

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

March 19, 2025

PUBLIC HEARINGS

PL-MV-2025-00003 SALVATION ARMY SUDBURY

Ward: 12

PIN(s) 022450356 and 022450357, Firstly: Lot 3, Plan 85-S and Part Lot 6, Plan 85-S, being Part 1, Plan 53R-16668; Secondly: Part Lot 17, Plan M-7B, being Part 2, Plan 53R-16668, and being Parts 5 & 6, Plan 53R-9714, Part Lots 4 and 5, Concession 4, Township of McKim, 634 Notre Dame Avenue, Sudbury P3C 5L2, By-law 2010-100Z, C2(64)

For relief from Part 4, Section 4.25, subsection 4.25.1 b) and Part 11, Section 2, subsection 2, paragraph (III), clause (ii) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the reconstruction of the existing building providing, firstly, an increase in gross floor area within the required front yard, where enlargement, reconstruction, repair and/or renovation shall not increase the gross floor area of a building or structure located within the minimum required front yard, and secondly, 26 parking spaces, where 36 parking spaces are required.

Previously subject to Consent Applications B0076/1980 (May 12/80), B0096/1982 (Aug 9/82), B0097/1982 (Aug 9/82), B0098/1982 (Aug 9/82), B0036/1983 (May 9/83), B0037/1983 (May 9/83), B0062/1999 (Sep 27/99) and Minor Variance Application A0079/1982 (Aug 9/82)

PL-MV-2025-00008 2810373 ONTARIO INC.

Ward: 1

PIN(s) 735860343, Lots 7-10, 17 and 18, Plan 8-SA, Parts 6-8, Plan SR-3338, Part Lot 7, Concession 3, Township of McKim, 40 Eyre Street, Sudbury P3C 4A5, By-law 2010-100Z, C2(125)

For relief from Part 4, Section 4.15, subsection 4.15.4 a) i) and Part 5, Section 5.6.5 e) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the existing building and site conditions on the subject property providing, firstly, no planting strips adjacent to 27 and 37 Regent Street as indicated on the Site Plan submitted with the Application, where a 3.0m wide planting strip adjacent to the full length of the lot line is required, and secondly, a loading space front yard setback of 7.65m and a minimum residential zone boundary setback of 4.25m, where a minimum 10.0m setback from any street line and residential zone boundary is required.

Previously subject to Consent Applications B0987/1970 (Aug 10/70) and B0988/1970 (Aug 10/70) and Minor Variance Application A0124/2009 (Nov 02/09)

**PL-MV-2025-00009 SYLVIO VACHON
 COLETTE AUBIN**

Ward: 4

PIN(s) 733460895, Parcel 27440 SEC SWS SRO, Part Lot 5, Concession 2, Part 3, Plan 53R-9375, Township of Rayside, 390 Marier Street, Azilda POM 1B0, By-law 2010-100Z, RU, R1-5

For relief from Part 4, Section 4.2, subsection 4.2.10.1 (v) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the construction of a detached garage containing an additional dwelling unit, where the existing single detached dwelling currently contains an additional dwelling unit, and where no more than one dwelling unit is permitted in a building or structure accessory to a single detached dwelling on a parcel of rural residential land, if the single detached dwelling contains no more than one dwelling unit.

Subject to current Consent Application B0091/2024

PL-MV-2025-00011 **NICHOLAS FOLIGNO**
JANELLE FOLIGNO

Ward: 9

PIN(s) 734720263, Location CL12452, being Parts 3 and 4, Plan 53R-19666, Part Lot 11, Concession 2, Township of Broder, 2106 South Shore Road, Sudbury P3G 1M3, By-law 2010-100Z, R1-1

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of detached garage providing a maximum height of 9.0m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

Previously subject to Consent Applications B0117/2011, B0118/2011 and B0119/2011 (SEP 08/11)

A reminder... the next scheduled meeting is Wednesday, April 2, 2025.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376
(705) 673-2200 FAX

Record #: PL-MV-2025-00003

APPLICATION SUMMARY

File Date: 01/30/2025

Application Type: Minor Variance

Address(es): 634 Notre Dame Avenue, Sudbury P3C 5L2

Applicant(s): BELANGER SALACH ARCHITECTURE

Owner(s): SALVATION ARMY SUDBURY

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date of acquisition of subject land?

February 2001

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

What is the number of existing buildings/structures on the property?

If this application is approved, would any existing dwelling units be legalized?

No

How many dwellings units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Mixed Use Commercial and Parks & Open Space

Current Zoning By-law designation

C2(64)

Provide a description of the proposal

A second story is being provided for a portion of the proposed building, wherein office and teaching spaces are being provided to support the Food Bank and Community Hall on the ground floor.

Provide reason why the proposal cannot comply with the provisions of the Zoning By-law

In order to provide adequate community services, offices, and teaching spaces to the Flour Mill area, the Salvation Army is proposing a building that is 236sq.m larger than what previously existed on the site. In order to optimize the site layout and to comply with the Conservation Authority's requirement to maintain the existing footprint (so as to not disturb flood patterns) the proposed design has a partial second story rather than a larger footprint across the site.

Is there an eave encroachment?

No

Size of eaves

Frontage of land affected

67.65

Depth of land affected

36.4

Area of land affected

3899.67

Width of street

20.15

Date(s) of construction of all buildings and structures on the subject land

February 2001

Existing use(s) of the subject property and length of time it/they have continued

Community Services and Clothing Donation - 24 Years

Proposed use(s) of the subject property

Community Services and Foodbank and Community Hall

Existing uses of abutting properties

M1-1 Business Industrial (North and South), P Park (East)

Has the subject land ever been subject of a previous application for minor variance/permission?

No

PL-MV-2025-00003

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PL-MV-2025-00003

PROPOSED BUILDING/STRUCTURE

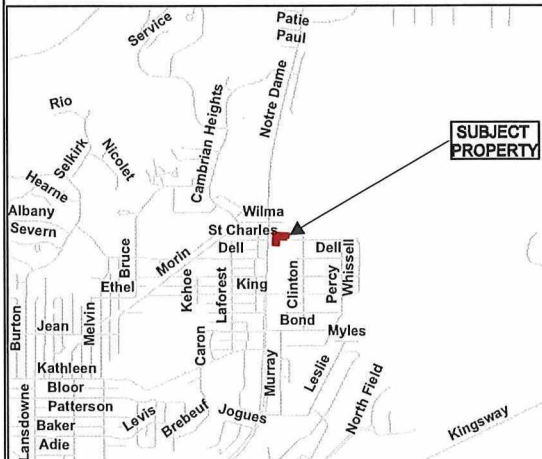
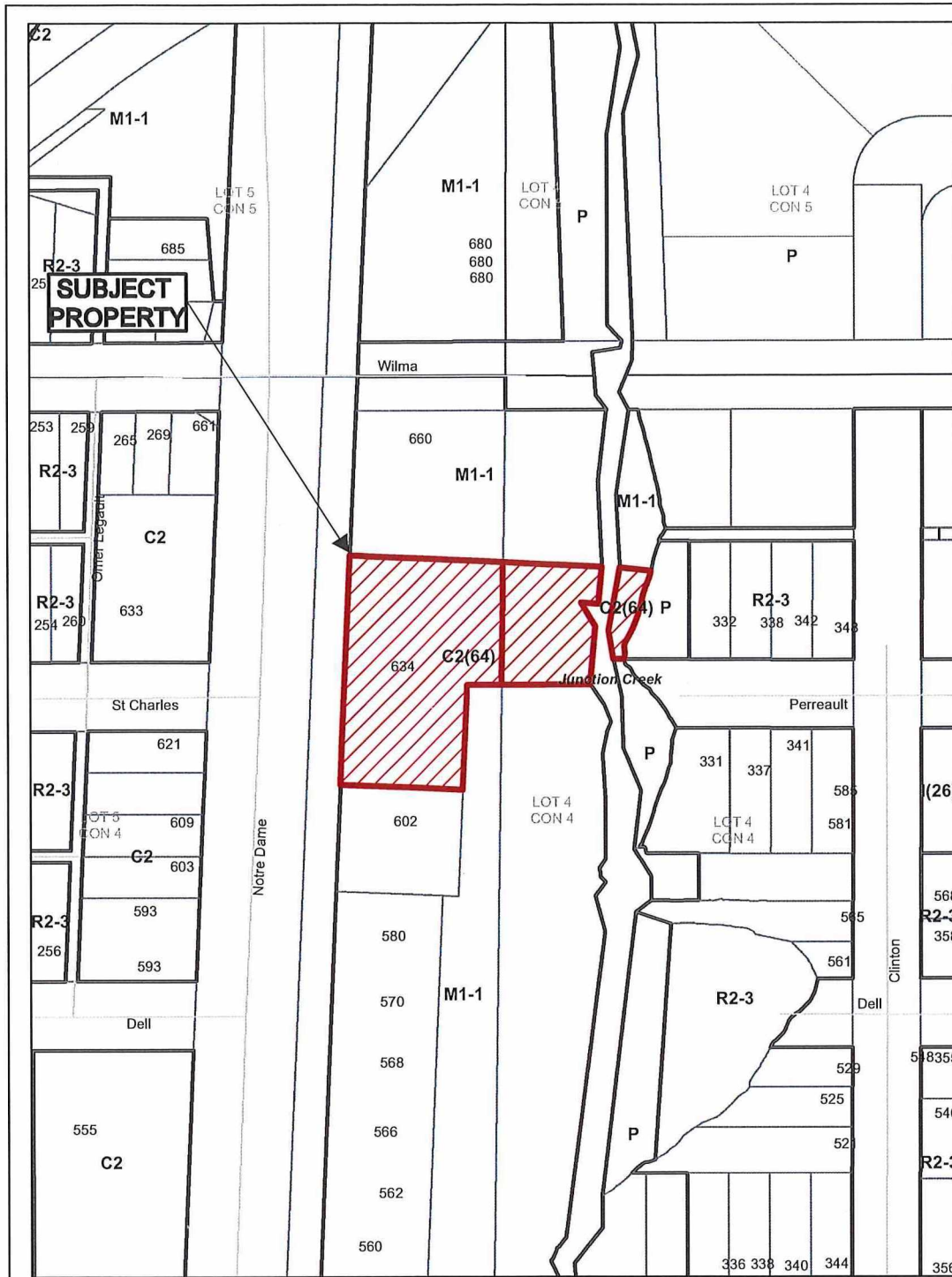
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Building	No	710.89	946.87	2	17.4	42.7	9.3	5.46	13.88	7.9	17.9

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Existing Building	Yes	741.81	741.81	1	0	0	0	5.46	13.88	7.9	17.9

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
2010-100Z Permitted Buildings or Structures 4.25.1b) - Required Front Yard	741.81 sq.m	946.87 sq.m	205.06 sq. m
C2(64) - required parking spaces	36	26	10



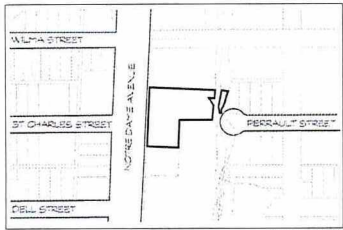
Application for Minor Variance or Permission



Subject Property being PIN 02245-0356 and 02245-0357, Firstly: Lot 3, Plan 85-S and Part Lot 6, Plan 85-S, being Part 1, Plan 53R-16668; Secondly: Part Lot 17, Plan M-7B, being Part 2, Plan 53R-16668, and being Parts 5 & 6, Plan 53R-9714, Part Lots 4 and 5, Concession 4, Township of McKim, 634 Notre Dame Avenue, Sudbury, City of Greater Sudbury

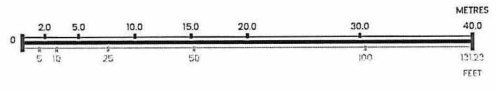
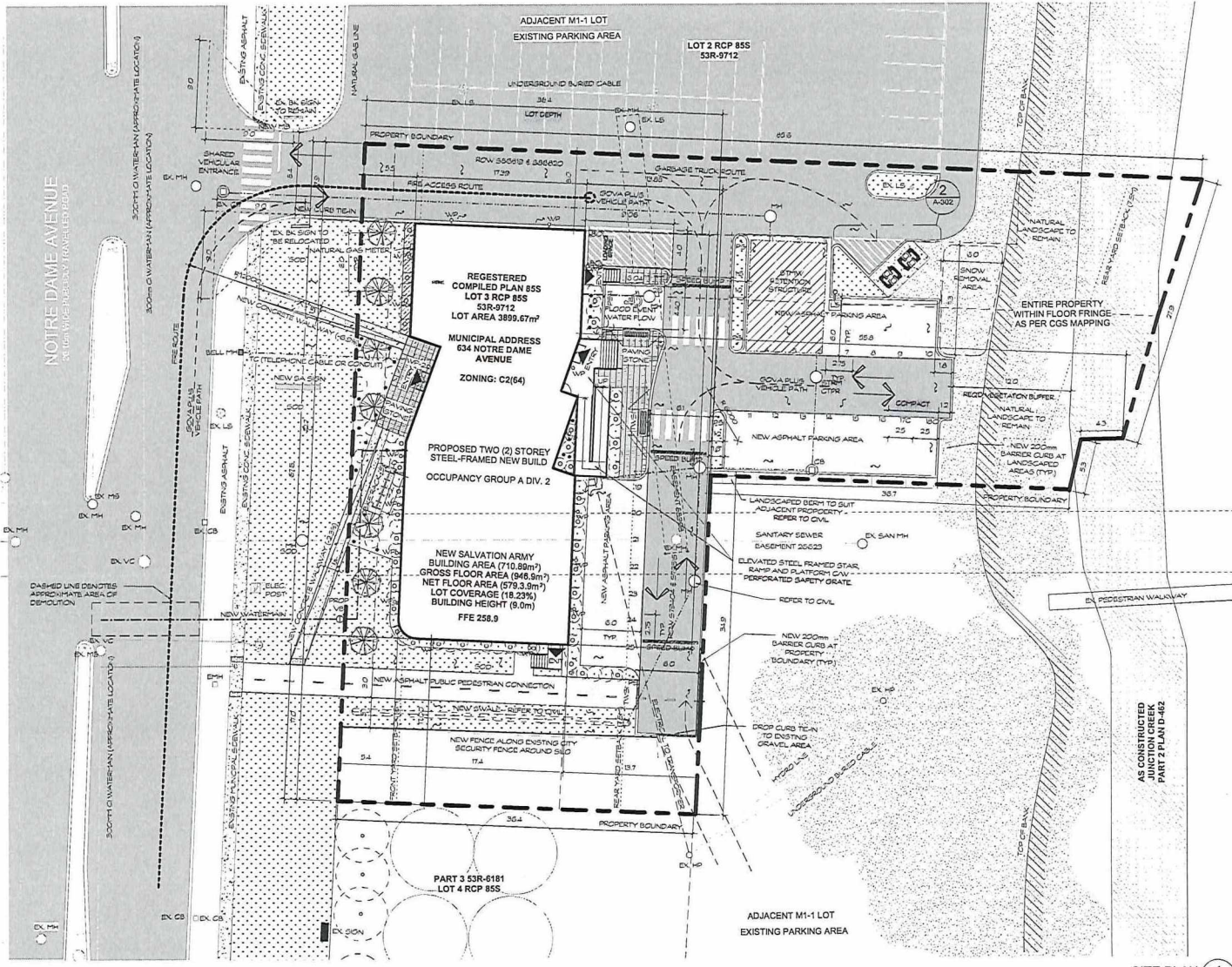
Sketch 1, NTS
NDCA

PL-MV-2025-00003
Date: 2025 02 06



SITE PLAN LEGEND

- MANHOLE EX INDICATES EXISTING MH REFER TO CIVIL
- CATCH BASIN EX INDICATES EXISTING CB REFER TO CIVIL
- FIRE HYDRANT / EX DENOTES EXISTING TO RD-HAN REFER TO CIVIL
- PAINTED CAST-IN-PLACE CONG. BOLLARD
- POST MOUNTED BARRIER FREE PARKING SIGN PER MTA S.R.O. 1530, REGULATION 561, POLICE 100 REFER TO PLAN FOR LOCATION
- MUNICIPAL TRAFFIC SIGN
- PRIVATE TRAFFIC SIGN
- TACTILE WARNING SURFACE INDICATOR
- WALL PACK
- PRE-PAVE SPEED BUMP GRADED TO ASPHALT
- BIKE RACK (ACCOMMODATES 5 BICYCLES) C/W 200mm Ø CAST-IN-PLACE PILES FOR MOUNTING
- UTILITY POLE REFER TO ELECTRICAL
- MAX. EXTENT OF MATURE CANOPY PLANTING (SYMBOL DIFFERS BASED ON TYPE)
- DRAINAGE
- CENTERLINE OF ROAD
- AREA OF HEAVY DUTY ASPHALT REFER TO CIVIL
- AREA OF LIGHT DUTY ASPHALT REFER TO CIVIL
- RIP-RAP C/W GEOTEXTILE REFER TO CIVIL
- SOD
- EXISTING NATURAL LANDSCAPE TO REMAIN
- PLANTING BED C/W MULCH
- NO PARKING AREA LINE PAINTING & DIAGONAL LINES AT 2" Ø DIC. PAINT COLOUR TO MATCH PARKING SPACE LINES
- PATIO STONES
- TOP OF BANK
- JUNCTION CREEK

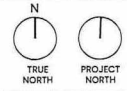


SITE PLAN 1:200 1 A-304



THE SALVATION ARMY
 634 Notre Dame Avenue, Greater Sudbury, ON, P3C 612

REVISIONS



ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METRES.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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SITE PLAN
 PROJECT NO. 23103 | DRAWN BY TO
 SCALE As Indicated | CHECKED BY TM/AS

A-3 01

PL-MV-2025-00003
 sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376
(705) 673-2200 FAX

Record #: PL-MV-2025-00008

APPLICATION SUMMARY

File Date: 01/30/2025

Application Type: Minor Variance

Address(es): 40 Eyre Street, Sudbury P3C 4A5

Applicant(s): J.L. RICHARDS & ASSOCIATES LIMITED

Owner(s): 2810373 ONTARIO INC.

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date of acquisition of subject land?

2021

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwellings units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Institutional

Current Zoning By-law designation

C2(125)

Provide a description of the proposal

Adaptive reuse of existing building for +/- 1,065 sqm light manufacturing use, and construction of parking areas for use.

Provide reason why the proposal cannot comply with the provisions of the Zoning By-law

Existing building location and site conditions. Loading space location at the southwest corner is adjacent to existing overhead garage door on the building. Reduction in setbacks due to existing building location. Conditions at the rear (east side) of the building adjacent to neighbouring residential zone is a combination of existing landscaped grass, trees, and gravel areas. Northerly reduction (to 2.59m) due to existing building location is landscaped. Southerly reduction to 0m is an existing gravel area, to permit access to the back of the building from the laneway. This matches the conditions of a gravel parking area on the neighbouring residential property to the east. Utilities are also located in this area.

Is there an eave encroachment?

No

Size of eaves

Frontage of land affected

58.8

Depth of land affected

48.8

Area of land affected

2185

Width of street

20.0

Date(s) of construction of all buildings and structures on the subject land

1950

Existing use(s) of the subject property and length of time it/they have continued

vacant

Proposed use(s) of the subject property

light manufacturing use

Existing uses of abutting properties

low-medium density residential; commercial - assembly hall

Has the subject land ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

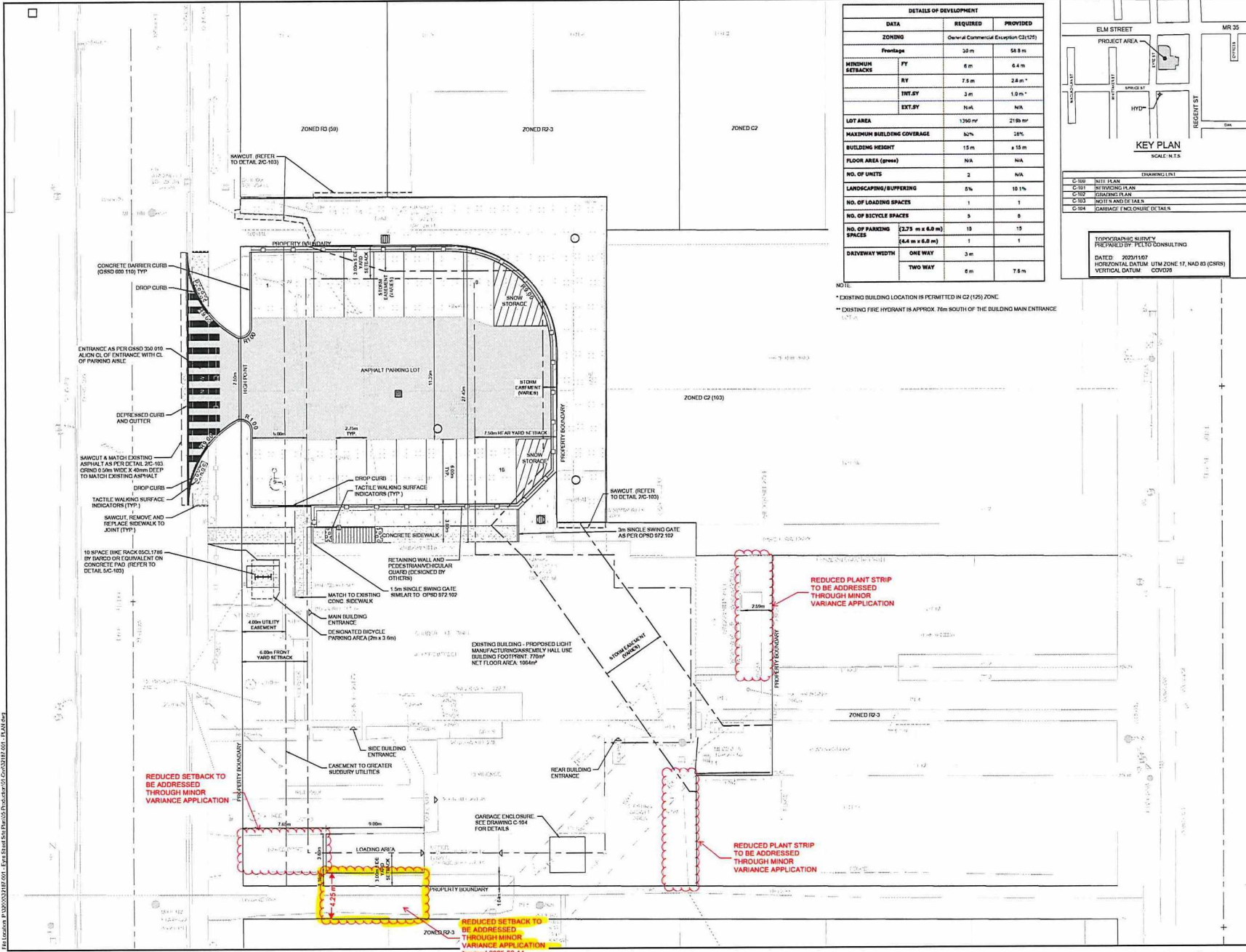
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Existing former church/assembly space - proposed for light manufacturing use	No	770	1065	2	30.8	39.7	15	6.4	2.6	1	27.5

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
S. 5.6.5(e) Loading space setback to street line (Eyre Street)	10.0m	7.65m	2.35m
S. 5.6.5(e) Loading space setback to street line (residential zone boundary)	10.0m	4.25m	5.75m
s. 4.15.4a)i) planting strip adjacent to residential zone (eastern property line)	3.0m	0m	3.0m



DETAILS OF DEVELOPMENT		
DATA	REQUIRED	PROVIDED
ZONING	General Commercial Exception C2(125)	
Frontage	33 m	58.8 m
WIDTH SETBACKS		
FT	6 m	6.4 m
RT	7.5 m	2.8 m *
TRT.5Y	3 m	1.0 m *
EXT.5Y	N/A	N/A
LOT AREA	1360 m²	2180 m²
MAXIMUM BUILDING COVERAGE	50%	25%
BUILDING HEIGHT	15 m	± 15 m
FLOOR AREA (gross)	N/A	N/A
NO. OF UNITS	2	N/A
LANDSCAPING/SUPPERING	5%	10.1%
NO. OF LOADING SPACES	1	1
NO. OF BICYCLE SPACES	3	8
NO. OF PARKING SPACES	(3.75 m x 6.0 m)	19
	(6.4 m x 6.0 m)	1
DRIVEWAY WIDTH		
ONE WAY	3 m	
TWO WAY	6 m	7.5 m



TOPOGRAPHIC SURVEY
PREPARED BY: PCLTO CONSULTING
DATE: 2025/11/07
HORIZONTAL DATUM: UTM ZONE 17, NAD 83 (ENR)
VERTICAL DATUM: CGVD2019

LEGEND	
	EXISTING FEATURES
	PROPOSED FEATURES
	STORM WATERMARK
	CATCH BASIN MANHOLE
	HYDRO POLE
	CONCRETE SIDEWALK
	TOPSOIL & HYDROSEEDED ASPHALT (HEAVY DUTY)
	ASPHALT (LIGHT DUTY)
	RETAINING WALL
	EXISTING GRADES
	PROPOSED GRADES
	YARD SETBACK POST AND RAIL FENCE
	CONCRETE CURB
	DROP CURB
	SLOPE BREAK
	ENTRY/EXIT POINT

NOTES:
* EXISTING BUILDING LOCATION IS PERMITTED IN C2 (125) ZONE.
** EXISTING FIRE HYDRANT IS APPROX. 70m SOUTH OF THE BUILDING MAIN ENTRANCE.

No.	ISSUE / REVISION	DATE
2	ISSUED FOR SITE PLAN APPROVAL	8/26/25
1	ISSUED FOR ODS REVIEW	1/6/24

minewise Technology Ltd.

J.R. J.L. Richards ENGINEERS-ARCHITECTS-PLANNERS

PROFESSIONAL'S STAMP

PROJECT NUMBER

EYRE STREET SITE PLAN	
40 EYRE STREET, SUDBURY, ONTARIO	
SITE PLAN	
DRAWN BY: JY	DRAWING #: C-100
CHECKED BY: RL	DATE: 2025-02-14
DATE: 2025-02-14	SCALE: 1:100

PL-MV-2025-00008
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376
(705) 673-2200 FAX

Record #: PL-MV-2025-00009

APPLICATION SUMMARY

File Date: 02/08/2025

Application Type: Minor Variance

Address(es): 390 Marier Street, Azilda P0M 1B0

Applicant(s): 3RD LINE STUDIO

Owner(s): SYLVIO VACHON AND COLETTE AUBIN

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date of acquisition of subject land?

April 27, 2023

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

2

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwellings units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

living area 1 and rural

Current Zoning By-law designation

RU, R1-5

Provide a description of the proposal

New detached garage with 3rd dwelling Unit

Provide reason why the proposal cannot comply with the provisions of the Zoning By-law

The proposal exceeds the by-law's limit on dwelling units by including both a secondary unit in the main house and an additional unit in a detached garage. Recent 2024 by-law changes reduced the permitted number of units, making this previously compliant configuration now requiring a minor variance.

Is there an eave encroachment?

No

Size of eaves

Frontage of land affected

125.39

Depth of land affected

186.12

Area of land affected

5574

Width of street

20.0

Date(s) of construction of all buildings and structures on the subject land

Completed (Occupancy) in December 2024

Existing use(s) of the subject property and length of time it/they have continued

Primary residence + rental secondary unit - Occupancy in Dec 2024

Proposed use(s) of the subject property

Residential

Existing uses of abutting properties

Residential

Has the subject land ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
Yes

Indicate the application number(s) and status of the application(s)
B0091/2024 (Consent Referral scheduled for Feb 19 Planning Committee)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PL-MV-2025-00009

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached garage with secondary dwelling unit	Yes	189.6	189.6	1	14.7	13.73	5	36.38	136.03	3.66	106.96

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Residential Residence with a Secondary Dwelling.	No	307.79	307.79	1	25.65	13.35	5.21	18.29	154.52	18.29	81.4

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.2.10.1 (v.)	Only one (1) additional dwelling unit is permitted on a rural residential property, either within the main dwelling or in one accessory building, provided no other accessory buildings contain dwelling units.	<p>Seeking relief from the zoning by-law to permit one dwelling unit in a structure accessory (detached garage with dwelling unit) to a single detached dwelling, where the single detached dwelling contains two dwelling units.</p> <p>The single detached dwelling containing two dwelling units received occupancy in December 2024.</p>	<p>The owner had previous discussions with the city prior to and during the permit review, and was actively planning the construction of a detached garage with a secondary unit. Prior to the by-law changes in November 2024, this was permitted on the property. Evidence confirming that the planning for the third unit was in place before the by-law change includes:</p> <p>1. Approved Lot Grading Plan – Submitted with the permit for the main dwelling and secondary unit on May 28, 2024, indicating a</p>

PL-MV-2025-00009

detached garage with a secondary unit.

2. Sewage System Permit – Issued on August 1, 2024, showing approvals for the main dwelling, attached secondary unit, and a detached garage with a 1-bedroom/1-bath unit. The septic system has already been installed on-site.

3. Hydro One Design Layout – Dated February 2024, showing electrical servicing planned for three units on the property. The hydro meters have already been installed on-site.

4. Discussions with Conservation Sudbury – On June 7, 2024, Conservation Sudbury confirmed they had no objections to the structures proposed on the site, including the detached secondary unit.

Note: Had the owner been advised of the upcoming by-law change, they would have submitted their permit application prior to the amendment in November 2024.

Committee of Adjustment
City of Greater Sudbury
Subject: Request for Minor Variance – 390 Marier St.

Dear Committee Members,

I am writing to formally request a minor variance for my property at 390 Marier Street. My goal has always been to develop this property as part of my retirement plan while also generating rental income. I purchased the property in April 2023 and have since navigated numerous regulatory and logistical challenges to bring my vision to life. I am now faced with an unexpected zoning bylaw change that significantly impacts my project, despite my extensive planning and investment.

Background and Development Process

Upon purchasing the property, I initiated the necessary approvals and design work, fully aware of the re-mapping of the floodplain in the Azilda area. Despite my efforts to obtain information from Conservation Sudbury, they were unable to provide details at that time, as the process was nearly finalized. I also reached out to my city councillor but was unable to gain further clarity.

Working with my surveyor, Dorland, I proceeded with designing the property layout. This involved months of collaboration with Conservation Sudbury and the Health Unit to finalize the septic system design, incurring a cost of \$8,800. Once approvals were secured, I submitted my permit application for a single dwelling with a secondary unit, while also considering a third unit and lot severance, which is on the agenda for review on February 19, 2025.

During the permit review process, the plan examiner inquired about the proposed garage/third unit, to which I clarified that the design was not yet finalized and that construction would not occur in 2024. Nevertheless, I continued working on my project and finalized designs to gain approval for the third unit from Conservation Sudbury and the Health Unit in preparation for the following year. With the help of Pauline Fortin I was able to add a 3rd unit and also to split a lot.

Unexpected Challenges and Additional Costs

Throughout this project, I have encountered numerous difficulties due to delays and lack of coordination among various departments:

- **Utility Delays:** Hydro took an extended period to install a larger underground cable to accommodate three units, forcing me to use temporary power (Delco) for a month. Additionally, I incurred extra costs for the third meter.
- **Gas Service Issues:** Enbridge Gas informed me at the last minute that service could not be provided this year due to engineering complications. I was forced to switch to propane, resulting in additional expenses, a five-year contractual obligation, and a \$1,000 early termination fee.
- **Construction Costs:** I have already invested \$10,000 in excavation and gravel for the third unit's driveway (36' x 65' at a 4' depth), in addition to other construction expenses.

Zoning Bylaw Change and Minor Variance Request

On February 2, 2025, I applied for a permit for the garage/third unit, only to be informed that a zoning bylaw change in November 2024 had reduced the number of allowable additional dwelling units (ADUs) from two to one. Had I been aware of this impending change, I would have applied for the permit earlier to secure my rights under the previous bylaw.

After discussions with the Planning Department, I was advised that the only option available was to either pursue a rezoning application (costing \$5,000–\$8,000 and requiring 6–8 months for approval) or apply for a minor variance. Given my circumstances, I am requesting a minor variance under section 4.2.10.1 (v) to permit one dwelling unit in a structure accessory to a single detached dwelling, where the single detached dwelling already contains two dwelling units.

Justification for Minor Variance Approval

1. **Demonstrated Prior Planning:** I have documented evidence (emails, designs, invoices) showing that I had been planning for a third unit well before the zoning change.
2. **Significant Financial Investment:** The project was undertaken with the expectation of compliance under the previous bylaw, and the change has placed an undue financial burden on me.
3. **Infrastructure Already in Place:** The property has already been developed to accommodate the third unit, including hydro, gas, septic, and excavation work.
4. **Minimal Impact on Surroundings:** The third unit aligns with the original property design and does not adversely impact the neighborhood.
5. **Reasonable Accommodation for Retirement Planning:** At 65 years old, this is my final project, and I request that the city recognize the substantial effort and resources I have dedicated to this development.

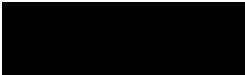
I respectfully ask the Committee of Adjustment to approve this minor variance to allow me to complete the project as originally planned without incurring further costs or delays. I appreciate your time and consideration and am available to discuss any further details or provide additional documentation as required.

Attached are the following, files, plans, emails and photos showing the approval for the 3rd Unit from all different departments:

- **Comment from Plan Examiner when I apply for Permit for Single Dwelling with Secondary Unit**
- **Garage / 3rd Unit Plan**
- **Garage / 3rd Unit Location**
- **Garage / 3rd Unit Location & Driveway Excavation done and ready for 3rd Unit**
- **Septic Installed for 3rd Unit – Approved by Health Unit, Landscaped and Seeded**
- **3 Hydro Meters Installed (one for each unit) & Temporary Propane Heating, 2 Tanks each Side**
- **Existing Single Dwelling with Secondary Unit**
- **Email from Building Services, after applying for the permit for 3rd unit**
- **Email from Planning Department**
- **Email from Conservation Sudbury**
- **Design Lot Grading Plan Showing 3rd Unit**
- **Septic System Permit for 390 Marier St.**
- **Septic Layout showing 3rd Unit**
- **Hydro Design Plan Showing 3rd Unit**
- **Email from Enbridge Gas**
- **Cost of Design Lot Grading Plan Showing 3rd Unit, didn't needed when applying for permit because property is no longer in flood plain**

Thank you for your attention to this matter.

Sincerely,
Sylvio Vachon & Colette Aubin



Subject: BP-NEW-2025-00099 - Incomplete Building Permit Application for a Detached Garage with ADU at 390 Marier
From: "Amanda Dittrich" <Amanda.Dittrich@greatersudbury.ca>
Sent: 2025-02-03 12:41:37 PM
To: [REDACTED]
Attachments: Owners Undertaking HVAC.pdf; Owner's Undertaking Lot Grading.pdf; 390 Marier St Azilda Health Unit - ADU and Det Garage.pdf

Sylvio,

Thank you for your building permit application for 390 Marier St., received on February 2, 2025.

At this time, we have deemed the application to be **incomplete** based on Ontario Building Code – Division C - 1.3.1.3 (5) for the minimum requirements of a complete application.

The permit application is not proceeding to our administrative processing phase however the following outstanding information and documentation is required to be provided. Should further additional information and documentation be identified, we will advise you accordingly.

ZONING BYLAW

- You are only permitted 1 additional dwelling unit (ADU) on your property per zoning bylaw section 4.2.10.1
 - Your permitted ADU is built attached to the main dwelling.
 - Your property is a parcel of rural residential land
 - The changes to the bylaw came into effect in November 2024 which reduced the number of permitted units on your property from an SFD with 2 ADU's to now only being permitted an SFD with 1 ADU.
 - If you wish to discuss the bylaw with me, please give me a shout at your convenience
- You will need to speak to the planning department to determine if there is a suitable planning application to allow a second ADU on your property, possible minor variance

KEY / PLOT PLAN & DRAWINGS

- Revised drawings and plot plan may be required based on your decision regarding the zoning bylaw issue above.

The requirements listed below here are only required pending approval through a planning application for the second ADU on your property.

HEALTH UNIT

- Approval from Public Health Sudbury and District is required to issue this building permit. If you have not already done so, please use the attached application form to make application to the health unit for their approval.
 - Only contact the health unit once you have sorted out the zoning issues indicated above.
 - The approval needs to be updated to include the garage and ADU.
 - Once their approval is received, please upload a copy to your Pronto portal.

OTHER SUPPLEMENTARY DOCUMENTS

- HVAC owner's undertaking signed by yourself, see attached
- Lot grading owner's undertaking signed by yourself, see attached

For the re-submission of documents, please log into the **Pronto Client Portal** and access the associated record by selecting the permit record number. The requested documentation can be uploaded to the record by selecting the **Record Info** tab and choosing **Attachments**. Please respond to this message once your upload is complete.

PL-MV-2025-00009

If you have any questions, please do not hesitate to contact our office.

Cheers,

Amanda Dittrich, P.Eng.
Plans Examiner (Front Counter)
Building Services
Growth & Infrastructure Department

P: [\(705\) 674-4455](tel:(705)674-4455) x4389

F: [\(705\) 675-1075](tel:(705)675-1075)

amanda.dittrich@greatersudbury.ca

MARRIER STREET DETACHED GARAGE WITH SECONDARY UNIT

2025 01 11 ISSUED FOR PERMIT AND CONSTRUCTION

3RD LINE STUDIO

EXCAVATION AND BACKFILL
 • Excavation shall be a minimum of 150mm (6 inches) below the lowest footing level.
 • The soil and water table in excavated areas under a building shall be removed.
 • The bottom of excavations for foundations shall be free of all organic material.
 • Backfill shall be compacted in 150mm (6 inch) lifts to a minimum depth of 100mm (4 inches) below the foundation base and to a maximum depth of 200mm (8 inches) above the foundation base.

FOUNDATION AND DRAINAGE
 • In normal soil conditions, the exterior surfaces of foundation walls including basements and crawl spaces shall be waterproofed. Where hydrostatic pressure exists, a waterproofing system is required.
 • Exterior foundation walls shall be painted with 50mm (2 inches) of mortar covered over the footing prior to waterproofing.
 • 100mm (4 inch) foundation drains shall be laid on level undisturbed ground adjacent to the exterior of the basement wall or crawl space floor, and shall be covered with 100mm (4 inches) of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump.
 • Foundations shall be drained to the lowest level to a dry well or sump.
 • Foundations shall be protected from frost damage by frost protection in every wall area from the building, and provisions shall be made to prevent soil erosion.
 • The building shall be protected from fire, water and theft and drainage will not encroach on or near the building and will not adversely affect adjacent properties.

FLOORINGS
 • Minimum 75mm (3 inch) ground concrete.
 • Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 150kPa.
 • The preparation of an unimproved footing beyond the wall supported shall not be greater than 100mm (4 inches) above the ground level.

STEP FOOTINGS
 • 100mm (4 inch) min. step, 600mm (24 inch) min. run.

FOUNDATION WALLS
 • To be constructed as unit masonry base (see drawings for type and thickness).
 • Foundation walls shall be exterior finished 150mm (6 inches) above finished grade.
 • Foundation walls shall be finished on both the floor joists retained before building.

CONCRETE FLOOR SLABS
 • Slabs, top and exterior walls and exterior steps shall be 200mm (8 inches) concrete with 50% of reinforcement.
 • Basement wall 200mm (8 inches) concrete, minimum 150mm (6 inches) placed on a minimum 100mm (4 inches) concrete base, grade independent.
 • All fill other than crushed stone material placed beneath concrete slabs shall be compacted to a minimum unit weight.

MASONRY WALLS
 • Minimum 100mm (4 inch) thick walls shall be finished with a plaster concrete every 100mm (4 inches) vertically and horizontally and 50mm (2 inches) for both of fill.
 • Masonry walls shall be finished with 150mm (6 inches) concrete (200mm (8 inches) wood filler under all roof and floor framing members).
 • Masonry shall be laid to match the face of masonry above or below a 150mm (6 inches) concrete seal above, below or between masonry. Where joints are essential to wall, they are to be finished with a 150mm (6 inches) concrete seal above, below or between masonry.
 • Masonry shall be finished with 150mm (6 inches) concrete seal above, below or between masonry.
 • Masonry shall be finished with 150mm (6 inches) concrete seal above, below or between masonry.

MASONRY VENEER
 • Minimum 75mm (3 inch) thick veneer shall be finished with 150mm (6 inches) of plaster.
 • Masonry shall be finished with 150mm (6 inches) concrete seal above, below or between masonry.
 • Masonry shall be finished with 150mm (6 inches) concrete seal above, below or between masonry.
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WOOD FRAME CONSTRUCTION
 • All lumber shall be species of No. 1 & 2, and shall be identified by a grade stamp.
 • Maximum moisture content: 19% at time of installation.
 • Wood framing members where they are supported on concrete in direct contact with soil shall be treated with preservative to a minimum depth of 150mm (6 inches) below the concrete surface or 150mm (6 inches) below the ground surface.

WALLS
 • Exterior walls shall consist of:
 • Siding
 • Masonry veneer (100mm (4 inches) minimum thickness)
 • 200mm (8 inch) (200mm (8 inch) minimum thickness) insulation
 • 200mm (8 inch) (200mm (8 inch) minimum thickness) sheathing
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ROOFING
 • Roofs for roofing shall be concrete resistant. Roofing nails shall penetrate through or at least 100mm (4 inches) into sheathing.
 • Lumber sheathing shall be finished with at least 4 nails for 1000mm (40 inch) sheathing.
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INSULATION & WEATHERPROOFING
 • Exterior walls shall be insulated with 100mm (4 inch) insulation that is protected with gypsum board or an equivalent exterior finish, except for unfinished basements where 0.150m (6 inch) of insulation for thermoplastic polyisocyanurate.
 • Dams (primary thermal break) shall be made of rigid foam insulation.
 • Ceiling shall be provided for exterior doors and windows between the frame and the exterior cladding.
 • Insulation shall be provided on all doors and access hatches to the exterior.
 • Exterior walls, ceilings and floors shall be constructed as to provide a continuous barrier to the passage of water vapor from the exterior and to the leakage of air from the exterior.

NATURAL VENTILATION
 • Every room shall have a minimum ceiling height of 2.0m (6 feet 6 inches) and shall be provided with unobstructed openings equal in area to 1/20th of the finished ceiling area.
 • If not provided, the ceiling shall be finished with 20% of the ceiling area and 25% of the bottom of the space designed to provide the area of air, where an example.
 • Unobstructed openings shall be provided with a 100mm (4 inch) minimum clear opening.
 • Minimum natural ventilation area, where mechanical ventilation is not provided, shall be:
 • 0.02m² (0.27 sq ft) per m² (10.76 sq ft) of floor area.
 • Unfinished basement: 0.2% of floor area.

DOORS AND WINDOWS
 • Every door shall be constructed with a minimum 100mm (4 inch) exterior door shell and 100mm (4 inch) interior door shell.
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EXTERIOR WALLS
 • No windows or other unobstructed openings are permitted in exterior walls less than 1000mm (40 inch) from property lines.
 • 150mm (6 inch) "V" roof shall be installed on the inside face of exterior walls above ground level.
 • Exterior doors and windows shall be 200mm (8 inch) from ground shall be constructed to meet fire code requirements. Doors shall have a standard lock.
 • The principal entry door shall have a door sweep, equipment flange, or a sweep.

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 DISTRICT OF BUDDURY
 LOT 27
 PIN 723456002

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 RECORDED PLAN M-511
 GEOGRAPHIC TOWNSHIP OF HAVSBY
 CITY OF CHATELAIN BUDDURY
 DISTRICT OF BUDDURY
 LOT 27
 PIN 723456002

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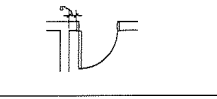
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 LOT 27
 PIN 723456002

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

- ALL INTERIOR PARTITIONS ARE TO BE 1/2" UNLESS NOTED OTHERWISE.
- USE WATER RESISTANT DRYWALL BOARD ON ALL WET AREAS OF PARTITIONS AND ELEMENTS BEHIND ALL WALL MOUNTED TELEVISIONS.
- PROVIDE WOOD FLOORING TO ACCOMMODATE WALL MOUNTED IN ACCESSIBLE, COORDINATE LOCATION OF RECYCLED.
- ALL PARTITIONS TO BE FINISHED TO FACE OF FINISHING UNLESS OTHERWISE NOTED. FINISH AS REQUIRED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR FINISH ELEVATION.
- ALL DOORS SHALL BE LOCATED 1' FROM WALL FACE TO DOOR FRAME LOGIC, TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL BLDG.



CONSTRUCTION ASSEMBLIES LEGEND:

- FOUNDATION WALL ASSEMBLY:**
- 1" CONCRETE FLOOR
 - 1" CONCRETE FLOOR
 - 1" CONCRETE FLOOR
- EXTERIOR WALL ASSEMBLY:**
- 1" CONCRETE BLOCK
 - 1" CONCRETE BLOCK
 - 1" CONCRETE BLOCK


- FLOOR ASSEMBLY:**
- 1" CONCRETE FLOOR
 - 1" CONCRETE FLOOR
 - 1" CONCRETE FLOOR



3rd Unit with
Attached Garage

36' x 65' x 4' deep
of gravel
Driveway Excavated,
Backfilled
and ready for 3rd unit

PL-MV-2025-00009



**Septic Tank #1 for Single Dwelling
with Secondary Unit Installed,
Landscaped, Approved by Health
Unit & Seeded**

**Septic Tank #2 for 3rd
Unit Installed,
Landscaped, Approved
by Health Unit & Seeded**

PL-MV-2025-09009



Sewage System Permit

POST THIS NOTICE ON SITE

Public Health Sudbury & Districts

1300 Paris Street, Sudbury, ON P3E 3A3

Telephone: 705.522.9200, ext. 398 / Fax: 705.677.9607

Permit Number: 203-24-SP004

Date Issued: August 1, 2024

Owners' Name:
Sylvio Vachon & Colette Aubin

Agents' Name:
Justin Dignard, Canadian Shield Consultants Agency I

Legal Description:

District:
Sudbury

Municipality:
City of Greater Sudbury

Township:
Rayside

Lot: 5	Concession: 2	Parcel: 27440	Plan: 53R9375, Part 3	Sublot:
-----------	------------------	------------------	--------------------------	---------

Street Address: 390 Marier Street

Other:

Work Authorized By Permit:

of bedrooms:
of bathrooms:

Approval for a:	Class 4 Filter Bed	Consisting of:	
Septic Tank Capacity:	4500 & 3600 L	Filter Bed Area:	49 m ²
Holding Tank Capacity:	L	Contact Area:	173.8 m ²
Leaching Bed Distribution Pipe:	m	Soil Mantle Area:	738 m ²
Soil Mantle Area:	m ²	Stone Layer Area:	m ²
Shallow Buried Trench:	m	Sand Layer Area:	m ²
		Soil Mantle Area:	m ²

Comments: Duplex each with 2 bedroom 2 bathroom PLUS Detached Garage with 1 bedroom 1 bathroom

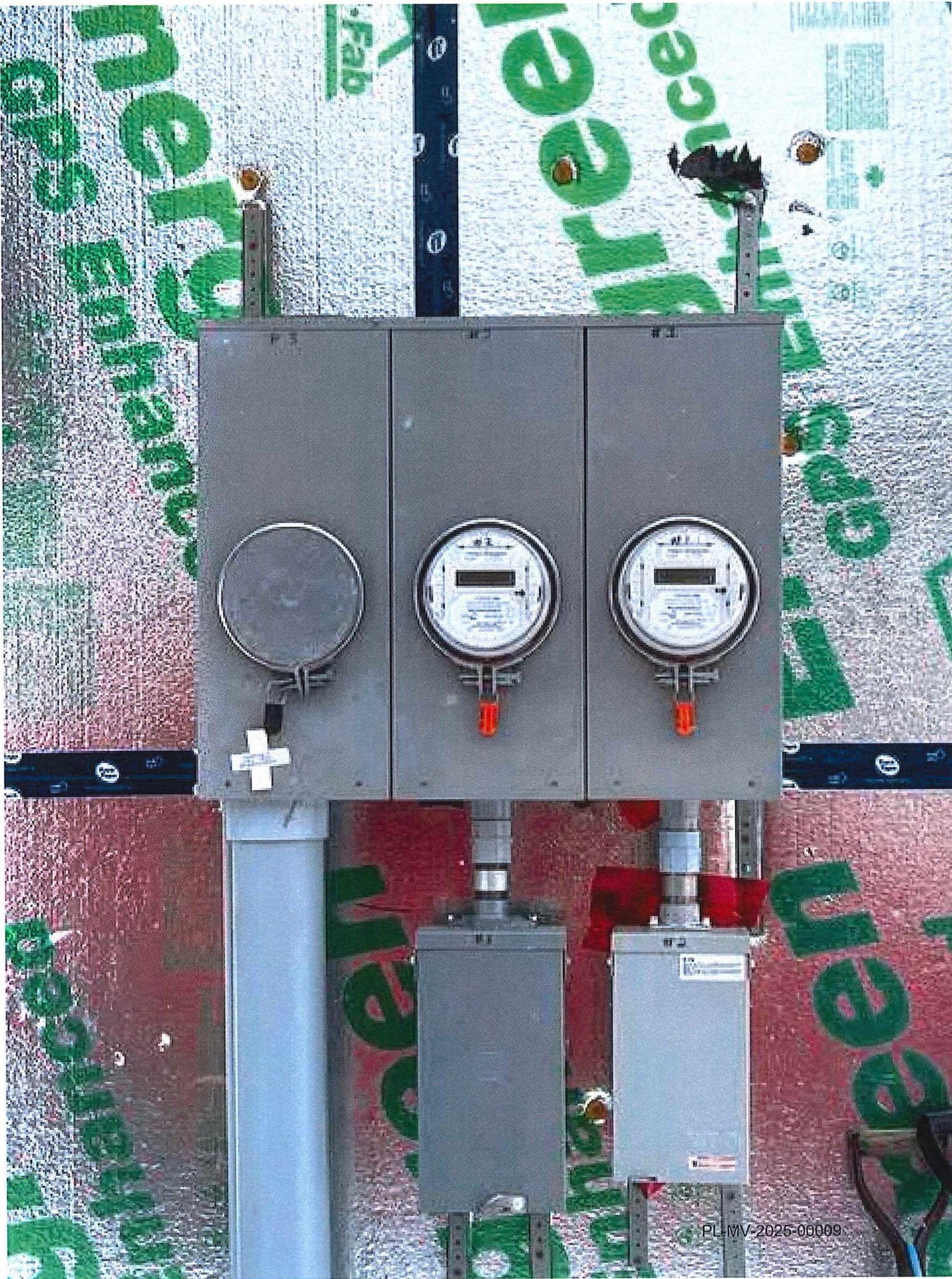
Substantial Inspection Notification: At least 5 days notice must be given to the Sewage System Inspector prior to backfilling.

Note: At least one set of approved drawings, specifications and plans must be maintained at the construction site. No changes or additions to this project may be undertaken without prior written approval of the Inspector.

The owner/agent and contractor share responsibility for ensuring that all work is carried out in accordance with this Permit, the Building Code Act, and Public Health Sudbury & Districts' By-laws.

Permit Recommended By:
Brad Manning, BA, BSc, CPHI(.C)

Signature:



PL-MV-2025-00009



PL-MV-2025-00009



PL-MV-2025-00009

Subject: 0 Marier Street - Flood Hazard Extent (File 47362)

From: "Phillipa Cryderman" <[REDACTED]>

Sent: 2024-06-07 10:32:32 AM

To: [REDACTED]

CC: "Anita Alatyppo" <[REDACTED]>; "Carl Jorgensen" <Carl.Jorgensen@ConservationSudbury.ca>; "Melanie Venne" <Melanie.Venne@ConservationSudbury.ca>

Hello Sylvio,

I'm glad we could connect this morning.

As discussed, we've taken another look at the file in conjunction with the information and plan submitted by Dorland, and I believe it is reasonable to reconsider the regulatory flood elevation through the property as 273.4 m (CGVD28).

This means that as per the topographic survey prepared by Dorland the northern portion of the parcel (in the area of the currently proposed development) is outside of the flood hazard. Conservation Sudbury would have no objection to structures including detached secondary units in the area of the property that is outside of the flood hazard. Furthermore, provided all structures, septic systems, and associated grading works are located 15 m beyond the limit of the flood hazard, a permit from Conservation Sudbury is not required.

With this new information you may want to consult with your agent and reconsider the overall plot plan. Once any modifications to the plot plan are made (if any) we will ask they be recirculated to us, together with the delineation of the flood hazard at 273.4 m and the 15 m regulated buffer, and we can update our comments to building services accordingly.

Once you've had some time to review this information against your plans, don't hesitate to give me a call at the below number should you wish to discuss.

Regards,
Phillipa

Phillipa Cryderman, P.Eng.
Regulations and Planning Officer
Conservation Sudbury- Nickel District Conservation Authority
401 - 199 Larch Street
Sudbury, Ontario P3E 5P9
Tel: 705-674-5249 ext. 209
Phillipa.Cryderman@ConservationSudbury.ca

Subject: 390 Marier St Azilda - Enbridge Gas Action Required
From: "NewBuild" <[REDACTED]>
Sent: 2025-01-15 9:19:31 AM
To: [REDACTED]
CC: [REDACTED]

Hello Sylvio,

Per our phone conversation last week. I am updating the applications with the information you provided. Unfortunately I had to cancel the request for Unit A and submit a new one to show the requirement for 2 meter manifold.

You will get an email from Get Connected (Okta) asking you to validate the address again and accept the extra length charges.

I won't be able to proceed until you action that email by clicking the link.

Our drafter still has everything in progress and this won't delay the timeline.

Thank you

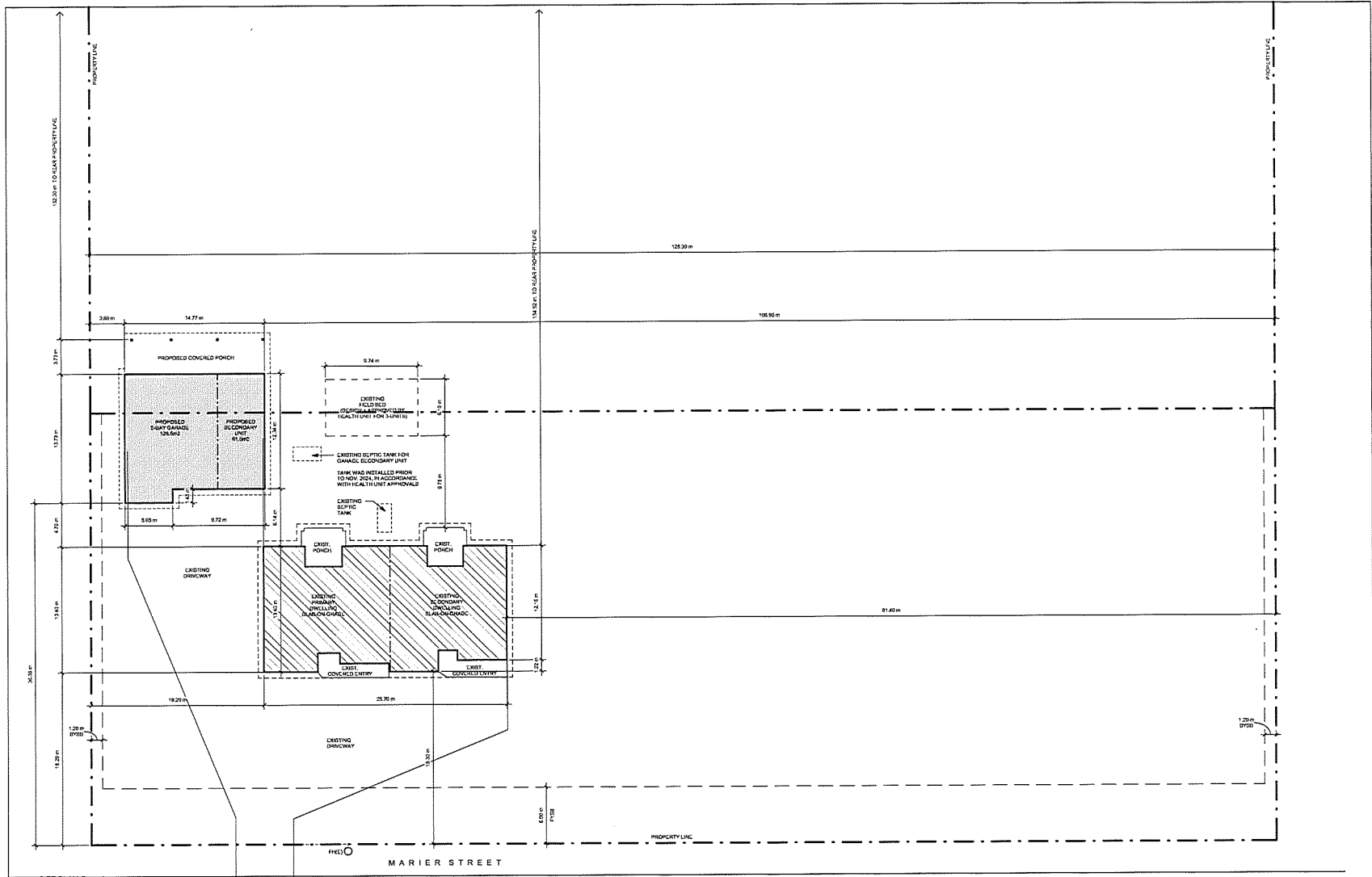
Karen R.
Builder Attachment Clerk
New Residential Attachment Centre

ENBRIDGE GAS

[REDACTED]
36 Charles St E, North Bay, ON P1B 8K7

enbridgegas.com

Safety. Integrity. Respect. Inclusion.



SITE PLAN Copy 1
1/8" = 1'-0"

0:\PROJECTS\2025\2411 - Marier Street - Detached Garage with 2 Bay Garage\2411 - Marier Street - Detached Garage.rvt

DRAWINGS ARE NOT TO BE SCALED
 CONTRACTOR MUST VERIFY ALL DIMENSIONS
 ON THE JOB AND REPORT ANY DISCREPANCIES
 TO ARCHITECT'S OFFICE, PROCEEDING WITH
 THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE THE
 PROPERTY OF THE ARCHITECT AND ARE
 PROTECTED BY COPYRIGHT.
 THIS DRAWING IS NOT TO BE USED FOR
 CONSTRUCTION UNTIL IT HAS BEEN SCALED.

No.	Revision / Version:	Date:



3RDLINE.STUDIO
 201 CEDAR STREET
 SUITE 100 (2ND FLOOR)
 WILLOWDALE, ONTARIO M2H 1A8

**MARIER STREET DETACHED GARAGE
 WITH SECONDARY UNIT**
 390 MARRIER ST, AZILDA, ONTARIO

SITE PLAN

Date:	2025 01 11
Scale:	1/8" = 1'-0"
Drawn By:	V.V. Checked By: V.V.
Project No.:	2421
Drawing No.:	SP-1

SP-1

PL-MV-2025-00009
 Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376
(705) 673-2200 FAX

Record #: PL-MV-2025-00011

APPLICATION SUMMARY

File Date: 02/14/2025

Application Type: Minor Variance

Address(es): 2106 South Shore Road, Sudbury P3G 1M3

Applicant(s): TULLOCH

Owner(s): NICHOLAS FOLIGNO AND JANELLE FOLIGNO

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date of acquisition of subject land?

2012

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwellings units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Zoning By-law designation

R1-1

Provide a description of the proposal

See cover letter and concept plan

Provide reason why the proposal cannot comply with the provisions of the Zoning By-law

See cover letter

Is there an eave encroachment?

No

Size of eaves

Frontage of land affected

76.5

Depth of land affected

208.9

Area of land affected

15861.1

Width of street

10

Date(s) of construction of all buildings and structures on the subject land

Unknown

Existing use(s) of the subject property and length of time it/they have continued

Low density residential

Proposed use(s) of the subject property

Same

Existing uses of abutting properties

Low density residential

Has the subject land ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained yearly
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached garage	No	465.2	465.2	1	14.3	32.6	9	6	176.9	41.5	1.8

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single detached dwelling	No	365	730	2	23	30	11	134.3	38.1	18.8	27.3
Shed	No	9.3	9.3	1	3.048	3.048	3.0	155.0	48.2	45.0	26.6

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Maximum height of an accessory building or structure on a residential lot (Section 4.2.4 of the zoning by-law)	5m	9m	4m



Planners | Surveyors | Biologists | Engineers

February 14, 2025
242809

Committee of Adjustment
Tom Davies Square – City of Greater Sudbury
200 Brady Street
Sudbury, ON
P3A 5P3

Re: 2106 South Shore Road Minor Variance

Dear Committee of Adjustment,

- TULLOCH has been retained by the current owner of those lands known municipally as 2106 South Shore Road (being PIN 73472-0263) in Sudbury to facilitate the submission of a minor variance application to permit a maximum height of 9.0-metres for the proposed detached garage where a maximum height of 5.0-metres is permitted for accessory buildings and structures in the R1-1 (Low Density Residential One) zone.
- The height variance is proposed for the following reasons:
- Topographic constraints in the proposed construction location (given the sloping elevation from the front lot line to the rear lot line);
- The garage would contain a loft in order to utilize more space for general storage purposes; and,
- The garage would be used to store a range of recreational vehicles with varying heights.
- The variance is minor and appropriate for the orderly development of the property given that:
- A garage is permitted accessory to the existing dwelling in the R1-1 zone to a maximum lot coverage of 10% where the proposed garage would contain a lot coverage of 2.9%
- No vegetation removal, beyond that required for the construction of the proposed garage is anticipated;

- Existing mature vegetation (deciduous and coniferous trees) present throughout the property would act as a natural buffer between the proposed garage and the surrounding area (i.e. South Shore Road, Long Lake and surrounding residential uses) (see *Figures 1 & 2*);
- The proposed garage would be located more than 125-metres from surrounding single detached dwellings – together with the natural buffering noted above, the garage is not likely to introduce concerns surrounding land use compatibility; and,
- The proposed garage is located as far from the Long Lake shoreline as possible consistent with best shoreline practices; and,
- The size of the proposed garage fits in with the surrounding neighbourhood while still maintaining the rural character.

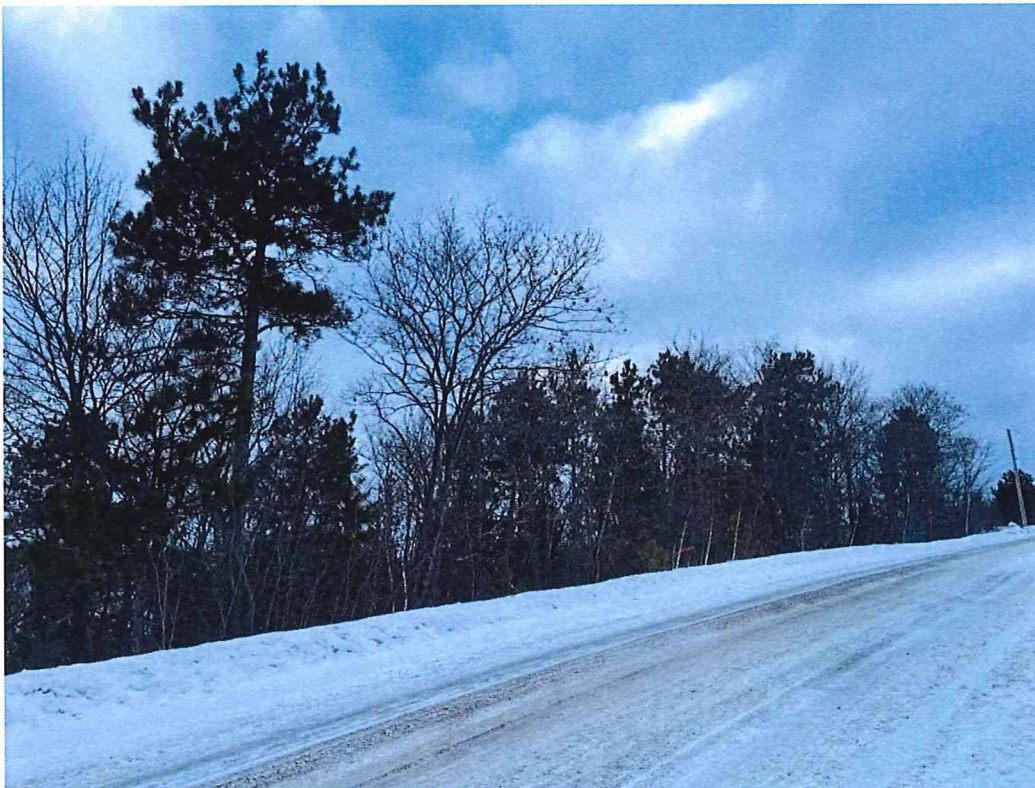


Figure 1: Property Frontage Facing North-East; Mature Vegetation



Figure 2: General Location of Proposed Building Facing North-West; Mature Vegetation

Please find attached the following documents and supporting information in support of the application:

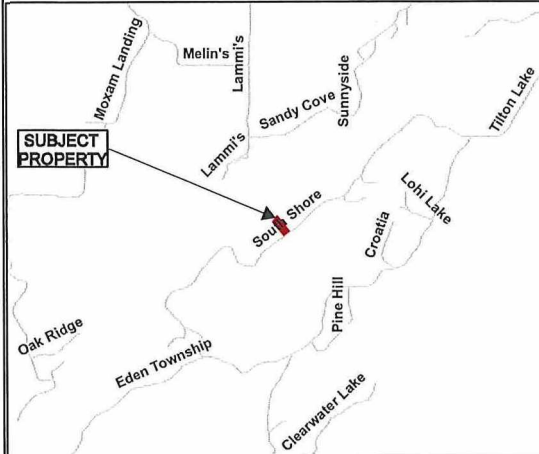
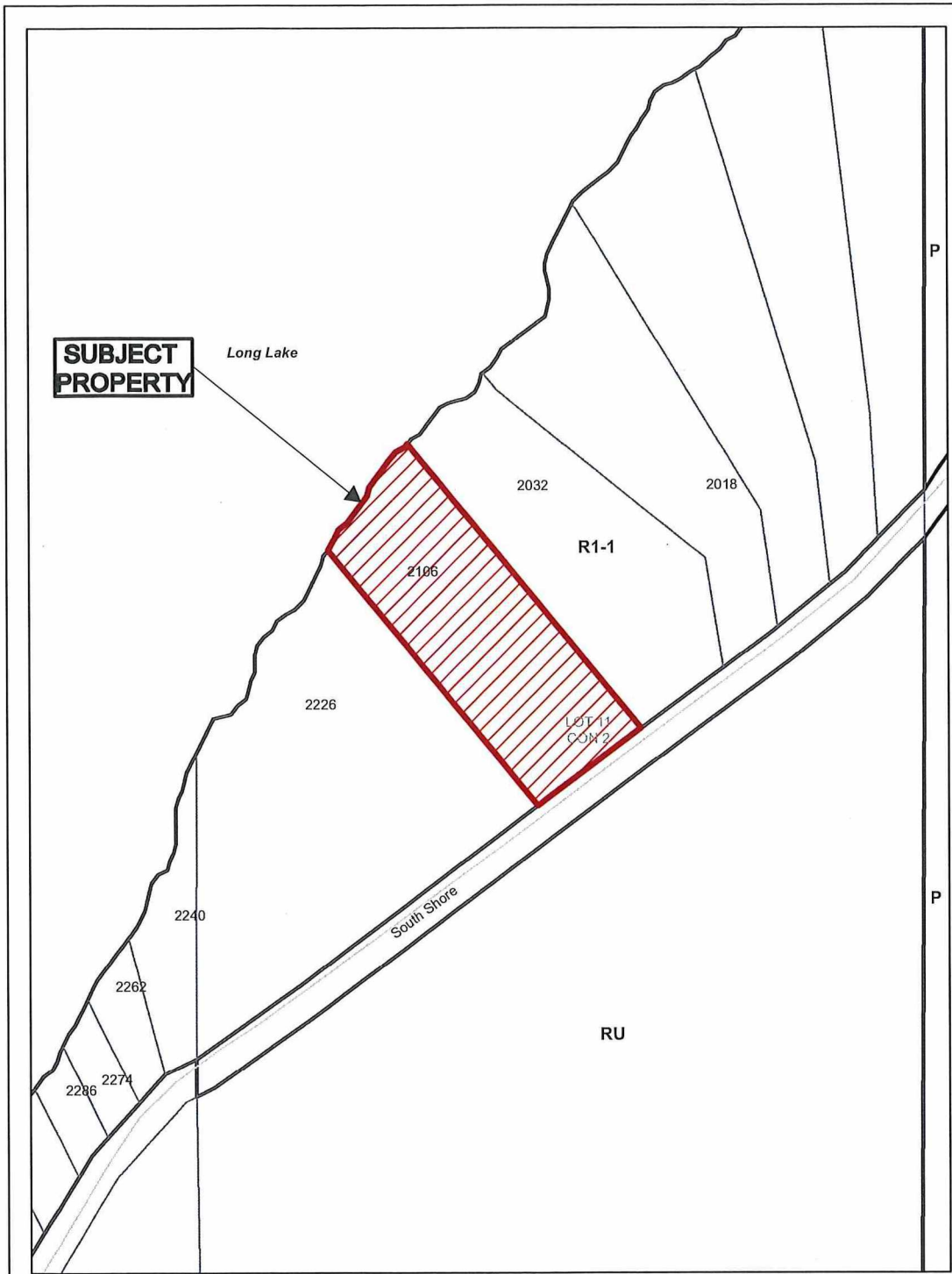
- Concept Plan
- Elevation Plan
- Legal Property Description (GW Report)

Should there be any questions with respect to the above, please do not hesitate to contact the undersigned.

Respectfully submitted,

Handwritten signature of Aaron Ariganello.

Aaron Ariganello
Land Use Planner, BURP
TULLOCH



Application for Minor Variance or Permission

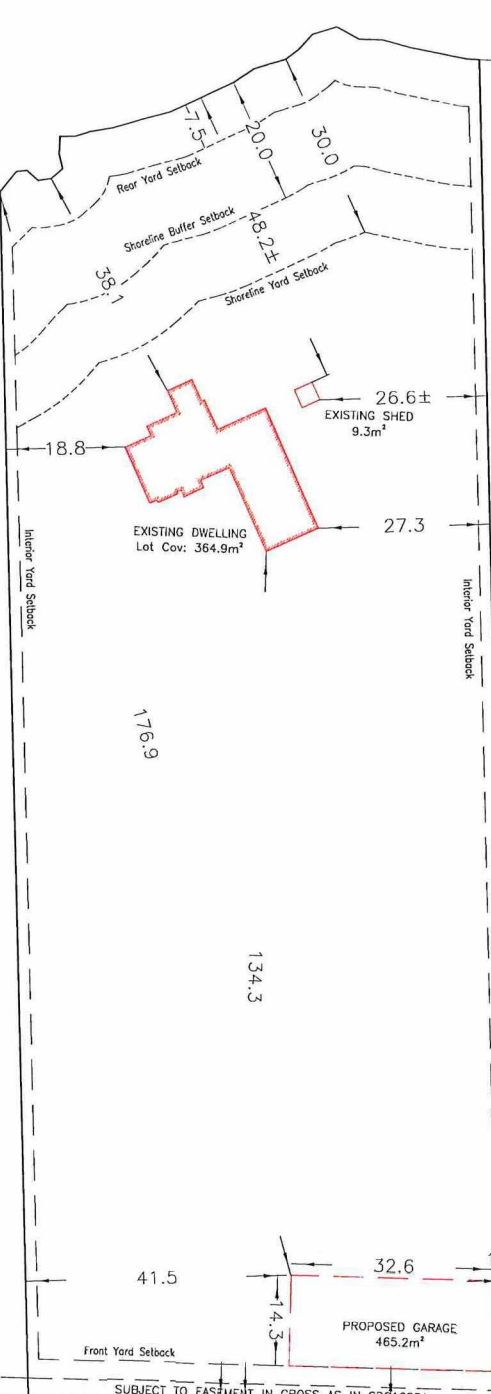
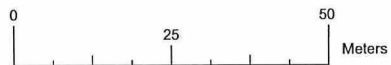
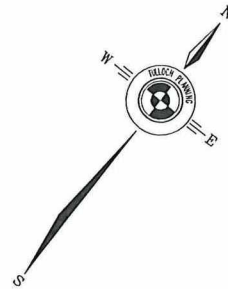


Subject Property being PIN 73472-0263, Location CL12452, being Parts 3 and 4, Plan 53R-19666, Part Lot 11, Concession 2, Township of Broder, 2106 South Shore Road, Sudbury, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00011
Date: 2025 02 21

LONG LAKE



SITE PLAN DATA
ZONING: R1-1

	REQUIRED	PROVIDED
LOT AREA:	MIN 4000m ²	15,861.1m ²
LOT FRONTAGE:	MIN 45m	76.5m
LOT DEPTH:	MIN 30m	208.9m (Irregular)
LOT COVERAGE:	MAX 25%	5.3%
(Unserviced Lot)		
ACCESSORY LOT COV:	MAX 10%	3.0%
BUILDING HEIGHT:	MAX 11m	Dwelling: <11m Garage: 8.9m
SETBACKS		
FRONT YARD:	6m	All
INTERIOR YARD:	1.8m	As
REAR YARD:	7.5m	Shown
	(see Shore S/B)	on
SHORE BUFFER:	20m	Drawing
SHORE S/B:	30m	

GENERAL NOTES:

TRAVELLED ROAD KNOWN AS SOUTHSHORE ROAD
PART 9, PLAN 53R-19666

F:\2024\2-2809 Boundary & Layout - 2106 South Shore Rd\Planning\Drawings\242809 Property Overview.dwg



T: 705-522-6303
sudbury@tulloch.ca

131 FIELDING ROAD
LIVELY, ONTARIO
P3Y 1L7

PROJECT:
**2106 South Shore Road
Part Lot 11, Con 2, Broder
City of Greater Sudbury**

DRAWING:
Site Sketch

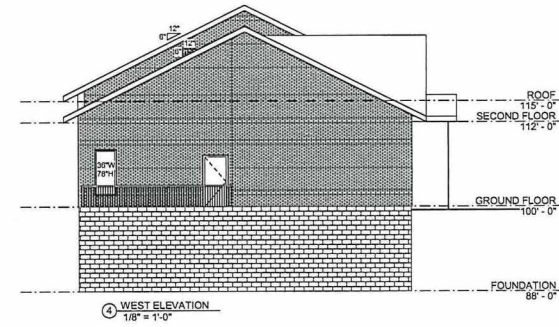
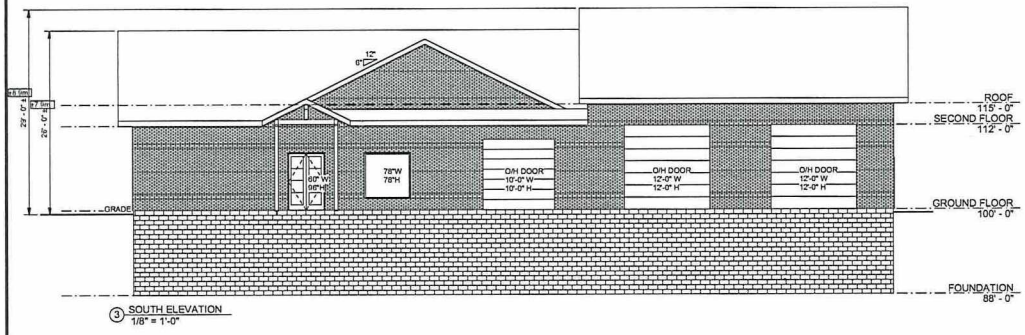
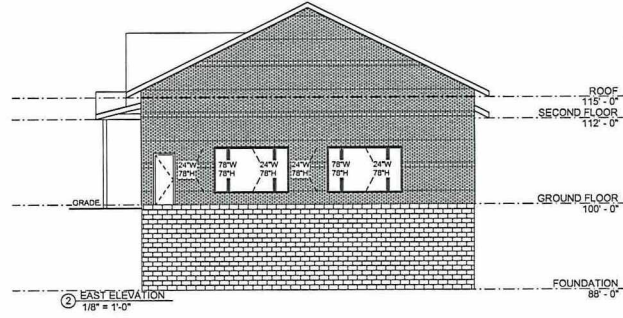
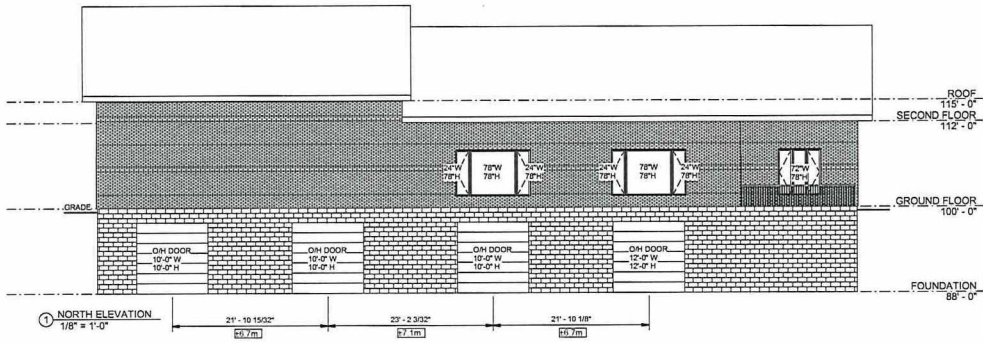
CAUTION
THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM REGISTRY PLANS AND HAVE NOT BEEN CONFIRMED.
THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.
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DRAWN BY: MDJ	CHECKED BY: AA	PROJECT No.: 24-2809
SCALE: 1:750	PLOT SIZE: 11x17	DATE: February 24, 2025

PL-MV-2025-000H
SKETCH 2



885 Regent Street, Suite 1-78
 Sudbury, Ontario
 P3E 0M4



Professional Stamp
 NOT FOR CONSTRUCTION

No.	Description	Date
A	ISSUED FOR CLIENT REVIEW	2025-01-08
B	RE-ISSUED FOR CLIENT REVIEW	2025-01-08

PROPOSED GARAGE

2108 SOUTH SHORE ROAD, SUDBURY, ONTARIO

ELEVATIONS

Project Number	TPR24-1652
Date	2025-01-08
Drawn By	SRB
Checked By	DDG
Sheet Number	2 of 2

SK2

2108 SOUTH SHORE - PROPOSED GARAGE (1/24-1652).dwg

PL-MV-2025-0004
 sketch 3

1/8/2025 11:12:24 AM



885 Regent Street, Suite 1-70
Sudbury, Ontario
K2C 3M4

Professional Stamp
NOT FOR CONSTRUCTION

No.	Description	Date
A	ISSUED FOR CLIENT HW	2024-11-04
B	RE-ISSUED FOR CLIENT HW	2025-01-08

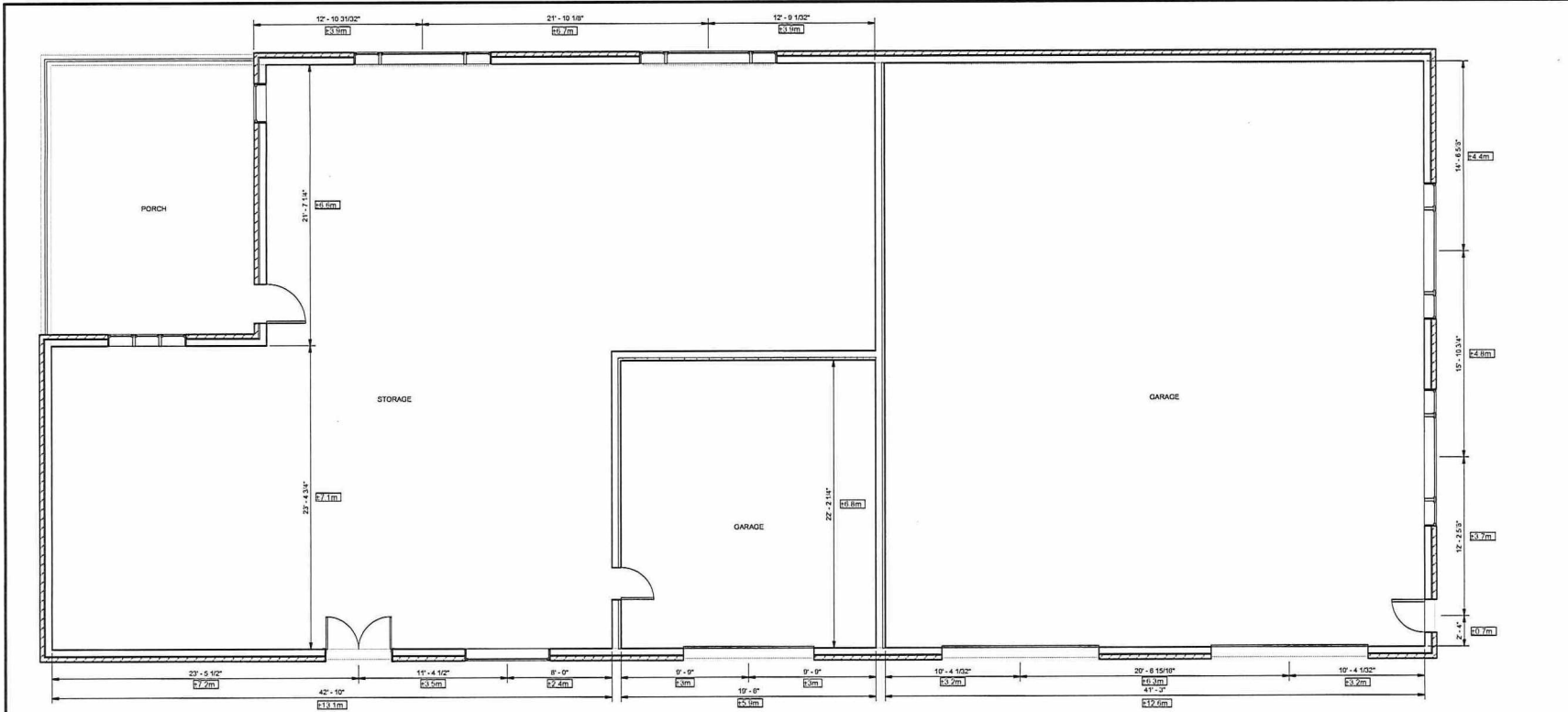
PROPOSED GARAGE

2188 SOUTH SHORE ROAD, SUDBURY, ONTARIO

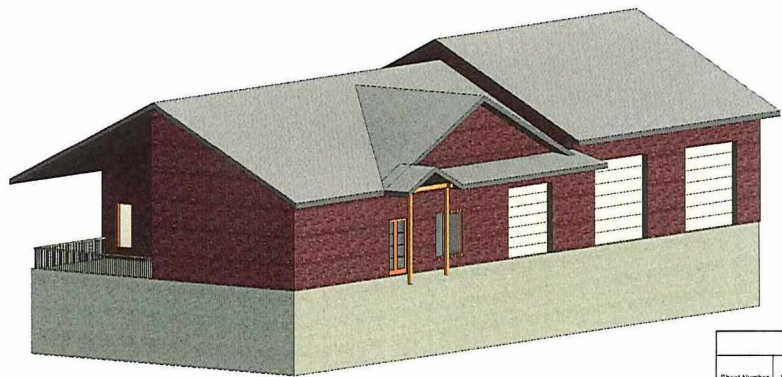
PLANS

Project Number	TPE24-1602
Date	2025-01-08
Drawn By	SRB
Checked By	DDG
Sheet Number	1 of 2

SK1



① GROUND FLOOR PLAN
1/4" = 1'-0"



DRAWING LIST				
Sheet Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Description
SK1	PLANS	0	2024-11-04	HL-ISSUED FOR CLIENT HW
SK2	ILLUSTRATIONS	0	2025-01-08	HL-ISSUED FOR CLIENT HW

PL - MV - 2025 - 00011
Sketch 4