

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

May 13, 2026

PUBLIC HEARINGS

PL-MV-2026-00042 Z&M FOOD LTD.

Ward: 12

PIN(s) 021310149, Part Lots 7-9, Plan 18-SB as in S68464, Part Lot 5, Concession 4, Township of McKim, 497 Notre Dame Avenue, Sudbury, 499 Notre Dame Avenue, Sudbury, 501 Notre Dame Avenue, Sudbury, 507 Notre Dame Avenue, Sudbury, [By-law 2010-100Z, C2]

For relief from Part 7, Section 7.3, Table 7.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, for the following: firstly, to permit the existing uncovered steps located on the north east side of the building providing a 0.8m setback from the corner side lot line, where 15.0m is required, secondly, to facilitate the construction of the uncovered steps proposed on the south east side of the building providing a 4.0m setback from the front lot line and a 0.8m setback from the corner side lot line, where a 6.0m front yard setback is required and where a 15.0m corner side yard setback is required, thirdly, to permit the existing uncovered steps and landing located on the north west side of the building providing a 0.6m setback from the interior side lot line, where 3.6m setback is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B3/74 (JAN 7/74)

PL-MV-2026-00043 SUDBURY APARTMENT RENTALS LIMITED

Ward: 12

PIN(s) 021350242, Lot 45, Block B, Plan 3-SA, Part Lot 6, Concession 4, Township of McKim, 101 Pine Street, Sudbury, [By-law 2010-100Z, C2(89)]

For permission under Section 45(2) of the Planning Act, R.S.O. 1990, c. P.13 to expand the legal non-conforming use of the existing building from 12 dwelling units to 13 dwelling units providing a maximum net residential density of 235 units per hectare, where a maximum net residential density of 216 units per hectare is permitted pursuant to Minor Variance Application PL-MV-2025-00138, and maintain 4 parking spaces for 13 dwelling units where 4 parking spaces for 12 dwelling units currently exist.

PREVIOUSLY SUBJECT TO MINOR VARIANCE PL-MV-2025-00138 (OCT 10/25)

PL-MV-2026-00045**DENISE ST. AMANT
MARTY GIGNAC**

Ward: 7

PIN(s) 734941090, Lot 19, Plan 53M-1431, Part Lot 5, Concession 1,
Township of Garson, 51 Bluejay Way, Garson, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a second-storey addition on the existing dwelling providing an interior side yard setback of 1.32m with eaves encroaching an additional 0.46m into the 1.32m interior side yard setback, where a 1.8m interior side yard setback is required and where eaves may encroach 0.6m into the required yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION
A0007/2019 (MAR 6/19)

PL-MV-2026-00046**NORMAND POITRAS
KATHERINE HUCAL**

Ward: 12

PIN(s) 021710245, Parcel 23684 SEC SES SRO, Lot 4, Plan M-397, Part
Lot 3, Concession 6, Township of McKim, 795 Lavoie Street, Sudbury, [By-
law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsections 4.2.3 and 4.2.4 a) and Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing detached garage providing, firstly, an interior side yard setback of 0.48m, where accessory buildings greater than 2.5m in height shall be no closer than 0.6m from the side lot line, secondly, an eaves encroaching of 0.82m into the interior side yard with a 0.22m setback from the interior side lot line, where eaves may encroach 0.6m into the required yard but not closer than 0.6m to the lot line, thirdly, an accessory lot coverage of 13%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%, and fourthly, a maximum height of 6.1m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

PL-MV-2026-00047**KYLE KARCHIE
DANICA SERVANT**

Ward: 4

PIN(s) 733470240, Parcel 16568 SEC SWS SRO, Lot 68, Plan M-466, Part Lot 6, Concession 1, Township of Rayside, 110 Paul Street, Azilda, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 5.9m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

PL-MV-2026-00049**JEFF HUNTER
TANYA REILLY-HUNTER**

Ward: 9

PIN(s) 734790159; 734790148, Parcels 9521 and 10915 SEC SES, Part Lot 9, Concession 6, as in LT60372 and LT52121, except LT81264, Township of Dill, 2798 Richard Lake Road, Sudbury, [By-law 2010-100Z, R1-1]

For relief from Part 4, Section 4.41, subsections 4.41.2, 4.41.3 and 4.41.4 and Part 6, Section 6.2, Table 6.1, special provision #10 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury as amended, for the following, firstly, the construction of a dwelling providing a high water mark setback of 18.0m, where no person shall erect any residential building or other accessory building or structure closer than 30.0m to the high water mark of a lake and where the only permitted structures within 20.0m of the high water mark of a lake are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops, secondly, the shoreline buffer to be cleared to a maximum of 73% (720.0 sq. m), where on any residential lot the shoreline buffer area is permitted to be cleared of natural vegetation to a maximum of 25%, but in no case shall exceed a maximum of 276.0 sq. m, thirdly, a maximum of 46% (26.6m) of the length of the shoreline at the high water mark to be cleared of natural vegetation, where the maximum length of the cleared area measured at the high water mark shall be 25% of the length of the shoreline of the lot but in no case shall the maximum length of cleared area measured at the high water exceed 23.0m in length, and fourthly, a main building façade that does not have an entrance facing a public road, where the main building façade shall have an entrance that faces public road.

PL-MV-2026-00050 DOMINION PARK DEVELOPMENTS CORP

Ward: 6

PIN(s) 735043251, SRO, Lot 109, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4202 Bonaventure Drive, Hanmer, [By-law 2010-100Z, R2-2, R1-5]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side B on the Plot Plan submitted with the application and subject of a future Consent application, providing firstly, a rear yard setback of 6.5m with eaves encroaching an additional 0.62m into the proposed 6.5m rear yard setback, where 7.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and secondly, a maximum lot coverage of 51%, where 45% is permitted.

PL-MV-2026-00051 DOMINION PARK DEVELOPMENTS CORP

Ward: 6

PIN(s) 735043251, SRO, Lot 109, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4206 Bonaventure Drive, Hanmer, [By-law 2010-100Z, R2-2, R1-5]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side A on the Plot Plan submitted with the application and subject of a future Consent application, providing firstly, a rear yard setback of 6.5m with eaves encroaching an additional 0.62m into the proposed 6.5m rear yard setback, where 7.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and secondly, a maximum lot coverage of 51%, where 45% is permitted.

PL-MV-2026-00052 DOMINION PARK DEVELOPMENTS CORP

Ward: 6

PIN(s) 735043251, SRO, Lot 110, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4210 Bonaventure Drive, Hanmer, [By-law 2010-100Z, R2-2, R1-5]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side B on the Plot Plan submitted with the application and subject of a future Consent application, providing firstly, a rear yard setback of 6.5m with eaves encroaching an additional 0.62m into the proposed 6.5m rear yard setback, where 7.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and secondly, a maximum lot coverage of 51%, where 45% is permitted.

PL-MV-2026-00053 DOMINION PARK DEVELOPMENTS CORP

Ward: 6

PIN(s) 735043251, SRO, Lot 110, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4214 Bonaventure Drive, Hanmer, [By-law 2010-100Z, R2-2, R1-5]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side A on the Plot Plan submitted with the application and subject of a future Consent application, providing firstly, a rear yard setback of 6.5m with eaves encroaching an additional 0.62m into the proposed 6.5m rear yard setback, where 7.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and secondly, a maximum lot coverage of 51%, where 45% is permitted.

PL-MV-2026-00054

DOMINION PARK DEVELOPMENTS CORP

Ward: 6

PIN(s) 735043267, SRO, Lot 148, Plan M-1115, Part Lot 5, Concession 2, Township of Hanmer, 3101 Manon Street, Hanmer, [By-law 2010-100Z, R2-2]

For relief from Part 4, Section 4.35, subsection 4.35.2, Part 5, Section 5.2, subsection 5.2.4.3 a) and d) and subsection 5.4.3.2 a) i) and Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side B on the Plot Plan submitted with the application and subject of a future Consent application, providing firstly, a rear yard setback of 6.36m with eaves encroaching an additional 0.62m into the proposed 6.36m rear yard setback, where 7.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, secondly, a corner side yard setback of 1.35m with eaves encroaching an additional 0.62m into the proposed 1.35m, where 4.5m is required and where eaves may encroach 0.6 m into the required yard or court but not closer than 0.6 m to the lot line, thirdly, a maximum lot coverage of 51%, where 45% is permitted, fourthly, a parking area within the sight triangle, where outdoor parking areas shall not be located within a sight triangle in accordance with Section 4.35, fifthly, a parking area within the required corner side yard, where outdoor parking areas shall not be located within any required corner side yard in any Residential (R) Zone, sixthly, a driveway within a sight triangle and not furthest removed from the intersection, where driveways used for providing access for the parking of motor vehicles shall not be located within a sight triangle and where a lot is occupied by a semi-detached dwelling unit, the driveway shall be located along the front lot line or exterior side lot line, at the location furthest removed from the intersection, seventhly, a vehicle to be parked or stored within a sight triangle, where within any part of a sight triangle, no vehicle shall be parking or stored in such a manner as to impede or obstruct in any way the field of view across such a sight triangle for persons driving vehicles on an abutting road.

PL-MV-2026-00055 DOMINION PARK DEVELOPMENTS CORP

Ward: 6

PIN(s) 735041108, SRO, Lot 148, Plan M-1115, Part Lot 5, Concession 2, Township of Hanmer, 3097 Manon Street, Hanmer, [By-law 2010-100Z, R2-2]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side A on the Plot Plan submitted with the application and subject of a future Consent application, providing firstly, a rear yard setback of 6.36m with eaves encroaching an additional 0.62m into the proposed 6.36m rear yard setback, where 7.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line, and secondly, a maximum lot coverage of 51%, where 45% is permitted.

This application was deferred from the meeting of April 15, 2026 in order to afford the owner the opportunity to address those comments received from agencies and departments.

PL-MV-2026-00035 PAUL CHARBONNEAU

Ward: 4

PIN(s) 021360046, Part Lots 141 - 142, as in S89056, Plan 1-SC, Part Lot 6, Concession 4, Township of McKim, 111 Bloor Street, Sudbury, [By-law 2010-100Z, R2-3]

REVISED

For permission under Section 45(2) of the Planning Act, R.S.O. 1990, c. P.13 to expand the legal non-conforming use of the existing building from 10 dwelling units to 11 dwelling units and maintain 1 parking space for 11 dwelling units where 1 parking space for 10 dwelling units currently exists.

A reminder... the next scheduled meeting is Wednesday, May 27, 2026.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00042

APPLICATION SUMMARY

File Date: 04/07/2026

Application Type: Minor Variance

Address(es): 497 Notre Dame Avenue, Sudbury P3C 2W1, 499 Notre Dame Avenue, Sudbury, 501 Notre Dame Avenue, Sudbury, 507 Notre Dame Avenue, Sudbury

Applicant(s): BENSEN JOY

Owner(s): Z&M FOOD LTD.

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

21 May, 2019

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

4

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

2

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Mixed Use Commercial

Current Official Plan designation (additional)

Current Zoning By-law designation

C2

Provide a detailed description of what is being proposed

New step of stairs for entrance from front door

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

distance from the boundary line of property

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

27.9

Lot Depth of the property

18.4

Lot Area of the property

505.67

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

one structure, consists of 2 commercial unit and 4 residential apartments. age unknown.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

residential and commercial mix, time unknown

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

mix commercial use

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

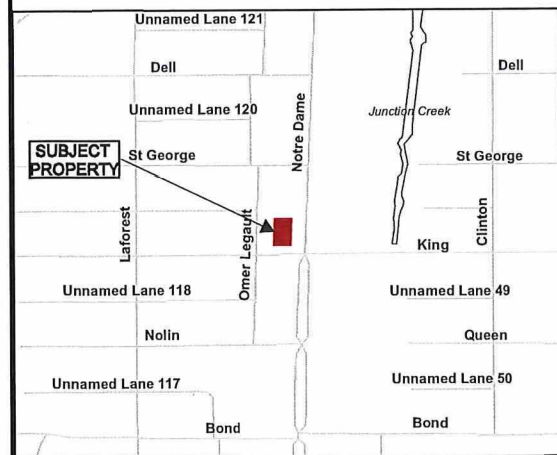
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
mix use, commercial and residential	No	168.25	421.0	2	18.8	11.7	6.6	1.4	17.9	0	1.6

ZONING BY-LAW RELIEF

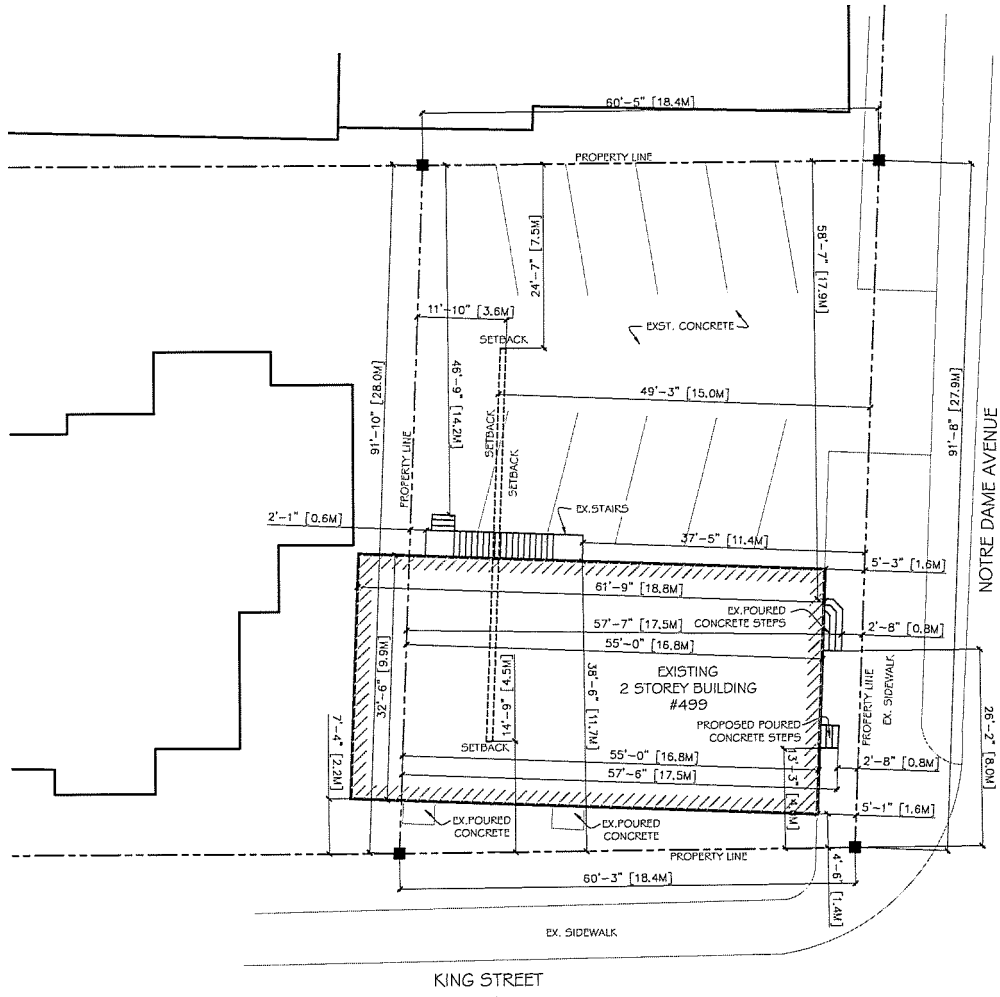
Variance To	By-law Requirement	Proposed (m)	Difference (m)
Existing North East Uncovered Steps	Corner Side Yard Setback - 15.0m	0.8m	14.2m
Proposed South East Uncovered Steps	Front Yard Setback - 6.0m	4.0m	2.0m
Proposed South East Uncovered Steps	Corner Side Yard Setback - 15.0m	0.8m	14.2m
Existing North West Uncovered Steps and Landing	Interior Side Yard Setback - 3.6m	0.6m	3.0m



Application for Minor Variance or Permission

Subject Property being PIN 02131-0149,
 Part Lots 7-9, Plan 18-SB as in S68464,
 Part Lot 5, Concession 4,
 Township of McKim,
 497, 499, 501 and 507 Notre Dame Avenue, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00042
 NDCA Date: 2026 04 10



ADDRESS: 499 Notre Dame Avenue, Sudbury
 ZONING: C2-General Commercial

SETBACK REQUIREMENTS

MIN. FRONT YARD = 15.0M
 MIN. CORNER EXTERIOR SIDE YARD = 4.5M
 MIN. REAR YARD = 7.5M
 MIN. SIDE YARD = 3.0M + 0.6M
 MAX. BLDG. HEIGHT = 15M

GROSS FLOOR AREA - 337 SQ.M

The undersigned has prepared and taken responsibility for the design and for the specifications and means the requirements set out in the Ontario Building Code to be a single set.

QUALIFICATION INFORMATION
 Required unless exempt is exempt under 3.2.3.1 of the Building Code

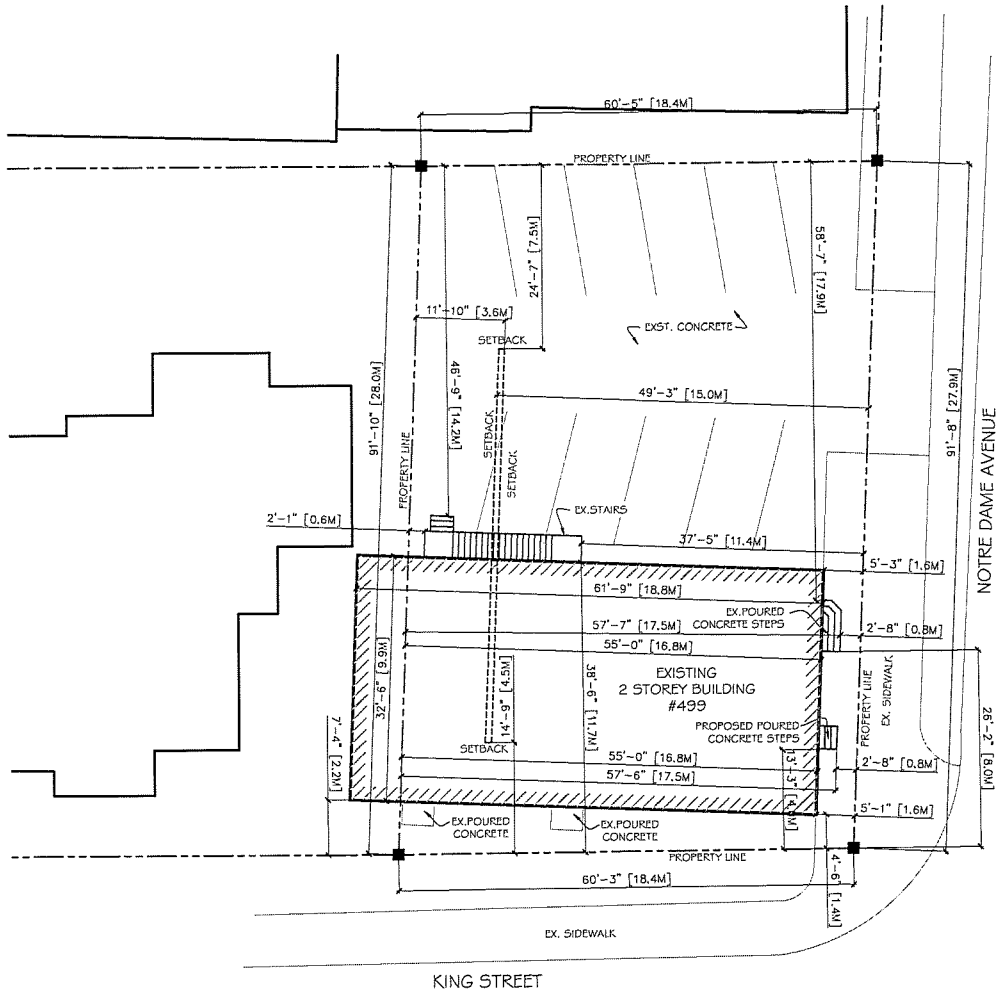
NAME: *Alan Tordella* SIGNATURE: *[Signature]* 127970 BCN

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.1 of the Building Code

ASA Design Building Permit 2024-46
 FROM NAME: *[Signature]* BCN

SCOPE OF WORK: CONVERSION OF EXISTING WALK IN PAPA JOHN'S PIZZA SPACE TO WALK IN SHAWARMA PLACE. CONSTRUCTION OF NEW POURED CONCRETE STEPS	AREA OF PROJECT: 406 SQ.FT/ 38 SQ.M	PROJECT ADDRESS: 499 NOTRE DAME AVE., SUDBURY, ON	SITE PLAN		REVISION-0 SHEET No: 51
			DATE: MARCH 24/ 2026	SCALE: 1/16" = 1'-0"	

PL-MV-2026-00042
 Sketch 2



ADDRESS: 499 Notre Dame Avenue, Sudbury
 ZONING: C2-General Commercial

SETBACK REQUIREMENTS

MIN. FRONT YARD= 15.0M
 MIN. CORNER EXTERIOR SIDE YARD= 4.5M
 MIN. REAR YARD= 7.5M
 MIN. SIDE YARD= 3.0M+0.6M
 MAX. BLDG. HEIGHT= 15M

GROSS FLOOR AREA INCLUDING BASEMENT - 421 SQ.M

The undersigned has prepared and taken responsibility for the design and for the workmanship and materials in accordance with the Ontario Building Code to the satisfaction of the Building Code Officer.

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.5.1 of the Building Code
 Name: [Signature] 122970 DCN

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.1 of the Building Code
 A.S.A. Design Building Permit 203446 DCN

SCOPE OF WORK: CONVERSION OF EXISTING WALK IN PAPA JOHN'S PIZZA SPACE TO WALK IN SHAWARMA PLACE. CONSTRUCTION OF NEW POURED CONCRETE STEPS	AREA OF PROJECT: 406 SQ.FT/ 38 SQ.M	PROJECT ADDRESS: 499 NOTRE DAME AVE., SUDBURY, ON	SITE PLAN		REVISION-0 SHEET No: 5
			DATE: MARCH 24/ 2026	SCALE: 1/16"=1'-0"	

PL-MU-2026-00042
 sketch 3



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00043

APPLICATION SUMMARY

File Date: 04/08/2026

Application Type: Minor Variance

Address(es): 101 Pine Street, Sudbury P3C 1W9

Applicant(s): TULLOCH

Owner(s): SUDBURY APARTMENT RENTALS LIMITED

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

July 3, 2025

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

12

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Downtown

Current Official Plan designation (additional)

Current Zoning By-law designation

C2(89)

Provide a detailed description of what is being proposed

The development of an additional dwelling unit in an unoccupied space within the 12-unit multiple dwelling

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Existing lot size and parking area

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

15.24

Lot Depth of the property

36.58

Lot Area of the property

557.42

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Multiple Dwelling - construction date unknown

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential, since initial construction

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

M1 'Mixed Light Industrial/Service Commercial', C6 'Downtown Commercial', C4 'Office Commercial', & C2 'General Commercial'

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Multiple Dwelling	No	304.28	609	2	13.5	27.75	6	1.85	5.98	0.8	0.9

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
• To permit an additional dwelling unit in the basement of an existing 12-unit multiple dwelling for a total of 13 multiple dwelling units with a density of 235 units/ha where 150 units/ha is permitted and 216 units/ha currently exists and to permit 4 parking spaces for 13 units where 4 spaces for 12 units exists.	n/a	13 units with 4 parking spaces	n/a



Planners | Surveyors | Biologists | Engineers

April 8th, 2026
File No. 25-1167

Committee of Adjustment
Tom Davies Square – City of Greater Sudbury
200 Brady Street
Sudbury, ON
P3A 5P3

Re: Minor Variance – 101 Pine Street – LT 45, BLK B PLAN 3SA CITY OF SUDBURY
[PIN 02135-0242]

Dear Committee of Adjustment,

TULLOCH has been retained by the current owner of 101 Pine Street in Sudbury to secure planning approvals for the development of one additional unit in the basement of an existing 12-unit multiple dwelling located on the subject lands. Please find attached in Pronto the following information for your consideration in addition to this Cover Letter:

- Concept Plan.

In September 2025, the subject property was subject to a Minor Variance application to permit 12 dwelling units where 10 dwelling units previously existed while maintaining the existing parking spaces. Staff stated that they had no concerns with the proposed additional dwelling units and maintaining the current parking spaces given the location in the Downtown designation, and that impacts were not anticipated to surrounding uses as the units were to be located inside the existing building. Final notice of approval was received from the Committee of Adjustment on November 5, 2025.

Since this time, one of the previously approved additional units was placed on the market for rent by the property owner, to which a large number of interested applicants was received. The property owner has since decided to alter the building plans to convert the former 12th unit into two 1-bedroom units to respond to increased demands.

The subject property is zoned C2(89) 'General Commercial Special' in the City of Greater Sudbury Zoning By-Law 2010-100Z and designated 'Downtown' per Schedule 1b of the *City of Greater Sudbury Official Plan* (OP). The property is also located within the City's Settlement Area and Built Boundary per Schedule 3 of

the OP. The special zoning classification on the property prohibits the use of a drive-through service facility, however all provisions of the zoning by-law applicable to the C2 zone shall still apply, on the property

The application proposes the following under Section 45(2) of the Planning Act:

- To permit an additional dwelling unit in the basement of an existing 12-unit multiple dwelling for a total of 13 multiple dwelling units with a density of 235 units/ha where 150 units/ha is permitted and 216 units/ha currently exists and to permit 4 parking spaces for 13 units where 4 spaces for 12 units exists.

Other powers

(2) In addition to its powers under subsection (1), the committee, upon any such application,

(a) where any land, building or structure, on the day the by-law was passed, was lawfully used for a purpose prohibited by the by-law, may permit,

(i) the enlargement or extension of the building or structure, if the use that was made of the building or structure on the day the by-law was passed, or a use permitted under subclause (ii) continued until the date of the application to the committee, but no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the by-law was passed, or

(ii) the use of such land, building or structure for a purpose that, in the opinion of the committee, is similar to the purpose for which it was used on the day the by-law was passed or is more compatible with the uses permitted by the by-law than the purpose for which it was used on the day the by-law was passed, if the use for a purpose prohibited by the by-law or another use for a purpose previously permitted by the committee continued until the date of the application to the committee; or

(b) where the uses of land, buildings or structures permitted in the by-law are defined in general terms, may permit the use of any land, building or structure for any purpose that, in the opinion of the committee, conforms with the uses permitted in the by-law. R.S.O. 1990, c. P.13, s. 45 (2)

The existing building and use pre-date the Zoning By-law and is therefore a legal non-conforming use in accordance with Section 34(9) of the *Planning Act*.

Unlike *Section 45(1)* of the *Planning Act*, which prescribes a clear set of tests, *Section 45(2)* does not clearly state which tests must be met for permission to expand a non-conforming use. However, the tests used to review *Section 45(2)* applications have been established through the decision of the *Supreme Court of Canada in Saint-Romuald (Ville) v. Olivier, 2001, SCC 57, 2001 Carswell Que 2013*, OMB case *Asgharzadeh, Re, 2010 Carswell Ont 4047* and more recently, Ontario Land Tribunal (OLT) case *Fraser v. Rideau Lakes (Township), 2020*. As a result, applications applied for under *Section 45(2)* of the *Planning Act*, must be evaluated on the basis of the following two tests:

1. *Whether the application is desirable for appropriate development of the subject property; and*
2. *Whether the application will result in undue adverse impacts on the surrounding properties and neighborhood.*

Furthermore, *Fraser v. Rideau Lakes (Township), 2020*, case also established that for variations applied for under *Section 45(2)* of the *Planning Act*, the intent and purpose of the Official Plan is not a relevant consideration. Nevertheless, Official Plan policies are referenced in the following planning analysis.

IS THE APPLICATION DESIRABLE FOR THE APPROPRIATE DEVELOPMENT OF THE PROPERTY?

It is the author's opinion that the additional dwelling unit with no additional parking spaces is appropriate, and desirable given that:

- The proposed development represents the highest and best use of the property by converting existing vacant usable space within the building into an additional dwelling unit.
- The proposed development additional dwelling unit in the basement of an existing multiple dwelling is considered a form of residential intensification and is consistent with the housing objectives discussed in Section 2.2 of the PPS.
- The current density on the subject property is presently +/-216u/ha. As per the OP, developments with a net density greater than 150 units/ha is considered high density. An increase of one unit within the existing building would increase the net density to +/-235u/ha. The Downtown Designation of the City's OP permits developments above 150 units/ha
 - The proposed density increase is appropriate in this location as it is supported by active transportation infrastructure, public transit and is in proximity to many amenities and services considering it is within the Downtown and within 250m from the Central Business District.
- The proposed development would contribute positively to the creation of complete communities which have a range of housing types and tenures. The development proposal is an opportunity to provide more housing which accommodates smaller households and seniors.
- The proposed development is consistent with the City's objectives for development within the Settlement Area within Section 2.3.2 of the OP. It represents an efficient use of land within the Downtown area where:
 - Development is encouraged;
 - There are no maximum density restrictions;
 - There are no known capacity issues re: municipal sewer and water infrastructure;
 - Active transportation infrastructure and public transit is abundant and accessible; and,
 - More residents would directly support local businesses and institutions.

WILL THE APPLICATION RESULT IN UNDUE ADVERSE IMPACTS ON THE SURROUNDING PROPERTIES AND NEIGHBOURHOOD.

It is the author's opinion that the additional dwelling unit with no additional parking spaces will not result in any adverse impacts on the surrounding properties and neighbourhood given that:

- The existing 12-unit multiple dwelling already represents a high-density development, and an increase of one additional unit would not come at the expense of existing residents or the surrounding neighbourhood. In fact, the development is expected to benefit local businesses and support public transit services.
- No negative impact will result from the variance with regard to aesthetic impact on the surrounding area as there will be no alterations to the exterior or changes to the size and massing of the multiple dwelling.
- The proposed minor variance would enable intensification of the subject lands in a manner that is compatible with the character and uses in the surrounding neighbourhood. The subject property is situated in a mixed-use neighbourhood where high-density housing is common. Existing building and lot configurations are typically compact in this neighbourhood. Most multiple dwellings in this neighbourhood represent a density of at least 150m².
- The subject lands are within the Settlement Area, Built Boundary, and designated Downtown in the OP. When considering high-density housing, the size and massing of high-density buildings and potential traffic strain on local roads is often a consideration of whether the high-density use can be compatible with the surrounding neighbourhood. The proposed development will not alter the size and massing of the existing building which appears as a medium density built form (2-storeys in height). There is not expected to be any negative impacts related to the traffic that would be generated by the proposed development on the local road network and surrounding land uses nor is there expected to be an undue burden on surrounding third spaces (i.e., shopping mall, parks and recreational amenities, etc.).

Given the analysis contained herein, the proposed variance does not introduce any adverse effects to either the subject property or the abutting lands. The proposed development is an increase of only one dwelling unit at a manageable scale and represents a logical use of an unoccupied area within a legal non-conforming multiple dwelling. There are sufficient active transportation and public transit options and amenity space within the surrounding neighbourhood to support the increase in units. As such, it is the author's opinion that the proposed variance is appropriate for the facilitation of the development for the subject property, given that:

1. The application is desirable for appropriate development of the subject property; and
2. The application will not result in undue adverse impacts on the surrounding properties and neighborhood.

Respectfully submitted,

Prepared By:

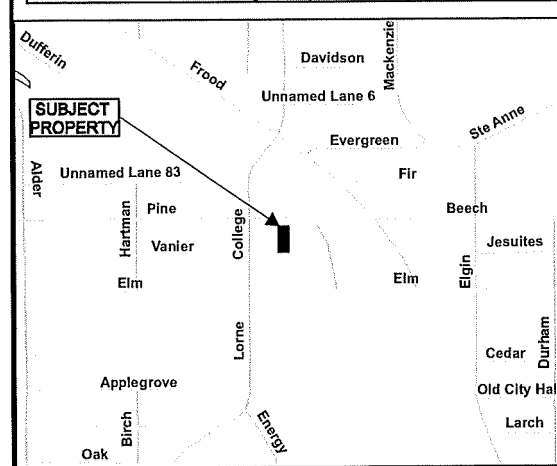
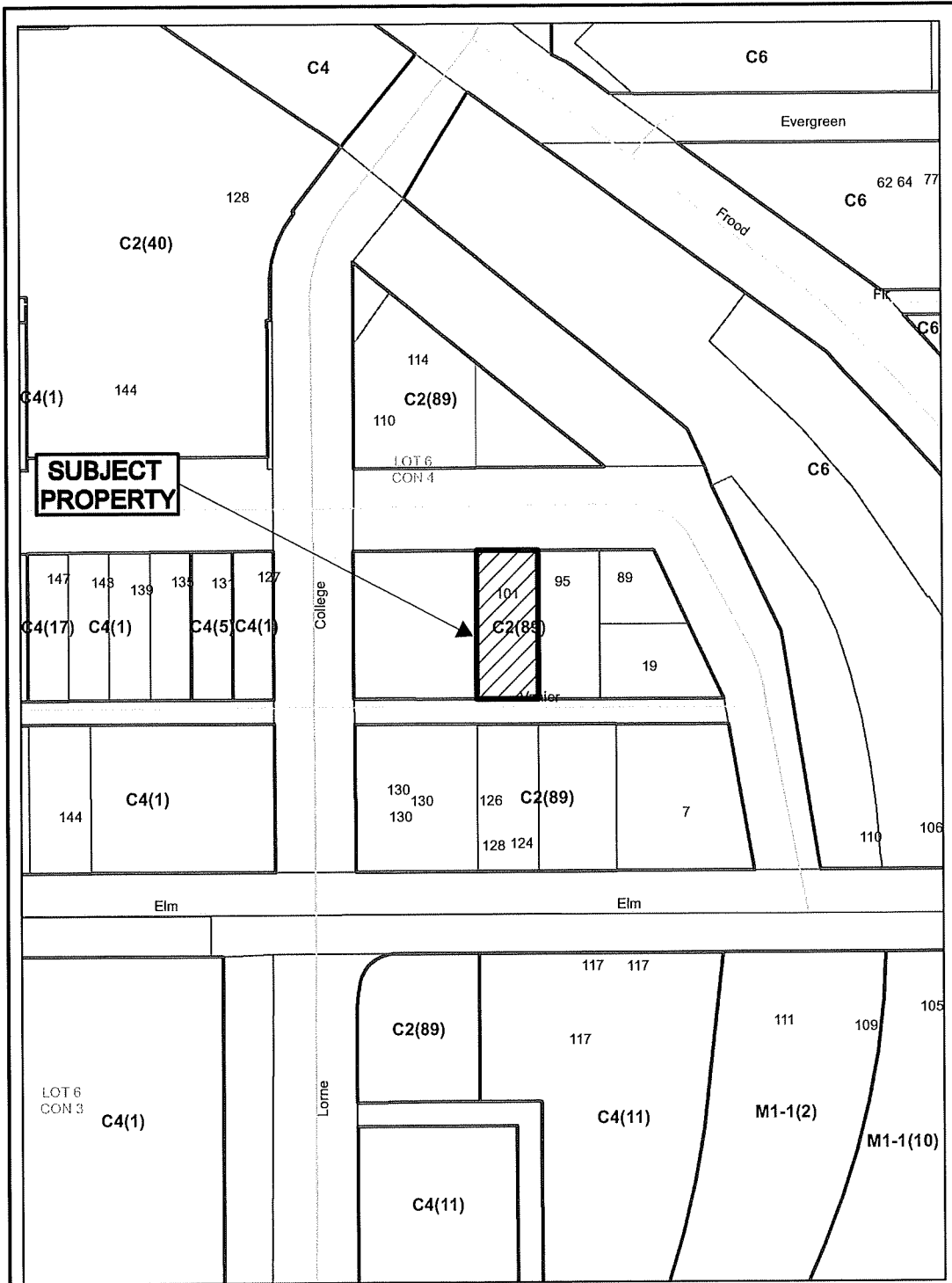
Reviewed By:



Brandon Cormier
Planner



Vanessa Smith, M.Pl., RPP
Senior Planner | Project Manager



Application for Minor Variance or Permission

N

Subject Property being PIN 02135-0242,
 Lot 45, Block B, Plan 3-SA,
 Part Lot 6, Concession 4,
 Township of McKim,
 101 Pine Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00043
 NDCA Date: 2026 04 13

Pine Street

15.24±

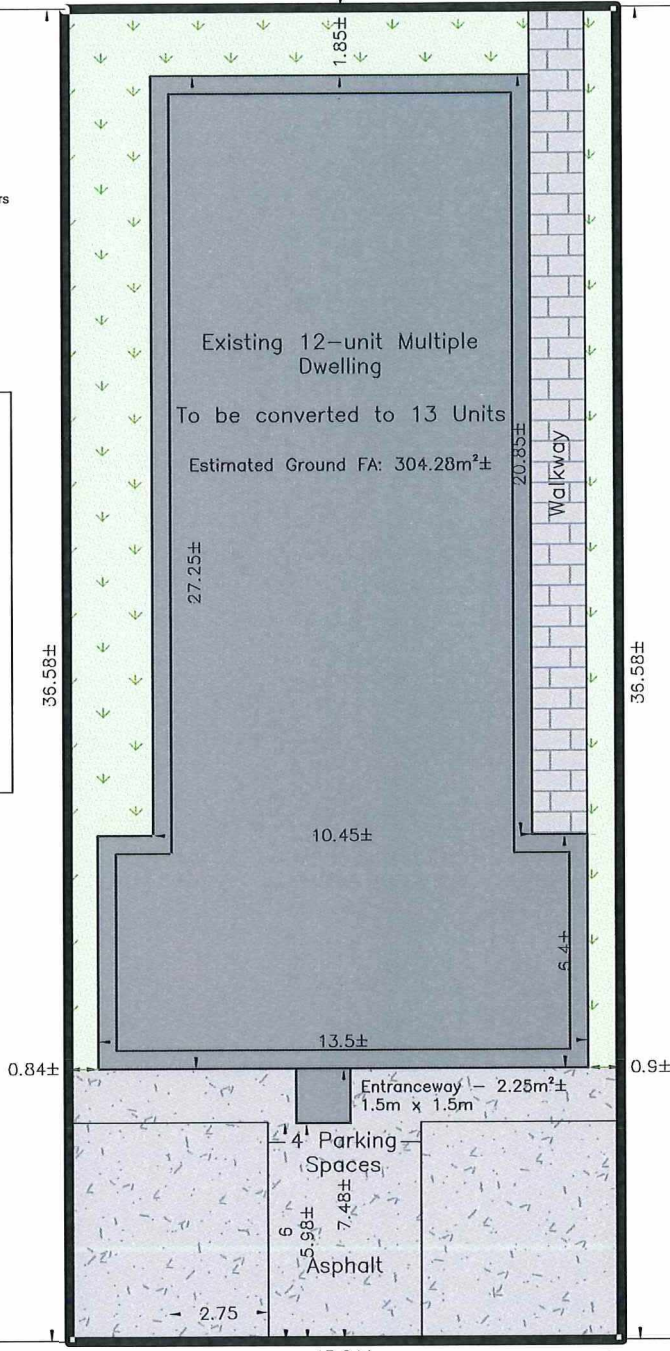


0 4 8 Meters

LOT AREA: 557.42m²±

SITE PLAN DATA

ZONING:	C2(OS) REQUIRED	EXISTING	PROPOSED (Where applicable)
LOT AREA:	MIN 1,350m ² MIN 30m	557.42m ² ± 15.24m±	
LOT COVERAGE:	MAX 50%	55%±	
GROSS FA:	MAX 2x Lot Area = 1,972.23m ²		
LOT DENSITY:	MAX 150units/ha	≈615.05m ² 215.3units/ha (As approved)	235units/ha
BUILDING HEIGHT:	MAX 0m	0m±	
LANDSCAPING:	MIN 5%	55%	
SETBACKS:			
FRONT YARD:	5m	1.05m	
INTERIOR YARD:	1.2m±(0.5/storey) = 2.4m	0.04m	
REAR YARD:	7.5m	5.50m	
LANDSCAPING LANDSCAPE BUFFER:	MIN 3m	1.05m	
PARKING CALCULATIONS:			
MULTIPLE DWELLING:	1.5/Unit @ 13 Units =20	4	
ACCESSIBLE SPACES (1-S SPACES):	0	0	
BICYCLE SPACES:	0.5/UNIT =7	Unknown	



CAUTION

THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM REGISTRY PLANS AND HAVE NOT BEEN CONFIRMED.
THE FEATURES ILLUSTRATED ON THIS PLAN ARE BASED ON AERIAL IMAGERY AND HAVE NOT BEEN CONFIRMED.
THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.
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Vanier Lane

15.24±



T. 705-522-6303

131 FIELDING ROAD
LIVELY, ONTARIO
P3Y 1L7

PROJECT: **101 Pine Street
Lot 45, Block B, Plan 3SA
Former Village of Sudbury
City of Greater Sudbury**

DRAWING: **Site Sketch**

DRAWN BY:
MDJ

SCALE:
1:200

CHECKED BY:
BCVS

PLOT SIZE:
8.5x11

PROJECT NUMBER:
25-1167

DATE:
Apr 22, 2026

PL-MV-2026-00043 sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00045

APPLICATION SUMMARY

File Date: 04/09/2026

Application Type: Minor Variance

Address(es): 51 Bluejay Way, Garson P3L 0A8

Applicant(s): A.L. PERMITS

Owner(s): DENISE ST. AMANT AND MARTY GIGNAC

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2019

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

SECOND STOREY ADDITION WITH SECOND STOREY DECK

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

SIDEYARD SETBACK OF 1.32 M WHERE 1.8 M IS REQUIRED

Is there an eave encroachment?

Yes

Size of eaves

0.457

Lot Frontage of the property

15.280

Lot Depth of the property

39.00

Lot Area of the property

595.92

Total width of the public road giving access to the property

10

List all buildings and structures on the property and their respective date of construction

SFD 2019

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

RESIDENTIAL 6 YEARS

Is the use remaining the same? If no, please provide the proposed new use

YES. SAME USE

Existing uses of neighbouring properties

RESIDENTIAL

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

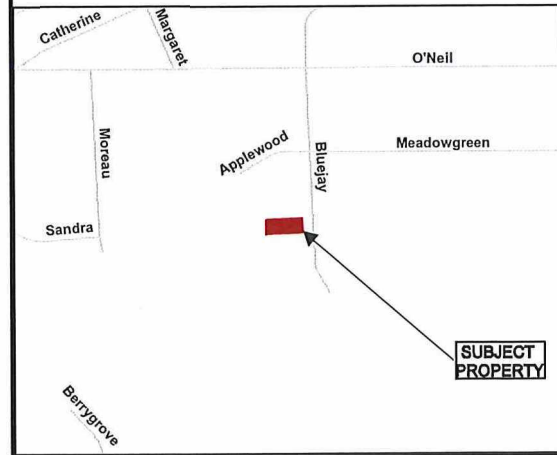
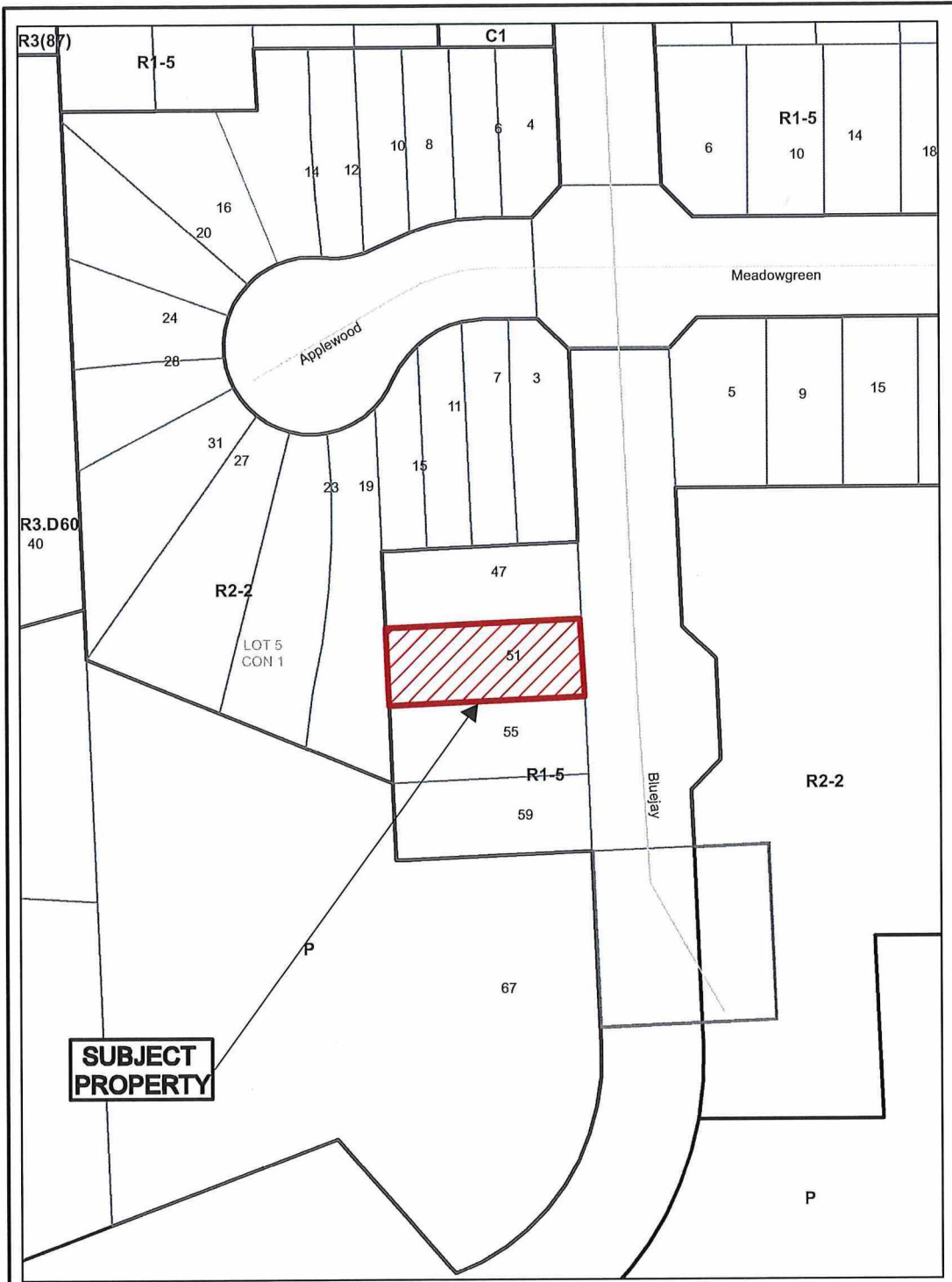
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SECOND STOREY ADD'N (on piles) AND SECOND STOREY DECK	No	0	35.608	1	6.15	5.79	7.31	6.4	10.13	1.32	1.88

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
SFD W/ATT GAR/DECK	No	159.91	362.5	2	12.094	16.68	7.31	6.4	15.92	1.32	1.88

ZONING BY-LAW RELIEF

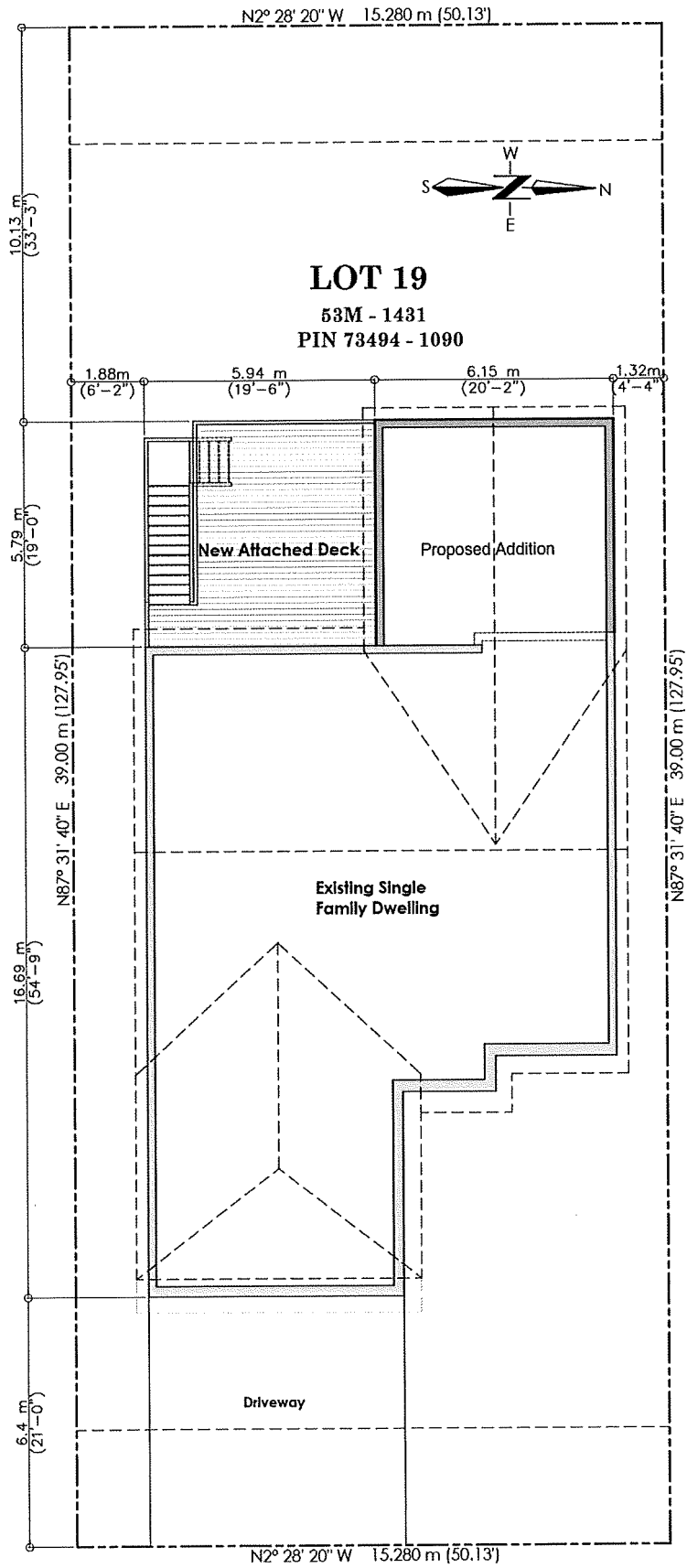
Variance To	By-law Requirement	Proposed (m)	Difference (m)
SETBACK REQUIREMENT SECTION 6.3, TABLE 6.2	1.8 M	1.32 M	0.48 M



Application for Minor Variance or Permission

Subject Property being PIN 73494-1090, Lot 19, Plan 53M-1431, Part Lot 5, Concession 1, Township of Garson, 51 Bluejay Way, Garson, City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00045
 NDCA Date: 2026 04 15

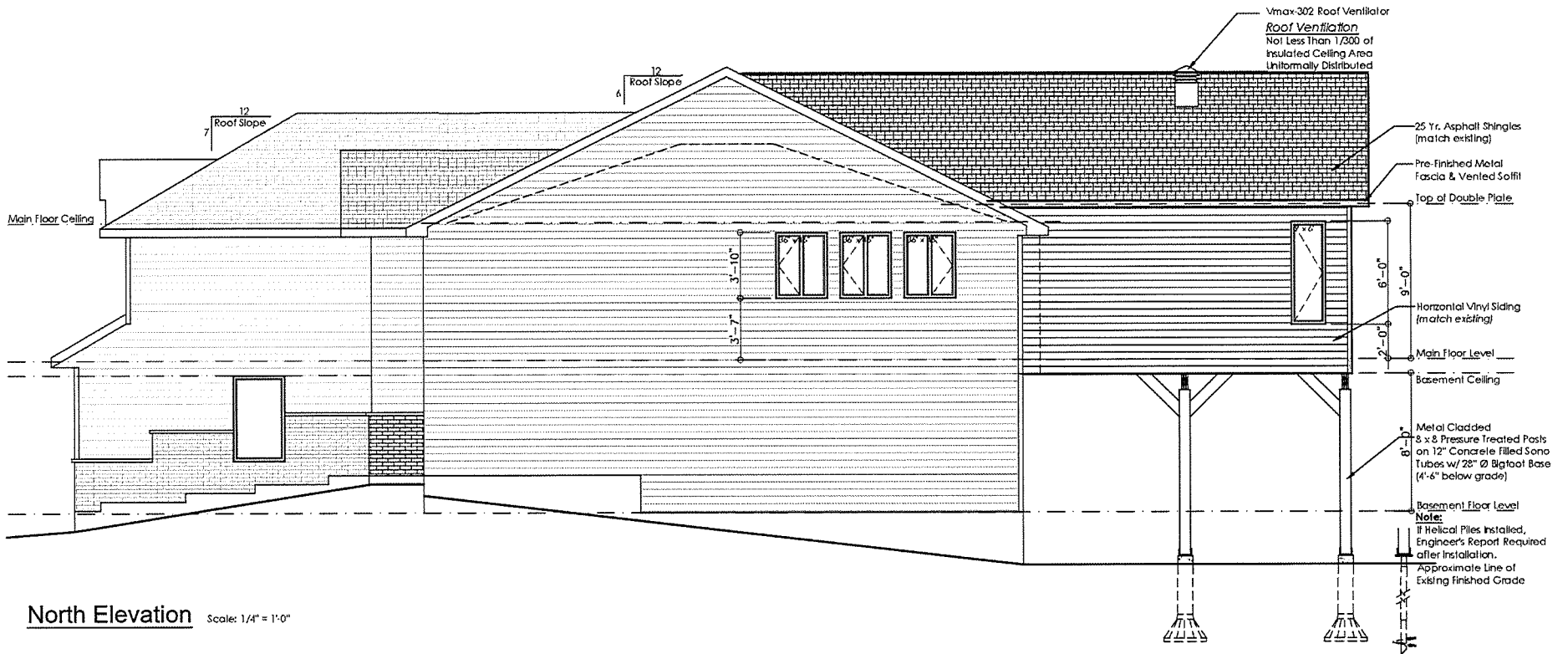


51 Bluejay Way

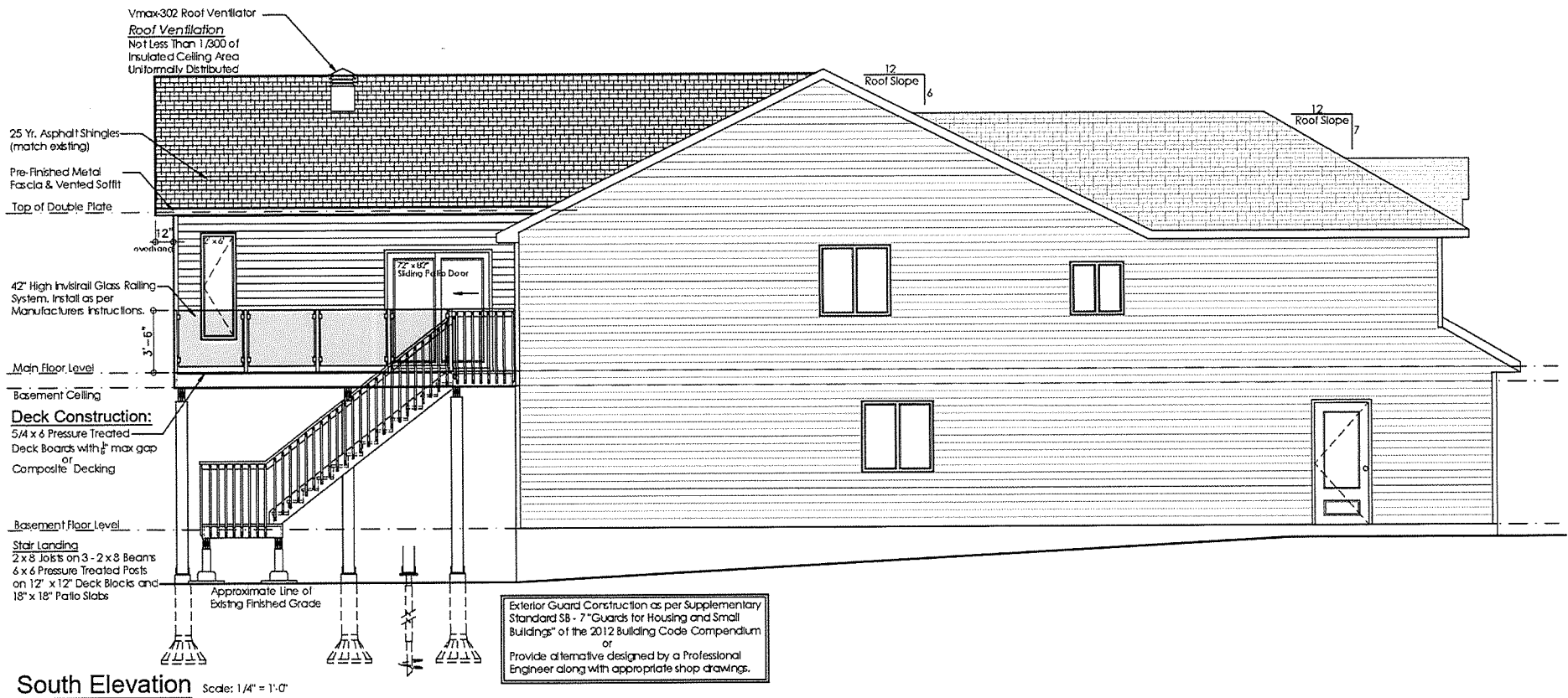
Plot Plan 1 : 100 metric
 (1/8" = 1'-0")

PL-MV-2026-00045

Sketch



North Elevation Scale: 1/4" = 1'-0"





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00046

APPLICATION SUMMARY

File Date: 04/14/2026

Application Type: Minor Variance

Address(es): 795 Lavoie Street, Sudbury P3A 2B8

Applicant(s): NORMAND POITRAS

Owner(s): NORMAND POITRAS AND KATHERINE HUCAL

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Oct 31, 2001

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Addition to existion garage

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Current garage was built too close to lot line (permit to legalize garage to come) and needs to be enlarged for storage, and there is an automotive lift that requires the extra height

Is there an eave encroachment?

Yes

Size of eaves

0.1

Lot Frontage of the property

18.3

Lot Depth of the property

42.38

Lot Area of the property

774.8

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

House - 1954

Garage - 1970's unsure

Shed - 2018

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential since 1954

Is the use remaining the same? If no, please provide the proposed new use

same

Existing uses of neighbouring properties

Residential and Commercial

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

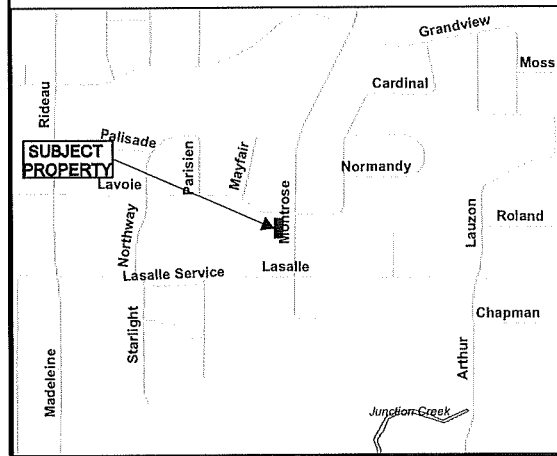
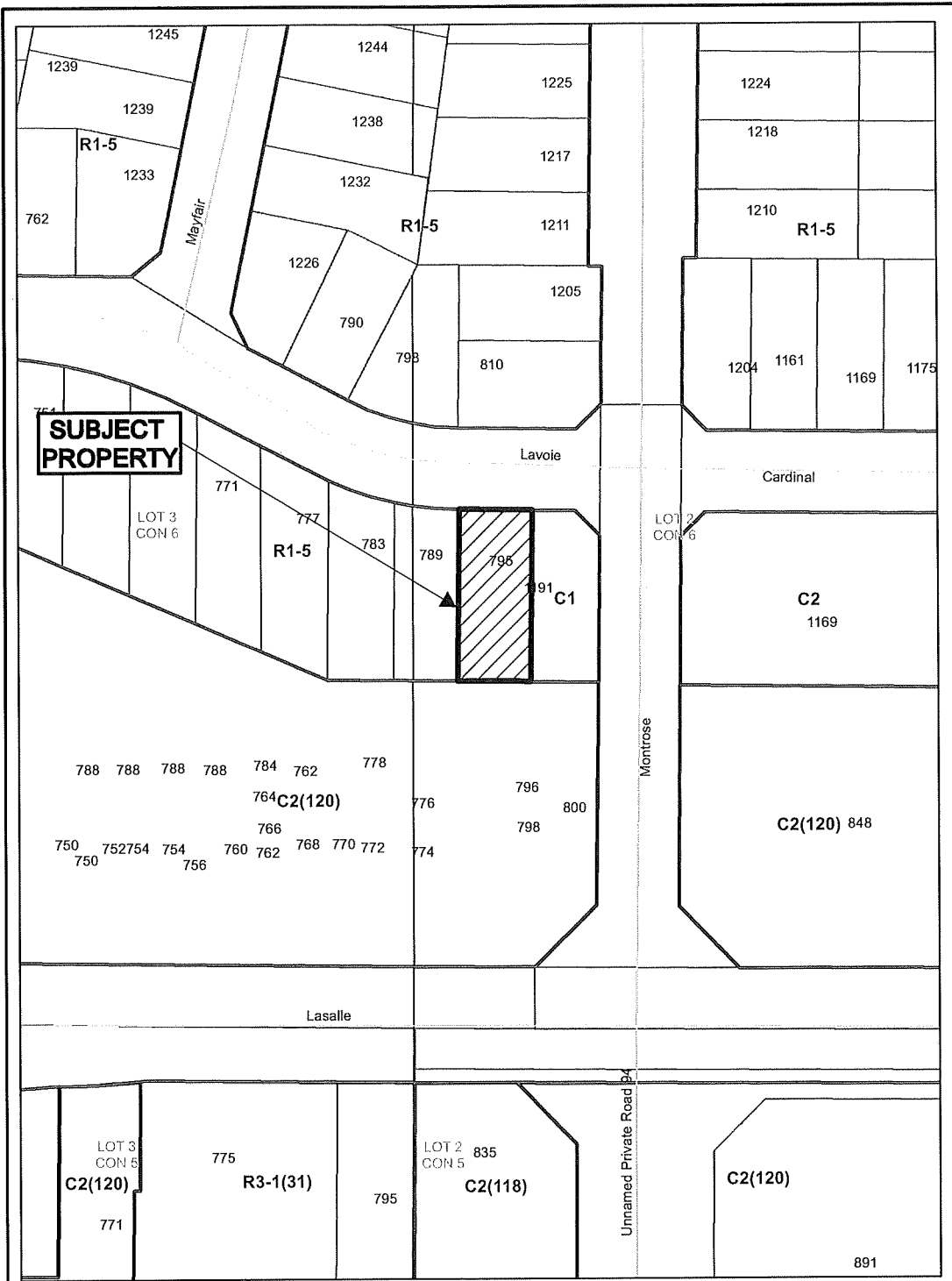
Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Garage with Addition	No	96.5	96.5	1	7.92	12.19	6.1	20.8	9.4	10	0.48

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	97.5	97.5	1	8.9	11.62	4.9	8.6	25.12	3.7	3
Garage	No	38.9	38.9	1	4.92	7.9	4	20.8	13.68	13.17	0.48
Shed	Yes	19.4	19.4	1	3.14	6.18	2.7	29.55	9.69	11.64	0.48

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height of garage	5	6.1	1.1
Side yard setback	1.2	0.48	0.72
Accessory Lot Coverage	10%	13%	3%
Eaves Encroachment	permitted to encroach 0.6 into 1.2m, no closer than 0.6 to lot line	encroach 0.82m 0.38m from lot line	.22 .22

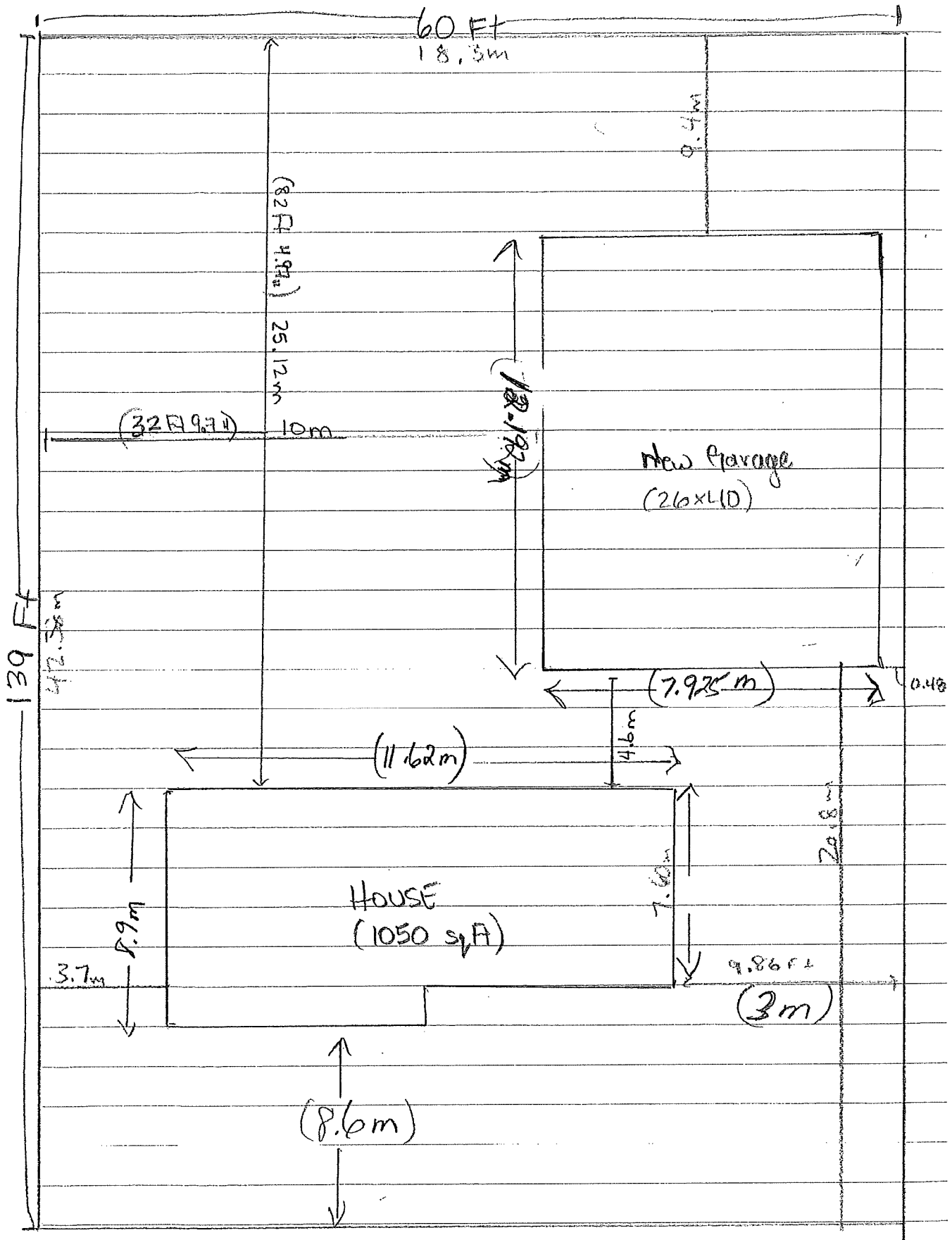


**Application for Minor
Variance or Permission**

N

Subject Property being PIN 02171-0245,
Parcel 23684 SEC SES SRO,
Lot 4, Plan M-397,
Part Lot 3, Concession 6,
Township of McKim,
795 Lavoie Street, Sudbury,
City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00046
NDCA Date: 2026 04 16

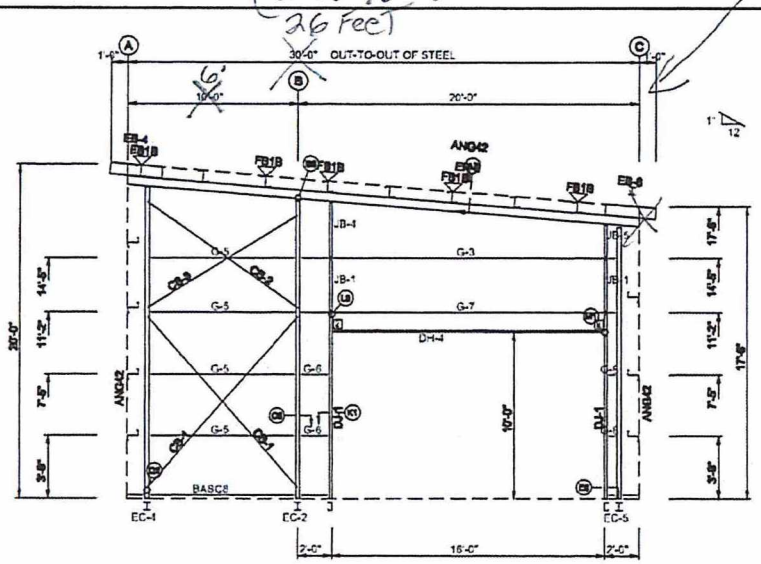


(Projected) 795 LAVOIE ST

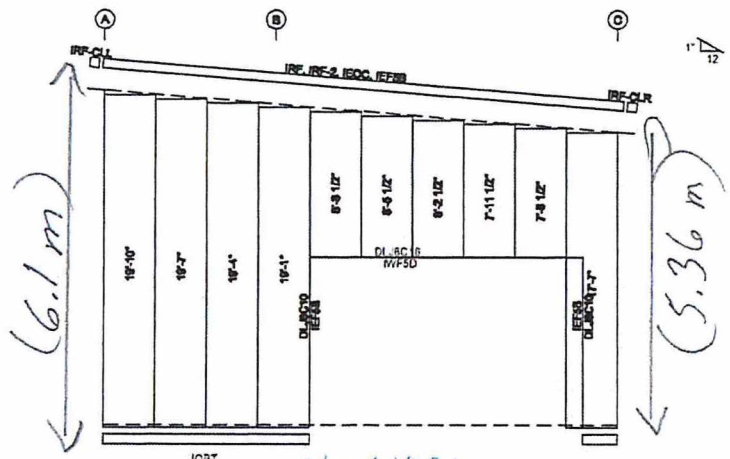
↓ N
 PL-MV-2026-00046
 Sketch 2

1 Foot OVER HANG REMOVED will be ZERO OVER HANG. ONLY EAVES TROUGH. 4" (0.10 m)

(7.9248 m)
26 Feet



ENDWALL FRAMING: FRAME LINE 4



ENDWALL SHEETING & TRIM: FRAME LINE 4
PANELS: 28 Gg. R - TBD

BOLT TABLE				
FRAME LINE 4				
LOCATION	QUAN	TYPE	DIA	LENGTH
Columns/Raf	2	A325	3/4"	1 3/4"

CONNECTION PLATES	
FRAME LINE 4	
ID	QUAN MARK/PART
2	2 c1

FLANGE BRACE TABLE		
FRAME LINE 4		
ID	MARK	LENGTH
1	FB1B	1'-2 1/4"

26 x 40
7.9248m X 12.192m

30'-0" x 40'-0" x 17'-6" x 20'-0"	REVISION: 0
DATE: 4/8/28	ENG: XXX
DWN: YYY	APPD: XXX

F.O. 019304

DRAWING STATUS	
REV.	DATE

REVISION HISTORY	
REV.	DESCRIPTION

GENERAL NOTES:

1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
2. See detail C7A for field coping of coldform endwall column flange braces.
3. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (# = Girt Depth).

EAVE TRIM = @F511	CORNER TRIM = @F514
BASE TRIM = @F719	CUTTER = @F513
DOOR TRIM = @F513	DOWNSPOUTS =
RAKE TRIM = @F512	
LINER TRIM = Liner panel color	
SOFFIT TRIM = Soffit panel color	

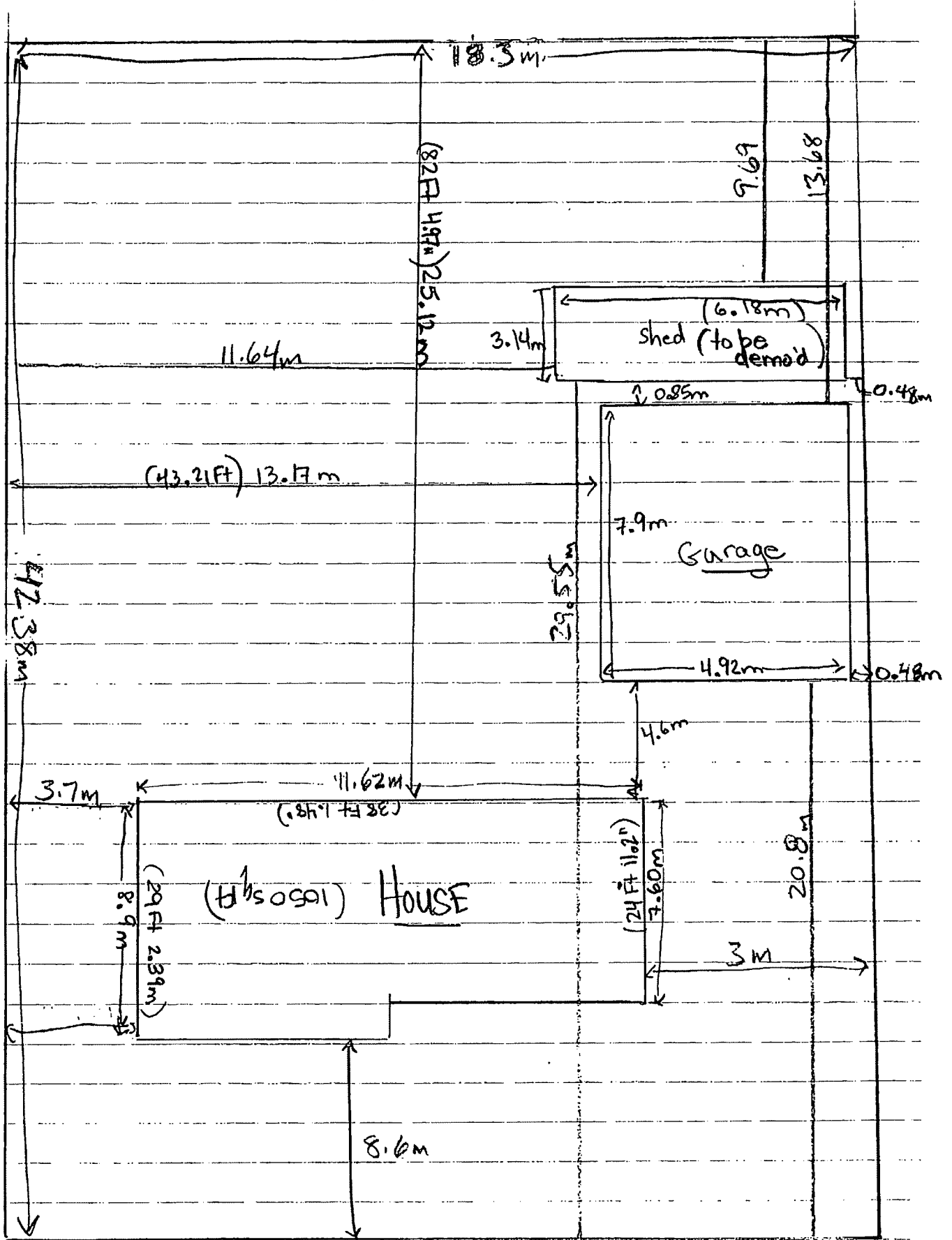
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.

PAGE OF

PL-MV-2026-00046
Sketch 3

MONTROSE MTL

MONTROSE



(CURRENT)

795 LAVOIE ST.



PLM-2006-00046
Sketch 4



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00047

APPLICATION SUMMARY

File Date: 04/14/2026

Application Type: Minor Variance

Address(es): 110 Paul Street, Azilda P0M 1B0

Applicant(s): KYLE KARCHIE

Owner(s): KYLE KARCHIE AND DANICA SERVANT

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

September 5, 2024

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

The proposed minor variance is to permit an increased garage height to accommodate the installation and safe operation of a personal vehicle hoist. The intent of this request is strictly for personal, non-commercial use.

The additional height is necessary to ensure adequate vertical clearance for lifting vehicles, as standard garage height restrictions do not provide sufficient space for the hoist and safe maneuverability beneath a raised vehicle.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The proposal cannot fully comply with the Zoning By-law due to the additional height required to safely accommodate a personal vehicle hoist within the proposed garage. Standard height provisions under the by-law are intended for typical residential accessory structures and do not account for the vertical clearance necessary for specialized personal equipment such as a vehicle hoist. Without the requested variance, the garage would not be able to function as intended for personal vehicle maintenance, as the hoist could not be installed or operated safely within the permitted height limits. Lowering the interior height would create safety concerns, limit usability, and defeat the primary purpose of the structure.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

30.48

Lot Depth of the property

45.72

Lot Area of the property

1393.5

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

Detached House - Year built : 1958

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential since 1958

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

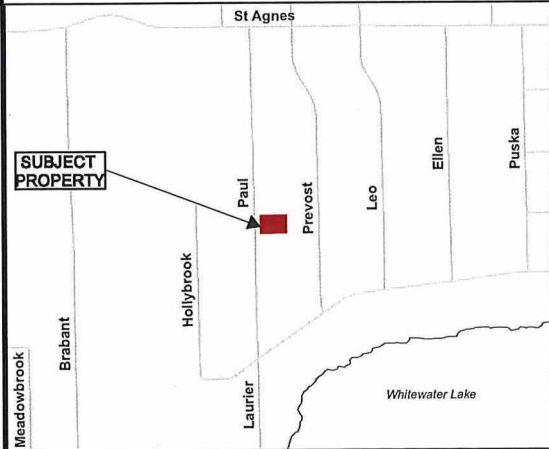
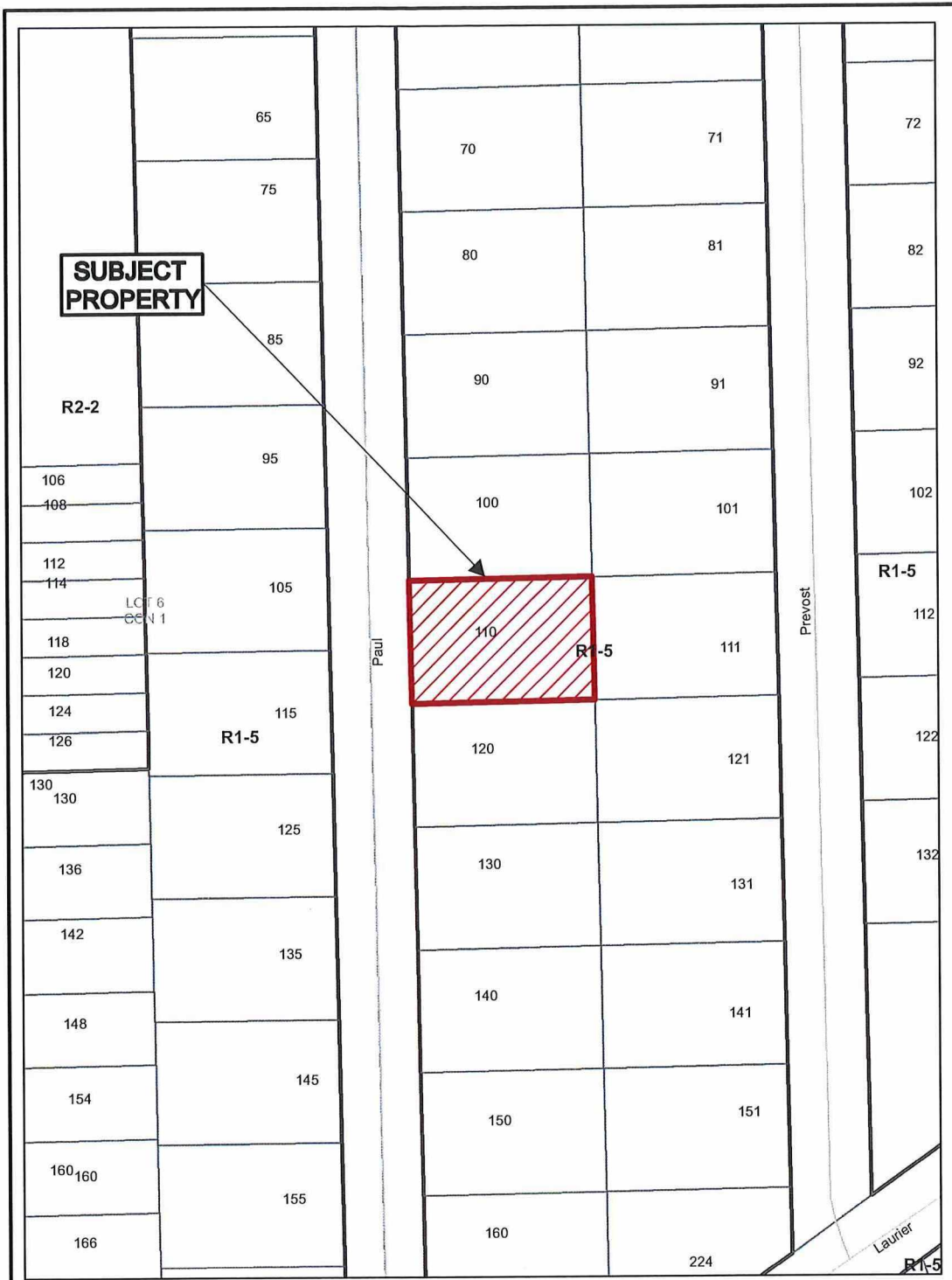
Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage	No	111.5	111.5	1	9.144	12.192	5.88264	30.5	3	19.3	2

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Detached dwelling	No	84	84	1	9.165	9.165	3.9624	10.1	26.5	8.5	12.8
Gazebo	No	24	24	0	4.9	4.9	3.3528	25.344	15.5	3.7	20.5536

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height - Detached Garage	4.2.4 Height a) The maximum height of any accessory building or structure on a residential lot shall be 5.0 metres. For the purposes of this Section, for a boathouse, height shall be the distance measured between the normal or controlled water level and the highest point of the building or structure.	5.9m	0.9m



Application for Minor Variance or Permission

Subject Property being PIN 73347-0240,
Parcel 16568 SEC SWS SRO,
Lot 68, Plan M-466,
Part Lot 6, Concession 1,
Township of Rayside,
110 Paul Street, Azilda,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00047
Date: 2026 04 16

SITE PLAN LEGEND

- PROPOSED NEW
- DENOTES EXISTING BUILDING
- DENOTES DRIVEWAY
- DENOTES ASPHALT
- DENOTES GRASS
- DENOTES PROPERTY LINE
- DENOTES EASEMENT
- DENOTES BUILDING ENTRANCE

SITE PLAN NOTES:

1. REFER TO SURVEY DRAWING PREPARED BY LICENSED SURVEYOR FOR EXISTING CHAINING, PROPERTY LINE, CALCULATIONS, AND BENCHMARK INFORMATION. CONTRACTOR TO LOCATE AND CORNER ALL EXISTING AND PROPOSED OVERHEAD UTILITIES PRIOR TO CONSTRUCTION ON SITE WORK.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ROOFINGS. FINISHED GRADING TO BE MINIMUM 2% AWAY FROM BUILDING FOR FIRST 2 METERS.
3. FINISHED GRADING TO MATCH EXISTING GRADING AT PROPERTY LINE WITHOUT CAUSING NEGATIVE DRAINAGE OR ENCROACHMENT ONTO ADJACENT PROPERTIES.
- 4.

ROOF PLAN LEGEND

- SLOPE
- DENOTES DRAINAGE FROM GUTTERS & ROOF SLOPE
- DENOTES DOWN SPOUTS ON EAVES PAD
- DENOTES GUTTERS THROUGH DOWNSPROUT
- DENOTES ROOF VENT
- DENOTES ROOF LINE
- DENOTES MINIMUM EXTENT OF EAVE PROTECTION SUCH AS ICE AND WATER SHIELD ON APPROVED EQUAL. EAVE PROTECTION TO EXTEND A MINIMUM OF 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL.

ROOF PLAN NOTES:

1. CONTRACTOR TO SITE VERIFY EXISTING SLOPE, DIMENSIONS, AND WALL CONDITIONS PRIOR TO ORDERING TRUSSES. REPORT ANY DISCREPANCIES TO HOME ENGINEERING.
2. EAVE PROTECTION SUCH AS ICE AND WATER SHIELD ON APPROVED EQUAL TO EXTEND MINIMUM 1'-0" BEYOND THE INTERIOR FACE OF EXTERIOR WALL THROUGHOUT AND TO BE REINSTALLED AT ALL GABLES, VALLEYS, AND LOW SLOPE TRANSITIONS.
3. ALL ROOF VENTS TO BE INSTALLED WITH GAVEL PROTECTION, FLASHING, AND TO BE SEALED AGAINST WEATHER INTRUSION.
4. THE MANUFACTURED ROOF TRUSSES SUPPLIER SHALL PROVIDE TRUSSES IN ACCORDANCE WITH HOME ENGINEERING DESIGN PARAMETERS AND QCC PART 17 - SECTION 05133-11 WOOD TRUSSES.
5. TRUSS SHOP DRAWINGS TO BE STAMPED BY A LICENSED ENGINEER AND SUBMITTED TO HOME ENGINEERING FOR REVIEW PRIOR TO INSTALLATION.
6. ALL ROOF FLASHINGS TO BE INSTALLED WITH PROPER ADHESIVE AND MINIMUM SUPPORT BEARING.
7. PROVIDE CONTINUOUS VENTILATION AT GABLES AND RIDGE TO ACHIEVE ONE MINIMUM 100% VENTILATION RATIO FOR ATTIC SPACE.
8. PROVIDE WATER VENTS INSULATED AT GABLES TO MAINTAIN MINIMUM 60 MM (2") AIR CLEARANCE BETWEEN INSULATION AND ROOF SHEATHING FOR VENTILATION.
9. PROVIDE DEEP EDGE FLASHING AT ALL GABLES AND GABLE ENDS, INSTALLED OVER UNDERLAYER.
10. TYPICAL ROOF SLOPE TO BE VERIFIED ON SITE. ANY DEVIATIONS FROM PLANS TO BE APPROVED PRIOR TO PROCEEDING WITH INSTALLATION.
11. PROVIDE BLOODING, VENTS, OR EDGE SUPPORT AT ALL ROOF CORNERS, CHIMNEYS, AND PENETRATIONS.
12. PROVIDE FLASHING FOR PLUMBING VENTS, DUCTS, OR EXHAUST TO BE SEALED, FLASHED, AND LOCATED TO MINIMIZE ROOF STRUCTURE DAMAGE.
13. ALL PLUMBING VENTS AND DUCTS TO BE COORDINATED BY PLUMBING CONTRACTOR.

ROOF ASSEMBLIES:

- DETACHING GARAGE TRUSS ROOF ASSEMBLY**
- 25 YR ASPHALT SHINGLES
 - CAULK THROUGH AND/OR PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING ANGLE
 - CORROSION RESISTANT FASING
 - 1" X 4" WOOD BRILLIANT DWP 400 FLOOR
 - PHC-ENGINEERED BOSSBORN STYLE ROOF TRUSSES BY OTHERS
 - 5/8" INSULATION R-30
 - 5/8" POLY VAMOR BARRIER - LAP & SEAL
 - CEILING AS SCHEDULED

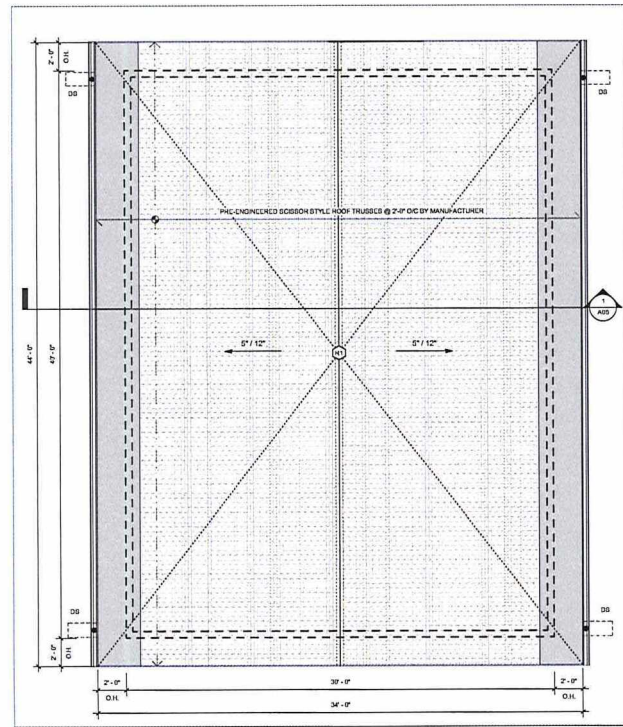
DIMENSIONS ON SITE PLAN TO BE FIELD VERIFIED BY HOME OWNER, CONTRACTOR OR SITE SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING

ZONE #	=	R-1.5
TOTAL PROPERTY AREA*	=	1396sf
EXISTING RESIDENCE*	=	83.6sf
EXISTING GARAGE*	=	111.8sf
PROPOSED NEW DWELLING*	=	11.7sf
NEW TOTAL LOT COVERAGE*	=	15.7%

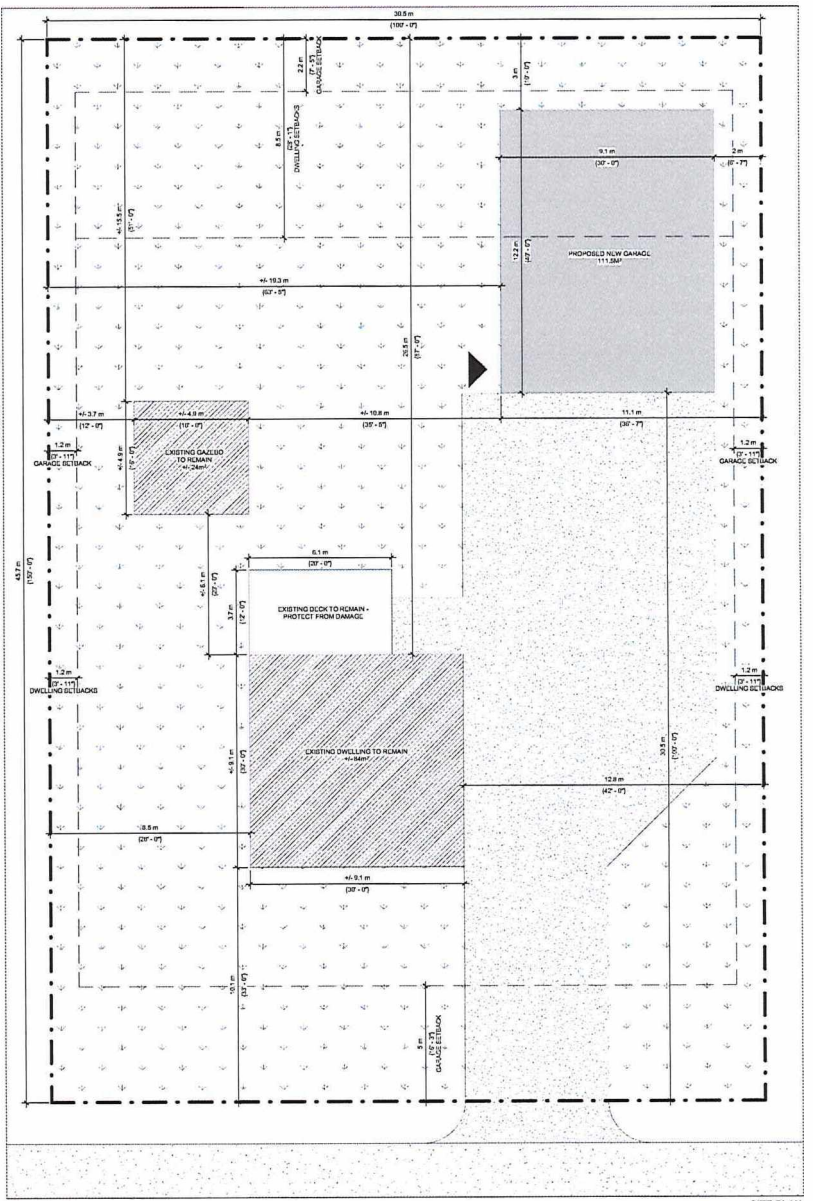
MAXIMUM LOT COVERAGE*	=	40%
MAXIMUM HEIGHT*	=	11m
MINIMUM LOT FRONTAGE*	=	15m
MINIMUM FRONT YARD*	=	5m
MINIMUM REAR YARD*	=	7.5m
MINIMUM INTERIOR SIDE YARD*	=	1.2m
MINIMUM CORNER SIDE YARD*	=	4.5m

ACCESSORY STRUCTURE ALLOWANCES

MAXIMUM HEIGHT*	=	5m
ACCESSORY LOT COVERAGE*	=	17%
MAXIMUM LOT FRONTAGE*	=	15m
PROPOSED NEW BUILDING*	=	11.7sf
MINIMUM FRONT YARD*	=	5m
MINIMUM REAR YARD*	=	1.2m
MINIMUM INTERIOR SIDE YARD*	=	1.2m
MINIMUM CORNER SIDE YARD*	=	4.5m



ROOF PLAN
1/4" = 1'-0"



SITE PLAN
1/8" = 1'-0"

GENERAL
 1. REFER TO SURVEY DRAWING FOR EXISTING CHAINING, PROPERTY LINE, CALCULATIONS, AND BENCHMARK INFORMATION. CONTRACTOR TO LOCATE AND CORNER ALL EXISTING AND PROPOSED OVERHEAD UTILITIES PRIOR TO CONSTRUCTION ON SITE WORK.
 2. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ROOFINGS. FINISHED GRADING TO BE MINIMUM 2% AWAY FROM BUILDING FOR FIRST 2 METERS.
 3. FINISHED GRADING TO MATCH EXISTING GRADING AT PROPERTY LINE WITHOUT CAUSING NEGATIVE DRAINAGE OR ENCROACHMENT ONTO ADJACENT PROPERTIES.
 4. SEE NOTES FOR DETAILS.

SECTION 5 - RELATED COORDINATION

SECTION 6 - RELATED COORDINATION

KOMRI ENGINEERING
 116 DOUGLASS STREET, SUDDERTH, ONT. P0E 1S0
 info@komriengineering.com | 1166.6162.716

HEBANE GROUP INC.
 110 PAUL ST. ARLDEN, ON
 PROJECT NO. 2026-00047
 SITE PLAN & ROOF PLAN
 DRAWN: DL
 CHECKED: DP/KO
 SCALE: As Indicated
 SHEET: A02

ISSUED FOR COORDINATION - APRIL 23, 2026

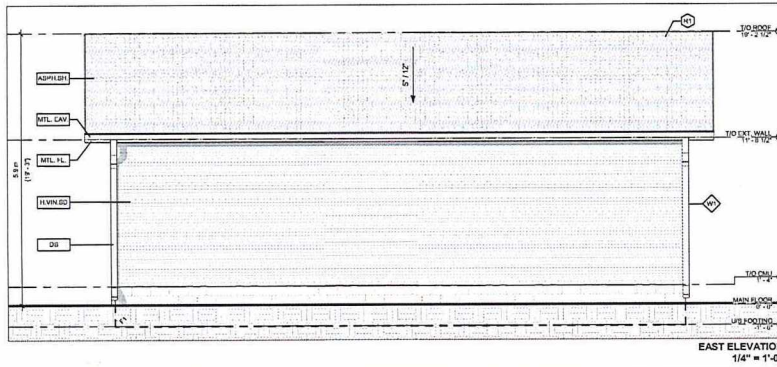
PL-MV-2026-00047
 Sketch 2

LEGEND

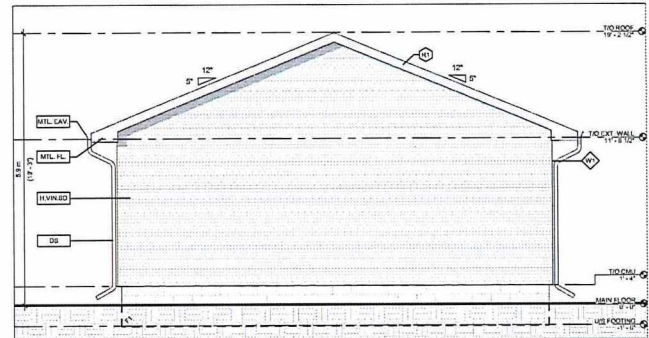
- MFL DNOTES METAL FLASHING
- ASPHB DNOTES 25 YEAR ASPHALT SHINGLES
- HVINB DNOTES HORIZONTAL VINYL SIDING BY OWNER
- MFL CAV DNOTES METAL LAVS THROUGH
- DS DNOTES METAL DOWN SPOUT
- R ROOF IDENTIFICATION IN SCHEDULE
- W WALL IDENTIFICATION IN SCHEDULE
- D DOOR IDENTIFICATION IN SCHEDULE
- W1 WINDOW IDENTIFICATION IN SCHEDULE
- F1 FOOTING IDENTIFICATION IN SCHEDULE

ELEVATION NOTES:

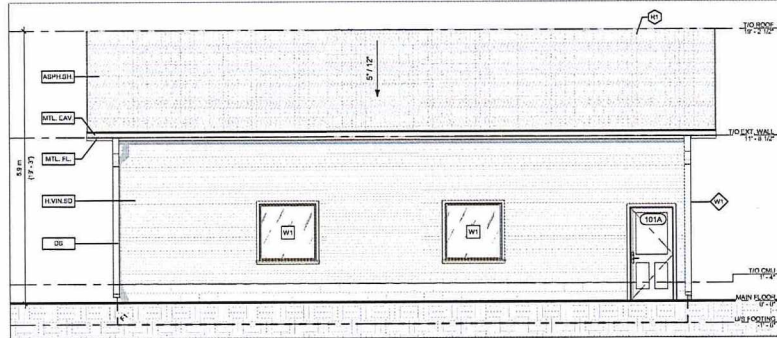
1. EXTERIOR ELEVATIONS ARE SHOWN FOR GENERAL REFERENCE ONLY. REFER TO LIFT PLANS, SECTIONS AND DETAILS FOR EXACT DIMENSIONS AND MATERIAL IDENTIFIACLS.
2. ALL EXTERIOR FINISHES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. VERIFY FINAL COLORS AND MATERIALS PRIOR TO ORDERING. ANY CHANGES TO BRICK AND MATERIAL FINISH, OR THE ADDITION OF PRECAST STONE FINISH (SHALL NOT BE MADE WITHOUT REPORTING BACK TO OWNER ENGINEERING FOR REVIEW AND APPROVAL.
3. ALL DIMENSIONS TO EXTERIOR GRADE, SOFFITS, HEAD HEIGHTS, AND DOWNSPOUT TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
4. TYPICAL FLOOR TO DOOR HEIGHTS TO BE VERIFIED WITH STRUCTURAL DRAWINGS.
5. ALL WINDOW AND DOOR HEAD HEIGHTS TO ALIGN HORIZONTALLY UNLESS NOTED OTHERWISE.
6. EXTERIOR FINISHES SHOWN ON ELEVATIONS ARE FOR REPRESENTATION ONLY. FINAL CHANGING TO CONFORM TO APPROVED LOT GRADING PLANS AND MUNICIPAL REQUIREMENTS. DOWNSPOUT LOCATIONS TO BE COORDINATED WITH HOOD DRAINAGE PLAN AND NOT TO OBSTRUCT DOORS, WINDOWS, OR WALKWAYS.
7. PROVIDE FLASHING ABOVE ALL DOORS, WINDOWS, AND HORIZONTAL CLADDING TRANSITIONS.
8. PROVIDE Drip COULDS AT ALL CLADDING BASES AND EXPOSED HORIZONTAL TERMINATIONS.
9. ALL VERTICAL METALS (E.G., FLASHINGS, RAILINGS, METAL CLADDING) TO BE FINISHED AS SELECTED BY OWNER.
10. HOUSE NUMBERS TO BE INSTALLED IN A VISIBLE LOCATION NEAR FRONT ENTRY AS PER MUNICIPAL REQUIREMENTS.
11. ANY CHANGES TO WINDOW OR DOOR LOCATIONS, SHAPES, OR SIZES TO BE APPROVED BY OWNER ENGINEERING PRIOR TO FINISH.
12. REFER TO BUILDING SECTIONS FOR SOFFIT DETAILS, AND MATERIAL THICKNESS ALIGNMENTS.
13. ALL LAWSUIT FOUNDATION WALLS TO RECEIVE FINISH TO 100 MM BELOW GRADE MINIMUM UNLESS OTHERWISE NOTED.



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

ISSUED FOR COORDINATION - APRIL 23, 2026

PL-MV-2026-00047
Sketch 3

GENERAL:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE BOOK AND THE 2021 INTERNATIONAL ENERGY EFFICIENCY CODE.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE OWNER PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS TO EXTERIOR GRADE UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE OWNER PRIOR TO CONSTRUCTION.
5. ALL DIMENSIONS TO EXTERIOR GRADE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS TO EXTERIOR GRADE UNLESS OTHERWISE NOTED.

EXTERIOR:
1. ROOF: 25 YEAR ASPHALT SHINGLES.
2. WALLS: HORIZONTAL VINYL SIDING BY OWNER.
3. METAL FLASHING AND DOWNSPOUTS AS SHOWN.

KOMRI ENGINEERING
100 DOUGLASS STREET, SUDBURY, ON N0E 1G1
sales@komriengineering.com | 705.618.2718

MEBANE GROUP INC.
100 WALL ST. ARLDEN ON
PROJECT NO. 20260047
ELEVATIONS
DRAWN: DL
CHECKED: DP/IKO
SCALE: 1/4" = 1'-0"
SHEET: A04

A04

MCBANE GROUP INC.

110 PAUL ST, AZILDA, ON
PROJECT NO. KSI-026-090

ISSUED FOR COORDINATION - APRIL 23, 2026



- WALL ASSEMBLIES:**
- FINISHED EXTERIOR W BRIND**
 - 1. HORIZONTAL W/PLY BOARD BY OWNER
 - 2. 1/2" VERTICAL WOOD STRAPPING @ 16" O.C.
 - 3. 1/2" VERTICAL WOOD STRAPPING @ 16" O.C.
 - 4. AIR BARRIER (MEMBRANE - LAP & SEAL)
 - 5. 1/2" OSB BRACING
 - 6. 2" EPS OF 2" GAU FILLED WOODPA (DOUBLE SHEET) AT ANCHOR BOLT LOCATIONS
 - 7. 2x4 SPP NO 1 NO 2 STUD AT 16" O.C. (DOUBLE TOP PLATE)
 - 8. 5/8" BATT INSULATION INSIDE
 - 9. 5/8" POLY VAPOUR BARRIER - LAP & SEAL
 - 10. 1/2" OSB BRACING
- FLOOR ASSEMBLIES:**
- 4" CONCRETE GARAGE SLAB**
 - 1. FINISH AS SCHEDULED
 - 2. 4" CONCRETE SLAB ON BRACE CM 15M @ 16" O.C. DW
 - 3. 15 M POLY VAPOUR BARRIER (MEMBRANE - SEAL, JOINT SPP)
 - 4. CHANGELAN @ 15M x ALL FILL TO BE COMPACTED TO 98% BPOD
- ROOF ASSEMBLIES:**
- DETACHED GARAGE TRUSS ROOF ASSEMBLY**
 - 1. 25# W/ADPHAL SHINGLES
 - 2. FLASHING AND GUTTER PERMITTER AS FOR DETAIL
 - 3. ICE AND WATER SHEILD AROUND PERMITTER AND FLASHING AREAS
 - 4. CONSTRUCTION FELT PAPER
 - 5. 1/2" WOOD BRACING @ 16" O.C.
 - 6. PRE-INSULATED REGION BTL-HOOD TRUSSES BY OTHERS
 - 7. BATT INSULATION INSIDE
 - 8. 5/8" POLY VAPOUR BARRIER - LAP & SEAL
 - 9. CEILING AS SCHEDULED
- CEILING ASSEMBLIES:**
- TYPICAL GYPHIM BOARD CEILING**
 - 1. 7/8" OSB BRACING
 - 2. ROOF FLOOR AS SCHEDULED

- GENERAL REQUIREMENTS**
- GENERAL CONTRACTOR & SUBCONTRACTOR SHALL EXAMINE THE SITE, VERIFY ALL DIMENSIONS, DRAWING DETAILS TO ASCERTAIN THE EXISTING AND NATURE OF WORK.
 - ALL DIMENSIONS SHALL BE RECHECKED FOR CONFORMANCE BEFORE SUBMISSION TO THE DESIGN UNDER REVIEW AND APPROVED BY KOMRI ENGINEERING.
 - GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOUR REQUIRED.
 - DISCREPANCY OF WORK IS NOT NECESSARILY COMPLETE, AND IS FOR CLARIFICATION ONLY.
 - ALL SITE MEASUREMENTS SHALL BE CORROBORATED BY CONTRACTOR PRIOR TO BEING TAKEN ON BEGINNING THE WORK.
- CODE AND STANDARDS**
- GENERAL CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE, REQUIREMENTS OR OTHER APPLICABLE HAVING JURISDICTION, HEREINAFTER REFERRED TO AS CODE.
- MEET OR EXCEEDS REQUIREMENTS OF CONTRACTOR DOCUMENTS, SCHEDULED STANDARDS, CODES AND REFERENCED DOCUMENTS.
- COMPLY WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT 1991 AND REGULATIONS FOR CONSTRUCTION PRODUCTS
- PERMITS AND INSPECTIONS**
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR BUILDING PERMIT AND ASSOCIATED INSPECTIONS
- DESIGN DATA**
- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 SUPPLEMENTED BY THE USECS CLUC - NBC 2015
 - STRUCTURAL COMMENTS (PART OF DIVISION B)
 - CLIMATIC LOCATION: SUDBURY, ONTARIO
- SUBMITTALS**
- SUBMIT FOR REVIEW BEFORE STARTING WORK
 - SUBMIT SHOP DRAWINGS IN CONFORMANCE WITH THE SEQUENCE OF CONSTRUCTION
 - REVIEW COMMENTS MUST BE RECEIVED BY CONTRACTOR BEFORE SUBMISSION TO THE DESIGN UNDER REVIEW AND APPROVED BY KOMRI ENGINEERING.
 - SHOP DRAWINGS WITHOUT CONTRACTOR STAMPS WILL BE RETURNED WITHOUT BEING REVIEWED
 - OUR REVIEW OF SHOP DRAWINGS DOES NOT IMPLY TECHNICAL OPINION OR CALCULATIONS OR CALCULATING OR CALCULATIONS ENGINEERED BY OTHERS AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLETE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - BEFORE PERMITTING DRAWINGS ENTAIL ALL CONNECTIONS REQUIRED BY SHOP REVIEWS HAVE BEEN COMPLETED
 - DO NOT ADD OR DELETE TO DRAWINGS WHICH HAVE NOT BEEN APPROVED AS NOTED
 - DO NOT BEGIN FABRICATION UNTIL ALL SHOP DRAWINGS HAVE BEEN APPROVED
 - IF THE FINISH SCHEDULE DRAWINGS AND THE CONNECTION ARE NOTED
 - IF THE RESPONSIBILITY FOR THE CONNECTION IS TO BE COMPLETED BY ANOTHER PARTY, THE CONTRACTOR SHALL ADVISE THE STRUCTURAL WORK. THIS MUST BE PROVIDED TO THE CONSULTANT WHICH REQUESTED
 - THIS DRAWING IS TO BE USED FOR CONSTRUCTION PURPOSES ONLY
 - COLD AND HOT WEATHER CONSTRUCTION PROCEDURES
 - TEMPERATURE INSPECTION AND TESTING PROCEDURES
- CONCRETE NOTES**
- CONCRETE IS SPECIFIED AS PER THE PERFORMANCE SPECIFICATION ALTERNATIVE AS OUTLINED IN CSA A23.1, TABLE 8.
 - THE CONTRACTOR AND CONCRETE SUPPLIER TO MEET ALL QUALITY CONTROL, DOCUMENTATION AND QUALITY CONTROL REQUIREMENTS.
 - GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLOORING TO HAVE A CHLORIDE ION CONTENT OF 32 MAXIMUM (2% MAX) AND AN AIR ENTRAINMENT (1.5% MIN) TO BE AS NOTED.
 - THE CONCRETE IS SUPPLIED TO BE DELIVERED BY THE READY-MIXED CONCRETE ASSOCIATION OF ONTARIO
 - THE CONTRACTOR AND THE CONCRETE SUPPLIER ARE TO ENSURE THAT THE PLASTIC AND MINERAL MIX PROPERTIES MEET SITE REQUIREMENTS FOR PLACING, FINISHING AND CURING. CONCRETE IS TO BE SUPPLIED TO BE CONFORMANT WITH CANADA'S QUALITY CONTROL SYSTEMS.
 - PLACE CONCRETE AS CLOSE AS POSSIBLE TO FINAL LOCATION TO AVOID SEGREGATION VIBRATE ALL CONCRETE FORMS TO BE FREE OF ALL STRUCTURAL CONCRETE MEMBERS
- WINDOWS & DOORS**
- IT IS THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE FOLLOWING ITEMS PRIOR TO ORDERING
 - A. COLOUR OF WINDOWS AND DOORS
 - B. DIRECTION OF SWING FOR OPERABLE
 - C. WINDOW TYPE
 - D. DRYWALL RECTUR THICKNESS
 - E. RESISTANCE TO FORCED ENTRY APPLIED TO ALL TYPES OF ENTRANCE DOORS INTO DWELLING UNITS AND ATTACHED GARAGE; SEE CODES 8.8 (REGULATIONS TO BE PROVIDED BY MANUFACTURER)
 - F. EFFICIENCY RATING REQUIRED FOR NEW WINDOWS & DOORS TO BE 25 MAXIMUM
- TEMPORARY WORKS**
- AS STRUCTURAL DRAWINGS SHOW THE COMPLETED STRUCTURE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE, DESIGN AND SPECIFY ANY TEMPORARY WORKS REQUIRED TO COMPLETE THE WORK.
 - LOADS IMPOSED ON DRAWINGS MUST NOT BE EXCEEDED BY CONTRACTOR.
 - CONTRACTOR IS RESPONSIBLE TO ENSURE THE DESIGN AND REVIEW OF ALL TEMPORARY WORKS ARE CARRIED OUT BY A PROFESSIONAL ENGINEER (LICENSED AND PROVIDED TO WORK IN ONTARIO)
- WOOD NOTES**
- ALL FINISHING TO COMPLY WITH THE PART REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 - PREPARE TO RECEIVE CONSTRUCTION UNLESS ALL DIMENSIONS ARE FIELD VERIFIED
 - INSTALL ALL FINISHING AS FOR DRAWINGS. SPACES ALL MEMBERS AS SPECIFIED. SECURELY BRACE MEMBERS IN PLACE TO ENSURE FINISHING IS PERMANENTLY FIXED IN STRUCTURE.
 - ALL MATERIAL SHALL BE PROTECTED FROM ENVIRONMENTAL DAMAGES, STONE OR GROUND AND COVER WITH WATERPROOF TARP.
 - MATERIALS:
 - DIMENSIONAL LUMBER: SPP NO. 1 NO. 2
 - DIMENSIONAL LUMBER: GRADE: CSA O1C
 - WOOD: CSA O1C
 - WOOD: CSA O1B-104
 - WOOD: CSA O1B-104
 - CONSTRUCTION BRANCHES: EMPSON STRONG-TIE
- REINFORCING STEEL**
- REINFORCEMENT TO CONFORM TO
 - A. DEFORMED BARS: CANADA CSB 18, GRADE 400R
 - B. WELDED WIRE: CANADA CSB 18, GRADE 400R
 - C. WELDED WIRE: ASTM A618/18M
 - D. CORROSION RESISTANT: ZINC COATING (GALVANIZED) ASTM A752/75M
 - BAR MARKED CONTINUOUS TO BE TERMINATED IN STANDARD HOOKS AT ENDS AND SPACED USING CLASS B SPLAS.
 - ALL REBAR HOOKS TO BE STANDARD LENGTH OR 180° HOOKS. REBAR LENGTHS TO BE FIELD VERIFIED. DO NOT INDICATE THE HOOK LENGTHS DO NOT SET UP IN HOOKS TO ACCOMMODATE TOLERANCES, DIMENSIONS, FINISHES, BUT WATER INDICATE THE HOOK TO ENTAIL PROPER CONCRETE COVER.
 - REBAR HOOKS TO BE FIELD VERIFIED. DO NOT SET UP IN HOOKS TO ACCOMMODATE TOLERANCES, DIMENSIONS, FINISHES, BUT WATER INDICATE THE HOOK TO ENTAIL PROPER CONCRETE COVER.
 - PREVENT MOVEMENT WHEN PLACING CONCRETE.
 - REBAR ADDITIONAL SUPPORT BARS AS REQUIRED TO ACHIEVE SUPPORT AND BECOME ALL REINFORCEMENT
 - ALL REINFORCEMENT TO BE CLEAN, FREE OF LOOSE OIL, SLURRY, MUD, AND ANY OTHER FOREIGN COATING THAT AFFECT BONDING CAPACITY
 - PROTECT COATED REBAR AND PLASTIC CHAIRS FOR ALL CROWN COATS ON GALVANIZED REINFORCEMENT. TOUCH UP ALL DAMAGED COATING AND GALVANIZING PRIOR TO PLACING CONCRETE.
 - CLEAN CONCRETE COVER TO REINFORCEMENT.
- CONCRETE EXPOSURE CLASS**
- | CONCRETE EXPOSURE CLASS | N-2 | S-2 | S-2.5 | S-3 | C-3 | C-3.5 |
|---|---------|--------|--------|--------|--------|--------|
| CAST AGAINST AND PERMANENTLY EXPOSED TO WEATHER | N/A | 75 (7) | 75 (7) | 75 (7) | 75 (7) | 75 (7) |
| CAST AGAINST VAPOUR BARRIER, EXPOSED TO WEATHER | N/A | 75 (7) | 75 (7) | 75 (7) | 75 (7) | 75 (7) |
| EXPOSED TO WEATHER ON IN CONTACT WITH A FINISH AND/OR IN LAIR | N/A | 75 (7) | 75 (7) | 75 (7) | 75 (7) | 75 (7) |
| EXPOSED TO WEATHER ON IN CONTACT WITH FLOORING AND/OR IN LAIR | N/A | 75 (7) | 75 (7) | 75 (7) | 75 (7) | 75 (7) |
| SLABS AND WALLS | 200 (2) | N/A | N/A | N/A | N/A | N/A |
- WALL PHASING**
- | PHASE | DESCRIPTION |
|---------------------------------|-------------|
| NEW WALLS/SEE WALL SCHEDULE | |
| EXISTING WALLS TO REMAIN | |
| WALLS OR OTHER BEING DEMOLISHED | |
- SYMBOL LEGEND**
- | SYMBOL | DESCRIPTION |
|----------------|--|
| VIEW NAME 1 | SECTION NUMBER, TITLE AND SCALE INDICATION |
| VIEW NAME 2 | TITLE AND SCALE REFERENCE |
| ROOM NAME | ROOM NAME AND NUMBER |
| FLOOR | ELEVATION REFERENCE TO LEVEL AS NOTED |
| SPAN DIRECTION | JOIST SPAN DIRECTION (MARKED) (JOIST LOCATION (RIGHT)) (JOIST LOCATION (LEFT)) |
| TYP | BUILDING SECTION REFERENCE, ARROW (SECTION NUMBER (TOP)) (SHEET LOCATION (BOTTOM)) |
| 801 | ELEVATION REFERENCE (ELEVATION NUMBER (RIGHT)) (SHEET LOCATION (LEFT)) |
| NORTH | NORTH ARROW |
| W1 | WALL IDENTIFICATION IN SCHEDULE |
| R1 | ROOF IDENTIFICATION IN SCHEDULE |
| F1 | FLOOR IDENTIFICATION IN SCHEDULE |
| D1 | DOOR IDENTIFICATION IN SCHEDULE |
| W | WELL IDENTIFICATION IN SCHEDULE |
| W1 | WINDOW IDENTIFICATION IN SCHEDULE |
| C1 | CEILING IDENTIFICATION IN SCHEDULE |
| C1 | CONSTRUCTION IDENTIFICATION - SEE 'R' TO SCHEDULE |
| C1 | POST IDENTIFICATION IN SCHEDULE |
| B1 | BEAM IDENTIFICATION IN SCHEDULE |

DOOR AND FRAME FINISH SCHEDULE

NUMBER	DOOR TYPE	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	GLASS	FIRE RATING	COMMENTS
101A	A	27'-0"	72'-0"	AL	PT	F1	AL	PT	GL-1	-	INDICATED, WEATHER STRIPPING W/ LOCKING MECHANISM
101B	B	27'-0"	72'-0"	AL	PT	F1	AL	PT	-	-	INDICATED, WEATHER STRIPPING W/ LOCKING MECHANISM

ROOM FINISH SCHEDULE

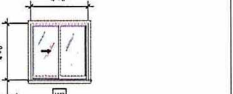
NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL MATERIAL	WALL FINISH	CEILING MATERIAL	CEILING FINISH	CEILING HEIGHT	COMMENTS
101	Garage	CONC	CB	WG	-	WU	-	8'	

DOOR SCHEDULE GENERAL NOTES:

- GENERAL COORDINATION**
- REFER TO DOOR SCHEDULE FOR DOOR TYPES AND SIZES.
 - REFER TO FLOOR PLAN FOR DOOR SWING DIRECTION.
 - ALL DOORS SHALL BE LOCATED 4" FROM WALL FACE TO DOOR FRAME EDGE, UNLESS NOTED OTHERWISE.
 - A PITCH IN USE IS USED IN CASES THAT DO NOT APPLY TO PARTICULAR DOORS.
 - DOOR WIDTH IS THE LEAF SIZE IN INCHES FOR SINGLE DOORS.
 - FRAME TYPE REFERS TO FRAME ELEVATIONS SHOWN BELOW.
 - FRAME THICKNESS TO BE 2" TYPICAL.
 - FRAME TYPES REFERS TO FRAME ELEVATIONS SHOWN BELOW.
 - ALL LEFT-HAND DOORS WITH GLAZING TO BE DOUBLE GLAZED.
- FINISHES & HARDWARE**
- STRUCTURAL OPENING HEADINGS, UNLESS TO BE INSTALLED FOR STRUCTURAL DRAWINGS.
 - DOOR OPENINGS TO BE FINISHED BASED ON MANUFACTURER'S SPECIFIED DIMENSIONS.
- MATERIALS & HARDWARE**
- ALL INTERIOR DOORS, TRIM, AND HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED.
 - PROVIDE BIDDING IN WALLS AT LOCATIONS OF WALL-MOUNTED DOOR STOP, GLASS, OR GLASS HARDWARE.

WINDOW SCHEDULE

- FRAME DEPTHS FOR WINDOWS AND SCREENS SHALL BE DEPTH OF WALL PLUS 7" (25MM) TYPICAL.
- STRUCTURAL OPENINGS FOR WINDOW HEADINGS, UNLESS TO BE INSTALLED FOR STRUCTURAL DRAWINGS.
- ALL DIMENSIONS SHOWN ON DRAWINGS ARE NOMINAL WINDOW SIZES. HEADINGS OPENINGS TO BE CONFORMANT AND CORRESPOND TO SITE IF CONTRACTOR.
- VERIFY ALL WINDOW SIZES, TYPES, OPERATING SYSTEMS, AND GLAZING CONNECTORS WITH MANUFACTURER PRIOR TO ORDERING.
- PROVIDE WEAPING AND FLASHING AT ALL WINDOW OPENINGS IN ACCORDANCE WITH CODE AND BEST PRACTICE.
- WINDOW INSTALLATIONS TO BE LEVEL, PLUMB, AND SQUARELY FINISHED AS PER MANUFACTURER'S INSTALLATION MANUAL. FRAME THICKNESS TO BE 2" (51MM).
- A.F.F. = ABOVE FINISHED FLOOR

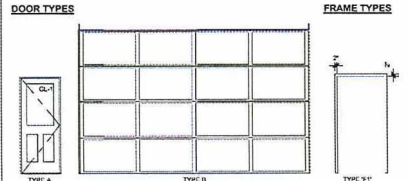


ABBREVIATIONS:

ROOM FINISH SCHEDULE:	DOOR SCHEDULE:
WG WOOD	AL ALUMINUM
CONC CONCRETE	PT PAINT
CB CEILING	GL-1 GLAZING TYPE 1
PT PAINT	- NOT APPLICABLE
- NOT APPLICABLE	- NOT APPLICABLE

ROOM FINISH SCHEDULE GENERAL NOTES:

- FINISHES & COORDINATION**
- REFER TO DOOR SCHEDULE, DRAWINGS, AND DETAILS FOR SPECIAL CONDITIONS NOT INDICATED ON THIS SCHEDULE. FINISHES SHALL ALSO BE PROVIDED AS SHOWN ON THESE DOCUMENTS.
 - REFER TO ABBREVIATIONS FOR MATERIAL, FINISH, AND PRODUCT DESCRIPTIONS USED IN THE ROOM FINISH AND DOOR SCHEDULES.
 - ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 - ALL SURFACES TO BE FINISHED TO MATCH COLOUR OF ADJACENT MATERIALS UNLESS OTHERWISE APPROVED.
 - ALL JOINTS AND TRANSITIONS TO BE FINISHED TO MATCH COLOUR OF ADJACENT MATERIALS UNLESS OTHERWISE APPROVED.
 - REFER TO DRAWINGS FOR FINAL LOCATIONS OF ALL MATERIAL TRANSITIONS, WALL TYPES, MILLWORK, AND MECHANICAL & ELECTRICAL ELEMENTS.
- FINISHES**
- ALL INTERIOR FINISHES AND MATERIALS TO BE SELECTED AND PROVIDED BY OWNER UNLESS OTHERWISE NOTED.
 - TRIM, CASINGS, AND WINDOW STOODS TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 - CONCRETE FLOOR SCHEDULED TO RECEIVE FINISHES SUCH AS WATERPROOFING, RUBBER FLOORING, EPoxy, RESILIENT TILE, PAVING, OR PAINT SHALL NOT BE SEALED FACTORY-APPLIED FINISHES AND COLOURS FOR MANUFACTURER'S USE (E.G. LAMINATE, PRE-FINISHED METAL FLASHINGS, WINDOW FRAMES) ARE TO BE SELECTED BY OWNER.
- DOORS, FRAMES & METALS**
- DOORS, FRAMES, AND SCREENS TO BE FINISHED AS FOR DOOR SCHEDULE AND DRAWINGS.
 - ALL INTERIOR AND EXTERIOR METALS UNLESS OTHERWISE NOTED SHALL BE GALVANNEAL TO BE PAINTED UNLESS OTHERWISE NOTED.



KOMRI ENGINEERING
 168 DUNDAS STREET, SUITE 200, SUDBURY, ONTARIO, CANADA N3P 1G1
 TEL: (705) 525-1111 FAX: (705) 525-1112
 WWW.KOMRIENGINEERING.COM
 I INFORMATION SHEET
 DRAWN BY: []
 CHECKED BY: []
 SCALE: []
 SHEET: [] OF []
A01

ISSUED FOR COORDINATION - APRIL 23, 2026

PL-MV-2026-00047
Sketch 4

LEGEND

- ROOM NAME**
 [101] DENOTES ROOM NAME AND NUMBER REFERENCE
- [W1] DENOTES WINDOW TAG REFERENCE
- [E1] DENOTES EXTENSION WALL TAG REFERENCE
- [FD] DENOTES FLOOR DRAIN
- [101] DENOTES DOOR AND DOOR NUMBER

FLOOR PLAN NOTES:

- ROOM DIMENSIONS ARE TO FACE OF STUDY OR BLOCK UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS, OPENINGS, AND LAYOUTS TO BE VERIFIED ON SITE. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ROOM NAMES AND USES SHOWN ON PLANS ARE FOR REFERENCE ONLY. FINAL FUNCTION TO BE DETERMINED WITH OWNER PRIOR TO CONSTRUCTION.
- PHONIC RADON VENT PIPE UNDER BASEMENT SLAB AS PER DGC 9.13.4.3. EXTEND TO ROOF LEVEL AND SEAL FOR LEAKAGE. REFER TO STRUCTURAL DRAWINGS PRIOR TO INSTALLING.
- ALL LIGHTS INCLUDING WELLS TO BE VERIFIED WITH ELECTRICAL DRAWINGS PRIOR TO INSTALLING.
- LAUNDRY ROOMS AND BATHS TO INCLUDE FLOOR DRAIN CONNECTED TO DRAINAGE SYSTEM.
- FLOOR DRAINS TO BE INSTALLED IN MECHANICAL ROOMS, LAUNDRY ROOMS, GARAGES OR WHERE REQUIRED BY PLUMBING CODE.
- PHONIC AIRWAY/BARRIER TO BE CONTINUOUS AND SEALED AT HEADERS, RM JOISTS, AND PENETRATIONS PER ICC-ES E-12 REQUIREMENTS.
- WHERE STAIR GUARDS ON HANDRAILS ARE REQUIRED, INSTALL IN COMPLIANCE WITH DGC SECTION 9.8 AND 9B-7.

WALL ASSEMBLIES:

- DWELLING EXTERIOR WE Siding**
- 1" HORIZONTAL VMPB SIDING BY OWNER
 - 1" 1/2" VERTICAL WOOD SHIMMING @ 16" O.C.
 - 1" 1/2" RIGID INSULATION (R-7.5)
 - ASB SHIMMING MEMBRANE - LAP & SEAL
 - 7/16" OSB SHEATHING
 - 2" RIGID OR 2" CMU FILLED W/CMMA NON-SHRINK GROUT AT ANCHORS
 - BACK LOGS
 - 2x4 SPF NO. 1 & NO. 2 STUD AT 16" O.C. (DOUBLE TOP PLATE)
 - 5/8" BATT INSULATION (R-2)
 - 5/8" POLY VAPOR BARRIER - LAP & SEAL
 - 7/16" OSB SHEATHING

REFLECTED CEILING PLAN LEGEND

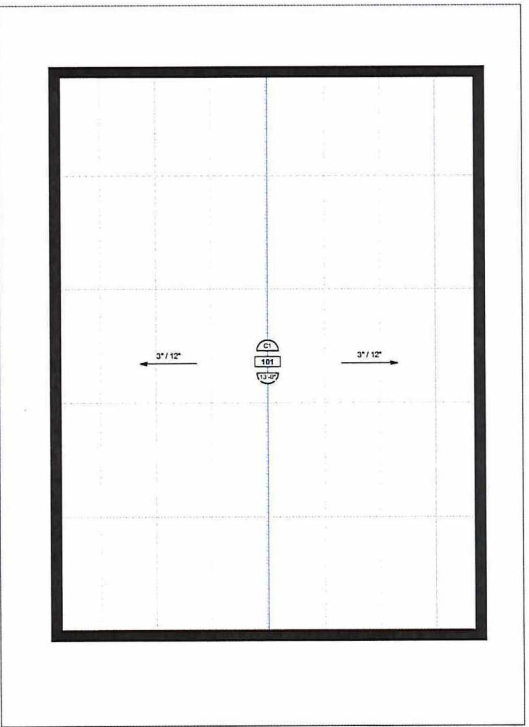
- [101] DENOTES ROOM NUMBER REFERENCE
- [C] DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE
- [H] DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR
- [O] DENOTES RECESSED POT LIGHTS
- [S] DENOTES OSB SHEATHING CEILING

REFLECTED CEILING PLAN NOTES:

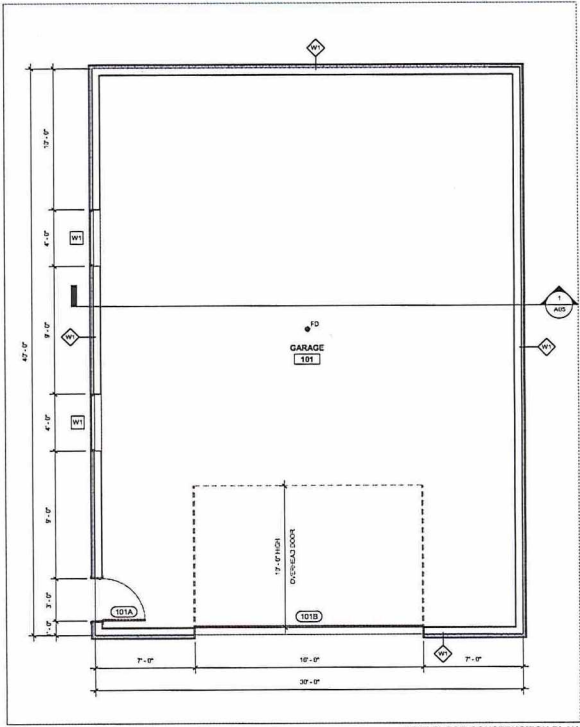
- CEILING HEIGHTS ARE BASED ON THE FLOOR LEVEL THEY ARE LOCATED ON. SEE FLOOR PLANS AND RCP FOR DIMENSIONS.
- REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON CEILING MATERIALS AND FINISHES.
- LIGHT FIXTURE LOCATIONS ON DRAWINGS ARE FOR REPRESENTATION ONLY. FINAL LOCATIONS TO BE DETERMINED ON SITE BY THE OWNER AND CONTRACTOR. UNLESS ELECTRICAL DRAWINGS ARE PROVIDED.
- RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING, CEILING BELOW ATTIC SPACE, OR INSULATED FLOOR ASSEMBLY (E.G. OVER GARAGE OR CRAWLSPACE) TO BE SEALED AND AIR TIGHT. PATCHES TO BE SEALED TO MAINTAIN CONTINUOUS AIRWAY/BARRIER IN ACCORDANCE WITH DGC AND CALIFORNIA CODE REQUIREMENTS.
- WALL PENETRATIONS ABOVE FINISHED FLOOR AND SUCTHORN FOR REQUIRED INSULATION, AIR CIRCULATION, AND MAINTENANCE ACCESS.
- ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PERMIT THE VAPOR BARRIER ARE TO BE SEALED WITH APPROPRIATE CALLING AND ALLOWANCES. REFER TO SPEC SECTIONS 5.05 (SEALANTS) AND 5.11 (SEALING AIRWAY/BARRIER).

CEILING ASSEMBLIES:

- C1: TYPICAL GYPSUM BOARD CEILING**
- 5/8" OSB SHEATHING
 - WOOD FLOOR AS SPEC SCHEDULED



MAIN FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"



MAIN FLOOR CONSTRUCTION PLAN
 1/4" = 1'-0"

GENERAL
 1. THIS DRAWING IS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN.
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO BE SHOWN TO BE CORRECT BEFORE PROCEEDING WITH THE WORK.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. OTHER LOCAL ORDINANCES

REVISIONS
 1. REVISION FOR COORDINATION

DATE: 04/23/2026

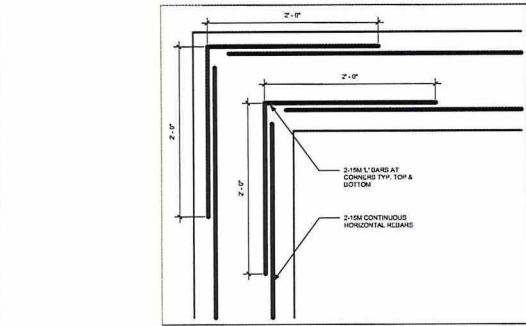
KOMRIG ENGINEERING
 116 DODD ST. AUSTIN, TX 78701
 TEL: 512.453.1111
 FAX: 512.453.1112
 WWW.KOMRIGENGINEERING.COM

MEKANE GROUP INC.
 116 PEARL ST. AUSTIN, TX 78701
 PROJECT NO. 2026-0047

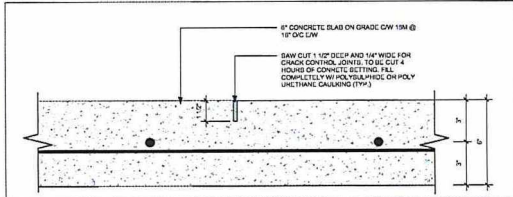
DRAWN: DL
 CHECKED: DP/KO
 SCALE: 1/4" = 1'-0"
 SHEET: A03

ISSUED FOR COORDINATION - APRIL 23, 2026

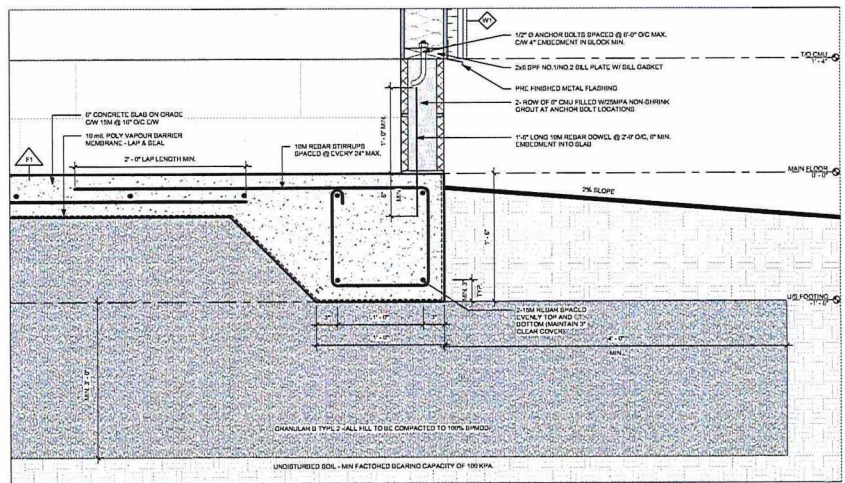
PL-MV-2026-00047
 sketch 5



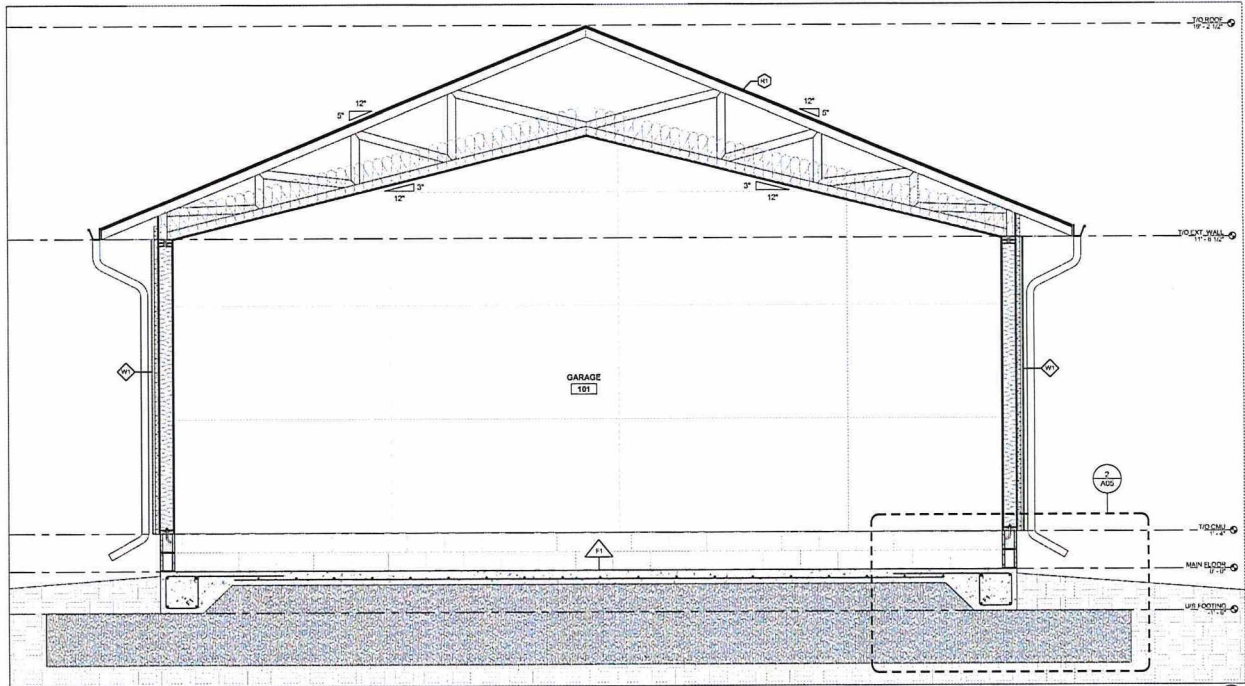
TYP. CORNER LAP FOR HORIZONTAL STEEL REINF.
1 1/2" = 1'-0"



TYP. 6" SAW CUT DETAIL
3" = 1'-0"



TYP. THICKEND EDGE DETAIL
1 1/2" = 1'-0"



TYP. BUILDING SECTION
1 1/2" = 1'-0"

GENERAL
 1. CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION CONDITIONS AND PROVIDE A REPORT TO THE ARCHITECT WITHIN 10 BUSINESS DAYS OF THE DATE OF VISIT.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

REVISIONS
 1. ISSUED FOR COORDINATION
 2. ISSUED FOR COORDINATION
 3. ISSUED FOR COORDINATION
 4. ISSUED FOR COORDINATION
 5. ISSUED FOR COORDINATION
 6. ISSUED FOR COORDINATION
 7. ISSUED FOR COORDINATION
 8. ISSUED FOR COORDINATION
 9. ISSUED FOR COORDINATION
 10. ISSUED FOR COORDINATION



MECANIC GROUP INC.
 110 PAUL ST. ARLING, ONT.
 TEL: 905-882-1111
 FAX: 905-882-1112
 www.komriengineering.com

DRAWN: DL
 CHECKED: KO
 SCALE: As Indicated
 SHEET: 101

A05

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PL-MV-2026-00047
 sketch 6

FLOOR ASSEMBLIES:

- 1. CONCRETE GARAGE SLAB**
- FRIBRI AG CONCRETE
 - 1" CONCRETE SLAB ON GRADE CW 15M @ 16" O.C. CAV
 - 18#4 PLY W/OUT SHRINK MODERATOR - SEAL JOINTS (TYP.)
 - GRAVELAR 8 TYPE 2 - ALL FILL TO BE COMPACTED TO 100% P.A.C.D.

WALL ASSEMBLIES:

- 1. DWELLING EXTERIOR WALLING**
- HORIZONTAL VINYL SIDING BY OWNER
 - 1X2 VERTICAL WOOD SILL SHIMMING @ 16" O.C.
 - 1" RIGID INSULATION (R-2)
 - AN BRICKER INSULATION - LAP & SEAL
 - 7/16" OSB SHEATHING
 - 2 ROWS OF 6" CMU FILLED W/GRANULAR NON-SHRINK GROUT AT ANCHOR BOLT LOCATIONS
 - 2#3 @ 16" ON CENTER STUDS @ 16" O.C. (DOUBLE TOP PLATE)
 - 5/8" BATT INSULATION (R-2)
 - 5/8" POLY WOOD SHIMMER - LAP & SEAL
 - 7/16" OSB SHEATHING

ROOF ASSEMBLIES:

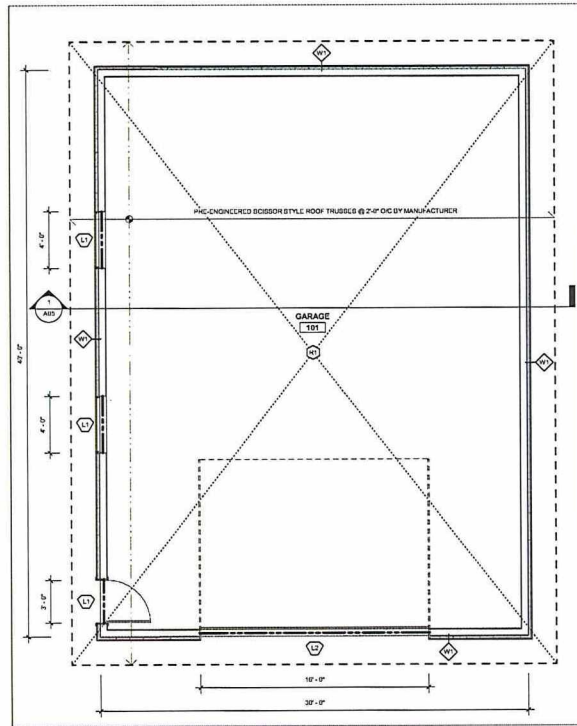
- 1. DETACHED GARAGE TRUSS ROOF ASSEMBLY**
- 25 YR ASPHALT SHINGLES
 - LAP & JOINTS TO BE PROTECTED AS FOR DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FLEET PAPER
 - 1/2" PLYWOOD SHEATHING CW 16" CLIPS
 - PRE-ENGINEERED ROSSIGN STYLE WOOD TRUSSES BY OTHERS
 - BATT INSULATION (R-2)
 - 5/8" POLY WOOD SHIMMER - LAP & SEAL
 - CULING AS SCHEDULED

FOOTING SCHEDULE

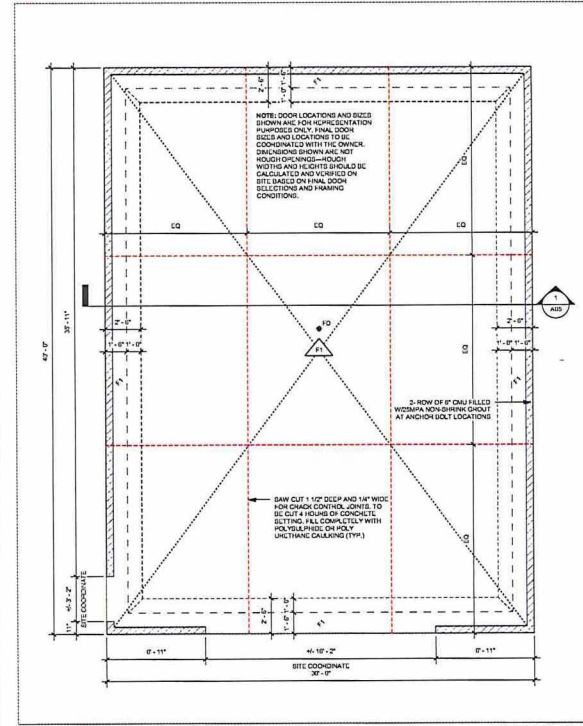
IDENTITY	SIZE
F1	11" DEEP X 14" WIDE THICKENED EDGE SLAB CW 3-18# BARS TOP & BOTTOM CONTINUOUS & 10# STRUTS @ 24" O.C.

LINTEL SCHEDULE

IDENTITY	SIZE
L1	2-PLY 2x4 SPF NO. 1 AND 2
L3	2-PLY 1 3/4" x 11" SPF LVL 2-BC



MAIN FLOOR STRUCTURAL PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

GENERAL
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.

REVISIONS
1. REVISION FOR COORDINATION



ISCARIE GROUP INC.
116 DODD ROAD, SUITE 101
LANSING, MI 48106

STRUCTURAL PLAN
DRAWN: DL
CHECKED: DRPKO
SCALE: 1/4" = 1'-0"
TITLE:

S01

ISSUED FOR COORDINATION - APRIL 23, 2026

PL-MV-2026-00077
Sketch 7



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00049

APPLICATION SUMMARY

File Date: 04/17/2026

Application Type: Minor Variance

Address(es): 2798 Richard Lake Road

Applicant(s): JEFF HUNTER

Owner(s): JEFF HUNTER AND TANYA REILLY-HUNTER

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2012 (in the family since 1938)

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area II

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-1

Provide a detailed description of what is being proposed

The project seeks to create a new single family dwelling in a R1-1 zone on Richard Lake. The property has been in the family since the late 1930s when a camp was constructed.

The new project takes advantage of the natural topography of the site to create a lower floor walk out at 230.0, 0.4m above the flood level of 229.6m.

The site will be regraded to suit this approach, removing existing material and creating 3h/1v slopes at the sides of the house.

The current project seeks to remove the original cottage and construct a new 2 level dwelling. The lower level is a walkout family room, bedroom, bath, sewing room, workshop, and mechanical / electrical room. The upper floor accommodates a open kitchen, living, dining area, 2 bedrooms, den, laundry, pantry. A double garage is attached.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The existing 108m² family cottage is prohibitive to repair. The proposed replacement of the cottage seeks to rebuild on a portion of the existing cottage footprint / renew + relocate the existing septic field and be respectful of the 20m shoreline setback, erosion requirements, new septic system requirements and balance contemporary needs of a new dwelling unit. Relief is sought from the 30m water setback to achieve this balance as illustrated in the supporting site plan.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

56

Lot Depth of the property

46

Lot Area of the property

2428

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

existing cottage, 1940+/-
existing boathouse, 1980
existing shed, 2005
existing gazebo, 2010

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

single family residence, established 1938 - length of use is 88 years

Is the use remaining the same? If no, please provide the proposed new use
Permanent Residential Use

Existing uses of neighbouring properties

west - r1-1 zone; single family residence

south - I zone - religious camp

east - I zone, religious camp

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Yes

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Yes

Have you consulted with Conservation Sudbury regarding this relief?

Yes

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
proposed dwelling	No	248	423	2	14.69	29.75	9.25	6.6	9.62	15.38	17.55
existing boathouse	No	23.94	23.94	1	3.17	7.62	4	35.6	7.06	40.88	0
existing shed	No	6.96	6.96	1	2.59	2.66	4	38.44	4.5	37.96	7.08
existing gazebo	Yes	12.27	12.27	1	3.5	3.5	4	14.02	29.69	47.02	3.52

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
existing cottage	Yes	76	152	1	6.6	11.54	8.5	10.55	26.82	22.82	18.34
existing boathouse - to be relocated	No	23.94	23.94	1	3.17	7.62	4	28.48	14.01	0	43.31
existing shed - to be relocated	No	6.96	6.96	1	2.59	2.66	4	34.25	9.51	1.93	43.95
existing gazebo	No	12.27	12.27	1	3.5	3.5	4	14.02	29.69	3.52	47.02

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.41.2(a) - Setback Requirements for Residential Building and Accessory Structures	No person shall erect any residential building or other accessory building or structure closer than 30.0 metres to the high water mark of a lake or river.	Relief is sought to provide a 18.0m setback to the high water mark of the lake.	12.5m

4.41.3 (a) Shoreline Buffer Area + (a) On any Residential Lot	Where a shore line buffer area is required to remain in a natural vegetated state, residential properties are limited to have a cleared area in a shoreline buffer limited to be 25% of the required shoreline buffer area but not more than 276m ² , and the maximum length shall not exceed 25% of the length of the shoreline at the high water mark and not exceed 23m in length.	Relief is sought to acknowledge the existing condition of the shoreline buffer where 72.3% of the shoreline buffer (720m ²) is cleared and 46% of the shoreline length; 26.6m in length, is cleared.	Cleared shoreline buffer area % exceed bylaw by 47.3%. Cleared shoreline buffer area exceeds bylaw by 444m ² . Cleared shoreline length% exceeds bylaw requirement by 19.4%. Cleared maximum shoreline length exceed bylaw requirement by 0m.
4.41.4 (a) Shoreline Structures and Facilities	<p>a) Within 20.0 metres of the high water mark of a lake or river, only the following structures shall be permitted within the area permitted to be cleared of natural vegetation in Section 4.41.3 above.</p> <p>i) Permitted accessory structures as set out in 4.41.2 of this By-law, and,</p> <p>ii) Boat launches, marine railways, waterlines and heat pump loops.</p>	Relief is sought to provide a 18.0m setback to the high water mark of the lake.	2.5m
Part 6, Section 6.2, Table 6.1, Special Provision #10	Special Provision #10 - The main building façade shall have an entrance that faces a public road.	Not require the main building facade to have an entrance that faces a public road.	n/a



REPORT

Geotechnical Borehole Investigation

Proposed 2798 Richard Lake Road Development

Submitted to:

Polestar CM Inc.

289 Cedar Street
Sudbury, ON P3B 1M8

Submitted by:

WSP Canada Inc.

33 Mackenzie Street, Suite 100 Sudbury, Ontario, P3C 4Y1

1 705 524 6861

Reference No. CA0062786-001-R-Rev1

February 24, 2026

Distribution List

Electronic Copy: Polestar CM Inc.

Electronic Copy: WSP Canada Inc.

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The report is intended to be used in its entirety. No excerpts may be taken to be representative of the findings in the assessment.

The conclusions presented in this report are based on work performed by trained, professional and technical staff, in accordance with their reasonable interpretation of current and accepted engineering and scientific practices at the time the work was performed.

The content and opinions contained in the present report are based on the observations and/or information available to WSP at the time of preparation, using investigation techniques and engineering analysis methods consistent with those ordinarily exercised by WSP and other engineering/scientific practitioners working under similar conditions, and subject to the same time, financial and physical constraints applicable to this project.

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Design recommendations given in this report are applicable only to the project and areas as described in the text and then only if constructed in accordance with the details stated in this report. The comments made in this report on potential construction issues and possible methods are intended only for the guidance of the designer. The number of testing and/or sampling locations may not be sufficient to determine all the factors that may affect construction methods and costs. We accept no responsibility for any decisions made or actions taken as a result of this report unless we are specifically advised of and participate in such action, in which case our responsibility will be as agreed to at that time.

Overall conditions can only be extrapolated to an undefined limited area around these testing and sampling locations. The conditions that WSP interprets to exist between testing and sampling points may differ from those that actually exist. The accuracy of any extrapolation and interpretation beyond the sampling locations will depend on natural conditions, the history of Site development and changes through construction and other activities. In addition, analysis has been carried out for the identified chemical and physical parameters only, and it should not be inferred that other chemical species or physical conditions are not present. WSP cannot warrant against undiscovered environmental liabilities or adverse impacts off-Site.

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This limitations statement is considered an integral part of this report.

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APPENDICES

APPENDIX A
Borehole Logs

1.0 INTRODUCTION

1.1 BACKGROUND

WSP Canada Inc. (WSP), has been retained by Polestar CM Inc. (Polestar) to complete a geotechnical borehole investigation in support of the Proposed 2798 Richard Lake Road Development in Sudbury, Ontario (see Figure 1).

The purpose of this geotechnical borehole investigation was to determine the subsurface conditions and relevant soil properties at the subject site and to provide recommendations as per WSP's 'Proposed 2798 Richard Lake Road' proposal no. 2025CA506953, dated November 24, 2025.

The anticipated construction conditions are also discussed, but only to the extent that they may influence design decisions. The feasible construction methods, however, express WSP's opinion and are not intended to direct contractors in how to carry out construction. Contractors should also be aware that the data and their interpretation presented in this report may not be sufficient to assess all factors that may influence construction methods and cost.

We assume that the work will be carried out in accordance with good engineering practices and all applicable standards and regulations. Environmental considerations were not part of the scope of work for this geotechnical investigation.

1.2 Site Description

WSP understands that Polestar is proposing to remove the existing structure at 2798 Richard Lake Road and replace it with a new two storey dwelling. As per discussions with Polestar, the new building will be supported on perimeter spread footings, with a walkout basement and an internal concrete slab-on-grade floor. No information was given to WSP in connection with the condition of the existing structure (any signs of structural damage) and the reason for its removal.

2.0 GEOTECHNICAL FIELD INVESTIGATION PROGRAM

The fieldwork for this project was carried out on December 18, 2025, when a total of three (3) boreholes (BH25-01, 02 and 03) were completed around the perimeter of the existing building. The boreholes were advanced to depths ranging from 1.2 to 6.0 metres below ground surface (mbgs) and did not encounter refusal to the augering equipment before being terminated at their target depth.

The borehole locations should be considered approximate and were field located based on the proposed new dwelling footprint, existing structure, and buried utilities, but were largely controlled by accessibility issues including trees and a field bed. The approximate locations of the boreholes are shown on the Borehole Location Plan (see Figure 2).

The boreholes were advanced using hollow stem augers, supplied by Marathon Underground Constructors Corporation, while completing conventional soil sampling methods supervised by a WSP representative under the direction of the WSP project manager.

Soil samples were collected in accordance with Standard Penetration Testing (SPT) procedures (ASTM D-1586) utilizing a mechanical hammer. Test results are recorded on the borehole logs as 'N'-values. These values provide an indication of the soil strata's condition with respect to compactness (for granular) or consistency (for fine-grained, cohesive) soils. The samples were field logged, placed in sealed plastic bags and delivered to our laboratory for further examination and testing.

The borehole locations were geo-referenced to UTM co-ordinates using a hand-held Global Positioning System device and the local borehole elevations were surveyed by WSP using the concrete pad to the east of the existing structure as a temporary benchmark with an assumed elevation of 100 m above sea level.

2.1 Soil Conditions

A general description of the stratigraphy encountered in the boreholes is summarized below and presented on the attached borehole logs in Appendix A. The soil conditions, comments, conclusions, and recommendations found in this report are based upon the samples recovered during the current field-testing program.

2.1.1 Surficial Layer (topsoil)

As observed at the surface of all boreholes, a surficial layer of topsoil was encountered. The brown topsoil layer measured 150 mm in thickness and should be expected to vary in composition and thickness across the site.

2.1.2 Clayey Silt

Underlying the topsoil in all boreholes, a brown to grey, highly frost susceptible clayey silt layer was encountered and extended to 3.1 mbgs in BH25-01 and 02 and to the bottom of BH25-03 at 1.2 mbgs. The loose to compact clayey silt layer was moist to saturated (generally moist within its brown zone near the surface, becoming fully saturated in the grey zone).

Grain size distribution tests conducted on both split spoon sample 2 in BH25-01 and BH25-03 have resulted in total silt and clay content between 91% and 93%.

2.1.3 Silty Clay

Beneath the clayey silt layer in BH25-01 and 02, a layer of silty clay was encountered that extended to the bottom of both boreholes at 6 mbgs. The silty clay deposit was grey and found to be saturated at the time of sampling. Based on SPT results and undrained shear vane testing, the consistency of this cohesive deposit appears to vary from firm to stiff. Stiff closer to the surface and changing to firm with depth.

2.1.4 Groundwater

Free standing (short term) groundwater or seepage was not encountered in the boreholes on completion of the drilling and sampling program due to the fact that the generally saturated fine-grained deposits have very low permeability and the groundwater is “electrostricted” to the clay particles within these deposits. The long-term groundwater level was not monitored but it is expected to fluctuate seasonally, being lower during extended dry periods and higher during wet periods. Without having long-term monitoring results, the phreatic surface of the groundwater table can be estimated at approximately 0.5 m above the maximum water level in the adjacent lake.

3.0 DISCUSSION AND RECOMMENDATIONS

This Geotechnical Borehole Investigation report has been prepared based on the findings from the boreholes, advanced in the area of the proposed new dwelling. Recommendations in this report are included for foundation design of the proposed structure. Hence, the following geotechnical recommendations should be considered in the design.

3.1 Shallow (conventional) Foundations on Native Soil

WSP has assumed that the proposed foundations will utilize perimeter spread footings with an internal concrete slab-on-grade floor. Based on the borehole information, foundation design considerations for the proposed new structure may consider conventional spread footings founded beneath existing topsoil in the underlying undisturbed, native, clayey silt soil. All new foundations must be designed and constructed beneath the foundation level of all footings of the existing building that is planned to be demolished.

Shallow foundations such as spread footings, should be founded on native, undisturbed soil below the frost penetration depth. This would require the excavation (removal) of native soils to expose the inorganic, undisturbed clayey silt.

Construction on the native soil subgrade will require an excavation of as deep as 1.8 mbgs (or somewhat deeper) and although groundwater was not observed at this depth during the recent geotechnical investigation program, based on natural moisture content of the samples, the native soil at that depth is fully saturated and hence, the excavation may extend below a seasonally high groundwater table. At the base of the excavation, any loose / soft material should be removed and replaced with compacted granular fill. The saturated native soil will be susceptible to disturbance, and it is therefore recommended that even foot traffic on this soil be kept to a minimum. A non-woven geotextile separator or 'mud slab' of lean concrete can be placed at the base of the excavation to act as a separator and to provide a working surface on the undisturbed clayey silt subgrade for the construction of the footings.

For foundation design, a net allowable bearing capacity (SLS) of 75 kPa can be considered on undisturbed, native clayey silt to limit the anticipated total and differential settlement at 25 mm and 19 mm respectively. The ultimate bearing capacity (ULS) will depend on the foundation size; however it can be estimated at 150 kPa in the preliminary design.

A Geotechnical Consultant should be retained to evaluate the exposed subgrade conditions during construction and to verify the provided bearing capacity meets with our investigation findings. In addition, WSP can assist with the foundation design, should any changes become necessary.

3.2 Concrete Floor Slabs

Where slab-on-grade construction is considered, these slabs should be constructed below any topsoil on the undisturbed native soil. Areas requiring over-excavation to remove existing deeper deleterious soils and uncompacted fills, if encountered in the area of the existing structure, can have the subgrade elevation raised through the placement of structural (engineered) backfill, i.e., Granular B, Type I or II. All engineered fill under the slab should be placed in thin lifts (not exceeding 200 mm loose thickness) and compacted to at least 98% standard Proctor maximum dry density (SPMDD). The final 150 mm of backfill below the slab should comprise Granular 'A' compacted to 100% SPMDD.

In the case of any floor slabs constructed greater than 150 mm below the outside grades, a subdrainage system should be provided under the slab, along with a capillary and vapour barrier.

The slab should be structurally independent from walls and columns, which are supported on foundations on competent native soils. This is to reduce any structural distress that may occur as a result of differential soil movement beneath the slab. If it is intended to place any internal, non-load bearing partitions directly on the slab-on-grade, such walls should also be structurally independent from other elements of the building and founded on conventional foundation systems so that some relative vertical movement of the walls can freely occur.

The subgrade beneath the slab-on-grade should be protected at all times from rain, snow, freezing temperatures, excessive drying and the ingress of water.

3.3 Frost protection

For spread footings on the highly frost susceptible native load-bearing soils, it is recommended that the exterior foundations be provided with at least 1.8 m of earth cover (or equivalent rigid insulation) for frost protection. If required, equivalent rigid insulation for frost protection should be incorporated to compensate for the loss of soil cover due to decreased embedment. If required, where the insulating effect of snow cover is removed on a continuing basis, e.g., around doorways, sidewalks adjacent to the building, etc., it is recommended this frost protection cover be increased to 1.95 m.

It must be pointed out that the native, saturated clayey silt deposit in the area is highly frost susceptible and particular attention should be given to frost protection alternatives at the new structure.

During winter construction, foundation concrete must not be poured on frozen soil or cold bedrock. Foundations must be adequately protected at all times from cold weather and freezing conditions.

Consideration should also be given to potential ice-jacking forces (ad-freeze loads) that might occur on the vertical faces of the footings and foundation walls within the depth of frost penetration, below the finished grades. In extreme adverse conditions, the ad-freeze ice-concrete bond stress can reach 100 MPa.

3.4 Excavation

All excavations must comply with the Occupational Health & Safety Act (Act) and Regulations for Construction Projects (OHSARCP). As such, the side slopes of any excavations deeper than 1.2 m must be sloped, as outlined in the Act.

Above the groundwater table, temporary shallow excavations should be stable at 1H:1V side slopes. Seepage from a surface water source, such as local ponding due to a precipitation event, should be moderate, and if necessary, such seepage can be handled by gravity drainage and pumping from properly filtered open sumps.

Slopes of excavations that penetrate the groundwater table will need a maximum of 3H:1V inclination (shallower in most cases) and are expected to be increasingly difficult to maintain (Type 4 soils). As such, it is imperative that an experienced contractor be retained to complete such excavations, if they would be required.

3.5 Lateral Earth Pressures on Below Grade Structures

For preliminary design purposes, and / or for simple cases, the lateral earth pressure, 'p' (kPa), at any depth, 'h' (m) of a permanent earth retaining wall is given by the following expression:

$$p = K (\gamma' h + q) + \gamma_w h_w$$

- where:
- p = lateral earth pressure in kPa acting at depth h;
 - K = the applicable earth pressure coefficient (see the following Table 2);
 - γ' = buoyant unit weight of submerged, granular backfill adjacent to the walls, or bulk unit weight above the groundwater table;
 - h = depth to point of interest in m;
 - h_w = height of water above the point of interest (m);
 - q = equivalent value of surcharge load in kPa, if any, acting adjacent to the wall at the ground surface, and
 - γ_w = unit weight of water is 9.81 kN/m³.

Table 2: Typical soil properties

Soil Unit Weight	Angle of Internal Friction Φ Degrees	Soil's Saturated Unit Weight (γ) kN/m ³	Earth Pressure Coefficients K ⁽²⁾		
			Active (K_a)	Passive (K_p)	At Rest (K_o)
Well Graded Sand & Gravel (Granular B Type I) ⁽¹⁾	31	21 to 22	0.32	3.1	0.49
Well Graded, Crushed Granular (Granular A, or Granular B Type II) ⁽¹⁾	34	22 to 23	0.28	3.5	0.44

- Notes:
1. Backfill compacted to $\geq 100\%$ SPMDD.
 2. The calculated earth pressures caused by compacted fill, under no circumstances, should be taken as less than 12 kPa at any section of the earth retaining structure.

The selection of an appropriate earth pressure coefficient will depend on the type of wall constructed and associated wall movement.

For seismic design of retaining walls and other structures, a pseudo-static analysis of seismic earth pressures is provided in the Canadian Foundation Engineering Manual 4th Edition in Section 6.7. In the calculations, the following estimated seismic active (K_{ae}) and passive (K_{pe}) earth pressure coefficients may be considered: $K_{ae} = 0.35$ and passive $K_{pe} = 4.8$ respectively, assuming 40% probability of exceedance in 50 years (100 years return period).

Earth pressures for temporary shoring structures are calculated differently, in accordance with the applicable methods specific to the type of shoring used. In principle, the shoring system should be competent to sustain, in

any section of the structure, a minimum earth pressure of 40% of the total overburden pressure corresponding to the total depth of the excavation. Our office would be pleased to assist with detailed geotechnical recommendations for shoring systems on a case-by-case basis.

It should be noted that the above recommendations apply for simple cases of a vertical wall sustaining stable soil masses with near horizontal ground surface behind the walls. In the case of sloped ground surfaces, consideration should be given to the ensuing surcharges, as well as the long-term lateral forces that may be caused by potential slope movements.

3.6 Reuse of on-site Soils

The existing soils do not meet the specifications of Granular B material and will vary in quality, with various amounts of sand, clay, and silt fractions present. However, the excavated native soils may be used for landscaping purposes.

3.7 Percolation Rate

A grain size distribution test was completed on split spoon sample 2 taken from BH25-03, which indicated that the material has very high percentage of fine-grained particles (silt and clay). Based on the grain-size distribution and visual examination of the material, it is estimated that the coefficient of permeability (k) is lower than 10^{-6} cm/sec, with a percolation time (T) greater than 50 mins/cm.

As pointed out earlier in the report, the phreatic surface of the groundwater table should be assumed near the surface at this site, located immediately adjacent to Richard Lake.

3.8 Seismic Considerations

For foundations on competent native soils in conformance to the criteria in Table 4.1.8.4A, Part 4, Division B of the National Building Code (NBC 2025), the project site is classified as 'Site Class D – Stiff Soils. The four values of the Spectral response acceleration S_a (T) for different periods and the Peak Ground Acceleration (PGA) can be obtained from Table C-2 in Appendix C, Division B of the NBC (2025). The design values of F_a and F_v for the project site should be calculated in accordance with Table 4.1.8.4 B and C.

3.9 Toe Erosion Allowance

From the standard penetration testing results completed in the boreholes along with a review of the collected split spoon samples from the upper 1.2 m of material, the soil can be classified as brown to grey CLAYEY SILT and having a loose to compact condition. Based on these observations, and as per Table 3: Determination of Toe Erosion Allowance from the Ministry of Natural Resources and Forestry 'Technical Guide - River & Stream Systems: Erosion Hazard Limit', this material can be classified as Type 3 with a range of suggested toe erosion allowance of 5 m to 8 m.

4.0 CLOSURE

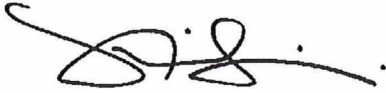
The reader is referred to the study limitations which precedes the text and forms an integral part of this report.

The recommendations included in this report, although site specific, have a general nature. Once the intended design details and construction methods are available, we recommend a geotechnical consultant be retained to review this information to ensure conformance with the assumptions and limitations considered. This is particularly important when it comes to the review of final grades, foundation conditions, etc.

We trust that the information presented in this report is complete within our terms of reference. If you have any questions, please do not hesitate to contact our office.

Signature Page

WSP Canada Inc.



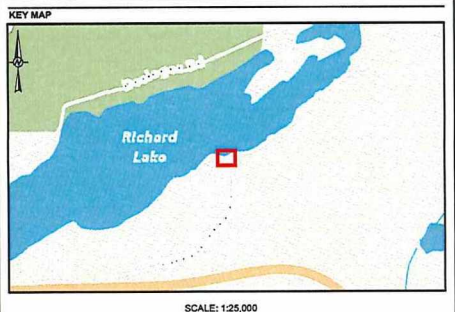
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DMB/LB



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Senior Principal Civil / Geotechnical Engineer

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- LEGEND**
- TEST HOLE LOCATION
 - CAMP/ COTTAGE
 - APPROXIMATE SITE BOUNDARY



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO
 2. BASE MAP: SUDBURY, MICROSOFT, VANTOR, SOURCES: ESRI, TOMTOM, GARMIN, FAO, NOAA, USGS, © OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY
 3. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 POLESTAR CM INC.

PROJECT
 PROPOSED 2798 RICHARD LAKE ROAD DEVELOPMENT
 2798 RICHARD LAKE ROAD, SUDBURY, ONTARIO

TITLE
 BOREHOLE LOCATION PLAN

CONSULTANT	YYYY-MM-DD	2026-01-16
	DESIGNED	---
	PREPARED	SSD
	REVIEWED	DB
	APPROVED	DB

PROJECT NO.	CONTROL	REV.	FIGURE
CA0062786.6953	0001	A	2

DATE: 2026-01-16 10:00 AM, 2798 RICHARD LAKE, SUDBURY, ONTARIO, CANADA. COORDINATE SYSTEM: UTM ZONE 17N, DATUM: NAD 1983. SCALE: 1:300. PRINTED ON: A4 (11x17) INCH.

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APPENDIX A

Borehole Logs

EXPLANATION OF BOREHOLE LOG

This form describes some of the information provided on the borehole logs, which is based primarily on examination of the recovered samples, and the results of the field and laboratory tests. Additional description of the soil/rock encountered is given in the accompanying geotechnical report.

GENERAL INFORMATION

Project details, borehole number, location coordinates and type of drilling equipment used are given at the top of the borehole log.

SOIL LITHOLOGY

Elevation and Depth

This column gives the elevation and depth of inferred geologic layers. The elevation is referred to the datum shown in the Description column.

Lithology Plot

This column presents a graphic depiction of the soil and rock stratigraphy encountered within the borehole.

Description

This column gives a description of the soil strata, based on visual and tactile examination of the samples augmented with field and laboratory test results. Each stratum is described according to the *Modified Unified Soil Classification System*.

The compactness condition of cohesionless soils (SPT) and the consistency of cohesive soils (undrained shear strength) are defined as follows (*Ref. Canadian Foundation Engineering Manual*):

Compactness of	
<u>Cohesionless</u>	<u>SPT N-Value</u>
<u>Soils</u>	
Very loose	0 to 4
Loose	4 to 10
Compact	10 to 30
Dense	30 to 50
Very Dense	> 50

Consistency of	<u>Undrained Shear Strength</u>	
	<u>kPa</u>	<u>psf</u>
<u>Cohesive Soils</u>		
Very soft	0 to 12	0 to 250
Soft	12 to 25	250 to 500
Firm	25 to 50	500 to 1000
Stiff	50 to 100	1000 to 2000
Very stiff	100 to 200	2000 to 4000
Hard	Over 200	Over 4000

Soil Sampling

Sample types are abbreviated as follows:

SS	Split Spoon	TW	Thin Wall Open (Pushed)	RC	Rock Core	GS	Grab Sample
AS	Auger Sample	TP	Thin Wall Piston (Pushed)	WS	Washed Sample	AR	Air Return Sample

Additional information provided in this section includes sample numbering, sample recovery and numerical testing results.

Field and Laboratory Testing

Results of field testing (e.g., SPT, pocket penetrometer, and vane testing) and laboratory testing (e.g., natural moisture content, and limits) executed on the recovered samples are plotted in this section.

Instrumentation Installation

Instrumentation installations (monitoring wells, piezometers, inclinometers, etc.) are plotted in this section. Water levels, if measured during fieldwork, are also plotted. These water levels may or may not be representative of the static groundwater level depending on the nature of soil stratum where the piezometer tips are located, the time elapsed from installation to reading and other applicable factors.

Comments

This column is used to describe non-standard situations or notes of interest.

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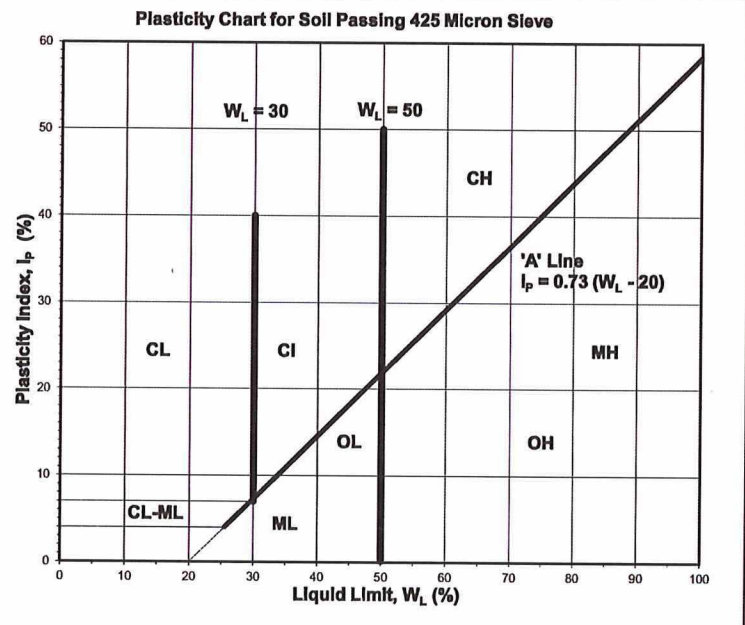


MODIFIED * UNIFIED CLASSIFICATION SYSTEM FOR SOILS

*The soil of each stratum is described using the Unified Soil Classification System (Technical Memorandum 36-357 prepared by Waterways Experiment Station, Vicksburg, Mississippi, Corps of Engineers, U.S Army, Vol. 1, March 1953) modified slightly so that an inorganic clay of "medium plasticity" is recognized.

MAJOR DIVISION		GROUP SYMBOL	TYPICAL DESCRIPTION	LABORATORY CLASSIFICATION CRITERIA	
COARSE GRAINED SOILS (MORE THAN HALF BY WEIGHT LARGER THAN 75µm)	GRAVELS MORE THAN HALF THE COARSE FRACTION LARGER THAN 4.75mm	CLEAN GRAVELS (TRACE OR NO FINES)	GW	WELL GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES	$C_u = \frac{D_{60}}{D_{10}} > 4; C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} = 1 \text{ to } 3$
			GP	POORLY GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES	NOT MEETING ABOVE REQUIREMENTS
		DIRTY GRAVELS (WITH SOME OR MORE FINES)	GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES	ATTERBERG LIMITS BELOW "A" LINE OR P.I LESS THAN 4
			GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES	ATTERBERG LIMITS ABOVE "A" LINE OR P.I MORE THAN 7
	SANDS MORE THAN HALF THE COARSE FRACTION SMALLER THAN 4.75mm	CLEAN SANDS (TRACE OR NO FINES)	SW	WELL GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES	$C_u = \frac{D_{60}}{D_{10}} > 6; C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} = 1 \text{ to } 3$
			SP	POORLY GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES	NOT MEETING ABOVE REQUIREMENTS
		DIRTY SANDS (WITH SOME OR MORE FINES)	SM	SILTY SANDS, SAND-SILT MIXTURES	ATTERBERG LIMITS BELOW "A" LINE OR P.I LESS THAN 4
			SC	CLAYEY SANDS, SAND-CLAY MIXTURES	ATTERBERG LIMITS ABOVE "A" LINE OR P.I MORE THAN 7
FINE-GRAINED SOILS (MORE THAN HALF BY WEIGHT SMALLER THAN 75µm)	SILTS BELOW "A" LINE NEGLIGIBLE ORGANIC CONTENT	$W_L < 50\%$	ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY SANDS OF SLIGHT PLASTICITY	CLASSIFICATION IS BASED UPON PLASTICITY CHART (SEE BELOW)
		$W_L > 50\%$	MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS, FINE SANDY OR SILTY SOILS	
	CLAYS ABOVE "A" LINE NEGLIGIBLE ORGANIC CONTENT	$W_L < 30\%$	CL	INORGANIC CLAYS OF LOW PLASTICITY, GRAVELLY, SANDY OR SILTY CLAYS, LEAN CLAYS	
		$30\% < W_L < 50\%$	CI	INORGANIC CLAYS OF MEDIUM PLASTICITY, SILTY CLAYS	
		$W_L > 50\%$	CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS	
	ORGANIC SILTS & CLAYS BELOW "A" LINE	$W_L < 50\%$	OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY	
		$W_L > 50\%$	OH	ORGANIC CLAYS OF HIGH PLASTICITY	
	HIGH ORGANIC SOILS		PI	PEAT AND OTHER HIGHLY ORGANIC SOILS	

SOIL COMPONENTS					
FRACTION	U.S STANDARD SIEVE SIZE			DEFINING RANGES OF PERCENTAGE BY WEIGHT OF MINOR COMPONENTS	
		PASSING	RETAINED	PERCENT	DESCRIPTOR
GRAVEL	COARSE	75 mm	19 mm	35-50	AND
	FINE	19 mm	4.75 mm	20-35	Y/EY
SAND	COARSE	4.75 mm	2.00 mm	10-20	SOME
	MEDIUM	2.00 mm	425 µm	1-10	TRACE
	FINE	425 µm	75 µm		
FINES (SILT OR CLAY BASED ON PLASTICITY)		75 µm			
OVERSIZED MATERIAL					
ROUNDED OR SUBROUNDED: COBBLES 75 mm to 300 mm BOULDERS > 300 mm			NOT ROUNDED: ROCK FRAGMENTS > 75 mm ROCKS > 0.76 CUBIC METRE IN VOLUME		



WSP E&I Canada Limited
 131 Fielding Road
 Lively, Ontario P3Y 1L7

T+ 705-682-2632
 F+ 705-682-2260
 wsp.com

Note 1: Soils are classified and described according to their engineering properties and behaviour.
 Note 2: The modifying adjectives used to define the actual or estimated percentage range by weight of minor components are consistent with the Canadian Foundation Engineering Manual (4th Edition, Canadian Geotechnical Society, 2006.)

RECORD OF BOREHOLE: BH25-01

CLIENT: Polestar CM Inc.
 PROJECT: 2798 Richard Lk Rd Development
 PROJECT NO: CA0062786.6953
 LOCATION: Sudbury, ON

DATE: December 18, 2025
 CONTRACTOR: Marathon Underground

ELEVATION: 99.87 m (Local)
 COORDINATES: N: 5142716.8 m E: 506962.1 m
 COORD SYS: UTM Zone 17N
 HORZ DATUM: NAD83

DEPTH (m)	DRILL RIG	DRILL METHOD	MATERIAL PROFILE				SAMPLES					WATER CONTENT				SHEAR STRENGTH (kPa)				ADDITIONAL LAB TESTING	GROUNDWATER OBSERVATIONS	ADDITIONAL OBSERVATIONS				
			DESCRIPTION	USCS	STRATA PLOT	ELEV.	NUMBER	TYPE	REC %	BLOWS	N-VALUE	Plastic & Liquid Limits (%)				STRENGTH										
												Water Content (%)				STRENGTH (kPa)										
			150 mm TOPSOIL over			0.00	1	AS																		
1			Clayey SILT, trace to some sand, brown to grey, moist to saturated, loose to compact				2	SS	75	7-9-12-11	20															
2							3	SS	63	4-5-9-7	14															
3							4	SS	63	3-4-3-3	7															
			SILTY CLAY - grey, saturated, firm to stiff			3.05	5	SS	67	2-5-2-2	7															
4						96.82	6	SS	54	2-3-3-5	6															
5																										
6			End of hole at 6.00 m.			93.87																				

DEPTH SCALE: 1:50
 HAMMER TYPE: Automatic, 140lb, 30" drop
 No cave-in happened & dry hole.



LOGGED: RKaur
 CHECKED: DM Brown
 DATE: Dec 18, 2025
 DATE: Jan 28, 2026

PL-MV-2026-00049

REV:
 0



wsp.com

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by principal authority			
Application number:		Permit number (if different):	
Date received (YYYY-MM-DD):		Roll number:	
Application submitted to: Public Health Sudbury & Districts			
(Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project Information			
Building number, street name: <u>2790 RICHARD LK RD</u>		Unit number:	Lot/con.: <u>9/6</u>
Municipality: <u>SUD</u>		Postal code:	
Plan number/other description: <u>P/L 9521 + 10915</u>			
Project value est. \$:		Area of work (m ²):	
B. Purpose of application			
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional permit			
Proposed use of building: RESIDENTIAL			
Current use of building: COTTAGE (TO BE DEMOLISHED)			
Description of proposed work: ENVIRO SEPTIC SYSTEM TERTIARY TREATMENT			
C. Applicant			
Applicant is: <input type="radio"/> Owner OR <input checked="" type="radio"/> Authorized agent of owner			
Last name: <u>SMITH</u>		First name: <u>TIM</u>	Corporation or partnership: <u>ECO SEPTIC SOLUTIONS</u>
Street address: <u>2-2745 HENRI ST.</u>		Unit number:	Lot/con.:
Municipality: <u>SUD</u>		Postal code: <u>R3B 1C2</u>	Province: <u>ON 705</u>
Email:		Telephone:	Fax: Cell: [REDACTED]
D. Owner (if different from applicant)			
Last name: <u>HUNTER</u>		First name: <u>JEFFREY</u>	Corporation or partnership:
Street address: <u>411 KAIREEN ST.</u>		Unit number:	Lot/con.:
Municipality: <u>SUD</u>		Postal code: <u>R3E 5T3</u>	Province: <u>ON 705</u>
Email:		Telephone:	Fax: Cell: [REDACTED]

E. Builder (Optional)					
Last name:		First name:		Corporation or partnership (if applicable):	
Street address:			Unit number:		Lot/con.:
Municipality:			Postal code:		Province:
Email:		Telephone:		Fax:	Cell:
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)					
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.				<input type="radio"/> Yes <input type="radio"/> No	
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?				<input type="radio"/> Yes <input type="radio"/> No	
iii. If yes to (ii) provide registration number(s):					
G. Required schedules					
i) Attach schedule 1 for each individual who reviews and takes responsibility for design activities.					
ii) Attach schedule 2 where application is to construct on-site, install or repair a sewage system.					
H. Completeness and compliance with applicable law					
i. This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.				<input checked="" type="radio"/> Yes <input type="radio"/> No <input checked="" type="radio"/> Yes <input type="radio"/> No	
ii. This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .				<input checked="" type="radio"/> Yes <input type="radio"/> No	
iii. This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.				<input checked="" type="radio"/> Yes <input type="radio"/> No	
iv. The proposed building, construction or demolition will not contravene any applicable law.				<input checked="" type="radio"/> Yes <input type="radio"/> No	
I. Declaration of applicant					
I, <u>Tim SMITH</u> declare that: (print name)					
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.					
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.					
<u>Mar 20/26</u> Date (YYYY-MM-DD):			<u>[Signature]</u> Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Schedule 1: Designer Information

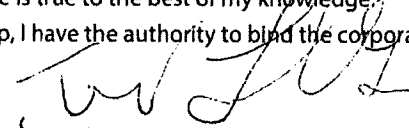
Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project information			
Building number, street name: <u>2790 RICHARD LK RD</u>	Unit number:	Lot/con.: <u>9/6</u>	
Municipality: <u>SUD</u>	Postal code:		
Plan number/other description: <u>Pc/ 9521 + 10915</u>			
B. Individual who reviews and takes responsibility for design activities			
Name: <u>ED WIERZBICKI</u>	Firm: <u>SEWAGE SYSTEMS BY DESIGN</u>		
Street address: <u>1532 STILLBROOK PLACE</u>	Unit number:	Lot/con.:	
Municipality: <u>SUD</u>	Postal code: <u>R3A 5T8</u>	Province: <u>ON</u>	<u>765</u>
Email:	Telephone:	Fax:	Cell: [REDACTED]
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
<input type="checkbox"/> House	<input type="checkbox"/> HVAC: House	<input type="checkbox"/> Building structural	
<input type="checkbox"/> Small buildings	<input type="checkbox"/> Building services	<input type="checkbox"/> Plumbing: House	
<input type="checkbox"/> Large buildings	<input type="checkbox"/> Detection, lighting and power	<input type="checkbox"/> Plumbing: All buildings	
<input type="checkbox"/> Complex buildings	<input type="checkbox"/> Fire protection	<input checked="" type="checkbox"/> On-site sewage systems	
Description of designer's work: <p style="text-align: center; font-size: 1.2em;"><u>ENVIRO SEPTIC SYSTEM</u></p>			
D. Declaration of designer			
I <u>ED WIERZBICKI</u> declare that (choose one as appropriate): <small>(print name)</small>			
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.			
Individual BCIN: <u>38121</u>			
Firm BCIN: _____			
I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.			
Individual BCIN: _____			
Basis for exemption from registration: _____			
The design work is exempt from the registration and qualification requirements of the Building Code.			
Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
<u>Mar 20/26</u>		<u>[Signature]</u>	
Date (YYYY-MM-DD):		Signature of designer	

NOTE: 1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.

2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Schedule 2: Sewage System Installer Information

A. Project Information			
Building number, street name: <u>2790 RICHARD LK RD</u>		Unit number:	Lot/con.: <u>9/6</u>
Municipality: <u>SUD</u>		Postal code:	
Plan number/other description: <u>Pc1 9521 + 10915</u>			
B. Sewage system installer			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
<input checked="" type="radio"/> Yes (Continue to section C) <input type="radio"/> No (Continue to section E) <input type="radio"/> Installer unknown at time of application (Continue to section E)			
C. Registered installer information (where answer to B is "Yes")			
Name: <u>TIM SMITH</u>		BCIN: <u>39026</u>	
Street address: <u>2-2745 HENRI ST.</u>		Unit number:	Lot/con.:
Municipality: <u>SUD</u>		Postal code: <u>P3G1C2</u>	Province: <u>ON 705</u>
Email:	Telephone:	Fax:	Cell: [REDACTED]
D. Qualified supervisor information (where answer to section B is "Yes")			
Name of qualified supervisor(s) <u>TIM SMITH</u>		Building Code identification number (BCIN) <u>39026</u>	
E. Declaration of applicant			
I, <u>TIM SMITH</u> declare that:			
(print name)			
<input checked="" type="checkbox"/> I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;			
OR			
<input type="checkbox"/> I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.			
<u>Mar 20/26</u> Date (YYYY-MM-DD):		 Signature of applicant	

RESIDENTIAL SEWAGE APPLICATION



Public Health
Santé publique
SUDBURY & DISTRICTS

Health Protection Division
1300 Paris Street, Sudbury, ON P3E 3A3
Tel: 705.522.9200, ext. 398
Fax: 705.677.9607
OBCEnquiries@phsd.ca

Please print clearly	For office use only
Property description	
District: <u>SUD</u> Municipality: <u>SUD</u> Township: <u>DILL</u>	Permit No.: _____
House No./Street/Road: <u>2790 RICHARD LK</u> City: <u>SUDBURY</u>	Date received: (YYYY-MM-DD) _____
Lot: <u>9</u> Conc: <u>6</u> Parcel: <u>9521 + 10915</u>	Receipt No.: _____
Plan No.: _____ Sublot: _____	Fee amount: _____
PIN: _____ Other: _____	Method of payment:
Lot dimensions: <u>150'</u> x <u>175'</u> <u>28750 SF</u>	<input type="checkbox"/> Cash
Frontage (m): <u>46</u> Depth (m): <u>53</u> Area (m): <u>876.3</u>	<input type="checkbox"/> Debit
Is the property or part of the property in a flood plain? <input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="checkbox"/> Cheque
	<input type="checkbox"/> Visa
	<input type="checkbox"/> MasterCard
	<input type="checkbox"/> Money order

Water supply (Check type existing/proposed) existing proposed

Municipal Drilled well Point Dug well Depth of well: 60 [m]

Other (State): _____

Zoning approval: Check 1, 2 or 3 below

1. The property is located in a Township under the jurisdiction of the Sudbury East Planning Board, the Manitoulin Planning Board, or the Ministry of Municipal Affairs & Housing.

Letter of conformity Attached

2. The property is located in an "Organized Township"

To be stamped by local Building Department and/or signed by the Building Inspector.

(Stamp required)

(Building official to stamp according to Municipality/Township)

3. Located in an "Unorganized Township"

Township not under the jurisdiction of a Planning Board or Ministry of Municipal Affairs & Housing.

No Stamp or Zoning Conformity Required

Site evaluation	Sub-surface / Conditions observed	
Date (YYYY-MM-DD): <u>Nov 20/16</u> Time: <u>3:00 PM</u>	Rock & GWT	Soil Type
Name: <u>JEFF HUNTER</u> <u>E.D. WIERZBICKI</u>	-0- -0.6- -0.9- -1.2- -1.5-	<u>SILTY SAND</u> T- 25-35
Signature: <u>E.D. Wierzbicki</u>	↓	

Plumbing
Complete the following table

Dwelling 1

Description	Total # x	Fixture units	=	Total fixture units
Example only: Potato peeler	2	3	=	6
Bathroom group (1 water closet, 1 hand basin, and 1 bathtub/shower)	<u>3</u>	<u>6</u>	<u>=</u>	<u>18</u>
Water closets (Flush tank toilet)	<u>1</u>	<u>4</u>	<u>=</u>	<u>4</u>
Each sink or wash basin	<u>3</u>	<u>1.5</u>	<u>=</u>	<u>4.5</u>
Bathtub and/or shower		<u>1.5</u>	<u>=</u>	
Dishwasher	<u>1</u>	<u>1.5</u>	<u>=</u>	<u>1.5</u>
Clothes washing machine	<u>1</u>	<u>1.5</u>	<u>=</u>	<u>1.5</u>
Single or double laundry tub	<u>1</u>	<u>1.5</u>	<u>=</u>	<u>1.5</u>
Other: _____			<u>=</u>	
Other: _____			<u>=</u>	
Total fixture units:				= <u>31</u>

Dwelling 2

Description	Total # x	Fixture units	=	Total fixture units
Example only: Potato peeler	2	3	=	6
Bathroom group (1 water closet, 1 hand basin, and 1 bathtub/shower)		<u>6</u>	<u>=</u>	
Water closets (Flush tank toilet)		<u>4</u>	<u>=</u>	
Each sink or wash basin		<u>1.5</u>	<u>=</u>	
Bathtub and/or shower		<u>1.5</u>	<u>=</u>	
Dishwasher		<u>1.5</u>	<u>=</u>	
Clothes washing machine		<u>1.5</u>	<u>=</u>	
Single or double laundry tub		<u>1.5</u>	<u>=</u>	
Other: _____			<u>=</u>	
Other: _____			<u>=</u>	
Total fixture units:				=

Single family dwelling 1

1. Number of bedrooms: 3
2. Total floor area: 250 m²
3. Total fixture units: 31
4. Daily sewage flow: 2150

Single family dwelling 2

1. Number of bedrooms: _____
2. Total floor area: _____ m²
3. Total fixture units: _____
4. Daily sewage flow: _____

Calculation of total **daily sewage flow (DSF)** see page 9 in information package.

OR

Multiple-family dwelling

1. Number units/apartments: _____
 2. Number of units with floor area greater than 200 m²: _____
 3. Number of units with total fixture units greater than 20: _____
 4. Number bedrooms per unit: _____
(e.g. 3-2 bedroom 2-1 bedroom)
- Daily sewage flow:** _____

Sewage system to be constructed in: a) Existing on-site soils OR Imported fill

b) Percolation time of existing soils (Attach perc. test logs or grain size analysis report): T = 25 - 35 Min/cm

c) Percolation time of imported fill: T = SYSTEM SAND Min/cm Name of pit providing fill: NAIRN CENTRE PIT

Proposed to construct:

Replace septic tank only Concrete Polyethylene Size (L) _____

Class 4 leaching bed

Use existing septic tank OR New CSA standard: Concrete Polyethylene Size (L) _____

Total length of pipe (m) _____ Number of runs of pipe _____ Header OR Distribution box

Dug into existing soil OR Raised Method of detection: _____

Soil mantle required? No Yes If yes, state percolation time of mantle _____ Min/cm Mantle area (m²) _____

Is a pump required? No Yes If yes, state (L) to be discharged to the tile bed _____

Class 4 filter bed: Proof of approved filter material must be provided

Use existing septic tank OR New CSA standard: Concrete Polyethylene Size (L) 4970

Filter bed area (m²) _____ Contact area (m²) _____

Dug into existing soil OR Raised Method of detection: _____

Soil mantle required? No Yes If yes, state percolation time of mantle _____ Min/cm Mantle area (m²) _____

Is a pump required? No Yes If yes, state (L) to be discharged to the tile bed _____

Class 4 type A dispersal bed: Proof of approved sand material must be provided

Use existing septic tank OR New CSA standard: Concrete Polyethylene Size (L) _____

Stone layer area (m²) _____ Sand layer area (m²) _____

Manufacturer's name and model _____

Is a pump required? No Yes If yes, state (L) to be discharged to the tile bed _____

Other system BMEC Included

Describe: SYSTEM O (BMEC 23-05-40) 4970L CONCRETE TANK = ENVIRO - SEPTIC PIPE CONTACT AREA 190 m² 18 PIPE

Is a pump required? No Yes If yes, state (L) to be discharged to the tile bed _____

Class 5 (Holding tank) State O.B.C. exemption: _____ (Attach pump-out contract with licensed sewage hauler)

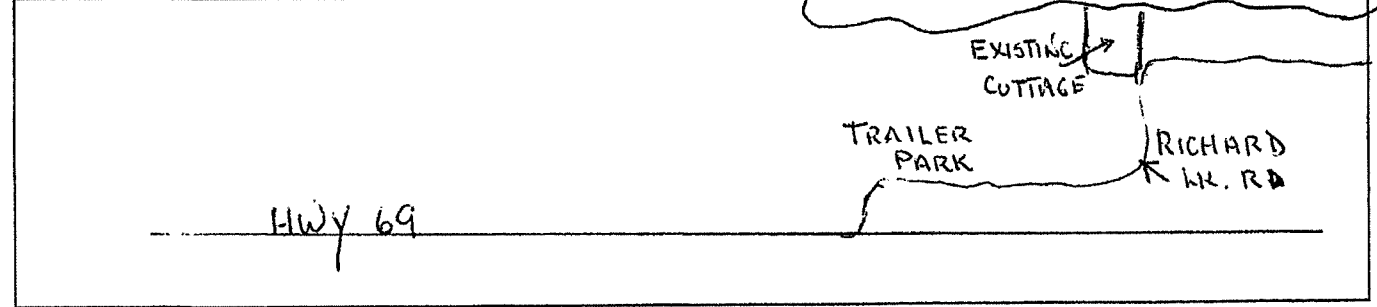
Tank is: Concrete Polyethylene Other: _____ Size (L) _____

Alarm must be audio and visual Describe: _____

Prior to construction, arrange for an inspector to inspect the proposed site and approve the sewage system proposal.

Directions to property (Show highways, roads, signs, landmarks, etc. to follow)

Extraordinary travel costs by air, water, etc. are to be incurred by the applicant.



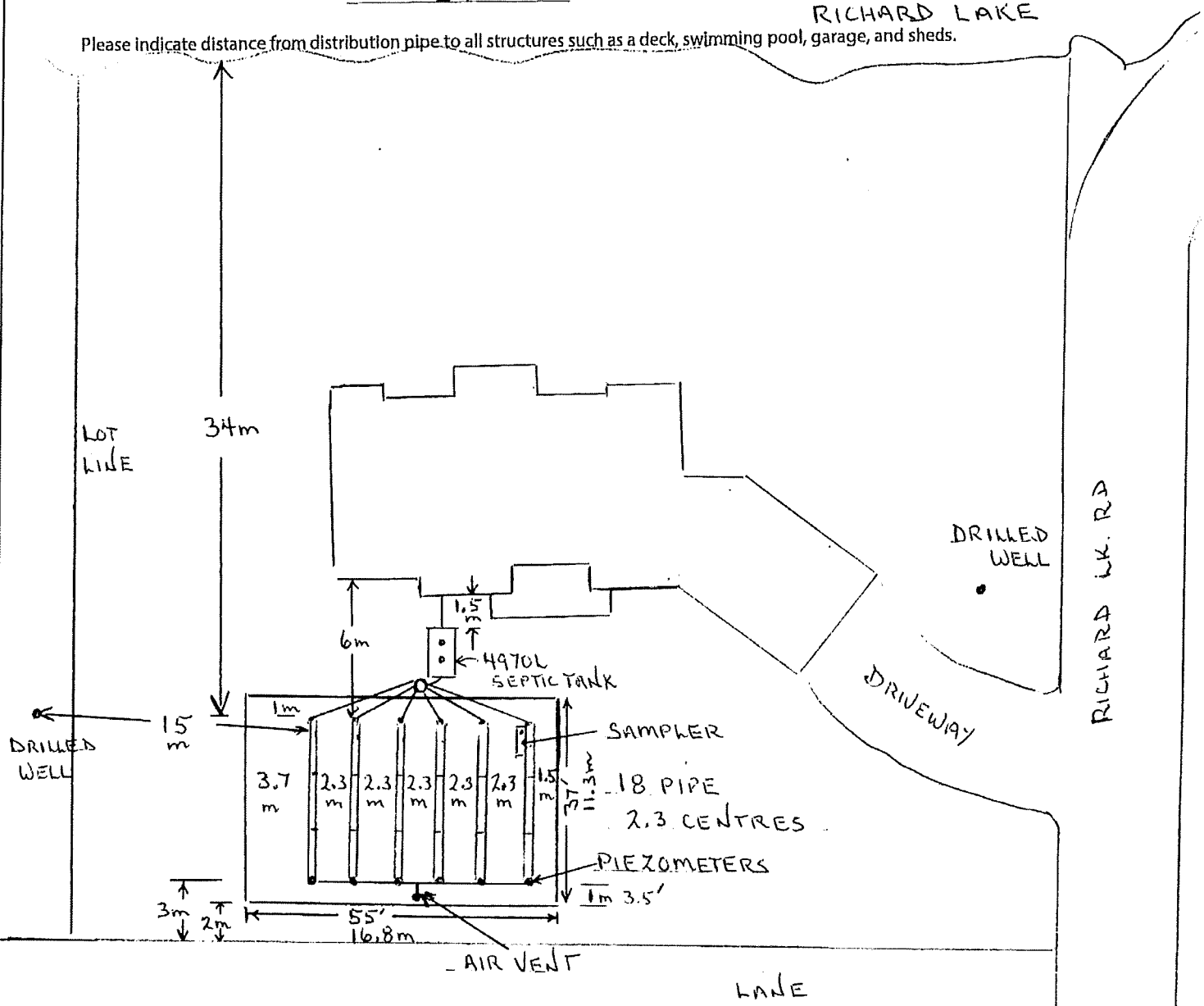
Site plan: See appendix D

Distances:

Distribution pipe to building(s): (m) 6
 Distribution pipe to lot lines: (m) 3
 Distribution pipe to well: (m) 28
 Distribution pipe to neighbours' well: (m) 15'
 Distribution pipe to surface water: (m) 34

Septic tank/Treatment unit to building(s): (m) 1.5
 Septic tank/Treatment unit to lot lines: (m) 15
 Septic tank/Treatment unit to well: (m) 17
 Septic tank/Treatment unit to surface water: (m) 30

Please indicate distance from distribution pipe to all structures such as a deck, swimming pool, garage, and sheds.

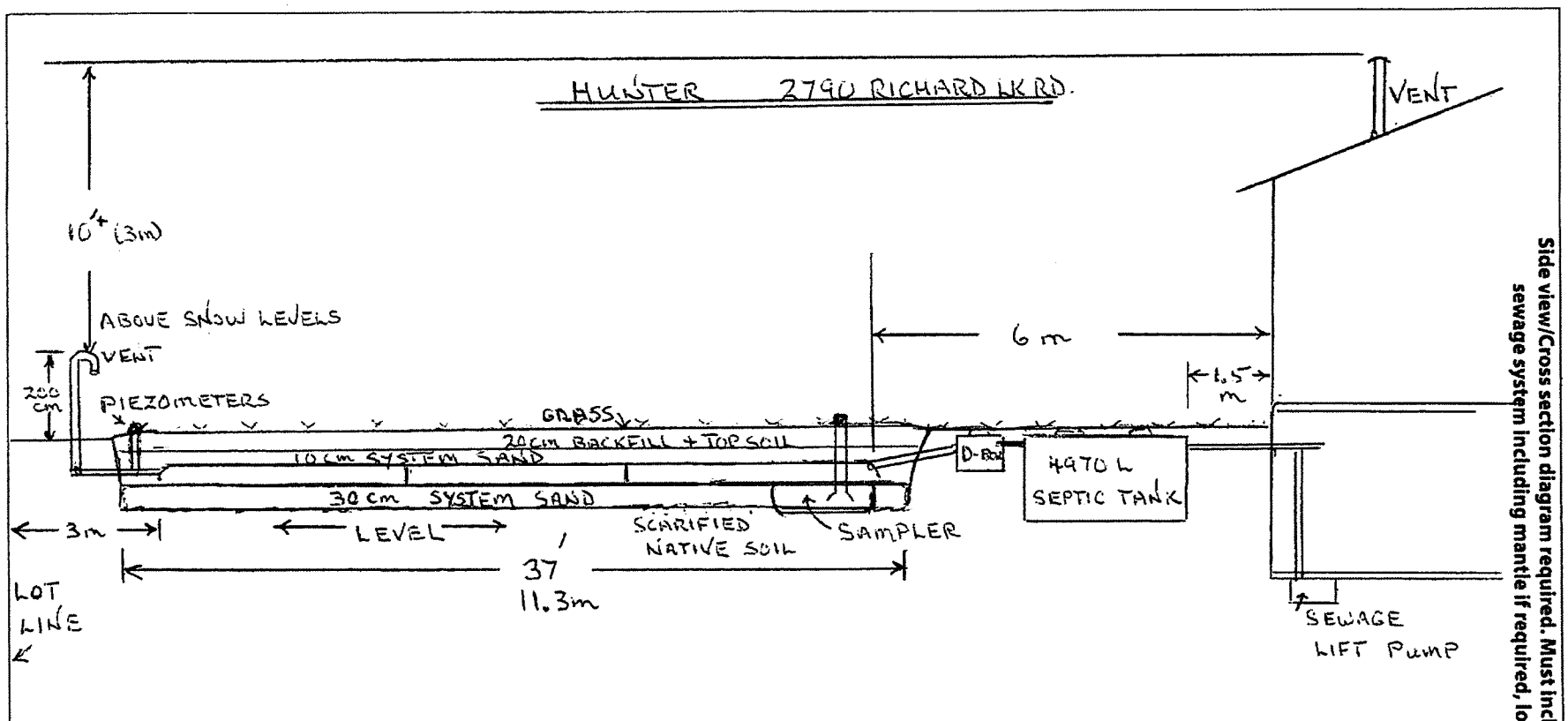


Note: Please indicate dimensions of bed, length of runs, and distance between pipes.

Test hole available for inspection? Yes No

If "No", the Owner/Agent/Designer/Contractor is required to call the public health inspector for an appointment.

Side view/Cross section diagram required. Must include grade/slope of property, sewage system including mantle if required, location of building(s) etc.



Page 9 of 10

DETAILS: 18 PIPE, 6 ROWS OF 30', 2.3" CENTRES
 REQUIREMENT: YEARLY INSPECTION AND SERVICING AND SAMPLING
 CLEAN FILTER ON SEPTIC TANK OUTLET YEARLY.

Agent authorization

I, the owner hereby authorize: (Print agent's name) TIMOTHY ECO-SEPTIC SOLUTIONS

to act as the official agent respecting the attached application for a permit under Part 8 of the Ontario Building Code.

- Public Health Sudbury & Districts is hereby authorized to release any permits, documents, or information respecting the subject property to the said agent.
- I understand that it will be the owner/agent and contractor that share responsibility for ensuring that all work is carried out in accordance with this Permit, the *Building Code Act* and Public Health Sudbury & Districts' by-laws.

Owner(s) signature

2026-03-23

Date (YYYY-MM-DD)

Note:

- The public health inspector will return all applications that are incomplete or unsigned.
- This application cannot be altered and must be completed in full: Additional information or revised calculations/diagrams may be submitted on separate work sheets.
- This application does not constitute a permit.
- No work shall commence until a permit has been issued.

Public Health Sudbury & Districts use only

Proposal meets Ontario Building Code requirements: Yes No

Send permit to municipality: Yes No

Comments:

[Empty box for comments]

Sewage system inspector's signature

Date (YYYY-MM-DD)

Sewage system
inspector's notes:

[Empty box for sewage system inspector's notes]

To meet public health requirements any personal information on this form is collected under the authority of one or more of the following (as amended) and related regulations: Health Protection and Promotion Act R S O 1990 Smoke Free Ontario Act S O 2017 Skin Cancer Prevention Act, 2013 S O 2013 Healthy Menu Choices Act 2015 S O 2015 Safe Drinking Water Act, 2002 S O 2002 Ontario Building Code Act 1992 S O 1992 Funeral, Burial and Cremation Services Act 2002 S O 2002 Environmental Protection Act R S O 1990 Regulated Health Professions Act 1991 S O 1991 and is in compliance with the Municipal Freedom of Information and Protection of Privacy Act R S O 1990 and the Personal Health Information Protection Act 2004 S O 2004 Questions about this collection should be directed to the Program Manager at Public Health Sudbury & Districts 1300 Paris Street Sudbury ON P3E 3A3 705 522 9200 ext 398

O: June 2002
R: March 2024



Thursday, March 26, 2026

Ed Wierzbicki
Sewage Systems by Design
1532 Stillbrook Place
Sudbury ON, P3A 5J8

RE: SUD-26000898-A0

EXP Services Inc: Lab # 23889
Grain Size Analysis and Estimated Percolation (T) Time
Re: Jeff Hunter
2798 Richard Lk. Dr.
Dill Township Lot 9 Concession 6
Parcels 9521, 10915

On **March 20, 2026**, a soil sample was delivered to EXP Services Inc.(EXP) for a grain size analysis to determine an estimated percolation time (T), as an indication of the suitability of this soil for use within a Class 4 Sewage System. Based on the results of the attached grain size analysis, the sample tested is predominately, **SILT some sand**, with an estimated percolation time "T" of **25-35 min/cm. (use "T" of 35 min/cm for design)**

The soil properties indicated on the attached sheet are representative only of the sample delivered to our facilities. It must be noted that the permeability and percolation rates have been estimated based on an approximate relationship of soil types as determined by the grain size distribution test conducted. Variability of soil types and actual performance of in-situ soils may vary across the site.

Should you have any questions or require further clarification, please do not hesitate to contact the undersigned.

Yours truly,
EXP Services Inc

Patrick Lachance
Soil Laboratory Team Lead
Materials Testing

Reviewed by:
Yves Beauparlant, P. Eng.
Manager, Earth and Environmental
Northeastern Ontario

855 Regent Street, Sudbury, ON P3C 5M6 - CAN



SEPTIC SOIL TESTING

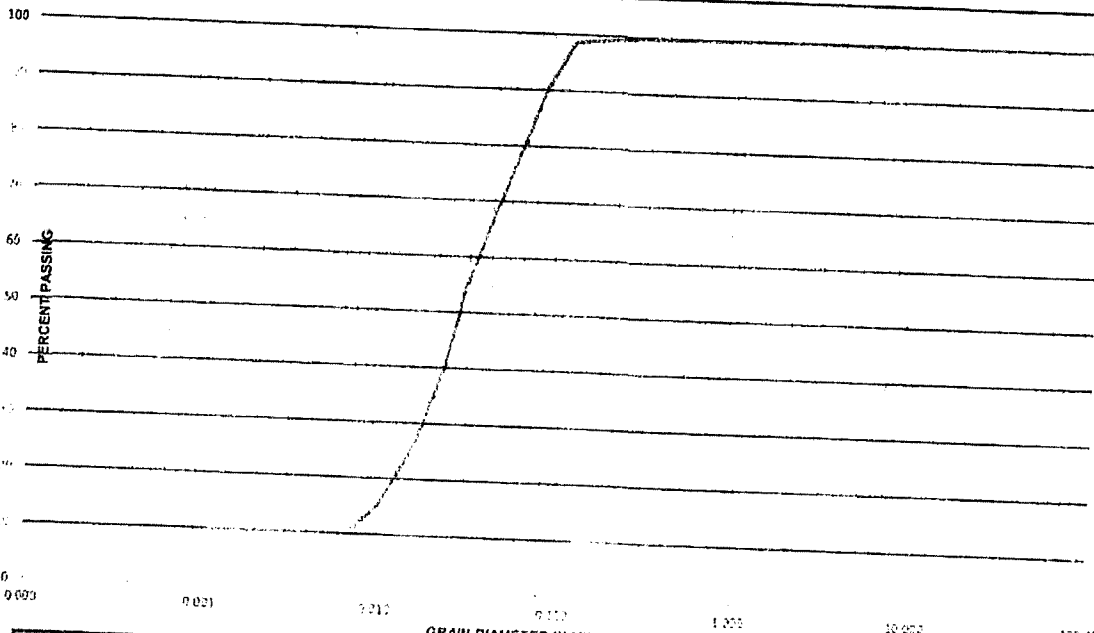


Project # SUD-26000898-A0
Ticket # 23889

Client: Ed Wierzbicki
 Sewage Systems by Design
 1532 Stillbrook Place
 Sudbury ON, P3A 5 1R

RE: [Redacted]
 Ben Hunter
 2798 Richard Lk. Dr.
 Dill Township Lot 9 Concretion 6
 Parcle 9521, 10915

GRADATION OF SAMPLE SUBMITTED TO BE USED AS NATIVE MATERIAL FOR CLASS 4 SEWAGE SYSTEM



GRAIN DIAMETER IN MILLIMETRES									
Clay	fine	medium	coarse	fine	medium	coarse	fine	medium	coarse
	Silt			Sand			Gravel		

exp.

UNIFIED SOIL CLASSIFICATION		UNIFIED SOIL CLASSIFICATION:	
D ₁₀ =	0.0065	Estimated Hyd. Cond (K) =	ML
D ₆₀ =	0.0340	Estimated Perc. Time (T) =	4.23E-05 cm/sec
C _u =	5.2	Recommended Perc. Time (T) =	25-35 min/cm
			35 min/cm



System O)) Configuration Simulator - BMEC Authorization of July 26 2023 (#23-05-407)

Standard configuration

Version 2.0

Project Name: 2,150 LPD, T is 35
 Designer Name: Ed Wierzbicki

2026-03-25

Line	Information required or element calculated	Enter proper information in the green cells		Then validate the configuration	Instructions / comments
		Value	Units		
1	Soil percolation time (T-Time)	35	Min/cm	OK	Enter the receiving soil T-Time.
2	Enter System O)) Design Flow	2,150	L/d	OK	Enter the System O)) Design Flow as determined from 8.2.1.3 of the Ontario On-Site Sewage Systems Code.
3	S_{min} - Minimum Vertical Separation	0.45	m	OK	Minimum Vertical Separation as measured from the bottom of the System O)) System sand to: High ground water table or Bedrock or Soil with a percolation time (T) greater than 50 cm/min. Minimum Vertical Separation as measured from the bottom of the Enviro-Septic System sand
4	Dept of the receiving soil	1	m	OK	Enter the dept of the receiving soil from the surface (original grade) to: High ground water table or Bedrock or Soil with a percolation time (T) greater than 50 cm/min. If receiving soil has a T-Time > 50 min/cm, enter 0.
5	Dept of the excavation	0.3	m	OK	Enter the dept at which the base of the system will be installed. If imported sand is used under the System O)), enter the dept at which the imported sand is installed. If the system or the imported sand layer are installed at the surface (original grade), the value is 0.
6	Natural Slope of the ground	0	%	OK	The slope must be 25 % or less. For a flat land, the slope is 0%.
7	D_s - Dept of receiving soil under the excavation	0.7	m	OK	This value represent the thickness of receiving soil remaining after excavation before the high ground water table or bedrock or soil with a percolation time (T) greater than 50 cm/min.
8	I_s -Thickness of the imported sand layer (if used)	0	m	OK	Enter the dept of receiving soil still in place after installation between the base of the system or the imported sand layer and the high ground water table or bedrock or soil with a percolation time (T) greater than 50 cm/min.
9	S_D - Separation distance	0.7	m	OK	This value represent the thickness of soil and imported sand (when used) between the system base and the ground water table or bedrock or soil with a percolation time (T) greater than 50 cm/min.
10	Minimum number of Enviro-Septic Pipes	18	ESP	OK	This value represent the minimum number of Enviro-Septic pipes required to treat the daily flow of Septic Tank Effluent using formula Q/125.
11	Minimum length of Enviro-Septic Pipes	54.9	m	OK	This value represent the minimum length of Enviro-Septic pipes required to treat the daily flow of Septic Tank Effluent using formula $3.05 \cdot (Q/125)$.
12	Minimum System O)) Contact Area	188	m ²	OK	Minimum contact area = Q/50, because $T \leq 15$ min/cm and $Q > 3000$ L/d
13	Number of rows of Enviro-Septic Pipes	4	Rows	OK	Enter the number of rows of the configuration wanted.
14	Number of Enviro-Septic Pipes per row	4.5	ESP	OK	Enter the number of pipes per row for the configuration wanted. This number should equal or greater than 2 without going over 10.
15	Total number of Enviro-Septic Pipes	18	ESP	OK	This value represent the product of the number of rows by the number of pipes per rows (line 12 x line 13). An error message will appear if the result is smaller than the minimum number of pipes required shown at line 10.
16	Total length of Enviro-Septic Pipes	54.9	m	OK	This value represent the product of the total number of pipes required by the length of one pipe.
17	Total length of a row of Enviro-Septic Pipes	13.73	m	OK	This value represent the product of the number of pipes per row by the length of one pipe.

18	Number of sections	1	section(s)	OK	The number of section chosen must allow even distribution of rows between sections (Ex. 9 rows can be divided in 3 section of 3 rows, but 8 rows can't be divided in 3 sections).
20	E _{CC} - Center to Center Spacing	2.4	m	OK	Enter the Center to Center Spacing. The minimum ECC is 0,45 m
22	E _{L1} - Lateral Extension distance	1.1	m	OK	Lateral extension spacing needs to be 0,45 or more.
23	E _{L2} - Lateral Extension distance	3.75	m	OK	Lateral extension spacing needs to be 0,45 or more.
26	E _{E1} - Extremity Extension Distance	1	m	OK	Extremity extension spacing needs to be 0,3 or more.
27	E _{E2} - Extremity Extension Distance	1	m	OK	Extremity extension spacing needs to be 0,3 or more.
28	L - Length of one section of the System O))	15.73	m		This value represent the length of a row of pipes plus the two Extremity Extension Distances
29	W - Width of one section of the System O))	12.05	m		This value represent the width of a section including the Center to Center Spacing and the Lateral Spacing.
30	Total System O)) Contact Area per section	188.49	m ²		This value represent the total System O)) Contact Area for each independant section.
31	Total Enviro-Septic Contact Area	188.49	m ²	OK	This value represent the total System O)) Contact Area.
32	Hydraulic Loading Rate (HLR)	11.35	L/m ² .d		The Hydraulic Loading Rate represent the volume of water per square meter per day based on the Total Design Daily Flow and the Total System O)) Contact Area.
33	Lateral height of the system if partially or completely above ground	0.60	m	Partially Above Ground System	This value represents the height of the system above ground on the limit of the contact area or, in other words, where the 1:3 lateral backfill starts. The height may be a little bit more in the center of the system to keep a small slope on top for rainwater evacuation.
34	S _E - Total length of System Sand Extension	N/A	m		The value represents the length of the down slope sand extension when it is required (for slope above 10 %)
35	W2 - Width of the System O)) Including System Sand Extension	N/A	m		The value represents the width of the system including sand extension when it is required (for slope above 10 %)
36	Estimation of the Volume of System Sand Required	128.7	m ³		The volume of system sand required is the product of the length by the width by the number of section and by the thickness of the sand layer from which we subtract the volume of the Enviro-Septic Pipes.
37	Estimation of the Volume of Imported Sand Required	0.0	m ³		The volume of imported sand required is the product of the length by the width by the number of section and by the thickness of the imported sand layer enter on line 8.
38	Final Configuration Validation			OK	*OK* will be shown when all Enviro-Septic design rules of the configuration simulator have been met.

Attention: The designer is responsible to conform to all applicable laws and to all System O)) design rules. This simulator is provided free of charge as a configuration development tool and the user understands that DBO Expert inc. and its distributors cannot be held responsible for errors or omissions because of this service.



Project: 2,150 LPD, T is 35	Date: 2026-03-25
Designer: Ed Wierzbicki	

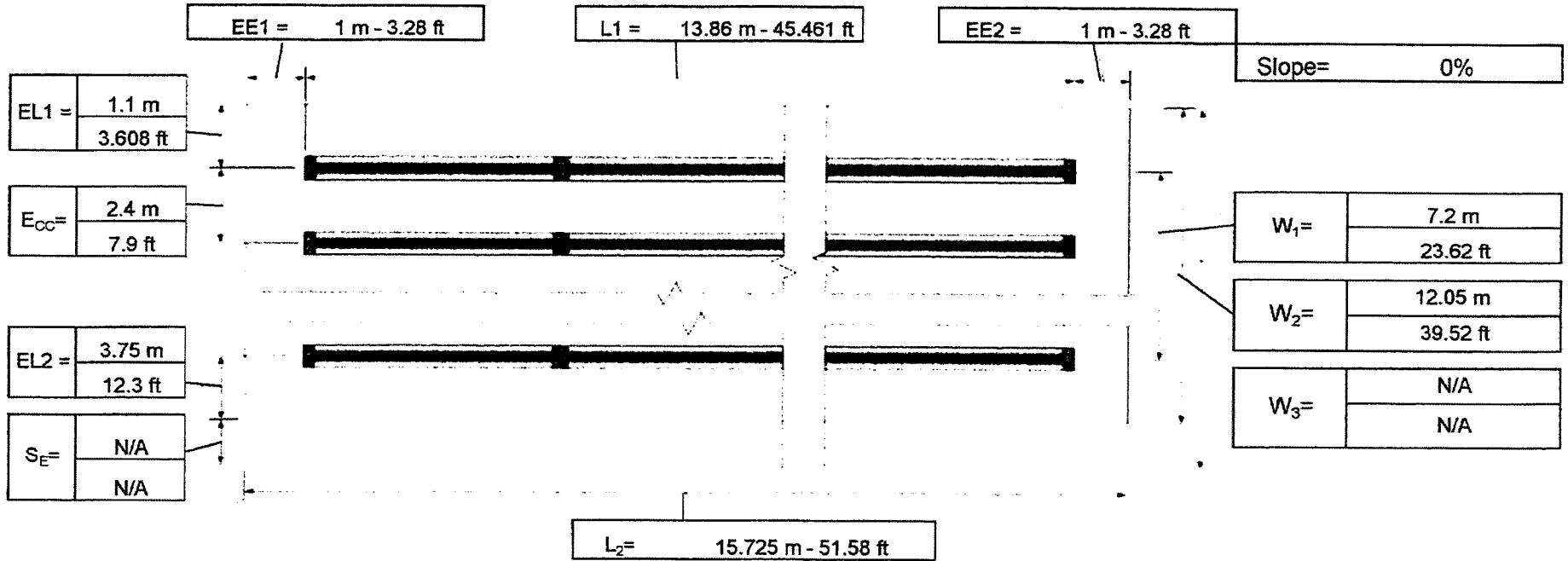
Element	Value	Units
Soil percolation time (T-Time)	35	Min/cm
System O)) Design Flow	2150	L/d
Number of rows of Enviro-Septic Pipes	4	Rows
Number of Enviro-Septic Pipes per row	4.5	ESP
Total number of Enviro-Septic Pipes	18	ESP
Total length of Enviro-Septic Pipes	13.725	m
Number of sections	1	section(s)
Total System O)) Contact Area	189.5	m ²
Hydraulic Loading Rate (HLR)	11.3	L/m ² .d
Estimation of the Volume of System Sand Required	128.7	m ³
Estimation of the Volume of Imported Sand Required	0.0	m ³
Custom spacings	Yes	

Number of sections: 1

Legend	
D _s	Depth of receiving soil before limiting condition
E _{CC}	Center to Center Spacing
E _E	Extremity Extension Distance
E _L	Lateral Extension Distance
E _{L1}	Lateral Extension Distance Up-hill (Sloped system)
E _{L2}	Lateral Extension Distance Down-hill (Sloped system)
I _s	Thickness of imported sand layer
L	Length of one section of the System O))
S _D	Separation distance under the system
S _E	Sand Extension - Slope of more than 10%
S _{Min}	Minimum Vertical Separation distance form the base of the system to Rock, Clay or Water Table
W ₁	Width of the rows (Centre-to-centre)
W ₂	Width of one section of the System O))
W ₃	Width of the System O)) with Sand Extension (when applicable)

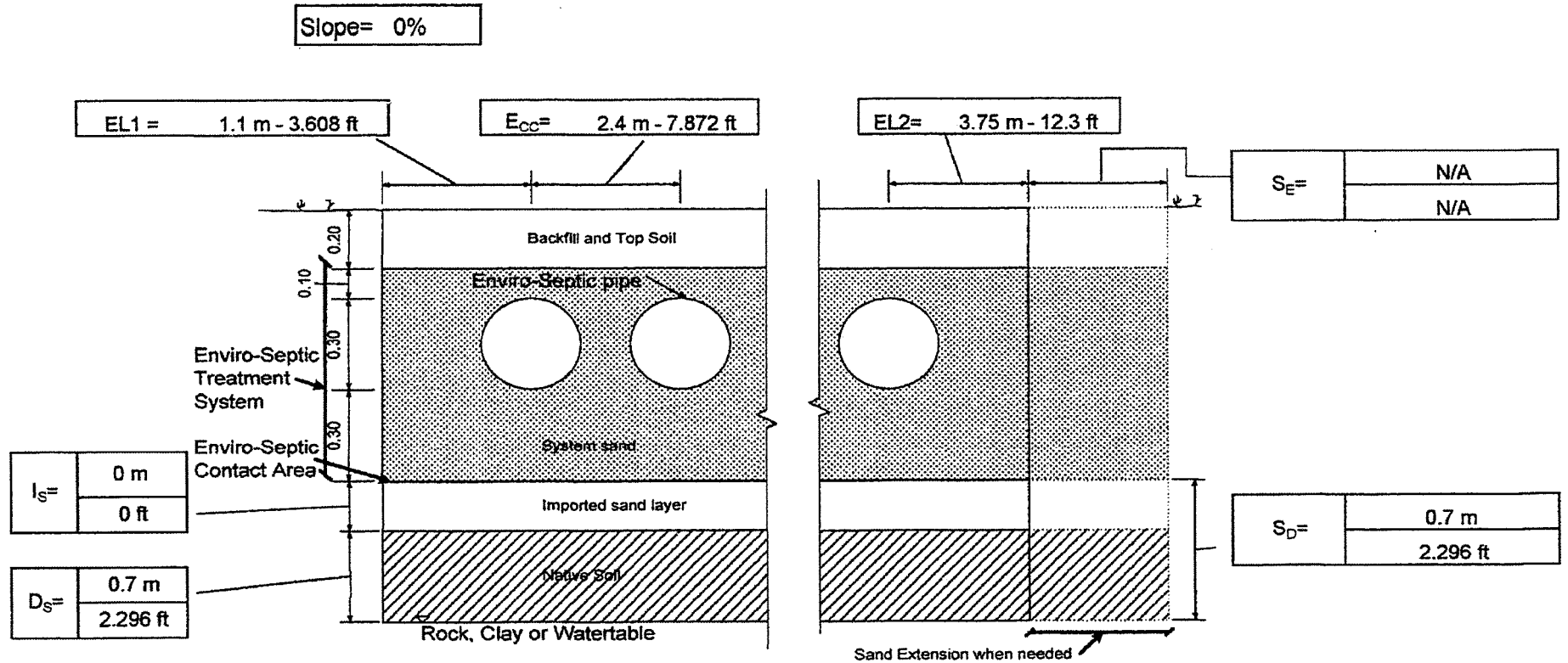
Top view of system (One section if multiple section system)

(Drawing incomplete and not to scale)



System Cross section (One section if multiple section system)

(Drawing incomplete and not to scale)



Attention: The designer is responsible to conform to all applicable laws and to all System O) design rules. This simulator is provided free of charge as a configuration development tool and the user understands that DBO Expert inc. and its distributors cannot be held responsible for errors or omissions because of this service.

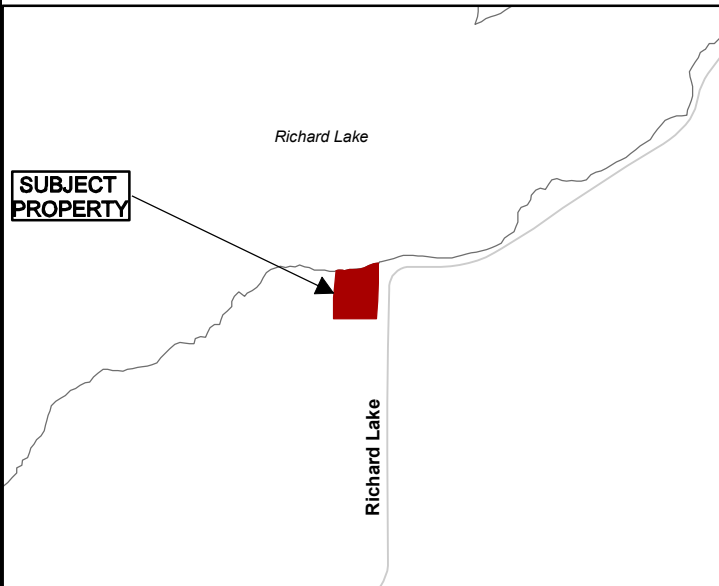
**SUBJECT
PROPERTY**

Richard Lake



**SUBJECT
PROPERTY**

Richard Lake



Application for Minor Variance or Permission



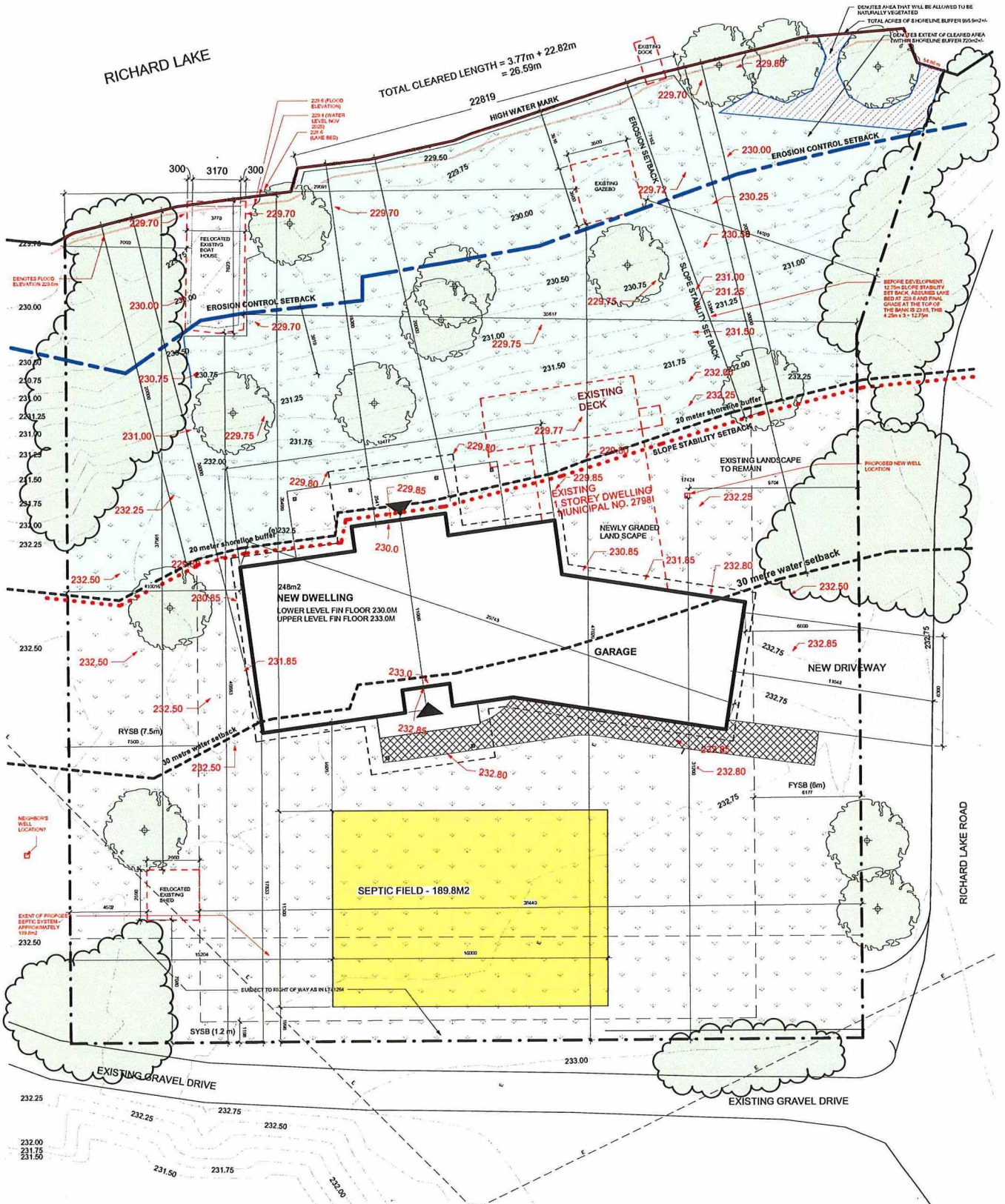
Subject Property being PINs 73479-0159 & 73479-0148,
Parcels 9521 and 10915 SEC SES,
Part Lot 9, Concession 6,
as in LT60372 and LT52121, except LT81264,
Township of Dill,
2790 Richard Lake Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00049
Date: 2026 04 21

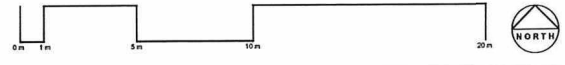
RICHARD LAKE

TOTAL CLEARED LENGTH = 3.77m + 22.82m = 26.59m



SITE LEGEND

- DENOTES PROPERTY LINE
- DENOTES SETBACK LINE
- DENOTES EXISTING GRADING CONTOURS
- DENOTES WATER SETBACK LINE
- DENOTES OVERHEAD ELECTRICAL SERVICE
- DENOTES EROSION CONTROL SETBACK
- DENOTES SLOPE STABILITY SETBACK
- DENOTES EXISTING TREES, SHRUBS AND NATURAL LANDSCAPE ELEMENTS
- DENOTES NEW TREES, SHRUBS AND NATURAL LANDSCAPE ELEMENTS
- DENOTES PROPOSED NEW BUILDING
- DENOTES PROPOSED NEW DECK
- DENOTES EXISTING STRUCTURE
- DENOTES PROPOSED NEW DRIVEWAY
- DENOTES NEW CONCRETE WALKWAY
- DENOTES AREA THAT WILL BE ALLOWED TO BE NATURALLY VEGETATED
- DENOTES NEW GRASS SEED
- DENOTES NEW BUILDING ENTRANCE
- DENOTES PROPOSED GRADE
- DENOTES EXISTING GRADE



2392 - HUNTER RESIDENCE

2790 RICHARD LAKE ROAD, SUBBURY, ON

NEW SITE PLAN

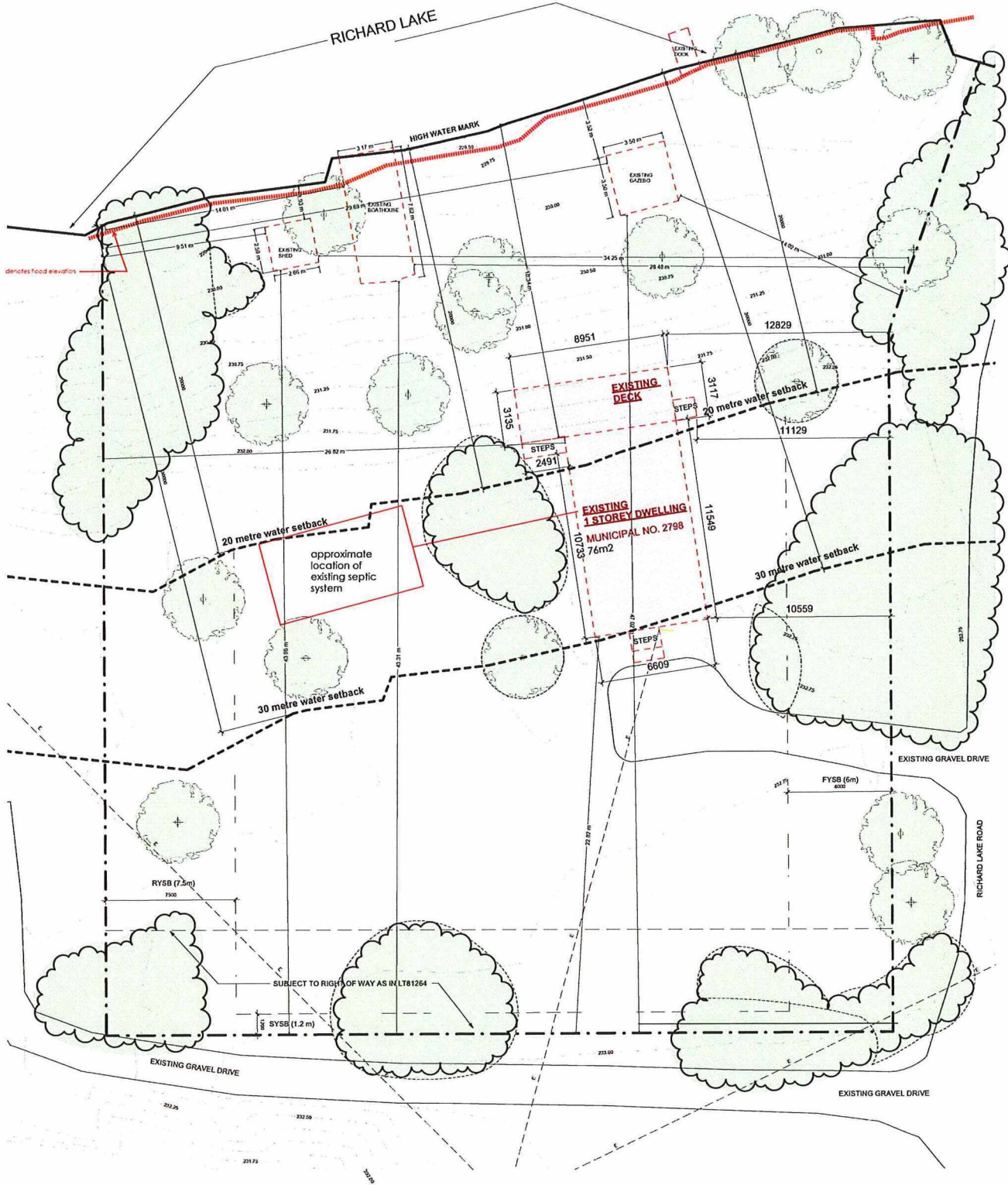
3RDLINE.STUDIO 300 CEDAR STREET SUDBURY, ON N3B 1M8 T403.64.3330

Project No:2392 Scale: 1 : 100









2025.07.04

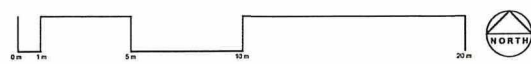
PL-MV-2026-00049
Sketch 2





SITE LEGEND

-  DENOTES PROPERTY LINE
-  DENOTES SETBACK LINE
-  DENOTES EXISTING GRADING CONTOURS
-  DENOTES WATER SETBACK LINE
-  DENOTES OVERHEAD ELECTRICAL SERVICE
-  DENOTES EXISTING STRUCTURE
-  DENOTES EXISTING TREES, SHRUBS AND NATURAL LANDSCAPE ELEMENTS
-  DENOTES TREES, SHRUBS AND NATURAL LANDSCAPE ELEMENTS TO BE REMOVED AND RELOCATED AS DIRECTED.



**TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 9, CONCESSION 6
GEOGRAPHIC TOWNSHIP OF DILL
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TULLOCH GEOMATICS INC., O.L.S.**

2022
SCALE 1:100
THE SHOWN PART OF THE PLAN IS EITHER A PART OF A PLAN OR A PART OF A PLAN OF A LOT OF LAND.

POINT	COORDINATES	DATE
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NOTICE TO THE PUBLIC
THIS PLAN IS A PART OF A PLAN OF A LOT OF LAND AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE SHOWN PART OF THE PLAN IS EITHER A PART OF A PLAN OR A PART OF A PLAN OF A LOT OF LAND.

GENERAL NOTES
1. THE SHOWN PART OF THE PLAN IS EITHER A PART OF A PLAN OR A PART OF A PLAN OF A LOT OF LAND.
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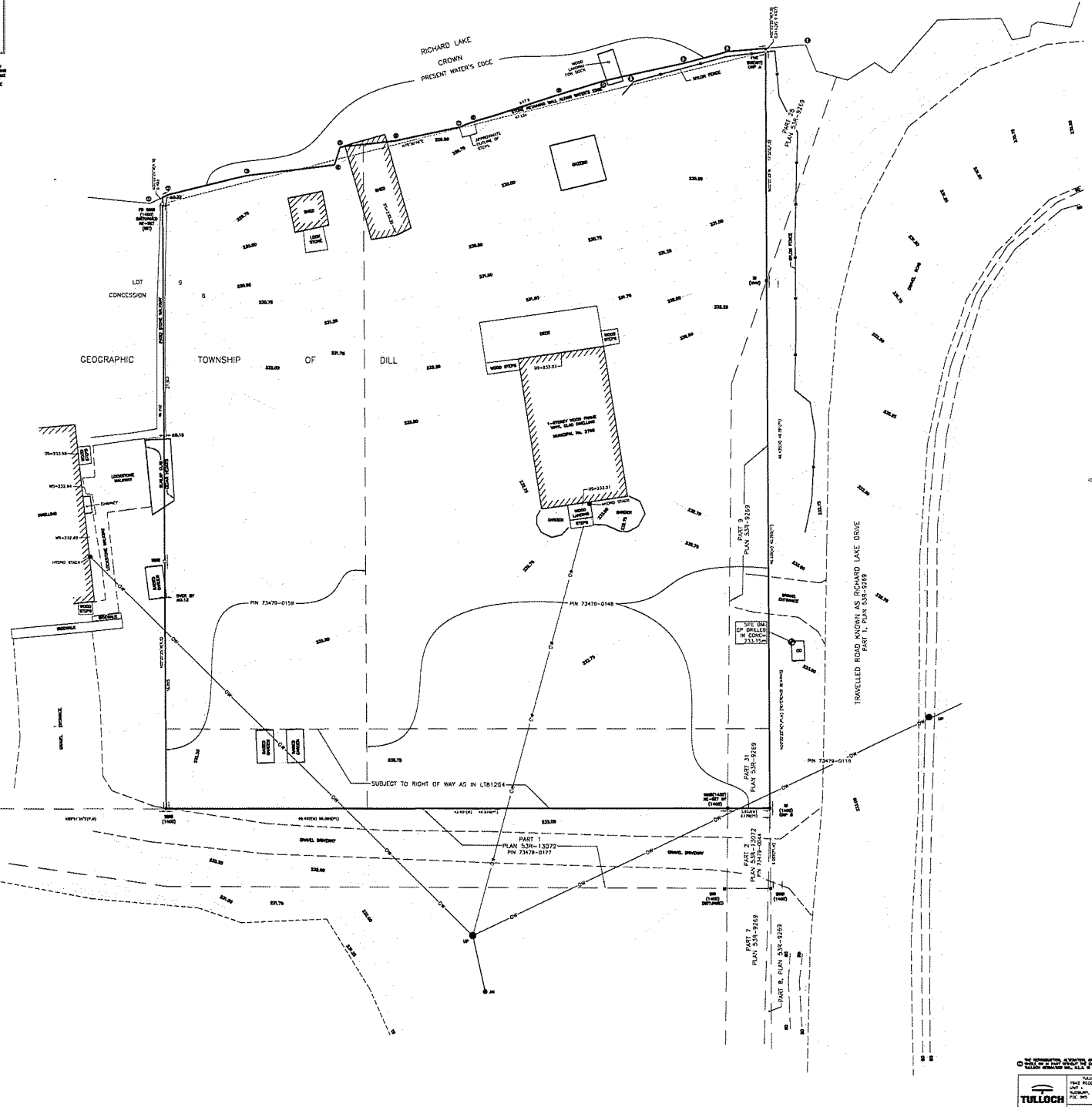
- LEGEND**
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 - 100. SHOWN PART OF THE PLAN

COORDINATE TABLE

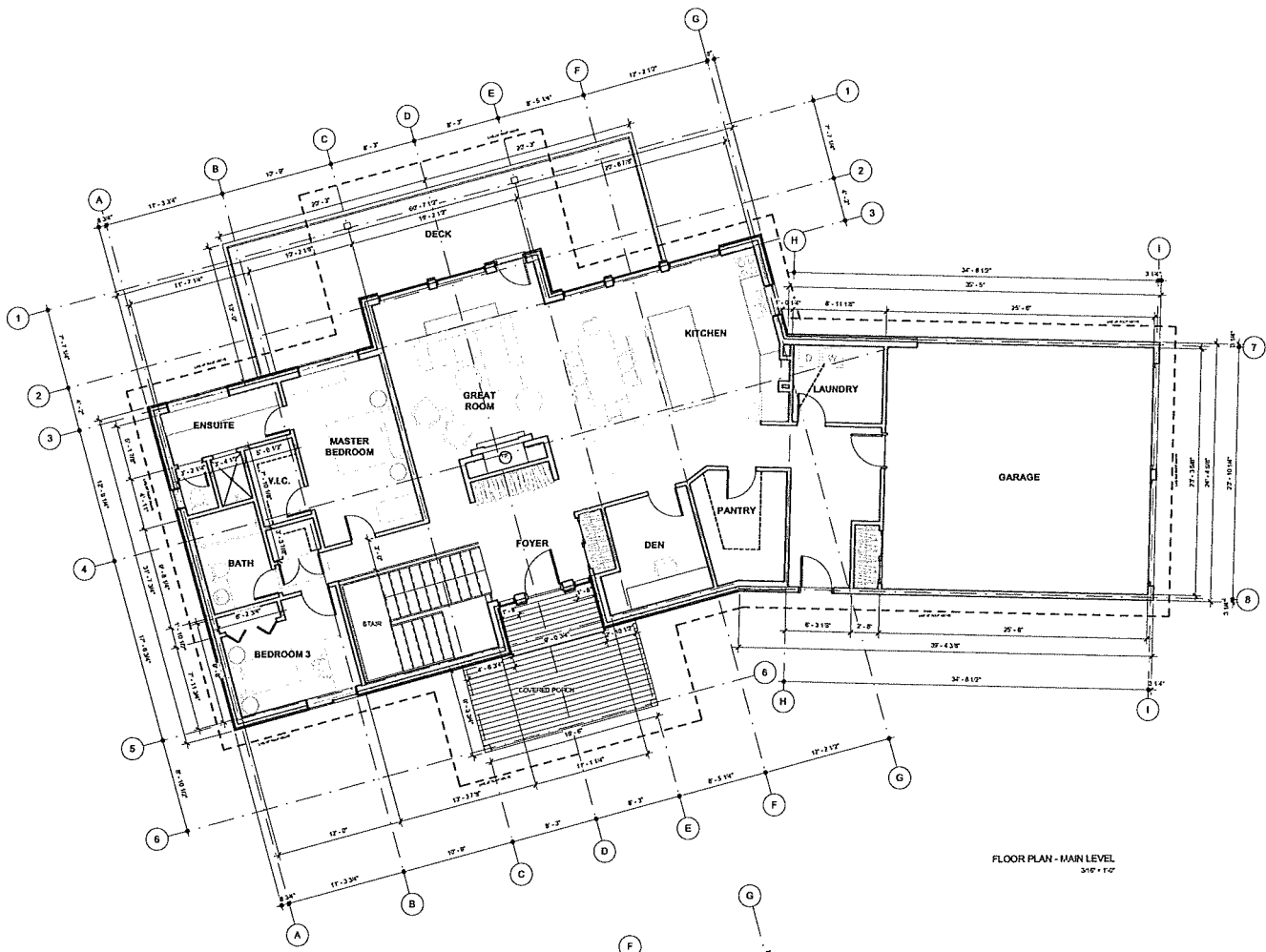
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94	817794.74
95	817794.74
96	817794.74
97	817794.74
98	817794.74
99	817794.74
100	817794.74

DISCLAIMER
I, the undersigned, being duly sworn, depose and say that I am the author of the above plan and that the same is a true and correct copy of the original plan as shown to me by the surveyor and that I have not been paid for my services in the preparation of the same.

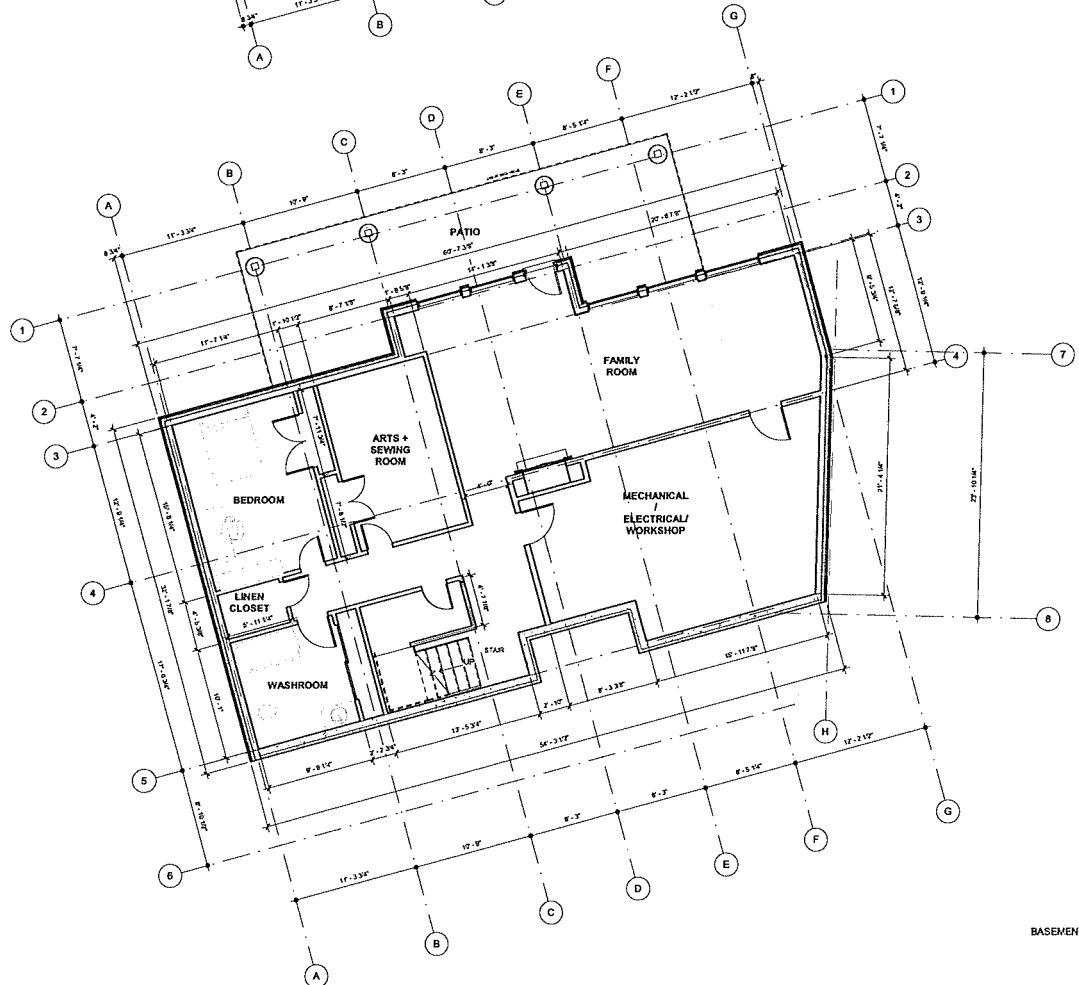
DATE: 11/20/22
TULLOCH GEOMATICS INC.



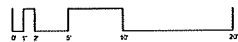
TULLOCH
TULLOCH GEOMATICS INC.
1947 MCLEOD ST. | 1ST FLOOR
SUDBURY, ONT. | N4B 1Y5
TEL: (705) 526-1437
WWW.TULLOCHGEOMATICS.COM

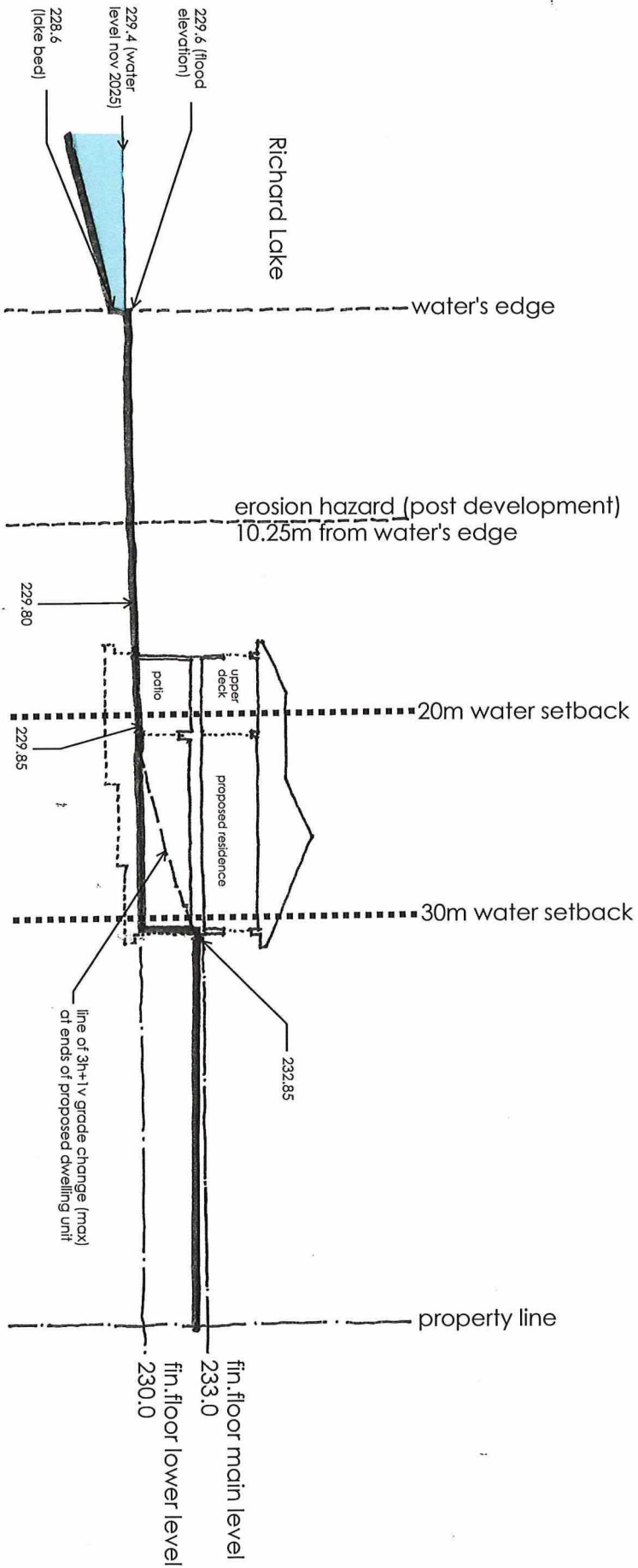


FLOOR PLAN - MAIN LEVEL
316' x 102'



BASEMENT FLOOR
316' x 102'





Hunter Residence
2790 Richard Lake Road, Sudbury, ON

site section
3RDLINE STUDIO



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00050

APPLICATION SUMMARY

File Date: 04/20/2026

Application Type: Minor Variance

Address(es): 4202 Bonaventure Drive, Hanmer P3P 0E2

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENTS CORP

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

SEE ATTACHED LETTER OF RATIONALE

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

SEE ATTACHED LETTER OF RATIONALE

Is there an eave encroachment?

Yes

Size of eaves

0.62

Lot Frontage of the property

10.5

Lot Depth of the property

31

Lot Area of the property

325.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

SEMI DETACHED DWELLING

Existing uses of neighbouring properties

SEMI DETACHED DWELLINGS AND SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SFD WITH COVERED PORCH	No	164	164	1	9.15	18.5	6.5	6	6.5	1.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
TABLE 6.3. - LOT COVERAGE	45% MAX. LOT COVERAGE 146.5 M2	50.4% - 164M2	17.5M2 - 5.4%
TABLE 6.3 REQUIRED REAR YARD SETBACKS	7.5M	6.5M	1M
TABLE 4.1 EAVES	MAY ENCROACH 1.2M INTO REQUIRED YARD BUT NO CLOSER THAN 0.6M TO THE LOT LINE	ENCROACH 1.62M INTO REQUIRED REAR YARD SETBACK	0.42M

C.R. DESIGN

Letter of Rationale - LOT 109 Bonaventure Drive, Hanmer

Dear Members of the Committee of Adjustment,

On behalf of the developer, we are seeking relief from the rear yard setback, eaves encroachment to the rear lot line and lot coverage requirements for the proposed model on this site. This specific building design has been exceptionally well-received by the local senior community, providing the single-story accessibility and layout functionality that this demographic requires.

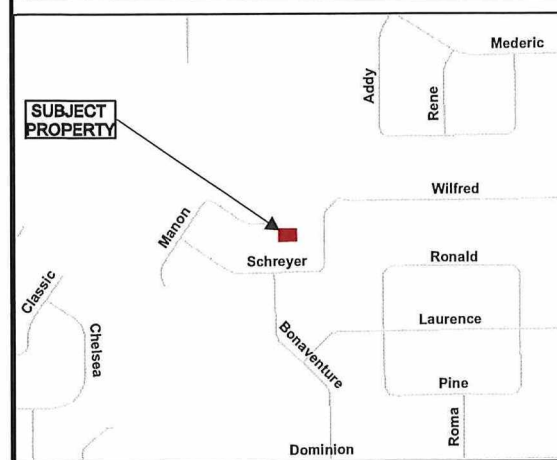
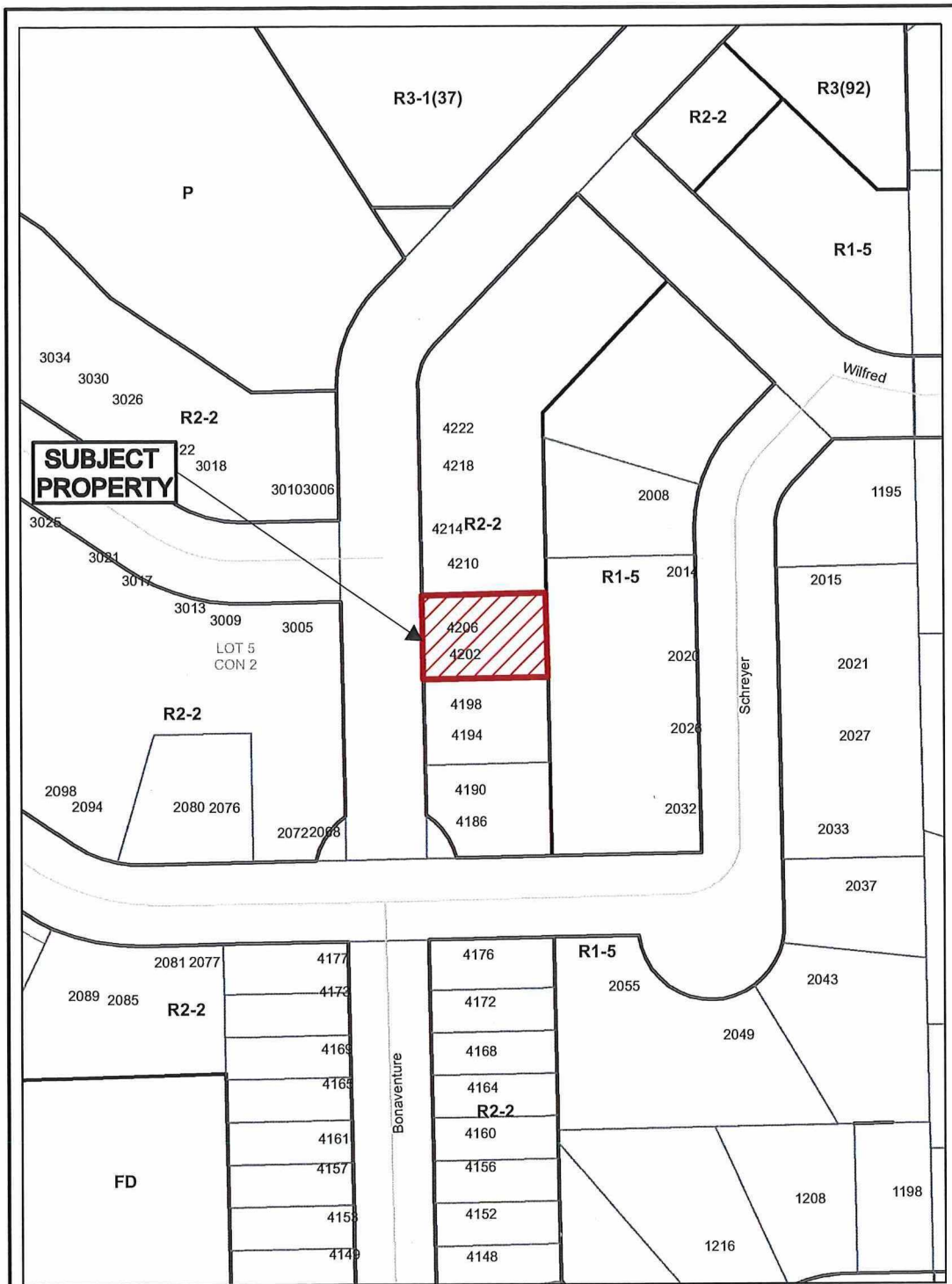
While the building's length necessitates a minor reduction in the rear yard setback and eaves encroachment, the design has been carefully positioned to ensure that privacy for all abutting neighbors is maintained. The proposed lot coverage represents a marginal increase over the permitted threshold and remains consistent with the character and scale of other recent builds within the subdivision. These homes contribute to the neighborhood's aesthetic while addressing a critical need for high-quality, accessible housing.

With recent federal policy changes providing full HST rebates on new housing, we have seen a significant increase in demand for this model. We believe these variances are minor in nature, represent a desirable development of the land, and will not have any negative impact on the surrounding area.

We respectfully request the Committee's support for this application.

Sincerely,

**Rohit Walia
C.R. Design**

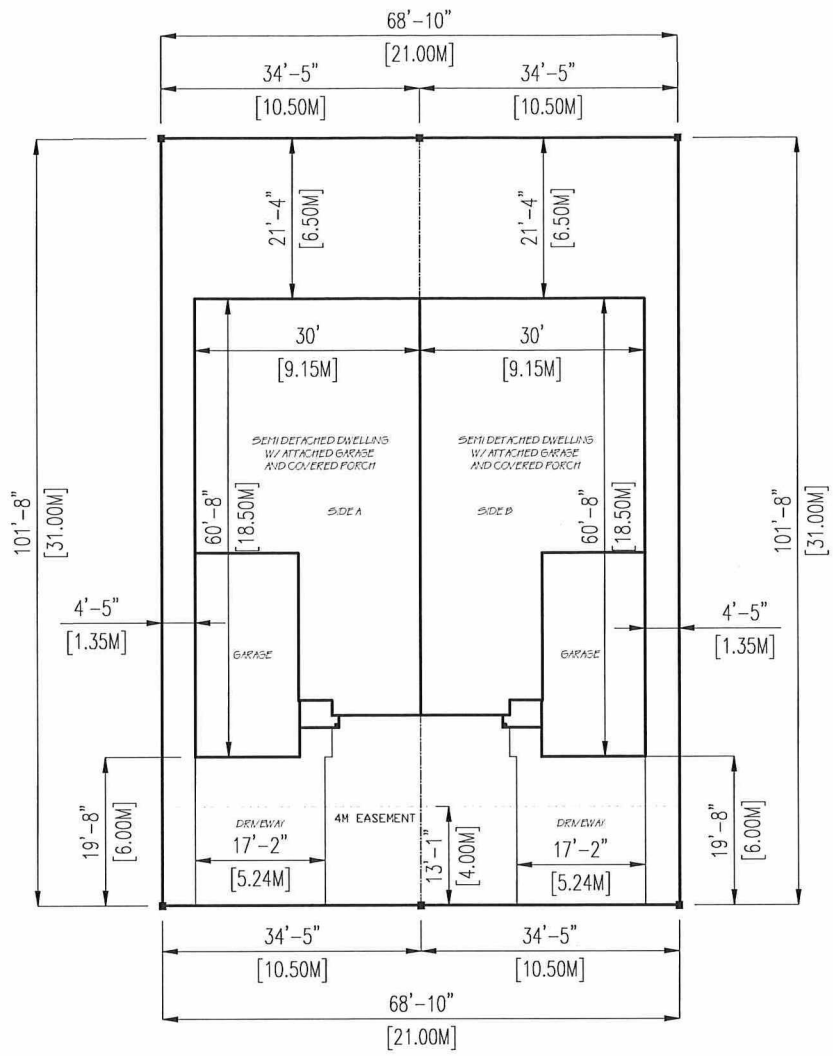


Application for Minor Variance or Permission



Subject Property being PIN 73504-3251, SRO, Lot 109, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2026-00050
 PL-MV-2026-00051
 Date: 2026 04 22



LOT 109 BONAVENTURE DRIVE

SCALE



0 2 4 6 8 10
METRES

SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	21M X 31M 651 M2	10.5M X 31M 325.5 M2	10.5M X 31M 325.5 M2
MAXIMUM PERMITTED LOT COVERAGE TABLE 6.3	292.95 M2 (45%)	146.5 M2 (45%)	146.5 M2 (45%)
PROPOSED LOT COVERAGE	328M2 (50.4%)	164M2 (50.4%)	164M2 (50.4%)
PERCENTAGE OF LOT COVERAGE EXCEEDING BYLAW		17.5M2 (5.4%)	17.5M2 (5.4%)
REQUIRED REAR YARD SETBACK TABLE 6.3	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK		6.50 METRES	6.50 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		1.0M	1.0M
EAVES ENCRoACHMENT TABLE 4.1 MAY ENCRoACH 1.2M INTO THE REQUIRED REAR YARD BUT NOT CLoSER THAN 0.6M TO THE REAR LoT LINE		ENCRoACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)	ENCRoACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)

CR Design

Semi Det. Dwelling w/ Att. Garages/ Cov. Porches

Lot 109 Bonaventure Drive, Hamner

Site Plan

DATE: 2026.04.19

SCALE: 1/8"=1'-0"

SP1



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00051

APPLICATION SUMMARY

File Date: 04/20/2026

Application Type: Minor Variance

Address(es): 4206 Bonaventure Drive, Hanmer P3P 0E2

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENTS CORP

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

SEE LETTER OF RATIONALE

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

SEE LETTER OF RATIONALE

Is there an eave encroachment?

Yes

Size of eaves

0.62

Lot Frontage of the property

10.5

Lot Depth of the property

31

Lot Area of the property

325.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

SEMI DETACHED DWELLING

Existing uses of neighbouring properties

SEMI DETACHED DWELLINGS AND SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SEMI DETACHED DWELLING	No	164	164	1	9.15	18.5	7.2	6	6.5	1.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
MAX. PERMITTED LOT COVERAGE - TABLE 6.3	45% - 146.5M ²	50.4% - 164M ²	5.4% - 17.5M ²
REQUIRED REAR YARD SETBACK - TABLE 6.3	7.5M	6.5M	1M
TABLE 4.1 EAVES	MAY ENCROACH 1.2M INTO REQUIRED YARD BUT NO CLOSER THAN 0.6M TO THE LOT LINE	ENCROACH 1.62M INTO REQUIRED REAR YARD SETBACK	0.42M

C.R. DESIGN

Letter of Rationale - LOT 109 Bonaventure Drive, Hanmer

Dear Members of the Committee of Adjustment,

On behalf of the developer, we are seeking relief from the rear yard setback, eaves encroachment to the rear lot line and lot coverage requirements for the proposed model on this site. This specific building design has been exceptionally well-received by the local senior community, providing the single-story accessibility and layout functionality that this demographic requires.

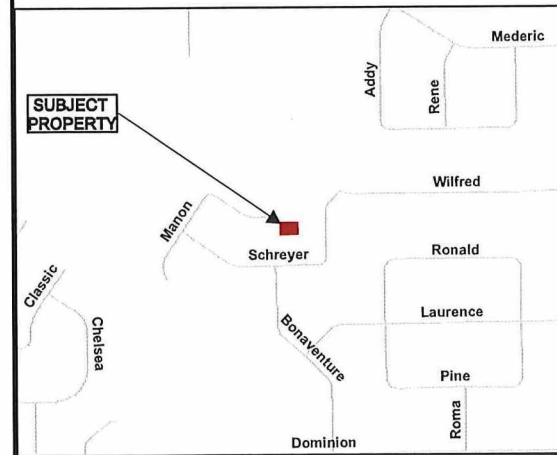
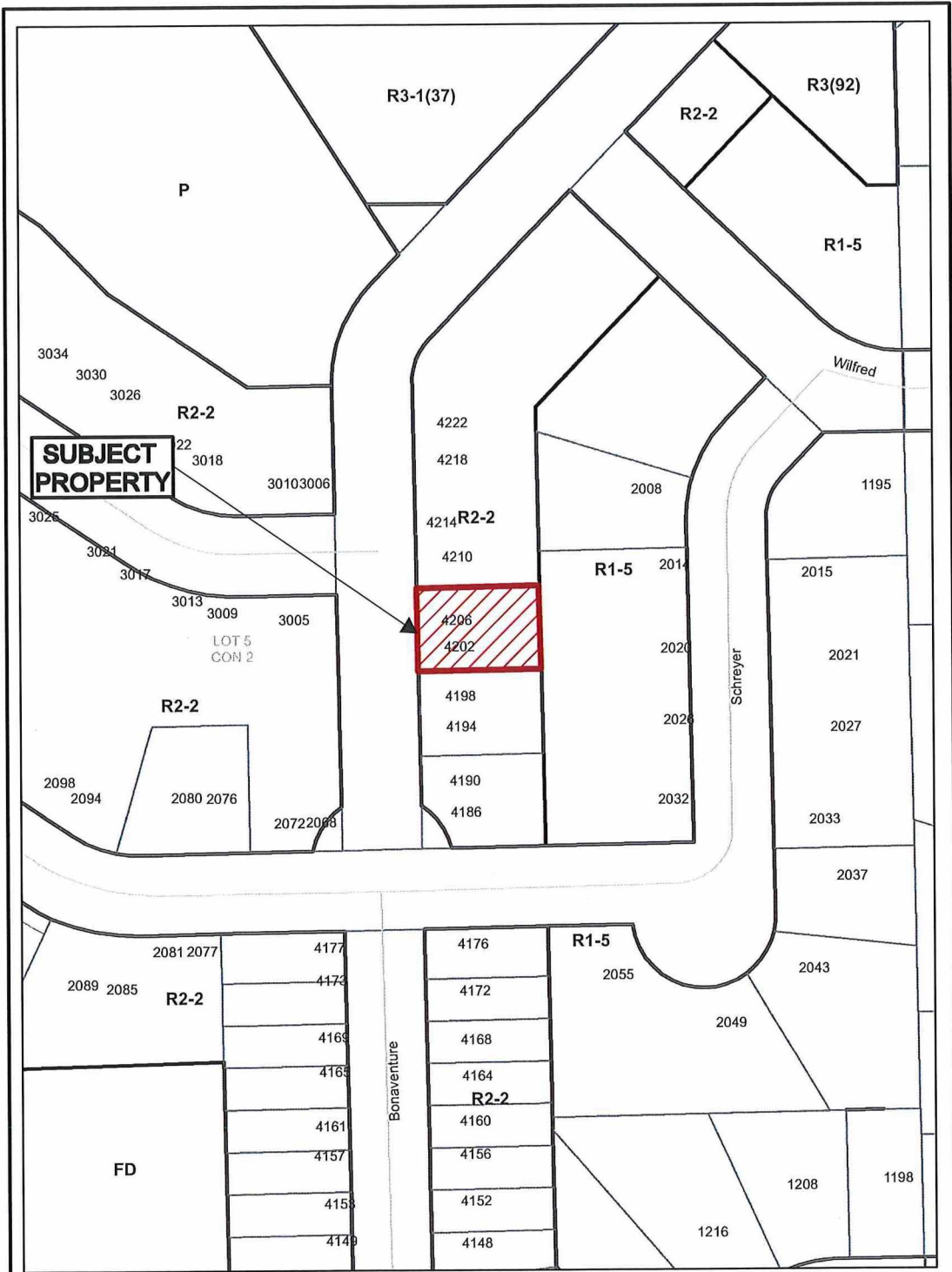
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We respectfully request the Committee's support for this application.

Sincerely,

**Rohit Walia
C.R. Design**

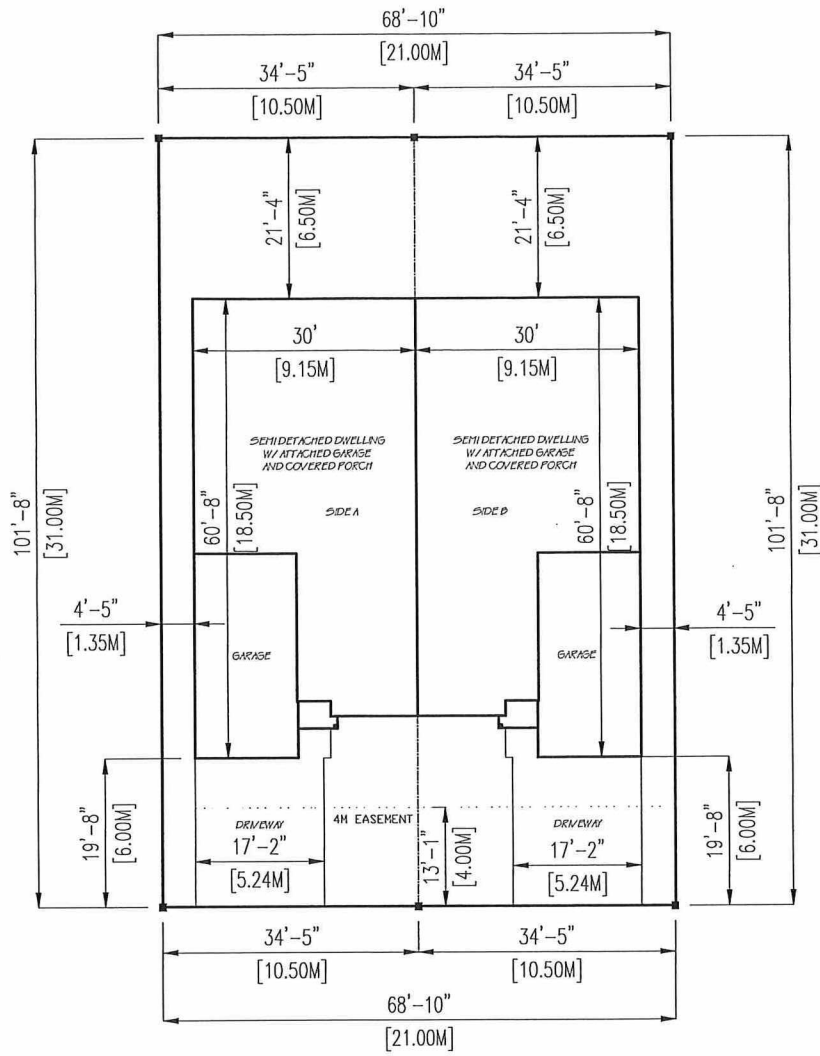


Application for Minor Variance or Permission



Subject Property being PIN 73504-3251, SRO, Part Lot 109, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4202 and 4206 Bonaventure Drive, Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2026-00050
 PL-MV-2026-00051
 Date: 2026 04 22



LOT 109 BONAVENTURE DRNE

SCALE



0 2 4 6 8 10

METRES

SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	21M X 31M 651 M2	10.5M X 31M 325.5 M2	10.5M X 31M 325.5 M2
MAXIMUM PERMITTED LOT COVERAGE TABLE 6.3	292.95 M2 (45%)	146.5 M2 (45%)	146.5 M2 (45%)
PROPOSED LOT COVERAGE	328M2 (50.4%)	164M2 (50.4%)	164M2 (50.4%)
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CR Design

Semi Det. Dwelling w/ Att Garages/ Cov. Porches

Lot 109 Bonaventure Drive, Hammer

Site Plan

2025.04.19

SP1



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00052

APPLICATION SUMMARY

File Date: 04/20/2026

Application Type: Minor Variance

Address(es): 4210 Bonaventure Drive, Hanmer P3P 0E2

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENTS CORP

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

SEE LETTER OF RATIONALE

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

SEE LETTER OF RATIONALE

Is there an eave encroachment?

Yes

Size of eaves

0.62

Lot Frontage of the property

10.5

Lot Depth of the property

31

Lot Area of the property

325.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

SEMI DETACHED DWELLING

Existing uses of neighbouring properties

SEMI DETACHED DWELLINGS AND SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SEMI DETACHED DWELLING	No	164	164	1	9.15	18.5	7.2	6	6.5	1.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
TABLE 6.3 - TOTAL LOT COVERAGE	45% - 146.5 M2	164M2 - 50.4%	5.4% - 17.5M2
TABLE 6.3 - REQUIRED REAR YARD SETBACK	7.5M	6.5M	1M
TABLE 4.1 EAVES	MAY ENCROACH 1.2M INTO REQUIRED YARD BUT NO CLOSER THAN 0.6M TO THE LOT LINE	ENCROACH 1.62M INTO REQUIRED REAR YARD SETBACK	0.42M

C.R. DESIGN

Letter of Rationale - LOT 110 Bonaventure Drive, Hanmer

Dear Members of the Committee of Adjustment,

On behalf of the developer, we are seeking relief from the rear yard setback, eaves encroachment to the rear lot line and lot coverage requirements for the proposed model on this site. This specific building design has been exceptionally well-received by the local senior community, providing the single-story accessibility and layout functionality that this demographic requires.

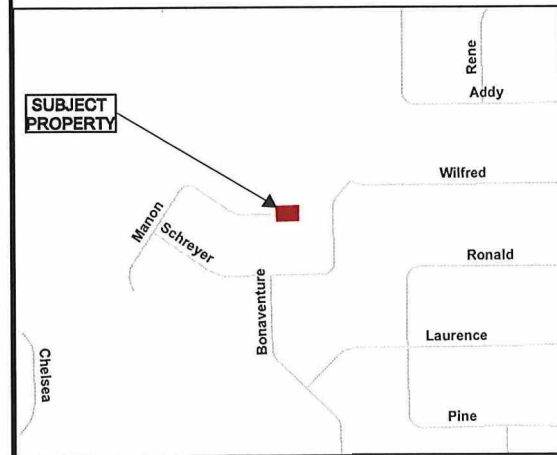
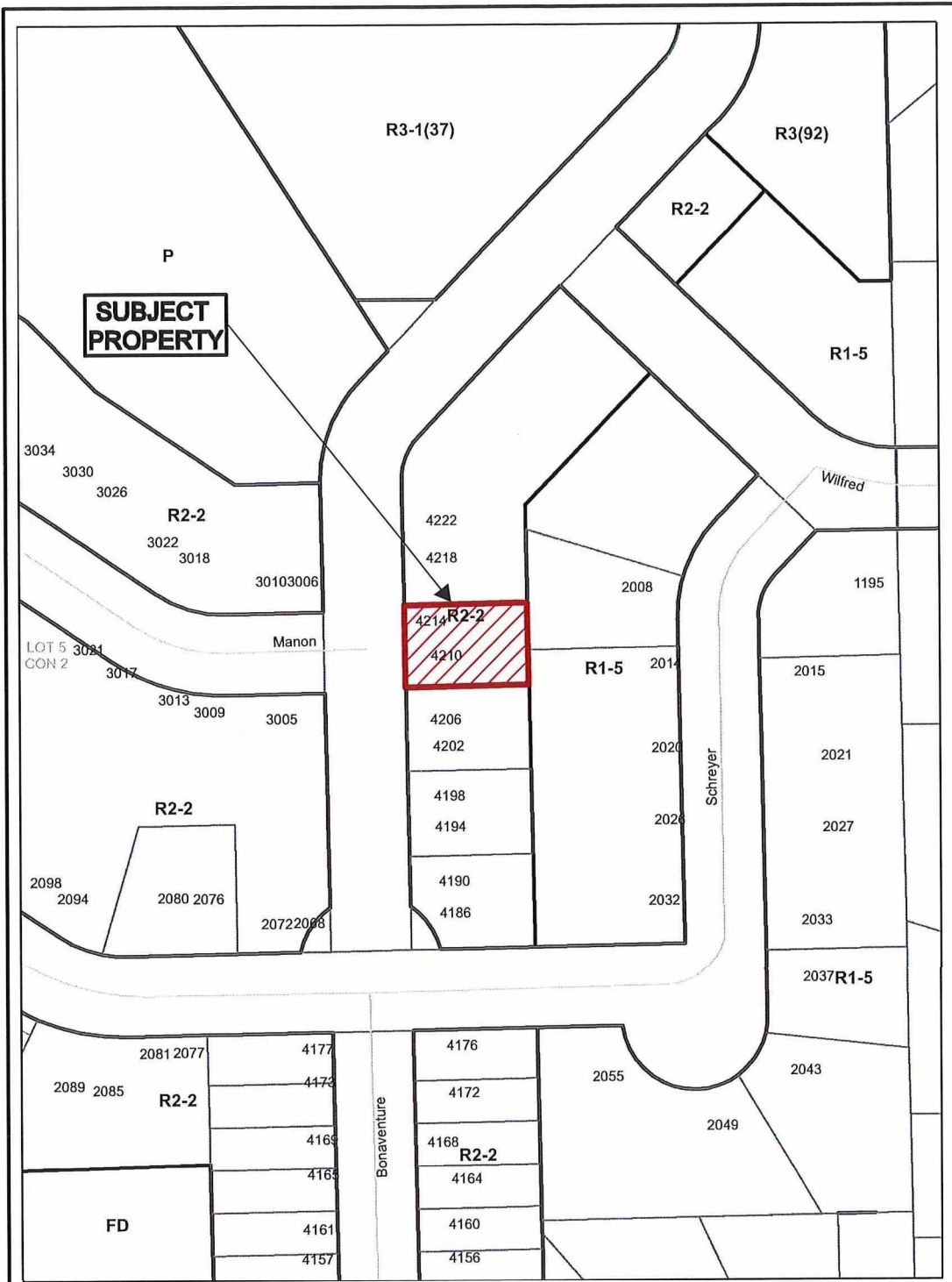
While the building's length necessitates a minor reduction in the rear yard setback and eaves encroachment, the design has been carefully positioned to ensure that privacy for all abutting neighbors is maintained. The proposed lot coverage represents a marginal increase over the permitted threshold and remains consistent with the character and scale of other recent builds within the subdivision. These homes contribute to the neighborhood's aesthetic while addressing a critical need for high-quality, accessible housing.

With recent federal policy changes providing full HST rebates on new housing, we have seen a significant increase in demand for this model. We believe these variances are minor in nature, represent a desirable development of the land, and will not have any negative impact on the surrounding area.

We respectfully request the Committee's support for this application.

Sincerely,

**Rohit Walia
C.R. Design**

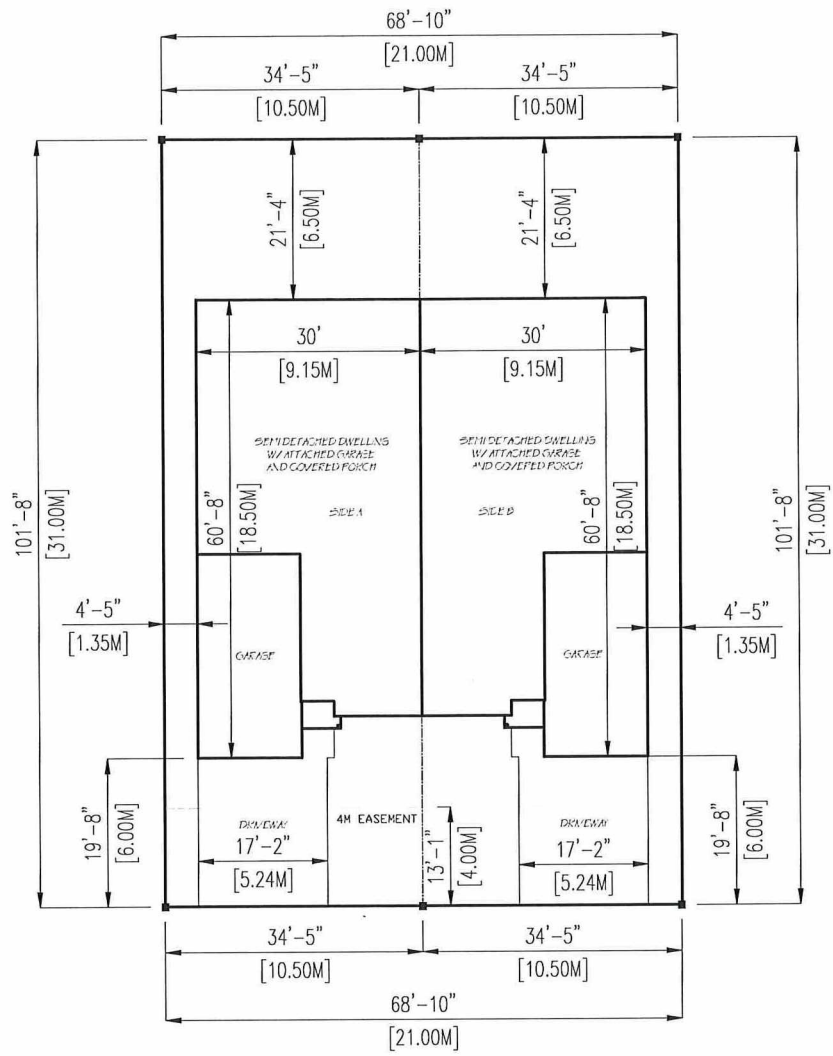


Application for Minor Variance or Permission



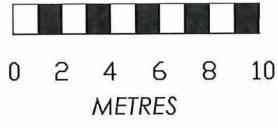
Subject Property being PIN 73504-3251, SRO, Lot 110, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4210 and 4214 Bonaventure Drive, Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2026-00052
 PL-MV-2026-00053
 Date: 2026 04 22



LOT 110 BONAVENTURE DRIVE

SCALE



SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	21M X 31M 651 M ²	10.5M X 31M 325.5 M ²	10.5M X 31M 325.5 M ²
MAXIMUM PERMITTED LOT COVERAGE TABLE 6.3	292.95 M ² (45%)	146.5 M ² (45%)	146.5 M ² (45%)
PROPOSED LOT COVERAGE	328M ² (50.4%)	164M ² (50.4%)	164M ² (50.4%)
PERCENTAGE OF LOT COVERAGE EXCEEDING BYLAW		17.5M ² (5.4%)	17.5M ² (5.4%)
REQUIRED REAR YARD SETBACK TABLE 6.3	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK		6.50 METRES	6.50 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		1.0M	1.0M
EAVES ENCRDACHMENT TABLE 4.1 MAY ENCRDACH 1.2M INTO THE REQUIRED YARD BUT NOT CLOSER THAN 0.6M TO THE REAR LOT LINE		ENCRDACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)	ENCRDACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)

CR Design

Project	Semi Det. Dwelling w/ Att. Garages/ Cov. Porches	Date	
Client	Lot 110 Bonaventure Drive, Hanmer	Drawn By	
Site	Site Plan	Scale	SP1



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00053

APPLICATION SUMMARY

File Date: 04/20/2026

Application Type: Minor Variance

Address(es): 4214 Bonaventure Drive, Hanmer P3P 0E2

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENTS CORP

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

SEE LETTER OF RATIONALE

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

SEE LETTER OF RATIONALE

Is there an eave encroachment?

Yes

Size of eaves

0.62

Lot Frontage of the property

10.5

Lot Depth of the property

31

Lot Area of the property

325.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

SEMI DETACHED DWELLING

Existing uses of neighbouring properties

SEMI DETACHED DWELLINGS AND SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SEMI DETACHED DWELLING	No	164	164	1	9.15	18.5	7.2	6	6.5	1.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
TABLE 6.3 - TOTAL LOT COVERAGE	45% - 146.5M2	50.4% - 164M2	5.4% - 17.5M2
TABLE 6.3 - REAR YARD SETBACK	7.5M	6.5M	1M
TABLE 4.1 EAVES	MAY ENCROACH 1.2M INTO REQUIRED YARD BUT NO CLOSER THAN 0.6M TO THE LOT LINE	ENCROACH 1.62M INTO REQUIRED REAR YARD SETBACK	0.42M

C.R. DESIGN

Letter of Rationale - LOT 110 Bonaventure Drive, Hanmer

Dear Members of the Committee of Adjustment,

On behalf of the developer, we are seeking relief from the rear yard setback, eaves encroachment to the rear lot line and lot coverage requirements for the proposed model on this site. This specific building design has been exceptionally well-received by the local senior community, providing the single-story accessibility and layout functionality that this demographic requires.

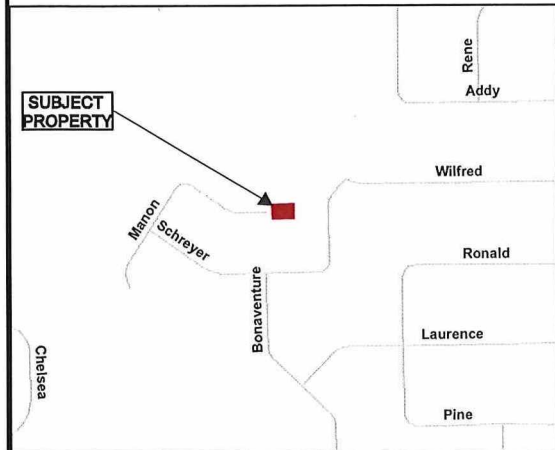
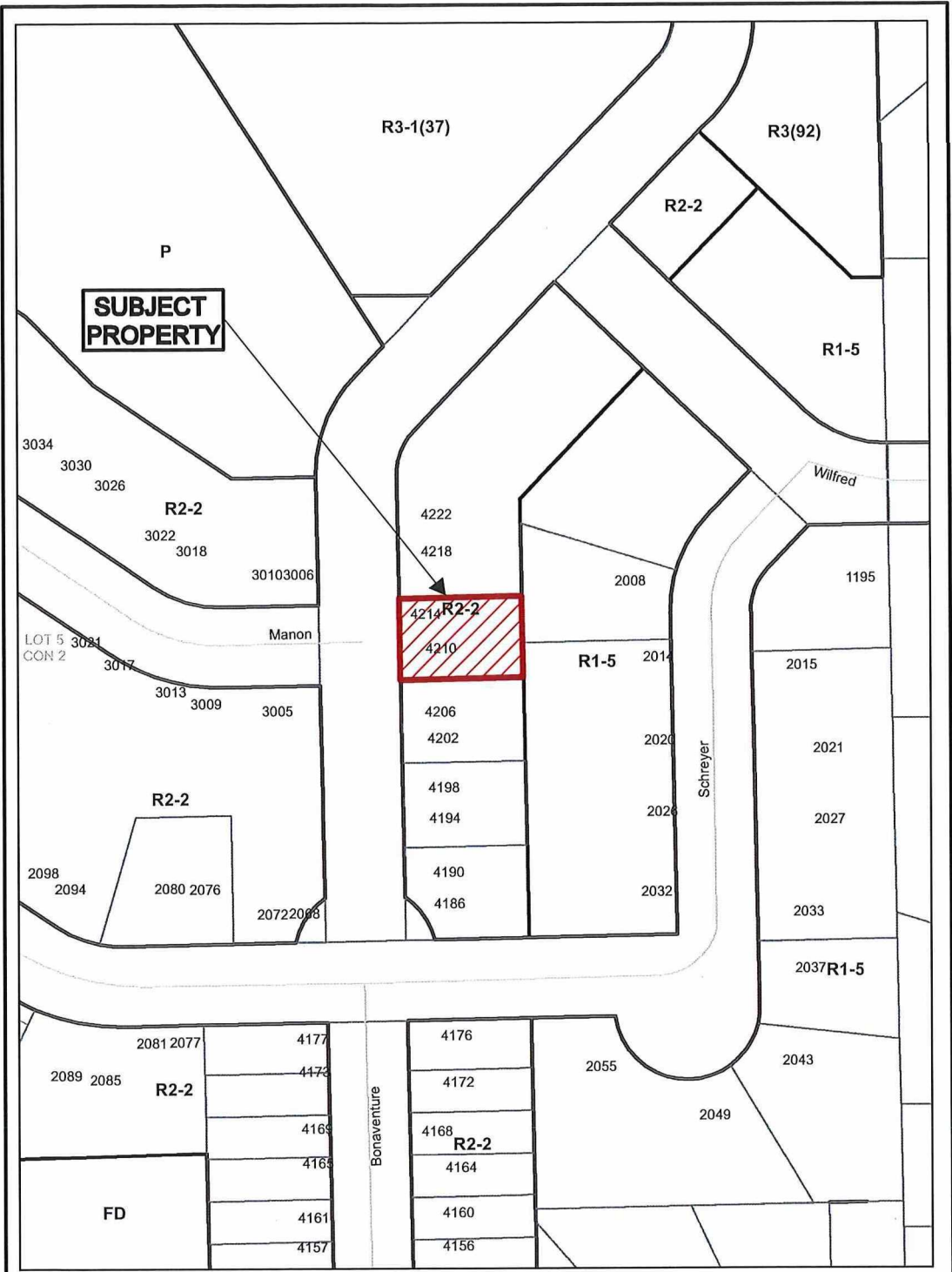
While the building's length necessitates a minor reduction in the rear yard setback and eaves encroachment, the design has been carefully positioned to ensure that privacy for all abutting neighbors is maintained. The proposed lot coverage represents a marginal increase over the permitted threshold and remains consistent with the character and scale of other recent builds within the subdivision. These homes contribute to the neighborhood's aesthetic while addressing a critical need for high-quality, accessible housing.

With recent federal policy changes providing full HST rebates on new housing, we have seen a significant increase in demand for this model. We believe these variances are minor in nature, represent a desirable development of the land, and will not have any negative impact on the surrounding area.

We respectfully request the Committee's support for this application.

Sincerely,

**Rohit Walia
C.R. Design**

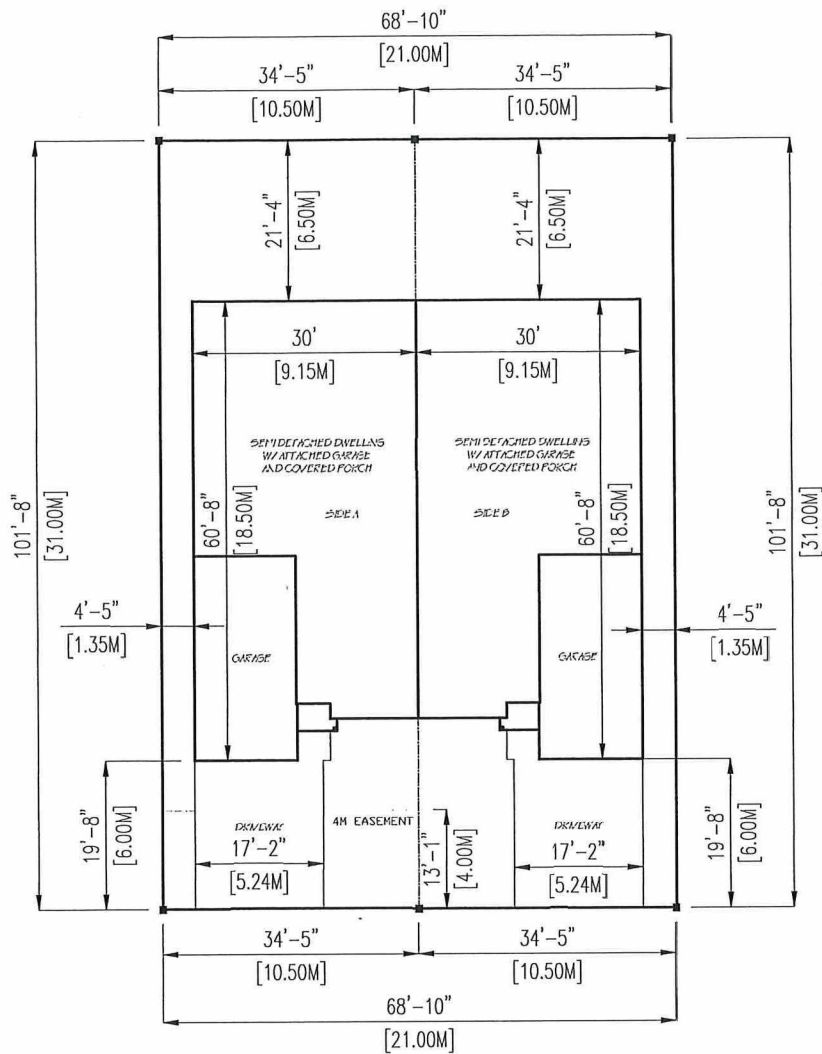


Application for Minor Variance or Permission

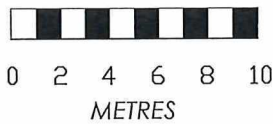


Subject Property being PIN 73504-3251, SRO, Part Lot 110, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 4210 and 4214 Bonaventure Drive, Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2026-00052
 PL-MV-2026-00053
 Date: 2026 04 22



LOT 110 BONAVENTURE DRIVE
SCALE



SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	21M X 31M 651 M ²	10.5M X 31M 325.5 M ²	10.5M X 31M 325.5 M ²
MAXIMUM PERMITTED LOT COVERAGE TABLE 6.3	292.95 M ² (45%)	146.5 M ² (45%)	146.5 M ² (45%)
PROPOSED LOT COVERAGE	328M ² (50.4%)	164M ² (50.4%)	164M ² (50.4%)
PERCENTAGE OF LOT COVERAGE EXCEEDING BYLAW		17.5M ² (5.4%)	17.5M ² (5.4%)
REQUIRED REAR YARD SETBACK TABLE 6.3	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK		6.50 METRES	6.50 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		1.0M	1.0M
EAVES ENCRDACHMENT TABLE 4.1 MAY ENCRDACH 1.2M INTO THE REQUIRED REAR YARD BUT NOT CLOSER THAN 0.6M TO THE REAR LOT LINE		ENCRDACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)	ENCRDACH 1.62M INTO REQUIRED REAR YARD WHERE 1.2M IS PERMITTED (0.42M)

CR Design

Site Plan

SP1



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00054

APPLICATION SUMMARY

File Date: 04/20/2026

Application Type: Minor Variance

Address(es): 3101 Manon Street, Hanmer, ON

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENTS CORP

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

SEE LETTER OF RATIONALE

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

SEE LETTER OF RATIONALE

Is there an eave encroachment?

Yes

Size of eaves

0.62

Lot Frontage of the property

10.5

Lot Depth of the property

31

Lot Area of the property

325.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

SEMI DETACHED DWELLING

Existing uses of neighbouring properties

SEMI DETACHED DWELLINGS AND SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SEMI DETACHED DWELLING	No	164	164	1	9.15	18.5	7.2	6	6.36	1.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
TABLE 6.3 - TOTAL LOT COVERAGE	45% - 146.5 M2	50.4% - 164M2	5.4% - 17.5M2
TABLE 6.3 - REAR YARD SETBACK	7.5M	6.36M	1.14M
TABLE 6.3 - CORNER SIDE YARD SETBACK	4.5M	1.35M	3.15M
TABLE 4.1 - EAVES	ENCROACH NO MORE THAN 1.2M INTO REQUIRED REAR AND CORNER SIDE YARDS	ENCROACH 1.76M INTO REAR YARD AND CORNER SIDE YARD	0.56M (REAR) AND 2.56M (CORNER SIDE YARD)

5.2.4.3 YARDS WHERE PARKING AREAS ARE PERMITTED	<p>OUTDOOR PARKING AREAS SHALL BE PERMITTED IN ANY PART OF ANY YARD, EXCEPT THAT NO PART OF ANY PARKING AREA SHALL BE LOCATED:</p> <p>a) WITHIN A SIGHT TRIANGLE IN ACCORDANCE WITH SECTION 4.35 OF THIS BY-LAW; -AND- d) IN ANY REQUIRED FRONT YARD OR REQUIRED CORNER SIDE YARD IN ANY RESIDENTIAL (R) ZONE EXCEPT AS PROVIDED IN SECTION SECTION 5.4.2 D), SECTION 5.4.2 E), SECTION 5.2.9.1.1, OR SECTION 5.5.3 B).</p>	<p>PERMIT ADDITIONAL PARKING (NOT REQUIRED) LOCATED IN SIGHT TRIANGLE</p>	<p>NOT PERMITTED</p>
5.4.3.2 (a)(i) - ENTRANCES FOR DRIVEWAYS	<p>a) DRIVEWAYS USED FOR PROVIDING ACCESS FOR THE PARKING OF MOTOR VEHICLES, SHALL:</p> <p>i) NOT BE LOCATED WITHIN A SIGHT TRIANGLE, EXCEPT THAT, WHERE A LOT IS OCCUPIED BY A SEMI-DETACHED DWELLING UNIT, THE DRIVEWAY SHALL BE LOCATED ALONG THE FRONT LOT LINE OR EXTERIOR SIDE LOT LINE, AT THE LOCATION FURTHEST REMOVED FROM THE INTERSECTION</p>	<p>PERMIT DRIVEWAY WITHIN SIGHT TRIANGLE</p>	<p>NOT PERMITTED</p>
4.35.2 PROHIBITION OF OBSTRUCTIONS	<p>WITHIN ANY PART OF A SIGHT TRIANGLE AS DEFINED HEREIN: b) NO VEHICLE SHALL BE PARKED OR STORED; IN SUCH A MANNER AS TO IMPEDE OR OBSTRUCT IN ANY WAY THE FIELD OF VIEW ACROSS SUCH SIGHT TRIANGLE FOR PERSONS DRIVING VEHICLES ON AN ABUTTING ROAD, BUT IN NO CASE GREATER THAN 1.0 METRE IN HEIGHT ABOVE THE AVERAGE ELEVATION OF THE SAID SIGHT TRIANGLE, DETERMINED BY AVERAGING THE ELEVATIONS OF THE THREE CORNER POINTS THEREOF.</p>	<p>PERMIT</p>	<p>NOT PERMITTED</p>

Letter of Rationale – Lot 148 Manon Street, Hanmer

Dear Committee Members,

On behalf of the developer, we are respectfully seeking relief from the **rear yard setback**, **eaves encroachment**, and **lot coverage** requirements for a proposed single-story semi-detached dwelling on Lot 148. This specific building design has been exceptionally well-received by the local senior community, providing the single-story accessibility and layout functionality that this demographic requires.

Building Design and Site Coverage: The building's length (18.50m) is essential to achieving a high-quality, spacious floor plan. While this necessitates a minor reduction in the rear yard setback to **6.36m**, the design has been carefully positioned to ensure that the privacy of all abutting neighbors is maintained. The proposed lot coverage represents a marginal increase over the permitted threshold and remains consistent with the character and scale of other recent builds within the subdivision. These homes contribute to the neighborhood's aesthetic while addressing a critical need for housing demand that has significantly increased following recent federal policy changes regarding HST rebates on new builds.

The Interior Lot Condition: Regarding the variances pertaining to the property's classification as a "corner lot," it is our professional opinion that this status is a temporary byproduct of the subdivision's phasing rather than a permanent site condition. Lot 148 is situated at the current terminus of Manon Street, where the road was widened specifically to create a temporary turnaround for municipal services like snowplows and refuse collection.

As shown in the attached **Future Phase Concept Plan**, Manon Street is intended to extend past Lot 148. Once the next phase is registered, Lot 148 will legally and functionally become an **interior lot**. Because this is not an intersection in the true sense—lacking stop signs, traffic lights, or through traffic—the standard safety and planning concerns associated with corner lots are not applicable here. Even if the future phase extension were delayed, the variances would have no negative impact on the area's functionality or safety.

Alignment with the Four Tests of the Planning Act

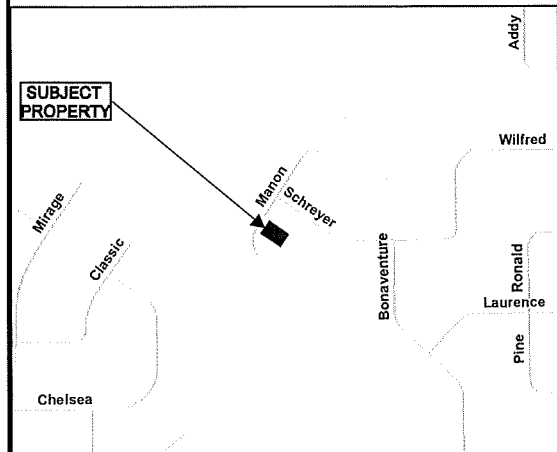
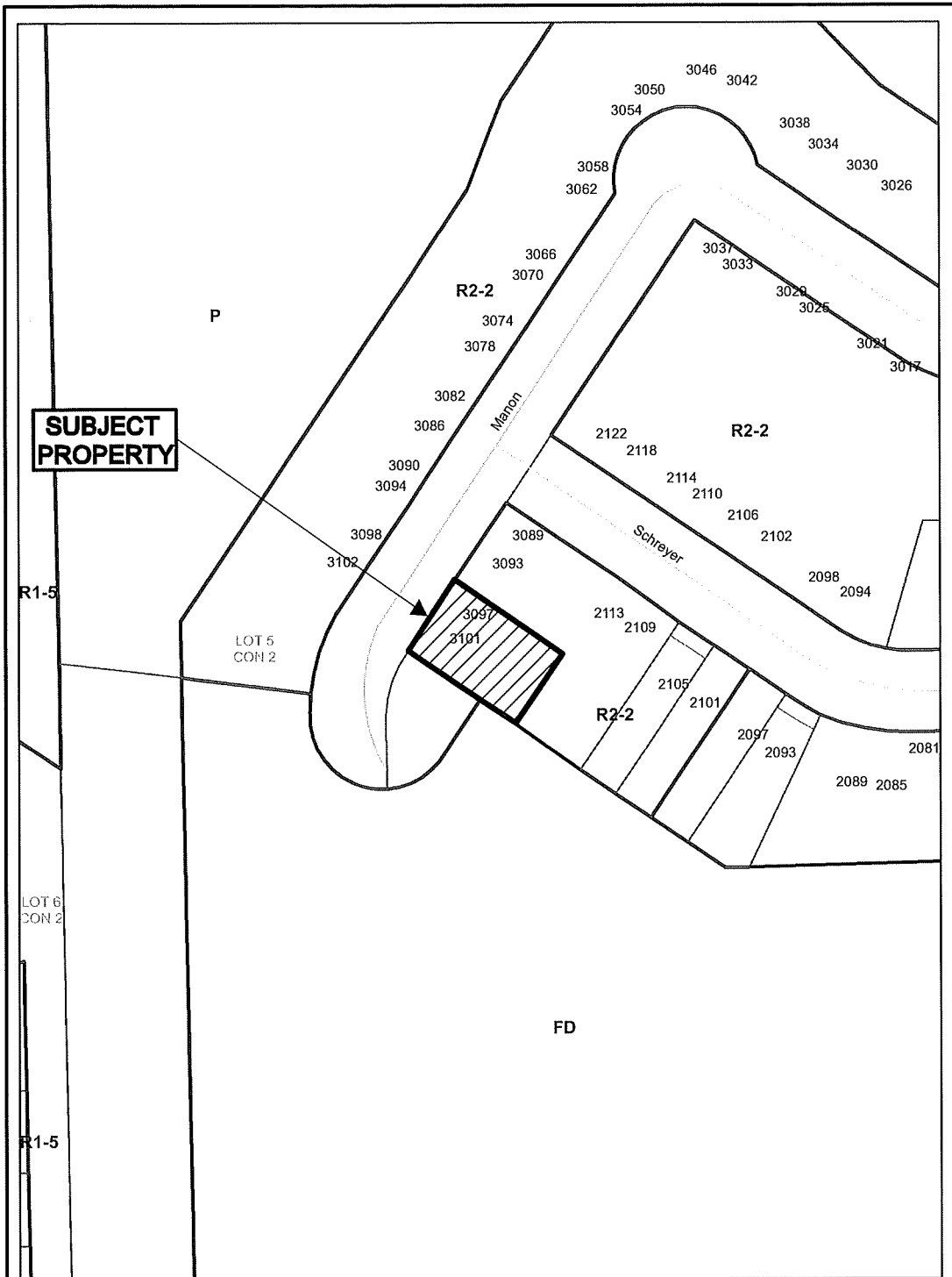
We believe these variances meet the four tests of the Planning Act as follows:

- **Minor in Nature:** The changes are incremental and do not result in adverse impacts on neighboring properties or the streetscape.
- **Desirable for Appropriate Development:** The project provides much-needed accessible housing for seniors in the Hanmer area.
- **Maintains Intent of the Official Plan/Zoning:** The residential use is maintained, and the "corner" provisions—intended for traffic safety—are not relevant to this dead-end turnaround.
- **Maintains Intent of the By-law:** The design ensures proper safety and drainage while maximizing the utility of a lot currently penalized by a temporary municipal turnaround configuration.

We believe these variances represent a desirable development of the land and will not have any negative impact on the surrounding area. We respectfully request the Committee's support for this application.

Sincerely,

Rohit Walia
C.R. Design



**Application for Minor
Variance or Permission**

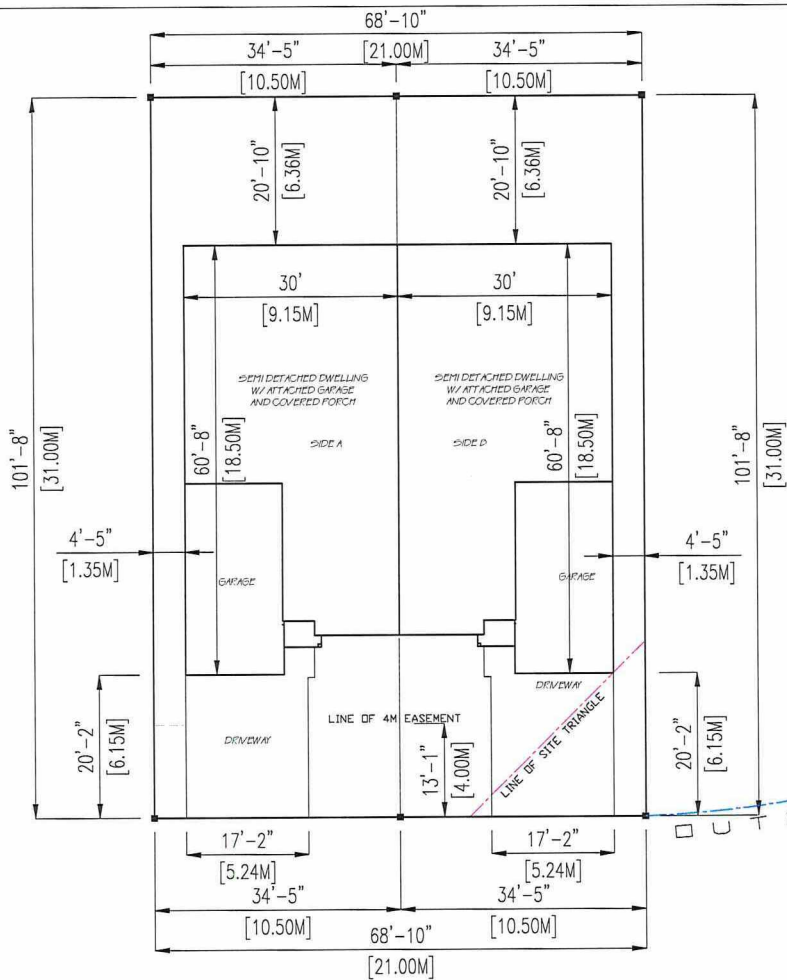


Subject Property being PIN 73504-3267,
SRO, Lot 148, Plan M-1115,
Part Lot 5, Concession 2,
Township of Hanmer,
3101 and 3097 Manon Street, Hanmer,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00054
PL-MV-2026-00055
Date: 2026 04 27

SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	216 X 314 67,824 SQ. FT.	185X X 314 58,070 SQ. FT.	185X X 314 58,070 SQ. FT.
PERMITTED LOT COVERAGE TABLE 6.3	25% (545)	14% (30)	14% (30)
PROPOSED LOT COVERAGE	32% (694)	16% (34)	16% (34)
PERCENTAGE OF LOT COVERAGE EXCEEDING BYLAW		17% (34)	17% (34)
REQUIRES CORNER SIDE YARD SETBACK TABLE 6.3			4.5M
PROPOSED CORNER SIDE YARD SETBACK			1.2M
DIFFERENCE OF REQUIRED CORNER SIDE YARD SETBACK TO PROPOSED			3.3M
REQUIRES REAR YARD SETBACK TABLE 6.3	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK	6.36 METRES	6.36 METRES	6.36 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		1.14M	1.14M
BYLAW REFERENCE	BYLAW DEFINITION	SIDE A	SIDE B
EAVES ENFORCEMENT TABLE 4.1	MAY ENCRUSH L76X INTO THE REAR YARD BUT NOT CLOSER THAN 5.0M TO THE REAR LOT LINE	ENCRUSH L76X INTO REAR YARD WHERE L76X IS PERMITTED (5.0M)	ENCRUSH L76X INTO REAR YARD WHERE L76X IS PERMITTED (5.0M) AND ENCRUSH 376X INTO REAR YARD WHERE L76X IS PERMITTED (5.0M)
SALESMAN ENTRIES FOR DRIVEWAYS	IF NOT BE LOCATED WITHIN A 50% TRIANGLE, EXCEPT THIS, WHERE A LOT IS OCCUPIED BY A 2-STOREY DWELLING UNIT, THE DRIVEWAY SHALL BE LOCATED ALONG THE FRONT LOT LINE OR EXTEND FROM THE LINE AT THE LOCATION FURTHEST FROM THE INTERSECTION AND		LOCATE THE DRIVEWAY NOT FURTHER FROM THE INTERSECTION AND WITHIN SITE TRIANGLE
32.62% YARDS WHERE PARKING IS PERMITTED	NO PARKING SHALL BE LOCATED AS WITHIN A TRIANGLE IN ACCORDANCE WITH SECTION 4.3.2 OF THIS BY-LAW. IF ANY REAR YARD OR REAR CORNER SIDE YARD IN ANY RESIDENTIAL OR ZONE EXCEPT AS PROVIDED IN SECTION 3.5.1(1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)		ADDITIONAL PARKING LOCATED WITHIN SITE TRIANGLE / CORNER SIDE YARD



LOT 148 MANON STREET

PROPOSED FUTURE PARK

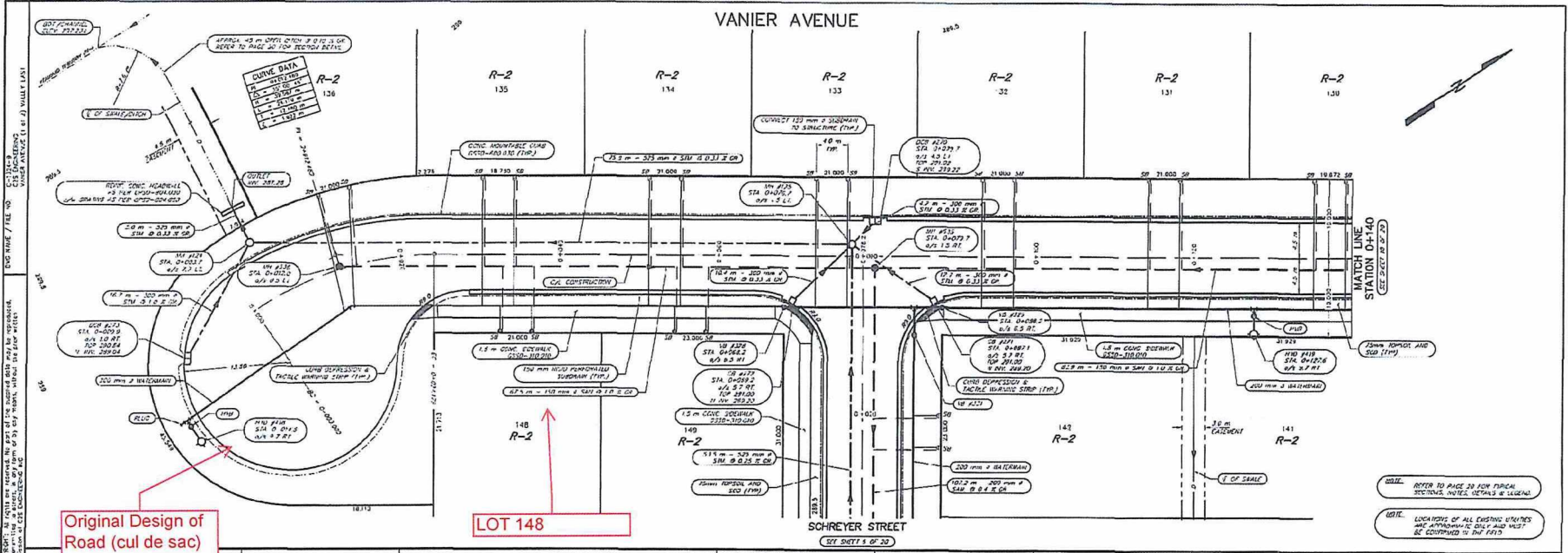
OUTLINE OF FUTURE ROAD



PROJECT	DATE	BY
SEMI DETACHED DWELLING	RW	PHOTO
LOT 148 MANON STREET, HANMER	RW	DRWING
DATE	SCALE	PP
Plot Plan-B	2026-04-20	1/8"=1'-0"

PL-MW-2026-00054
Sketch 3

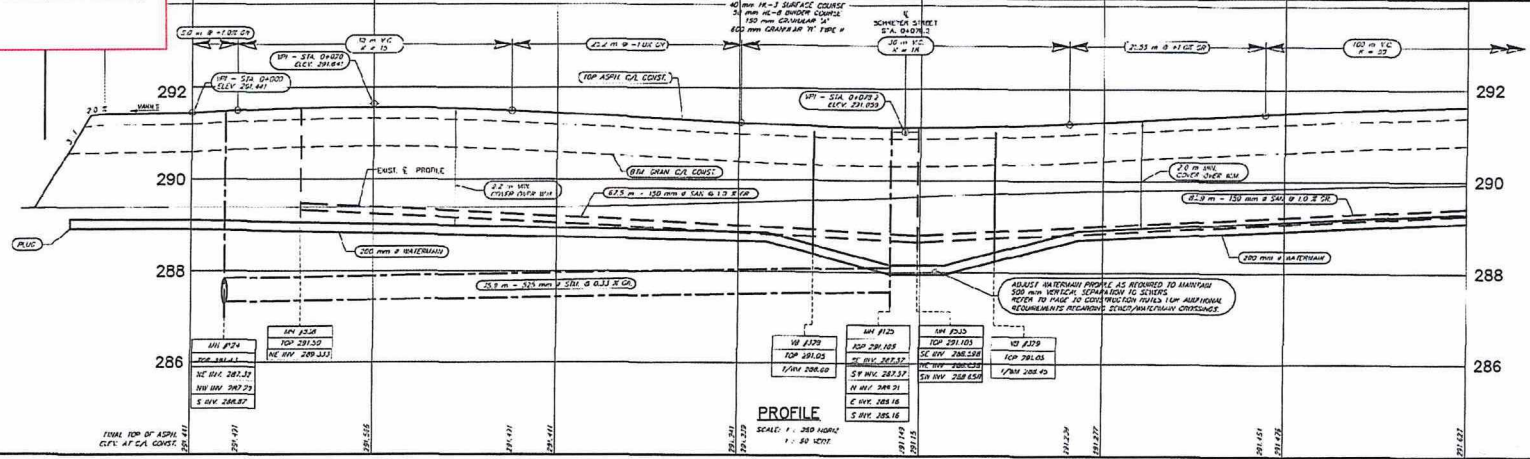
VANIER AVENUE



Original Design of Road (cul de sac)

LOT 148

NOTE: REFER TO PAGE 24 FOR PHYSICAL SECTIONS, NOTES, DETAILS & LEGEND.
NOTE: LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE ONLY AND MUST BE CORROBORATED IN THE FIELD.



CHAIRAGE: 0+000, 0+005, 0+010, 0+015, 0+020, 0+025, 0+030, 0+035, 0+040, 0+045, 0+050, 0+055, 0+060, 0+065, 0+070, 0+075, 0+080, 0+085, 0+090, 0+095, 0+100, 0+105, 0+110, 0+115, 0+120, 0+125, 0+130, 0+135, 0+140, 0+145, 0+150, 0+155, 0+160, 0+165, 0+170, 0+175, 0+180, 0+185, 0+190, 0+195, 0+200.

NOTES		REVISIONS		CAUTION	
1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE INDICATED.		DATE	DETAILS	BY	
		OCT. 24, 2019	FOR CLIENT REVIEW	N.W.C.	
		JAN. 24, 2020	ISSUED FOR WEC CEA APPROVAL	N.W.C.	
					- ALL UTILITIES ARE NOT NECESSARILY SHOWN ON THIS DRAWING. - WHERE UTILITIES ARE SHOWN, LOCATIONS ARE NOT GUARANTEED. - LOCATION & SIZE OF ALL UTILITIES MUST BE VERIFIED IN THE FIELD.



DATE: MAY 2, 2019
 DRAWN: J.D.S.
 DESIGNED: H.W.C.
 CHECKED: H.W.C.
 ENGINEER:
 APPROVED:

C2S ENGINEERING
 • CIVIL INFRASTRUCTURE • LAND DEVELOPMENT •
 • ROADS & BRIDGES • BUILDINGS • WATER RESOURCES •
 • PROJECT MANAGEMENT •

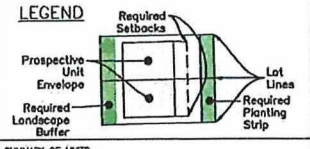
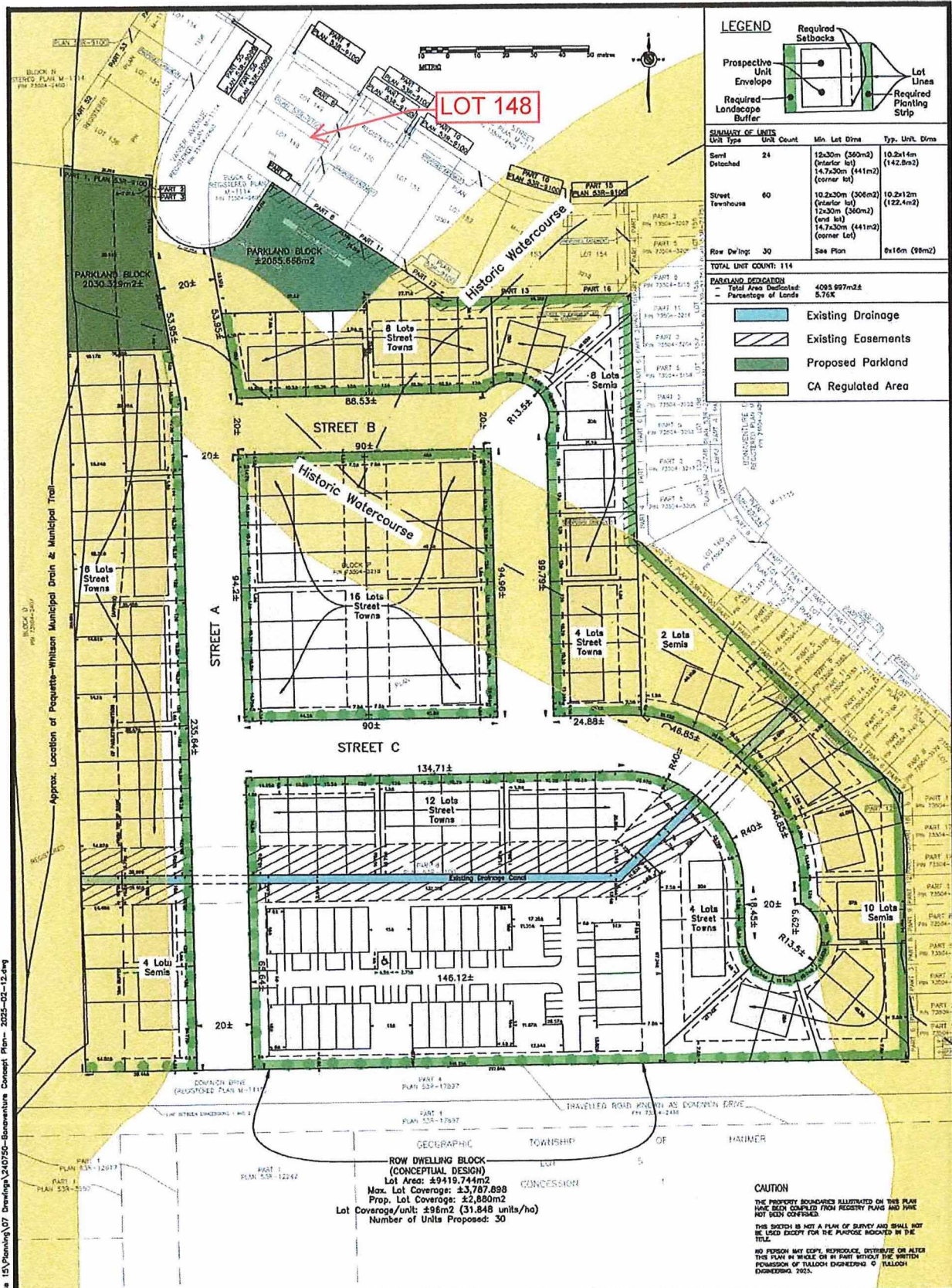
DOMINION PARK DEVELOPMENT
 (FORMERLY DONAVENTURE VILLAGE PHASES 6A, 6B, 7 & 8)

VANIER AVENUE
 PLAN AND PROFILE
 STATION 0+000 TO STATION 0+140
 CIVIL

SCALE: 1:250 HORIZ
 1:30 VERT
 PROJECT #: 640-1324
 CIVIL FILE NUMBER: C-1324-9
 PLOT NO.: 9 of 20

PL-MV-2016-00054
 Sketch 4

P:\2024\240750 Bonaventure Rezoning 2024 - Phase 1\Planning\07 Drawings\240750-Bonaventure Concept Plan- 2025-02-12.dwg



SUMMARY OF UNITS	Unit Type	Unit Count	Min. Lot Area	Typ. Unit Area
Semi Detached	12x30m (360m ²) (retailor lot)	24	10.2x14m (142.8m ²)	10.2x14m (142.8m ²)
	14.7x30m (441m ²) (corner lot)			
Street Townhouse	10.2x30m (306m ²) (retailor lot)	60	10.2x12m (122.4m ²)	10.2x12m (122.4m ²)
	12x30m (360m ²) (end lot)			
	14.7x30m (441m ²) (corner lot)			
Row Dwg:	30		See Plan	6x16m (96m ²)
TOTAL UNIT COUNT: 114				

PARKLAND DESIGNATION	Total Area Designated	Percentage of Lands
Existing Drainage	4003.997m ²	5.7%
Existing Easements		
Proposed Parkland		
CA Regulated Area		

ROW DWELLING BLOCK (CONCEPTUAL DESIGN)
 Lot Area: ±9419,744m²
 Max. Lot Coverage: ±3,787,898
 Pop. Lot Coverage: ±2,860m²
 Lot Coverage/Unit: ±95m² (31,848 units/ha)
 Number of Units Proposed: 30

CAUTION
 THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN HAVE BEEN OBTAINED FROM RECOVERY PLANS AND HAVE NOT BEEN CONFIRMED.
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T: 705-522-6303
 131 FIELDING ROAD
 LIVELY, ONTARIO
 P3Y 1L7

PROJECT: **Bonaventure Rezoning**
SW Dominion Subdivision

DRAWING: **Concept Plan for Geotechnical**

No.	DATE	BY	ISSUES / REVISIONS

DRAWN BY: MDJ	CHECKED BY: JMVS	PROJECT No.: 240750
SCALE 1:1250 Met.	DATE FEB 12, 2025	

PLAN-2025-00054
 sketch 5



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00055

APPLICATION SUMMARY

File Date: 04/20/2026

Application Type: Minor Variance

Address(es): 3097 Manon Street, Hanmer P3P 0E3

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENTS CORP

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

SEE LETTER OF RATIONALE

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

SEE LETTER OF RATIONALE

Is there an eave encroachment?

Yes

Size of eaves

0.62

Lot Frontage of the property

10.5

Lot Depth of the property

31

Lot Area of the property

325.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

SEMI DETACHED DWELLING

Existing uses of neighbouring properties

SEMI DETACHED DWELLINGS AND SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SEMI DETACHED DWELLING	No	164	164	1	9.15	18.5	7.2	6	6.36	1.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
TABLE 6.3 - TOTAL LOT COVERAGE	45% - 146.5 M2	50.4% - 164M2	5.4% - 17.5M2
TABLE 6.3 - REAR YARD SETBACK	7.5M	6.36M	1.14M
EAVES	ENCROACH NO MORE THAN 1.2M INTO REQUIRED YARD	ENCROACH 1.76M INTO REQUIRED REAR YARD	0.56M

C.R. DESIGN

Letter of Rationale - LOT 148 Manon Street, Hanmer - Side A

Dear Members of the Committee of Adjustment,

On behalf of the developer, we are seeking relief from the rear yard setback, eaves encroachment to the rear lot line and lot coverage requirements for the proposed model on this site. This specific building design has been exceptionally well-received by the local senior community, providing the single-story accessibility and layout functionality that this demographic requires.

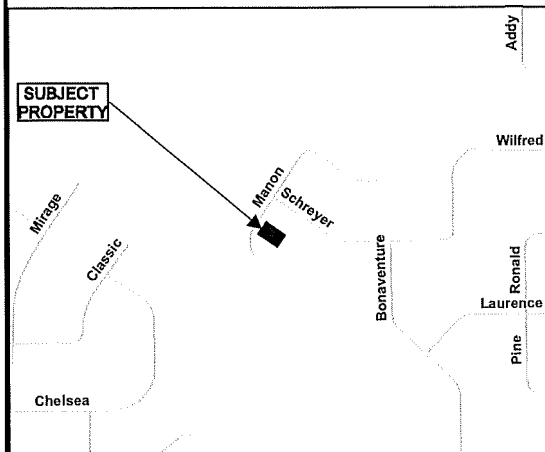
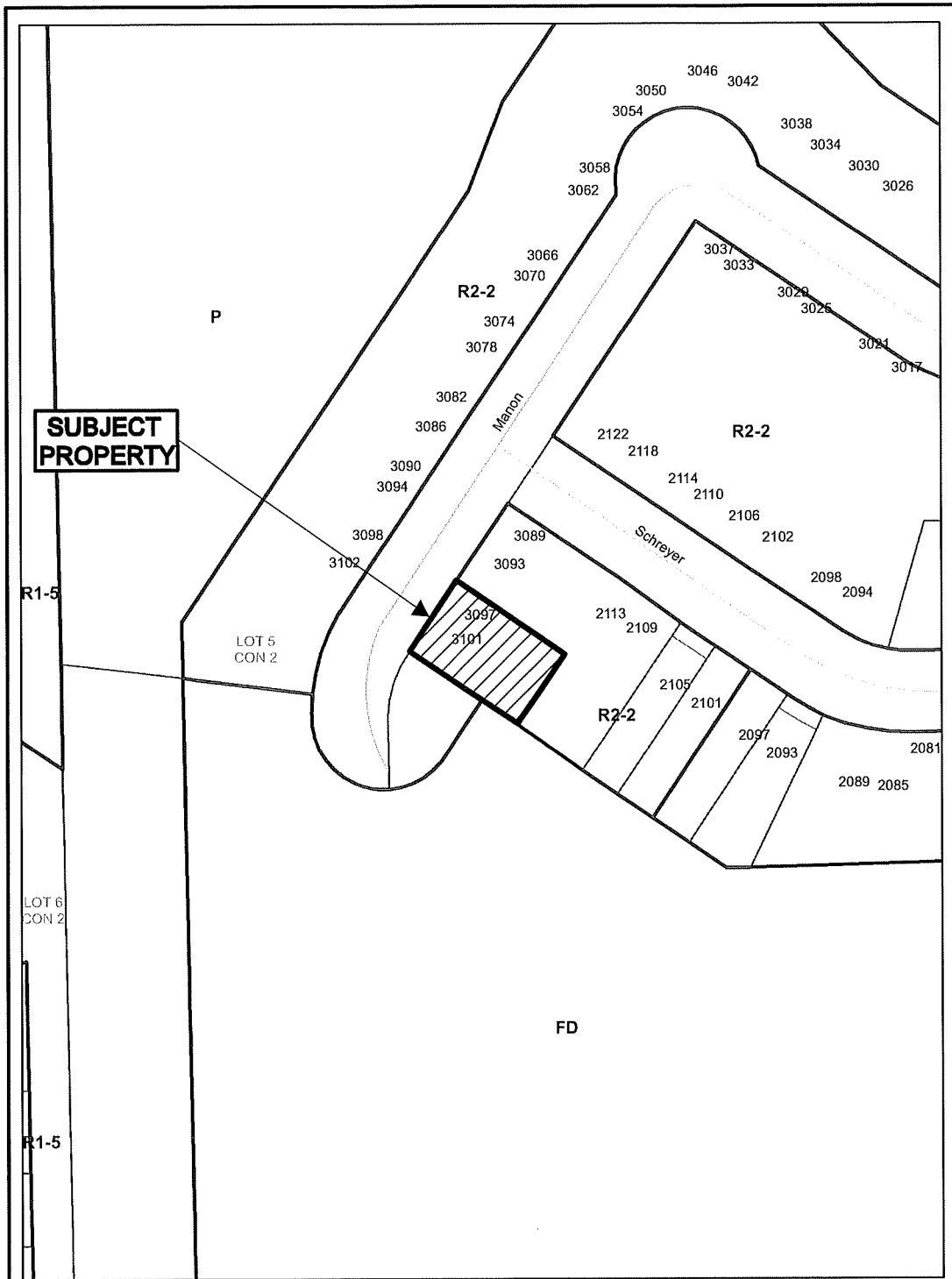
While the building's length necessitates a minor reduction in the rear yard setback and eaves encroachment, the design has been carefully positioned to ensure that privacy for all abutting neighbors is maintained. The proposed lot coverage represents a marginal increase over the permitted threshold and remains consistent with the character and scale of other recent builds within the subdivision. These homes contribute to the neighborhood's aesthetic while addressing a critical need for high-quality, accessible housing.

With recent federal policy changes providing full HST rebates on new housing, we have seen a significant increase in demand for this model. We believe these variances are minor in nature, represent a desirable development of the land, and will not have any negative impact on the surrounding area.

We respectfully request the Committee's support for this application.

Sincerely,

**Rohit Walia
C.R. Design**



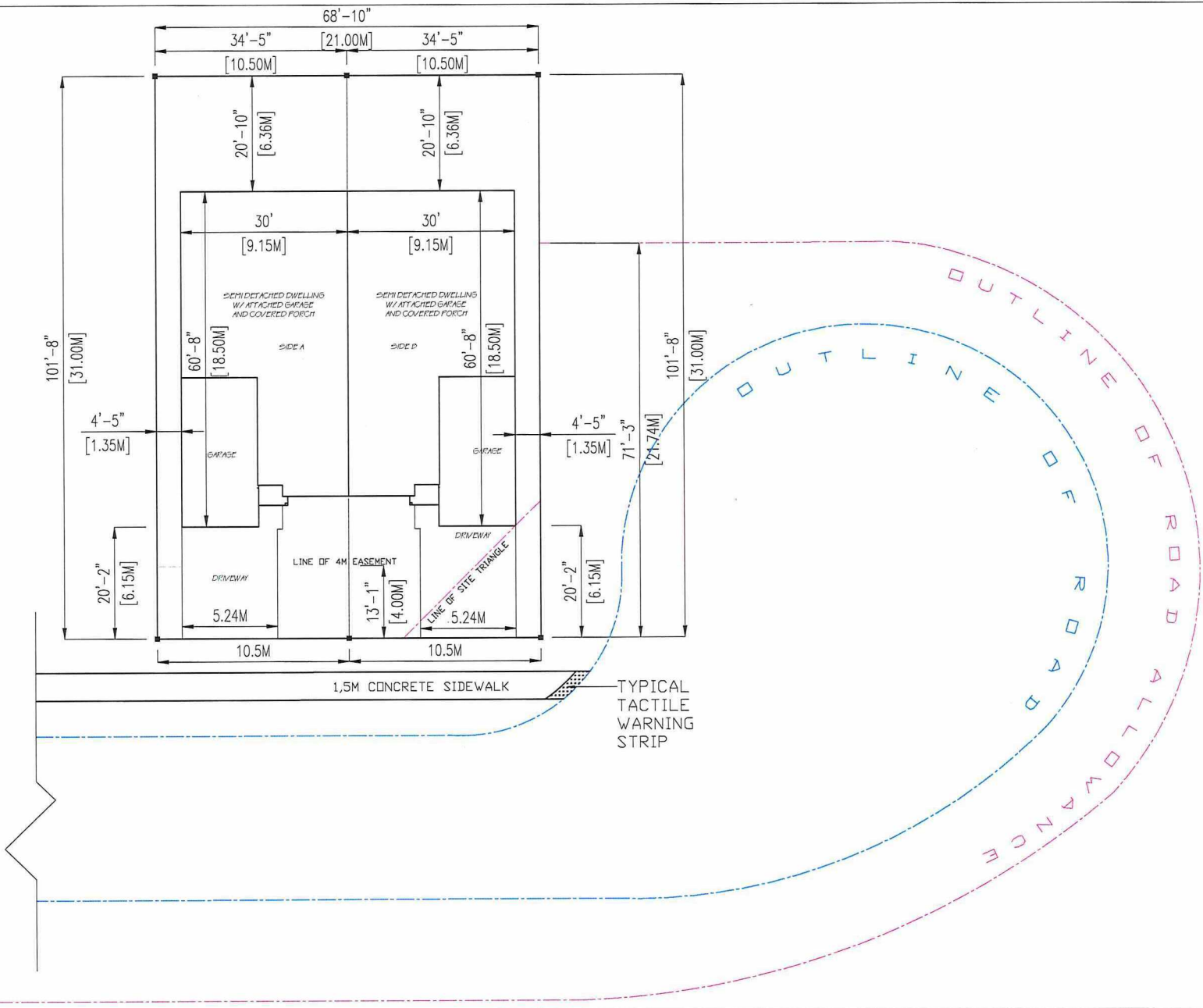
Application for Minor Variance or Permission



Subject Property being PIN 73504-3267, SRO, Part Lot 148, Plan M-1115, Part Lot 5, Concession 2, Township of Hanmer, 3101 and 3097 Manon Street, Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2026-00054
 PL-MV-2026-00055
 Date: 2026 04 27

SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	246 X 304 [75.82]	165H X 304 [50.32]	165M X 304 [50.32]
PERMITTED LOT COVERAGE TABLE 62	292.05 SQ (43%)	146.5 SQ (43%)	146.5 SQ (43%)
PROPOSED LOT COVERAGE	292.05 SQ (43%)	146.5 SQ (43%)	146.5 SQ (43%)
PERCENTAGE OF LOT COVERAGE INCLUDING BY-LAW		17.9% (54%)	17.9% (54%)
REQUIRED CORNER SIDE YARD SETBACK TABLE 62			4.5M
PROPOSED CORNER SIDE YARD SETBACK			4.5M
DIFFERENCE OF REQUIRED CORNER SIDE YARD SETBACK TO PROPOSED			2.5M
REQUIRED REAR YARD SETBACK TABLE 62	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK		6.36 METRES	6.36 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		1.14M	1.14M
BY-LAW REFERENCE	BY-LAW DEFINITION	SIDE A	SIDE B
EAVES ENDS OVERHANG TABLE 41	MAY ENDS OVERHANG INTO THE REAR YARD BUT NOT CLOSER THAN 5.0M TO THE REAR LOT LINE.	ENDS OVERHANG 1.76M INTO REAR YARD WHERE LOW IS PERMITTED (5.0M)	ENDS OVERHANG 1.76M INTO REAR YARD WHERE LOW IS PERMITTED (5.0M)
4.2.2.6(6) ENDS OVERHANG FOR DRIVEWAYS	IF NOT BE LOCATED WITHIN A 90° TRIANGLE EXCEPT THAT WHERE A LOT IS OCCUPIED BY A DRIVEWAY, THE DRIVEWAY SHALL BE LOCATED ALONG THE FRONT LOT LINE OR EXTEND FROM THE LINE AT THE LOCATION FURTHEST FROM THE INTERSECTION AND		LOCATE THE DRIVEWAY NOT FURTHER FROM THE INTERSECTION AND WITHIN SITE TRIANGLE
3.2.4.2.3 YARDS WIDE PARKING IS PERMITTED	NO PARKING SHALL BE LOCATED WITHIN A TRIANGLE EXCEPT AS PROVIDED IN SECTION 3.2.4.2.3. BY-LAW.		ADDITIONAL PARKING NOT REQUIRED LOCATED IN SITE TRIANGLE / CORNER SIDE YARD



PROJECT	SEMI DETACHED DWELLING	RW	DATE
		DW2026	PROJECT#
		RW	DRAWING
	LOT 148 MANON STREET, HANMER		
DATE	2026-04-20	PP	
SCALE	1/8"=1'-0"		

PL-MV-2026-00054
 PL-MV-2026-00055
 Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00035

APPLICATION SUMMARY

File Date: 03/24/2026

Application Type: Minor Variance

Address(es): 111 Bloor Street, Sudbury P3C 2K8

Applicant(s): TULLOCH

Owner(s): PAUL CHARBONNEAU

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2006

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

10

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

See attached cover letter

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

See attached cover letter

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

12.19

Lot Depth of the property

30.48

Lot Area of the property

371.61

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

10-unit multiple dwelling, pre 1946

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential, pre 1946

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Multiple Dwelling	No	217.18	651.54	2	10.32	21.04	6	3.81	5.52	0.65	0.97

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Expand the legal non-conforming use of the existing lot to increase the number of dwelling units within the existing building from 10 to 11 units and maintain the current parking standard	N/A	11 dwelling units	1 dwelling units



Planners | Surveyors | Biologists | Engineers

April 21, 2026
File No. 260800

Committee of Adjustment
Tom Davies Square – City of Greater Sudbury
200 Brady Street
Sudbury, ON
P3A 5P3

Re: Minor Variance – 111 Bloor Street – PT LTS 141, 142 AS IN S89056 PLAN 1SC
CITY OF SUDBURY [PIN 02136-0046] – Additional Information

Dear Committee of Adjustment,

In response to City of Greater Sudbury staff comments and public concerns received for the subject application, please accept the following additional information for your consideration:

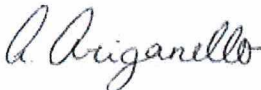
- **Proposed Density:** the application has been revised to expand the legal non-conforming use of the existing lot to increase the number of dwelling units within the existing building from 10 to 11 units and maintain the current parking situation. A revised Site Sketch has been prepared to reflect this update and is attached to this cover letter.
- **Existing Parking Situation:** the revised Site Sketch also shows the existing parking situation at the subject property's easterly lot line, abutting College Street. Although this area is used for parking, it is not parking that can be legalized through the subject application. As shown on the Site Sketch, these vehicles can not fit entirely within the site, with a portion of them located within the City's Right-of-Way.
- **Reduction in Required Number of Parking:** given the existing parking situation, a parking space would not be offered/available for the proposed additional unit. With respect to the availability of parking for visitors, we understand that short term on-street parking (maximum of 4 hours) is available along Bloor Street. TULLOCH staff attended the site on two separate occasions (morning and evening) to evaluate the existing on-street parking situation along Bloor Street and can provide the attached site photos. No on-street parking conflicts along Bloor Street were observed. It is our opinion that any overflow parking (i.e. from visitors of the additional unit) that may occur from the site will have a negligible impact on the local road network given the number of available on-street parking observed. The City can enforce on-street parking in prohibited areas through municipal by-law enforcement.
- **Property Management:** the property owner currently enters into an agreement with the City for curbside garbage and recycling collection. We understand this refuse collection plan would continue with the addition of the proposed unit.

- **Winter Maintenance & Snow Storage:** the property owner employs a maintenance team to haul snow off-site. We are aware of the recent snowbanks seen on site which were a result of one of the largest and most severe snow events Sudbury experienced on March 15-16, 2026. Further, we note that these recent snowbanks did not hinder access to the one legal parking space that can be provided.

We appreciate the opportunity to provide additional information in response to recent concerns. Together with a reduction in the proposed number of units, on-site observations and further clarification on the existing parking situation, property management methods and winter maintenance and snow storage, we believe such concerns have been addressed. Further, it is our opinion that the additional information provided reinforces our justification (provided in a cover letter dated March 24, 2026, which formed part of the original submission) that the subject application is desirable for the appropriate development of the subject property and would not result in undue adverse impacts on surrounding properties and neighbourhood.

Respectfully submitted,

Prepared By:



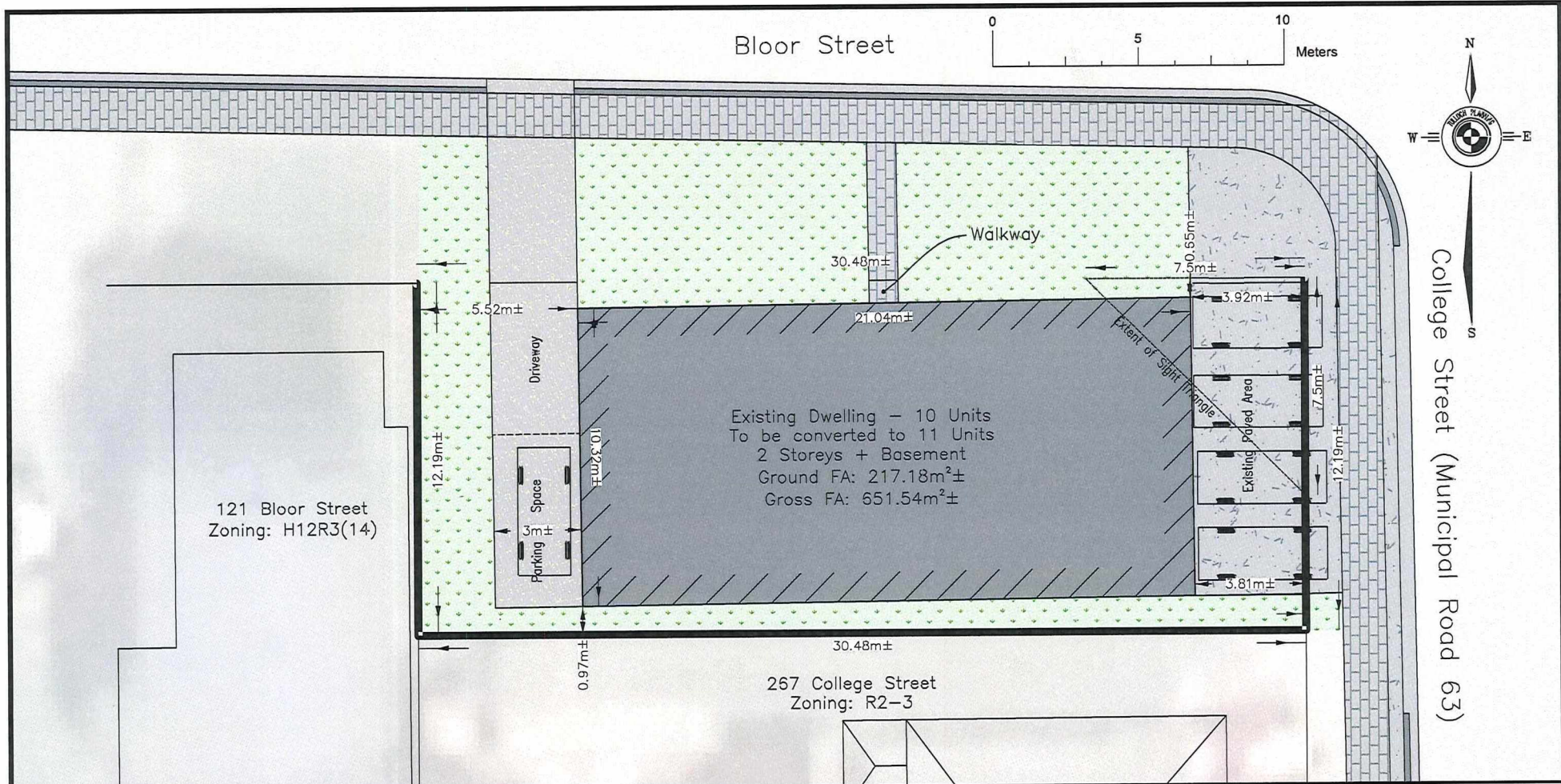
Aaron Ariganello, BURP, RPP
Land Use Planner



Application for Minor Variance or Permission

Subject Property being PIN 02136-0046, Part Lots 141 - 142, as in S89056, Plan 1-SC, Part Lot 6, Concession 4, Township of McKim, 111 Bloor Street, Sudbury, City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00035
 NDCA Date: 2026 03 31



LEGEND

Subject Lands - 371.61m ² ±; R2-3 Zone	Sidewalks & Walkways
Building Envelopes	Curbs
Gravel	Landscaped Areas
Asphalt	

CAUTION
 THE PROPERTY BOUNDARIES AND FEATURES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM REGISTRY PLANS, DOCUMENTS, AERIAL IMAGERY, AND G.I.S. DATA FROM CITY OF GREATER SUDBURY OPEN DATA. ALL OF THE ABOVE HAVE NOT BEEN CONFIRMED.
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T: 705-522-6303

131 FIELDING ROAD
 LIVELY, ONTARIO
 P3Y 1L7

PROJECT:

111 Bloor Street, Sudbury
Part of Lots 141 & 142, Plan 1SC as in S89056

DRAWING:

Current Parking Situation
 for Minor Variance

No.	DATE	BY	ISSUES / REVISIONS
DRAWN BY: MDJ		CHECKED BY: BC	PROJECT No. : 26-0800
SCALE: 1:200		DATE: Apr 20, 2026	

REVISED PL-MV-2026-00035 Sketch 2



Figure 1: Bloor Street during the week in the morning (facing west)



Figure 2: Bloor Street during the week in the morning (facing east)



Figure 3: Bloor Street during the week in the evening (facing west)



Figure 4: Bloor Street during the week in the evening (facing east)