

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

March 4, 2026

PUBLIC HEARINGS

**PL-MV-2026-00002 GERRY PERFETTO
 KRISTALEE PERFETTO**

Ward: 9

PIN(s) 734730324, Part Lot 9, Concession 3, Part 3, Plan 53R-19682,
Township of Broder, 0 South Shore Road, Sudbury, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.41, subsection 4.41.2 a) of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling providing a high water mark setback of 21.27m, where no person shall erect any residential building closer than 30.0m to the high water mark of a lake.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0102/2022 (OCT 17/22), PL-CON-2025-00024 (JUN 9/25) AND REZONING APPLICATION 751-6/22-03

**PL-MV-2026-00007 JASON JALLET
 FLORENTYNA KALETA JALLET**

Ward: 10

PIN(s) 735850686, Parcel 9935 SEC SES, Lot 47, Plan M-41, Part Lot 6,
Concession 3, Township of McKim, 55 Douglas Street, Sudbury, [By-law
2010-100Z, R2-3]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached accessory structure providing a maximum height of 8.0m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PL-MV-2026-00010 DON LEHTO

Ward: 6

PIN(s) 735040119, Parcel 51600 SEC SES SRO, Part Lot 10, Plan M-507, being Part 2, Plan 53R-16178, Part Lot 4, Concession 2, Township of Hanmer, 4528 Park Avenue, Hanmer, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsections 4.2.3 and 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing, firstly, an accessory lot coverage of 14%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%, and secondly, a maximum height of 5.39m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0235/1990 (MAY 07/90), B0199/1992 (JUN 15/92) AND B0203/1997 (JAN 26/98)

PL-MV-2026-00011 CRAIG NEILSON

Ward: 11

PIN(s) 735800222, Parcel 21741 SEC SES, Lot 114, Plan M-132, Part Lot 2, Concession 4, Township of McKim, 1039 Bancroft Drive, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 5, Section 5.5, Table 5.5 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit one existing dwelling unit within the existing three-unit dwelling for a total of four-dwelling units providing 3 parking spaces, where 4 are required,

PL-MV-2026-00012 GREATER SUDBURY HOUSING CORPORATION

Ward: 3

PIN(s) 733491001, Parcel 19522 SEC SWS, Lot 41 and Part Lot 36, Plan M-91, Part Lot 2, Concession 3, Township of Balfour, 368 / 370 Charette Avenue, Chelmsford, [By-law 2010-100Z, R2-2]

For relief from Part 5, Section 5.4, subsection 5.4.2 c) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit two existing driveways on a proposed lot subject of Consent Application PL-CON-2026-00003, where only one driveway is permitted per lot.

CURRENTLY SUBJECT TO CONSENT APPLICATION PL-CON-2026-00003

PL-MV-2026-00014 **JESSE ALKHOURY**
LEEN AZAR

Ward: 6

PIN(s) 735081442, Part Lot 12, Concession 2, Parts 1-2, Plan 53R-21146, subject to easements as in LT13824 & LT13825, Township of Capreol, 4376 Notre Dame Avenue, Valley East, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, Table 4.1, Section 4.15, subsections 4.15.1 e) and 4.15.2, Part 5, Section 5.4, subsection 5.4.2 d) and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a dwelling containing 4-dwelling units and an attached uncovered deck on the subject property providing, firstly, for the rear attached uncovered deck to provide a rear yard setback of 1.22m, where uncovered decks greater than 1.2m in height may encroach 3.6m into the required rear yard but not closer than 3.0m to the rear lot line, secondly, a 1.83m-wide landscaped area adjacent to the full length of the lot line abutting Notre Dame Avenue, where a 3.0m-wide landscaped area adjacent to the full length of the lot line shall be required abutting all public roads having a width greater than 10.m in all Zones, thirdly, a minimum of 26% of the required front yard to be maintained as landscaped open space, where 50% is required, fourthly, a parking area width of 13.17m in the required front yard, where the outdoor parking area for the subject property is permitted in the required front yard to a maximum width of 7.5m, and fifthly, a minimum required rear yard setback of 3.05m with eaves encroaching an additional 0.51m, where 7.5m is required and where eaves may encroach 1.2m into the required yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION
A0051/2019 (MAY 29/19) AND CONSENT APPLICATION B0045/2019
(MAY 27/19)

PL-MV-2026-00015 **DOMINION PARK DEVELOPMENTS CORP**

Ward: 6

PIN(s) 735041108, Parcel M1114-124-1 SES SRO, Lot 130, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 3062 Manon Street, Hanmer, [By-law 2010-100Z, R2-2, FD]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side A on the Plot Plan submitted with the application, subject of a future Consent application, providing a rear yard setback of 6.8m, where 7.5m is required.

PL-MV-2026-00016 DOMINION PARK DEVELOPMENT

Ward: 6

PIN(s) 735041108, Parcel M1114-124-1 SES SRO, Lot 130, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 3058 Manon Street, Hanmer, [By-law 2010-100Z, R2-2, FD]

For relief from Part 6, Section 6.3, Table 6.3 of By-law 2010-100Z, as amended, for approval to construct a semi-detached dwelling on a proposed lot identified as Side B on the Plot Plan submitted with the application, subject of a future Consent application, providing a front yard setback of 4.72m, where 6.0m is required.

This application was deferred from the meeting of March 05, 2025 in order to afford the owner the opportunity to address those comments received from agencies and departments.

PL-MV-2025-00002 GEORGE SOULE

Ward: 7

REVISED

PIN(s) 735110282, Part Lots 8 & 9, Concession 5, FIRSTLY; Part Summer Resort Location 75, Plan M-137 and Part Road Allowance fronting Lot 75, Plan M-137, being Parts 10, 11, 14 and 15, Plan 53R-16790; SECONDLY; Part Summer Resort Location 74, Plan M-137 and Part Road Allowance fronting Lot 74, Plan M-137, being Parts 2, 4, 5, 6, 7 and 8, Plan 53R-16790; Part 1 and 2, Plan 53R-8969; Part 7, 14, 18 Plan 53R-12391; Township of MacLennan, 989 West Bay Road, Garson, 989 West Bay Road, Skead, [By-law 2010-100Z, RS(1)]

For relief from Part 4, Section 4.41, subsections 4.41.2 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the reconstruction of a dwelling and to permit the existing garage and sleep camp providing, firstly, high water setbacks of 19.8m for the dwelling, 18.2m for the garage and 12.7m for the sleep camp, and secondly, to permit the dwelling, garage and sleep camp to be within 20.0m of the high water mark of a lake, where a residential building or other accessory building or structure shall be no closer than 30.0m to the high water mark, and where the only permitted structures within 20.0m of the high water mark are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops.

Previously subject to Consent Applications B380/79 & B381/79 (Jan 7/80), B534/89, B535/89, B536/89 and B537/89 (Oct 23/89), B49/00 (Jul 10/00), B118/03 (Oct 20/03), B06/14 (May 8/14) and Minor Variance Applications A14/14 and A15/14 (Mar 19/14)



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00002

APPLICATION SUMMARY

File Date: 01/16/2026

Application Type: Minor Variance

Address(es): 0 South Shore Road, Sudbury, Ontario P3G 1L3

Applicant(s): GERRY PERFETTO

Owner(s): GERRY PERFETTO AND KRISTALEE PERFETTO

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Sep 26 2024

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

Overview of Proposed Building Location

The proposed home has been sited to balance environmental protection, practical construction needs, and compliance with municipal bylaws wherever possible. The design respects the natural features of the lot and aims to minimize disturbance to the shoreline and surrounding vegetation.

Shoreline and Environmental Setbacks

- The dwelling will not encroach into the 20 meter shoreline buffer, which is intended to protect the natural waterfront environment.
- All construction activities, including grading and landscaping, will remain outside the 20 meter buffer zone, ensuring that the shoreline ecosystem is preserved.

30 Meter Setback from the Water

- Due to the lot's shape, topography, and the need to position the home safely and functionally, the proposed building will encroach into the 30 meter setback established by municipal bylaw.
- The encroachment varies at different location, and every effort has been made to minimize this while still allowing for a structurally sound and reasonably sized dwelling.
- The proposed location represents the most practical and environmentally responsible placement on the lot.

Front Yard Setback Compliance

- The proposed home fully respects the required 10 meter front yard setback. The new residence has been moved forward tight to the 10 meter front yard setback requirement, see revised plan.
- No variances are being requested for the front yard or any other yard setbacks aside from the 30 meter water setback.

Rationale for Proposed Placement

The selected building location is based on the following considerations:

- Avoiding disturbance to the 20 meter shoreline buffer and maintaining natural vegetation.
- Working within the constraints of the lot's size, slope, and existing terrain.
- Ensuring safe access, proper drainage, and compliance with all other zoning requirements.
- Minimizing environmental impact while still allowing for a functional home footprint.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Reason for Requesting Minor Variance

I am requesting a minor variance to allow the construction of my home on a waterfront lot that has an unusual shape—wide along the shoreline but significantly narrower at both ends. The proposed house location is situated in the widest portion of the lot, which allows the building to fully respect the required 20 meter shoreline buffer.

Because the lot narrows toward the sides, the ends of the home will encroach into the 30 meter setback. This encroachment is a result of the lot's geometry rather than an attempt to build closer to the water. The proposed placement ensures that the home remains outside the shoreline buffer and minimizes environmental impact.

On the road side, the proposed location fully respects the required 10 meter front yard setback. Additionally, the chosen building location aligns well with the natural grade of the property, reducing the need for excessive excavation or alteration of the landscape. This placement supports good drainage, maintains the natural character of the lot, and results in a more environmentally responsible build.

Overall, the requested variance allows for a practical and environmentally considerate home placement on a uniquely shaped lot while maintaining compliance with the most critical setback—the shoreline buffer.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

198.72

Lot Depth of the property

59.88

Lot Area of the property

6480

Total width of the public road giving access to the property

20.117

List all buildings and structures on the property and their respective date of construction

none

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

vacant

Is the use remaining the same? If no, please provide the proposed new use

residential

Existing uses of neighbouring properties

residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Yes

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

No

Have you consulted with Conservation Sudbury regarding this relief?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Single Family Dwelling	No	401.06	705.2	2	18.14	35.66	9	10	0	20.33	21.27

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
High Water Mark Setback	30.0m	21.27m	8.73m

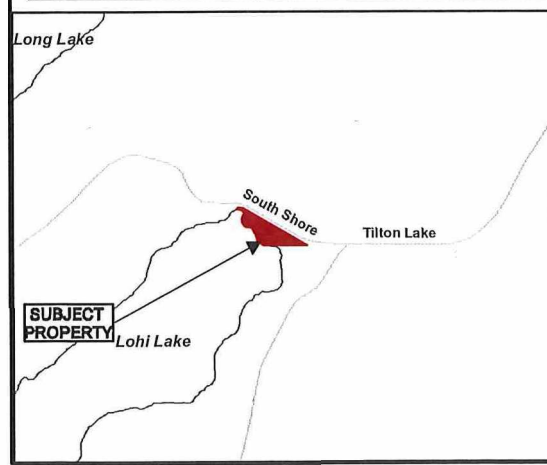
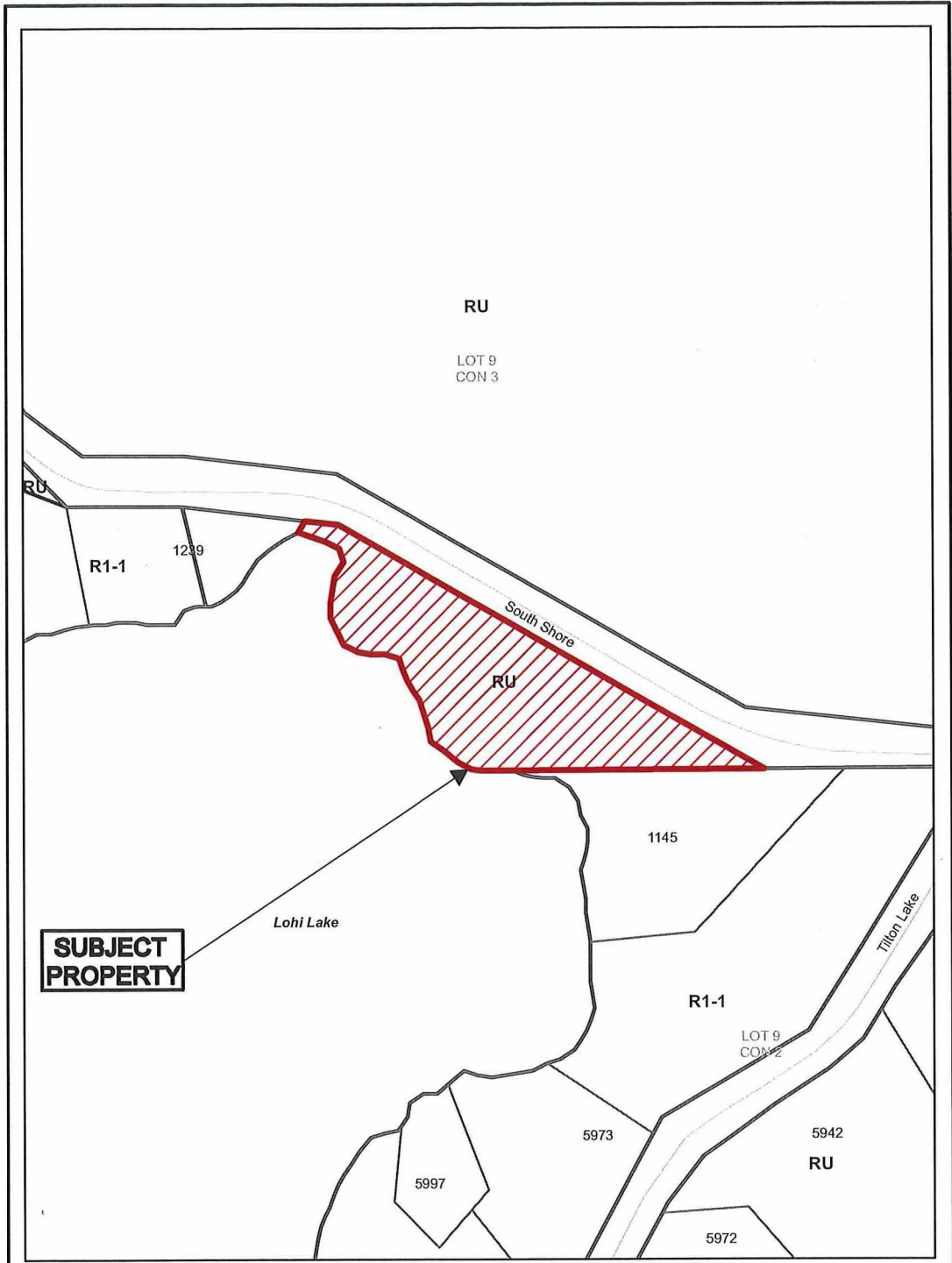
Reason for Locating the Home Toward the Waterfront

I am requesting to place my home closer to the waterfront rather than near the road for several important safety and quality-of-life reasons. The road in front of the property is the main access route for residents, visitors, and people traveling to nearby homes and camps. Because of this, traffic can become quite heavy at times, creating concerns about noise, dust, and privacy.

Most importantly, I want to ensure the safety of my grandchildren when they visit. Keeping the home farther away from the road reduces the risk of accidents and provides a safer environment for them to play and spend time outdoors. Positioning the home closer to the water also helps minimize exposure to road noise and dust, creating a quieter, cleaner, and more enjoyable living space.

In addition to these safety and comfort considerations, the natural geography of the land makes the chosen waterfront location the most practical building site. This area allows the home to be constructed with the least amount of disruption to the natural landscape. Building closer to the road would require significantly more alteration to the terrain, which could negatively impact the environment and the overall character of the property.

For these reasons, placing the home toward the waterfront is the most responsible and environmentally considerate option.



**Application for Minor
Variance or Permission**



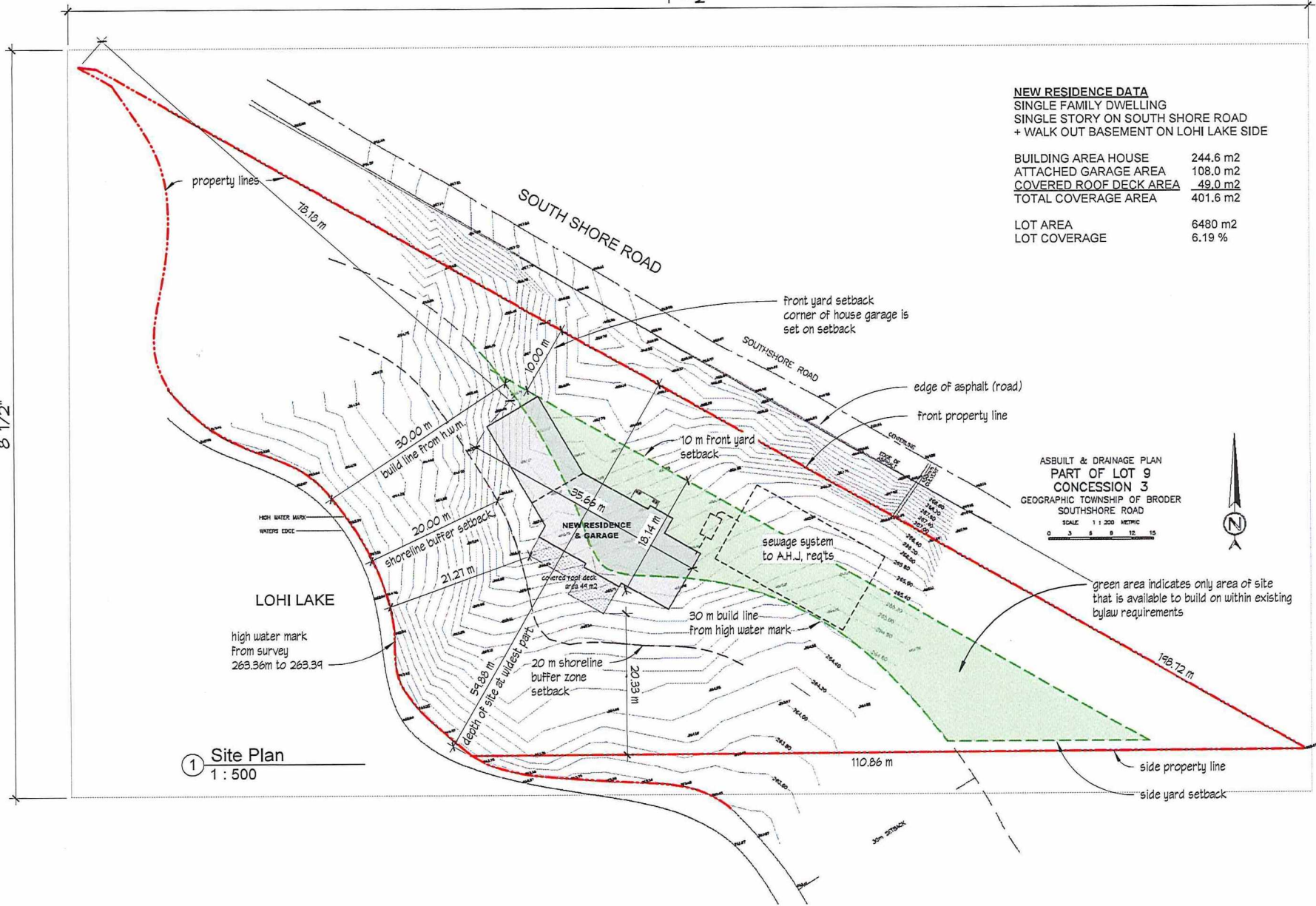
Subject Property being PIN 73473-0324,
Part Lot 9, Concession 3,
Part 3, Plan 53R-19682,
Township of Broder,
0 South Shore Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2026-00002
Date: 2026 01 21

1' - 2"

8 1/2"



NEW RESIDENCE DATA
 SINGLE FAMILY DWELLING
 SINGLE STORY ON SOUTH SHORE ROAD
 + WALK OUT BASEMENT ON LOHI LAKE SIDE

BUILDING AREA HOUSE	244.6 m ²
ATTACHED GARAGE AREA	108.0 m ²
COVERED ROOF DECK AREA	49.0 m ²
TOTAL COVERAGE AREA	401.6 m ²

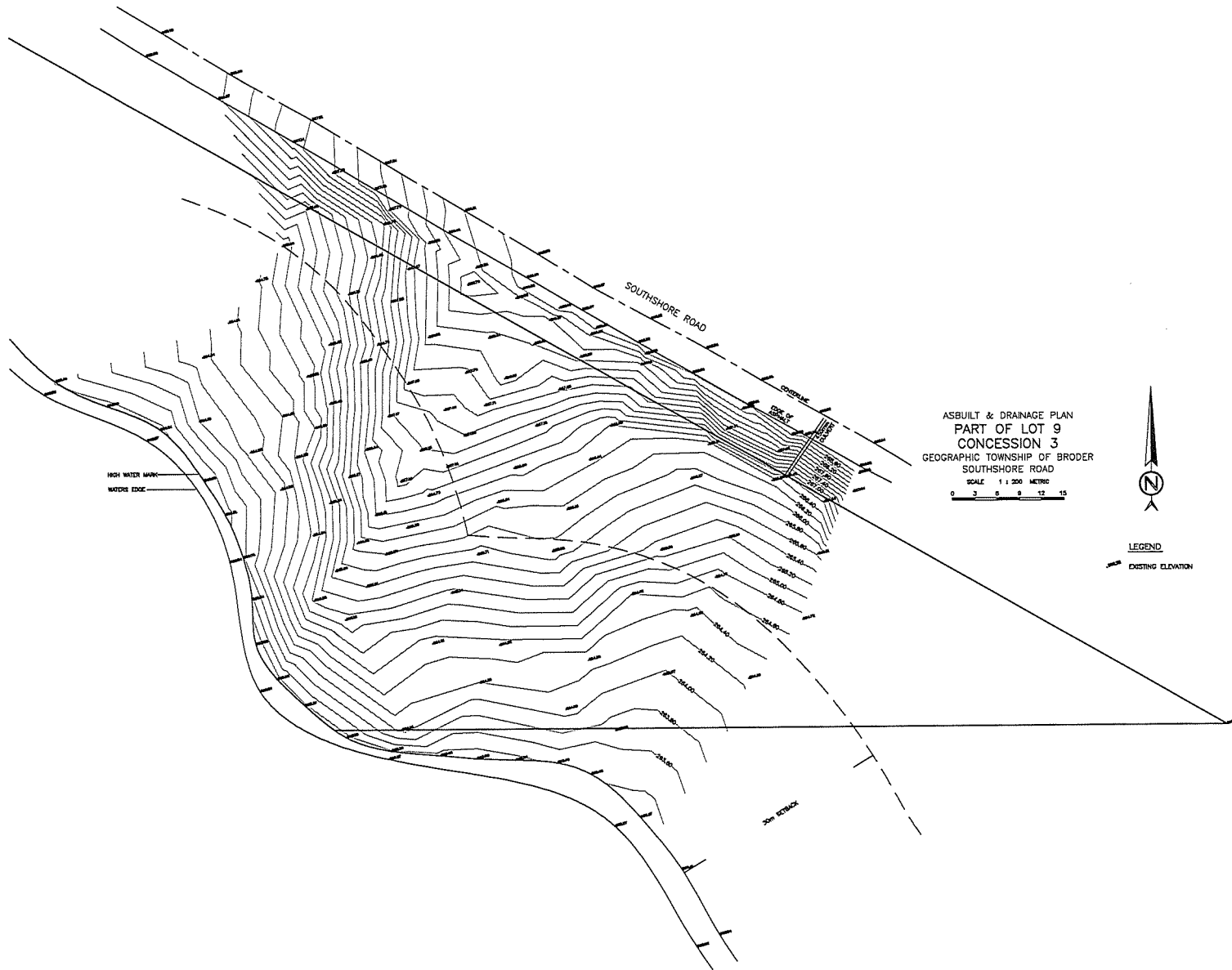
LOT AREA	6480 m ²
LOT COVERAGE	6.19 %

ASBUILT & DRAINAGE PLAN
 PART OF LOT 9
 CONCESSION 3
 GEOGRAPHIC TOWNSHIP OF BRODER
 SOUTHSORE ROAD
 SCALE 1 : 200 METRIC



green area indicates only area of site that is available to build on within existing bylaw requirements

1 Site Plan
 1 : 500



PL-MV-2026-00002
Sketch 3



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00007

APPLICATION SUMMARY

File Date: 01/30/2026

Application Type: Minor Variance

Address(es): 55 Douglas Street, Sudbury P3E 1G7

Applicant(s): SHIELD EA LTD

Owner(s): JASON JALLET AND FLORENTYNA KALETA JALLET

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Jan 8th 2019

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

2

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

An accessory structure for office/studio space in the rear yard of 55 Douglas street.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The aim for the accessory building is to create more space for the homeowners. They have outgrown their current home, but love the neighbourhood and the home itself, so the accessory building is a means to stay in the location that they love, but gain extra space. To keep the building footprint small, and maintain the existing functional yard and landscape area (include mature trees), a 2 storey building is proposed for the structure, which exceeds the allowable 5m in height. The 5m allowable height would not be able to provide an office space for each of the two homeowners, as well as the opportunity for high ceilings and tall storage cabinets. We believe the requested variance to be minor in nature, as the impact on the neighbours will be minimal. The property abuts a public lane at the rear, minimizing the direct impact of the accessory structure on the neighbours. Furthermore, the neighbouring properties to the south and east feature houses that are at a much higher elevation than the subject property, further reducing the impact of the additional height for the accessory structure on the neighbours.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

15.24

Lot Depth of the property

36.72

Lot Area of the property

561.32

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

House, year of construction 1938.

There is currently a fabric temporary shed in the rear yard which will be removed for the project.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system

Municipally owned and operated sanitary sewage system

Lake

Pit Privy

Individual Well

Communal Well

Individual Septic System

Communal Septic System

Other

Explain Other

PROPERTY ACCESS

Provincial highway

Right-of-way

Municipal road that is maintained seasonally

Municipal road that is maintained year-round

Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

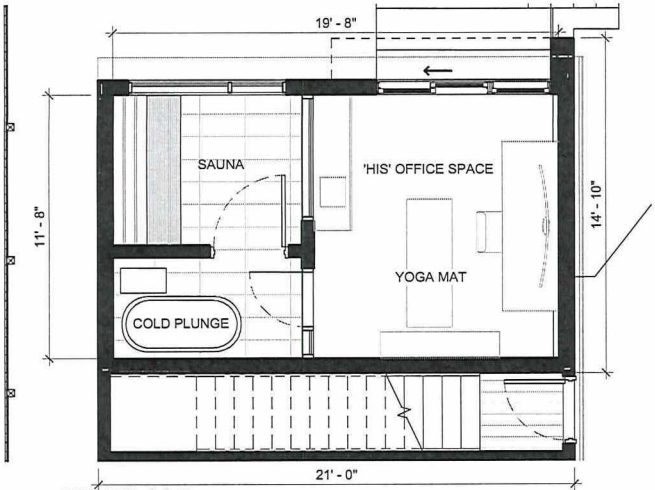
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Accessory Structure	No	33.2	66.4	2	6.4	5.74	8	31.29	2.23	1.2	7.9

EXISTING BUILDING/STRUCTURE

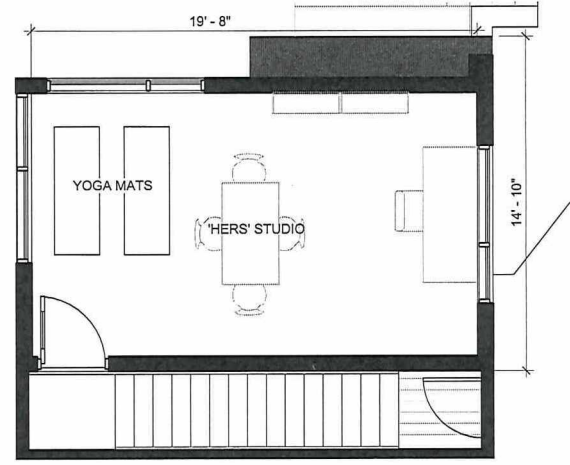
Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House with 2 units	No	150	300	2	12.53	15	7.5	2.32	21.38	2.49	0.51

ZONING BY-LAW RELIEF

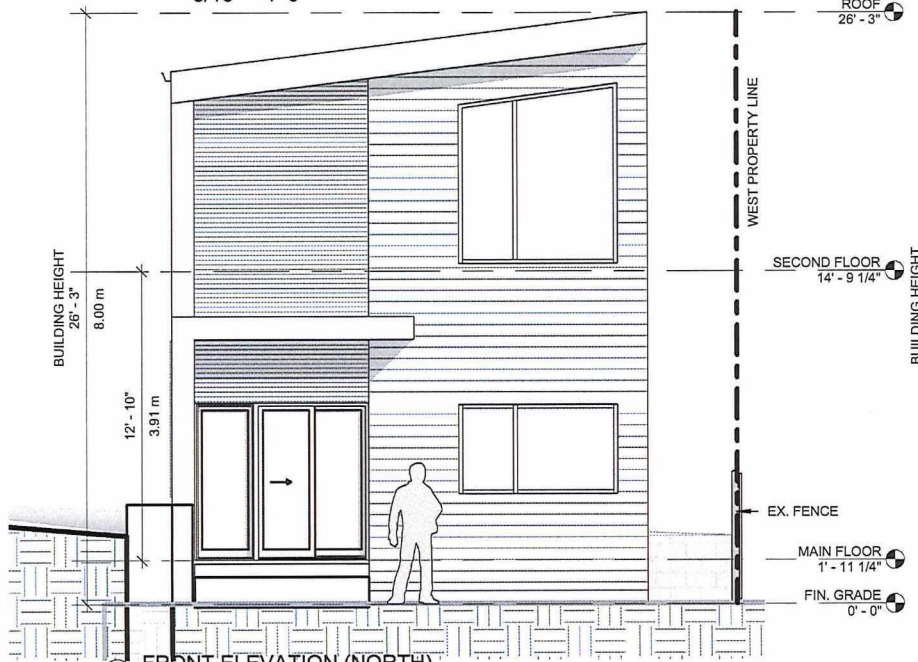
Variance To	By-law Requirement	Proposed (m)	Difference (m)
Accessory building height	5m	8m	3m



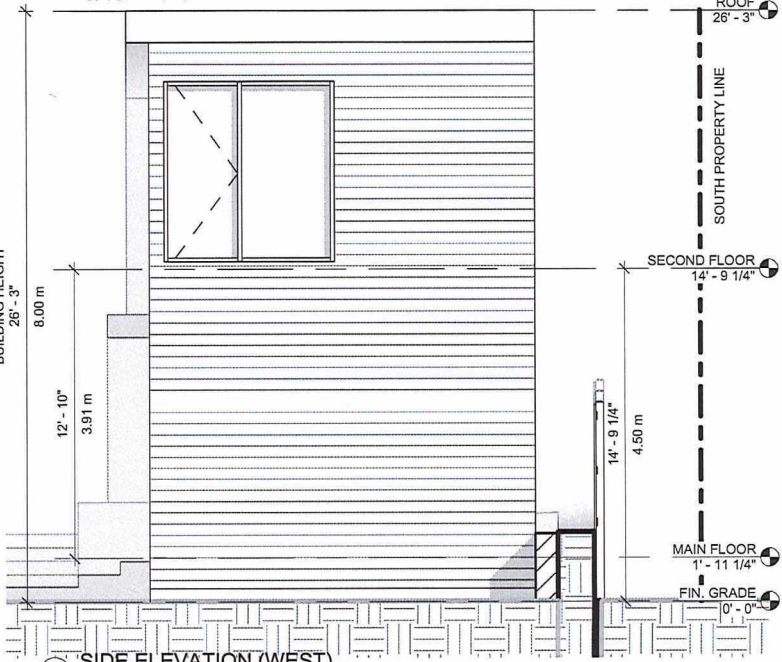
③ MAIN FLOOR
3/16" = 1'-0"



④ UPPER FLOOR
3/16" = 1'-0"



① FRONT ELEVATION (NORTH)
3/16" = 1'-0"



② SIDE ELEVATION (WEST)
3/16" = 1'-0"

NOTE: Drawings are for conceptual purposes and not for construction

No.	Description	Date
1	ISSUED FOR MINOR VARIANCE	2026-01-30



WWW.SHIELDENG.CA 130 PARIS STREET, SUDBURY, ON N3C 3E1
TEL. 705-885-8010
Shield Project Number: 4144

DOUGLAS STREET ACCESSORY STRUCTURE

55 Douglas Street, Sudbury, ON.

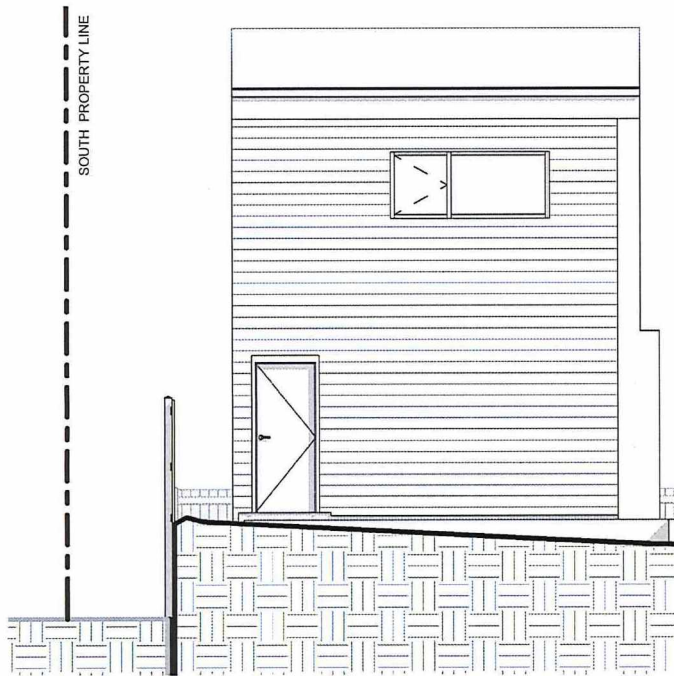
Date JAN. 30, 2026
Scale 3/16" = 1'-0"

4144

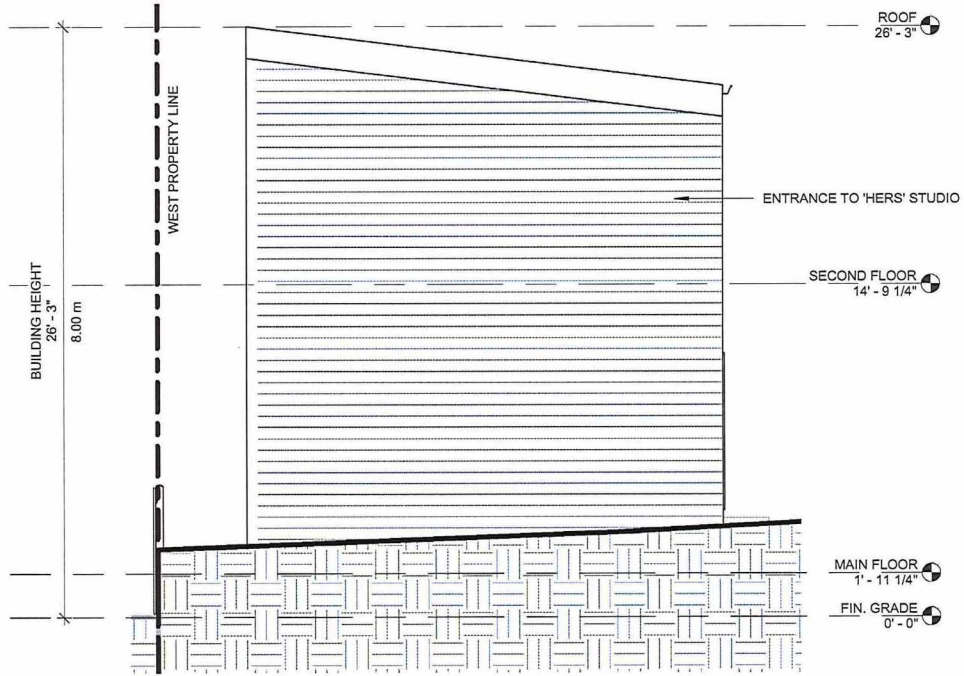
A101

2026-02-13 3:58:00 PM

PL-MV-2026-0007
Sketch 3



① SIDE ELEVATION (EAST)
3/16" = 1'-0"



② REAR ELEVATION (SOUTH)
3/16" = 1'-0"

NOTE: Drawings are for conceptual purposes and not for construction

No.	Description	Date
1	ISSUED FOR MINOR VARIANCE	2026-01-30



WWW.SHIELDENG.CA TEL: 705-935-8010 130 PARIS STREET, SUDBURY, ON N3C 3E1

Shield Project Number: 4144

**DOUGLAS STREET
ACCESSORY
STRUCTURE**

55 Douglas Street, Sudbury, ON.

Date JAN. 30, 2026

Scale 3/16" = 1'-0"

4144

A102

2026-02-13 3:58:02 PM

PL-MV-2026-00007
Sketch 4



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00010

APPLICATION SUMMARY

File Date: 02/04/2026

Application Type: Minor Variance

Address(es): 4528 Park Avenue, Hanmer P3P 1C3

Applicant(s): DON LEHTO

Owner(s): DON LEHTO

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2005

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Building Detached garage, Height over 5m, lot coverage over 10%

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Require additional height and space for storage

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

19.65

Lot Depth of the property

40.03

Lot Area of the property

785.58

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

House- 1971

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential. 55years

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage	No	104.05	104.05	1	12	9.6	5.39	29.1	1.2	6.2	1.2

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	89.93	89.93	1	12	7.5	4	7.5	25.0	1.8	5.8
Wood Frame Shed	Yes	12.3	12.3	1	3.5	3.5	2.1	33.7	1.3	1.75	13.6

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height	5m	5.39	.39
accessory lot coverage	10%	14%	4%



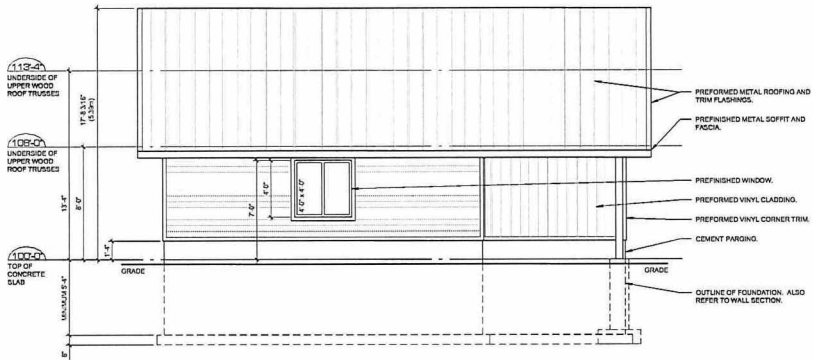
Application for Minor Variance or Permission



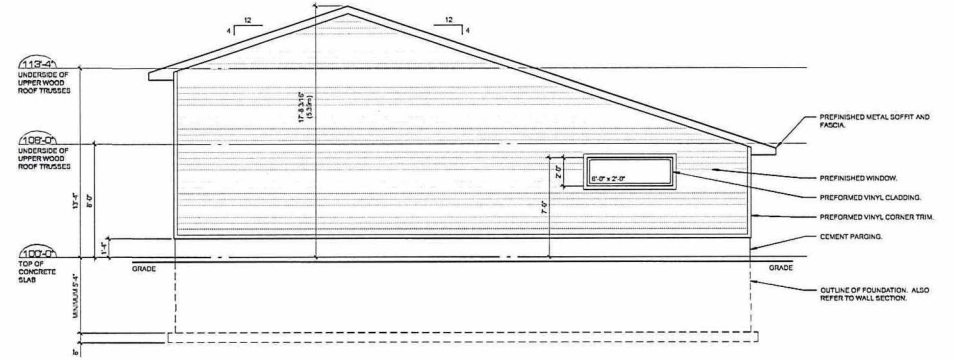
Subject Property being PIN 73504-0119, Parcel 51600 SEC SES SRO, Part Lot 10, Plan M-507, being Part 2, Plan 53R-16178, Part Lot 4, Concession 2, Township of Hanmer, 4528 Park Avenue, Hanmer, City of Greater Sudbury

Sketch 1, NTS
NDCA

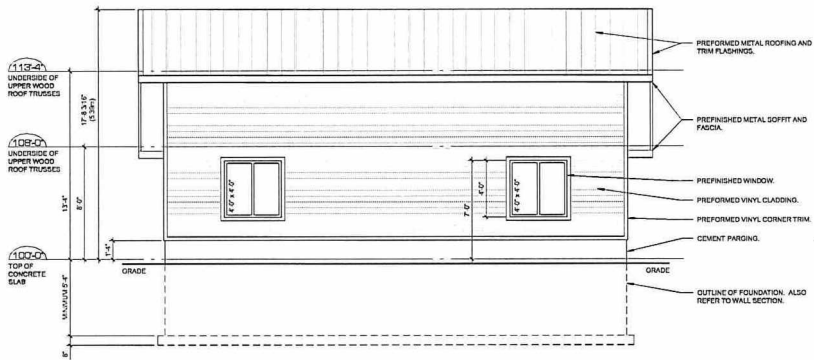
PL-MV-2026-00010
Date: 2026 02 09



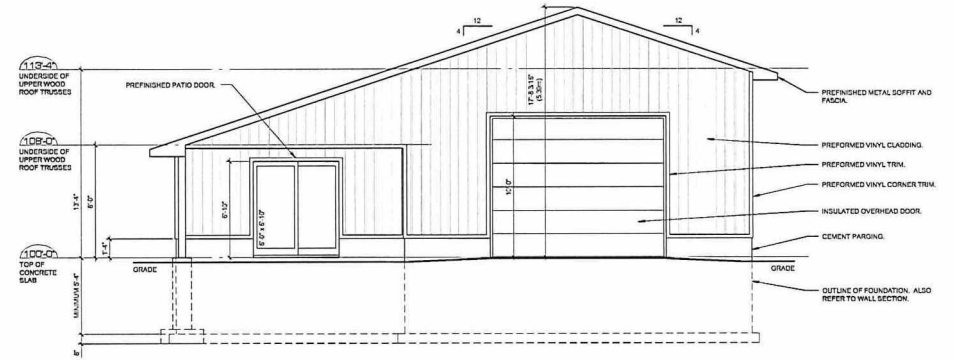
NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

PROPOSED NEW DETACHED GARAGE
LEHTO RESIDENCE
4528 PARK AVENUE
HANMER, ONTARIO
FEBRUARY 04, 2026

A-3

PL-MV-2026-00010

Sketch 3



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00011

APPLICATION SUMMARY

File Date: 02/05/2026

Application Type: Minor Variance

Address(es): 1039 Bancroft Drive, Sudbury, Ontario P3B 1R3

Applicant(s): RADEY RENOVATION & CONSTRUCTION

Owner(s): CRAIG NEILSON

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2011

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

4

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

1

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Living Area I

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Parking minor variance to legalize an existing 4th unit. We would like to have 3 parking spots for the 4 units

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Property does not have room to add a 4th parking spot, rock outcrop in the rear yard, storm drain in front. 4 units are existing, on is not legal but all are currently occupied.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

15.2

Lot Depth of the property

36.6

Lot Area of the property

556.2

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Main house with 4 units. Unknown date of construction.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Multi unit residential

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

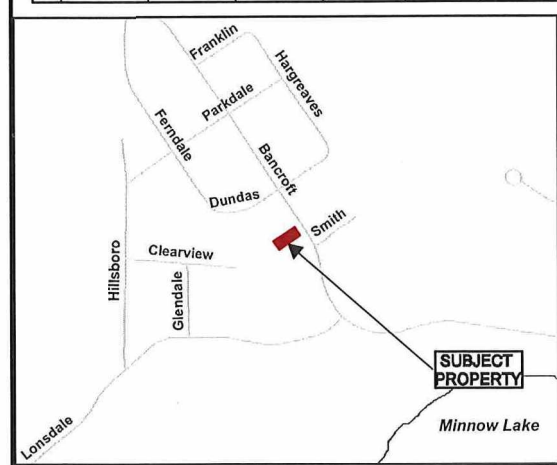
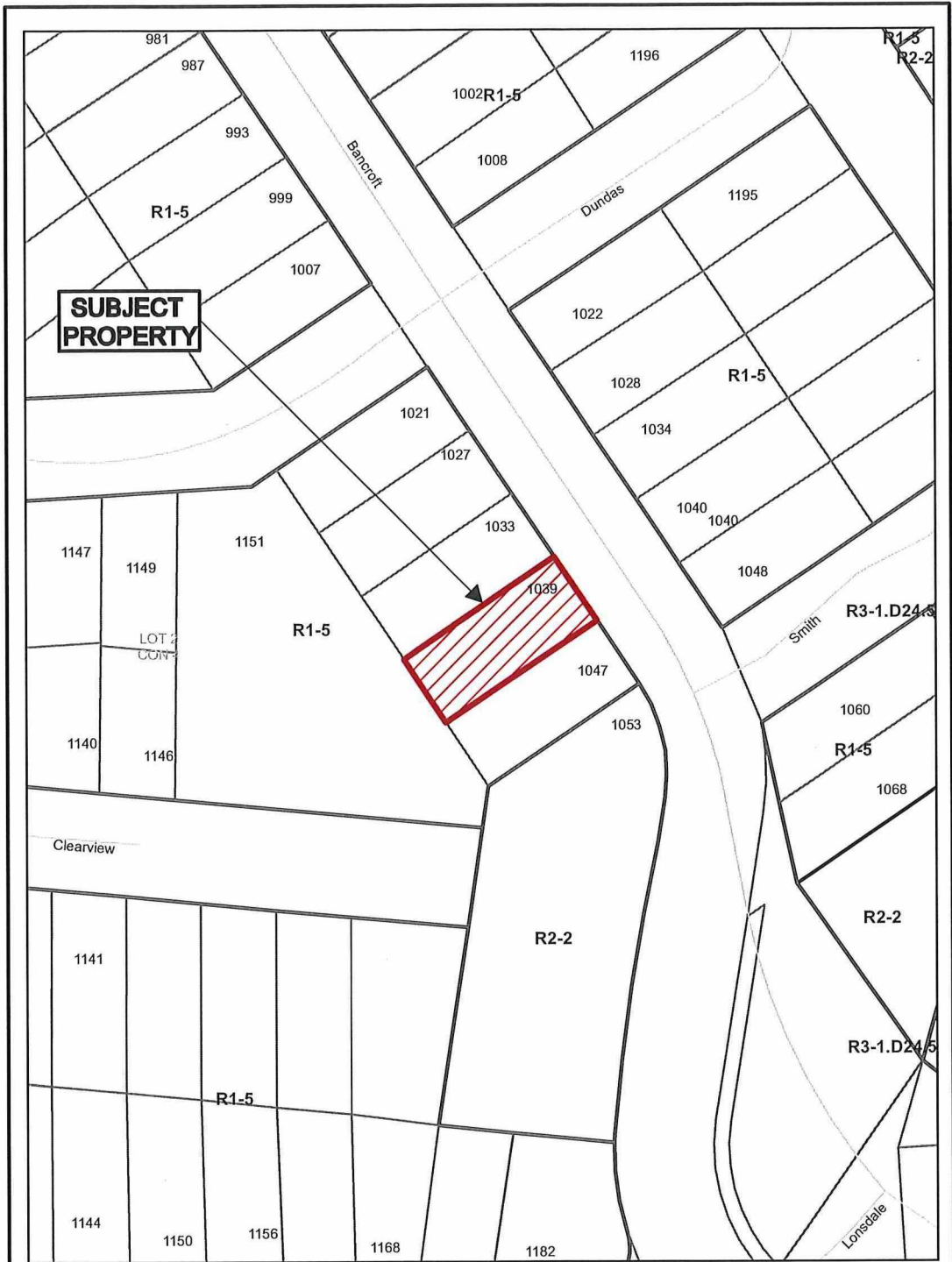
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
4 Plex	No	101.7	303	2	10	11.1	7.7	6.7	18.7	1.2	4

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
5.5 Residential Parking	4 parking spots	3 parking spots	1 spot
Section 5.5	Section 5.5.3 R2-3 (1) where the lot contains 4 dwelling units, a minimum of 3 parking space shall be required	This property is not a R2-3 but is in a higher density area.	1 parking spot

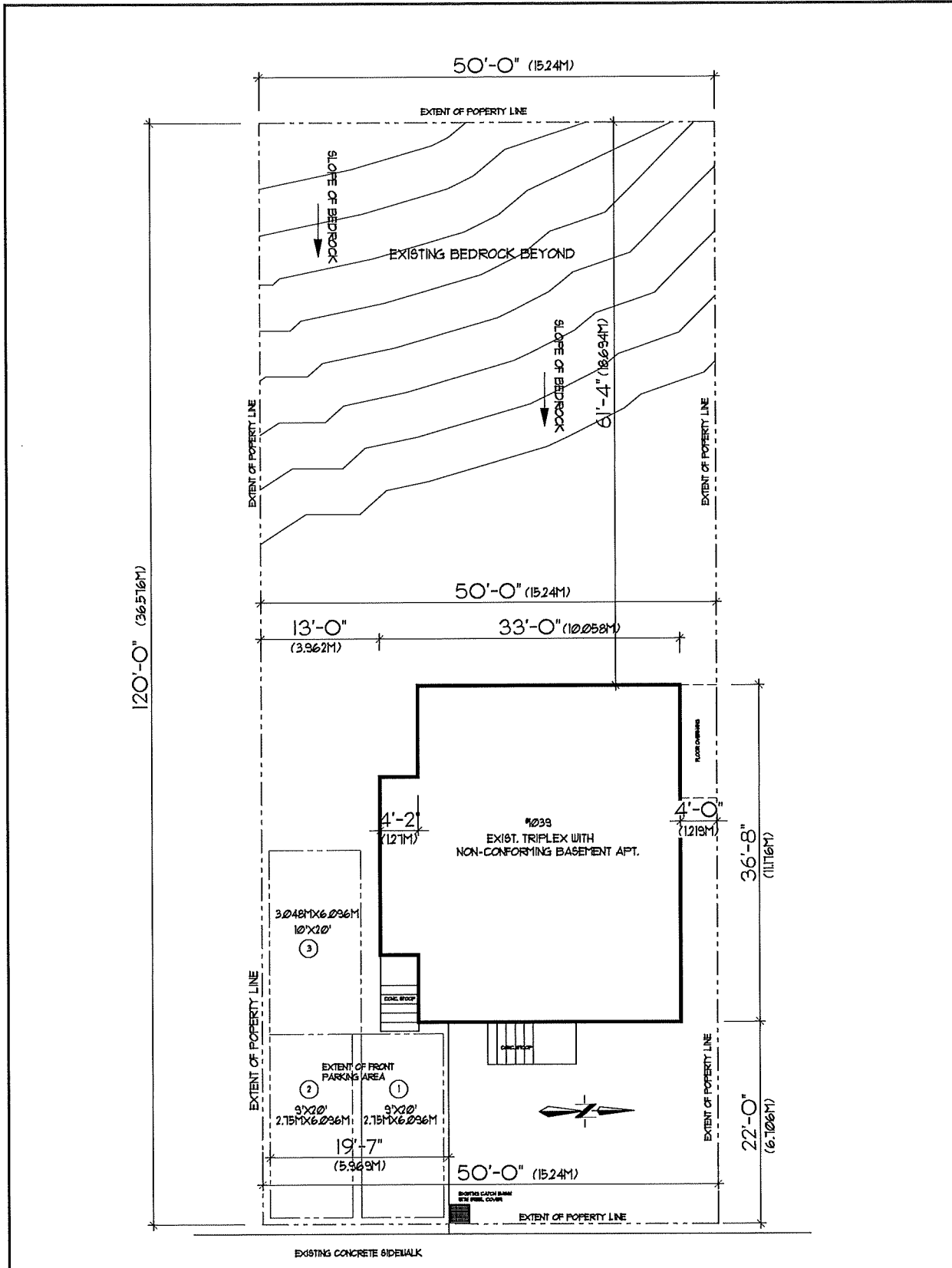


**Application for Minor
Variance or Permission**

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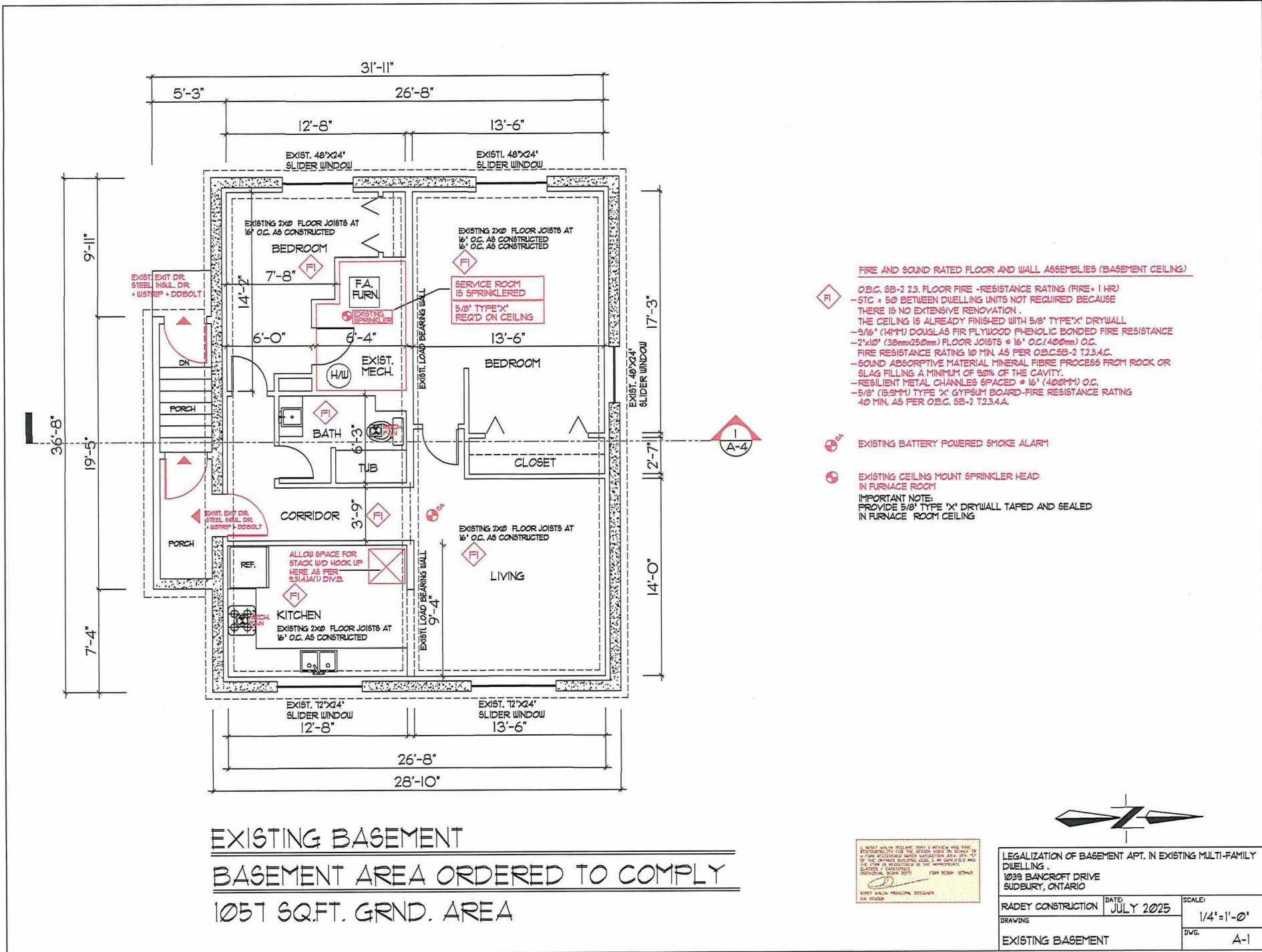
Subject Property being PIN 73580-0222,
Parcel 21741 SEC SES,
Lot 114, Plan M-132,
Part Lot 2, Concession 4,
Township of McKim,
1039 Bancroft Drive, Sudbury
City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00011
NDCA Date: 2026 02 11



BANCROFT DRIVE
SITE PLAN

1039 BANCROFT DRIVE SUDBURY, ONTARIO		
RADEY CONSTRUCTION	DATE AUG 2025	SCALE 1/4" = 1'-0"
DRAWING SITE PLAN	DWG.	SP-1



FIRE AND SOUND RATED FLOOR AND WALL ASSEMBLIES (BASEMENT CEILING)

- O.B.C. SB-2 2.3. FLOOR FIRE - RESISTANCE RATING (FIRE = 1 HR)
- STC = 50 BETWEEN DUELLING UNITS NOT REQUIRED BECAUSE THERE IS NO EXTENSIVE RENOVATION.
- THE CEILING IS ALREADY FINISHED WITH 5/8" TYPE 'X' DRYWALL
- 3/8" TYPE 'X' RECD ON CEILING
- 5/8" (15.9mm) TYPE 'X' GYPSUM BOARD - FIRE RESISTANCE RATING 40 MIN. AS PER O.B.C. SB-2 T2.3.4.A.

- EXISTING BATTERY POWERED SMOKE ALARM
 - EXISTING CEILING MOUNT SPRINKLER HEAD IN FURNACE ROOM
- IMPORTANT NOTE:**
PROVIDE 5/8" TYPE 'X' DRYWALL TAPED AND SEALED IN FURNACE ROOM CEILING

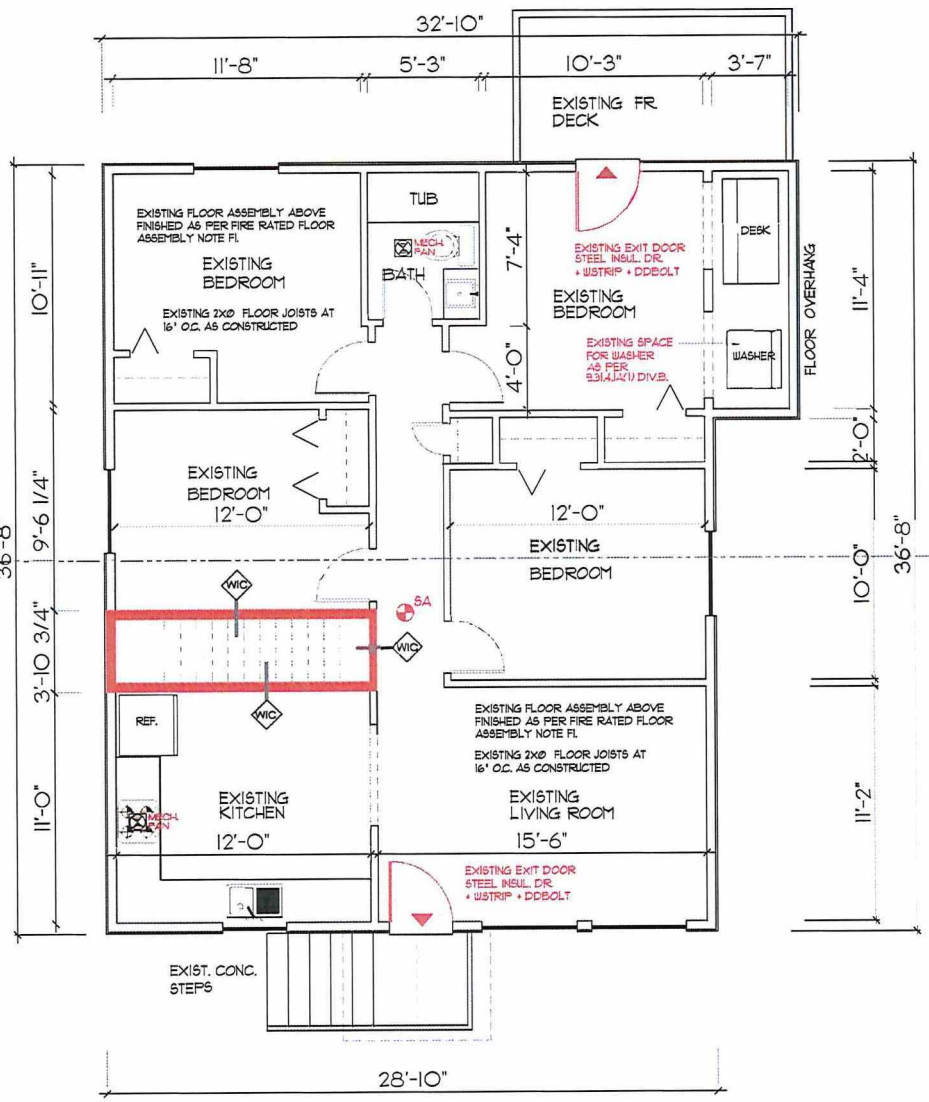
**EXISTING BASEMENT
BASEMENT AREA ORDERED TO COMPLY
1057 SQ.FT. GRND. AREA**

I, WALTER WILSON, DESIGNER, HEREBY CERTIFY THAT I HAVE REVIEWED AND APPROVED THE DRAWINGS FOR THE ABOVE WORK AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE WORK EXCEPT AS PROVIDED IN THE PROFESSIONAL ENGINEERING ACT AND REGULATIONS THEREUNDER.

WALTER WILSON, DESIGNER
CIVIL ENGINEER



LEGALIZATION OF BASEMENT APT. IN EXISTING MULTI-FAMILY DWELLING 1039 BANCROFT DRIVE SUDBURY, ONTARIO			
RADEY CONSTRUCTION	DATE: JULY 2025	SCALE:	1/4" = 1'-0"
DRAWING		DWG.	A-1
EXISTING BASEMENT			



FIRE AND SOUND RATED FLOOR AND WALL ASSEMBLIES (MAIN FLOOR CEILING)

- FI
 O.B.C. 9B-2 2.3. FLOOR FIRE - RESISTANCE RATING (FIRE + 1 HR)
 -STC = 50 BETWEEN DWELLING UNITS NOT REQUIRED BECAUSE THERE IS NO EXTENSIVE RENOVATION.
 THE CEILING IS ALREADY FINISHED WITH 5/8" TYPE 'X' DRYWALL
 -3/8" (14MM) DOUGLAS FIR PLYWOOD PHENOLIC BONDED FIRE RESISTANCE
 -2"x10" (38mmx250mm) FLOOR JOISTS @ 16" O.C. (400mm) O.C.
 FIRE RESISTANCE RATING 10 MIN. AS PER O.B.C. 9B-2 T23.4.C.
 -SOUND ABSORPTIVE MATERIAL MINERAL FIBRE PROCESS FROM ROCK OR SLAG FILLING A MINIMUM OF 30% OF THE CAVITY.
 -RESILIENT METAL CHANNELS SPACED @ 16" (400MM) O.C.
 -5/8" (15.8MM) TYPE 'X' GYPSUM BOARD-FIRE RESISTANCE RATING 40 MIN. AS PER O.B.C. 9B-2 T23.4.A.

COMPLIANCE ALTERNATIVES FOR RESIDENTIAL OCCUPANCIES C 150 9.10.10.3. TABLE 115.11.C. FORMING PART OF ARTICLE 115.11 (A) EXCEPT AS PROVIDED IN (B) AND (C) AND IN ARTICLES 9.10.10.5 AND 9.10.10.6. 30 MIN. FIRE SEPARATION IS ACCEPTABLE.

- LUC
 STC 32
 38MM X 89MM WOOD STUDS SPACED 400MM OR 600MM O.C. WITH 89 MM THICK ABSORPTIVE MATERIAL 12.7MM REGULAR GYPSUM BOARD BOTH SIDES

- SA
 EXISTING BATTERY POWERED SMOKE ALARM

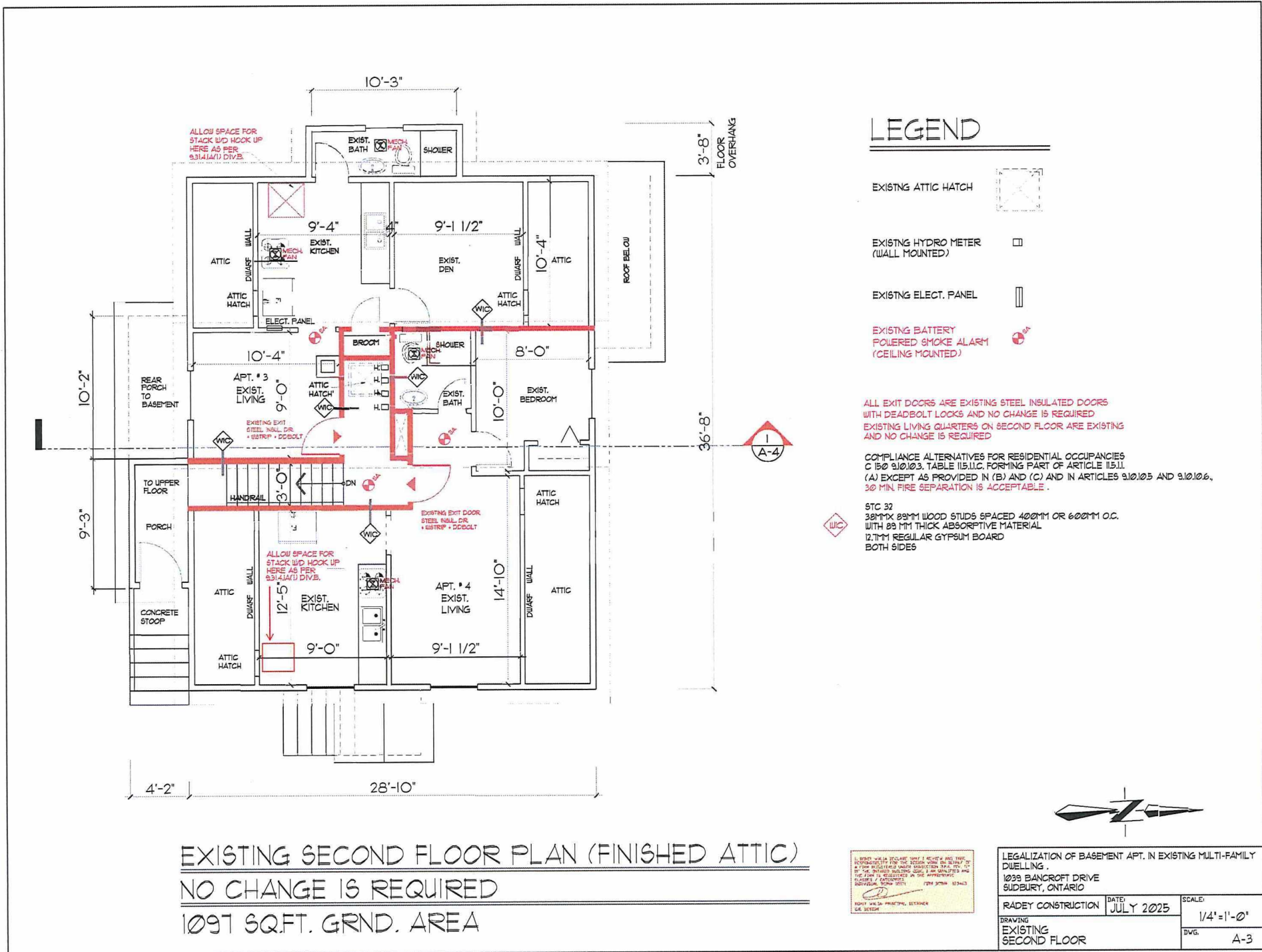
IMPORTANT NOTE:
 MAIN FLOOR LIVING QUARTERS IS EXISTING AND NO CHANGE IS REQUIRED

EXISTING MAIN FLOOR PLAN
NO CHANGE IS REQUIRED
APPROX. 1095 SQ.FT. GRND. AREA



I, RAYEY CONSTRUCTION, INC. HEREBY CERTIFIES THAT THIS DRAWING AND THE INFORMATION CONTAINED THEREIN IS A TRUE AND CORRECT REPRESENTATION OF THE PROJECT AS APPROVED BY THE MUNICIPAL ENGINEER AND THE FIRE DEPARTMENT. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF RAYEY CONSTRUCTION, INC. DATE: JULY 2025

LEGALIZATION OF BASEMENT APT. IN EXISTING MULTI-FAMILY DWELLING			
1039 BANCROFT DRIVE SUDBURY, ONTARIO			
RAYEY CONSTRUCTION	DATE: JULY 2025	SCALE:	1/4" = 1'-0"
DRAWING: EXISTING MAIN FLOOR PLAN		DWG.	A-2



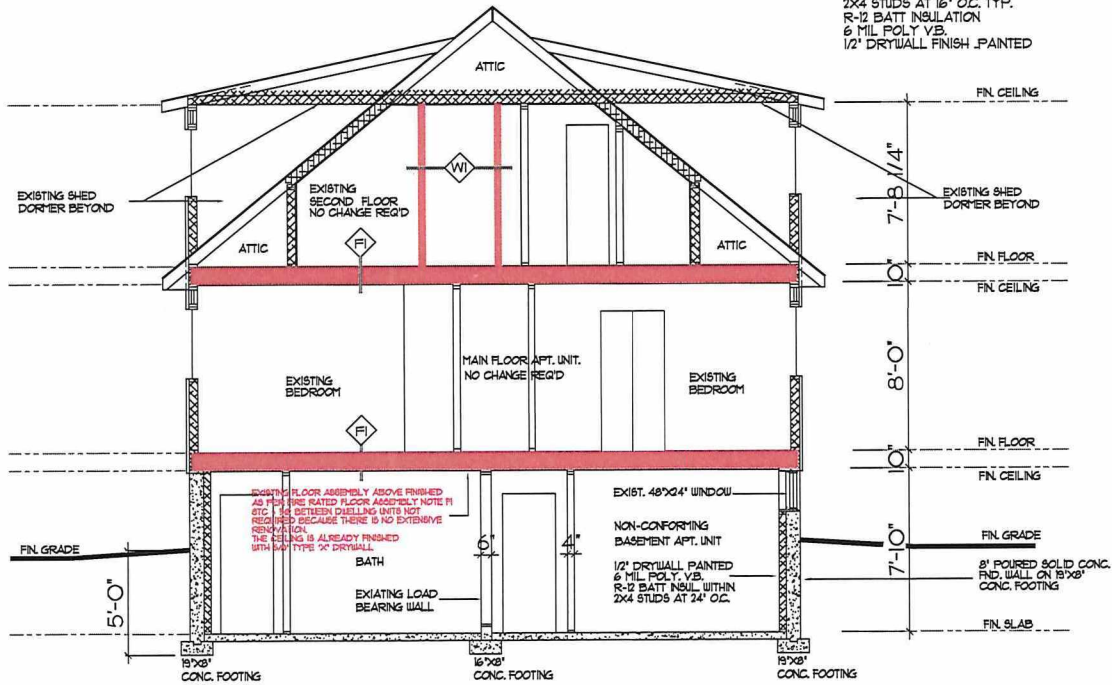
1. I, RAYEY CONSTRUCTION, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO AND THAT I AM THE AUTHOR OF THIS DRAWING AND THAT I AM A MEMBER OF THE PROFESSIONAL ENGINEERS' ASSOCIATION OF ONTARIO. I AM NOT PROVIDING ANY SERVICES TO ANY OTHER PARTY AND I AM NOT PROVIDING ANY SERVICES TO ANY OTHER PARTY.

LEGALIZATION OF BASEMENT APT. IN EXISTING MULTI-FAMILY DWELLING		
1039 BANCROFT DRIVE SUDBURY, ONTARIO		
RAYEY CONSTRUCTION	DATE: JULY 2025	SCALE: 1/4"=1'-0"
DRAWING: EXISTING SECOND FLOOR	DWG. A-3	

PL-MV-2026-00011
Sketch 5

EXISTING ROOF CONSTRUCTION
ASPHALT SHINGLES ON
1X6 WOOD PLANKS NAILED TO
2X6 ROOF RAFTERS AT 16' O.C.

EXISTING EXTERIOR WALL CONSTRUCTION
VINYL SIDING ON 1 1/2" RIGID INSULATION
1X6 WOOD PLANKS NAILED TO
2X4 STUDS AT 16' O.C. TYP.
R-12 BATT INSULATION
6 MIL POLY V.B.
1/2" DRYWALL FINISH PAINTED



FIRE AND SOUND RATED FLOOR AND WALL ASSEMBLIES (BASEMENT CEILING)

- OB.C. 9B-2 2.3. FLOOR FIRE -RESISTANCE RATING (FIRE= 1 HR)
- STC = 50 BETWEEN DWELLING UNITS NOT REQUIRED BECAUSE THERE IS NO EXTENSIVE RENOVATION .
- THE CEILING IS ALREADY FINISHED WITH 5/8" TYPE 'X' DRYWALL.
- 2 1/8" (14MM) DOUGLAS FIR PLYWOOD PHENOLIC BONDED FIRE RESISTANCE
- 2 1/2" (38mm) DOUGLAS FIR FLOOR JOISTS @ 16' O.C. (400mm) O.C.
- FIRE RESISTANCE RATING 10 MIN. AS PER O.B.C. 9B-2 T2.3.4.C.
- SOUND ABSORPTIVE MATERIAL MINERAL FIBRE PROCESS FROM ROCK OR SLAG FILLING A MINIMUM OF 90% OF THE CAVITY.
- RESILIENT METAL CHANNLES SPACED @ 16' (400MM) O.C.
- 5/8" (15.9MM) TYPE 'X' GYPSUM BOARD -FIRE RESISTANCE RATING 40 MIN. AS PER O.B.C. 9B-2 T2.3.4.A.

COMPLIANCE ALTERNATIVES FOR RESIDENTIAL OCCUPANCIES
C 150 9.10.10.3. TABLE 115.11.C. FORMING PART OF ARTICLE 115.11.
(A) EXCEPT AS PROVIDED IN (B) AND (C) AND IN ARTICLES 9.10.10.5 AND 9.10.10.6,
30 MIN. FIRE SEPARATION IS ACCEPTABLE .

- STC 32
- 38MM X 89MM WOOD STUDS SPACED 400MM OR 600MM O.C.
- WITH 25 MM THICK ABSORPTIVE MATERIAL
- 12MM REGULAR GYPSUM BOARD
- BOTH SIDES
- EXISTING BATTERY POWERED SMOKE ALARM
- EXISTING CEILING MOUNT SPRINKLER HEAD
- LOCATED IN BASEMENT MECHANICAL ROOM

TYPICAL CROSS SECTION



I HEREBY CERTIFY THAT I REVIEWED AND CONFIRMED THE ACCURACY OF THE INFORMATION CONTAINED IN THIS DRAWING AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO.
DATE: JULY 2025
RAYDEY CONSTRUCTION INC. 1039 BANCROFT DRIVE SUDBURY, ONTARIO
RAYDEY CONSTRUCTION INC. 1039 BANCROFT DRIVE SUDBURY, ONTARIO

LEGALIZATION OF BASEMENT APT. IN EXISTING MULTI-FAMILY DWELLING .			
1039 BANCROFT DRIVE SUDBURY, ONTARIO			
RAYDEY CONSTRUCTION	DATE: JULY 2025	SCALE:	1/4" = 1'-0"
DRAWING		DWG.	A-4
CROSS SECTION			

PL-MV-2026-00011
Sketch 6

FOOTINGS & FOUNDATIONS

- BASED ON 16'-1" MAX. SUPPORTED FROST LENGTH
- MIN. 15 MPA Poured CONCRETE AFTER 28 DAYS
- SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL, WITH MIN. 75 KPA (10.9 PSI) BEARING PRESSURE

MINIMUM FOOTING SIZES

- UNDER INTERIOR WALL (Load bearing)
- 1 STOREY W/D. FRAME - 7 7/8" WIDE
- 2 STOREY W/D. FRAME - 18 3/4" WIDE
- 3 STOREY W/D. FRAME - 19 3/4" WIDE
- 1 STOREY MASONRY - 11 3/4" WIDE
- 2 STOREY MASONRY - 17 3/4" WIDE
- 3 STOREY MASONRY - 23 5/8" WIDE

MINIMUM FOOTING SIZES

- UNDER EXTERIOR WALL (Load bearing)
- 1 STOREY WOOD FRAME - 9 7/8" WIDE
- 2 STOREY WOOD FRAME - 13 3/4" WIDE
- 3 STOREY WOOD FRAME - 14 3/4" WIDE
- 1 ST.W.D.F.R. + HAS.VEN. - 12 1/2" WIDE
- 2 ST.W.D.F.R. + HAS.VEN. - 19" WIDE
- 3 ST.W.D.F.R. + HAS.VEN. - 25 5/8" WIDE

BASEMENT SLAB

- MIN. 35' THICK CONC. SLAB
- 10 MPA MIN. AFTER 28 DAYS
- DAMPROOF BELOW SLAB WITH 6 MIL. POLYETHYLENE WITH 12" LAPPED JOINTS

- DAMPROOFING NOT NEEDED IF CONC. HAS A MIN. 3600 PSI (25 MPa) AFTER 28 DAYS
- 4" OF COARSE GRANULAR FILL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB AND FOOTING

GARAGE SLAB

- 4" TO 5" CONC. SLAB
- 32 MPA MIN. AFTER 28 DAYS FOR UNREINFORCED CONC.
- 4" WITH 5% TO 8% AIR ENTRAINMENT
- 6"x6" WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
- 4" OF COARSE GRANULAR MATERIAL
- ANY FILL PLACED UNDER SLAB, OTHER THAN COARSE CLEAN GRANULAR MATERIAL SHALL BE COMPACTED

- 4" OF COARSE GRANULAR FILL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB AND FOOTING

- 4" OF COARSE GRANULAR MATERIAL
- ANY FILL PLACED UNDER SLAB, OTHER THAN COARSE CLEAN GRANULAR MATERIAL SHALL BE COMPACTED

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- 4" OF COARSE GRANULAR MATERIAL
- ANY FILL PLACED UNDER SLAB, OTHER THAN COARSE CLEAN GRANULAR MATERIAL SHALL BE COMPACTED

MASONRY FIRE SEPARATION

- MIN. 1HR. FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTING TO THE U/S OF ROOF DECK
- SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/MINERAL WOOL OR NON-COMBUSTIBLE MATERIAL & CAULKING TO PREVENT SMOKE PASSAGE
- 1/2" GYPSUM BOARD V/TAPED JOINTS BOTH SIDES
- 2"x6" WOOD STRAPPING @ 16" O.C. BOTH SIDES
- ABSORPTIVE MATERIAL ON BOTH SIDES
- 8" HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)

PARTY WALL - FOUNDATION

- 8" SOLID CONC. FIN. WALL @ 20 MPA
- COMPRESSIVE STRENGTH AFTER 28 DAYS
- FIN. WALL TO REST ON CONC. FOOTING

WOOD FRAME FIRE SEPARATION

- 5/8" TYPE 'X' GYPSUM BOARD
- V/JOINTS TAPED & FILLED
- PRE-ENG. TRUSS WITH 5/8" TYPE 'X' GYPSUM AIR SPACE
- PRE-ENG. TRUSS WITH 5/8" TYPE 'X' GYPSUM OUTER TRUSS WITH 5/8" TYPE 'X' GYPSUM
- 2 ROWS 2X4 STUDS WITH SOUND ABSORPTION MAT.
- 5/8" TYPE 'X' DRYWALL
- 1 1/2" x 4" HEADER + 1 1/2" BLOCKING BETWEEN JOISTS
- FIRE CUT FLOOR JOISTS WITH 1 1/2" BEARING ON FOUNDATION WALL
- CONCRETE FOUNDATION WALL

EXTERIOR FLAT ROOF ASSEMBLY

- EPDM ROOF MEMBRANE (INSTALLED PER MANUF.)
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PERLINS SLOPED MIN. 2% TO ROOF SCUPPER
- 3/4" EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x8" ROOF JOISTS @ 12" O.C.

TYPICAL ROOF

- NO. 210 ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND 12" PAST INNER FACE OF EXTERIOR WALL
- EAVES PROTECTION LAID BENEATH STARTER STRIP
- STARTER STRIP NOT REQUIRED IF TYPE M ROLL ROOFING IS USED FOR EAVES PROTECTION
- 1/2" PLYWOOD SHEATHING OR 5/8" ASPENITE EXT. GRADE SHEATHING C/W CLIPS
- PRE-ENG APPROVED WOOD TRUSSES @ 24" O.C.
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- METAL EAVESTROUGH
- 2X6 FASCIA BRD. WITH ALUM. CAPPING
- VENTED ALUMINUM SOFFIT
- ATTIC VENTILATION 1:1000 OF INSULATED CEILING AREA WITH 50% AT SOFFIT

FRAME CONSTRUCTION

- ALL FRAMING LUMBER TO BE NO.1 AND NO.2 SPF UNLESS NOTED OTHERWISE
- JOISTS TO HAVE MIN. 1-1/2" END BEARING
- BEAMS TO HAVE MIN. 3-1/2" END BEARING
- DOUBLE STUDS @ OPENINGS
- DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN EXT. WALLS
- DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" AND 10'-6"
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" AND 6'-7"
- DOUBLE JOISTS UNDER PARALLEL PARTITIONS
- BEAM TO BE PLACED UNDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS
- BEAM MAY BE A MAX. 24" FROM A LOADBEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS
- METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15'-0" BEYOND SUPPORTS FOR 2"x6" OR 2"x8" JOISTS
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23'-6" BEYOND SUPPORTS FOR 2"x10" OR LARGER

I, ROBERT WALTON, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN UNDER THE SIGNATURE OF A FIRM REGISTERED UNDER SUBSECTION 32.04, DIV. 1 OF THE BUILDING ACT AND THAT THE DESIGN IS IN ACCORDANCE WITH THE FIRM'S REGISTERED DESIGN PROFESSIONAL ENGINEER'S CERTIFICATE OF AUTHORITY AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS OF PROFESSIONAL ENGINEERS.

ROBERT WALTON, PROFESSIONAL ENGINEER, CIVIL DESIGN

STEEL PIPE COLUMN

- MIN. ONE COAT RUST INHIBITIVE PAINT
- MIN. 2-7/8" DIA. W/3/16" WALL THICKNESS
- FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6"x4"x1/4"
- FOR WOOD BEAMS, MIN. 4"x4"x1/4"
- STEEL TOP & Btm. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
- ANCHOR Btm. PLATE W/TWO 5/8" DIA. BOLTS @ 2" SPACING LONG @ 2" (COMM) BENT INTO CONCRETE FTG.
- ADJUSTABLE COLUMNS TO CONFORM TO CAN/CGSB-7.2-M

SUPPORTING FOOTING AREA

- 1 STOREY
MIN AREA OF FOOTING = 4.3 SQ. FT.
MIN AREA OF FOOTING = 8.1 SQ. FT.
3 STOREY
MIN AREA OF FOOTING = 10.9 SQ. FT.

- WHERE COL. SITS ON FIN. WALL, USE 4"x8"x5/8" STEEL PLATE WITH 2-5/8" ANCHOR BOLTS

GARAGE WALL & CEILING

- 1/2" GYPSUM BOARD ON BOTH SIDES OF WALL
- 4" U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL AGAINST GAS & FUMES
- R24 INSULATION IN WALLS
- R31 INSULATION IN CEILINGS W/FLOOR ABOVE
- CONTINUOUS 6 MIL POLY V.B.
- ALL JOINTS SHALL BE SEALED AND STRUCTURALLY SUPPORTED

EXPOSED CEILING

- R50 INSULATION
- CONTINUOUS 6 MIL POLY V.B.
- 1/2" GYPSUM BOARD

VAULTED OR CATHEDRAL CEILING

- NO.210 ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" FROM EDGE TO A LINE NOT LESS THAN 12" PAST THE INSIDE FACE OF EXTERIOR WALL
- EAVES PROTECTION LAID BENEATH STARTER STRIP
- STARTER STRIP NOT REQUIRED IF TYPE M ROLL ROOFING IS USED FOR EAVES PROTECTION
- 3/8" PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- 2"x10" ROOF JOISTS AS PER D.B.C.
- 2"x4" CROSS PURLINS
- R31 INSULATION
- MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION
- CONTINUOUS 6 MIL POLY V.B.
- 1/2" GYPSUM BOARD

BRICK VENEER CONSTRUCTION

- 3-1/2" FACE BRICK OR 4" STONE @ 36'-1" MAX. HEIGHT
- MIN. 0.03" THICK 1-7/8" CORROSION RESISTANT BRICK TIES @ MAX. 16" O.C. HORIZONTAL & 24" O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2'-6" O.C. @ Btm. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 6" BEHIND WALL SHEATHING MEMBRANE
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING 1" AIR SPACE
- TYPAR DR TYVEK AIR BARRIER
- 7/16" ASPENITE SHEATHING 3/32" GAP BETWEEN BOARDS AS PER DBC 9.3.16
- 2"x6" WOOD STUDS @ 16" O.C.
- SEE WALL SECT. FOR R-VALUE
- CONTINUOUS 6 MIL POLY V.B.
- 1/2" GYPSUM BOARD

WALLS ADJACENT TO ATTIC SPACE

- 1/2" GYPSUM BOARD
- CONTINUOUS 6 MIL POLY V.B.
- 2"x6" WOOD STUDS @ 16" O.C.
- R24 INSULATION
- 1/2" GYPSUM BOARD OR 7/16" ASPENITE SHEATHING ON ATTIC SIDE C/W AIR BARRIER

DOUBLE VOLUME WALL

- FOR WALL HT. UP TO 19'-0" PROVIDE 2 - 2"x6" WOOD STUDS @ 16" O.C.
- PROVIDE WOOD BLOCKING @ 4'-0" O.C. VERT.

CONVENTIONAL ROOF FRAMING

- 2"x6" RAFTERS @ 16" O.C.
- 2"x4" COLLAR TIES AT MIDSPANS
- CEILING JOISTS TO BE 2"x6" @ 16" O.C. UNLESS OTHERWISE NOTED
- HIP & VALLEY RAFTERS TO BE MIN. 2" LARGER THAN COMMON RAFTERS & MIN. 1-1/2" THICK
- SMOKE ALARM, DBC 9.10.19
- PROVIDE 1 PER FLOOR NEAR THE STAIRS (MAX. 16'-5" FROM BEDROOMS)
- CONNECTING THE FLOOR LEVELS
- ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS
- CARBON MONOXIDE DETECTOR (CMD), DBC-9.26.38
- WHERE THERE IS A SOLID FUEL BURNING APPLIANCE A CMD SHALL BE PROVIDED
- CMD TO BE WIRED SO WHEN ACTIVATED SMOKE ALARM WILL SOUND
- ATTIC ACCESS HATCH
- 215'-081 ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/R31 INSULATION

- GUARDS
- GUARD TO BE 3'-8" HIGH FOR FLOOR TO FLOOR/GRADE HEIGHT GREATER THAN 5'-11"
- GUARDS TO BE 2'-11" FOR HEIGHTS
- PICKETS TO HAVE 4" MAX. SPACING

- WEAPING TILE
- 4" MIN. DIAMETER
- SHALL LAY ON UNDISTURBED OR WELL COMPACTED SOIL
- MATERIAL SHALL CONFORM TO DBC 9.14.31
- TOP OF PIPE/TILE TO BE BELOW BOTTOM OF CONC. SLAB
- TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH OR DRY WELL
- COVER TOP AND SIDES WITH 6" MIN. 5/8" DIA. CRUSHED STONE OR OTHER CLEAN GRANULAR MATERIAL

- WOOD COLUMN
- 6"x6" SOLID NO.1 SPF
- METAL SHOE ANCHORED TO FOOTING
- 28X28X12 CONC. PAD

- STRUCTURAL COLUMNS
- SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-5" AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf

- INTERIOR STUD WALLS
- 2"x4" WOOD STUDS @ 16" O.C. OR
- 2"x6" WOOD STUDS @ 16" O.C. W/DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" INTERIOR GYPSUM BOARD BOTH SIDES

- BEARING STUD WALL (BASEMENT)
- 2"x4" WOOD STUDS @ 12" O.C. OR
- 2"x6" WOOD STUDS @ 16" O.C. W/DOUBLE TOP PLATES AND SINGLE BOTTOM PLATE
- CONT. CONC. FOOTING UNDER INTERIOR BEARING WALLS

- 9.7.2.2. CODE CHANGE
- 2024 REFERENCE
- (C) THE PROJECTION OF WINDOW AND DOOR OPENINGS TO PROTECT PERSONS FROM FALLING THROUGH THEM SHALL CONFORM TO ARTICLE 9.8.8.1.
- (C) WINDOWS AND SKYLIGHTS INSTALLED TO PROVIDE REQUIRED NON-HEATING SEASON VENTILATION SHALL CONFORM TO ARTICLE 9.32.2.2.
- 2024 REFERENCE
- MANUFACTURED AND PRE-ASSEMBLED WINDOWS, DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL CONFORM TO "NORTH AMERICAN FENESTRATION STANDARD/CSA 101/1S.2/A440, "NORTH AMERICAN FENESTRATION STANDARD/SPECIFICATION FOR WINDOWS, DOORS, AND SKYLIGHTS"(HARMONIZED STANDARD), (C) CSA A440.81/CANADIAN SUPPLEMENT TO ANA/VDMA/CSA 101/1S.2/A440-17,NORTH AMERICAN FENESTRATION STANDARD /SPECIFICATION FOR WINDOWS,DOORS, AND SKYLIGHTS," (C) THE REMAINDER OF THIS SUBSECTION,AND (D) THE APPLICABLE REQUIREMENTS IN SUBSECTION 9.7.6.

FLOOR ASSEMBLY

- 5/8" T & G PLYWOOD OR EQUIV. AS PER DBC
- FLOOR JOISTS AS INDICATED
- 2X2 DOUBLE BRACING @ 7'-0" O.C.

EXTERIOR WALL ASSEMBLY

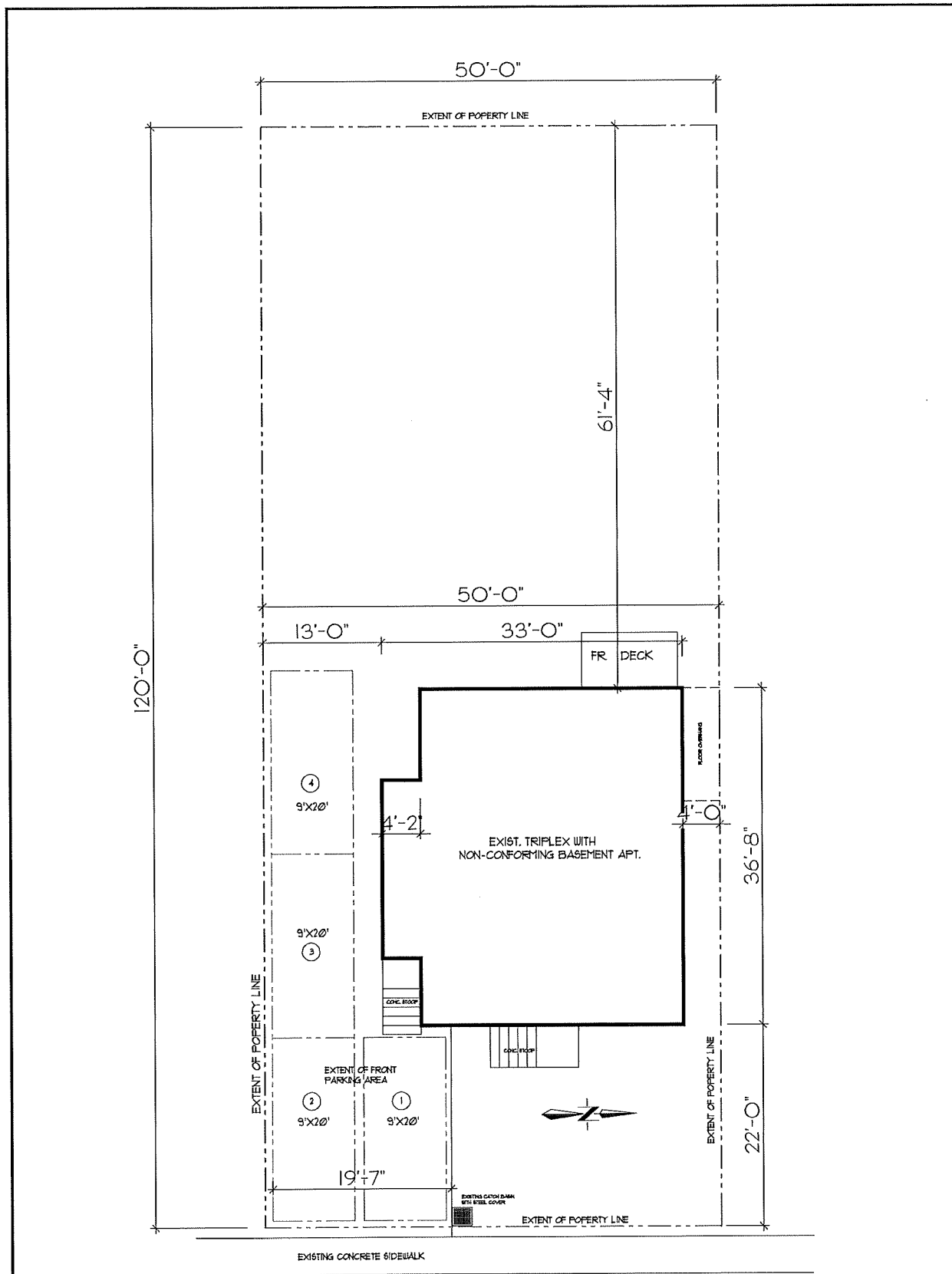
- 1/2" DRYWALL
- 6 MIL POLY V.B.
- 2"x6" STUDS@16" O.C.
- 7/16" ASPENITE SHEATHING WITH UNLESS OTHERWISE NOTED
- SEE WALL SECT. FOR R-VALUE
- HORIZ. VINYL SIDING OR OTHER EXTERIOR CHOSEN BY OWNER

ROOF ASSEMBLY

- 1/2" DRYWALL
- R50 BATT INSULATION WITH 6 MIL POLY V.B.
- PRE-ENGINEERED TRUSSES & BRACING AS PER MANUFACTURER SPECS.
- 5/8" PLYWOOD SHEATHING OR 7/16" ASPENITE WITH H CLIPS
- EAVE PROTECTION TO RUN 35 1/2" PAST FACE OF EXTERIOR WALL FOR SLOPES BETWEEN 4:12 & 8:12
- 25 YEAR TREATED OR SEPARATED FORM CONCRETE, VENTED SOFFIT & FASCIA FINISHED ALUM. EAVESTROUGHING
- MAIN DOOR TO BE OPERABLE FROM INSIDE W/D KEY
- PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT
- GARAGE MAIN DOORS TO CONTAIN SELF-CLOSING
- WEATHERSTRIPPING, THRESHOLD & DEADBOLT
- WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR
- WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURIZED TREATED OR SEPARATED FROM CONCRETE W/6 MIL POLY. V.B. OR NO.15 ROLL ROOFING
- PRECAST CONC. STEP, 2 RISERS MAX. PERMITTED TO BE LAID ON GROUND

- VENTILATION IN AN UNHEATED CRAWL SPACE
- SHALL BE VENTILATED BY NATURAL MEANS AND BE PROVIDED TO THE OUTSIDE AIR BY NOT LESS THAN 11 SQ FT OF UNOBSTRUCTED VENT AREA FOR EVERY 538 SQ FT OF FLOOR AREA
- VENTS SHALL BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING AND DESIGNED TO PREVENT THE ENTRY OF SNOW, RAIN, AND INSECTS

- EXTERIOR GUARDS
- 3'-0" HIGH PAINTED WOOD HANDRAIL
- W/2"x2" PAINTED WOOD PICKETS
- W/ MAX. 4" OPENING BETWEEN PICKETS
- RAILING TO 3'-6" HIGH WHERE ADJACENT GRADE IS MORE THAN 6"-11" ABOVE GRADE
- PROVIDE 4"x4" PAINTED WOOD POSTS IN BETWEEN COLUMNS THAT EXCEED 4'-0"
- CONSTRUCTION REQUIREMENT FOR GUARDS TO CONFORM TO SECTION 58-7 OF THE SUPPLEMENTARY GUIDELINES TO THE 1997 DBC
- STAIRS & RAILINGS
- A CLEARANCE OF NOT LESS THAN 2' SHALL BE PROVIDED BETWEEN A HANDRAIL & ANY SURFACE BEHIND IT
- GUARDS ARE REQUIRED ALONG BOTH SIDES OF STAIRS TO AN UNFINISHED BASEMENT



BANCROFT DRIVE
SITE PLAN

1039 BANCROFT DRIVE SUDBURY, ONTARIO		
RADEY CONSTRUCTION	DATE: AUG 2025	SCALE: 1/4" = 1'-0"
DRAWING	DWG.	SP-1
SITE PLAN		



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00012

APPLICATION SUMMARY

File Date: 02/05/2026

Application Type: Minor Variance

Address(es): 368 /370 Charette Avenue, Chelmsford, Ontario P0M 1L0, 370 Charette Avenue, Chelmsford, Ontario P0M 1L0

Applicant(s): GREATER SUDBURY HOUSING CORPORATION

Owner(s): GREATER SUDBURY HOUSING CORPORATION

PLANNING APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

370 Charette Ave.

What is the date the current Owner(s) acquired the property?

1970

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

2

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

Request to keep two driveways on 1 property to accommodate a semi detached dwelling

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Section 5.4.3. c) to permit 2 existing driveways

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

20.51

Lot Depth of the property

30.48

Lot Area of the property

625.14

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

1 semi detached building constructed in 1970

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential

Is the use remaining the same? If no, please provide the proposed new use

Same

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

Yes

Indicate the application number(s) and status of the application(s)

PL-CON-2026-00003

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

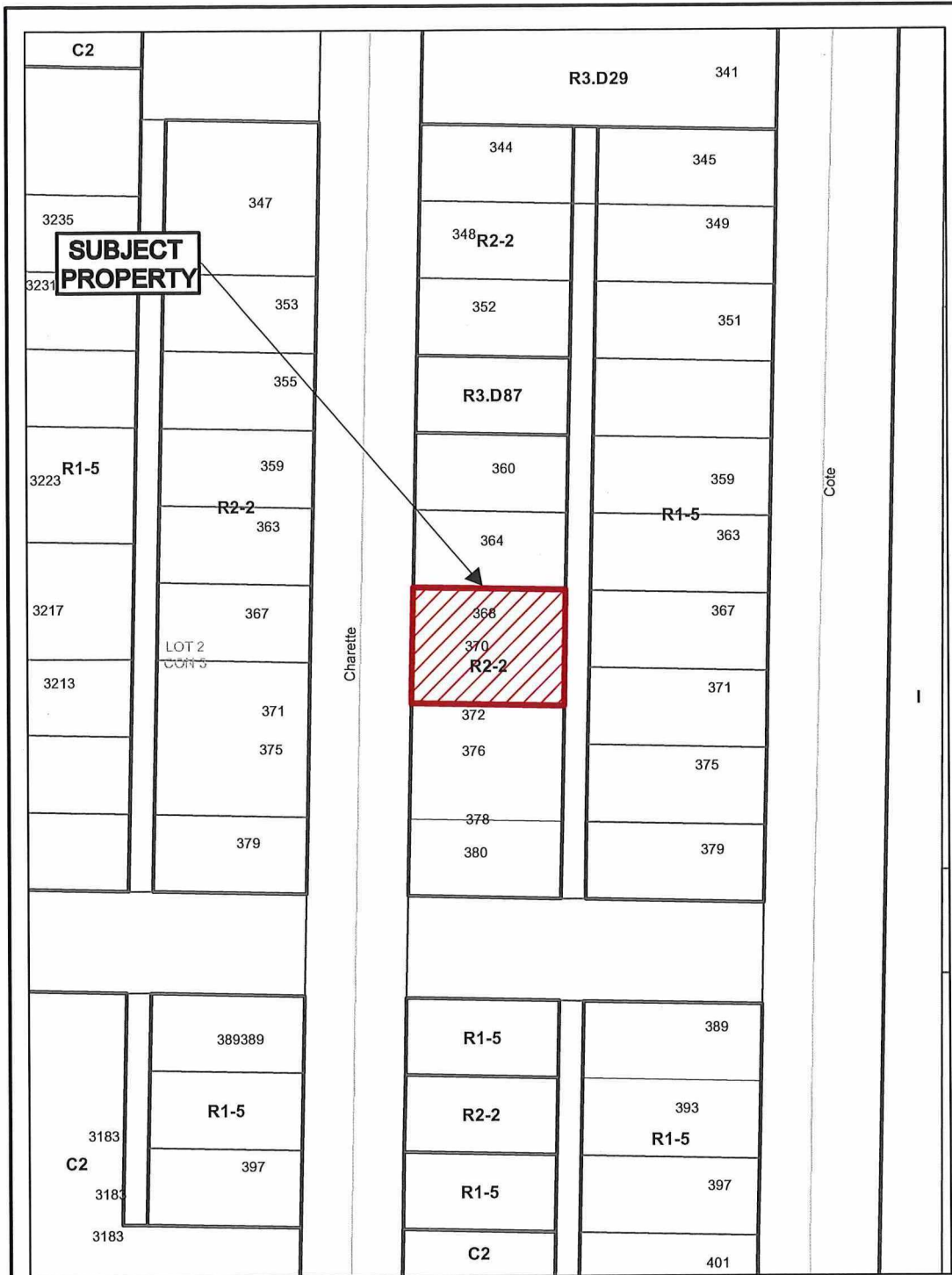
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
368 Charette Ave	Yes										

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
368 Charette Ave.	No	99.9	199.8	2	12.98	7.75	8.54	7.35	15.3	3.66	3.84

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Request to keep two current driveways on 1 property to accommodate a semi detached dwelling	Section 5.4.2 c) to permit the two existing driveways	3.67m and 3.68m	0



Application for Minor Variance or Permission

Subject Property being PIN 73349-1001, Parcel 19522 SEC SWS, Lot 41 and Part Lot 36, Plan M-91, Part Lot 2, Concession 3, Township of Balfour, 368 and 370 Charette Avenue, Chelmsford, City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00012
 NDCA Date: 2026 02 11

SCHEDULE			
PART	LOT	PLAN	PIN
1	PART OF LOT 36 & ALL OF LOT 41	REGISTERED PLAN M-91	ALL OF LOT 73349-1001 (LT)
2	PART OF LOT 33 & 36		
3	PART OF LOT 33 & ALL OF LOT 28		

PARTS 1, 2 & 3 ARE SUBJECT TO EASEMENT LT115135.

COORDINATES BELOW ARE DERIVED FROM NETWORK RTK GPS OBSERVATIONS (SMARTNET) AND ARE REFERRED TO UTM ZONE 17, NAD83 (CSRS) (2010.0).

COORDINATES COMPLY WITH THE URBAN ABSOLUTE ACCURACY PER SEC. 14(2) OF O. REG. 216/10.

POINT ID	NORTHING	EASTING
(A)	5157404.712	484934.553
(B)	5157403.205	485005.159
(C)	5157464.982	484966.291

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

DRAFT

PLAN OF SURVEY OF
LOTS 28, 33, 36 & 41
 REGISTERED PLAN M-91
 GEOGRAPHIC TOWNSHIP OF BALFOUR
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY

SCALE 1 : 250 METRES
 0 1 2 3 4 5 10 20 30

SURVEYORS ON SITE INC.
 THE INTENDED PLOT SIZE OF THIS PLAN IS 457mm IN WIDTH BY 508mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:250.

LEGEND

- D MONUMENT PLANTED
- M MONUMENT FOUND
- SSB SHORT STANDARD IRON BAR
- SB STANDARD IRON BAR
- IB IRON BAR
- M MEASURED
- S SET
- WT WITNESS
- P1 REGISTERED PLAN M-91
- P2 BUILDING LOCATION SURVEY BY D.W. ENDELEMAN O.L.S., REF. No. (10)-M-91-BALFOUR, DATED: AUGUST 25, 1966
- P3 PLAN OF SURVEY BY M.R. MAHER O.L.S., FILE No. 3712, DATED: AUGUST 19, 1970.
- P4 BUILDING LOCATION SURVEY BY ENDELEMAN, HOLDER & WALLACE, REF. No. S1(04-91) BALFOUR, W.O. 71-289, DATED: MAY 20, 1971.
- FNI FIELD NOTES BY D.W. ENDELEMAN O.L.S., REF. No. (16)-M-91-BALFOUR, DATED: AUGUST 25, 1966
- OU ORIGIN UNKNOWN
- EDA EDGE OF ASPHALT
- OH- OVERHEAD UTILITY WIRES
- UP UTILITY POLE

NOTES

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DISTANCES ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE AVERAGE COMBINED SCALE FACTOR OF 0.999561248.

REASONS ARE UTM GRID DERIVED FROM NETWORK RTK GPS OBSERVATIONS (SMARTNET) ON MONUMENTS (A) AND (B) AS SHOWN HEREIN, HAVING A GRID BEARING OF N88°46'40"W, NAD83 CSRS (2010.0) AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (81° W LONGITUDE).

ALL BUILDING TIES SHOWN HEREON ARE TO THE FOUNDATION.

FOR BEARING COMPARISONS, THE FOLLOWING ROTATIONS WERE APPLIED:
 P1 - 0°08'20" CLOCKWISE.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF JANUARY, 2026.

JANUARY 26, 2026

DRAFT

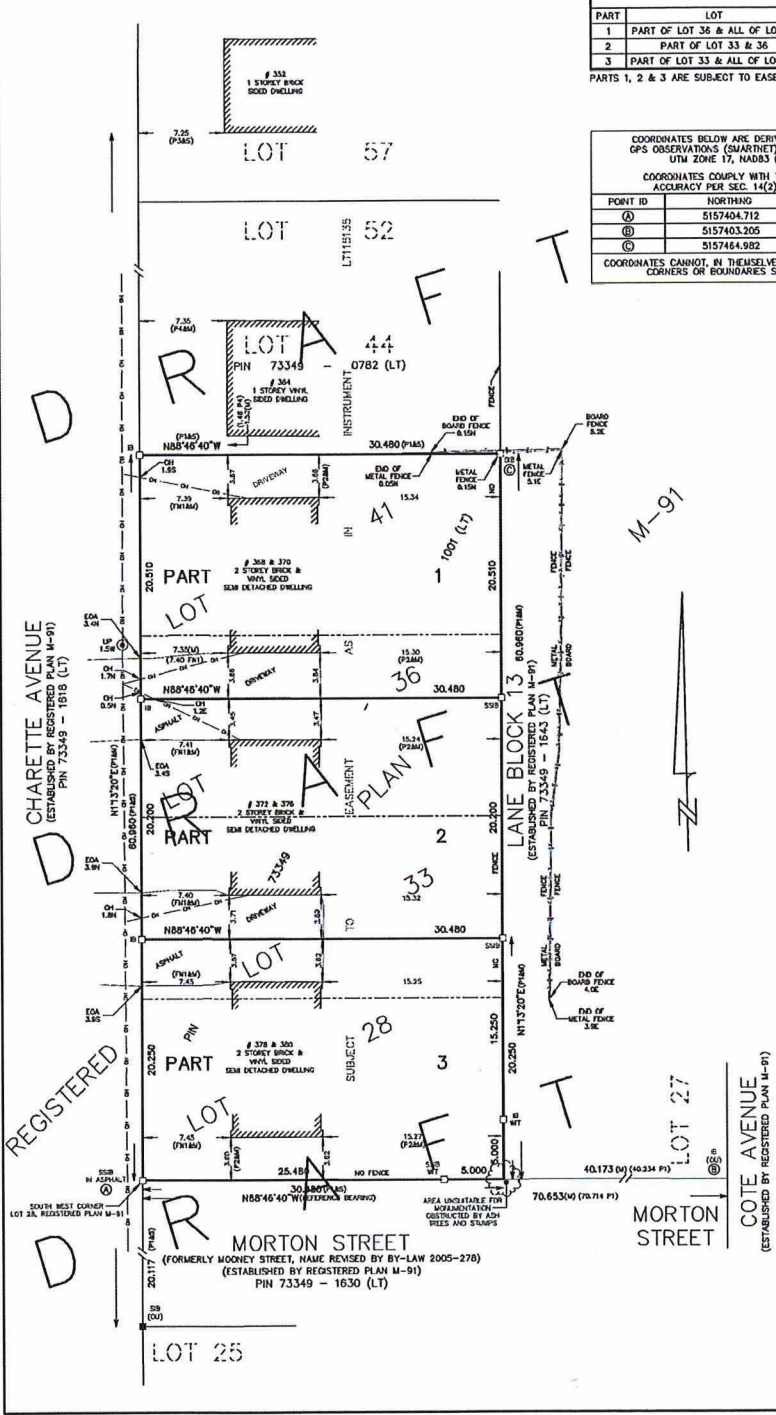
ROBERT WANIAK
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-123593.

SOS SURVEYORS
 ON SITE INC.

885 REGENT STREET, UNIT 632
 GREATER SUDBURY, ONTARIO
 P5E 5M4
 705-565-8340
 www.surveyorsonsite.com

URBAN UT: CS CHECKED BY: RW DATE: JANUARY 26, 2026 FILE: S10325-013_V2



PL-MV-2026-00012
 sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00014

APPLICATION SUMMARY

File Date: 02/09/2026

Application Type: Minor Variance

Address(es): 4376 Notre Dame Avenue, Valley East P3P 1X5

Applicant(s): CR DESIGN

Owner(s): JESSE ALKHOURY AND LEEN AZAR

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

07/31,2024

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

4

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
WHPA-C Vulnerability 8 Scoring

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5

Provide a detailed description of what is being proposed
CONSTRUCT A FOUR UNIT BUILDING AS OF RIGHT WITH A REAR YARD ATTACHED DECK

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
THE EXISTING LOT IS ONLY 30.5 METRES DEEP IN LENGTH, WHICH MAKES IT DIFFICULT TO PROPERLY ACCOMODATE THE REQUIRED 4 PARKING SPACES ON THE PROPERTY. IN ORDER TO DO THIS, THE BUILDING HAS TO BE SETBACK FURTHER FROM THE FRONT OF THE PROPERTY. THIS REDUCES THE REAR YARD SETBACK. THE PROPERTY TO THE REAR IS CURRENLTLY UNDEVELOPED AND ZONED R2-2. THE OWNER OWNS SEVERAL MULTI UNIT BUILDINGS AND IS OKAY WITH NOT HAVING A LARGE REAR YARD AS THE YARDS ARE TYPICALLY NOT USED BY TENANTS. IN LIEU OF NOT HAVING A LARGE YARD, THE OWNER IS PUTTING 1.83M X 4.88M (APPROX) DECKS / PATIOS FOR EACH OF THE FOUR UNITS. IN ORDER TO PROVIDE FOUR PARKING SPACES, THE REQUIRED FRONT YARD HAS TO BE TAKEN UP BY SOME OF THIS PARKING. AS ILLUSTRATED ON THE PLOT PLAN, IT CAN BE SEEN THAT THERE IS STILL LANDSCAPING PROVIDED IN THE FRONT OF THE PROPERTY. WE HAVE TRIED TO MAKE OUR DESIGN BEST SUITED FOR THE LOT AND STILL MAINTAIN CHARACTER FOR THE NEIGHBOURHOOD

Is there an eave encroachment?
Yes

Size of eaves
0.51

Lot Frontage of the property
15.01

Lot Depth of the property
30.5

Lot Area of the property
457.1

Total width of the public road giving access to the property
20

List all buildings and structures on the property and their respective date of construction
NONE

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use
WILL BE A FOUR UNIT BUILDING

Existing uses of neighbouring properties
SFD / TRIPLEX / VACANT R2-2 LAND

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system

Municipally owned and operated sanitary sewage system

Lake

Pit Privy

Individual Well

Communal Well

Individual Septic System

Communal Septic System

Other

Explain Other

PROPERTY ACCESS

Provincial highway

Right-of-way

Municipal road that is maintained seasonally

Municipal road that is maintained year-round

Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
FOUR UNIT BUILDING	No	154.9	309.4	2	11.28	13.73	7.4	13.73	3.05	1.83	1.83
REAR YARD ATTACHED DECK	No	20.64	20.64	1	11.28	1.83	2.9	27.46	1.22	1.83	1.83

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
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ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
TABLE 6.2	REAR YARD SETBACK 7.5M	3.05M	4.45M
TABLE 4.1 - REAR YARD SETBACK FOR ATTACHED DECK GREATER THAN 1.2M IN HEIGHT	MAY ENCROACH 3.6M INTO THE REQUIRED REAR YARD BUT NOT CLOSER THAN 3.0M TO THE REAR LOT LINE	1.22 M FROM THE REAR LOT LINE	1.78M CLOSER TO THE REAR LOT LINE
PARKING IN THE REQUIRED FRONT YARD - 5.4.2. (D)	OUTDOOR PARKING AREAS ARE PERMITTED IN THE REQUIRED FRONT YARD TO A MAXIMUM OF 50% OF THE WIDTH OF THE MINIMUM LOT FRONTAGE OR THE MAXIMUM DRIVEWAY WIDTH ESTABLISHED BY THIS BY LAW, WHICHEVER IS LESSER, IN ALL RESIDENTIAL ZONES - MAX. PERCENTAGE OF FRONT YARD PERMITTED - 7.5m	13.17m	5.67m

SUBSECTION 4.15.1 E) - LANDSCAPED AREAS

A 3.0 metre-wide landscaped area adjacent to the full length of a lot line shall be required abutting all public roads having a width greater than 10.0 metres in all Zones

1.83M WIDE
LANDSCAPED
AREA ADJACENT
TO THE LOT
LINE ABUTTING
NOTRE DAME
AVENUE 1.17M

SUBSECTION 4.15.2

A minimum of 50% of all required front and corner side yards shall be maintained as landscaped open space in Low Density Residential One (R1)

26% 24%

Table 4.1 - Eaves

May encroach 1.2 m into the required yard but not closer than 0.6 m to the lot line.

Encroach 4.95m
into required rear
yard 3.75m

C.R. DESIGN

4376 NOTRE DAME AVENUE, HANMER

THE PROPOSAL FOR THIS PROPERTY IS TO CONSTRUCT A FOUR UNIT BUILDING WITH A REAR YARD ATTACHED DECK. THE EXISTING LOT OF RECORD IS ONLY 30.5 METRES DEEP, WHICH MAKES IT DIFFICULT TO PROPERLY ACCOMODATE THE REQUIRED PARKING FOR THE FOUR UNITS.

IN ORDER TO PROVIDE THE REQUIRED PARKING, THE BUILDING HAS TO BE SETBACK FURTHER FROM THE FRONT OF THE PROPERTY. THIS REDUCES THE REAR YARD SETBACK. THE OWNER OWNS SEVERAL MULTI UNIT BUILDINGS AND IS OKAY WITH NOT HAVING A LARGE REAR YARD AS THE YARDS ARE TYPICALLY NOT USED BY TENANTS. IN LIEU OF NOT HAVING A LARGE YARD, THE OWNER IS PROPOSING 1.83M X 5.64M DECKS / PATIOS FOR EACH OF THE FOUR UNITS. THE PROPERTY TO THE REAR IS CURRENTLY UNDEVELOPED AND ZONED R2-2. IF THE UNDEVELOPED LAND IS LATER DEVELOPED THE DECKS / PATIO AREAS ARE NOT LARGE AND SHOULD NOT BE INTRUSIVE TO THE PROPERTY TO THE REAR.

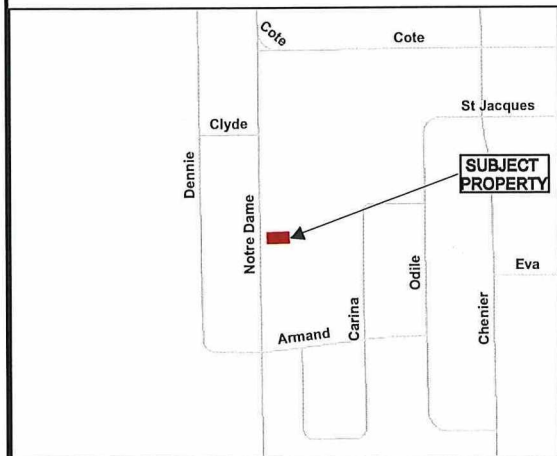
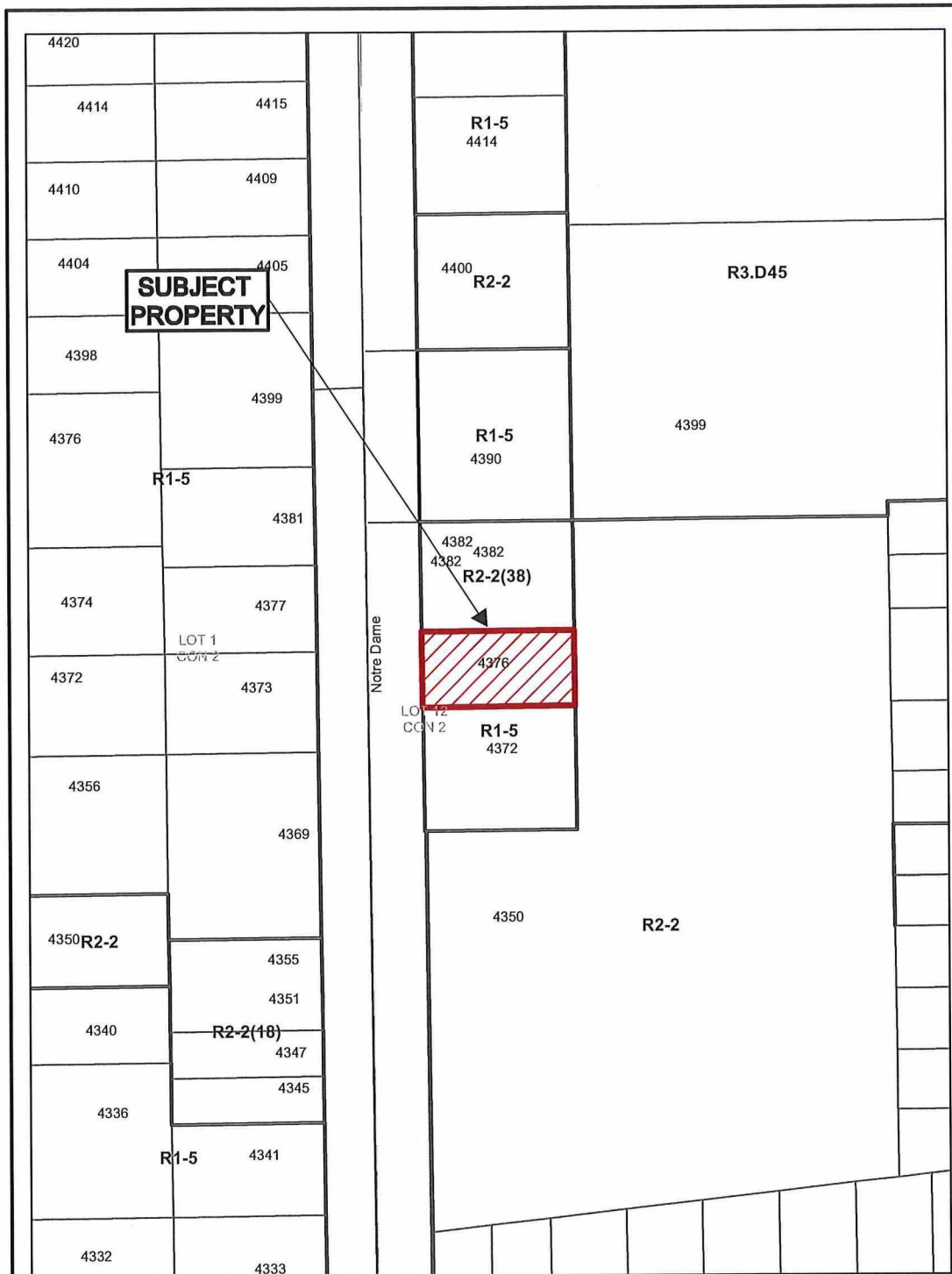
THE REQUIRED FRONT YARD HAS TO BE TAKEN UP BY SOME OF THE REQUIRED PARKING. THE MAIN INTENT OF NOT HAVING PARKING IN THE FRONT YARD IS TO MAINTAIN LANDSCAPING / STREET APPEAL. AS ILLUSTRATED ON THE PLOT PLAN, IT CAN BE SEEN THAT THERE IS STILL LANDSCAPING PROVIDED IN THE FRONT OF THE PROPERTY. WE HAVE TRIED TO MAKE OUR DESIGN BEST SUITED FOR THE LOT AND STILL MAINTAIN CHARACTER FOR THE NEIGHBOURHOOD.

WE HOPE THAT THE COMMITTEE CAN SEE THAT THESE VARIANCES ARE MINOR IN NATURE AND WILL NOT HAVE A NEGATIVE IMPACT AND SUPPORT ADDITIONAL HOUSING THAT IS REQUIRED IN THE CITY.

ROHIT WALIA

C.R. DESIGN

PL-MV-2026-00014



Application for Minor Variance or Permission

Subject Property being PIN 73508-1442, Part Lot 12, Concession 2, Parts 1-2, Plan 53R-21146, subject to easements as in LT13824 & LT13825, Township of Capreol, 4376 Notre Dame Avenue, Valley East, City of Greater Sudbury

Sketch 1, NTS PL-MV-2026-00014
 NDCA Date: 2026 02 12



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00015

APPLICATION SUMMARY

File Date: 02/10/2026

Application Type: Minor Variance

Address(es): 3062 Manon Street, Hanmer, Ontario P3P 0E3

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENTS CORP

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

CONSTRUCT A SEMI DETACHED DWELLING WITH AN ATTACHED GARAGE AND COVERED PORCH

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

THE OWNER HAS A PARTICULAR MODEL THAT HAS BEEN POPULAR WITH SENIORS IN THE AREA AND THE DEVELOPER WOULD LIKE TO CONTINUE BUILDING THIS MODEL. THIS MODEL IS A LITTLE LONGER THAN WHAT THE REAR YARD SETBACK PERMITS, HOWEVER IT STILL PROVIDES PRIVACY FOR ALL THE NEIGHBOURING PROPERTIES AND MATCHES THE OTHER NEW BUILDINGS IN THE SUBDIVISION

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

11.5

Lot Depth of the property

31

Lot Area of the property

371.24

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACANT LAND

Is the use remaining the same? If no, please provide the proposed new use

RESIDENTIAL

Existing uses of neighbouring properties

RESIDENTIAL - SFD'S AND SEMI DETACHED DWELLINGS

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

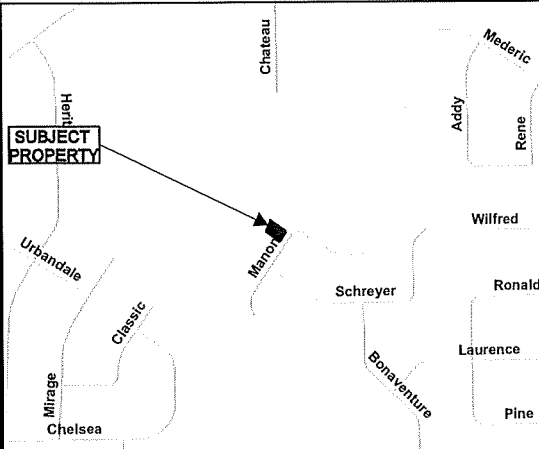
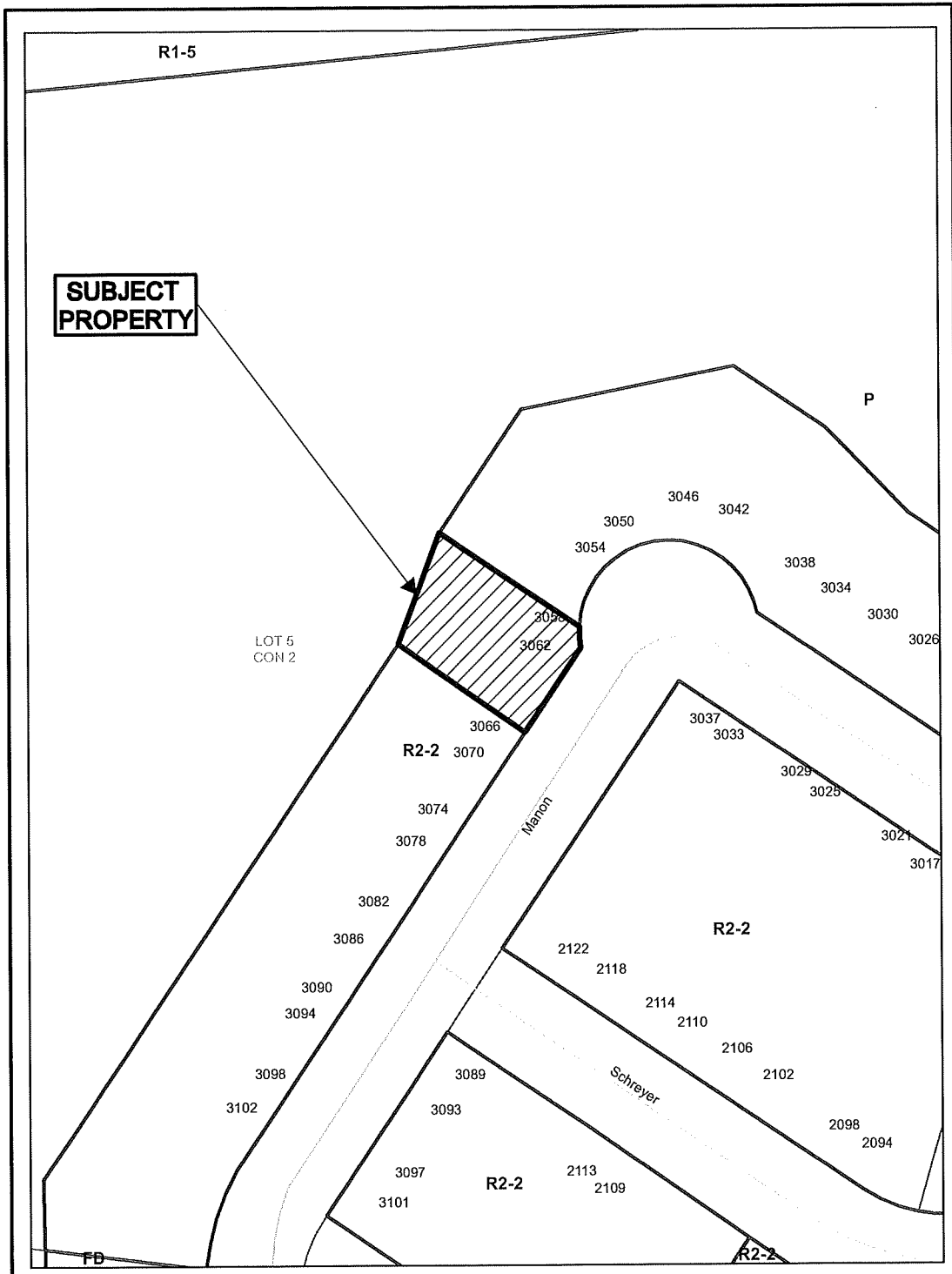
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SEMI DETACHED DWELLING WITH AN ATTACHED GARAGE AND COVERED PORCH	No	164	164	1	9.15	18.5	6.5	6.1	6.82	2.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
REAR YARD SETBACK TABLE 6.2	7.5M	6.82M	0.68M

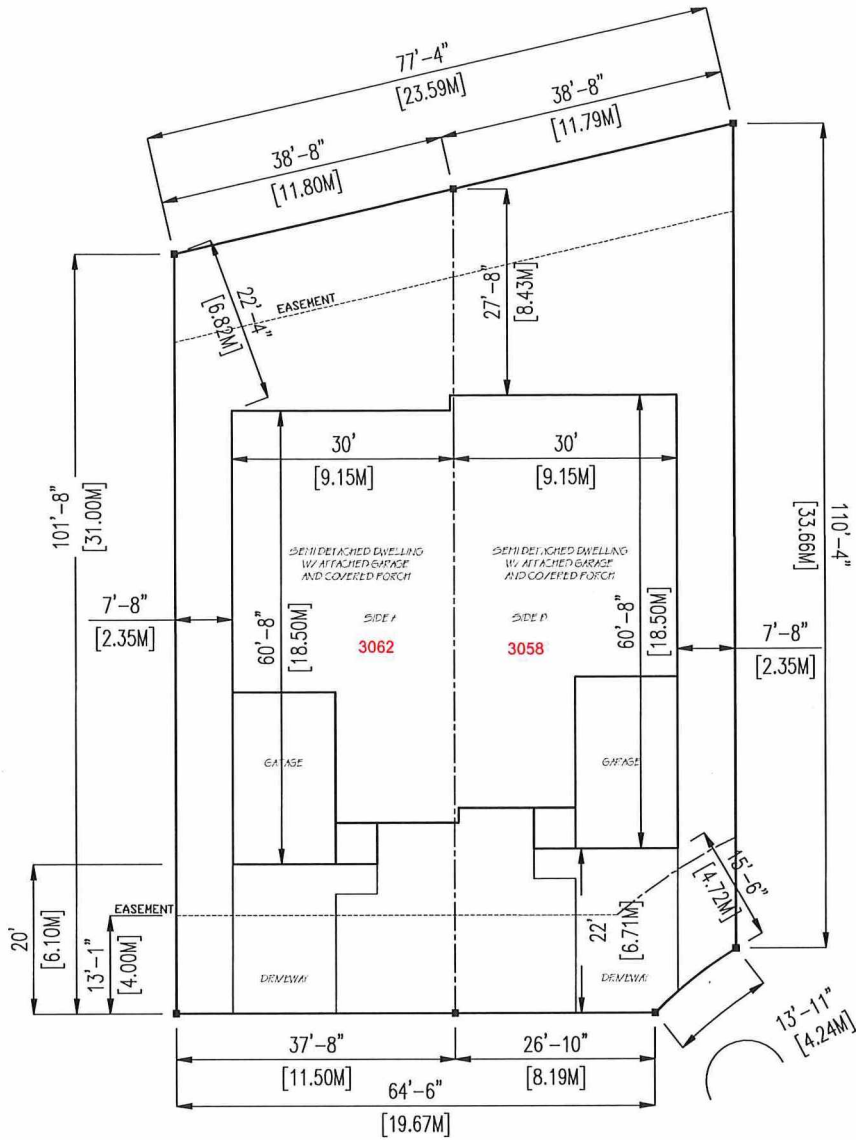


Application for Minor Variance or Permission



Subject Property being PIN 73504-1108, Parcel M1114-124-1 SES SRO, Lot 130, Plan M-1114, Part Lot 5, Concession 2, Township of Hanmer, 3058 and 3062 Manon Street, Hanmer, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2026-00015
 PL-MV-2026-00016
 Date: 2026 02 12



LOT 130 MANON STREET

SCALE



0 2 4 6 8 10
METRES

SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2	186 X 188	186 X 188	186 X 188
LOT AREA	7682 M ²	3712 M ²	3970 M ²
MAXIMUM PERMITTED LOT COVERAGE	345.63 M ² (45%)	167 M ² (45%)	178.65 M ² (45%)
PROPOSED LOT COVERAGE	3289 M ² (42.7%)	1649 M ² (44.2%)	1640 M ² (41.3%)
REQUIRED REAR YARD SETBACK TABLE 6.2	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK		6.82 METRES	8.43 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		0.68M	
REQUIRED FRONT YARD SETBACK TABLE 6.2	6M	6M	6M
PROPOSED FRONT YARD SETBACK		6.3M	4.72M
DIFFERENCE OF REQUIRED FRONT YARD SETBACK TO PROPOSED			1.28M

CR Design

Semi Det. Dwelling w/ Att. Garages / Cov. Porches

Lot 130 Manon Street, Harmer

Site Plan

SP1



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2026-00016

APPLICATION SUMMARY

File Date: 02/10/2026

Application Type: Minor Variance

Address(es): 3058 Manon Street, Hanmer, Ontario P3P 0E3

Applicant(s): CR DESIGN

Owner(s): DOMINION PARK DEVELOPMENT

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

03/2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

N/A

Provide a detailed description of what is being proposed

SEMI DETACHED DWELLING WITH AN ATTACHED GARAGE AND COVERED PORCH

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

THE OWNER HAS A PARTICULAR MODEL THAT HAS BEEN POPULAR WITH SENIORS IN THE AREA AND THE DEVELOPER WOULD LIKE TO CONTINUE BUILDING THIS MODEL. THIS MODEL IS A LITTLE LONGER THAN WHAT THE FRONT YARD SETBACK PERMITS. THE STREET HAS AN ARC AT THE CORNER OF THIS LOT, WHICH IS WHERE THE FRONT YARD SETBACK IS REDUCED, HOWEVER THE BUILDING IS STILL SETBACK FAR ENOUGH AND MATCHES THE OTHER NEW BUILDINGS IN THE SUBDIVISION

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

12.43

Lot Depth of the property

33.66

Lot Area of the property

397.26

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

VACANT LAND

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

VACAND LAND

Is the use remaining the same? If no, please provide the proposed new use

RESIDENTIAL

Existing uses of neighbouring properties

SFD AND SEMI DETACHED DWELLINGS

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

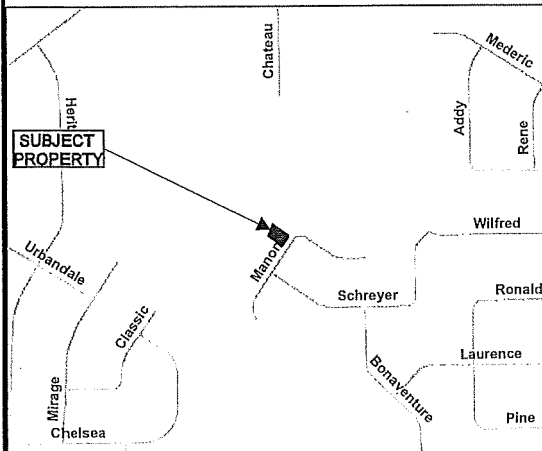
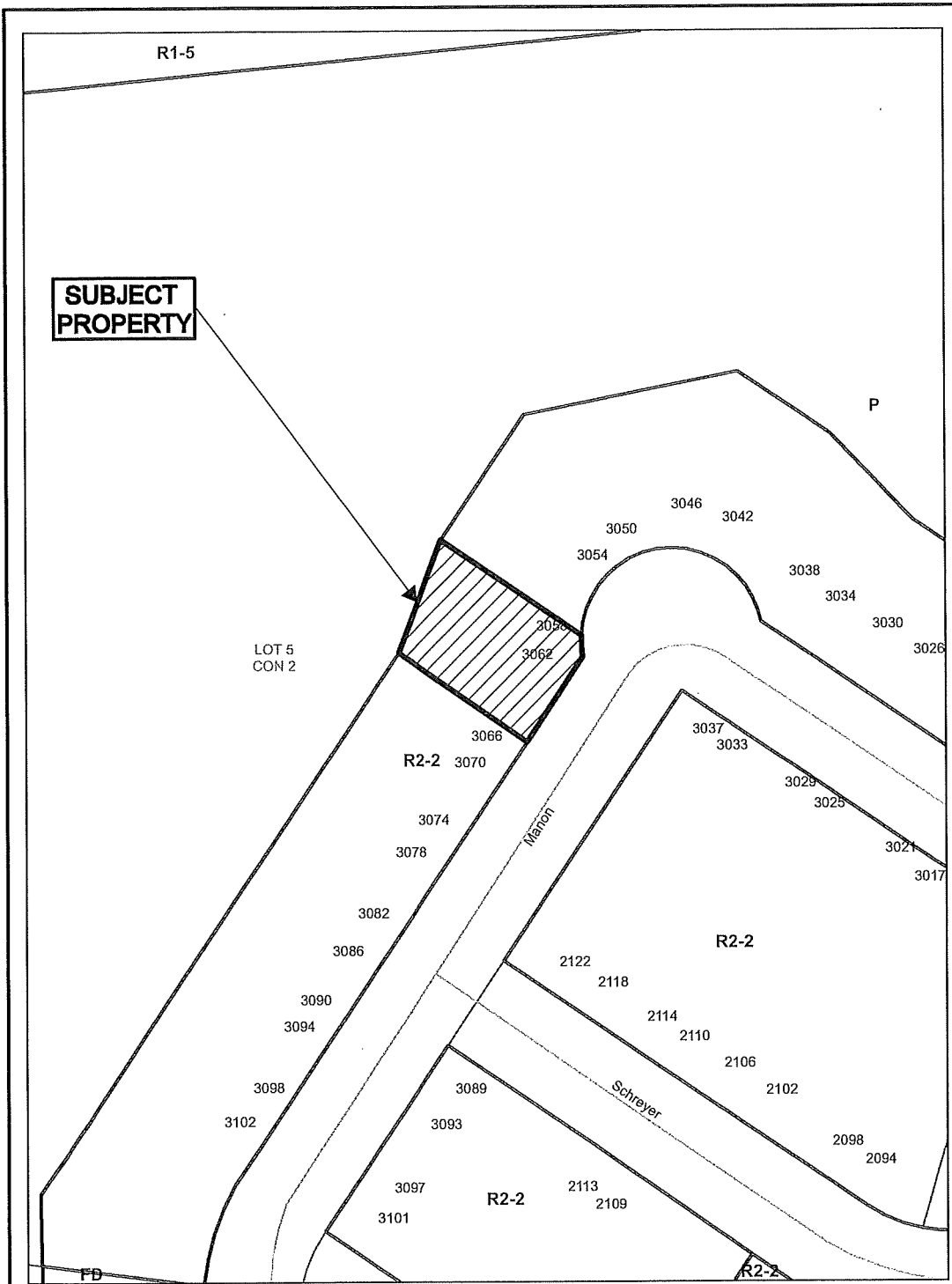
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
SEMI DETACHED DWELLING WITH AN ATTACHED GARAGE AND COVER PORCH	No	164	164	1	9.15	18.5	6.5	4.72	8.43	2.35	0

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
FRONT YARD SETBACK TABLE 6.2	6M	4.72M	1.28M



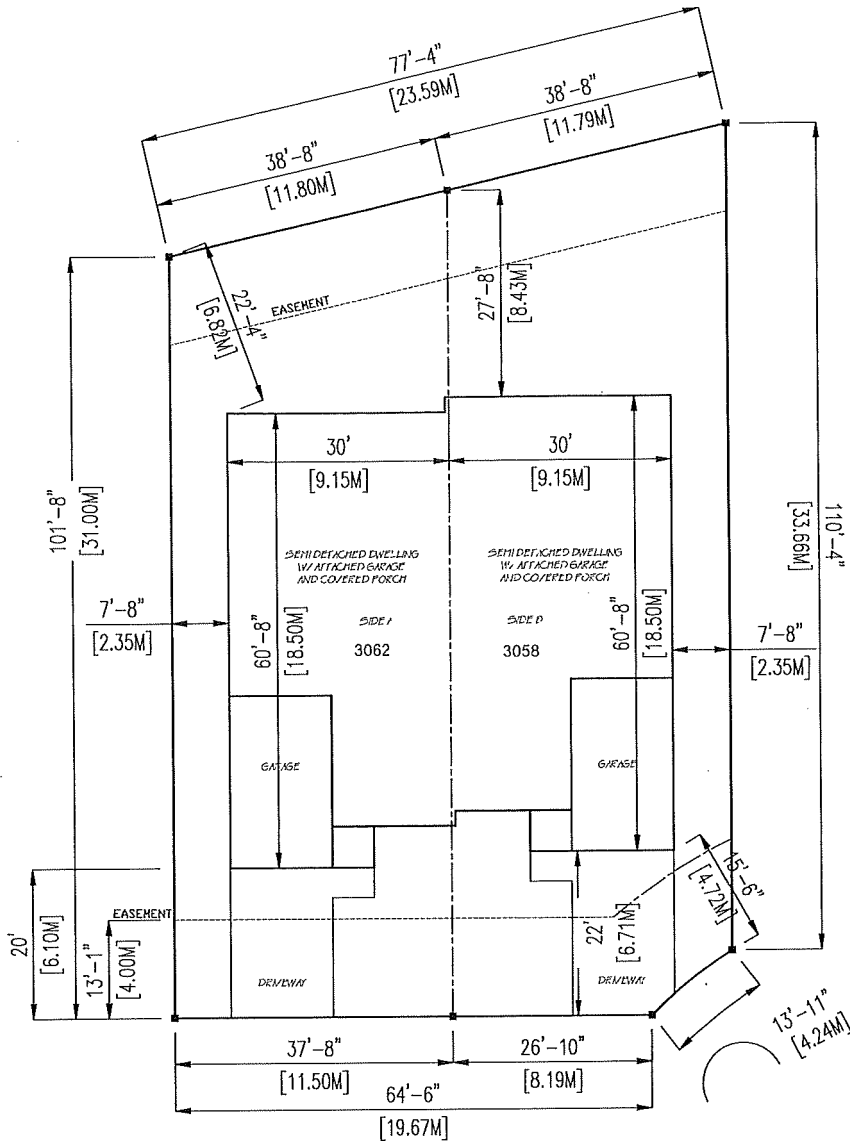
Application for Minor Variance or Permission



Subject Property being PIN 73504-1108,
 Parcel M1114-124-1 SES SRO,
 Lot 130, Plan M-1114,
 Part Lot 5, Concession 2,
 Township of Hanmer,
 3058 and 3062 Manon Street, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2026-00015
 PL-MV-2026-00016
 Date: 2026 02 12



LOT 130 MANON STREET

SCALE



0 2 4 6 8 10
METRES

SITE STATISTICS	WHOLE LOT	LEFT SIDE (A)	RIGHT SIDE (B)
ZONING R2-2			
LOT AREA	192 X 118 22656 SQ	186 X 118 21948 SQ	106 X 106 11236 SQ
MAXIMUM PERMITTED LOT COVERAGE	34583 M ² (45%)	167 M ² (45%)	17865 M ² (45%)
PROPOSED LOT COVERAGE	32842 (42.7%)	16442 (44.2%)	16442 (41.2%)
REQUIRED REAR YARD SETBACK TABLE 6.2	7.5 METRES	7.5 METRES	7.5 METRES
PROPOSED REAR YARD SETBACK		6.92 METRES	8.43 METRES
DIFFERENCE OF REQUIRED REAR YARD SETBACK TO PROPOSED		0.68M	
REQUIRED FRONT YARD SETBACK TABLE 6.2	6M	6M	6M
PROPOSED FRONT YARD SETBACK		6.1M	4.72M
DIFFERENCE OF REQUIRED FRONT YARD SETBACK TO PROPOSED			1.28M

CR Design

Semi Det. Dwelling w/ Att. Garages/ Cov. Porches

Lot 130 Manon Street, Harmer

Site Plan

SP1



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00002

APPLICATION SUMMARY

File Date: 01/30/2025

Application Type: Minor Variance

Address(es): 989 West Bay Road, Skead P3L 1V3

Applicant(s): NORTH SOUTH STUDIO

Owner(s): GEORGE SOULE

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

April 19, 2016

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

What is the number of proposed new buildings/structures on the property?

What is the number of existing buildings/structures on the property?

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

RS(1)

Provide a detailed description of what is being proposed

NEW 18.29 m x 18.29m (60 x 60 feet) single family home to be erected at same location of existing COTTAGE TO BE DEMOLISHED approx 19.8m from established high water mark (see sketch)
EXISTING SLEEP CAMP AT WATER EDGE (SEE ATTACHED SKETCH) to remain

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

We are applying for a minor variance regarding the water frontage setback, which is currently 30m from the high water mark. We propose building a new one storey dwelling with crawl space approximately 19.8m from the high watermark. The owner requests that the new dwelling be constructed in the exact location of the existing cottage, which-will-be-demolished. This is due to the proximity of the new field bed, holding tank, existing sauna. Placing the new home in any other location would obstruct the view of the lake.

Is there an eave encroachment?

Yes

Size of eaves

0.450

Lot Frontage of the property

266

Lot Depth of the property

150

Lot Area of the property

13500

Total width of the public road giving access to the property

10

List all buildings and structures on the property and their respective date of construction

Boathouse - 1990
Existing cottage - 1930
Garage - 1985
Sauna - 1998
Sleep Camp - 1930
Storage Building -1950

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Cottage - 90 Years

Is the use remaining the same? If no, please provide the proposed new use

Same

Existing uses of neighbouring properties

Year Round Residences

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system

Municipally owned and operated sanitary sewage system

Lake

Pit Privy

Individual Well

Communal Well

Individual Septic System

Communal Septic System

Other

Explain Other

PROPERTY ACCESS

Provincial highway

Right-of-way

Municipal road that is maintained seasonally

Municipal road that is maintained year-round

Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Dwelling	No	334	334	1	18.29	18.29	7	17.7	64.2	16.9	80.5

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Boathouse	No	59	59	1	5.9	10	4.2	0	0	0	0
Existing cottage	Yes	100	100	1	10	10	6	17.7	73	22.9	84
Garage	No	123	123	1	11	11	6	50.5	48.1	6.8	95.5
Sauna	No	35	35	1	4.8	7.3	3	3.1	85.6	42.4	69.8
Sleep Camp	No	43	43	1	5.9	7.3	4	11.6	78.5	48.7	60.6
Storage Building	Yes	13.3	13.3	1	3.6	9.7	3	15.0	118.2	83.5	29.11

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
HWM setback - new dwelling	4.41.2 (a) - 30m	19.8m	10.2m
Shoreline buffer area - new dwelling	4.41.4(a) - 20m	19.8m	0.2m
HWM setback - garage	4.41.2(a) - 30m	18.2m	11.8m
Shoreline buffer area - garage	4.41.4(a) - 20m	18.2m	1.8m
HWM setback - sleep camp	4.41.2(a) - 30m	12.7m	17.3m

Sarah Pinkerton

From: paul pelland <[REDACTED]>
Sent: January 29, 2026 3:00 PM
To: Sarah Pinkerton
Cc: Sarah Woods; George Soule
Subject: PL-MV-2025-00002 989 West Bay Road
Attachments: 3125TOPO-Model.pdf; RecordComments_V2_20250228_103546 (1).pdf; 3125TOPO-Model1.pdf; 1106_989_West_Bay_Road_Erosion_Study_06JAN2026_LET.pdf

Re: Minor Variance Application PL-MV-2025-00002

Subject Property: Wanapitei Lake

To: Sarah Pickeron

Secretary-Treasurer, Committee of Adjustment City of Greater Sudbury

We would like to request that a hearing be scheduled for early March, as we are now fully prepared to move forward with the minor variance application.

I am writing to confirm that all matters identified in the City's circulation comments for Application PL-MV-2025-00002 have been fully addressed.

Following the initial review, Conservation Sudbury requested a detailed topographic survey and hazard assessment to determine the extent of flood and erosion hazards on the property. A complete topographic survey (CGVD28), including the 267.95 m high-water mark, the 269.15 m regulatory flood elevation, 0.25 m contours, slope mapping, and all existing/proposed development, was prepared by qualified professionals and submitted to Conservation Sudbury.

An erosion assessment report was also completed in accordance with Conservation Sudbury's requirements. Conservation Sudbury has reviewed the submitted materials, approved the findings, and confirmed that they are satisfied with the results. They have no further objections to the proposed development or the variances requested.

All other departmental comments have been addressed, including the corrected setback measurement for the sleep camp, confirmation of the required 2.0 m setback between the sauna and the proposed dwelling, and the relocation/removal of the existing storage shed to comply with the 30 m high-water setback.

With all technical requirements satisfied and no outstanding objections from commenting agencies, we respectfully request that the Committee consider the application in its current form and proceed with approval.

Thank you for your time and consideration.

1. Overview

The application seeks approval to:

- Reconstruct new dwelling
- Recognize the existing **garage** and **sleep camp**
- Obtain variances for reduced setbacks and structures within the shoreline buffer

The new dwelling is **not located any closer to the lake** than the existing dwelling.

2. Conservation Sudbury – All Requirements Fully Satisfied

A complete hazard assessment package has been submitted, including:

- Full **topographic survey (CGVD28)**
- **267.95 m** high-water mark
- **269.15 m** regulatory flood elevation
- **0.25 m contour mapping**
- **Slope analysis** identifying all slopes steeper than 3H:1V
- Mapping of **all existing and proposed structures**
- A full **erosion assessment report** prepared by qualified professionals

Conservation Sudbury has reviewed the materials, approved the erosion assessment, and confirmed they are satisfied with the results.

They have **no remaining objections** to the proposed development or the variances.

This resolves the primary reason for the original deferral recommendation.

3. City Department Comments – All Addressed

- **Sleep camp setback** corrected (measured from high-water mark, not property line)
 - **Sauna-to-dwelling setback** confirmed to meet the required 2.0 m
 - **Storage shed** relocated/removed to comply with the 30 m setback
 - All other departments: **No concerns**
-

4. Planning Rationale

- The new dwelling maintains the existing lakeward footprint and does **not increase encroachment** toward the shoreline

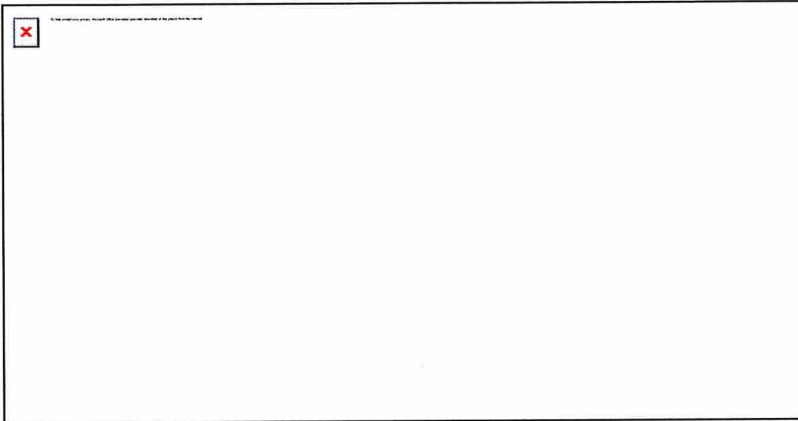
- Variances for the garage and sleep camp recognize **long-standing existing structures**
 - Hazard concerns have been fully resolved through professional analysis
 - No agency maintains any objection
 - The application now meets the tests of the Planning Act:
 - **Minor**
 - **Desirable**
 - **Appropriate development**
 - **Maintains the intent** of the Official Plan and Zoning By-law
-

5. Current Status

All technical requirements have been met.

All agency concerns have been resolved.

The application is now in a **supportable position for approval.**





George Soule
989 West Bay Road
Garson (Sudbury), ON
P3L 1V3

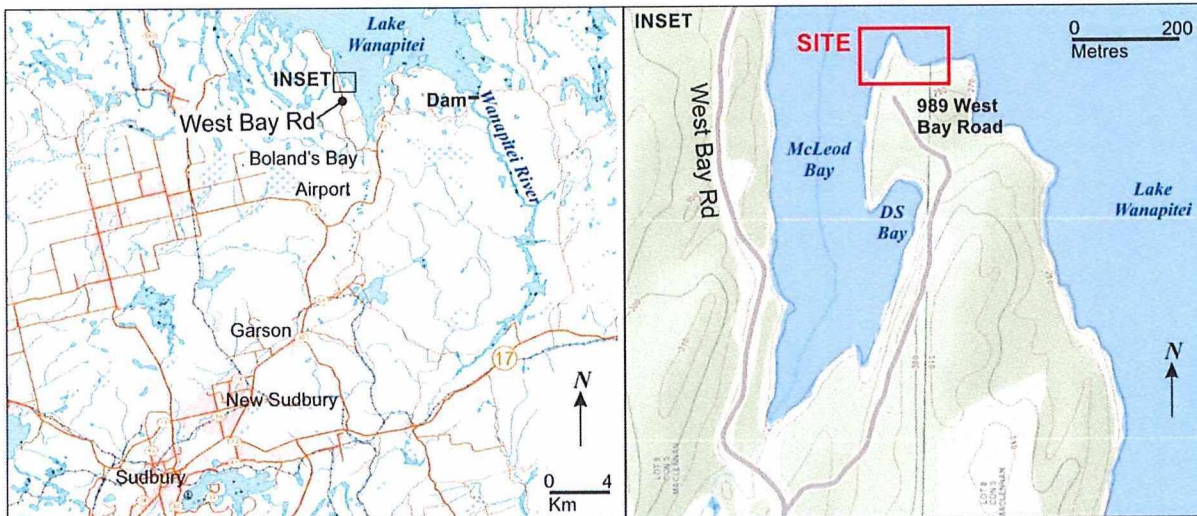
January 6, 2025

Re: 989 West Bay Road Lake Wanapitei shoreline erosion assessment. Ecoreg PN: 1106

Dear Mr. Soule,

This letter summarizes an assessment of shoreline stability that was undertaken along Lake Wanapitei at the property located at 989 West Bay Road, Garson, ON., herein referred to as “the site”. The site is located within the Region of Sudbury, along the southwest shoreline of Lake Wanapitei approximately 17 kilometres northeast of Garson and 30 kilometres northeast of Sudbury, Ontario (Figure 1). While every effort was made to investigate and accurately assess the erosion condition at the site, it is recommended that a qualified professional with experience in shoreline erosion processes be consulted before existing protective works are modified, or new structures are constructed.

Figure 1. Location of site investigated at 989 West Bay Road, Sudbury.



Introduction

The site is adjacent to a regulated waterbody (Wanapitei Lake). As a result, the regulatory agency (Conservation Sudbury) has required an erosion study to determine the erosion hazard along the lakeshore at the site in advance of the proposed redevelopment of the site. This technical memorandum presents the results of the erosion hazard assessment undertaken to investigate the shoreline erosion hazard at the site.

Scope of Work

A geomorphologic assessment was conducted at the site that supports the objective of determining shoreline erosion rates. The mechanism of erosion at this site is lacustrine (wave action). The following tasks were undertaken:

- Review background information, e.g., aerial imagery; topographical and geological mapping,
- Conduct historical assessment to document past shoreline alignments and to determine shoreline migration rates throughout the historical record, and
- Collect and analyse field data (topography, bathymetry, sediment characteristics, degree of vegetative control, etc.) to characterize to identify and characterize operative geophysical processes.
- Determine the predicted erosion hazard allowance (100-year rate of erosion).

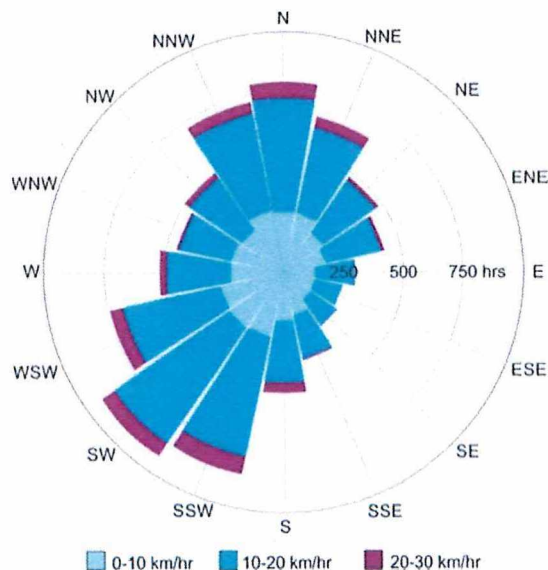
Background Information

Topographic and geological mapping was reviewed to characterize lands in the vicinity of the site. The lake at its outlet occupies a drainage area of 2,540 km² with flow to the south and toward the French River (OMNRF, 2025). The project site is located on the southwest shore of Wanapitei Lake near McLeod Bay. The terrain near the site is forested with numerous houses or cottages that were constructed on undulating bedrock with a local relief of approximately 10 m. Granular surface materials of sand and silt, where present, are thin and less than 1 m thick (Barnett and Bajc, 1999).

Wanapitei Lake is a regulated waterbody, with water levels controlled by a dam operated by Ontario Power Generation (OPG) located at the outlet of the lake. Median water levels in the lake peak at approximately 267.5 m, from approximately the beginning of May to the end of December each year. By early April, water levels drop to their annual low of approximately 265.7 m, a range of 1.8 m. Daily real-time lake water levels are published online by OPG (2025).

The longest fetch on the lake is in the north to south direction, which also corresponds to a prominent wind direction, as based on meteorological data available for Sudbury (Figure 2). Sustained winds of 30 km/hr or less from this direction occur approximately 9% of the year. Based on a fetch of 11 km and winds of 30 km/hr wave heights reach a significant wave height of 0.5 m, with further increases in wave height being limited by fetch (Swellbeat, 2025). The wave climate likely has sufficient energy to initiate shoreline erosion. The degree of erosion will depend on various factors, such as shoreline configuration and materials, depth of the nearshore zone, soils and vegetation, shore protection structures, and other controls. Owing to this possibility, additional investigations were undertaken.

Figure 2. Wind rose for Sudbury Region (Environment Canada, 2025)





Methods of Investigation

A variety of desktop and field techniques were applied to determine shoreline stability at the site, both historically (longer term) and present-day.

Historical Assessment

The historical assessment consisted of a desktop study that investigated changes to the shoreline orientation over time. Archival aerial images of the site were flown in 1946 and 2020. The 1946 image was able to be used because there were structures and prominent bedrock outcrops that were present on the 2020 image. Both images were imported into AutoCAD, overlaid, scaled, and aligned by correlating ground features that were clearly visible on both images. The shoreline was mapped for 1946 and 2020. A cottage and dock existed on site in 1946 and appear to be present in 2020, which simplified correlating the two images. The shoreline was mapped where visibility was not obstructed by tree cover.

The median shoreline erosion rate (m/yr) was determined photogrammetrically and multiplied by a factor of 100 to yield the 100 year erosion allowance, as per MNR (1996). Where the measured erosion rate was less than the image resolution of the available aerial imagery, then the higher of the two results was used. This minor deviation from the published guidelines is considered a conservative and appropriate modification.

Field Assessment

A shoreline erosion assessment was conducted along the lakeshore at the site. The purpose of this assessment was to search for evidence of erosion as well as the robustness of erosion controls or structures and other features that may either support or contradict the historical assessment.

The observations used to determine erosion conditions included measurement/observation of the following:

- Topographical transects
- Vegetation rooting depth and density
- Substrate material type
- Surface protection, such as beaches or shore protection works and condition

Shoreline topographical cross-sections were surveyed at the site with an engineering level and plotted to determine the slope of the nearshore, beach, and backshore, and to identify breaks in slope (inflections) that may indicate historical erosion scarps. At least one of the transects extended to a water depth that was considered below the influence of wave action (> 2 m depth). Observations were collected of substrate material.

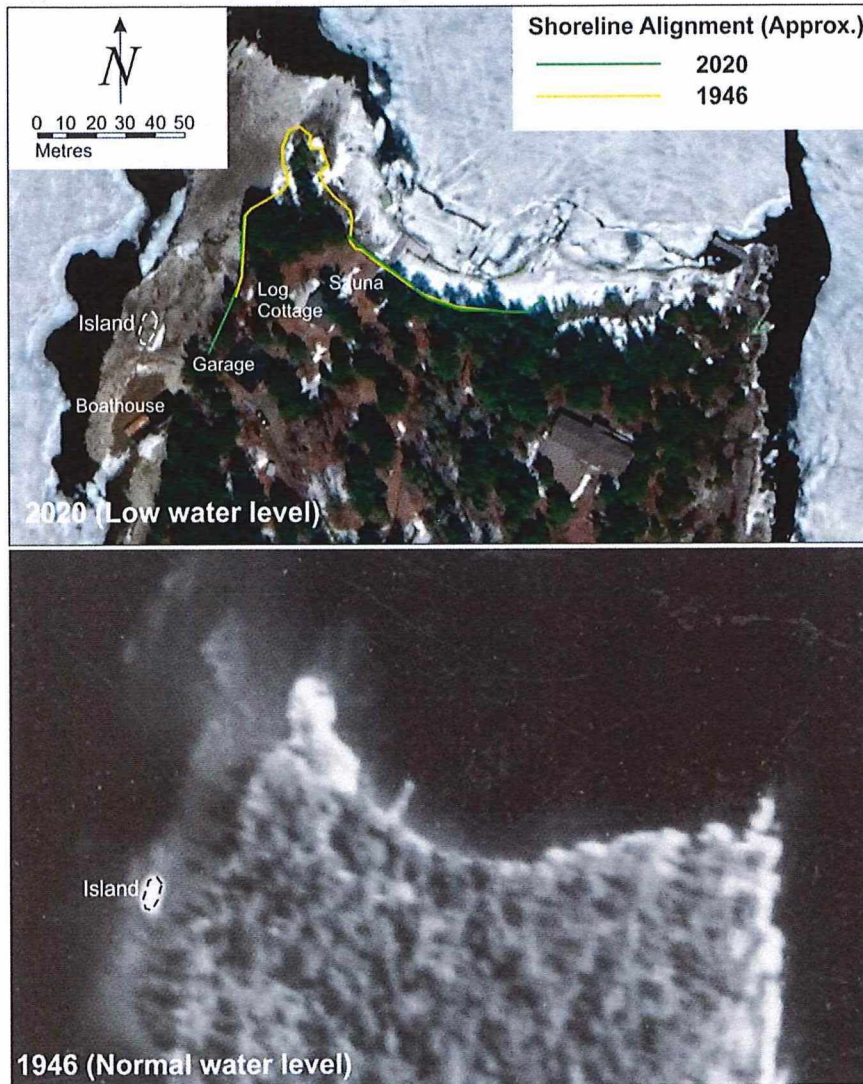
Results

The results of the historical assessment and field assessment are presented below.

Historical Assessment

There has been minimal change to the shoreline configuration at the project site over the period of record (1946-2020). The shoreline was visible on the 1946 imagery as there were fewer large trees at this time, and the 2020 imagery was obtained when trees were bare and ground features more easily observed. Archival aerial imagery (1946) indicates that a log cottage and dock was present at the project site at this time, as well as prominent bedrock headlands (Figure 3). The image resolution of the 1946 imagery is estimated to be 2 m.

Figure 3. 989 West Bay Road project site and current and historical shoreline alignments



Erosion Hazard Allowance

Based on the 1946 and 2020 aerial imagery, the existing cottage was located approximately 22 m from the shoreline (water's edge). Close examination of the imagery indicated that the shoreline alignment did not appear to change over the 74 year period of record. The shoreline recession rate is considered below the 2 m limit of aerial imagery resolution over a period of 74 years, which equates to a recession rate of less than 0.027 m/yr.

In consideration of the limited resolution of the aerial imagery, the erosion hazard allowance (100-year erosion limit) was conservatively estimated to be 2.7 metres. The erosion rate is based on imagery dated on or before 2020 and therefore does not consider any future improvements to the existing shore protection structures. The erosion limit is offset from the elevation contour of 267.95 m, which is equivalent to the

maximum operating level of the OPG dam. This elevation is coincident with the elevation of the existing top of bank / erosion scarp that was observed on site.

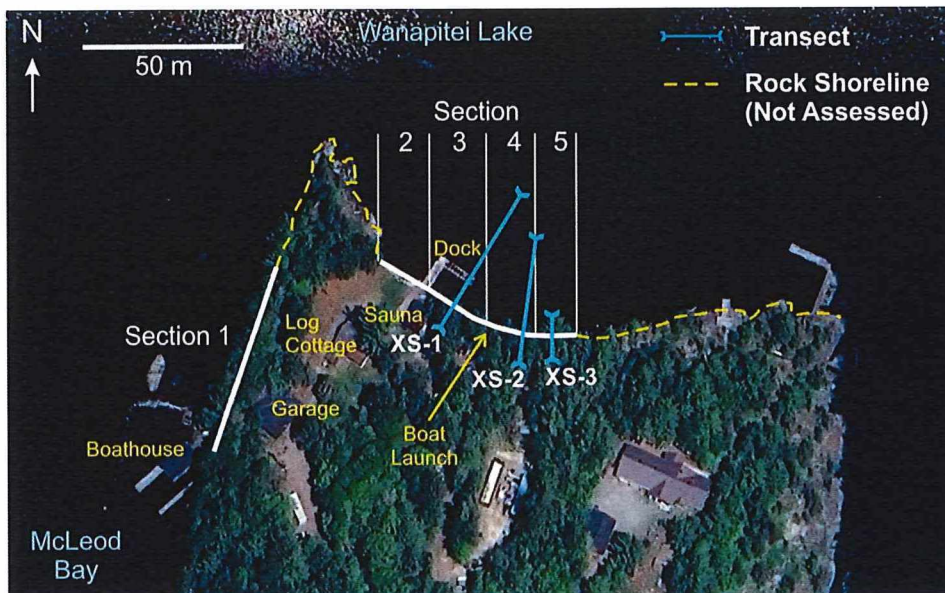
Field Assessment

A field inspection was conducted November 5, 2025. Based on this investigation, the shore was found to consist of five different shoreline types as based on type of shore protection, or lack thereof (Figure 4).

Shoreline Sections Delineated

- Section 1: Boulder toe (likely natural) at base of small bluff, facing McLeod Bay
- Section 2: Vertical concrete wall, approx. 0.8 m high, on bedrock
- Section 3: Vertical timber retaining wall 0.8 m high with small, protective beach
- Section 4: Natural beach and small erosion scarp with no artificial shore protection structures
- Section 5: Boulder revetment shore protection, 1 m thick and 3 m wide

Figure 4. Shore sections and transects at 989 West Bay Road project site.



Shore Section 1: Boulder Toe (Natural) - Approximate length: 70 m.

This section of shoreline on the west side of the property on McLeod Bay, consists of a 2-3 m bluff (Photo 1). The bluff is protected by a boulder toe approximately 0.5 m high and 1.5 m wide (Photo 2). The water in McLeod Bay in the nearshore zone is less than 1 m deep and consists of a bedrock shelf that extends approximately 50 m from the boulder toe into the lake. Shoreline erosion was not observed in this area and is not expected to be an issue given the shallow water and bedrock/boulder shoreline materials.

Photo 1. View west from top of gentle bluff



Photo 2. Boulder toe at base of bluff



Shore Section 2: Concrete Breakwall- Approximate length: 20 m.

Section 2 consists of shoreline that has been armoured with a vertical concrete breakwall approximately 0.8 m high and 0.5 m wide (Photo 3). The wall was constructed on a bedrock shelf which extends offshore approximately 10 m with water depths 1 m or less (Photo 4). The concrete wall appears to be present on the 1946 aerial imagery and may have been constructed for landscaping purposes and not to protect the shoreline, as the shore is well-protected by bedrock. The wall is weathered but otherwise appears to be in good condition with no large cracks or failures evident. Excessive erosion was not observed along this section of shoreline. There was no protective beach in front of the breakwall. There is a wooden dock, 3 m wide at the east end of the breakwall.

Photo 3. Dock and concrete breakwall on bedrock

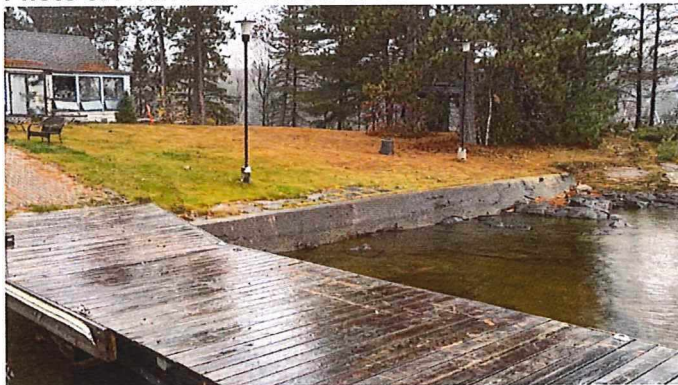


Photo 4. Breakwall on bedrock substrate

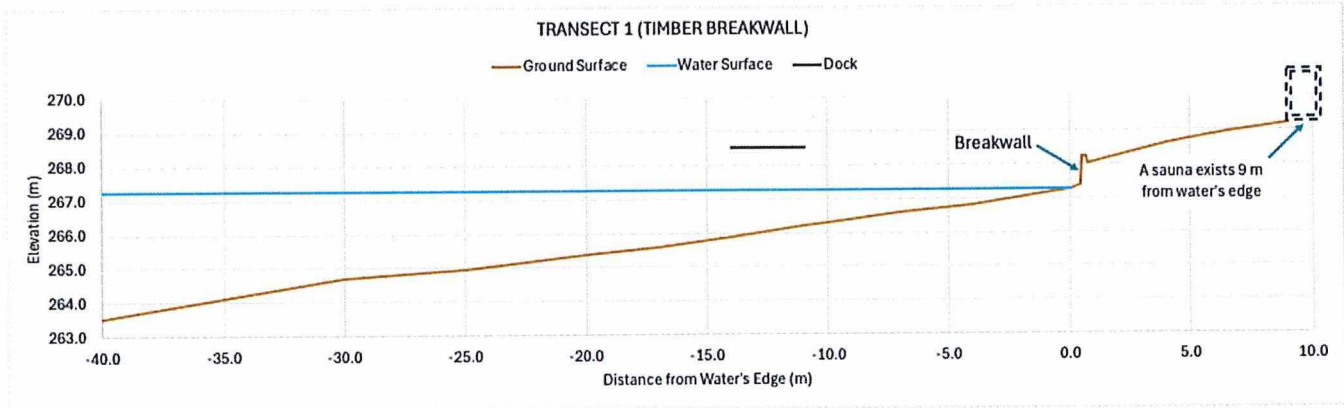


Shore Section 3: Timber Breakwall - Approximate length: 20 m.

This section of shore is protected with vertical breakwall (0.8 m high) made of square 4X4 inch timbers. There is a narrow beach at the base of the wall which may provide additional protection. The landowner reported that the structure was installed by the previous landowner around 1985. The base of wall is abraded, likely from repeated wave action, and both ends are well keyed into the shore with no evidence of flanking observed. Flanking is erosion behind shoreline protection that is caused by the adjacent shoreline not being protected adequately. The slope of the nearshore zone is gradual (8%), with the lake reaching a depth of 2 m approximately 40 metres offshore (Figure 5). The low water mark in winter is located approximately 15-20 m offshore, with the normal summer water level being depicted. Substrate materials

range from a mix of coarse gravel and cobble within 30 m of the shoreline to sandy materials in deeper water. A sauna is located 9 m from water's edge in front of this breakwall.

Figure 5. Transect at Shore Section 3, showing breakwall and dock.



The timber breakwall is in fair to good condition but was observed to have some defects. Some of the timbers do not appear to be adequately fastened to each other and as a result a short (~ 2 m) section of the wall has started to fall apart (Photo 5). The breakwall is permeable, due to gaps between the beams. This likely allows the piping of sediments from behind the wall, especially during wave events when water splashes over the top of the wall and seeps through the gaps. Moreover, it appears that the base of the wall is not countersunk into the beach sediments and that the lowest row of timbers is resting on top of the beach, leaving the structure vulnerable to undermining. Despite these shortcomings, the wall is in fair to good condition. This is likely because the wave energy along this section of the lakeshore has not been sufficient to result in significant damage to the structure.

One disadvantage of vertical breakwalls is their tendency to reflect wave energy offshore which can result in both vertical and horizontal scour that diminishes the size and effectiveness of the protective beach (Canadian Home Inspection Services, 2025). When the scour is severe, it may undermine the breakwall, leading to failure.

A narrow protective beach was observed in front of the breakwall, indicating that some horizontal and vertical scour is occurring. The beach is 2 m wide at the east end of the wall and tapers to a width of zero at the west end of the wall at the dock. The scour is likely exacerbated at the west end of the breakwall where concrete steps have been placed at the waterline, providing two hard surfaces upon which waves are reflected. Despite the narrow beach, indicating that scour is occurring, there was no indication that the breakwall is being undermined. The abrasion of the timber indicates that wave energy at this location is capable of mobilizing beach sediments (sand and gravel) but that it is not severe enough to result in vertical scour capable of undermining the breakwall. Removal of the concrete steps should be considered to reduce the potential for scour. The 90-degree corner at the east end of the wall (left side of Photo 5) wraps around the base of the slope and is considered to provide adequate protection of the structure at the boat launch.

Photo 5. Timber wall with protective beach. Partially collapsed portion of wall near middle.



Photo 6. Wall sits on beach and is not counter sunk. Timber somewhat worn by abrasion, but otherwise in good condition.



Shore Section 4: Natural Beach - Approximate length: 15 m.

This section of shoreline is natural with no artificial protection. Observations at this site appear to confirm the low rates of shoreline erosion as indicated by the historical assessment. There is a small (3-4 m wide) gravelly beach at this location, the top of which terminates at a small erosion scarp that is up to 0.5 m high (Photo 7). The beach helps to protect the scarp from erosion. The shoreline and uplands beyond the scarp slope gently upward. The uplands are well treed, and the soils sandy, deeply, and densely rooted. There were no fallen or leaning trees to suggest recent shoreline recession. The scarp is often poorly defined, indicating that the rate of shoreline retreat is likely low. There are numerous scattered boulders near the waterline and top of the beach that likely provide some degree of erosion protection.

Figure 6. Transect at Shore Section 4, showing gravel beach and erosion scarp.

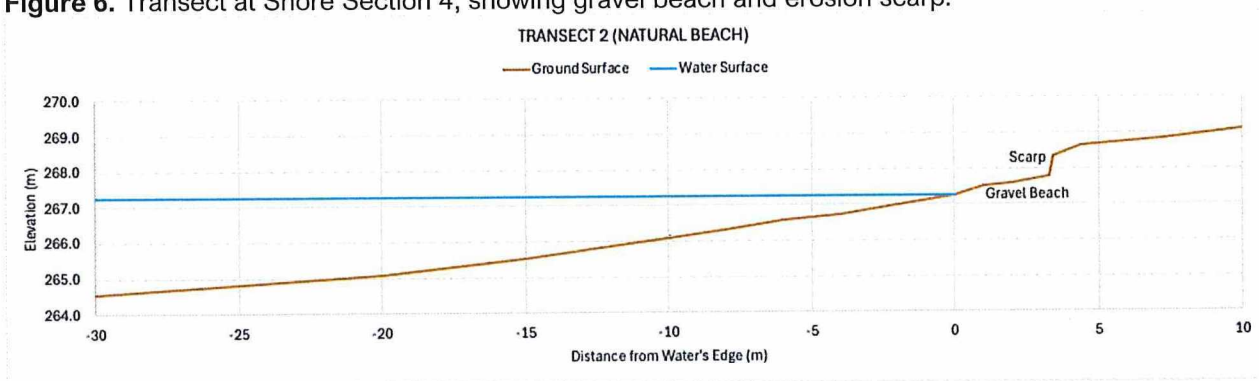


Photo 7. Gravel beach and boulder material and woody debris with erosion scarp at top of image



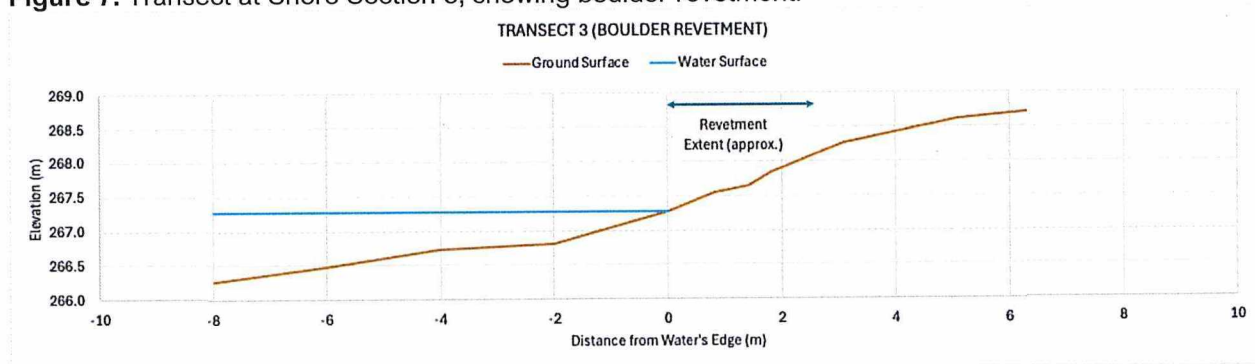
Photo 8. Boat launch, west side of this shore large section



Shore Section 5: Boulder Revetment - Approximate length: 10 m.

This section of shoreline has been armoured with a revetment made of boulders (~30 cm diameter). The revetment is approximately 1 m thick and 3 m wide (Figure 7). This feature was surveyed because it appears to be in good, stable condition and provides shore protection. The revetment has a slope of approximately 18% and its good condition indicates that it adequately dissipates wave energy. Moreover, the interstitial spaces between the boulders are likely to provide aquatic habitat that is superior to a vertical breakwall.

Figure 7. Transect at Shore Section 5, showing boulder revetment.

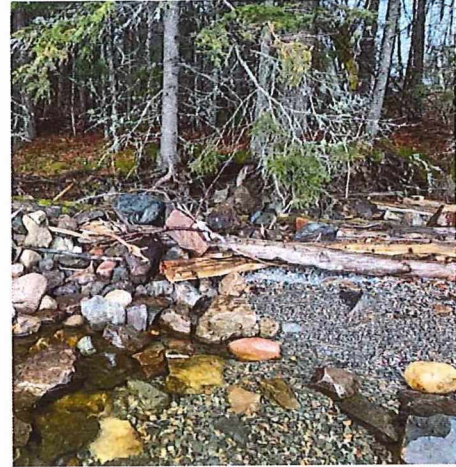


One possible concern with the revetment is that the west end ends abruptly and is not adequately keyed into the bank material to minimize the risk of flanking/erosion. When installing shore protection structures, it is recommended to avoid gaps in protection. It is therefore worth considering extending the boulder revetment ~15 m to the west toward the boat launch and wrapping it around a small embankment on the east side of the launch, as was done with the timber breakwall on the west side of the boat launch.

Photo 9. Boulder revetment that ties into bedrock shore at top left



Photo 10. Revetment-beach transition



Summary

There is a mix of shoreline protection being used along a 65 m length of Lake Wanapitei shoreline, including the use of two different types of breakwalls, a boulder revetment, and no protection (Table 1). The structures are at least 40 years old but continue to be in fair to good condition. The minimal shore erosion observed indicates that the wave energy at this location has not been sufficient to substantially erode the shoreline or to severely damage these structures despite their advanced age. Nevertheless, improvements are suggested below to minimize the potential for shoreline erosion at this site.

Table 1. Summary of the characteristics and condition of shoreline protection works.

Shore Section	Lakefront	Type Shore Protection	Length (m)	Condition of Shore/Structures
1	McLeod Bay	Boulder toe (Natural)	70	No erosion or instability observed
2	Wanapitei Lake	Concrete Breakwall	20	No erosion or instability observed
3	Wanapitei Lake	Timber Breakwall	20	Fallen timbers; base not countersunk; porous structure (possible piping); minor to moderate abrasion and wear
4	Wanapitei Lake	Gravel Beach (Natural)	15	Scarp indicates erosion ongoing; gravel beach likely protects shore from erosion; poor definition of erosion scarp indicates rate of retreat is low
5	Wanapitei Lake	Boulder Revetment	10	No erosion or instability observed

The principal concerns from this assessment regarding the existing shore protection works include:

1. The protection works are varied and discontinuous. Gaps in shore protection may increase the risk of flanking or failure of existing structures.
2. The timber breakwall (Shore Section 3) appears improperly constructed: some of the beams were unsecured to each other and the wall is starting to fall apart in places; gaps between the horizontal beams may result in the gradual piping (migration) of soils from behind the wall; the wall is not countersunk into beach sediments which may increase the risk of undermining and failure.



Transects were surveyed along the three sections of shoreline where improvements are suggested (Sections 3, 4, and 5). It is suggested that if the shoreline is to be protected, that a single design be adopted and installed to protect the shoreline. The boulder revetment is a suggested option to consider for several reasons:

1. The existing revetment appears to be working as intended, and may be used to guide installation,
2. The length of shoreline to protect is small (35 m), although the timber wall will need to be removed if repairs are not possible,
3. Boulders should be relatively easy to source and install by hand,
4. A boulder revetment is expected to absorb wave energy and minimize vertical scour more effectively than a vertical breakwall,
5. Boulders have a natural appearance and exist naturally on the site (Shore Section 1), and
6. A boulder revetment is expected to provide improved aquatic and/or terrestrial habitat compared to a breakwall.

Shore erosion on the site is not considered to be excessive, but Shore Sections 3 and 4 may require erosion protection. Transects were surveyed in Sections 3, 4, and 5 (Figure 8) and were overlaid for comparison purposes. The three transect plots allow the configuration and effectiveness of the different shoreline management techniques to be visualized, which may be helpful to decision making at this site.

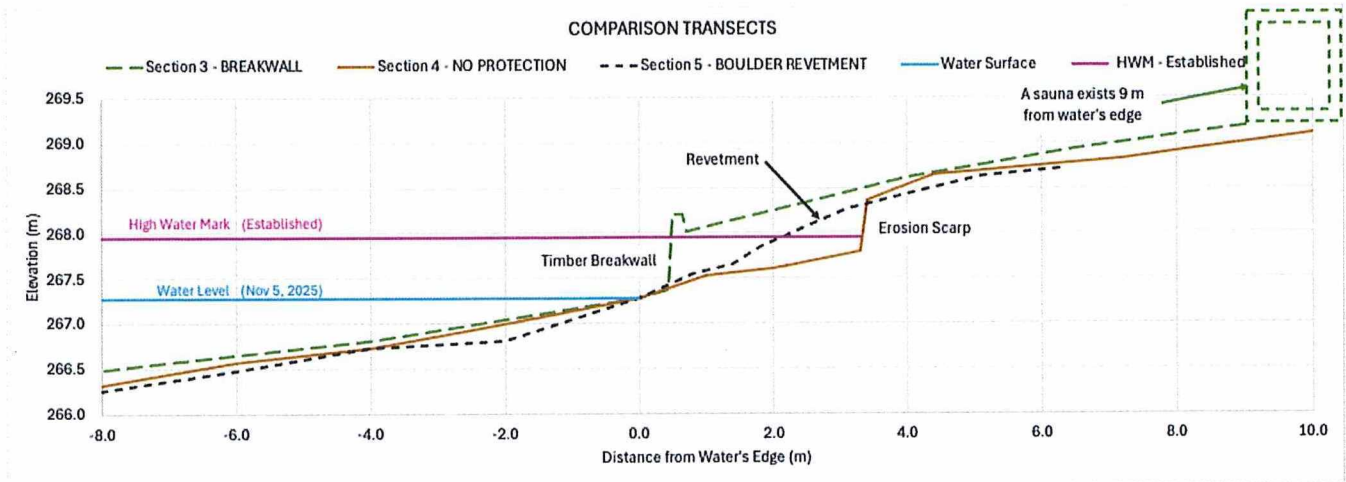
The three shoreline transects were overlaid to illustrate how the topography and effectiveness of the shore protection works compares:

The timber wall (Section 3), because of its design, must bear the full brunt of the available wave energy, and the structure is showing signs of wear and minor scour at the base of the wall. Ongoing monitoring and maintenance of this structure is recommended if it is to continue providing adequate protection.

The presence of a scarp in Section 4 indicates that there is sufficient wave energy at the site to initiate shoreline erosion, but the poor definition of the scarp, as well as the results of the historical assessment, indicate that the rate of shoreline retreat is low. The rate of shoreline retreat has likely been tempered by the presence of a protective gravel beach.

The boulder revetment (Section 5) appears to be functioning as intended with no excessive shoreline erosion observed and the structure had a natural appearance that blended well into the surroundings. The surface of the revetment slopes gradually from the waterline to the upland surface, providing a larger and rougher surface to absorb wave energy.

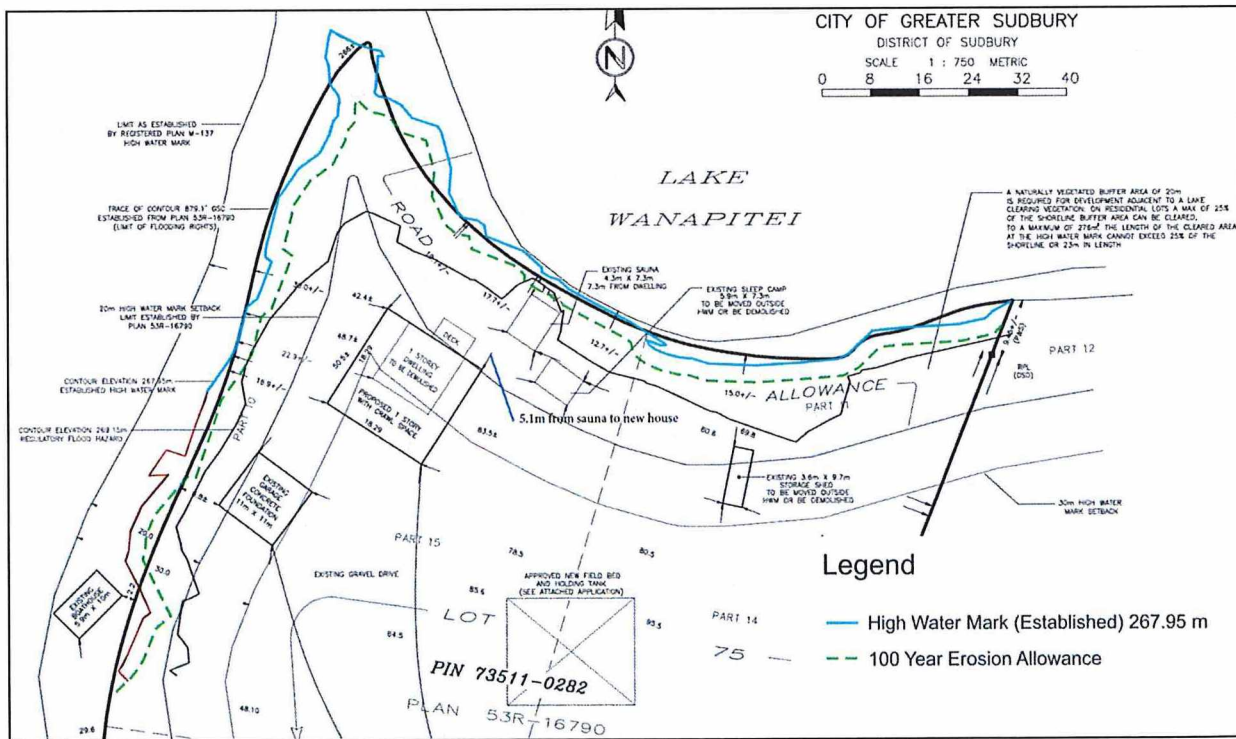
Figure 8. Composite view of shoreline transects in Sections 3, 4 and 5.



Vertical Exaggeration: 2.7

The erosion limit is offset from the elevation contour of 267.95 m, which is equivalent to the maximum operating level of the OPG dam. This elevation represents the established high water mark and is coincident with the location and elevation of existing shore protection structures (timber crib wall and revetment) as well as the erosion scarp that was observed along the section of shoreline that was not protected. The location of the erosion allowance on site is depicted in Figure 9.

Figure 9. Location of 100 Year Erosion Allowance on site.





Conclusions and Recommendations

Wave energy on Wanapitei Lake at the site is not severe despite having a fetch of 11 kilometers. The lower energy is indicated by the low rate of shoreline recession and further supported by field observations of the shoreline and the fair to good condition of existing shoreline protection works that have been present for at least 40 years. In consideration of this, shoreline management recommendations are made below to increase the likelihood that existing structures will function as intended and protect the shoreline and upland structures.

1. The photogrammetric shoreline erosion rate is smaller than the estimated resolution of the aerial imagery of 2 m. Two metres measured over the 74 years of the imagery (1946 and 2020) indicates that the rate of erosion is no more than $2 \text{ m} / 74 \text{ yr} = 0.027 \text{ m/yr}$. The 100-year erosion allowance is therefore not expected to exceed 2.7 metres. This allowance is based on current shoreline conditions and without any improvements to existing shore protection works.
2. A professional who is qualified in the installation and maintenance of shore protection works should be consulted prior to the installation of new structures or the repair of existing ones.
3. Permits may be required from multiple levels of governments prior to the undertaking of works.
4. Remove the concrete steps in front of the timber breakwall at the dock. These steps likely exacerbate wave reflection and local scour near the dock, which has reduced the size of the protective beach in front of the timber breakwall at this location. If steps are desired, then consider using an open design that reflects less wave energy.
5. The timber breakwall in Shore Section 3 is currently in a state of disrepair. It is recommended that improvements be made to this structure to repair fallen/loose timbers. The issue of sediment piping and undermining of the breakwall will likely require the input of a professional, as indicated above.
6. If restoring the timber breakwall is not feasible or the time comes for it to be replaced, one option is to replace the wall with a boulder revetment, as in Shore Section 5. The revetment design appears to function well on site, minimizes scour, looks natural, and is likely to require minimal maintenance.
7. It is recommended that there be no gaps in shore protection at the site. The boulder revetment that exists in Shore Section 5 may be extended to protect 15 m of shorefront at Shore Section 4, which currently is not protected. This is to protect the shoreline, as well as the existing revetment.

References

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Ontario Power Generation (OPG) 2005. Wanapitei Lake Control Dam. Water Levels. Online resource at www.water.opg.com accessed November 2025.

Swellbeat Wave Generation Calculator, available online at: www.swellbeat.com. Accessed September 2025.

Sincerely,

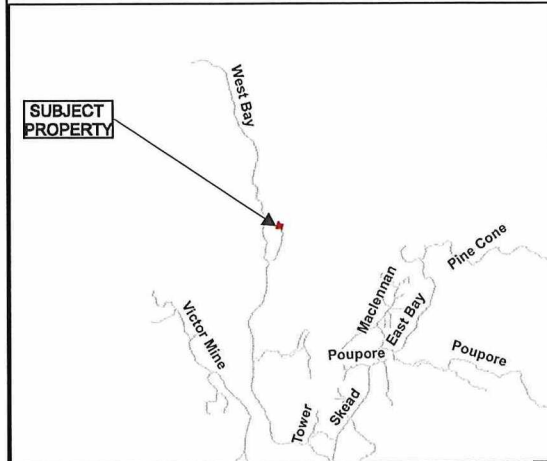
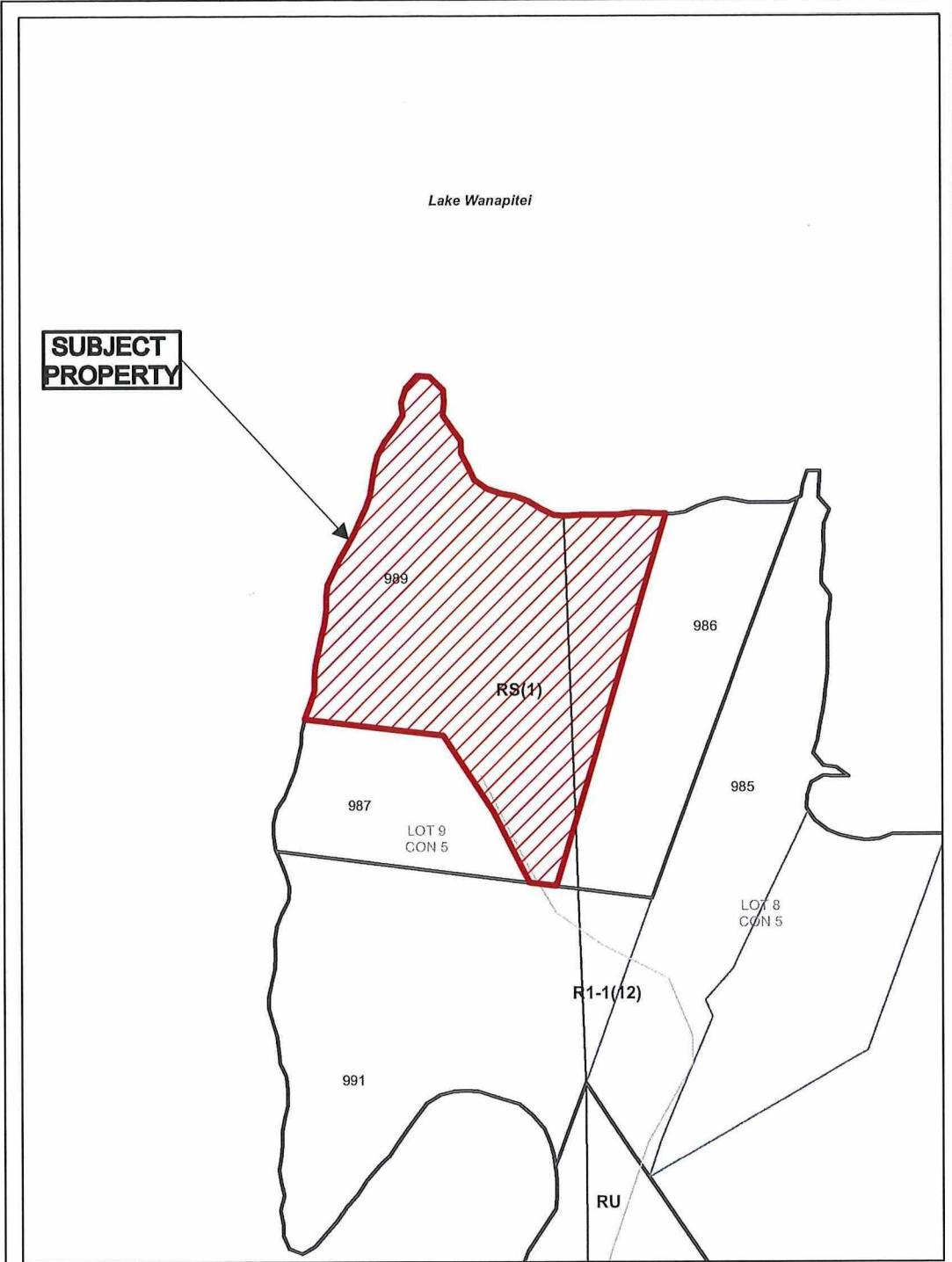
Ecoreg Solutions

A handwritten signature in black ink, appearing to read "Trevor Chandler", followed by a period.

Trevor Chandler, M.Sc., P.Geo.

Fluvial Geomorphologist, Sr. Project Manager

██████████
279 Woolwich St., Guelph, ON



**Application for Minor
Variance or Permission**

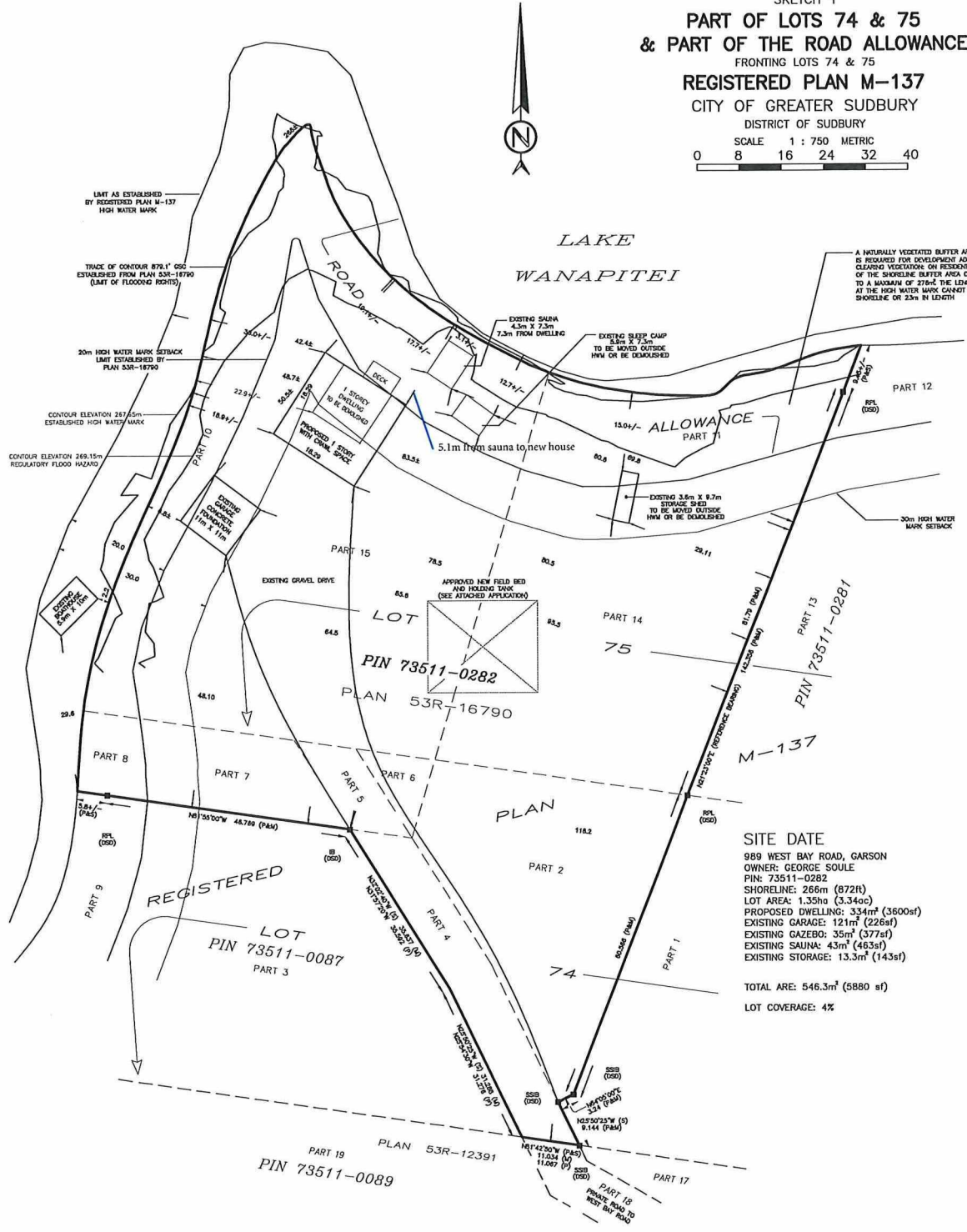


Subject Property being PIN 73511-0282,
Part Lots 8 & 9, Concession 5,
FIRSTLY; Part Summer Resort Location 75,
Plan M-137 and Part Road Allowance fronting Lot 75,
Plan M-137, being Parts 10, 11, 14 and 15, Plan 53R-16790;
SECONDLY; Part Summer Resort Location 74,
Plan M-137 and Part Road Allowance fronting Lot 74,
Plan M-137, being Parts 2, 4, 5, 6, 7 and 8, Plan 53R-16790;
Parts 1 and 2, Plan 53R-8969;
Parts 7, 14, 18 Plan 53R-12391;
Township of MacLennan, 989 West Bay Road, Garson,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00002
Date: 2025 01 31

SKETCH 1
PART OF LOTS 74 & 75
& PART OF THE ROAD ALLOWANCE
 FRONTING LOTS 74 & 75
REGISTERED PLAN M-137
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY
 SCALE 1 : 750 METRIC
 0 8 16 24 32 40



SITE DATE
 989 WEST BAY ROAD, GARSON
 OWNER: GEORGE SOULE
 PIN: 73511-0282
 SHORELINE: 266m (872ft)
 LOT AREA: 1.35ha (3.34ac)
 PROPOSED DWELLING: 334m² (3600sf)
 EXISTING GARAGE: 121m² (226sf)
 EXISTING GAZEBO: 35m² (377sf)
 EXISTING SAUNA: 43m² (463sf)
 EXISTING STORAGE: 13.3m² (143sf)

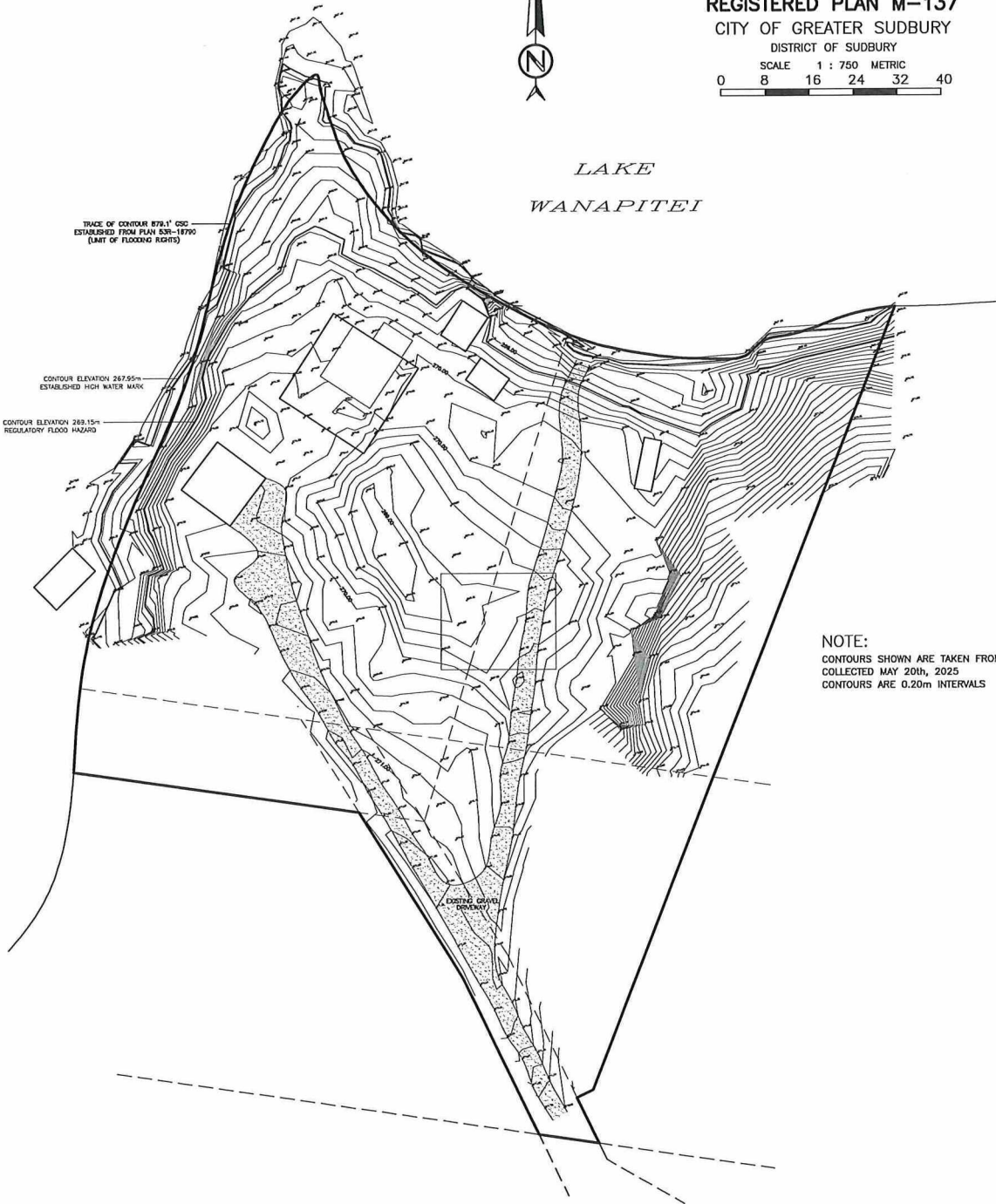
TOTAL ARE: 546.3m² (5880 sf)
 LOT COVERAGE: 4%

REVISED
 PL-CON-2025-00002
 Sketch 2

SKETCH 2
PART OF LOTS 74 & 75
& PART OF THE ROAD ALLOWANCE
 FRONTING LOTS 74 & 75
REGISTERED PLAN M-137
 CITY OF GREATER SUDBURY
 DISTRICT OF SUDBURY
 SCALE 1 : 750 METRIC
 0 8 16 24 32 40



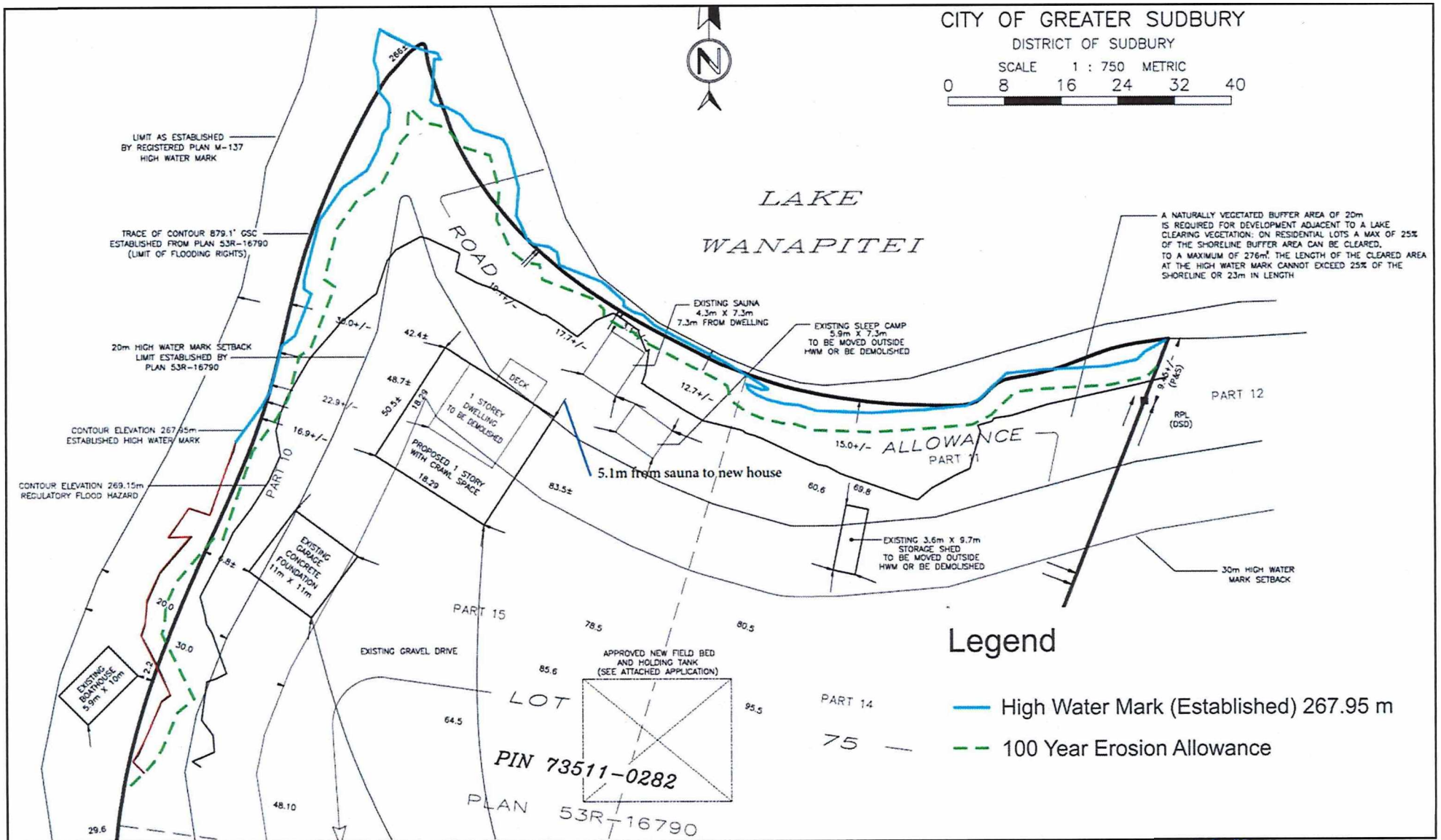
LAKE
 WANAPITEI



NOTE:
 CONTOURS SHOWN ARE TAKEN FROM SITE DATA
 COLLECTED MAY 20th, 2025
 CONTOURS ARE 0.20m INTERVALS

REVISED
 PL-MV-2025-000002
 sketch 3

Figure 9. Location of 100 Year Erosion Allowance on site.



REVISED
 PL-MV-2025-00002
 Sketch 4



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00106

APPLICATION SUMMARY

File Date: 07/16/2025

Application Type: Minor Variance

Address(es): 375 Laforest Avenue, Sudbury P3C 5H9

Applicant(s): GEOFF MCCAUSLAND

Owner(s): JEAN-FRANCOIS DEMORE AND CHANTAL ROMAIN

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Oct 21 2014

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

13

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

1

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

The Property Owner seeks to legalize an existing 13th apartment in the building that was there at the time of purchase.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The property has been occupied since 1948 with a combination of 12 residential apartments and 1 commercial space, and 13 residential apartments. The 13 apartments appear to have been in consistent use since 1990, and the apartments have seen very low vacancy despite the reality that the property can not meet the current zoning bylaw in a variety of ways including setbacks and parking requirements. The owner seeks to legalize the 13th unit so that we can then engage consultants and contractors to ensure that the unit meets all fire and building codes, and obtain all required permits to legitimize the 13th unit.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

24.38

Lot Depth of the property

30.48

Lot Area of the property

743.22

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Single free-standing two-storey multi-residential building with 13 apartments, constructed in 1948. 2 Apartments in the basement, 5 on the first floor, and 6 on the second floor.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Our understanding is that it has been Residential since 1990, was mixed commercial and residential from 1960 until approx. 1990 and residential from 1948-1960.

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

R2-3 Residential immediately to the North, East, South and West, with Institutional lands further south and east. R3 Medium-Density residential further north.

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

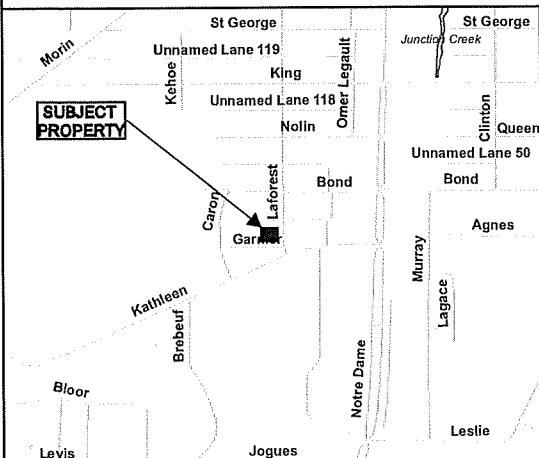
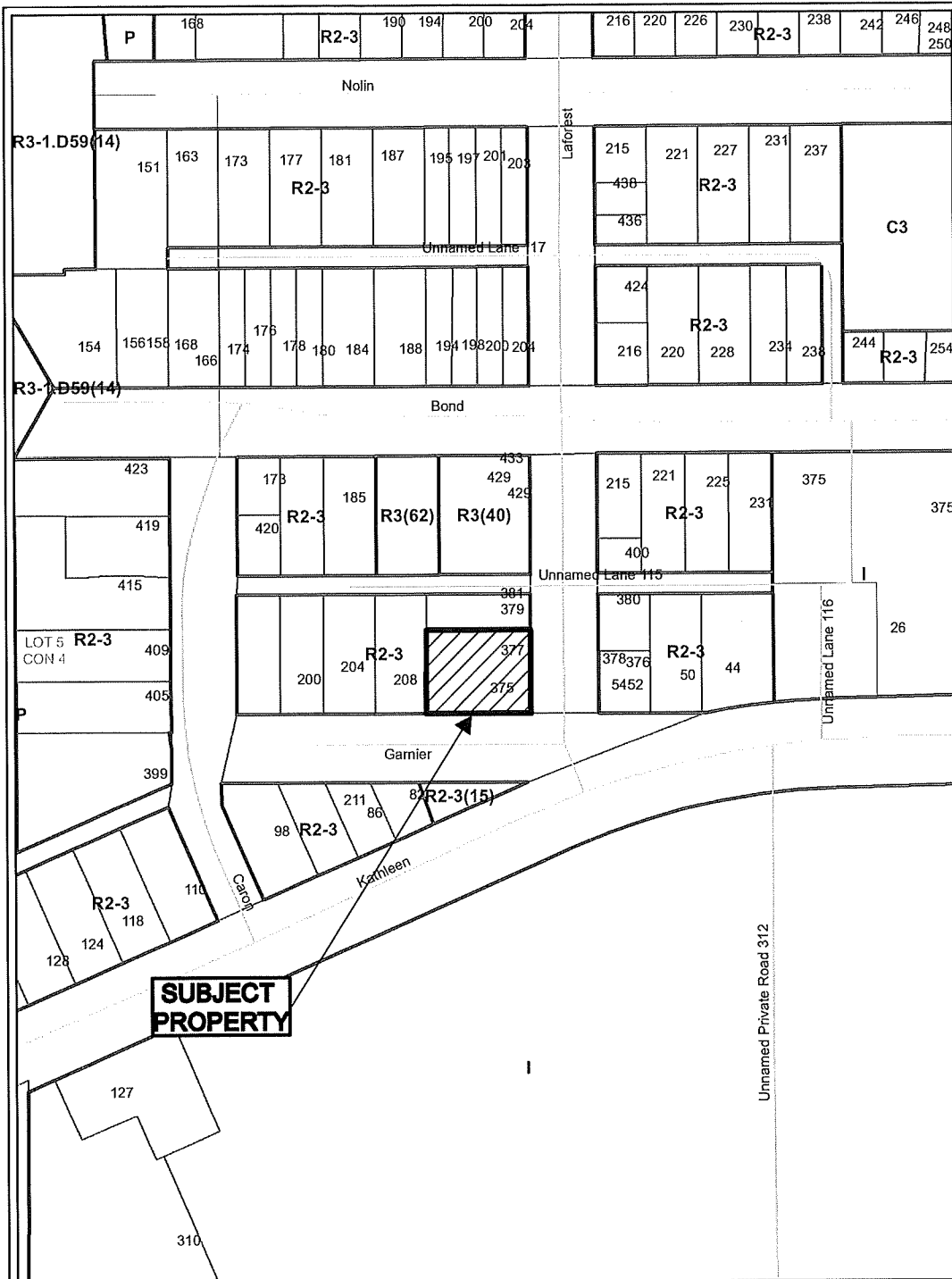
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Freestanding 2-storey 13-unit residential apartment building with full, partly daylight basement with two apartments, laundry, workshop, storage and utility, originally constructed in 1948. 2 apartments in basement, 5 apartments on main floor and 6 on upper floor.	No	405	810	2	27	23	9.5	1.74	1.71	0.58	1.13

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Parking Requirements for 13th unit.	1 parking space per unit = 13 Parking spaces required	0 parking provided	13
Minimum Lot Area - Table 6.4	140.0 sq. m per unit	57,171 sq. m per unit	82,829 sq. m
Accessible Parking	1	0	1





Application for Minor Variance or Permission

Subject Property being PIN 02133-0268,
 Lot 29, Plan 85-S,
 Part Lot 5, Concession 4,
 Township of McKim,
 375 Laforest Avenue, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00106
 NDCA Date: 2025 07 18

SURVEYOR'S REAL PROPERTY REPORT
(PART 1) PLAN OF SURVEY OF
LOT 29
REGISTRAR'S COMPILED PLAN 85-S
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY

SCALE : 1 INCH = 20 FEET
2025

BEARING NOTE:
BEARINGS ARE ASTROCNOM C AND ARE REFERRED TO PART OF THE
NORTHERLY LIMIT OF GARNIER STREET, SHOWN ON A PLAN OF SURVEY
BY D S DORLAND, OLS (FILE: 8063) HAVING A BEARING OF EAST.

SURVEYOR'S CERTIFICATE:
I CERTIFY THAT:
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2) THE SURVEY WAS COMPLETED ON NOVEMBER 3, 2025.

A Bortolussi
A BORTOLUSSI, OLS
NOVEMBER 3, 2025
THIS PLAN RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-115147

BOND STREET

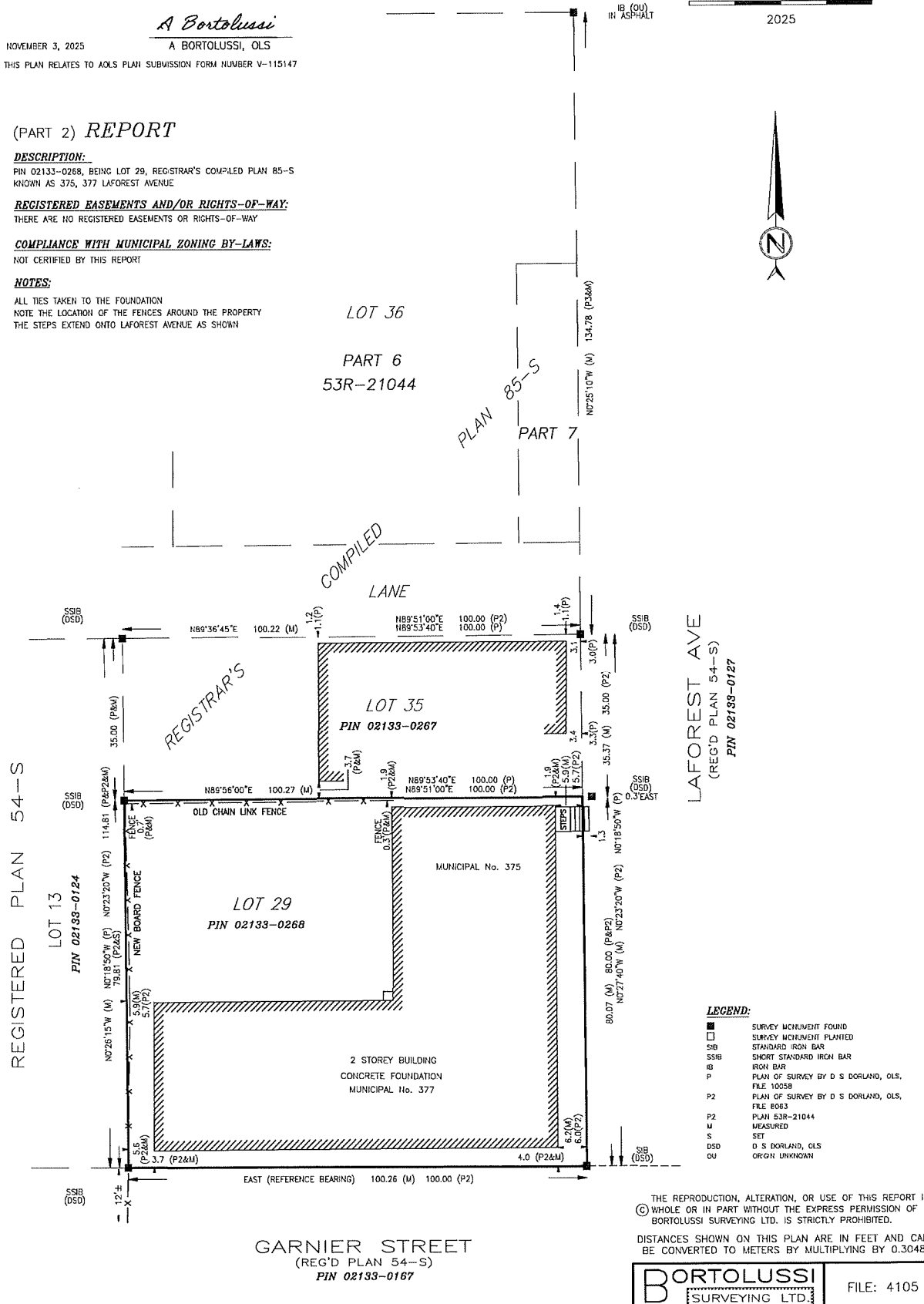
(PART 2) **REPORT**

DESCRIPTION:
PIN 02133-0268, BEING LOT 29, REGISTRAR'S COMPILED PLAN 85-S
KNOWN AS 375, 377 LAFOREST AVENUE

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
THERE ARE NO REGISTERED EASEMENTS OR RIGHTS-OF-WAY

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
NOT CERTIFIED BY THIS REPORT

NOTES:
ALL TIES TAKEN TO THE FOUNDATION
NOTE THE LOCATION OF THE FENCES AROUND THE PROPERTY
THE STEPS EXTEND ONTO LAFOREST AVENUE AS SHOWN



LEGEND:

- SURVEY MEASUREMENT FOUND
- SURVEY MEASUREMENT PLANNED
- SIB STANDARD IRON BAR
- SSIB SHORT STANDARD IRON BAR
- IB IRON BAR
- P PLAN OF SURVEY BY D S DORLAND, OLS, FILE 10058
- P2 PLAN OF SURVEY BY D S DORLAND, OLS, FILE 8063
- P2 PLAN 53R-21044
- M MEASURED
- S SET
- DSD D S DORLAND, OLS
- OU ORIGIN UNKNOWN

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DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN
BE CONVERTED TO METERS BY MULTIPLYING BY 0.3048

GARNIER STREET
(REG'D PLAN 54-S)
PIN 02133-0167

BORTOLUSSI SURVEYING LTD. FILE: 4105

REVISED

PL-MV-2025-00106
Sketch 2

DESCRIPTION:

PIN 02133-0268, BEING LOT 29, REGISTRAR'S COMPILED PLAN 85-S KNOWN AS 375, 377 LAFOREST AVENUE

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:

THERE ARE NO REGISTERED EASEMENTS OR RIGHTS-OF-WAY

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:

NOT CERTIFIED BY THIS REPORT

NOTES:

ALL TIES TAKEN TO THE FOUNDATION
NOTE THE LOCATION OF THE FENCES AROUND THE PROPERTY
THE STEPS EXTEND ONTO LAFOREST AVENUE AS SHOWN



REGISTERED PLAN 54-S

LOT 13

PIN 02133-0124

N0°26'15"W (M) N0°18'50"W (P) N0°23'20"W (P2) 114.81 (P&P2&M)

NEW BOARD FENCE

0.7 (P&M)

5.9 (M) 5.7 (P2)

5.6 (P2&M)

12±

LOT 29
PIN 02133-0268

Proposed Refuse Area in basement.

2 STOREY BUILDING
CONCRETE FOUNDATION
MUNICIPAL No. 377

LOT 35
PIN 02133-0267

N89°56'00"E 100.27 (M)

FENCE 0.3 (P&M)

3.7 (P&M)

1.9 (P2&M)

N89°51'00"E 100.00 (P2)

N89°53'40"E 100.00 (P)

MUNICIPAL No. 375

STEPS

1.9 (P2&M)

5.9 (M)

5.7 (P2)

3.4

3.3 (P)

35.37 (M) 35.00 (P2)

3.0 (P)

3.1

1.4

1.1 (P)

1.1 (P)

1.2

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

N0°25'10"W (M) 134.78 (P3&M)

PART 7

LOT 36

PART 6
53R-21044

PLAN 85-S

LANE

N89°36'45"E 100.22 (M)

1.2

1.1 (P)

N89°53'40"E 100.00 (P)

N89°51'00"E 100.00 (P2)

SSIB (DSD)

REGISTRAR'S COMPILED

LAFOREST AVE

(REG'D PLAN 54-S)

PIN 02133-0127

SSIB (DSD)

0.3 EAST

1.3

80.07 (M) 80.00 (P&P2)

N0°27'40"W (M) N0°23'20"W (P2) N0°18'50"W (P)

3.0 (P)

3.3 (P)

3.4

3.3 (P)

35.37 (M) 35.00 (P2)

3.0 (P)

3.1

1.4

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

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1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

1.1 (P)

LEGEND:

- SURVEY MONUMENT FOUND
- SURVEY MONUMENT PLANTED
- STANDARD IRON BAR
- SHORT STANDARD IRON BAR
- IRON BAR
- PLAN OF SURVEY BY D S DORLAND, OLS, FILE 10058
- P2 PLAN OF SURVEY BY D S DORLAND, OLS, FILE 8063
- P2 PLAN 53R-21044
- M MEASURED
- S SET
- DSD D S DORLAND, OLS
- OU ORIGIN UNKNOWN

EAST (REFERENCE BEARING) 100.26 (M) 100.00 (P2)

GARNIER STREET

(REG'D PLAN 54-S)

PIN 02133-0167

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FILE: 4105

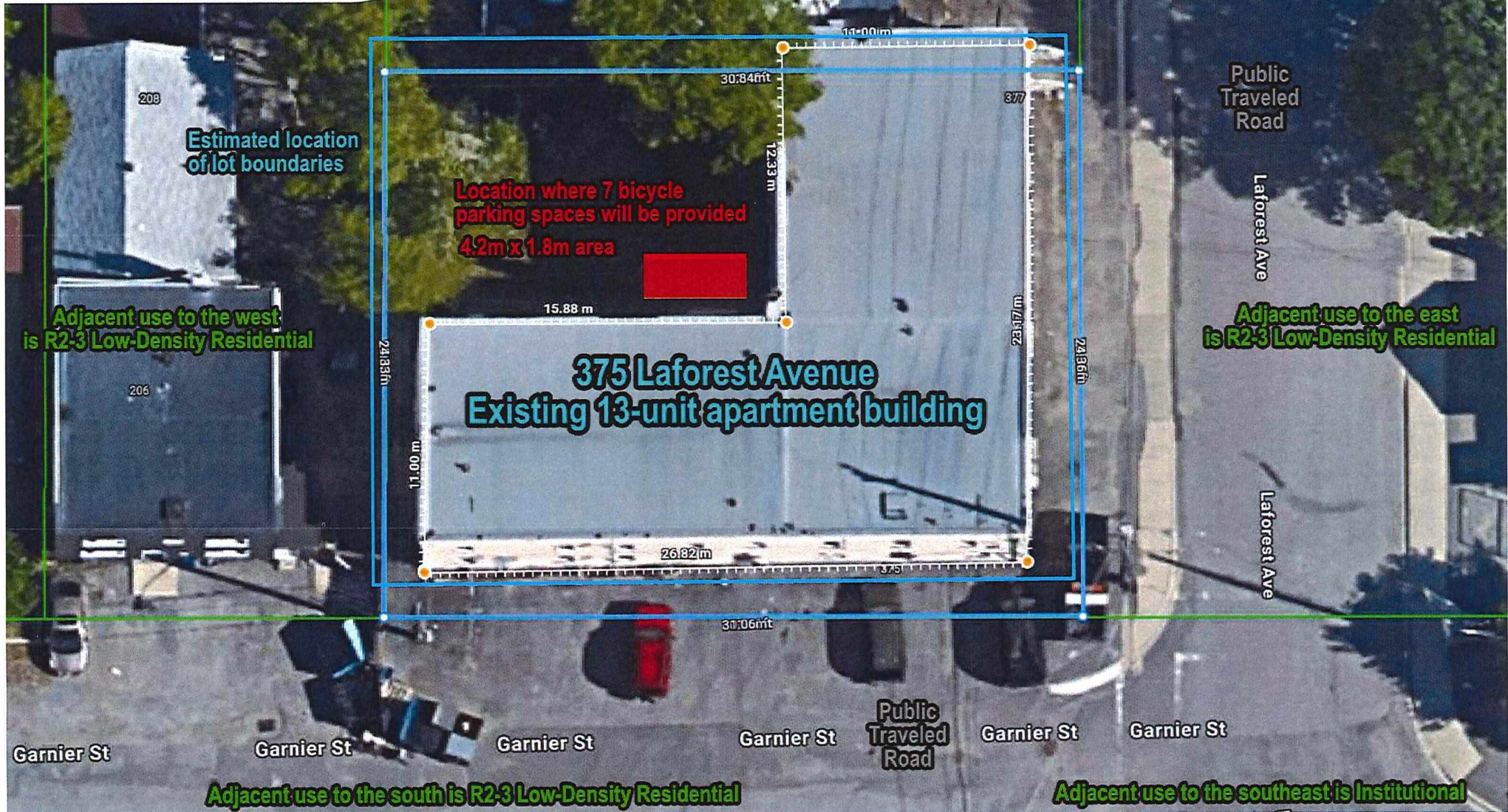
REVISED

PL-MV-2005-00106
Sketch 3

375 Laforest Variance Application Concept Plan

Imagery and details provided by Teranet Geowarehouse.
Lot Measurement Accuracy is Low.
These lot boundaries may have been adjusted to fit within the
overall parcel fabric and should only be considered to be estimates.

- Building location to remain the same.
- Site Plan to remain the same.
- Seeking variances to recognize the 13th apartment which appears to have been occupied with the building in the present configuration since approx. 1990.



REVISED

PL-MV-2025-00106

Sketch 4