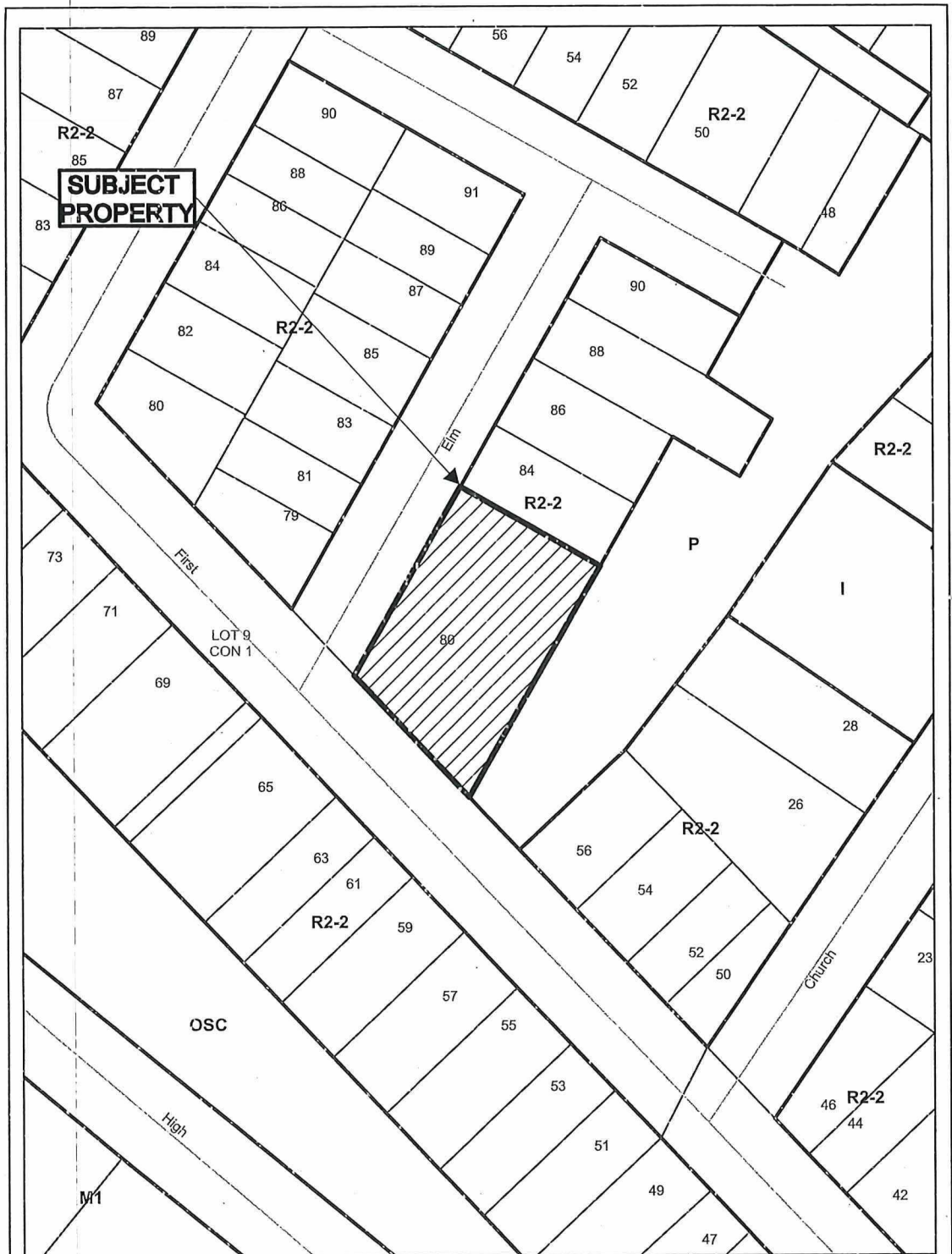
Zoning Designation: Ra-2 Resubmission: ☐ Yes ☒ No

Previous File Number(s): B0264/1993

Previous Hearing Date: Aug. 23/23

Notes:

ACC49/2022



Application for Minor Variance or Permission

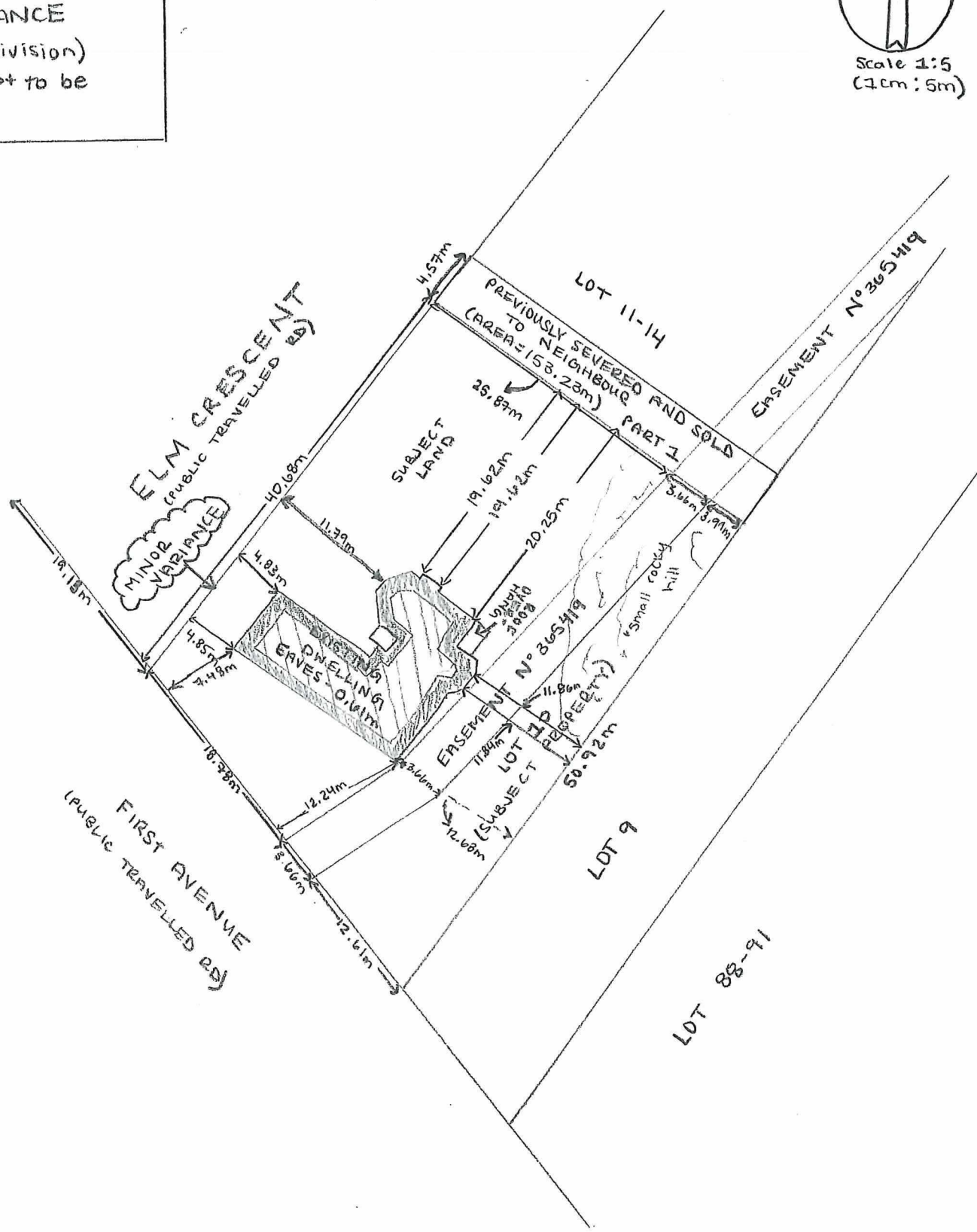
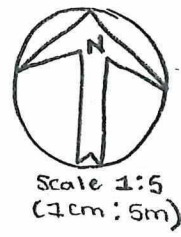


Subject Property being,
 PIN 73342-0315,
 Parcel 24129 SEC SWS SRO,
 Part Lot 10, Plan M-1008, Parts 1 to 3,
 Plan 53R-14779, Part Lot 9, Concession 1,
 Township of Levack, 80 Elm Crescent, Levack,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0049/2022
 Date: 2022 04 26

MINOR VARIANCE
 (Residential Subdivision)
 change front of lot to be
 on Elm Crescent.



A0049/2022
 sketch 2

SIB
(707)

ELM CRES

LOT 14

REGISTERED PLAN M-1008

ELM CRESCENT
(DEDICATED BY REGISTERED PLAN M-1008)

LOT 27

IB (707)

PCL 24416 SWS
LOT 11

REM

PCL

24125 SWS

LOT 10

BRICK CHIMNEY

CONG. STEPS

STOREY FRAME DWELLING (BRICK FACE) (UNDER CONSTRUCTION)
EAVES 2.0'

ROOF OVER HANG

SIB (707)
DISTURBED
PLT SIB

A0049/2022
Sketch 4

PLAN

SIB
(707)

62.75' (SET P1)

FIRST
(DEDICATED BY

115.04' (P1 & MEAS)
REFEREN

38.91'
38.85'

182.07' (P1 & MEAS)

9
3' SWS

41.60'

40.17'

24.53'

16.88'

15.96'

30.68'

79.57'
79.56'

8' 46"

N 60°24'40" W 110.00' (P1 & MEAS)

(344.36' P1)

344.45' (MEAS)

N 29°35'20" E (P1 & MEAS)
(148.98' P1)

148.46' (MEAS)



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2022.01.01
A 0050/2022
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES ___ NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kyle Dumpis Email: [REDACTED]
Mailing Address: 426 Melvin Ave Home Phone: [REDACTED]
City: Sudbury Postal Code: P3C 4X4 Fax Phone: X

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
Mailing Address: _____ Home Phone: _____
City: _____ Postal Code: _____ Business Phone: _____
Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Lendwise, Mr. Wayne Martin
Mailing Address: 390 Bay Street, 18th Floor
City: Toronto Postal Code: M5H 2Y2

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
By-law 2010-1002; 4.37.2 Railroads	30.0 metres	4.5 metres (lot is pie-shaped)	25.5 metres (lot is pie-shaped)

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Construction of deck

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: The property is not wide enough to accommodate a distance of 30.0 metres between the deck and the road

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 02130-0166 Township: McKim
 Lot No.: 846, PT 844, 845 Concession No.: 4 Parcel(s): 13750, 2182
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53R20708 Part(s): 2
 Municipal Address or Street(s): 426 Melvin Ave

- 7) Date of acquisition of subject land.
- August 3, 2018

- 8) Dimensions of land affected.

Frontage 16.15 (m) Depth 36.58 (m) Area 798.73± (m²) Width of Street N/A (m)

- 9) Particulars of all buildings:

	House	Existing Garage	Shed	Deck	Proposed	(m ²)
Ground Floor Area:	<u>62.36</u>	<u>45.9</u>	<u>8.64</u>	<u>21.4</u>		(m ²)
Gross Floor Area:	<u>119.6</u>	<u>45.9</u>	<u>8.64</u>	<u>21.4</u>		(m ²)
No. of storeys:	<u>2</u>	<u>1</u>	<u>1</u>	<u>1</u>		
Width:	<u>8.2</u>	<u>6.2</u>	<u>3.4</u>	<u>5.5</u>		(m)
Length:	<u>7</u>	<u>7.4</u>	<u>3.6</u>	<u>4.3</u>		(m)
Height:	<u>6</u>	<u>3.9</u>	<u>2.1</u>	<u>2</u>		(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House	Existing Garage	Shed	Deck	Proposed	(m)
Front:	<u>6</u>	<u>30</u>	<u>25.8</u>	<u>11.58</u>		(m)
Rear:	<u>19.5</u>	<u>1.8</u>	<u>25.5</u>	<u>19.5</u>		(m)
Side:	<u>2</u>	<u>3</u>	<u>9.2</u>	<u>8.4</u>		(m)
Side:	<u>7</u>	<u>4</u>	<u>4.5</u>	<u>4.5</u>		(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☒

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1930

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): ResidentialLength of time: Since purchased in 2018

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?
- One

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- Residential

A0050/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If 'Yes', indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kyle Dumpis (please print all names), the registered owner(s) of the property described as 426 Melvin Ave, P3C 4X4 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of April, 2022

Gabriel Dumais
(witness)

Kyle Dumpis
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Kyle Dumpis

*I have authority to bind the Corporation

P0050/2022


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Kyle Dumpis (please print all names),
the registered owner(s) or authorized agent of the property described as 426 Melvin Ave, P3C 4X4

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22 day of April, 2022


Commissioner of Oaths

Paula Elizabeth Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Kyle Dumpis
 *I have authority to bind the Corporation

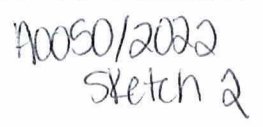
* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

[illegible]

A0050/2022

↑
N





Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only	
2022.01.01	
A 000112022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

\$35

\$300

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Shannon and Adrian Bubalo	Email: [REDACTED]
Mailing Address: 2243 Greenwood Drive	Home Phone: 647-228-3061
	Business Phone:
City: Sudbury	Postal Code: ON
	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: ^{ADRIAN} Shannon Bubalo	Email: [REDACTED]
Mailing Address: 865 Britannia Road West	Home Phone:
2243 Greenwood Drive, Sudbury	Business Phone:
City:	Postal Code:
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Scotia Bank
Mailing Address: 865 Britannia Road West
City: Mississauga
Postal Code: L5V 2X8

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.4 (a)	5.00 m	8.31	3.31

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
Proposed detached garage with loft above

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
To accommodate loft space above

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Neelon
 Lot No.: 11 Concession No.: 3 Parcel(s): 9275
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: 53R-14167 Part(s): 2,7,8,9,14
 Municipal Address or Street(s): 2243 Greenwood Drive, Sudbury

- 7) Date of acquisition of subject land. October 8, 2020

- 8) Dimensions of land affected.

Frontage 13.61 (m) Depth 100 (m) Area 1361 (m²) Width of Street 5 (m)

x 9) Particulars of all buildings: SFD	Existing	DET GAR	Proposed
Ground Floor Area:	98.77 98.77 (m ²)	68.82	(m ²)
Gross Floor Area:	98.77 198.08 (m ²)	68.82 134.81	(m ²)
No. of storeys:	1	2	
Width:	11.77 (m)	7.70	(m)
Length:	11.13 (m)	8.92	(m)
Height:	7.07 7.19 (m)	5.78 8.3	(m)

- x 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	SFD	Existing	DET GAR	Proposed
Front:	61.88	(REFER TO SITE PLAN)		27.76 (m)
Rear:		14.37		39.25 (m)
Side:		0.28		1.10 1.80 (m)
Side:		1.15		3.98 (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

2021

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SFD

Length of time: To Present

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: SFD

A0051/2022

- If "yes", indicate the application number(s): _____
or, describe briefly, _____

- If "yes", indicate application number(s) and status of application(s): _____

- If 'Yes', indicate application number(s) and status of application(s): _____

- If "yes", provide details on how the property is designated in the Source Protection Plan. _____

I/We, Shannon & Adrian Bubalo (please print all
names), the registered owner(s) of the property described as 2243 Greenwood Dr.
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

g) appoint and authorize Shannon Bubalo (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of April, 2022.

Ray M. Mulvey
(witness)

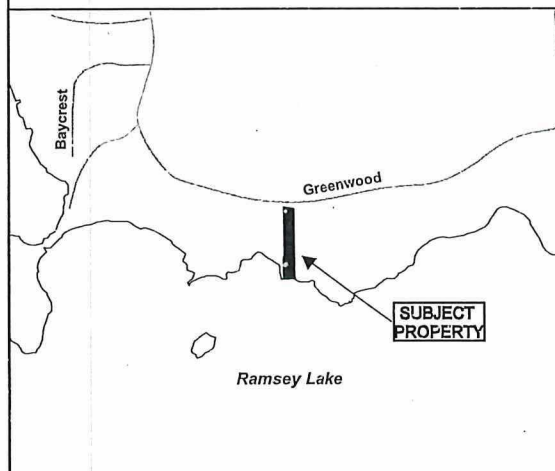
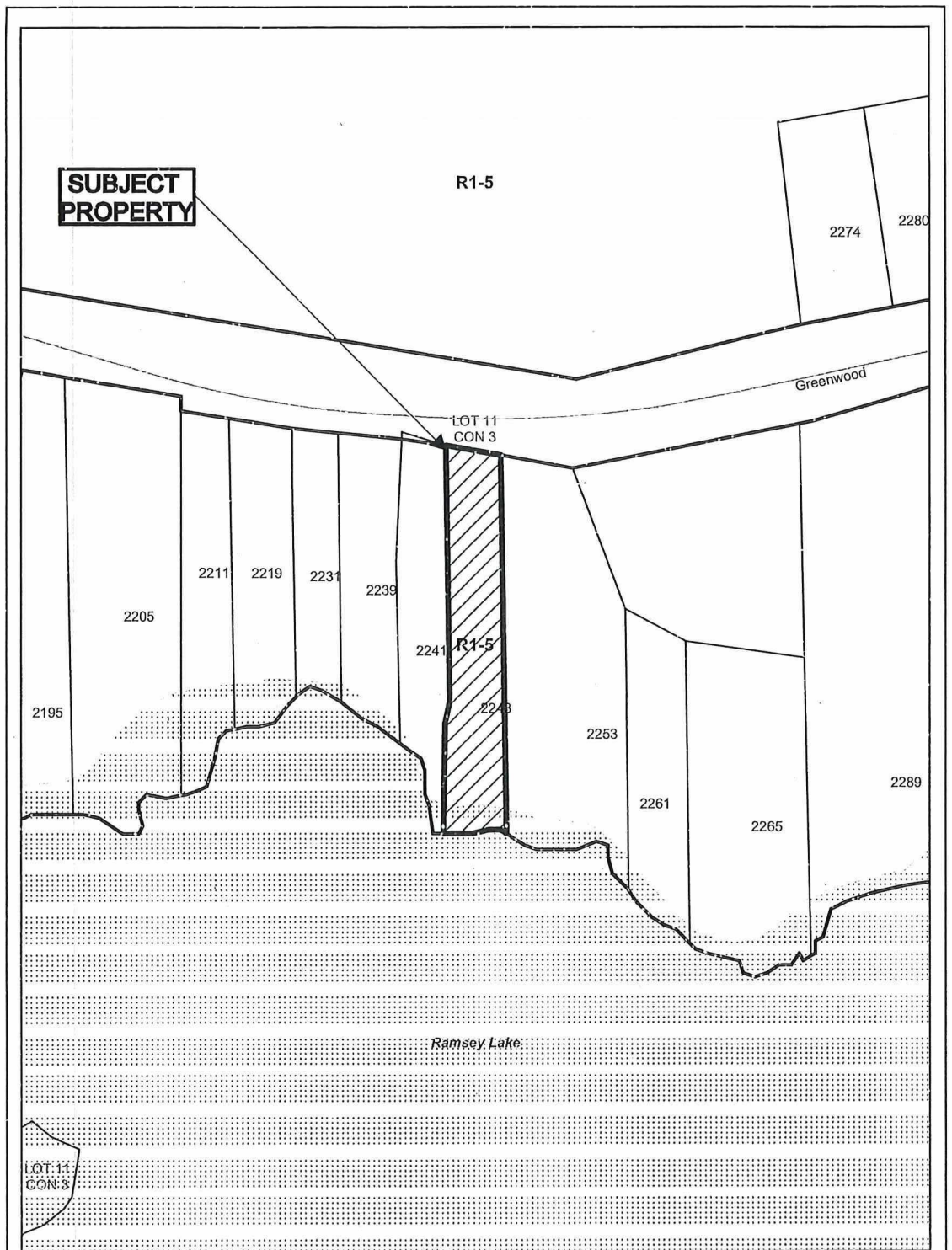
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Adrian Bubalo Shannon

*I have authority to bind the Corporation

AP0051/2022 Babald

HO051/2022



Application for Minor Variance or Permission

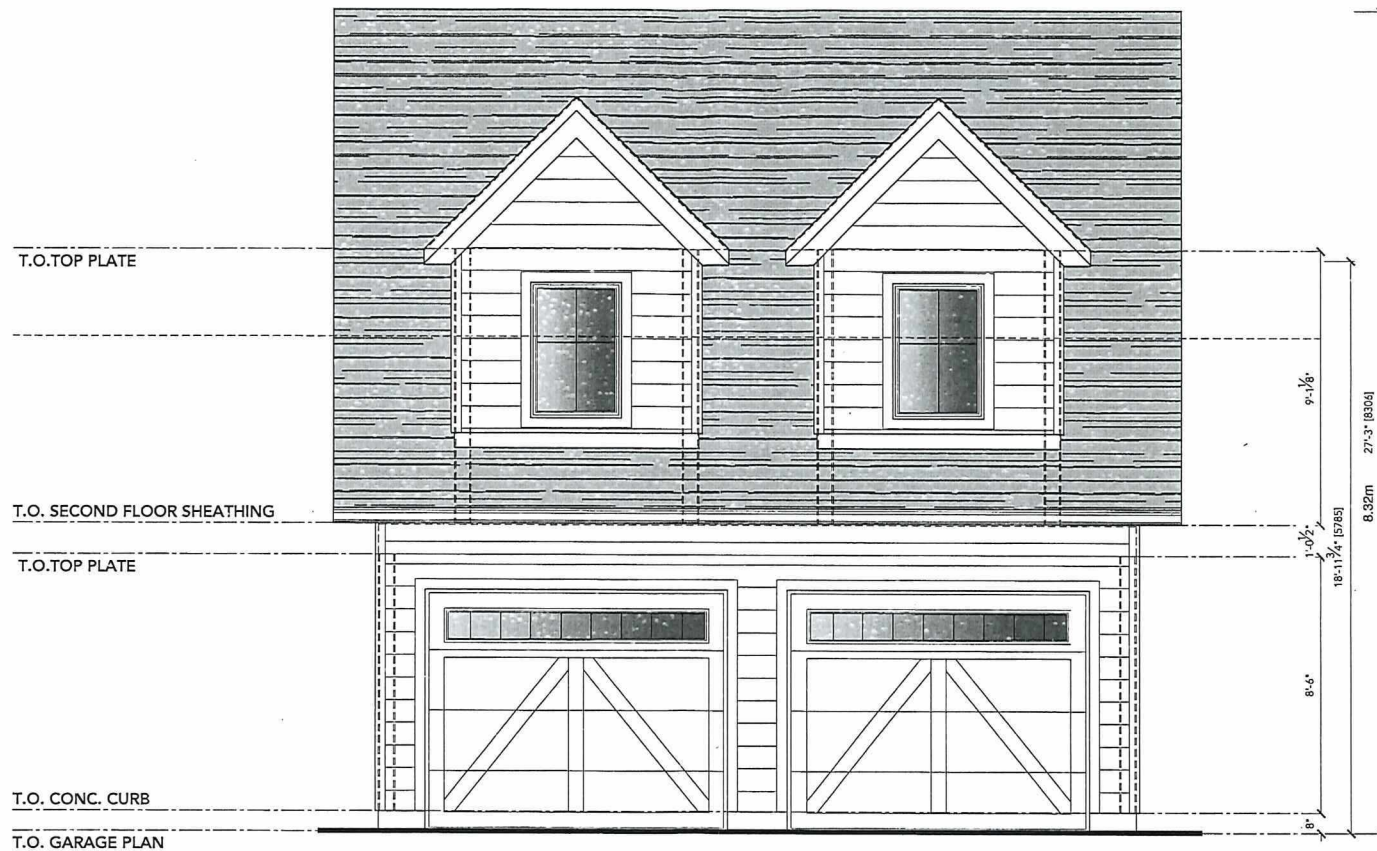


Subject Property being,
PIN 73577-0544,
Parcel 9275 SEC SES,
Part Lot 11, Concession 3,
Parts 2, 7, 8, 9, and 11, Plan 53R-14167,
Township of Neelon,
2243 Greenwood Drive, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0051/2022
Date: 2022 04 26

AD051/2022
Sketch 2



AUG 11/2022
sketch 3

FRONT ELEVATION

ELEVATIONS
DRAWN BY: JUSTIN SHERRY
ISSUED FOR: REVIEW
09.06.2020
PROJECT NO.: 2020-047
2243 GREENWOOD DRIVE, SUDBURY, ONTARIO

SHEET
03



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only 2022.01.01	
A0052/2022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Yvan + Amy Ducharme Email: [REDACTED]
Mailing Address: 279 Timberglade Cr Home Phone: [REDACTED]
City: Hammer Postal Code: P3P0C4 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Amy Ducharme Email: [REDACTED]
Mailing Address: See Above Home Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Business Phone: [REDACTED]
Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Northern Credit Union
Mailing Address: 10 Vaughan Ave
City: Capreol Postal Code: P0M 1H0

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
height Section 4.2.4	shall 5 m	≈ 6.94 m	1.9342

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Construct a detached garage.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
wanting higher to install hoist - also he has
314" truck.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: CAPREOL
 Lot No.: 11 Concession No.: 3 Parcel(s): _____
 Subdivision Plan No.: 53 M1413 Lot: 17 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 277 TIMBERLADE CRT

- 7) Date of acquisition of subject land.
- March 1st 2012

- 8) Dimensions of land affected.

Frontage 18.360192 (m) Depth 52.998624 (m) Area 3182.087616 (m²) Width of Street _____ (m)
60.04 ft 173.88 ft 10,439.92

- 9) Particulars of all buildings:

	SFD	Existing	DECK	DET GAR	Proposed	
Ground Floor Area:	<u>1165.739</u>	<u>0</u>	(m ²)	<u>95.28755</u>		(m ²)
Gross Floor Area:	<u>209.3105</u>	<u>35.67</u>	(m ²)	<u>95.28755</u>		(m ²)
No. of storeys:	<u>2</u>	<u>N/A</u>		<u>1</u>		
Width:	<u>12.192</u>	<u>7.3152</u>	(m)	<u>9.1948</u>		(m)
Length:	<u>16.1544</u>	<u>4.8768</u>	(m)	<u>10.3632</u>		(m)
Height:	<u>6.7056</u>	<u>1.8288</u>	(m)	<u>6.94</u>		(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	SFD	Existing	DECK	DET GAR	Proposed	
Front:	<u>6.096</u>	<u>N/A</u>	(m)	<u>39.290752</u>		(m)
Rear:	<u>30.7748</u>	<u>22.86</u>	(m)	<u>4.2672</u>		(m)
Side:	<u>1.2192</u>	<u>7.1628</u>	(m)	<u>6.5024</u>		(m)
Side:	<u>4.8768</u>	<u>6.2484</u>	(m)	<u>1.524</u>		(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

SFD - 2017 DECK 2019.

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential SFD Length of time: 5 years.

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?

1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

Residential.

AP0521/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Yvan + Amy Ducharme (please print all names), the registered owner(s) of the property described as 279 Timberglade Court
Hammer, ON
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Amy Ducharme (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 20 22

(witness) [Signature]

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Amy Ducharme + Yvan

*I have authority to bind the Corporation

Ducharme
A0052/2022

I/We, Yvan + Amy Ducharme (please print all names),
the registered owner(s) or authorized agent of the property described as 279 Timburlade Court
Hanmer, ON
in the City of Greater Sudbury:

Dated this 25th day of April, 20 22

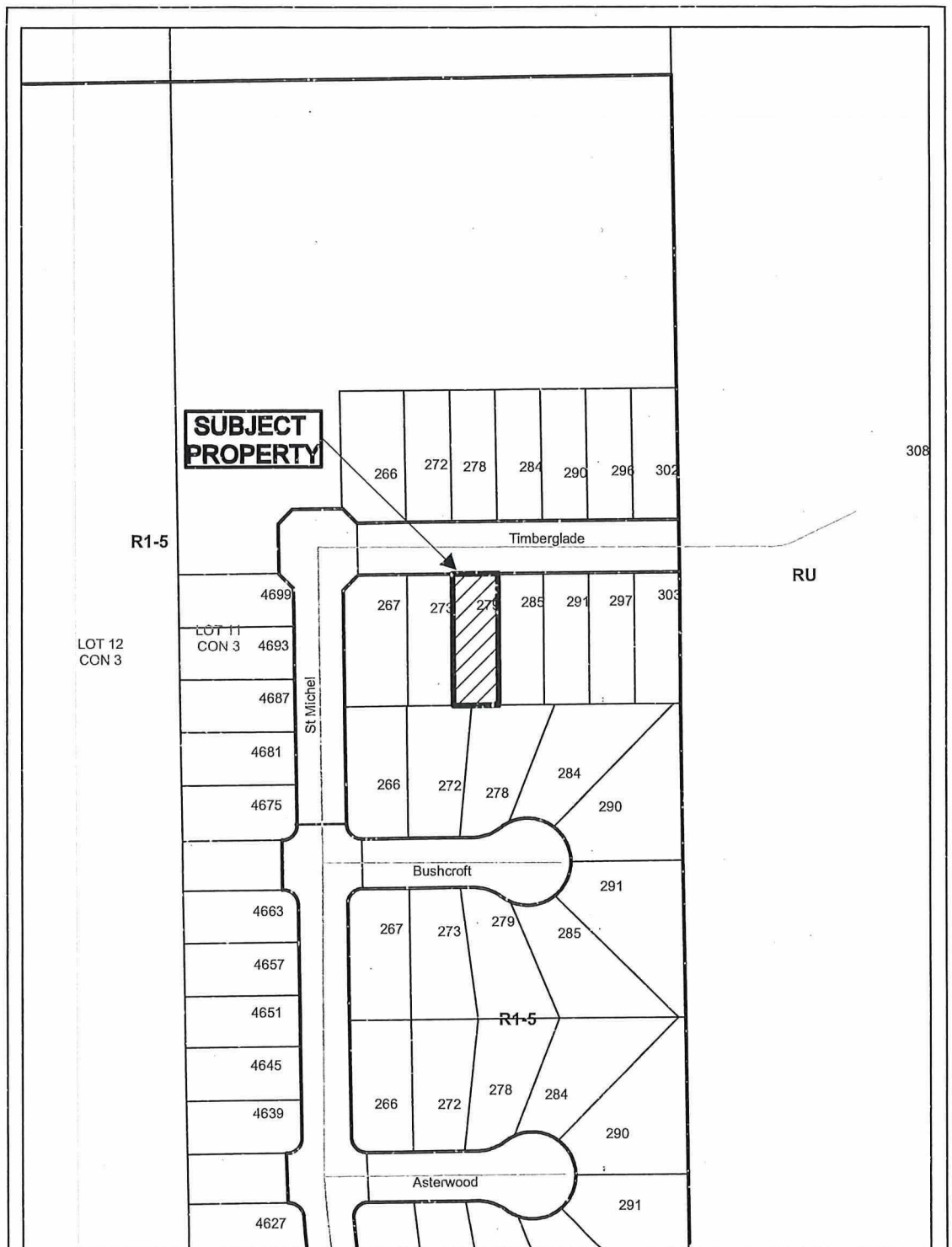
Aluchane
signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Amy Duchane
 *I have authority to bind the Corporation

FOR OFFICE USE ONLY

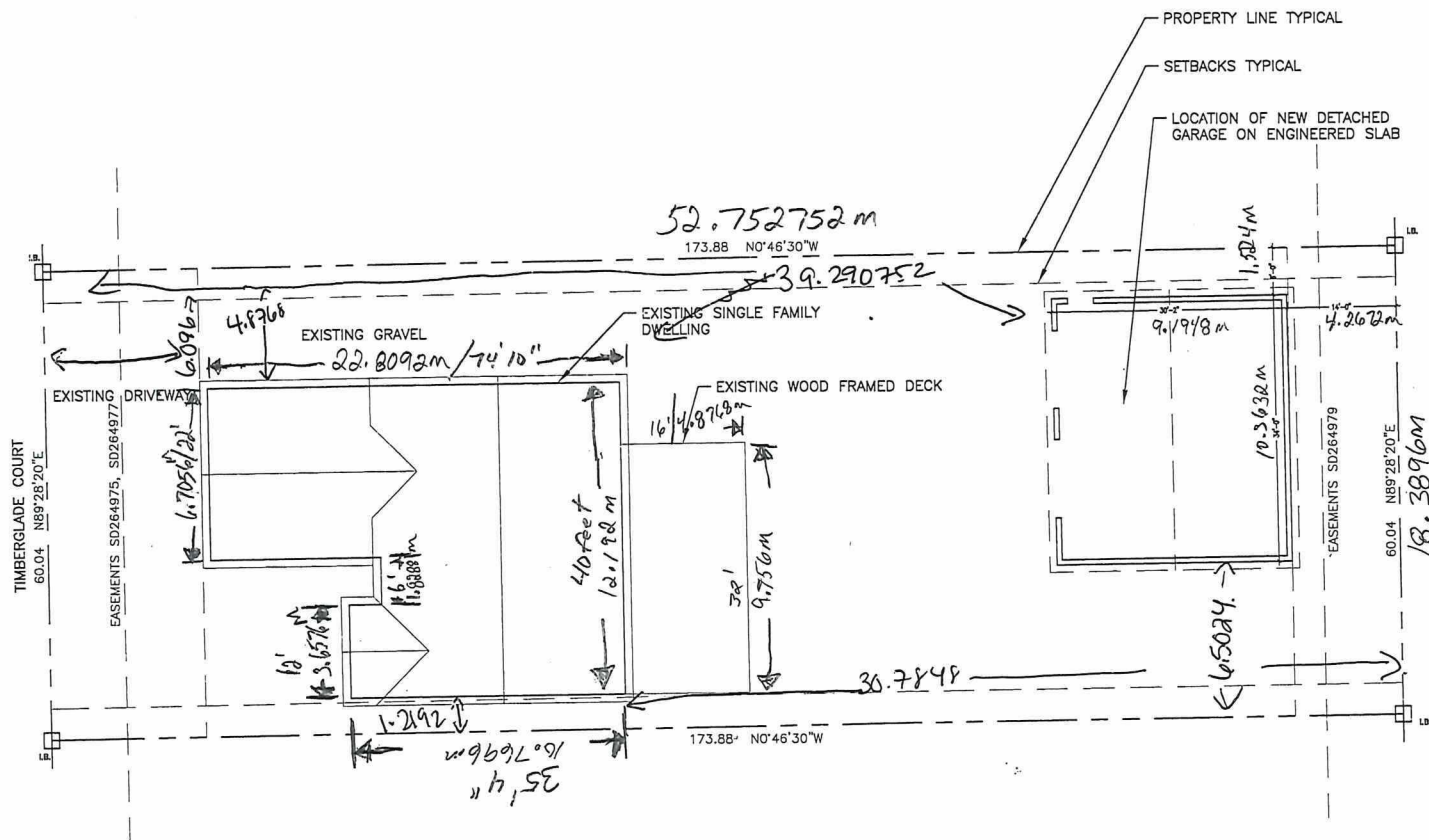
[illegible]

AP052/2022



<p>Oscar</p> <p>Chenier</p> <p>Ida</p> <p>Carl</p>		<p>Timberglade</p> <p>Bushcroft</p> <p>Asterwood</p> <p>St Michel</p>		<p>Capreol</p>	
		<p>Application for Minor Variance or Permission</p> <p>Subject Property being, PIN 73508-1412, Lot 17, Plan 53M-1413, Part Lot 11, Concession 3, Township of Capreol, 279 Timberglade Court, Hanmer, City of Greater Sudbury</p>			
<p>Sketch 1, NTS</p> <p>NDCA</p>		<p>A0052/2022</p> <p>Date: 2022 04 26</p>			

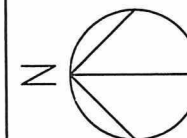
110052/2022
Sketch 2



General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION



No.	Revision/Issue	Date

Project Name and Address

279 TIMBERGLADE COURT
HANMER ONTARIO
GARAGE WORKING DRAWINGS

SITE PLAN

1/16" = 1'-0"

PROPERTY DESCRIPTION

LOT 17, RP-53M-1413
PIN 23508-1412
CAPREOL CONCESSION 3 LOT 11

Project
GARAGE

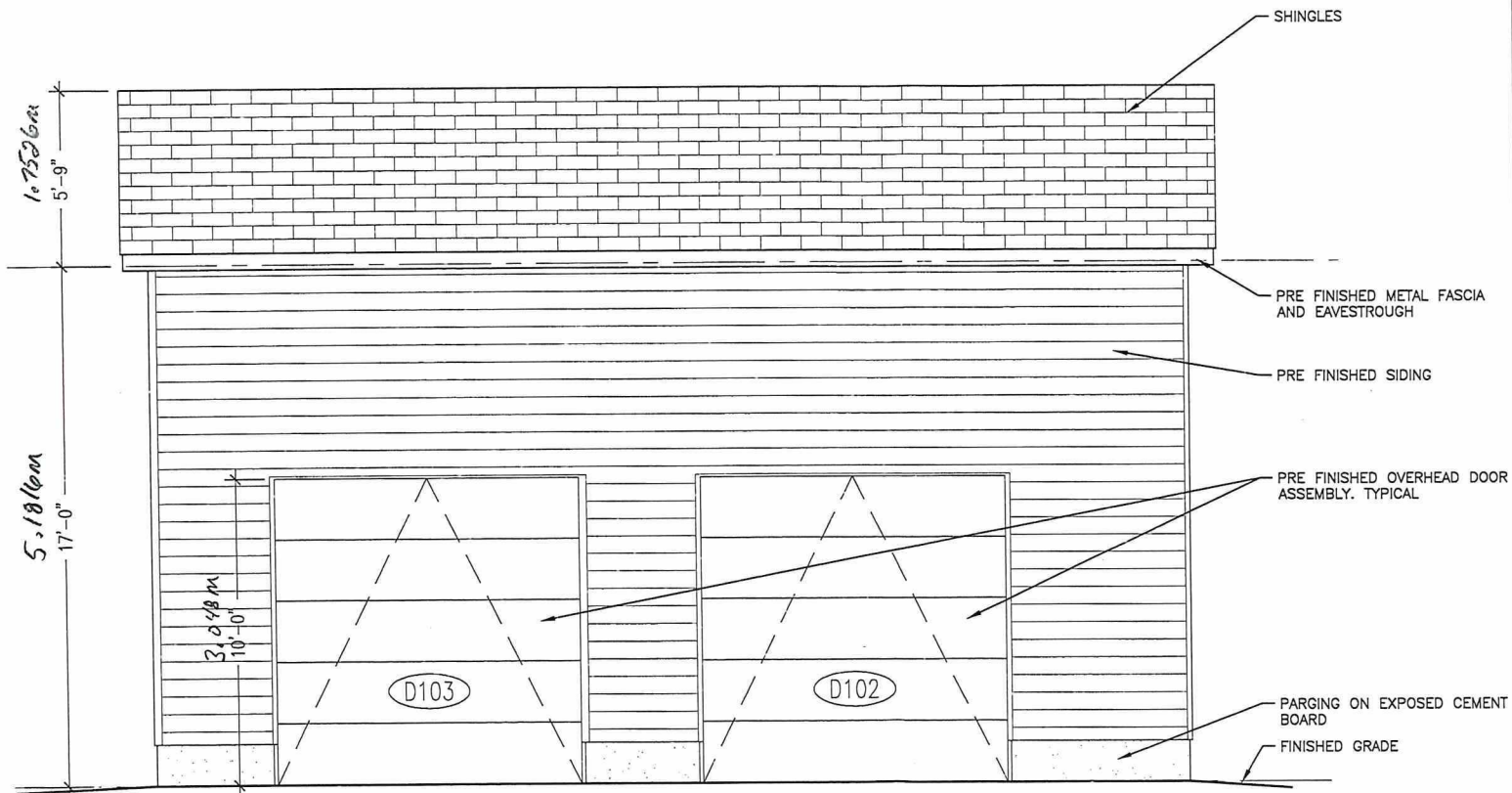
Date
MARCH 31, 2022

Scale
AS NOTED

Sheet

A-1
1/16"

Apr 22 / 2022
Sketch 3



Street facing

General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION

No.	Revision/Issue	Date

Project Name and Address

279 TIMBERGLADE COURT
HANMER ONTARIO
GARAGE WORKING DRAWINGS

NORTH ELEVATION

1/4" = 1'-0"

Project
GARAGE

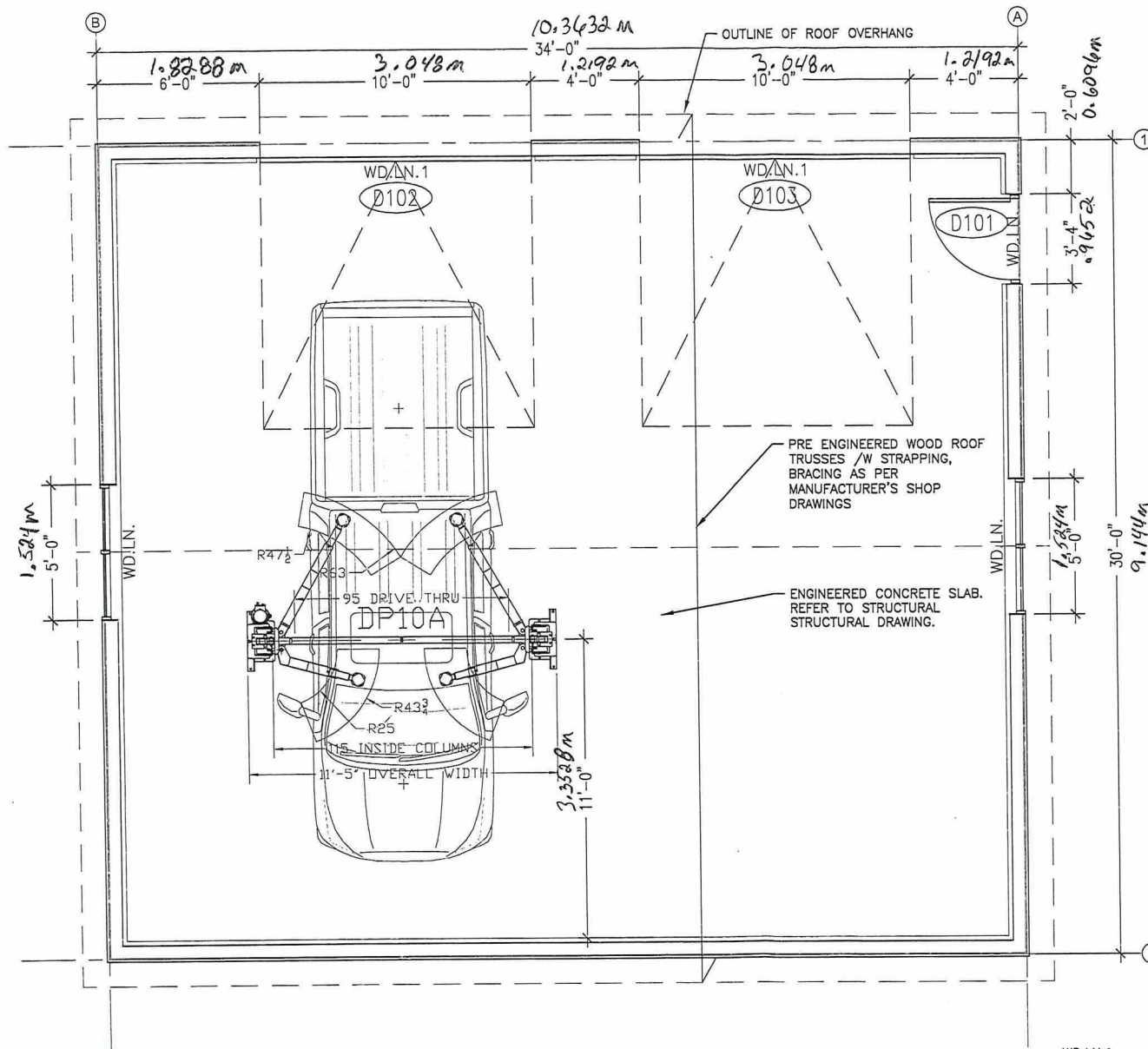
Date
MARCH 31, 2022

Scale
AS NOTED

Sheet

A-3

A0052/2022
Sketch 4



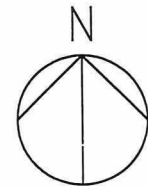
WD.LN.1
3-2x10 WITH 3 1/2" BEARING

WD.LN.
2-2x6 WITH 1 1/2" BEARING

General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY / ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION



No.	Revision/Issue	Date

Project Name and Address

279 TIMBERGLADE COURT
HANMER ONTARIO
GARAGE WORKING DRAWINGS

FLOOR PLAN

1/4" = 1'-0"

Project
GARAGE

Date
MARCH 31, 2022

Scale
AS NOTED

Sheet

A-2

A0052/2022
 sketch 5



General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION

No.	Revision/Issue	Date

Project Name and Address

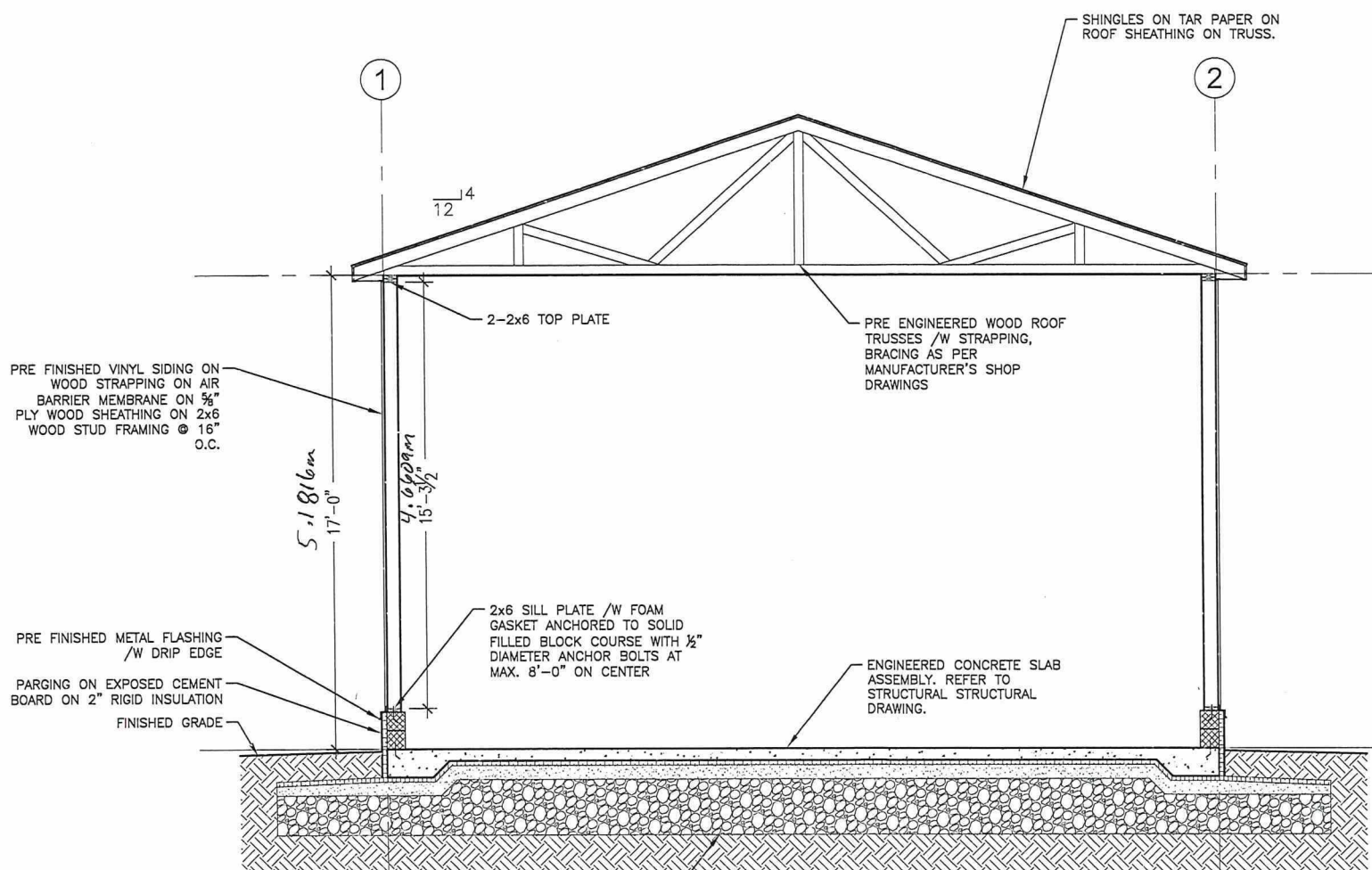
279 TIMBERGLADE COURT
HANMER ONTARIO
GARAGE WORKING DRAWINGS

EAST ELEVATION

1/4" = 1'-0"

Project GARAGE	Sheet A-4
Date MARCH 31, 2022	
Scale AS NOTED	

A0052/2022
Sketch 6



General Notes

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY/ ALL ERRORS AND OMISSIONS TO THE OWNER FOR HIS / HER WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.

CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM WITH ALL NECESSARY ARTICLES OF THE ONTARIO BUILDING CODE AS WELL AS ALL OTHER AUTHORITIES HAVING JURISDICTION

No.	Revision/Issue	Date

Project Name and Address

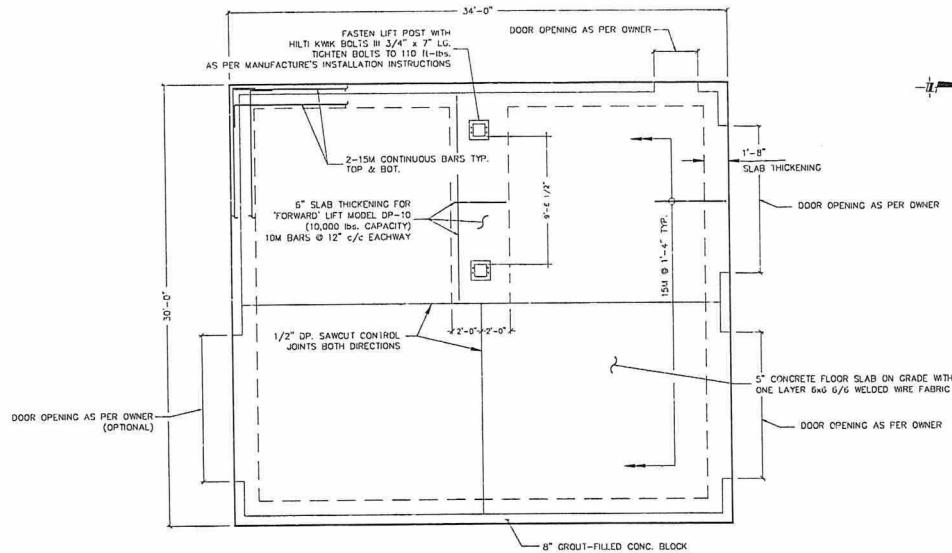
279 TIMBERGLADE COURT
HANMER ONTARIO
GARAGE WORKING DRAWINGS

BUILDING SECTION

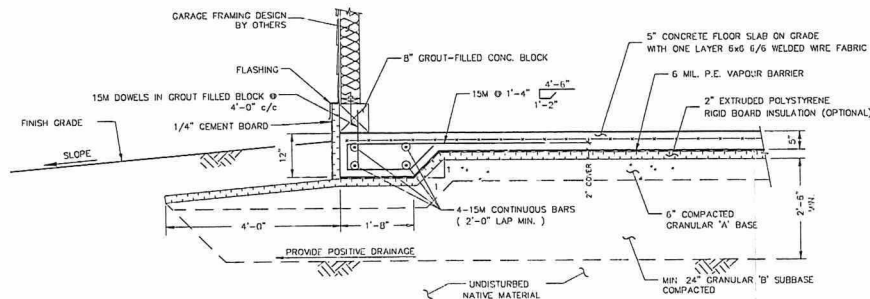
1/4" = 1'-0"

Project GARAGE	Sheet A-5
Date MARCH 31, 2022	
Scale AS NOTED	

A0052/2022
sketch 7



PLAN
1/4" = 1'-0"



TYPICAL SECTION
3/4" = 1'-0"

GENERAL NOTES:

1. PERFORM ALL WORK IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AS A MINIMUM STANDARD. REFER TO APPROPRIATE CSA STANDARDS FOR ADDITIONAL REQUIREMENTS CONCERNING WORKMANSHIP AND MATERIALS.
2. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE TO THE OCCUPATIONAL HEALTH AND SAFETY ACT AND ITS REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ASSOCIATED WITH THE WORK TO BE DONE PRIOR TO COMMENCING WORK OR ORDERING MATERIALS. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
4. GARAGE FOUNDATION AS SHOWN HAS BEEN DESIGNED TO FOUND ON SOIL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 1500 PSF (75 KPa). IT IS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THE SOIL UPON WHICH THE FOUNDATION WILL BEAR ACTUALLY MEETS THIS DESIGN ASSUMPTION. IF A LESSER BEARING CAPACITY IS ENCOUNTERED, IT IS THE RESPONSIBILITY OF THE OWNER TO HAVE THE FOUNDATION REDESIGNED TO SUIT EXISTING CONDITIONS.

REINFORCED CONCRETE:

1. ALL CAST IN PLACE CONCRETE SHALL BE READY MIXED AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AT 28 DAYS.
2. ALL CONCRETE SHALL MEET THE REQUIREMENTS OF CAN/CSA -A23.1-04 AND SHALL BE PLACED IN THE DRY. FLOOR SHALL BE FINISHED TO CLASS A REQUIREMENTS.
3. PROTECT CONCRETE FROM COLD AND HOT WEATHER IN CONFORMANCE TO CAN/CSA A23.1-04.
4. TENSION LAP SPICES SHALL BE CLASS B UNLESS NOTED OTHERWISE.
5. ALL REINFORCING STEEL SHALL BE DEFORMED STEEL BARS GRADE 400, MEETING THE REQUIREMENTS OF CSA C30.12. WELDED WIRE FABRIC SHALL CONFORM TO THE REQUIREMENTS OF CSA C30.5.
6. ALL REINFORCING STEEL AND WELDED WIRE FABRIC SHALL BE DETAILED, FABRICATED, DELIVERED, PLACED AND SECURED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE OF THE REINFORCING STEEL INSTITUTE OF ONTARIO.
7. CONCRETE PROTECTIVE COVER SHALL BE AS FOLLOWS:
MIN. 2" COVER WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND
MIN. 1 1/2" REMAINDER
8. CONVEY CONCRETE FROM TRUCK TO FINAL LOCATION BY METHODS WHICH WILL PREVENT SEPARATION OR LOSS OF MATERIAL. MAXIMUM HEIGHT OF FREE FALL SHALL BE LIMITED TO 5'. CONSOLIDATE CONCRETE WITH VIBRATORS.

EXCAVATION AND BACKFILLING:

1. EXCAVATION SHALL MEET THE REQUIREMENTS OF ONTARIO PROVINCIAL STANDARD (OPS) SPECIFICATION OPS-MUN-1206. REMOVE ALL ORGANIC MATERIAL BELOW SLAB.
2. GRANULAR BACKFILLING SHALL MEET THE REQUIREMENTS OF ONTARIO PROVINCIAL STANDARD (OPS) SPECIFICATIONS OPS-314 AND OPS-MUN-1010. COMPACTION SHALL BE TO A MINIMUM 100% STANDARD PROCTOR DENSITY.

DRAWING NOT TO BE SEALED
4" ON ORIGINAL DRAWING

REVISIONS

DATE	DETAILS	BY

CAUTION

- ALL UTILITIES ARE NOT NECESSARILY SHOWN ON THIS DRAWING
- WHERE UTILITIES ARE SHOWN, LOCATIONS ARE NOT GUARANTEED
- LOCATION & SIZE OF ALL UTILITIES MUST BE VERIFIED IN THE FIELD

DRG
Design & Inspection
Services



Project:

279 TIMBERGLADE COURT, HANMER, ONTARIO

Drawing:

PASSENGER CAR GARAGE
FOUNDATION PLAN AND SECTION

Drawn by: J.D.S.

Checked by: D.R.G.

Project No:

SUD-2022872

Date: MAR 31/22

Scale: AS NOTED

Drawing No:

1 of 1



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2022.01.01
A0103/2022
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES ___ NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Paul Lalonde + Nicole Deschamps
Mailing Address: 3393 St-Laurent St.
City: Chelmsford Postal Code: 0U

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Paul Lalonde Email: See above
Mailing Address: _____
City: _____ Postal Code: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Caisse Populaire Desjardins
Mailing Address: 3027 Hwy 69 N
City: Val Caron Postal Code: P3U 1R8

- 4) Current Official Plan designation: AGRICULTURAL RESERVE Current Zoning By-law designation: A

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Minimum Required Corner Side Yard (2021-1522)	4.5m	4.39m	0.11m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

House addition at the rear of the existing house to meet the needs of our growing family and the work from home requirements

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Following the existing west wall that encroaches Montée-Rouveau

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 160 023 0160 0000 Township: Ray side
 Lot No.: 2 Concession No.: 4 Parcel(s): 16704
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 3393 St-Laurent St.

- 7) Date of acquisition of subject land.

May 2013

- 8) Dimensions of land affected.

Frontage 38.1 (m) Depth 41.8 (m) Area 1591 (m²) Width of Street _____ (m)

- 9) Particulars of all buildings:

	House	Garage Existing	Shed	House	Garage Proposed	Shed
Ground Floor Area:	<u>81</u>	<u>33.5</u>	<u>19.5</u> (m ²)	<u>153</u>	<u>74.5</u>	<u>Removed</u> (m ²)
Gross Floor Area:	<u>130</u>	<u>33.5</u>	<u>19.5</u> (m ²)	<u>265</u>	<u>74.5</u>	<u>0</u> (m ²)
No. of storeys:	<u>2</u>	<u>1</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>0</u>
Width:	<u>10.6</u>	<u>5.5</u>	<u>3.2</u> (m)	<u>10.6</u>	<u>11</u>	<u>0</u> (m)
Length:	<u>6.7</u>	<u>6.1</u>	<u>6.1</u> (m)	<u>19.8</u>	<u>7.3</u>	<u>0</u> (m)
Height:	<u>7.1</u>	<u>3.7</u>	<u>2.7</u> (m)	<u>7.7</u>	<u>5.4</u>	<u>0</u> (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing			Proposed		
Front:	<u>3.2</u>	<u>39.5</u>	<u>39.5</u> (m)	<u>3.2</u>	<u>28.8</u>	<u>0</u> (m)
Rear:	<u>31.4</u>	<u>5.2</u>	<u>5.2</u> (m)	<u>18.2</u>	<u>5.2</u>	<u>0</u> (m)
Side: (East)	<u>23.1</u>	<u>13.9</u>	<u>25.3</u> (m)	<u>23.1</u>	<u>8.5</u>	<u>0</u> (m)
Side: (West)	<u>4.4</u>	<u>18.6</u>	<u>10.3</u> (m)	<u>4.4</u>	<u>18.6</u>	<u>0</u> (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

House: Pre 1940 Garage: Unknown Shed: Unknown
(70s or 80s)

- 13) Existing use(s) of the subject property and length of time it they have continued.

Use(s): Residential Length of time: Always

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?

1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:

Residential + AgriculturalA0053/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Paul + Nicole Lalonde (please print all names), the registered owner(s) of the property described as 3393 St-Laurent St
Chelmsford
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2022

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent


Print Name: Nicole Deschamps + Paul Lalonde

*I have authority to bind the Corporation

10053/2022

I/We, Paul Lalonde (please print all names),
the registered owner(s) or authorized agent of the property described as 3393 St-Lauvent
Chelmsford
in the City of Greater Sudbury:

Dated this 25 day of April, 2022


Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Paul Lalonde
 *I have authority to bind the Corporation

FOR OFFICE USE ONLY

Date of Receipt: Apr 25/22 Hearing Date: May 18/22 Received By: N. Lewis

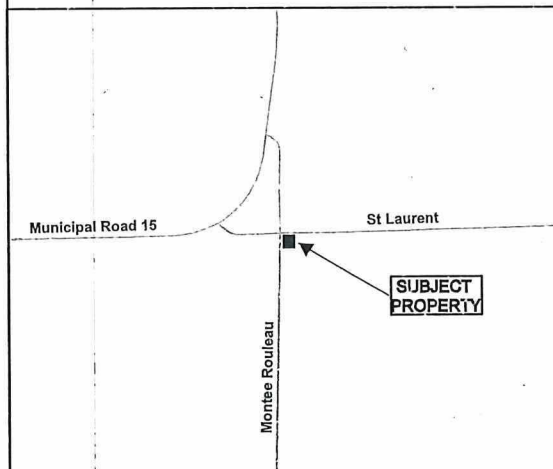
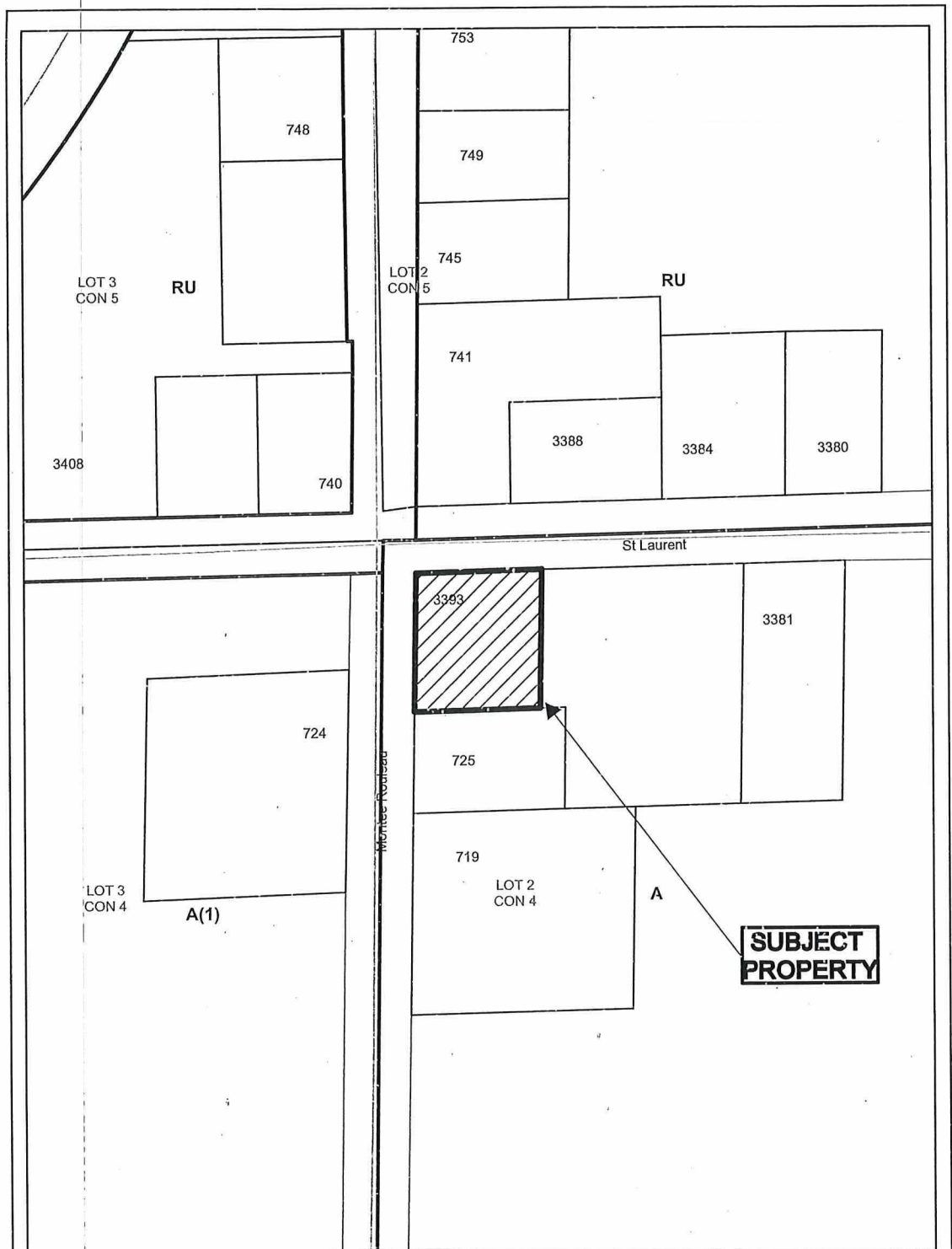
Zoning Designation: A Resubmission: ☒ Yes ☐ No

Previous File Number(s): None

Previous Hearing Date:

Notes:

190053/2022



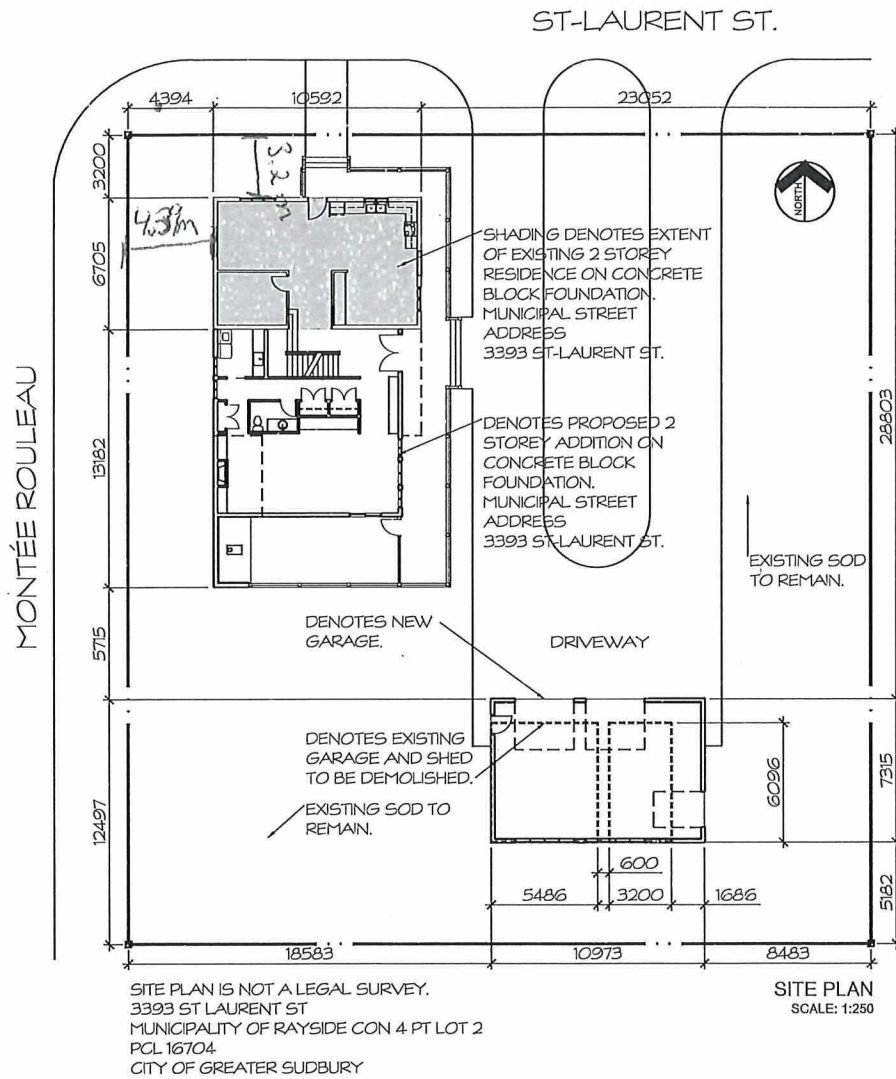
**Application for Minor
Variance or Permission**



Subject Property being,
PIN 73345-0135,
Parcel 16704 SEC SWS,
Part Lot 2, Concession 4,
Township of Rayside,
3393 St Laurent Street, Chelmsford,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0053/2022
Date: 2022 04 26



DRAWING NAME
MINOR VARIANCE
SITE PLAN

PROJECT NAME
LALONDE RESIDENCE
ALTERATION & ADDITION

DRAWN BY: RA
SCALE: 1:250
DATE: 22-04-24
SAVE AS: SP
JOB NO: 2022-09

DRAWING NUMBER

A-1

CONTRACTORS AND SUBTRADE SHALL VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES, DISCREPANCIES OR CONFLICTS TO THE DESIGNER/OWNER BEFORE PROCEEDING WITH THE WORK.

THESE DRAWINGS ARE PROTECTED BY THE COPYRIGHT ACT. ANY REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED BY LAW. THESE DRAWINGS REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE ALTERED IN ANY MANNER OR USED ON ANY OTHER PROJECT.

A0053/2022
sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2022.01.01 Approved 2022 S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended

Registered Owner(s): Crystal Willett + Richard Pellerin Email: [REDACTED]
Mailing Address: 45 Equinox Cres. Home Phone: [REDACTED]
Business Phone: n/a
City: Sudbury Postal Code: P3B 0B6 Fax Phone: n/a

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Crystal Willett (see above) Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Caisse Desjardin - Eric Pika 705-674-4234 Ext. 7303161
Mailing Address: 40 Elm St.
City: Sudbury Postal Code: P3C 1S8

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R-1.5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
encroachment into rear yard section 4.2.5 Table 4.1	3.6m	4.45m	0.85m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: attached deck (uncovered)

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: previous owner had it built. Esthetically attached to lower deck. Deck provides addition living space, to increase usability of back yard

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: NEELOM
 Lot No.: 9 Concession No.: 3 Parcel(s): _____
 Subdivision Plan No.: 53M355 Lot: 12 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 45 EQUINOX CRES. SUBURBY

- 7) Date of acquisition of subject land.
- May 17-2010

- 8) Dimensions of land affected.

Frontage 13.039 (m) Depth 32.92 (m) Area 566.56 (m²) Width of Street _____ (m)

- 9) Particulars of all buildings:

	House Existing	Shed	Proposed	
Ground Floor Area:	<u>142.79</u>	<u>7.43 (m²)</u>	<u>n/a</u>	<u>(m²)</u>
Gross Floor Area:	<u>198.63</u>	<u>7.43 (m²)</u>	<u>24.53</u>	<u>(m²)</u>
No. of storeys:	<u>1</u>	<u>1</u>	<u>n/a</u>	
Width:	<u>12.19</u>	<u>2.34 (m)</u>	<u>4.88</u>	<u>(m)</u>
Length:	<u>14.94</u>	<u>2.95 (m)</u>	<u>5.03</u>	<u>(m)</u>
Height:	<u>5.49</u>	<u>2.44 (m)</u>	<u>1.22</u>	<u>(m)</u>

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House Existing	Shed	Proposed (Deck)	
Front:	<u>6.26</u>	<u>n/a</u>	<u>n/a</u>	<u>(m)</u>
Rear:	<u>7.93</u>	<u>1</u>	<u>3.3</u>	<u>(m)</u>
Side:	<u>2.64</u>	<u>0.85</u>	<u>4.78</u>	<u>(m)</u>
Side:	<u>1.27</u>	<u>21.5</u>	<u>12.02</u>	<u>(m)</u>

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used. _____

- 12) Date(s) of construction of all buildings and structures on the subject land.

House: 2008 Shed: 3

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential SFD Length of time: 14

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- residential

A0054/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

★ I/We, Crystal Willett, Richard Pellerin (please print all names), the registered owner(s) of the property described as _____

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2022

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Crystal Willett, Richard Pellerin

*I have authority to bind the Corporation

A0054/2022

1We, Crystal Willett (please print all names),

in the City of Greater Sudbury:

Dated this 25 day of April, 20 22


Commissioner of Oaths

Paula Elizabeth Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury,

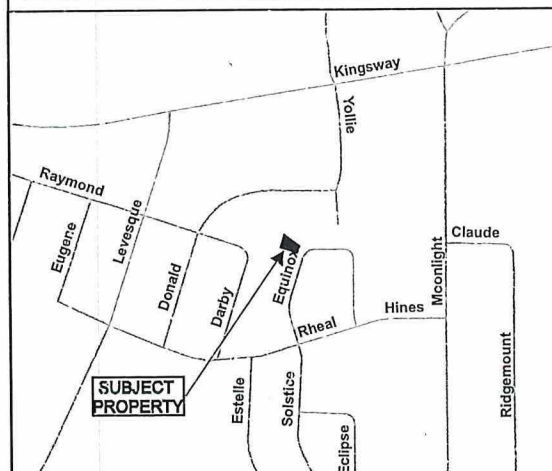
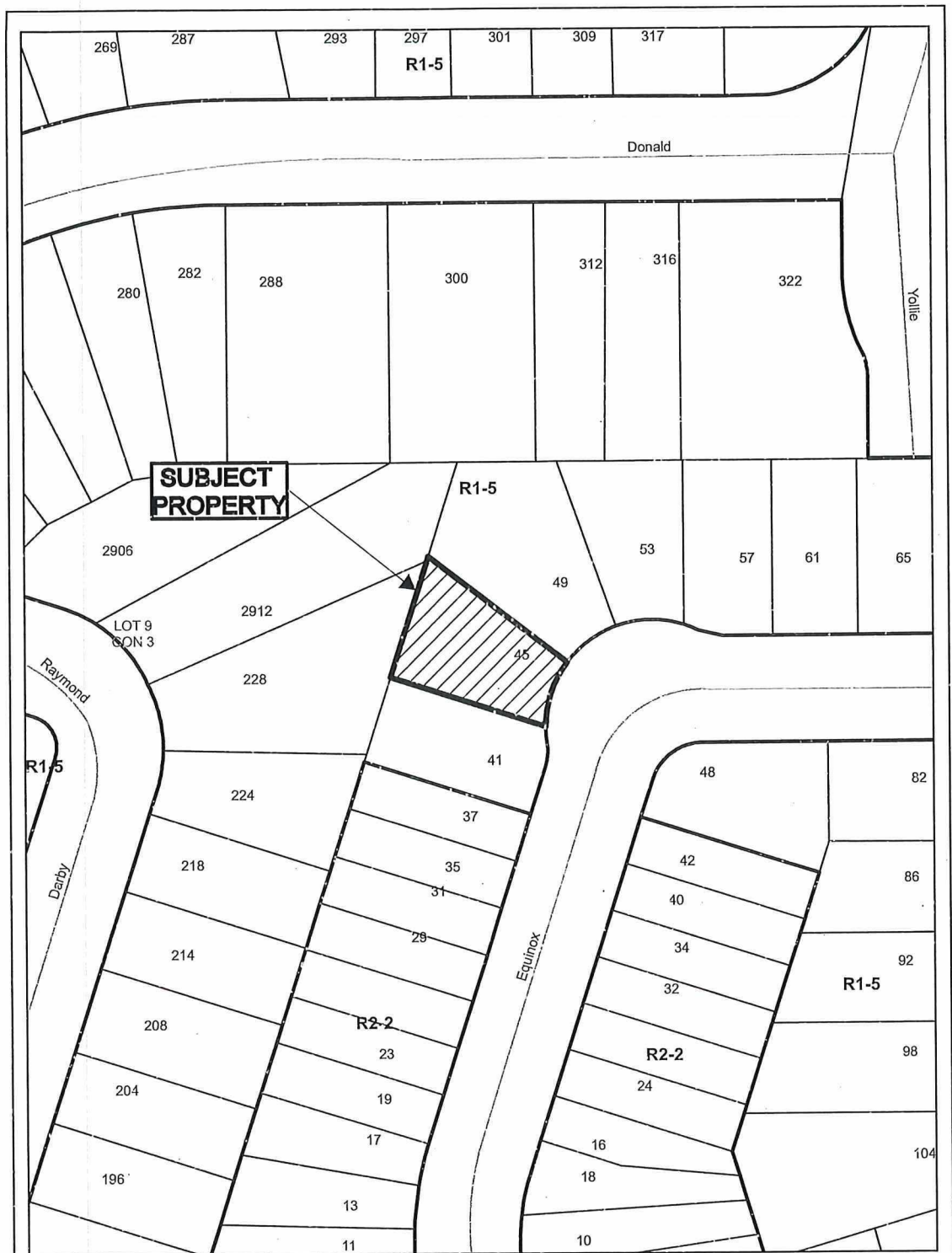

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Crystal Willett
 *I have authority to bind the Corporation

FOR OFFICE USE ONLY

Date of Receipt: April 25/22		Hearing Date: May 18/22	Received By: N. Lewis
Zoning Designation: R1-S	Resubmission: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Previous File Number(s): None			
Previous Hearing Date: None			
Notes:			

10054/2022



Application for Minor Variance or Permission



Subject Property being,
PIN 73575-0482,
Lot 12, Plan 53M-1355,
Part Lot 9, Concession 3,
Township of Neelon,
45 Equinox Crescent, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0054/2022
Date: 2022 04 26

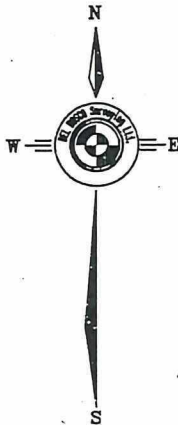
A0054/2022
sketch 2



RECEIVED

APR 17 2008

BUILDING SERVICES



RECEIVED

APR 21 2008

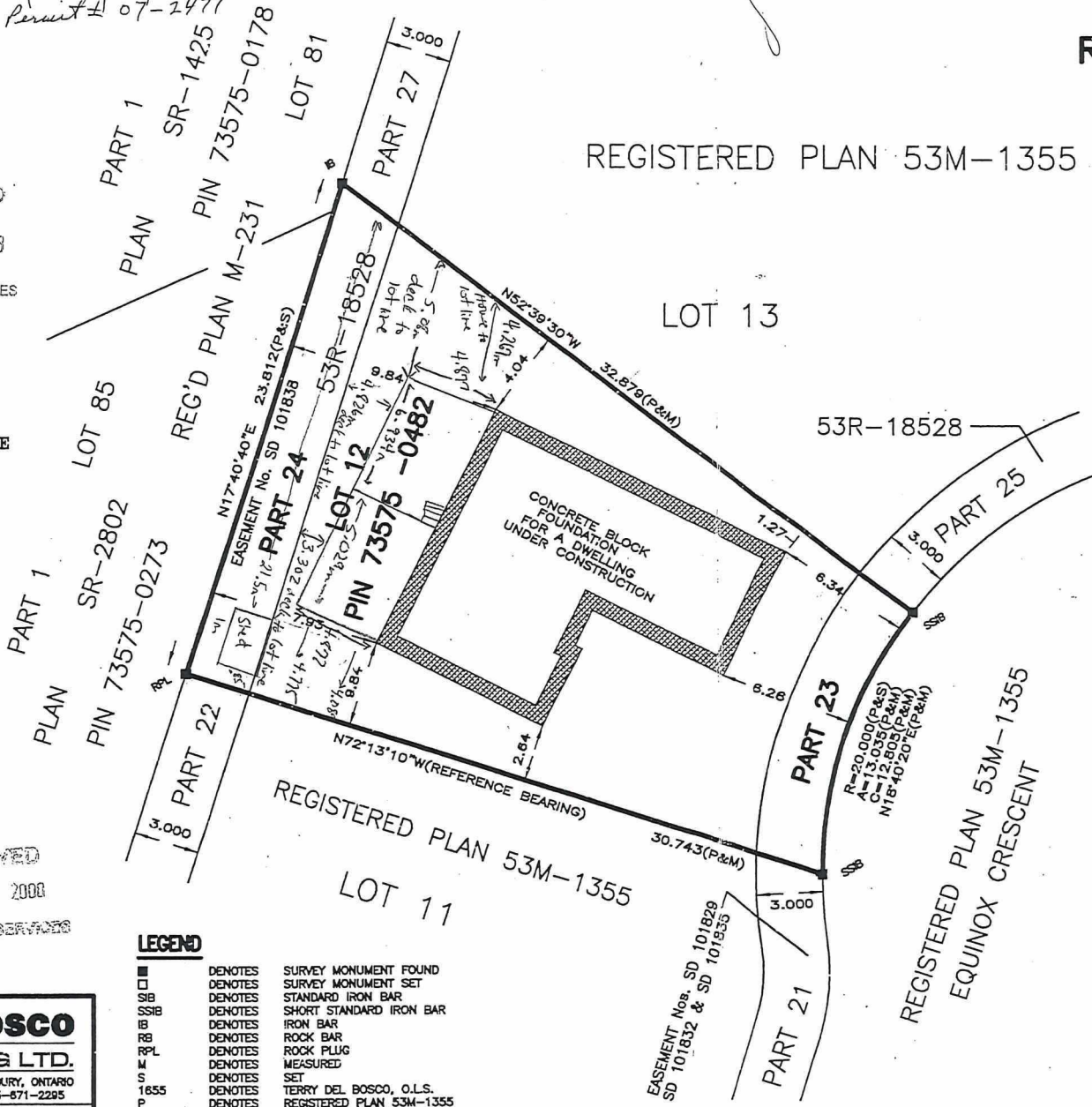
BUILDING SERVICES

Del Bosco
SURVEYING LTD.

75 LORNE STREET SUDBURY, ONTARIO
P3C 4P2 705-671-2295

FILE 6474 LOTS 12 & 27

City - Building Services
Permit # 07-2477



LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
RB	DENOTES	IRON BAR
GB	DENOTES	ROCK BAR
RPL	DENOTES	ROCK PLUG
M	DENOTES	MEASURED
S	DENOTES	SET
1655	DENOTES	TERRY DEL BOSCO, O.L.S.
P	DENOTES	REGISTERED PLAN 53M-1355

REGISTERED PLAN 53M-1355

LOT 13

REGISTERED PLAN 53M-1355
LOT 11

SURVEYOR'S REAL PROPERTY REPORT ON
LOT 12
REGISTERED PLAN 53M-1355
GEOGRAPHIC TOWNSHIP OF NEELON
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TERRY DEL BOSCO, O.L.S.
2008

SCALE 1 : 200



DESCRIPTION

PIN 73575-0482, BEING LOT 12, REGISTERED PLAN 53M-1355
NO VISIBLE MUNICIPAL No.

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY

PART 23: SUBJECT TO EASEMENT No. SD 101829
IN FAVOUR OF BELL CANADA
PART 23: SUBJECT TO EASEMENT No. SD 101832
IN FAVOUR OF PERSONA COMMUNICATIONS INC.
PART 23: SUBJECT TO EASEMENT No. SD 101835
IN FAVOUR OF GREATER SUDBURY HYDRO
PART 24: SUBJECT TO EASEMENT No. SD 101838
IN FAVOUR OF THE CITY OF GREATER SUDBURY

NOTE

ALL SURVEY MONUMENTS BEAR THE NUMBER 1655 UNLESS SHOWN OTHERWISE

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS

NOT CERTIFIED BY THIS REPORT.

NOTES

BEARINGS ARE GRID BEARINGS AND ARE REFERRED TO THE SOUTH LIMIT
OF LOT 12, SHOWN ON REGISTERED PLAN 53M-1355 TO HAVE A
BEARING OF N72°13'10"W.

THIS PLAN AND REPORT IS PREPARED FOR DALRON CONSTRUCTION
IT IS NOT VALID UNLESS SIGNED AND SEALED.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF DEL BOSCO SURVEYING LTD., O.L.S.

© DEL BOSCO SURVEYING LTD., 2008

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM
- THIS SURVEY WAS COMPLETED ON THE 7th DAY OF MARCH, 2008

MARCH 8, 2008
DATE

TERRY DEL BOSCO
ONTARIO LAND SURVEYOR



Box 6000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only	
2022.01.01	
A 0055/2022	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT: SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Robert Derek Burgess
Mailing Address: 1360 Cawthorpe St
City: Sudbury
Postal Code: P3G1C1
Business Phone:
Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: NA
Mailing Address: 1360 Cawthorpe st. Sudbury
City: Postal Code:
Business Phone:
Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: ~~NA~~ Merix Financial
Mailing Address: 390 Bay St Suite 1800
City: Toronto Postal Code: M5H 2Y2

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Side yard setback	1.2	0.81 m	0.39 m
6.3 table 6.2			

- b) Is there an eave encroachment? ☒ Yes No If 'Yes', size of eaves: 0.635 m ~~12.5~~ 87 (m)

- c) Description of Proposal:

Addition of a living room to the back of the already existing house. The plan is to extend the house 2.8m for a living room.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Existing house is currently too close to the property line and therefore the addition will also be close to the property and therefore will not comply with the by-law.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73478-0772		Township: Broder
Lot No.: 1	Concession No.: 5	Parcel(s): 17617
Subdivision Plan No.: M214	Lot: 14	Reference Plan No.: Part(s):
Municipal Address or Street(s): 1360 Cawthorpe st. Sudbury		

- 7) Date of acquisition of subject land. 2019

- 8) Dimensions of land affected.

Frontage 27.84 (m) Depth 33.12 (m) Area 1152 (m²) Width of Street 3.7 (m)

9) Particulars of all buildings:	SFD	Shed 1 Existing	Shed 2	SFD	Total Proposed	Shed 1	Shed 2
Ground Floor Area:	83.61	8.4	18.4 (m ²)	24	(107.61)	8.4	18.4 (m ²)
Gross Floor Area:	83.61	8.4	18.4 (m ²)	24	(107.61)	8.4	18.4 (m ²)
No. of storeys:	1	1	1	1	1	1	1
Width:	8.5	2.4	4 (m)	8.5	(17)	2.4	4 (m)
Length:	9.8	3.5	4.6 (m)	2.8	(12.6)	3.5	4.6 (m)
Height:	4	2	2 (m)	4	(8)	2	2 (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	SFD	Shed 1 Existing	Shed 2	SFD	Proposed	Shed 1	Shed 2
Front:	13.11	15	55 (m)	33	15	55 (m)	
Rear:	31	33	1.5 (m)	33.12	33	1.5 (m)	
E Side:	10	2 m	1.5 (m)	10.81	2	1.5 (m)	
W Side:	6.8	14	12.5 (m)	6.81	14	12.5 (m)	

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

☒ Municipally owned & operated piped water system
☐ Municipally owned & operated sanitary sewage system
☐ Lake
☐ Individual Well
☒ Communal Well
☒ Individual Septic System
☐ Communal Septic System
☐ Pit Privy
☐ Municipal Sewers/Ditches/Swales

☐ Provincial Highway
☐ Municipal Road
☐ Maintained Yearly
☐ Maintained Seasonal
☐ Right-of-way
☐ Water
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Shed #1 - 1980s. Shed #2 - 2020 SFD - 1980s

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential

Length of time: ~70 years

- 14) Proposed use(s) of the subject property.

Same as #13 ✓ or,

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

Yes ☐ No ☒

If "yes", how many? _____

- 17) Existing uses of abutting properties: Residential

A0059/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes ☐ No ☒

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes ☐ No ☒

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes ☐ No ☒

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes ☐ No ☒

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Robert Derek Burgess (please print all names), the registered owner(s) of the property described as 1360 Canthorpe St

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 26 day of April, 2022

Christine Burke
(witness) Christine Burke

Robert Burgess
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Robert Burgess

*I have authority to bind the Corporation

A0055/2022

I/We, Robert Burgess (please print all names),
the registered owner(s) or authorized agent of the property described as 1360 Cawthorpe St.

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 26 day of April, 2022

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

Print Name: Robert Burgess
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: April 28/22 Hearing Date: May 18, 2022 Received By: N. Lewis

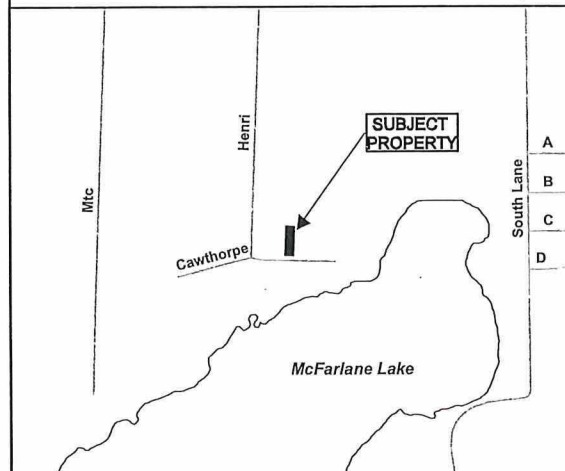
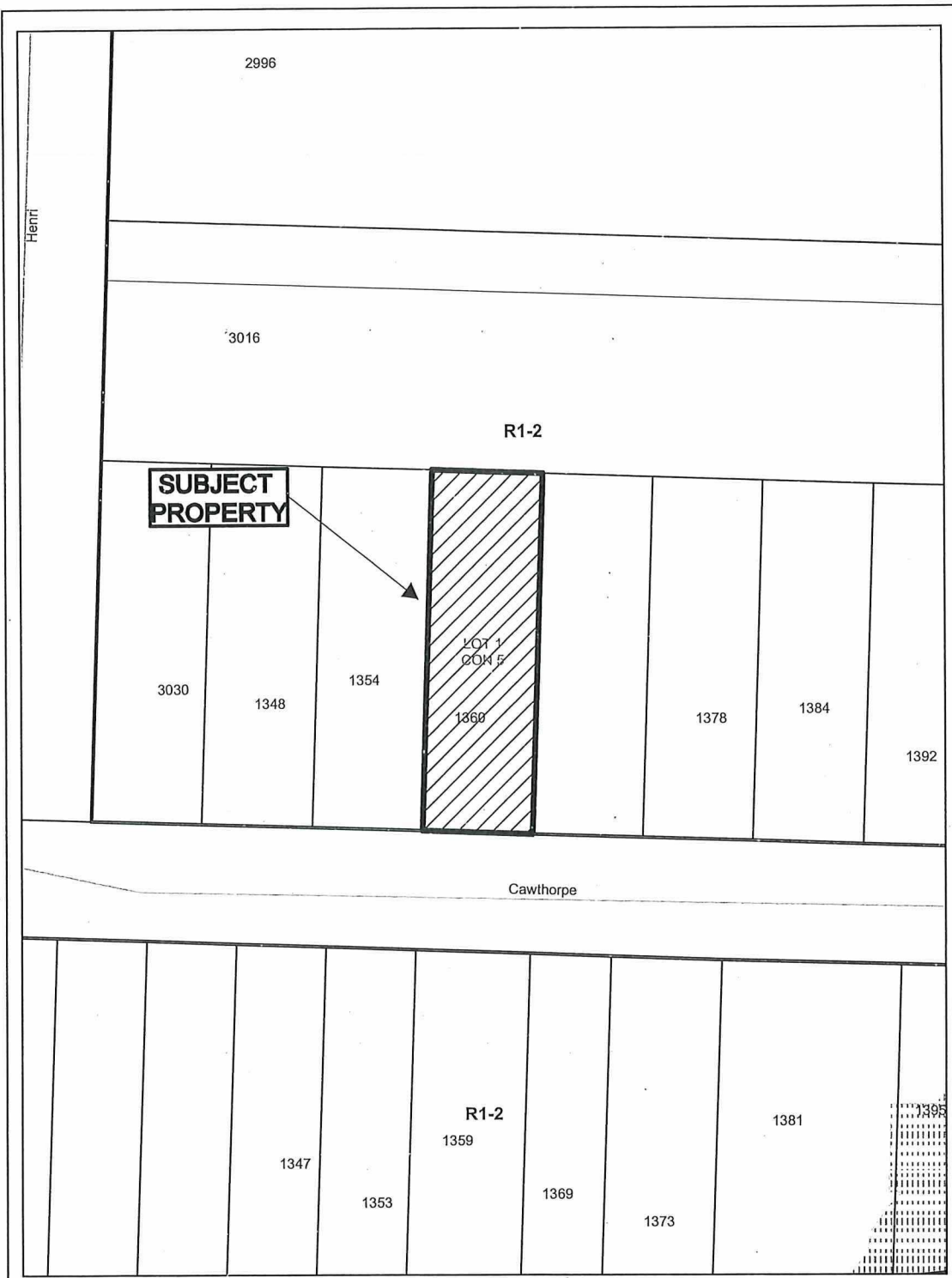
Zoning Designation: R1-2 Resubmission: Yes (No)

Previous File Number(s): None

Previous Hearing Date: None

Notes:

190055/2022



Application for Minor Variance or Permission



Subject Property being,
PIN 73478-0772,
Parcel 17617 SEC SES,
Lot 14, Plan M-214,
Part Lot 1, Concession 5,
Township of Broder,
1360 Cawthorpe Street, Sudbury
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0055/2022
Date: 2022 04 29

CONSTRUCTION LEGEND

ROOM NAME
 PARTITION ASSEMBLY TAG REFERENCE
 DOOR AND DOOR NUMBER

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLY NOTES:

- ALL INTERIOR PARTITIONS ARE TO BE 1/2" MINIMUM THICKNESS. ALL INTERIOR PARTITIONS TO TOP OF 12" BLANK AND FLOOR DRAIN.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DRAIN.
- ALL PARTITION ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DRAIN.
- ALL PARTITION ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DRAIN.
- ALL PARTITION ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DRAIN.

PARTITION ASSEMBLY:

- 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C.
- 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)

CONSTRUCTION NOTES (TAGS):

- CONTRACTOR TO INSTALL NEW WALL SYSTEM MATCH EXISTING WITH 1/2" MINIMUM THICKNESS.
- CONTRACTOR TO INSTALL NEW DOOR AND ADEQUATE LUNEL - REFER TO DOOR AND LUNEL SCHEDULE.

WALL ASSEMBLY:

- INSTALL EXISTING 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- INSTALL EXISTING 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- INSTALL EXISTING 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- INSTALL EXISTING 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- INSTALL EXISTING 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)

ROOF ASSEMBLY:

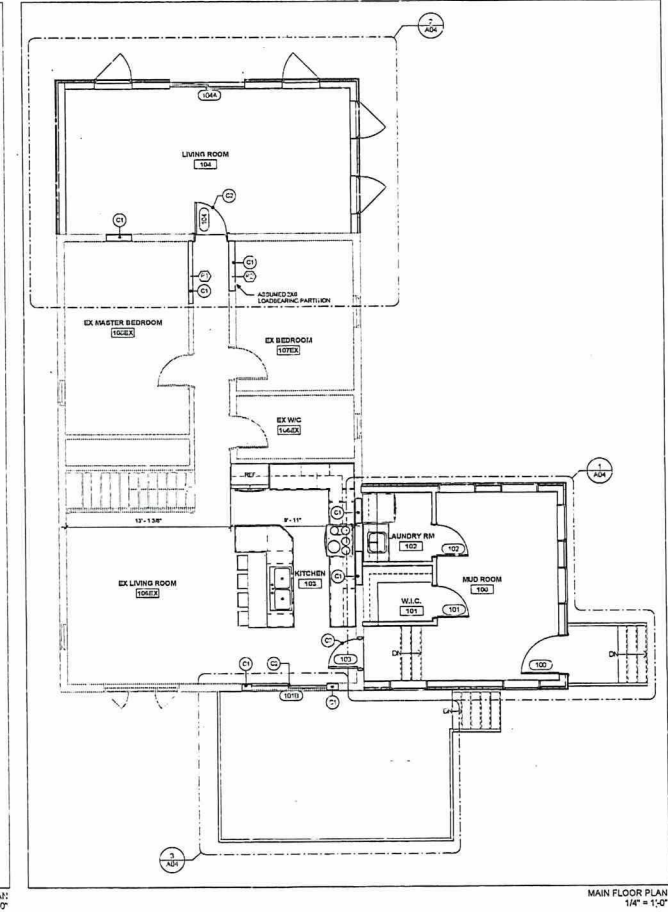
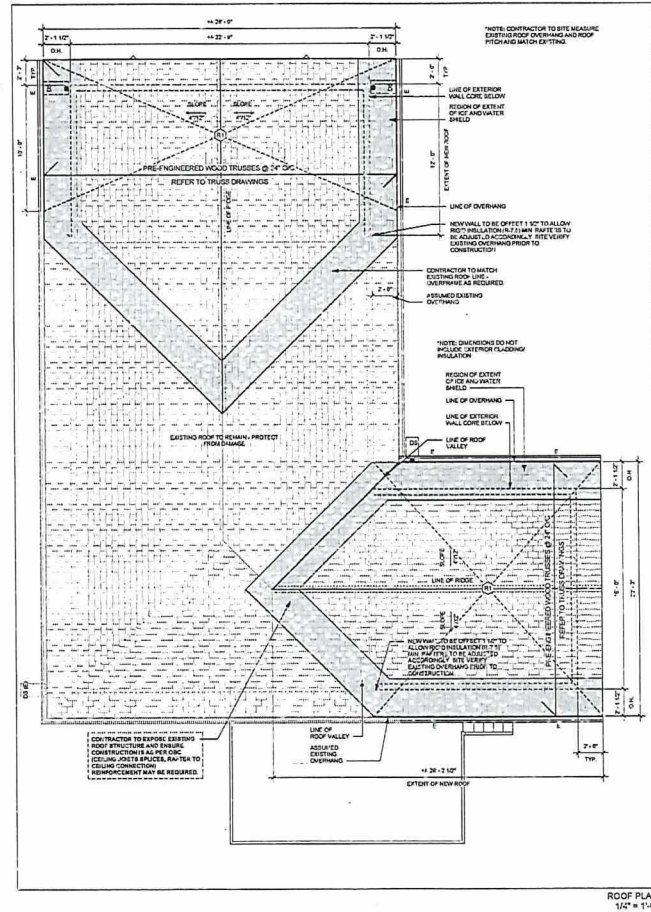
- 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)
- 1/2" MINIMUM THICKNESS PARTITION ON BOTH SIDES OF 2x4 WOOD STUD WALL SYSTEM @ 16" O.C. (DOUBLE TOP PLATE)

ROOF PLAN LEGEND

- SLOPE
 DENOTES DRAINAGE FROM GABLES & ROOF SLOPE
- DENOTES DOWN SLOPE ON EPLASH PAD
- DENOTES EXISTING GUTTER DOWNPOUT
- DENOTES EXISTING ITEM TO REMAIN
- DENOTES ROOF VENT
- DENOTES MINIMUM EXTENT OF EXISTING PROTECTION EXISTING PROTECTION TO EXIST AS MINIMUM OF 10" FROM INTERIOR FACE OF EXISTING WALL

NOTES:

- CONTRACTOR TO SITE VERIFY EXISTING SLOPE AND DRAINAGE PRIOR TO PROCEEDING. REPORT BACK TO KORMI ENGINEERING IF ANY DISCREPANCIES OCCUR.
- IF AND WATER RIMMED TO EXISTING 10" FROM INTERIOR FACE OF EXISTING WALL (TYPICAL).
- ALL ROOF VENTS TO HAVE EXISTING PROTECTION AND FLASHING.
- THE MANUFACTURED ROOF TRUSSES SUPPLIER SHALL PROVIDE MANUFACTURED ROOF TRUSSES SUITABLE TO THE DESIGN PARAMETERS AND PERFORM KORMI ENGINEERING AND IN ACCORDANCE WITH DEC 1/11 8 - 9 23 13 11 WOOD TRUSSES



ISSUED FOR CONSTRUCTION - JANUARY 13, 2022

A0055/2022
 sketch 3



KORMI ENGINEERING
 1340 PROGRESS AVE. SUITE 100
 KANSAS CITY, MO 64114
 TEL: 816.451.1340
 FAX: 816.451.1341
 WWW.KORMIENGINEERING.COM

DATE: 1/13/22
 DRAWN: DP
 CHECKED: RD
 SCALE: As Indicated
 SHEET: A03



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only 2022.01.01	
A 005012022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Stephan Villeneuve and Chris Roussele

Mailing Address: 25 Winfield Lane

City: Sudbury

Postal Code: P3A 6E2

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify

Name of Agent: ~~not required~~ Chris Roussele

Mailing Address: ~~300-750 Cambie St~~ 965 MacIndale

~~4533 Notre Dame Ave.~~

City: Sudbury

Postal Code: P3E 4J3

Business Phone:

Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Canadian Western Trust Company

Mailing Address: 300-750 Cambie St

City: Vancouver, BC

Postal Code: V6B 0A2

- 4) Current Official Plan designation: Current Zoning By-law designation: C2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 7.1 special provision #16	"Non-residential	Residential use	1 residential unit
	must be the	on main floor	
	main use on the		
	ground floor"		

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: (m)

- c) Description of Proposal:

Single detached dwelling with 2 secondary dwelling units

Looking for a variance from Table 7.1 special provision #16 in regards to requirement for commercial usage on the main floor to allow residential usage on the main floor.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Non-residential uses must be the main use on the ground floor according to Table 7.1 special provision #16 in a C2 zoned property.

We appreciate you working with us in this development project

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735030558		Township: Hanmer		Ontario
Lot No.: 6	Concession No.:	Parcel(s): 3793 SEC SES		
Subdivision Plan No.:	Lot:	Reference Plan No.: M107	Part(s):	
Municipal Address or Street(s): 4533 Notre Dame Ave.				

- 7) Date of acquisition of subject land. September 14th, 2021

- 8) Dimensions of land affected.

Frontage 15.24 (m) Depth 30.48 (m) Area 464.51 (m²) Width of Street 10 (m)

- 9) Particulars of all buildings:

	Existing	Main	Proposed	Accessory
Ground Floor Area:	(m ²)	118	51.62	(m ²)
Gross Floor Area:	(m ²)	237.5	51.62	(m ²)
No. of storeys:		1 and 1		
Width:	(m)	10.79 main and 4.02 accessory		(m)
Length:	(m)	13.51 main and 12.84 accessory		(m)
Height:	(m)	7.0 (main) and 6.0 (accessory)		(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Main	Proposed	Accessory
Front:	(m)	8.75	N/A	(m)
Rear:	(m)	4.2 N/A	1.2	(m)
Side:	(m)	1.2	1.2	(m)
Side:	(m)	3.2 3.2 3.2	1.2	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

Currently none but looking to commence project May 2022

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): currently vacant land Length of time: 1 year

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ OR, Single detached dwelling with 2 secondary dwelling units

- 15) What is the number of dwelling units on the property? 3 proposed dwelling units, currently 0

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Single Family Residential and mixed use Commercial/Residential

A0056/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Stephan Villeneuve and Chris Rousselle (please print all names), the registered owner(s) of the property described as 4533 Notre Dame Avenue, Hanmer**
May need to change legal address, abutting property is also described as 4533, Amanda Dittrich has started this process.
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

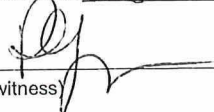
Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Chris Rousselle (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of April, 2022

(witness) 


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Chris Rousselle Stephan Villeneuve

*I have authority to bind the Corporation

A0056/2022

11/05/2022

PLOT PLAN
LOT 6
REGISTERED PLAN M-107
#4533 NOTRE DAME AVENUE

SCALE : 1 INCH = 20 FEET (6.096m)



Metric Scale: 1mm = 0.242m

Rev CR April 22/22



LOT 5

30.48m

1.2m

1.2m

15.24m

1.2m

1.25m

LOT 7

Parking 3

3.2m

13.51m

LOT 6

Proposed Dwelling
 Containing Main Unit
 and Secondary Unit 1

10.79m

8.75m

Parking 1

3m

Parking 2

2.75m

3m

(Open Landscaping)

3m

(Open Landscaping)

Proposed Accessory Dwelling
 Containing Secondary Unit 2
 4.02m x 12.84m

NOTRE DAME AVENUE

A0056/2022
 Sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2022.01.01	
A 0057/2022	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Stephan Villeneuve and Chris Rousselle
Mailing Address: 25 Winfield Lane

City: Sudbury Postal Code: P3A 6E2

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: not required Chris Rousselle Email: [REDACTED]
Mailing Address: 300-750 Cambie St 965 Martindale Rd Home: [REDACTED]
4549 Notre Dame Ave. Business Phone:
City: Sudbury Postal Code: P3E 4J3 Fax Phone:
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Canadian Western Trust Company
Mailing Address: 300-750 Cambie St
City: Vancouver, BC Postal Code: V6B 0A2

- 4) Current Official Plan designation: Mixed Use Current Zoning By-law designation: C2
- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 7.1 special provision #16	"Non-residential	Residential use	1 residential unit
	must be the	on main floor	
	main use on the		
	ground floor"		

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
Single detached dwelling with 2 secondary dwelling units
Looking for a variance from Table 7.1 special provision #16 in regards to requirement for commercial usage on the main floor to allow residential usage on the main floor.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Non-residential uses must be the main use on the ground floor according to Table 7.1 special provision #16 in a C2 zoned property.
We appreciate you working with us for this development project

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735030478		Township: Hanmer		Ontario
Lot No.: 4	Concession No.:	Parcel(s): 9319 SEC SES		
Subdivision Plan No.:	Lot:	Reference Plan No.: M107	Part(s):	
Municipal Address or Street(s): 4549 Notre Dame Ave.				

- 7) Date of acquisition of subject land. September 14th, 2021

- 8) Dimensions of land affected.

Frontage 15.24 (m) Depth 30.48 (m) Area 464.51 (m²) Width of Street 10 (m)

- 9) Particulars of all buildings:

	Existing		Main	Proposed	Detached Accessory
Ground Floor Area:	(m ²)		118		51.62 (m ²)
Gross Floor Area:	(m ²)		237.5		51.62 (m ²)
No. of storeys:			1 and 1		
Width:	(m)		10.79 main and 4.02 accessory		(m)
Length:	(m)		13.51 main and 12.84 accessory		(m)
Height:	(m)		7.0 (main) and 6.0 (accessory)		(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Main	Proposed	Accessory
Front:	(m)	8.75	N/A	(m)
Rear:	(m)	1.2 N/A	1.2	(m)
Side:	(m)	1.25	1.2	(m)
Side:	(m)	3.2	1.2	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

☒ Municipally owned & operated piped water system
☒ Municipally owned & operated sanitary sewage system
☐ Lake
☐ Individual Well
☐ Communal Well
☐ Individual Septic System
☐ Communal Septic System
☐ Pit Privy
☐ Municipal Sewers/Ditches/Swales

☐ Provincial Highway
☐ Municipal Road
☐ Maintained Yearly
☐ Maintained Seasonal
☐ Right-of-way
☐ Water
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Currently none but looking to commence project May 2022

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): currently vacant land

Length of time: 1 year

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Single detached dwelling with 2 secondary dwelling units

- 15) What is the number of dwelling units on the property? 3 proposed dwelling units, currently 0

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☐ No

If "yes", how many?

- 17) Existing uses of abutting properties: Single Family Residential on both abutting properties

A0057/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Stephan Villeneuve and Chris Rousselle (please print all names), the registered owner(s) of the property described as 4549 Notre Dame Avenue, Hanmer
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Chris Rousselle (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25th day of April, 2022

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Chris Rousselle Stephan Villeneuve

*I have authority to bind the Corporation

A0057/2022

I/We, Stephan Villeneuve and Chris Rousselle (please print all names),
the registered owner(s) or authorized agent of the property described as 4549 Notre Dame Avenue, Hanmer

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 25th day of April, 20 20


Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Chris Kousella
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: April 25/22 Hearing Date: May 18/22 Received By: N. Lewis

Zoning Designation: CA Resubmission: ☐ Yes ☒ No

Previous File Number(s): None

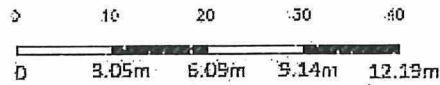
Previous Hearing Date: None

Notes:

Aug 57/2022

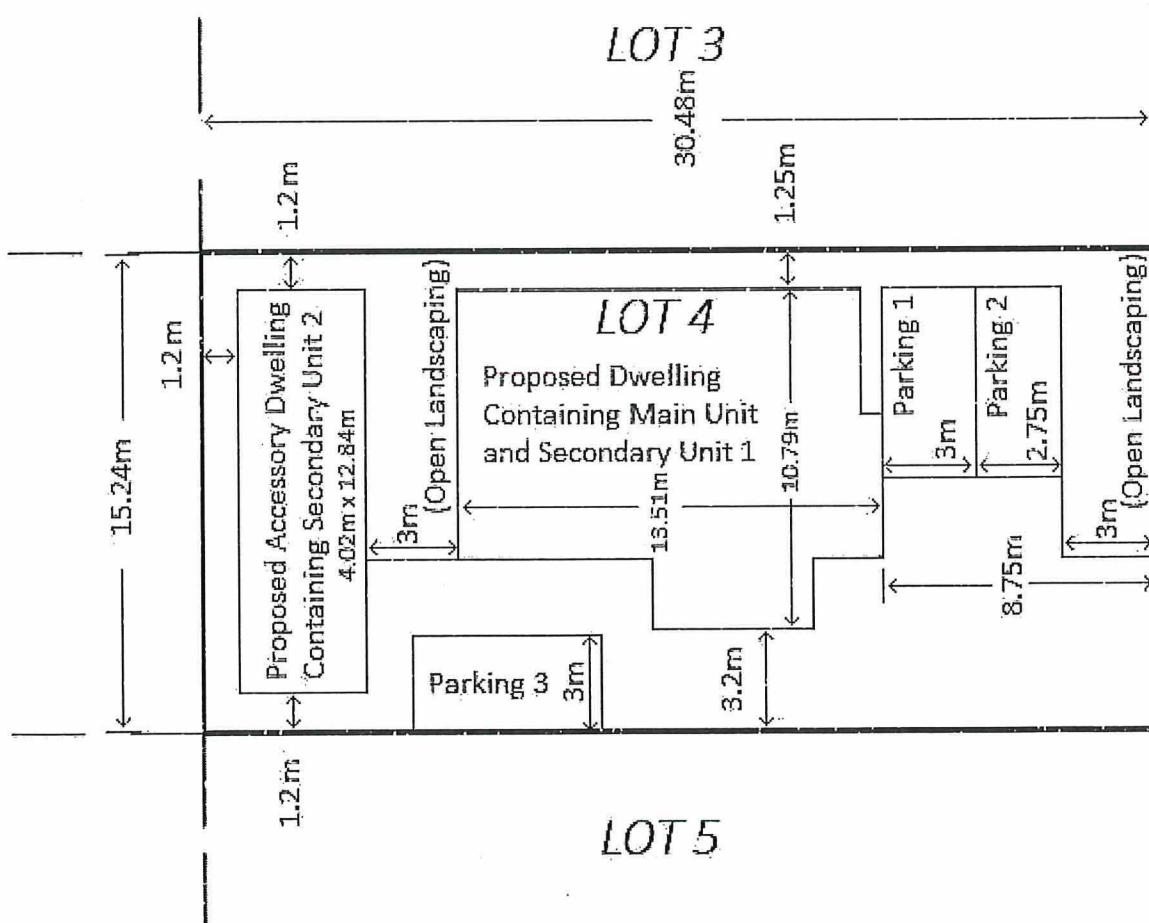
PLOT PLAN
LOT 4
REGISTERED PLAN M-107
4549 NOTRE DAME AVENUE

SCALE : 1 INCH = 20 FEET (6.096m)



Metric Scale: 1mm = 0.242m

Rev CR April 22/22



NOTRE DAME AVENUE

A0057/2022
 sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT: SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Phil + Karen Reynolds Email: [REDACTED]
Mailing Address: 7 SILKWOOD STREET Cell Home: [REDACTED]
City: CHELMSFORD Postal Code: P6M 1L0 Em: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: KAREN REYNOLDS Email: [REDACTED]
Mailing Address: 7 SILKWOOD STREET Home: [REDACTED]
City: CHELMSFORD Postal Code: P6M 1L0 Business Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A NO MORTGAGE
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: RURAL Current Zoning By-law designation: SLS(5)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Table 9.3			
Standards for all Rural			
Zones			
Special Provisions #5	11 m	15.5448 (51 feet)	4.5448

- b) Is there an eave encroachment? Yes ☐ No ☒ If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: New construction of house which exceeds maximum height 11 metres

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Result of topography of property and desired roofline.

Office Use Only
A 00501/2022
S.P.P. AREA
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA
YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

SRO; PART OF BROKEN LOT 1, CON 5 MACLENNAN DESIGNATED AS PARTS 1, 2, 3, 4, 5 & 12, 53R19412; T/W ROW OVER PARTS 7 & 9, 53R19412 AS IN SD206082; S/T ROW OVER PARTS 2, 4 & 12, 53R19412 AS IN SD206082; T/W ROW OVER PARTS 2, 3, 4, 53R15846 AS IN LT970458; EASEMENT LT970458 RELEASED AS TO PART 2, 53R17683 AS IN SD160537; S/T ROW OVER PART 12, 53R19412 AS IN LT970459 CITY OF GREATER SUDBURY

APPLICATION FOR MINOR VARIANCE

PAGE 2 OF 4

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735130462 Township:
 Lot No.: Concession No.: Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: Part(s):
 Municipal Address or Street(s): 141 OAKRIDGE TRAIL, SKEAN, ON P0M 2Y0

7) Date of acquisition of subject land. October 2020

8) Dimensions of land affected.

Frontage 46.94 (m) Depth 1RR (m) Area (m²) Width of Street (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m ²)	171.73 (m ²)
Gross Floor Area:	(m ²)	1208.532 (m ²)
No. of storeys:		2
Width:	(m)	15.8496 (m)
Length:	(m)	12.7254 (m)
Height:	(m)	15.5448 (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m)	12 (m)
Rear:	(m)	175.26 (+/-) (m)
Side:	(m)	6.1 (m)
Side:	(m)	27.43 (+/-) (m)

11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system
 Municipally owned & operated sanitary sewage system
 Lake
☒ Individual Well
☐ Communal Well
☐ Individual Septic System
☐ Communal Septic System
 Pit Privy
 Municipal Sewers/Ditches/Swales

What type of access to the land?

☐ Provincial Highway
☐ Municipal Road
☐ Maintained Yearly
☐ Maintained Seasonal
☒ Right-of-way
 Water

If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

VACANT LAND

13) Existing use(s) of the subject property and length of time if they have continued.

Use(s): Vacant land.

Length of time:

14) Proposed use(s) of the subject property.

Same as #13 or, seasonal dwelling

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?

Yes ☐ No ☒

If "yes", how many?

17) Existing uses of abutting properties: West - seasonal
 east - seasonal

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- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes ☐ No ☒

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes ☐ No ☒

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes ☐ No ☒

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes ☐ No ☒

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Phil and Karen Reynolds (please print all

names), the registered owner(s) of the property described as
SRO; PART OF BROKEN LOT 1, CON 5 MACLENNAN DESIGNATED AS PARTS 1, 2, 3, 4, 5 & 12, 53R19412; T/W ROW OVER PARTS 7 & 9, 53R19412 AS IN SD206082; S/T ROW OVER PARTS 2, 4 & 12, 53R19412 AS IN SD206082; T/W ROW OVER PARTS 2, 3, 4, 53R15846 AS IN LT970458; EASEMENT LT970458 RELEASED AS TO PART 2, 53R17683 AS IN SD160537; S/T ROW OVER PART 12, 53R19412 AS IN LT970459 CITY OF GREATER SUDBURY
Connection, Use and Disclosure of Information.

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Karen Reynolds (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of April, 2022

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Phil Reynolds

*I have authority to bind the Corporation

[Signature]
KAREN REYNOLDS

A005812022

Wm, ~~Phil~~ Karen Reynolds.

Mr. ~~Phil~~ Karen Reynolds. (please print all names),

SRO; PART OF BROKEN LOT 1, CON 5 MACLENNAN DESIGNATED AS PARTS 1, 2, 3, 4, 5 & 12, 53R19412; T/W ROW OVER PARTS 7 & 9, 53R19412 AS IN SD206082; S/T ROW OVER PARTS 2, 4 & 12, 53R19412 AS IN SD206082; T/W ROW OVER PARTS 2, 3, 4, 53R15846 AS IN LT970458; EASEMENT LT970458 RELEASED AS TO PART 2, 53R17683 AS IN SD160537; S/T ROW OVER PART 12, 53R19412 AS IN LT970459 CITY OF GREATER SUDBURY

Dated this 26th day of APRIL, 2022

Commissioner of Oaths

Paula Elizabeth Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury:

signature of Owner(s) or Signing Officer or Authorized Agent
(where a Corporation)

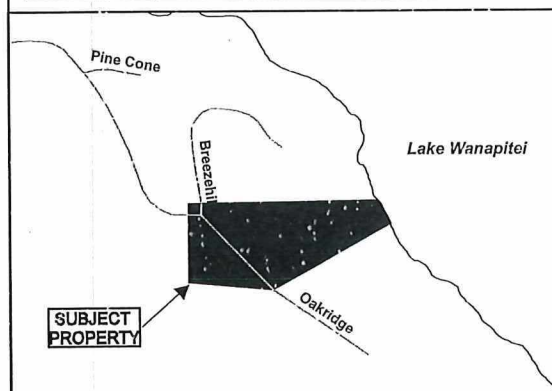
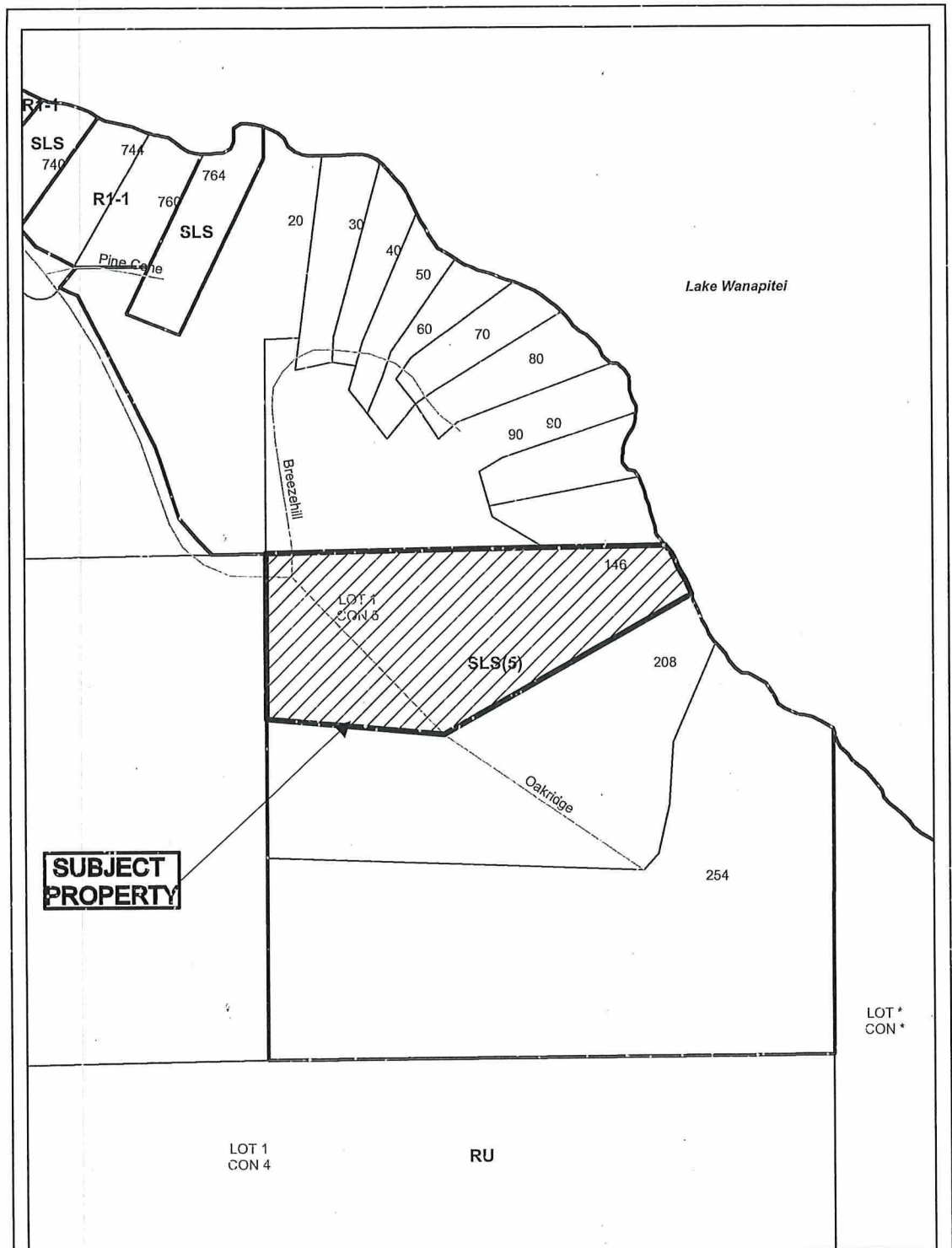
Print Name: KAREN REYNOLDS.
*I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: April 28/22 Hearing Date: May 18/22 Received By: N. Lewis
Zoning Designation: SLS(6) Resubmission: Yes (No)
Previous File Number(s): B0131/2010
Previous Hearing Date: Oct. 18/10
Notes:

170058/2022



Application for Minor Variance or Permission



Subject Property being,
PIN 73513-0462,
Part Broken Lot 1, Concession 5,
Parts 1, 2, 3, 4, 5, and 12, Plan 53R-19412,
Township of MacLennan,
146 Oakridge Trail, Skead,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0058/2022
Date: 2022 04 29

INFORMATION PRESENTED ON THIS DIAGRAM IS BASED UPON INFORMATION
RECEIVED FROM THE FOLLOWING SOURCES:

* TOPOGRAPHIC DETAILS: TULREN ENGINEERING

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING SERVICE VALVES WITHOUT CONTACTING AND OBTAINING PERMISSION FROM THE SPECIFIC UTILITY OWNER. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO PERFORMING ANY WORK AND MAKE THEMSELVES FULLY AWARE OF ALL EXISTING ON-SITE CONDITIONS. NEW DRIVEWAY TO MEET THE REQUIREMENTS OF 6550 303.020. ALL ELEVATIONS ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SILTATION CONTROL PLAN NOTES:

SEDIMENT BARRIERS, CHECK DAMS, AND TEMPORARY CONSTRUCTION ACCESS TO BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION.

ALL SEDIMENT CONTROL DEVICES TO BE ROUTINELY INSPECTED AND MAINTAINED IN PROPER WORKING ORDER UNTIL AREAS ARE STABILIZED.

IF NECESSARY, TRUCKS WILL BE WASHED DOWN BEFORE LEAVING THE SITE.

THE SITE WILL BE WET DOWN IF NECESSARY TO CONTROL DUST.
ALL CONSTRUCTION ACTIVITY WILL COMPLY WITH THE CITY OF GREATER
SUDBURY NOISE BY-LAW.

ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT SITE FROM TEMPORARY CONSTRUCTION ACCESS.

ALL TOPSOIL STOCKPILES TO BE SURROUNDED WITH SEDIMENT CONTROL FENCING.

SURFACE EROSION PROTECTION SHOULD BE APPLIED FOR ALL DISTURBED AREAS, SUBJECT TO EROSION, UNTIL VEGETATION IS ESTABLISHED.

ELEVATION:

BASMENT FLOOR ELEVATION	272.63
MAIN FLOOR ELEVATION	276.28
GARAGE ELEVATION AT DRIVEWAY	280.90
REGULATORY FLOOD CONTROL ELEVATION	289.17

DRAINAGE NOTES:

SLOPE AWAY FROM THE BUILDING AT A MINIMUM 2.0% GRADE.

SWALES ARE SHOWN TO DIRECT WATER AWAY FROM THE BUILDING AND THE ADJACENT PROPERTIES. MINIMUM SWALE GRADE TO BE 0.3%. SWALES TO OUTLET AS SHOWN AND THEN SHEET FLOW OFF SITE.

GUIDELINE SHEET NOTES:

SHORELINE BUFFER NOTES:

- SLOPE TO LAKE IS BEDROCK WITH VEGETATION
- THIS IS TO REMAIN IN ITS NATURAL STATE
- WORK DONE IN THIS AREA DURING CONSTRUCTION MUST BE RETURNED TO ITS NATURAL STATE
- SHORELINE BUFFER TO REMAIN IN ITS CURRENT STATE FOR A LENGTH OF 12 METERS AS PER SECTION 4.41.3 OF ZONING BY LAW 2010 1002

RETAINING WALLS:

RETAINING WALLS MAY REQUIRE A PERMIT AND ENGINEERED DRAWINGS. THE CONTRACTOR SHALL CONTACT BUILDING SERVICES AT THE CITY OF GREATER SUBURBY TO DETERMINE PERMITTING REQUIREMENTS PRIOR TO ANY CONSTRUCTION COMMENCING ON SITE.

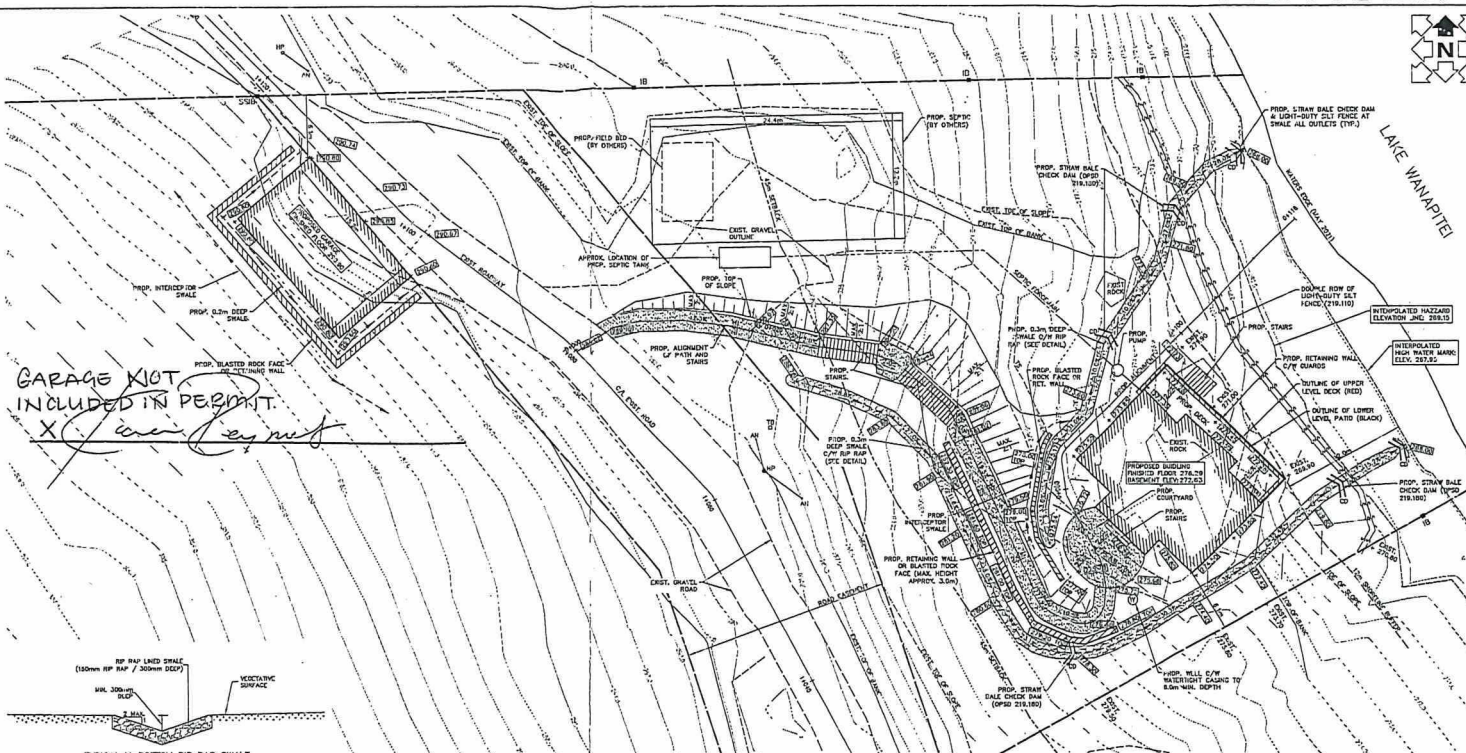
RETAINING WALLS SHALL BE COMPLETE WITH SAFETY GUARDS WHERE APPLICABLE IN ACCORDANCE WITH THE ONTARIO FURBING CODE.

RETAINING WALLS DESIGNED BY OTHERS.

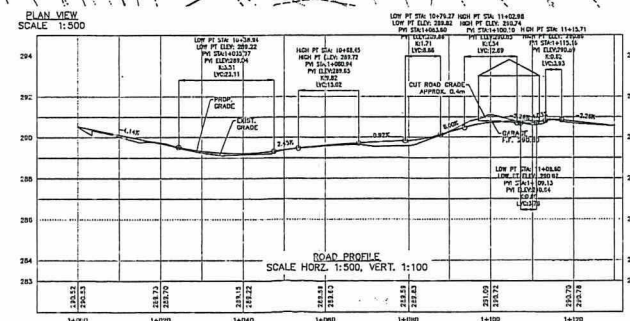
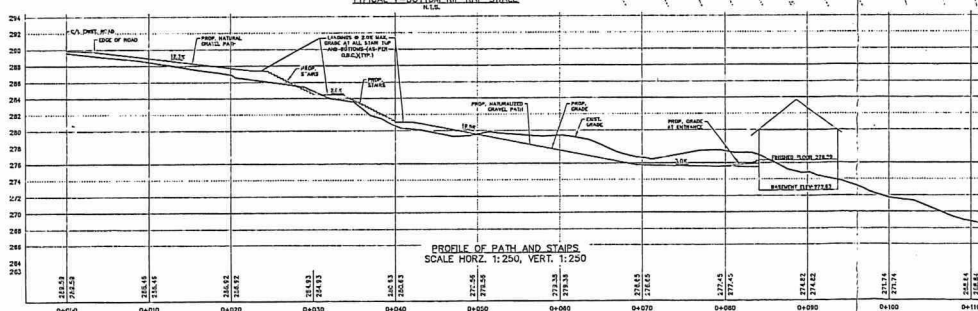
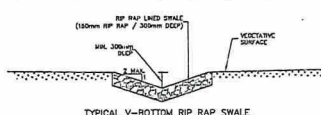
ACCESS PATH AND STAIRS:

THE PROPERTY OWNERS UNDERSTAND AND ARE IN AGREEMENT WITH THE GRADIENTS SHOWN AND SHALL BE RESPONSIBLE FOR ENSURING ACCESS TO THE DESIRED DWELLING LOCATION IS KEPT IN PROPER WORKING ORDER.




NATURALIZED GRAVEL PATH AND STAIRS TO DWELLING SHOWN SHALL BE SUBJECT TO CHANGE BASED ON SITE CONSTRAINTS INCLUDING BEDROCK. STAIRS SHOWN SHALL BE DESIGNED BY OTHERS. STAIRS, LANDINGS AND HANDRAIL SHALL MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.



GARAGE NOT INCLUDED IN PERMIT



LEGEND

277	EXISTING CORNER		PROPERTY LINE
+ 275.50	EXISTING ELEVATION		PROPOSED FENCING WALL
+ 274.95	PROPOSED ELEVATION		PROPOSED FLOW DIRECTION
+ 274.95	PROPOSED DRIVE ELEVATION		TOWNSHIP "B" FENCE
24.8% 14.8%	PROPOSED SLOPE		

PROVISIONS	No.	DATE	BY
ISSUE FOR ANALYSIS REPORT	1	04/01/2011	PAUL

RECEIVED

SEP 29 2021

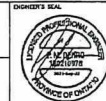
Building Services



TULLOCH
ENGINEERING

146 OAKRIDGE TRAIL
LAKE WANAPITEI, CITY OF GREATER SUDBURY

LOT GRADING PLAN



SCALE	1200
-------	------

DRAWN	D.W.R.
CHECKED	R.M.D.

DATE JULY 6, 2002

PROJECT No. 21-1207

12-00000 C1

A0058/2022
Sketch 2

Maximum 51'
(15.5448 m)



TULLOCH



REV	DATE	DESCRIPTION
1	01/11/2018	PREPARED FOR PERMIT
2	02/20/2018	REVISED FOR PERMIT
3	03/13/2018	REVISED FOR PERMIT
4	03/20/2018	REVISED FOR PERMIT
5	04/11/2018	REVISED FOR PERMIT
6	04/18/2018	REVISED FOR PERMIT
7	04/25/2018	REVISED FOR PERMIT
8	05/02/2018	REVISED FOR PERMIT
9	05/09/2018	REVISED FOR PERMIT

PROJECT TITLE
**REYNOLDS
COTTAGE**

DRAWING TITLE
**REAR ELEVATION:
NORTH EAST**

LOCATION
**146 OAKRIDGE TRAIL
SUDBURY, ONTARIO**

DATE	11/25/2021
SCALE	1/8" = 1'-0"
CHECKED	FP
SCALE	1/8" = 1'-0"
DESIGNED FOR	
DESIGNED BY	
DESIGNED FOR	
DESIGNED BY	
DATE	11/25/2021
SCALE	1/8" = 1'-0"
CHECKED	FP
SCALE	1/8" = 1'-0"
DESIGNED FOR	
DESIGNED BY	
DESIGNED FOR	
DESIGNED BY	

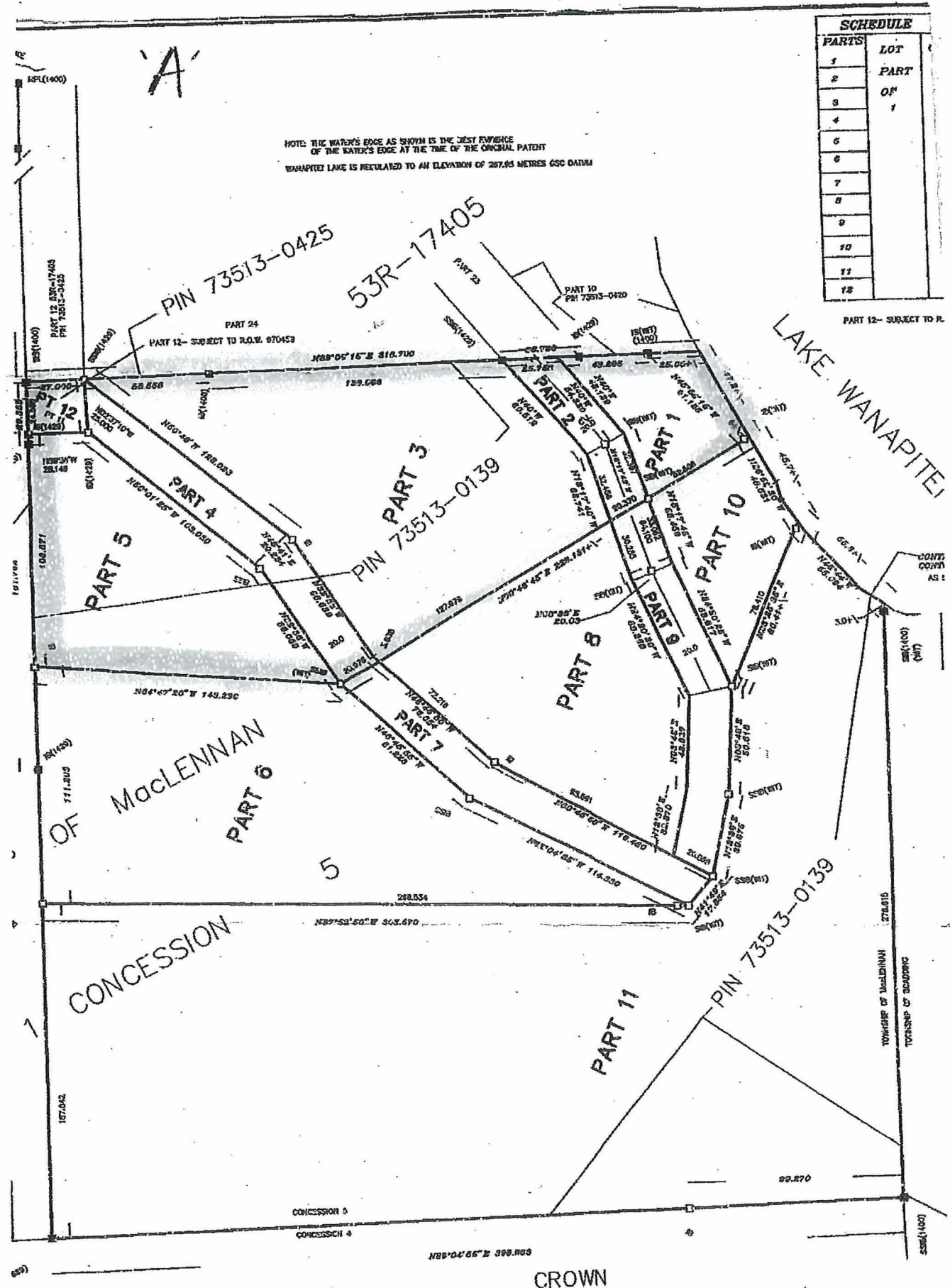
DATE 11/25/2021
SCALE 1/8" = 1'-0"
CHECKED FP
SCALE 1/8" = 1'-0"
DESIGNED FOR
DESIGNED BY
DESIGNED FOR
DESIGNED BY

A005812022
Sketch 3

SCHEDULE	
PARTS	LOT
1	PART
2	OF
3	1
4	
5	
6	
7	
8	
9	
10	
11	
12	

PART 12- SUBJECT TO R.

NOTE: THE WATER'S EDGE AS SHOWN IS THE BEST EVIDENCE OF THE WATER'S EDGE AT THE TIME OF THE ORIGINAL PATENT
WANAPITEI LAKE IS REGULATED TO AN ELEVATION OF 257.65 METRES C.S.C. DATUM



PIN: 73513-0462

LT
A005812022
Sketch 4