

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

June 25, 2025

PUBLIC HEARINGS

PL-MV-2025-00048 PINE STREET (NO.5) INC.

Ward: 4

PIN(s) 021350219, Lot 35, Plan 3-S, Part Lot 6, Concession 4, Township of McKim, 171 Pine Street, Sudbury, [By-law 2010-100Z, C4(1)]

For relief from Part 5, Section 5.2, subsection 5.2.3.5, Table 5.2, and Section 5.5, Table 5.5 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the legalization of 2 dwelling units within the existing 8-unit multiple dwelling for a total of 10 dwelling units providing, firstly, 9 required parking spaces, where 15 are required, and secondly, no accessible parking spaces, where 1 is required.

**PL-MV-2025-00053 JOHNNA MUINONEN
MIKA MUINONEN**

Ward: 9

PIN(s) 734760180, Parcel 5923 SEC SES, excepting the land covered with the waters of Long Lake within the limit of the said lands, Part Lot 5, Concession 4, Township of Broder, 3751 Sunvalley Avenue, 3751 Sunvalley Avenue, Sudbury, [By-law 2010-100Z, R1-2]

For relief from Part 4, Section 4.2, subsection 4.2.4 (a) and Section 4.41, subsection 4.41.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing, firstly, a max height of 8.23m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, and secondly, a high water mark setback of 25.2m, where no person shall erect any residential building or other accessory building or structure closer than 30.0m to the high water mark of a lake.

PL-MV-2025-00072**SAHIL BHARDWAJ
NEELIMA BHARDWAJ**

Ward: 11

PIN(s) 735780119, Parcel 5878 SEC SES, Part Lot 12, Concession 3, Parts 11-13, Plan 53R-13566, together with easement over Parts 2, 3, 5, 6, 8 & 10, Plan 53R-13566, Township of Neelon, 1827 Torbay Road Road, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.41, subsections 4.41.2 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition on the existing single detached dwelling and to permit two sheds providing, high water mark setbacks of 17.9m for the addition, 13.2m for Garden Shed A as identified on the Site Plan and 7.9m for Garden Shed B as identified on the Site Plan, where accessory buildings or structures shall be no closer than 30.0m to the high water mark and where the only permitted structures within 20.0m of the high water mark are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0490/1990 (DEC 3/90) AND B0242/1991 (JUL 15/91)

PL-MV-2025-00073**JOEL JACQUES
MICHELLE JACQUES**

Ward: 6

PIN(s) 735043158, Part Lot 157, Plan M-1115, Parts 4-6, Plan 53R-21557, Part Lot 5, Concession 2, Township of Hanmer, 4157 Bonaventure Drive, Hanmer, [By-law 2010-100Z, R2-2]

For relief from Part 4, Section 4.2, Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the construction of an addition to the existing uncovered deck 1.7m in height to encroach into the required rear yard providing a 0.8m setback from the rear lot line, where uncovered decks greater than 1.2m in height may encroach 3.6m into the required rear yard but not closer than 3.0m to the rear lot line.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0103/2021 (NOV 01/21)

PL-MV-2025-00074 **BROOKE HOWES**
KEN ROBINEAU

Ward: 11

PIN(s) 735810523, Firstly: Part Lot 105, Plan M-129, being Parts 2 & 3, Plan 53R-20665; Secondly: Lot 106, Plan M-129, being Part 4, Plan 53R-20665, Part Lot 2, Concession 3, Township of McKim, 51 Downing Street, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.3 (a) and Section 4.41, subsections 4.41.2 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with covered porch and detached garage providing, firstly, high water mark setbacks of 13.0m for the single detached dwelling and 18.5m for the covered porch, where accessory buildings or structures shall be no closer than 30.0m to the high water mark and where the only permitted structures within 20.0m of the high water mark are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops, and secondly, a maximum height of 9.1m for the detached garage, where the maximum height of any accessory building on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0032/2016 (May 9/16) AND B0033/2016 (May 9/16)

A reminder... the next scheduled meeting is Wednesday, July 9, 2025.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00048

APPLICATION SUMMARY

File Date: 04/11/2025

Application Type: Minor Variance

Address(es): 171 Pine Street, Sudbury P3C 1X2

Applicant(s): PINE STREET (NO.5) INC.

Owner(s): PINE STREET (NO.5) INC.

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
2022

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
10

What is the number of proposed new dwelling units on the property?

What is the number of proposed new buildings/structures on the property?
0

What is the number of existing buildings/structures on the property?
1

If this application is approved, would any existing dwelling units be legalized?
Yes

How many dwelling units will be legalized?
2

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Downtown

Current Official Plan designation (additional)

Current Zoning By-law designation

C4(1)

Provide a detailed description of what is being proposed

Proposing 2 new units in existing building (to make 10 units total). Additional 2 units would require the addition of 3 new parking spaces, we are proposing to provide 0 new parking spaces

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The existing lot does not allow room for additional parking spaces

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

15.24

Lot Depth of the property

36.58

Lot Area of the property

557.41

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

1933

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Multi-residential dwelling since 2023. Multi-residential w/ office space at time of acquisition

Is the use remaining the same? If no, please provide the proposed new use

Existing use to remain

Existing uses of neighbouring properties

Mixed use commercial (office) and residential units

Has the property ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

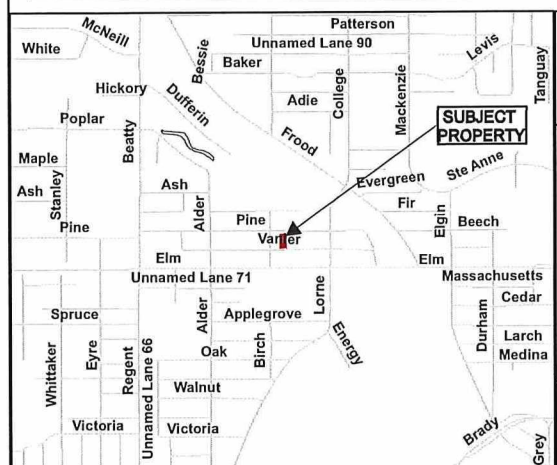
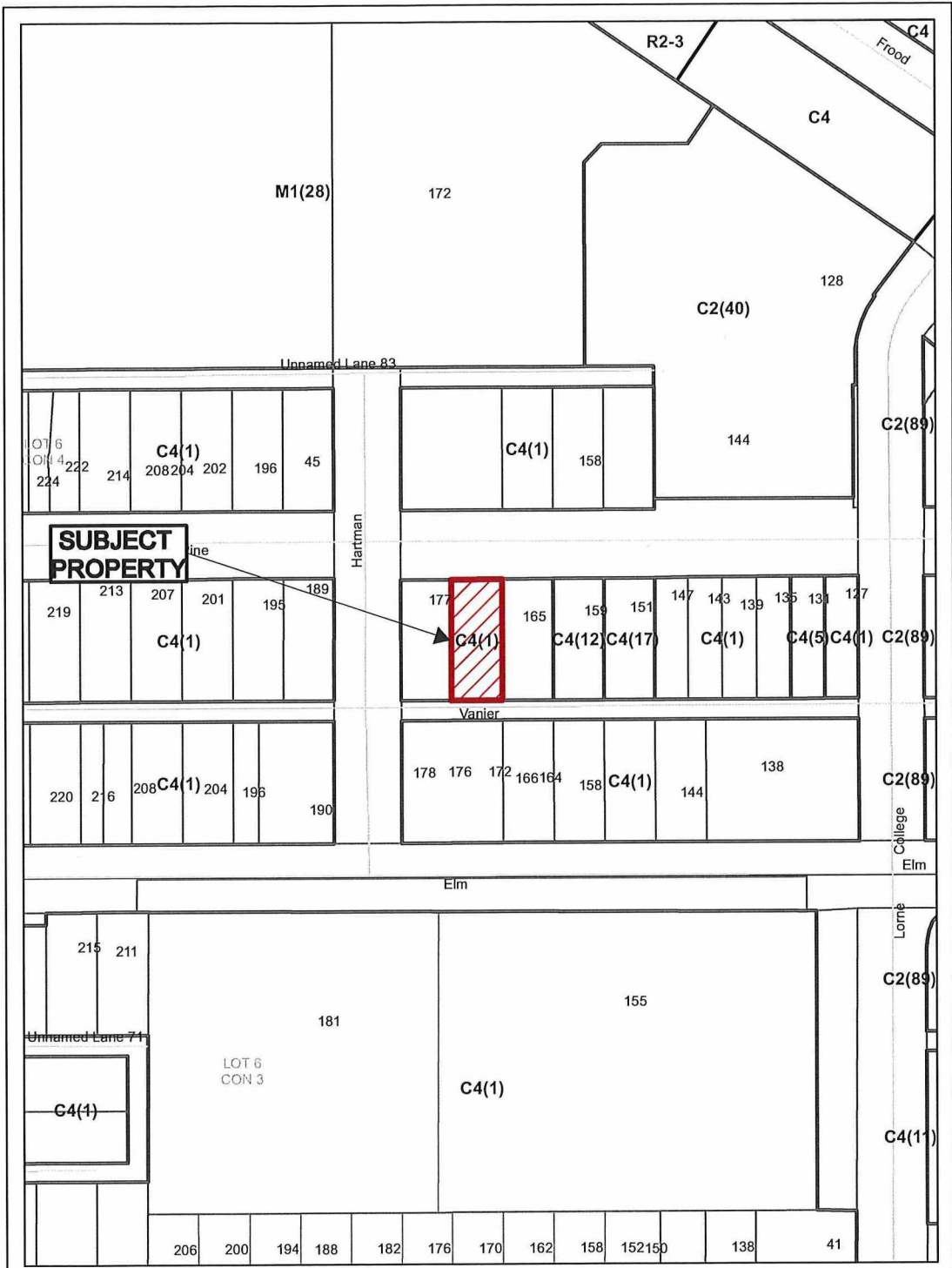
| Building Description | Same As Existing | Proposed Ground Floor Area (m2) | Proposed Gross Floor Area (m2) | Proposed Number of Storeys | Proposed Width (m) | Proposed Length (m) | Proposed Height (m) | Proposed Front Yard Setback (m) | Proposed Rear Yard Setback (m) | Proposed Side Yard Setback (m) | Proposed Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|

EXISTING BUILDING/STRUCTURE

| Building Description | To Be Demolished | Existing Ground Floor Area (m2) | Existing Gross Floor Area (m2) | Existing Number of Storeys | Existing Width (m) | Existing Length (m) | Existing Height (m) | Existing Front Yard Setback (m) | Existing Rear Yard Setback (m) | Existing Side Yard Setback (m) | Existing Side Yard Setback Other (m) |
|-------------------------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| Existing multi-residential building | No | 209.8 | 460 | 2.5 | 10.39 | 22.03 | 10.21 | 3.87 | 10.67 | 4.06 | 0.79 |

ZONING BY-LAW RELIEF

| Variance To | By-law Requirement | Proposed (m) | Difference (m) |
|------------------------------|---|--|----------------|
| 5.5 Parking requirements | 1.5 additional parking spaces/ unit required. Two new units would require 3 new parking spaces - total of 15 required | 0 additional parking spaces to be provided - total of 9 proposed | 6 |
| Table 5.2 Accessible Parking | 1 | 0 | 1 |



**Application for Minor
Variance or Permission**

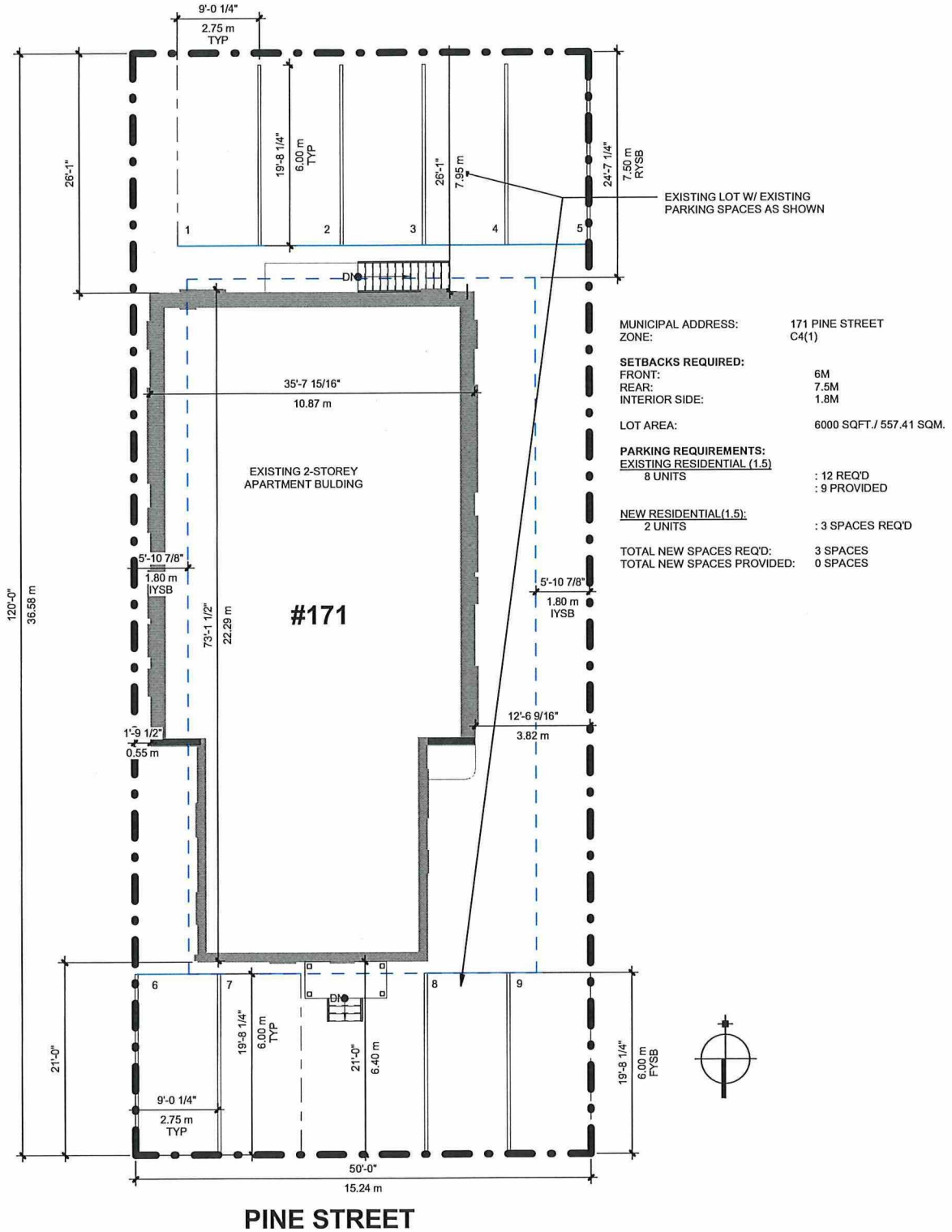
N
↑

Subject Property being PIN 02135-0219,
Lot 35, Plan 3-S,
Part Lot 6, Concession 4,
Township of McKim,
171 Pine Street, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

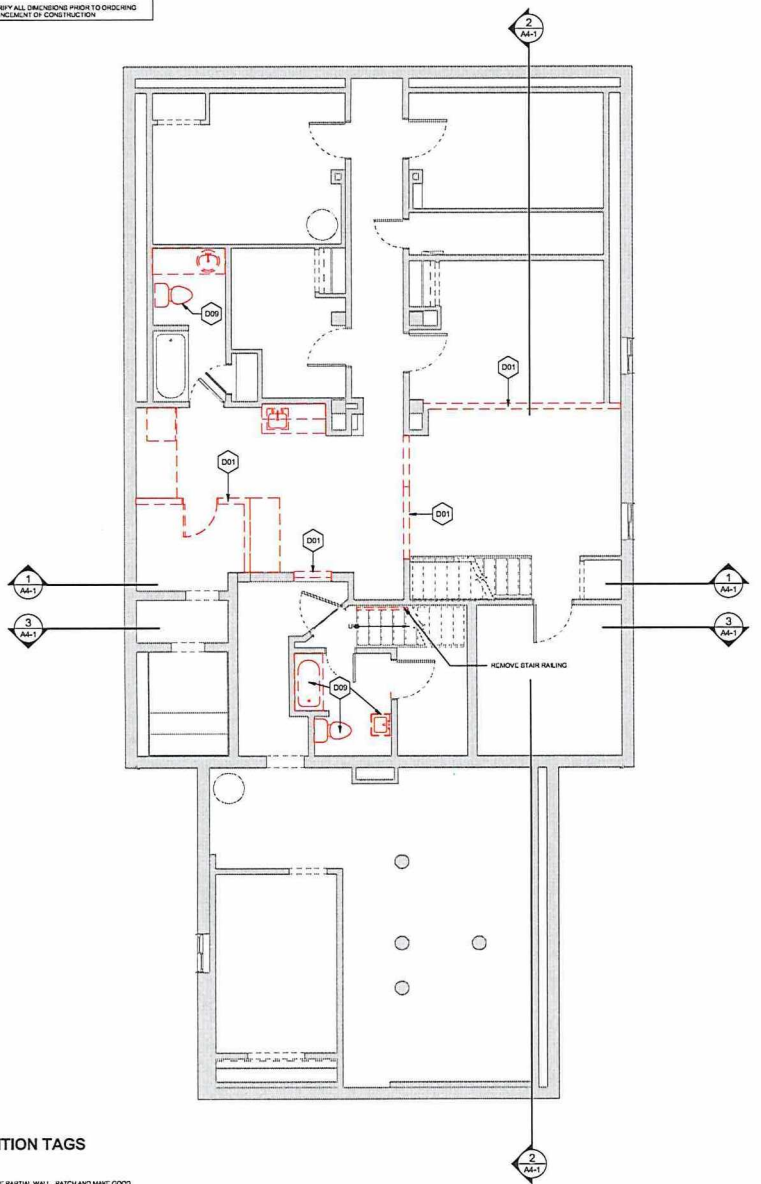
PL-MV-2025-00048
Date: 2025 06 03

VANIER LANE



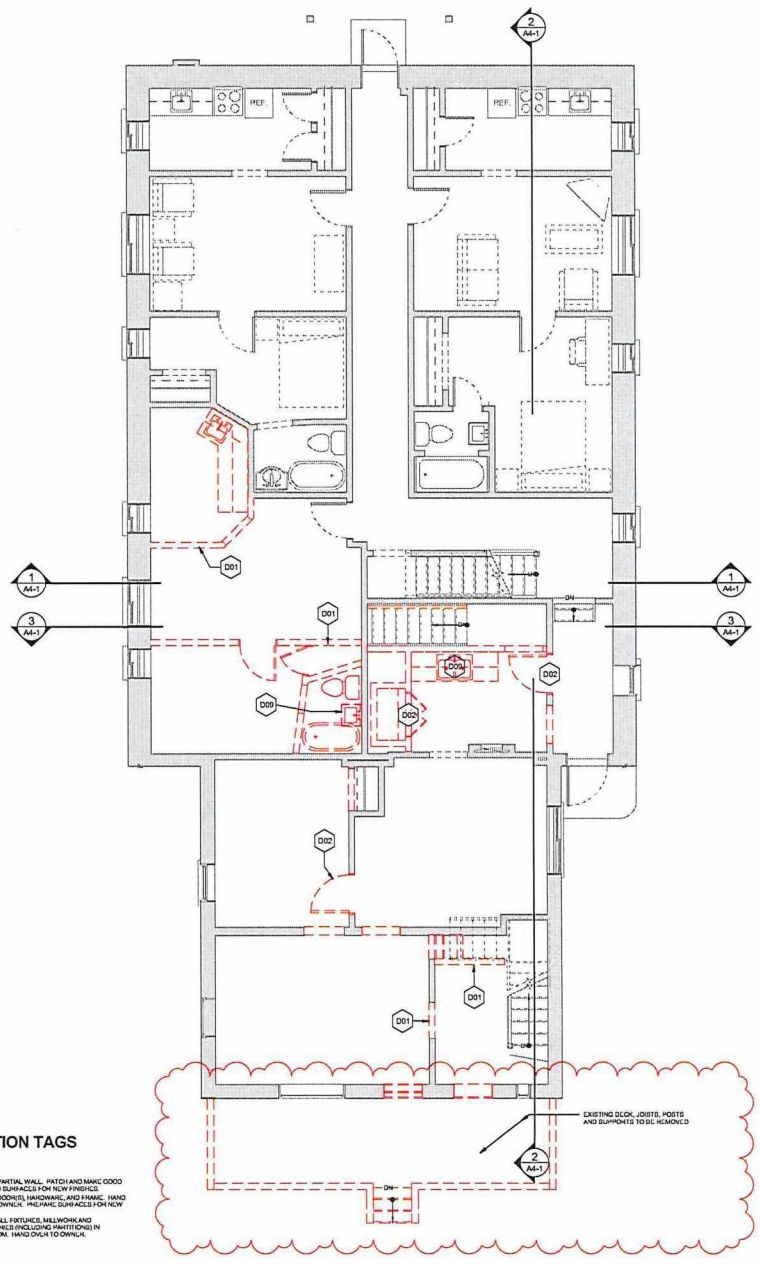
PL-MV-2025-00048
 sketch 2

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO DEMOLISHING
MATERIALS & COMMENCEMENT OF CONSTRUCTION.



- DEMOLITION TAGS**
- No.
- D01 REMOVE PARTIAL WALL, PATCH AND MAKE GOOD AFFECTED SURFACES FOR NEW FINISHES.
 - D02 REMOVE DOORS, HARDWARE, AND FRAME, HAND OVER TO OWNER. FINISH SURFACES FOR NEW FINISH.
 - D03 REMOVE ALL FIXTURES, MILLWORK AND ACCESSORIES INCLUDING PARTITIONS IN WASHROOM. HAND OVER TO OWNER.

BASEMENT FLOOR - DEMOLITION PLAN
1/4" = 1'-0"



- DEMOLITION TAGS**
- No.
- D01 REMOVE PARTIAL WALL, PATCH AND MAKE GOOD AFFECTED SURFACES FOR NEW FINISHES.
 - D02 REMOVE DOORS, HARDWARE, AND FRAME, HAND OVER TO OWNER. FINISH SURFACES FOR NEW FINISH.
 - D03 REMOVE ALL FIXTURES, MILLWORK AND ACCESSORIES INCLUDING PARTITIONS IN WASHROOM. HAND OVER TO OWNER.

GROUND FLOOR - DEMOLITION PLAN
1/4" = 1'-0"

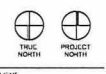


GENERAL NOTES

1. This drawing is an indication of general conditions and is not intended to be used for construction purposes. It is the contractor's responsibility to verify all dimensions and conditions prior to construction.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The contractor shall be responsible for protecting all existing structures and utilities that are not to be demolished.
4. The contractor shall be responsible for maintaining access to all adjacent properties and public areas.
5. The contractor shall be responsible for maintaining all safety measures and signage throughout the project.
6. The contractor shall be responsible for maintaining all records and documentation of the project.

PROJECT STATUS
REVISIONS FOR REVIEW

ISSUED DATE:
MAY 2, 2025



CLIENT:
GREYHILL PARTNERS

PROJECT:
171 PINE ST.

171 Pine St., Solon, OH

PROJECT NUMBER:
Project No. 2024-049

DRAWN BY / CHECKED BY:
MAS / DS

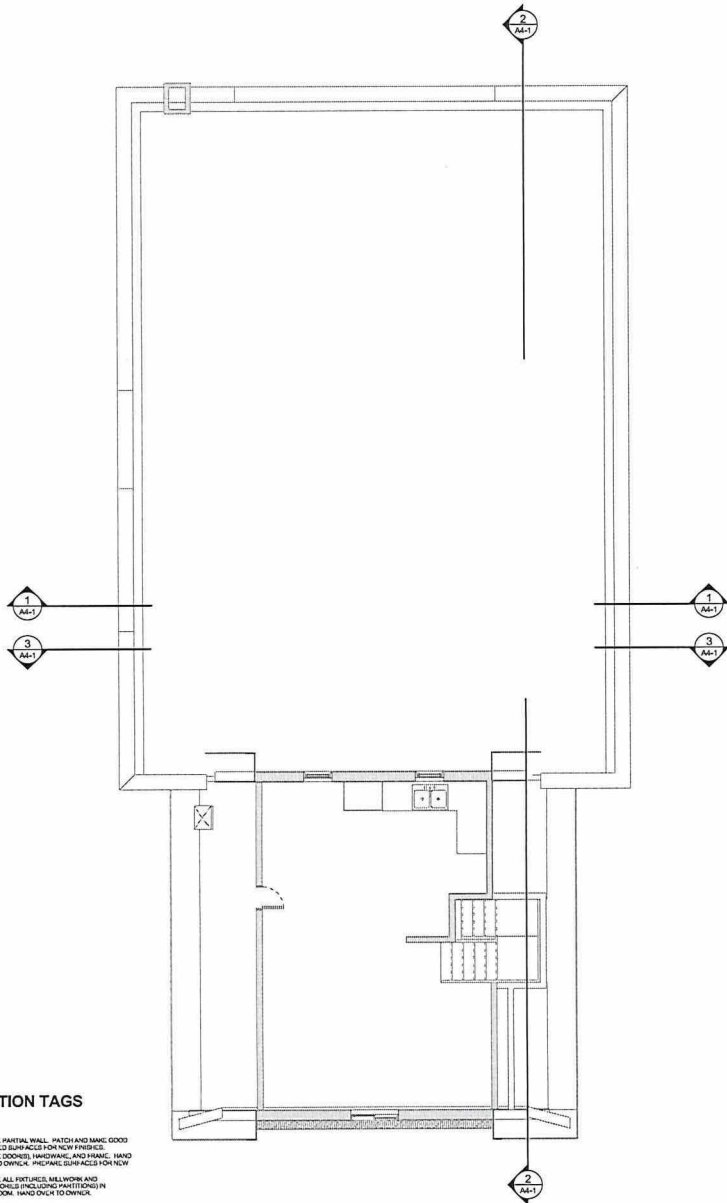
SCALE:
1/4" = 1'-0"

DATE:
DEMOLITION PLANS

SHEET NUMBER:
A1-1

AL-MV-2025-00048
Sketch 4

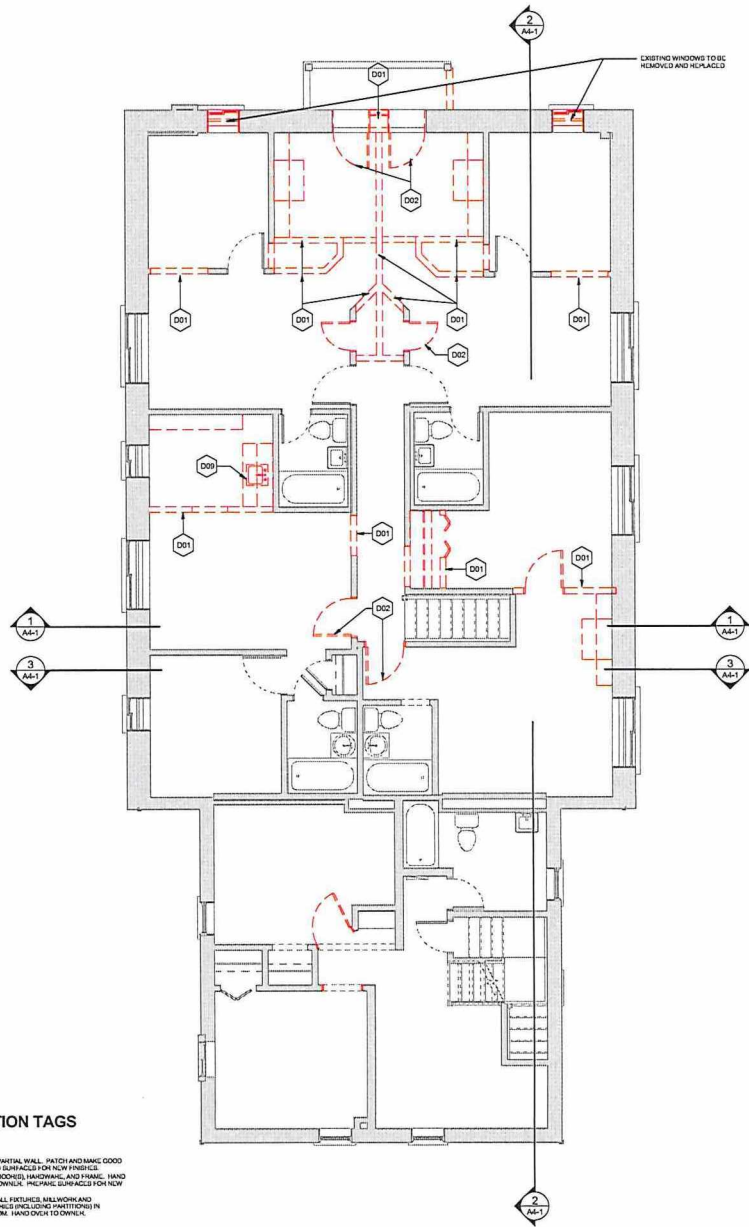
NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS & COMMENCEMENT OF CONSTRUCTION



DEMOLITION TAGS

- No.
- D01 REMOVE PARTIAL WALL, PATCH AND MAKE GOOD AFFECTED SURFACES FOR NEW FINISHES.
 - D02 REMOVE DOORS, WINDOWS, AND FRAMES. HAND OVER TO OWNER. PREPARE SURFACES FOR NEW FINISH.
 - D03 REMOVE ALL FIXTURES, MILLWORK AND ACCESSORIES (INCLUDING PARTITIONS) IN WASHROOM. HAND OVER TO OWNER.

LOFT FLOOR - DEMOLITION PLAN
1/4" = 1'-0"



DEMOLITION TAGS

- No.
- D01 REMOVE PARTIAL WALL, PATCH AND MAKE GOOD AFFECTED SURFACES FOR NEW FINISHES.
 - D02 REMOVE DOORS, WINDOWS, AND FRAMES. HAND OVER TO OWNER. PREPARE SURFACES FOR NEW FINISH.
 - D03 REMOVE ALL FIXTURES, MILLWORK AND ACCESSORIES (INCLUDING PARTITIONS) IN WASHROOM. HAND OVER TO OWNER.

SECOND FLOOR - DEMOLITION PLAN
1/4" = 1'-0"



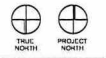
CENTRAL ARCHITECTURE
171 PINE ST., SUITE 200
ANN ARBOR, MI 48106

- GENERAL NOTES
1. This drawing is an indication of general conditions and is not intended to be a contract document. It is subject to the contract documents, including the specifications, which shall govern in the event of any conflict.
 2. All dimensions are to be verified on site by the contractor. The contractor shall be responsible for any discrepancies.
 3. The contractor shall verify all dimensions and conditions on site prior to construction. The contractor shall be responsible for any discrepancies.
 4. The contractor shall verify all dimensions and conditions on site prior to construction. The contractor shall be responsible for any discrepancies.
 5. The drawing is not to be used.

PROJECT STATUS
REVISIONS FOR REVIEW

ISSUED DATE
MAY 2, 2025

REVISIONS



CLIENT
GREYHILL PARTNERS

PROJECT
171 PINE ST.

171 Pine St., East Lansing, MI

PROJECT NUMBER
Project No. 2024-049

DRAWN BY / CHECKED BY
MMS / DSG

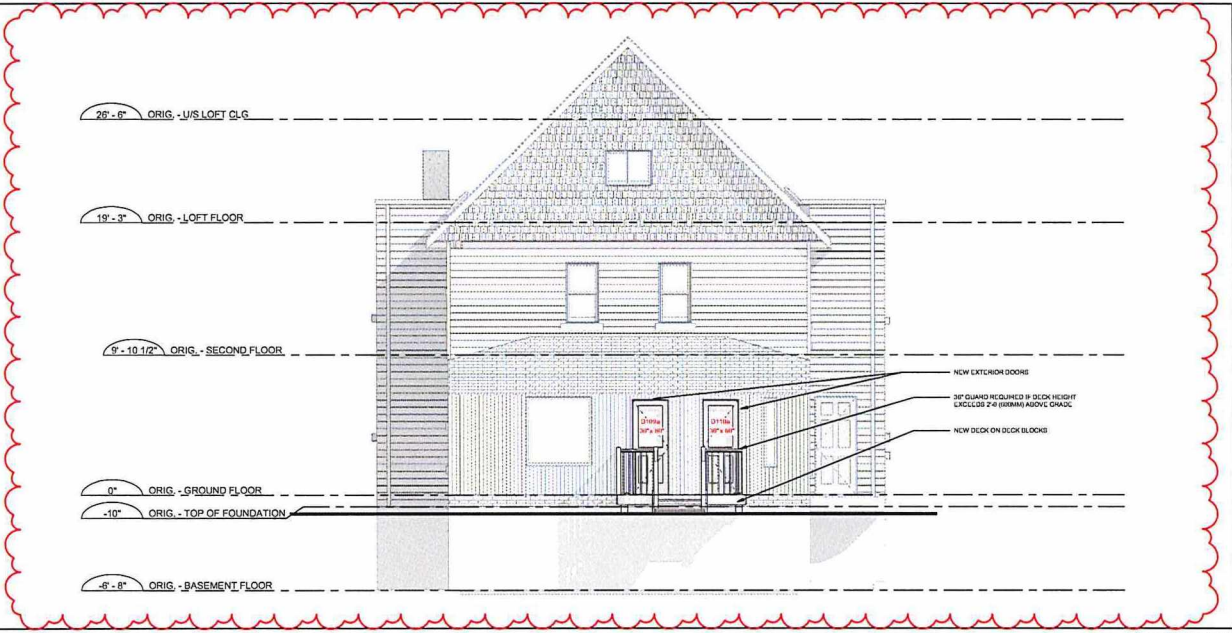
SCALE
1/4" = 1'-0"

SHEET NUMBER
DEMOLITION PLANS

SHEET NUMBER
A1-2

PL-MN-2025-00048
Sketch 5

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS & COMMENCEMENT OF CONSTRUCTION

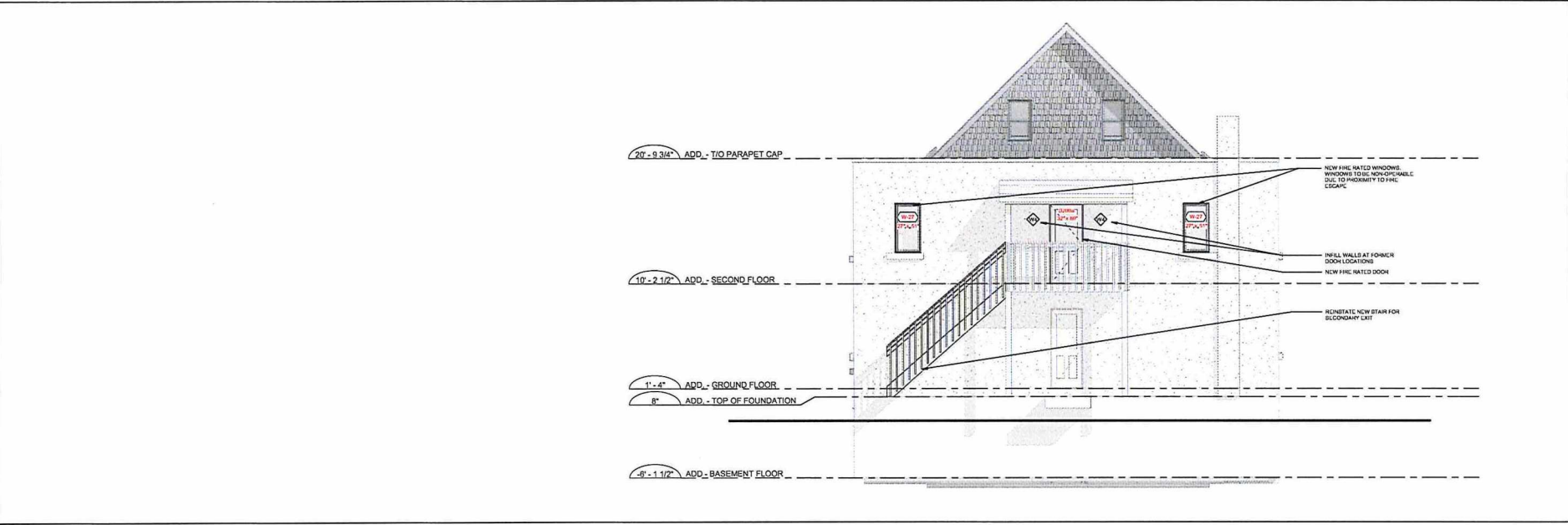


FRONT ELEVATION
1/4" = 1'-0"



CENTRAL ARCHITECTURE
171 PINE ST., SUITE 101
PINE BLUFF, SC 29122

- CLIENT: GREYHILL PARTNERS
PROJECT: 171 PINE ST., SUITE 101, PINE BLUFF, SC 29122
- REVISIONS FOR REVIEW
- | NO. | DATE | DESCRIPTION |
|-----|-------------|----------------------|
| 1 | MAY 2, 2025 | REVISIONS FOR REVIEW |



REAR ELEVATION
1/4" = 1'-0"

PROJECT STATUS
REVISIONS FOR REVIEW

DESIGN DATE: MAY 2, 2025

REVISIONS

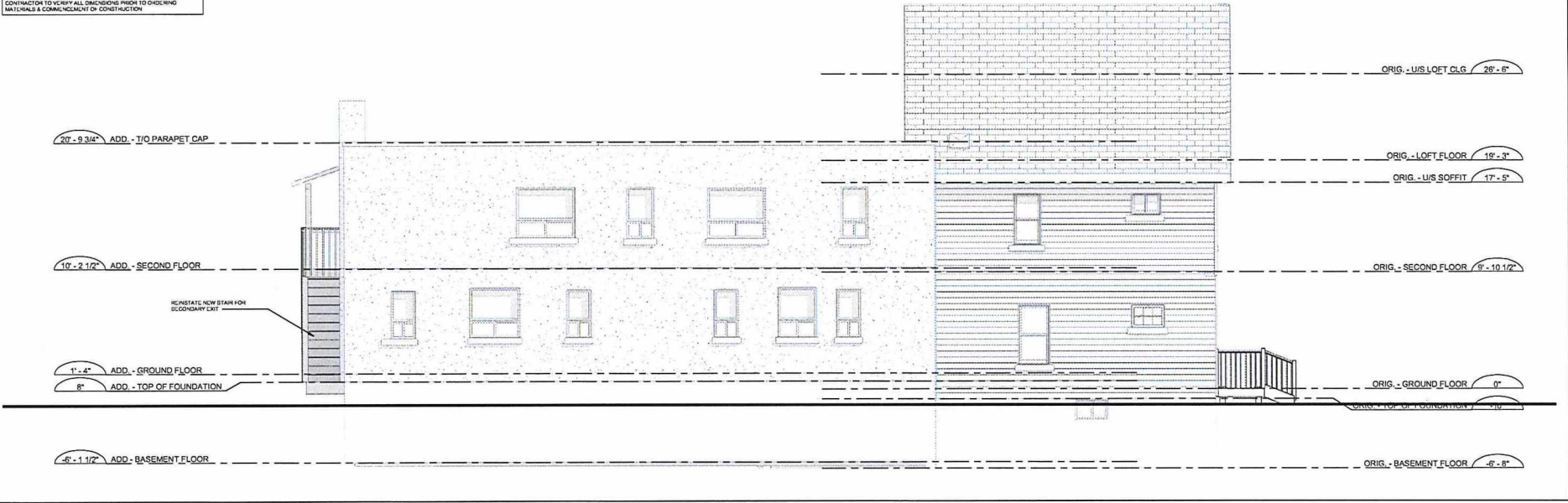
CLIENT: GREYHILL PARTNERS
PROJECT: 171 PINE ST., SUITE 101, PINE BLUFF, SC 29122

PROJECT NUMBER: 2024-049
DRAWN BY / CHECKED BY: MMS / DSG
SCALE: 1/4" = 1'-0"
CONV. ORG: ELEVATIONS

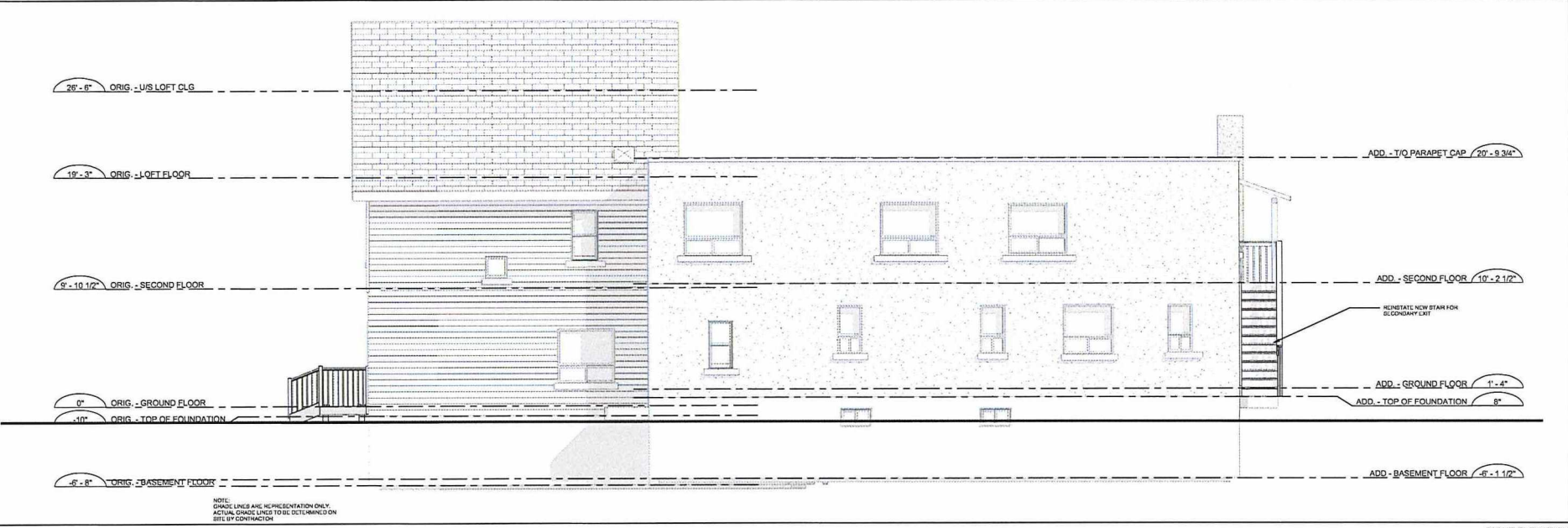
SHEET NUMBER: A3-1

PL-MV-2025-00048
Sketch 8

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS & COMMENCEMENT OF CONSTRUCTION.



LEFT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

NOTE:
DIMENSION LINES ARE REPRESENTATION ONLY.
ACTUAL DIMENSION LINES TO BE DETERMINED ON
SITE BY CONTRACTOR.



CENTRAL ARCHITECTURE
171 PINE ST. SUITE 2024
ANN ARBOR, MI 48106

GENERAL NOTES

1. This drawing is an architectural drawing, it is not a contract. It is subject to change without notice. The contractor shall be responsible for verifying all dimensions and conditions on site prior to construction.
2. All dimensions are to the center line, unless otherwise noted.
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
4. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
5. This drawing is not to be used for any other purpose without the written consent of the architect.

PROJECT STATUS

REVISIONS FOR REVIEW

DATE: MAY 2, 2025

REVISIONS:

CLIENT

GREYHILL PARTNERS

PROJECT

171 PINE ST.

171 Pine St., Ann Arbor, MI

PROJECT NUMBER

Project No. 2024-049

DRAWN BY

MAD / JSD

SCALE

1/4" = 1'-0"

CONTENTS

ELEVATIONS

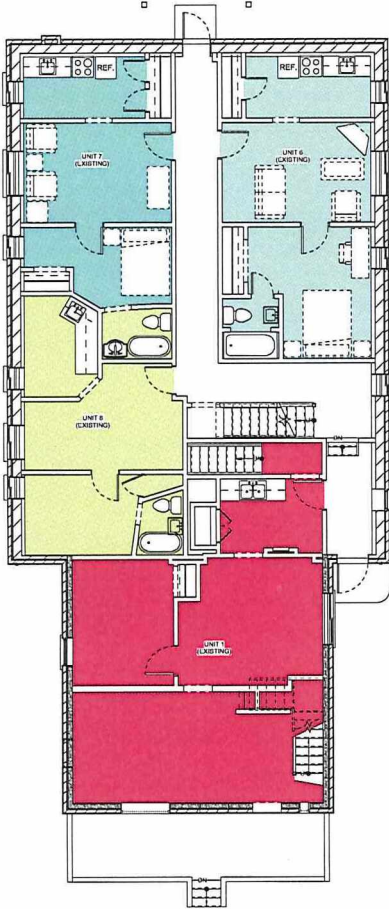
SHEET NUMBER

A3-2

PL-MY-2025-00048
Sketch 9

EXISTING UNITS

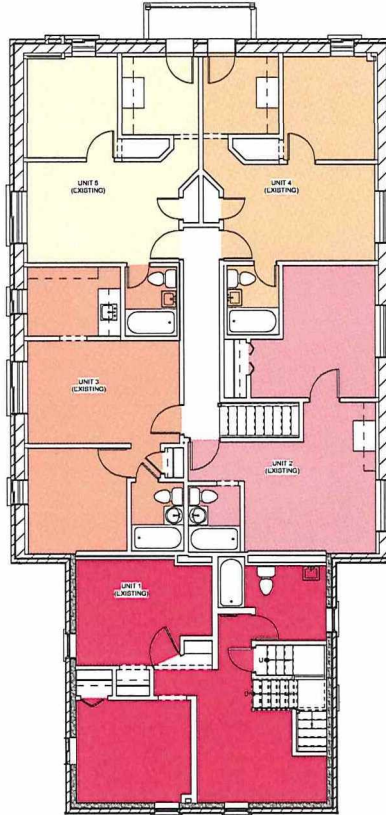
- UNIT 1 (EXISTING)
- UNIT 6 (EXISTING)
- UNIT 7 (EXISTING)
- UNIT 8 (EXISTING)



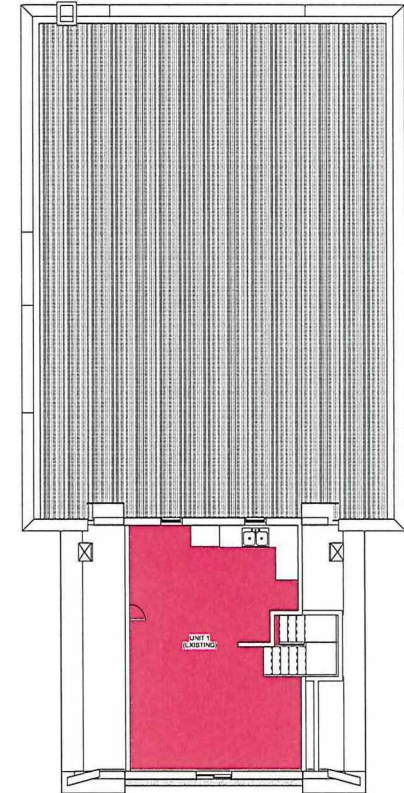
GROUND FLOOR - EXISTING PLAN
3/16" = 1'-0"

EXISTING UNITS

- UNIT 1 (EXISTING)
- UNIT 2 (EXISTING)
- UNIT 3 (EXISTING)
- UNIT 4 (EXISTING)
- UNIT 5 (EXISTING)



SECOND FLOOR - EXISTING PLAN
3/16" = 1'-0"



LOFT - EXISTING PLAN
3/16" = 1'-0"



CENTRAL ARCHITECTURE
PROJECTS, INC.
171 PINE ST., SUITE 100
COLUMBUS, OH 43215

- GENERAL NOTES
1. This drawing is an illustration of existing conditions and is not intended to be used for construction. It is provided for informational purposes only. The contractor shall verify all existing conditions and dimensions prior to construction.
 2. All dimensions shall be taken from the centerline of walls unless otherwise noted.
 3. The contractor shall verify all existing conditions and dimensions prior to construction and shall be responsible for any discrepancies.
 4. The contractor shall verify all existing conditions and dimensions prior to construction and shall be responsible for any discrepancies.
 5. This drawing is not to be scaled.

PROJECT STATUS
FOR INFORMATION

DESIGNED DATE
MAY 6, 2025

REVISIONS

CLIENT
GREYHILL PARTNERS

PROJECT
171 PINE ST.

171 Pine St., Columbus, OH

PROJECT NUMBER
Project No. 2024-048

DRAWN BY / CHECKED BY
MAB / JSG

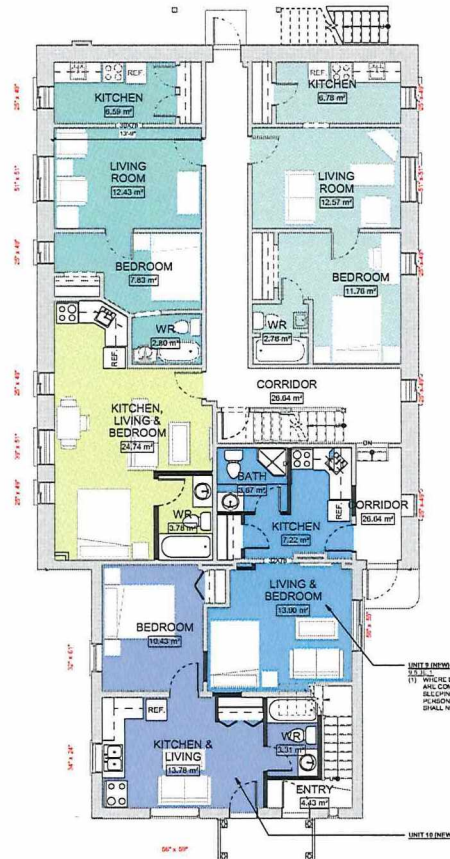
SCALE
3/16" = 1'-0"

CONTENTS
EXISTING UNIT LAYOUTS

SHEET NUMBER
A7-1

PL-MV-2025-00048
Sketch #1

- EXISTING UNITS
- UNIT 6 (EXISTING)
 - UNIT 7 (EXISTING)
 - UNIT 8 (EXISTING)
 - UNIT 9 (NEW)
 - UNIT 10 (NEW)

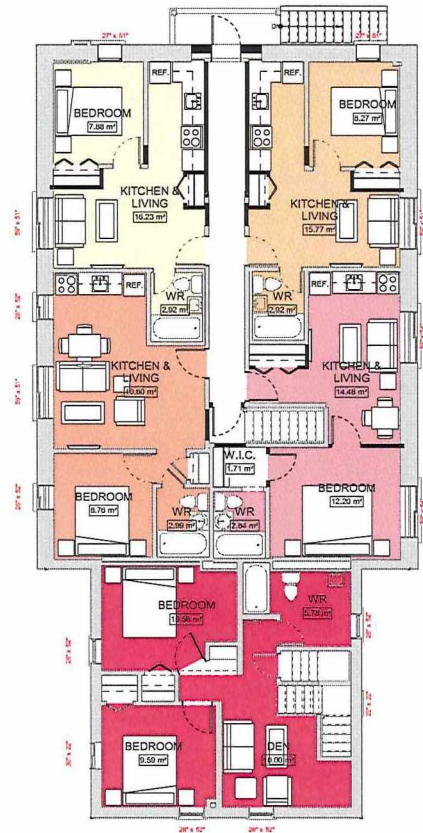


UNIT 9 (NEW)
13.30 sq ft

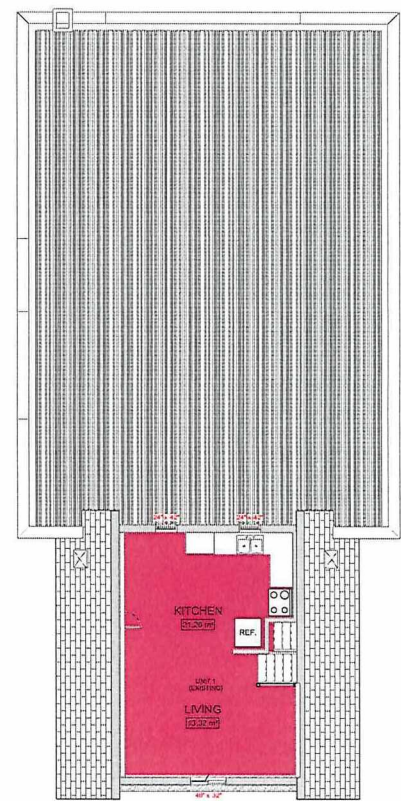
(1) WHERE LIVING, DINING, BEDROOM AND KITCHEN SPACES ARE COMBINED IN A DWELLING UNIT THAT CONTAINS SLEEPING ACCOMMODATION FOR NOT MORE THAN TWO PERSONS, THE AREA OF THE COMBINED SPACES SHALL NOT BE LESS THAN 13.5 SQ FT

GROUND FLOOR PLAN
3/16" = 1'-0"

- EXISTING UNITS
- UNIT 1 (EXISTING)
 - UNIT 2 (EXISTING)
 - UNIT 3 (EXISTING)
 - UNIT 4 (EXISTING)
 - UNIT 5 (EXISTING)



SECOND FLOOR PLAN
3/16" = 1'-0"



LOFT PLAN
3/16" = 1'-0"

CIA
CONSULTING ARCHITECTURE
INCORPORATED
171 PINE ST., SUITE 200
COLUMBUS, OH 43201

CLIENT:
GREYHILL PARTNERS

PROJECT:
171 PINE ST.

PROJECT NUMBER:
Project No. 2024-049

DESIGNED BY / CHECKED BY:
MAS / JGG

SCALE:
3/16" = 1'-0"

DATE:
MAY 6, 2025

REVISIONS:

GENERAL NOTES:

- The project is an extension of existing building to provide additional units.
- All proposed work shall be in accordance with the applicable building codes and regulations of the City of Columbus, Ohio.
- The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Columbus, Ohio.
- These drawings are for informational purposes only and are not intended to be used for construction without the approval of the architect.
- The architect shall be responsible for providing all necessary information and documentation to the contractor.
- The drawings shall be in accordance with the applicable building codes and regulations of the City of Columbus, Ohio.

PROJECT STATUS:
FOR INFORMATION

FIELD NUMBER:
A7-2

PL-MV-2025-00048
Sketch 12



PL-MV-2025-00048
Sketch 18



PL-MV-2025-00048
Sketch 14



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00053

APPLICATION SUMMARY

File Date: 04/15/2025

Application Type: Minor Variance

Address(es): 3751 Sunvalley Avenue, 3751 Sunvalley Avenue, Sudbury P3G 1K3

Applicant(s): MARK ELLIOTT ASSOCIATES

Owner(s): JOHNNA MUINONEN AND MIKA MUINONEN

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

May 6 2016

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

5

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area II

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-2

Provide a detailed description of what is being proposed

a single story garage workshop with walkout

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

see attached letter

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

60.96

Lot Depth of the property

128

Lot Area of the property

9097

Total width of the public road giving access to the property

7.3

List all buildings and structures on the property and their respective date of construction

House -late 1970s

Old Sleep camp -1950s

Old Sauna -1980s

New Sauna -2024

Gazebo -1990s

Shed -2000s

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential -owner living there since 2016

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

park to south and vacant land to east

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

| Building Description | Same As Existing | Proposed Ground Floor Area (m2) | Proposed Gross Floor Area (m2) | Proposed Number of Storeys | Proposed Width (m) | Proposed Length (m) | Proposed Height (m) | Proposed Front Yard Setback (m) | Proposed Rear Yard Setback (m) | Proposed Side Yard Setback (m) | Proposed Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| Garage workshop | Yes | 89 | 178 | 2 | 9.14 | 9.75 | 8.23 | 25.2 | 52.4 | 21.7 | 65.4 |

EXISTING BUILDING/STRUCTURE

| Building Description | To Be Demolished | Existing Ground Floor Area (m2) | Existing Gross Floor Area (m2) | Existing Number of Storeys | Existing Width (m) | Existing Length (m) | Existing Height (m) | Existing Front Yard Setback (m) | Existing Rear Yard Setback (m) | Existing Side Yard Setback (m) | Existing Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| House | No | 295 | 590 | 2 | 9.75 | 28 | 7.9 | 16.8 | 37.4 | 46 | 26.8 |
| Old sauna | No | 20.8 | 20.8 | 1 | 4.2 | 4.8 | 4 | 6 | 43.5 | 57.8 | 6.2 |
| Sauna | No | 10 | 10 | 1 | 2.7 | 4.2 | 4 | 3 | 85.4 | 90.5 | 48.7 |
| shed | No | 17 | 17 | 1 | 4.2 | 4.8 | 3 | 62.6 | 41.5 | 1.4 | 34.8 |
| gazebo | No | 20 | 20 | 1 | 4.2 | 4.8 | 3 | 13.1 | 71.6 | 78 | 40.2 |

ZONING BY-LAW RELIEF

| Variance To | By-law Requirement | Proposed (m) | Difference (m) |
|----------------------------------|--------------------|--------------|----------------|
| HWM setback for proposed garage | 30m setback | 25.2 | 4.8 |
| Section 4.2.4 a) - Garage Height | 5.0m | 8.23m | 3.23m |

3751 Sunvalley Minor Variance Rationale.

April 2025

Background

The proposed single-story garage/workshop with walk out is being proposed in the approximate location of an old sleep camp which has been on the property since approximately the 1950s. This camp has been neglected by all previous owners and was floating on make-shift footings. The substructure recently failed and the sleep camp was removed in 2024.

The proposed garage/workshop is being located on a part of the property which has previously been extensively landscaped and is overgrown. An artificial grass putting green existed where the services joining the proposed garage/workshop and existing house are required. No additional clearing of vegetation is required to build in this location. The site is approximately 27.7 m above Long Lake so there is no issues with floor plain. The existing field bed is 44.9 m away and the Health Unit has approved a reno application for this project . The existing field bed has capacity for the upgrades.

To the west of the property is a park and to the east is a vacant piece of land which is extremely hard to develop so currently there are no immediate neighbors abutting the property.



Old 1950s sleep camp



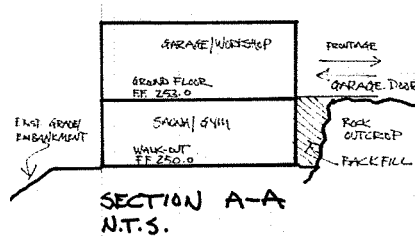
An artificial grass putting green at north side of house existed where the site services will need to connect house to garage.

PL-MV-2025-00053

Topographic Issues

The proposed garage /workshop location (approximately in same footprint as the old sleep camp) is essential because there is bedrock at the surface of a rock outcrop to the east and south. This rock outcrop is prohibitive in running water, power and sewage connection back to the house .

There is an approximately 3 m change in grade from a rock embankment to the walk out level of the proposed garage/ workshop. This elevation change allows a walk out level design to that minimizes the footprint by stacking the main level over a walk out level.



Why The Variance is Minor

1. Only a small corner of the proposed garage encroaches the 30 m set back by 4.8m.
2. The location of the proposed garage is where the old sleep camp used to exist.
3. The location of the garage is limited by rock outcrop .
4. The proposed garage covers less than .05% of the total 30 metre set back area (27.12 sm. of 5585 sm.)
5. Existing and proposed structures on site cover approximately 5 % of the total lot . 50% is allowable . Most of property remains in a natural state therefore the intent of the bylaw is upheld.

PL-MV-2025-00053

Provide the reasons why the proposal cannot comply with the provisions of the Zoning Bylaw .

1) Non-Compliance with the 30m set back from the high water mark.

There is no explanation for the 30m setback in Zoning bylaw 2010-100Z Section 4.41 Waterbodies, Waterfront, Setbacks and Buffers . However, it is reasonable to assume the rationale is similar to the 20 m buffer.

The City of Greater Sudbury's web site states the following:

Why Maintain a Shoreline Buffer?

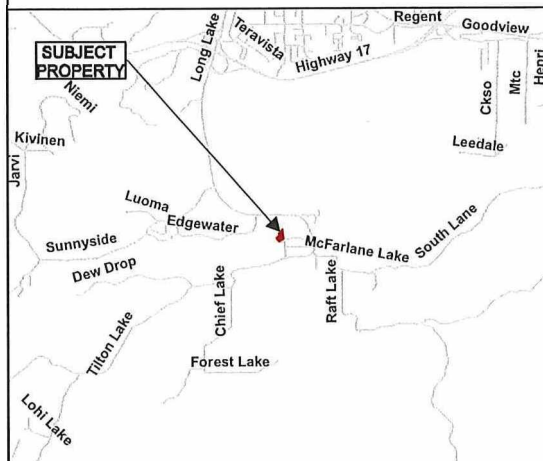
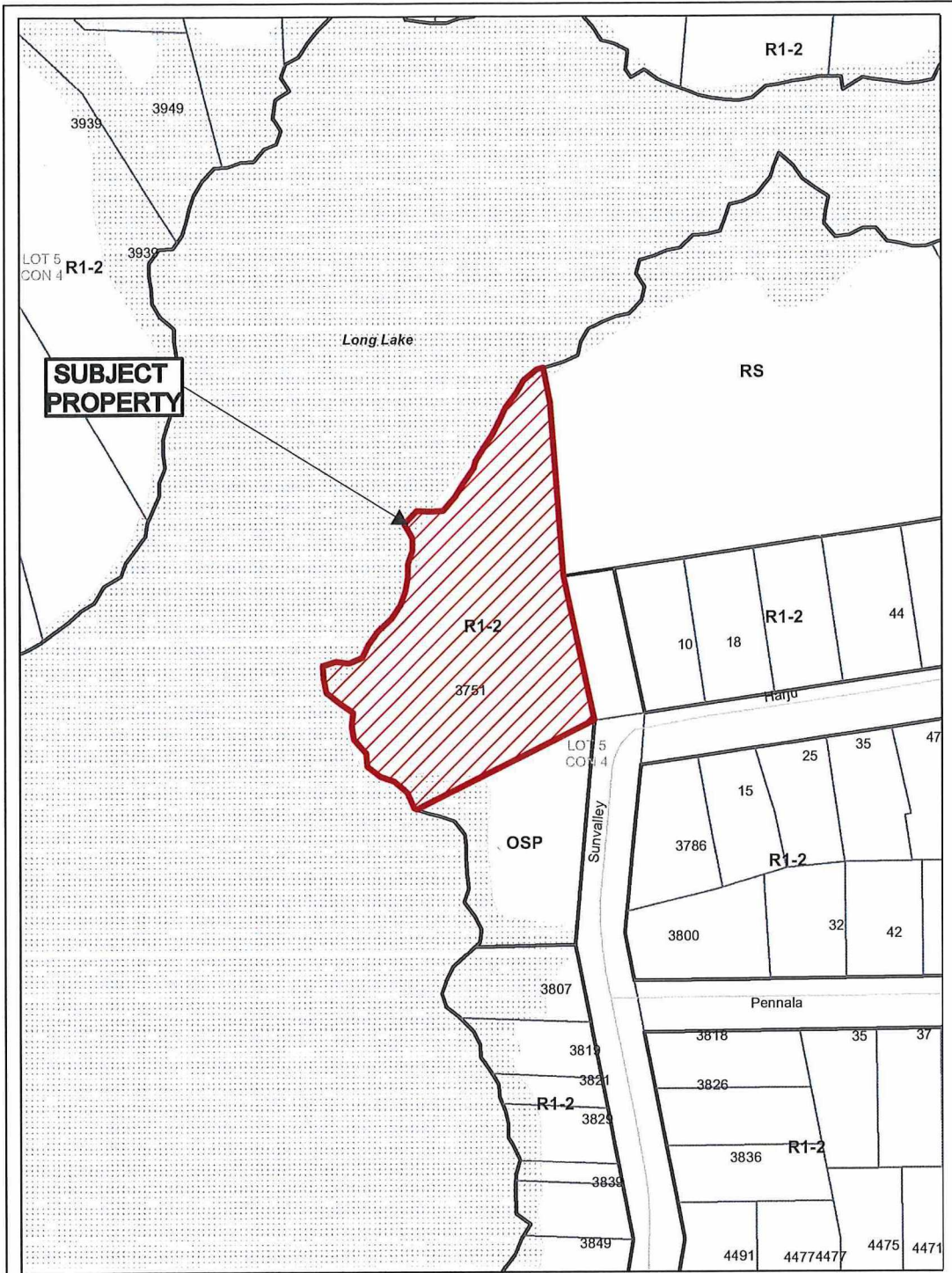
A shoreline buffer can help filter sediment and other pollutants (such as fertilizers and pesticides) from runoff that flows from the land into waterways, thus protecting the waters from nearby land uses. The shoreline zone also provides critical habitat for aquatic insects, microorganisms, fish, and other animals, thereby helping to maintain a balance in sensitive aquatic ecosystems.

The proposed garage /workshop is out of the 20m buffer zone.

It is understood that the 30 m setback around our lakes minimizes development impact on ecosystem and water quality. The owner recognizes the importance of this 30 m set back. However, no additional negative impacts, loss of habitat and introduction of pollutants will come from this proposed development. The existing large pines and naturalized area are being protected. Also, the highly manicured ornamental gardens on site have been removed due to maintenance and as much as the site as possible is being redesigned to return to a natural state.

The location of the old sleep camp /proposed garage workshop has been fully developed since the 1950s. Moving the proposed garage /workshop out of the setback area to the south is prohibitive because of surface rock and the cost to run services. The proposed location of garage/workshop best uses the existing footprint of developed land with no additional environmental impact on the lake or visual impact to the surrounding neighbors.

PL-MV-2023-00053



Application for Minor Variance or Permission



Subject Property being PIN 73476-0180,
 Parcel 5923 SEC SES, excepting the land covered with
 the waters of Long Lake within the limit of the said lands,
 Part Lot 5, Concession 4,
 Township of Broder,
 3751 Sunvalley Avenue, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2025-00053
 Date: 2025 04 29

PROJECT:
 MUINONEN MINOR
 VARIANCE /
 PROPOSED GARAGE

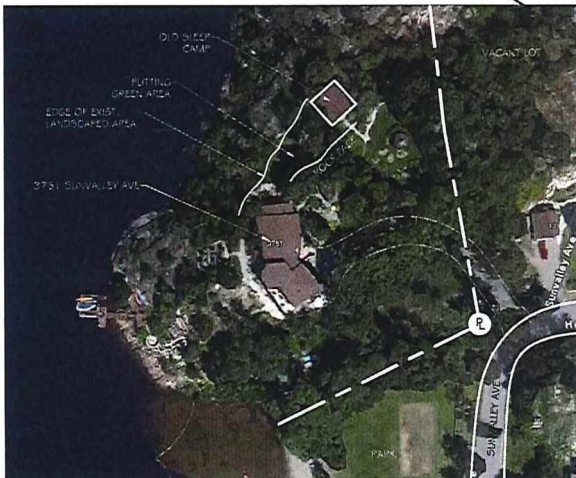
TITLE:
 PLOT/KEY PLAN
 SITE ADDRESS:
 3751 SUNVALLEY

DATE: JUN 09, 25
 SCALE: 1:400



PLOT PLAN

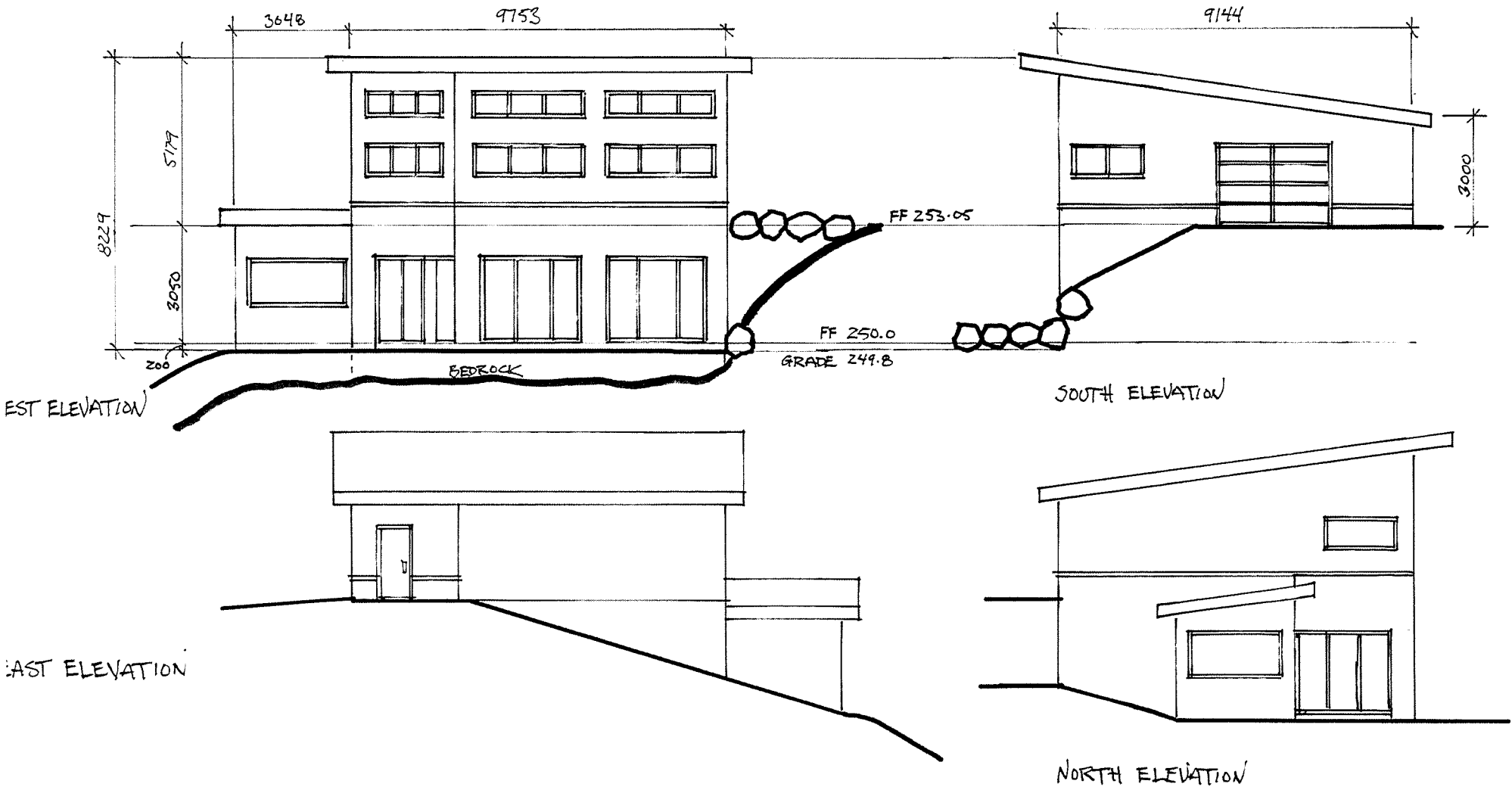
KEY PLAN



TOTAL LOT AREA:
 9097 SqM
 HOME:
 295 SqM
 SAUNA:
 10 SqM
 OLD SAUNA:
 18 SqM
 GAZEBO:
 20 SqM
 SHED:
 17 SqM
 PROPOSED GARAGE:
 89 SqM
 TOTAL AREA OF
 STRUCTURES :
 449 SqM
 % OF LOT COVERAGE:
 5%

NOTE: SPOT ELEVATIONS
 ARE RELATIVE TO THE HIGH
 WATER MARK OF 226.30M
 WHICH HAS BEEN
 DETERMINED BY ONTARIO
 LAND SURVEYORS ON
 PREVIOUS WORK ON LONG
 LAKE FOR OUR OFFICE.
 FLOOD ELEVATION FOR LONG
 LAKE IS 237.1M

PL-MV-2025-00053
 Sketch 2



MUINONEN GARAGE - PRELIMINARY ELEVATIONS 1/8" = 1' MAY 29 25'

PL-MV-2025-00053
 sketch 3



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00070

APPLICATION SUMMARY

File Date: 05/22/2025

Application Type: Minor Variance

Address(es): 60 Gutcher Avenue, Sudbury P3C 3H8

Applicant(s): CR DESIGN

Owner(s): VINCENZO VOCATURO

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
DECEMBER 2024

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
1

What is the number of proposed new dwelling units on the property?
0

What is the number of proposed new buildings/structures on the property?
1

What is the number of existing buildings/structures on the property?
2

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

DEMOLISH EXISTING DETACHED GARAGE AND CONSTRUCT A NEW DETACHED GARAGE

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

OWNER WOULD LIKE TO HAVE A LARGER GARAGE FOR STORAGE AND PARKING OF EXTRA VEHICLE AND BOAT

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

10.1

Lot Depth of the property

37.2

Lot Area of the property

374.02

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

EXISTING HOUSE, DECK AND DETACHED GARAGE

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

RESIDENTIAL SINCE CONSTRUCTED IN THE 1950'S OR 1960'S

Is the use remaining the same? If no, please provide the proposed new use

REMAINING THE SAME

Existing uses of neighbouring properties

RESIDENTIAL SFD'S AND MULTIPLE DWELLING UNITS

Has the property ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PL-M.V-2025-00070

PROPOSED BUILDING/STRUCTURE

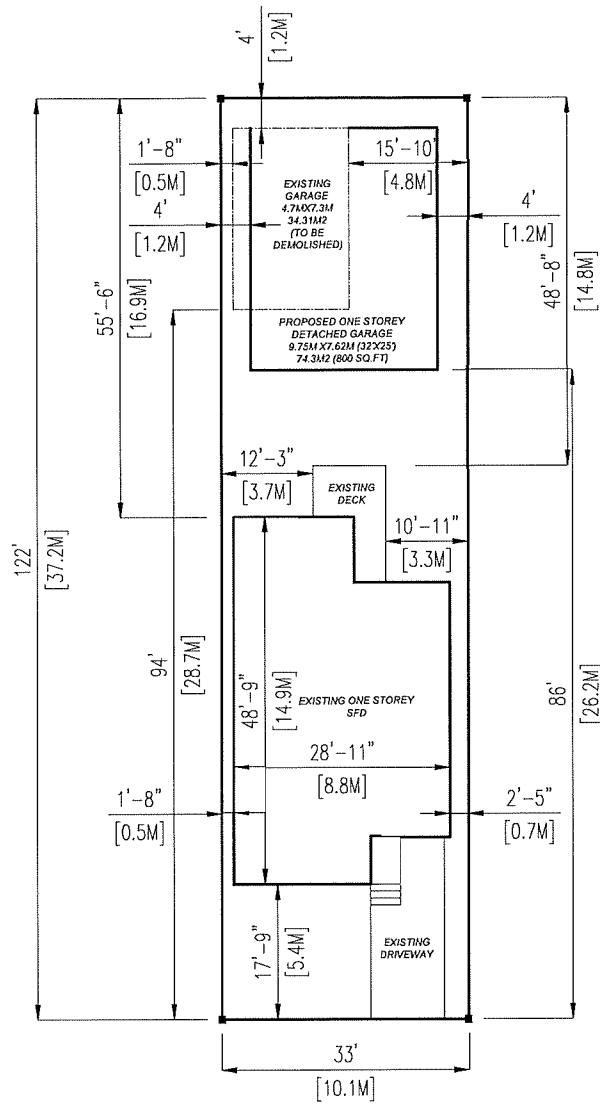
| Building Description | Same As Existing | Proposed Ground Floor Area (m2) | Proposed Gross Floor Area (m2) | Proposed Number of Storeys | Proposed Width (m) | Proposed Length (m) | Proposed Height (m) | Proposed Front Yard Setback (m) | Proposed Rear Yard Setback (m) | Proposed Side Yard Setback (m) | Proposed Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| DETACHED GARAGE | No | 74.3 | 74.3 | 1 | 7.62 | 9.75 | 4.5 | 26.2 | 1.2 | 1.2 | 1.2 |

EXISTING BUILDING/STRUCTURE

| Building Description | To Be Demolished | Existing Ground Floor Area (m2) | Existing Gross Floor Area (m2) | Existing Number of Storeys | Existing Width (m) | Existing Length (m) | Existing Height (m) | Existing Front Yard Setback (m) | Existing Rear Yard Setback (m) | Existing Side Yard Setback (m) | Existing Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| HOUSE | No | 113.9 | 113.9 | 1 | 8.8 | 14.9 | 6.5 | 5.4 | 16.9 | 0.5 | 0.7 |
| DECK | No | 9.7 | 9.7 | 1 | 3 | 4.7 | 1 | 17.6 | 14.8 | 3.7 | 3.3 |
| DETACHED GARAGE | Yes | 34.31 | 34.31 | 1 | 4.7 | 7.3 | 4 | 28.7 | 1.2 | 0.5 | 4.8 |

ZONING BY-LAW RELIEF

| Variance To | By-law Requirement | Proposed (m) | Difference (m) |
|---|--------------------|-----------------|----------------|
| 4.2.3. -ACCESSORY BUILDING LOT COVERAGE | 10% (38.5M2) | 20.0% (74.3 M2) | 35.8M2 (10%) |
| Table 6.4 - Max Lot Coverage | 50% | 51% | 1% |



60 GUTCHER AVENUE

| SITE STATISTICS | WHOLE LOT |
|--|----------------------------|
| ZONING | RS-3 |
| LOT AREA | 37433 M ² |
| HOUSE AREA | 1139 M ² |
| YARDW/ ACCESSORY BUILDING LOT COVERAGE (4.5% - 9.1%) | 374 M ² (1%) |
| PROPOSED GARAGE AREA | 743 M ² (2%) |
| PERCENTAGE OF LOT COVERAGE FOR ACCESSORY BUILDINGS EXISTING / PLAY | 26.9% (7%) |
| PERMITTED LOT COVERAGE | 19721 M ² (53%) |
| TOTAL LOT COVERAGE | 113900+743=114643 (307%) |

SCALE



0 2 4 6 8 10
METRES



| | | |
|---|------------|------|
| Demolish Del. Garage and Construct New Garage | REV | REV |
| | DATE | DATE |
| | BY | BY |
| 60 Gutcher Avenue, Sudbury | | |
| Site Plan | 2023-05-20 | SP1 |
| | DATE | |

PL-MV-2023-00070
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00071

APPLICATION SUMMARY

File Date: 05/26/2025

Application Type: Minor Variance

Address(es): 50 Bonin Street, Chelmsford P0M 1L0

Applicant(s): ANDREW FAHEY

Owner(s): ANDREW FAHEY AND LIANA HOLM

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

October 2024

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

3

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

To build 9x18 storage building, pool house gazebo and a second storage building accessory structures

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

I would like to apply for a minor variance to my property. The main reason for the application is that if I had under 0.42 hectares I would be eligible for a max of 25% lot coverage. My property is 0.43 hectares. So with this additional 0.01 hectares it brings the current max lot coverage to just 10%.

I reside in a rural setting and will comply with the aesthetics of the area.

I would like to this year add a 30x60 storage unit as I do not have enough storage for my current automobiles, motorcycles, trailers, snow-machines etc.

Next year we are planning on adding a dining gazebo/ barbecue area in our back yard as an area for our large family gatherings.

I have started my car/motorcycle collection so will potentially add another storage building in the very near future. As stated we are within 0.01 hectares of meeting regulations and what I am proposing is consistent with most other properties in the neighbourhood.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

70.34

Lot Depth of the property

61.559

Lot Area of the property

4330

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

House 2007

Garage 2018

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential property since 2009

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?
No

Have you consulted with Conservation Sudbury regarding this relief?
No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

| Building Description | Same As Existing | Proposed Ground Floor Area (m2) | Proposed Gross Floor Area (m2) | Proposed Number of Storeys | Proposed Width (m) | Proposed Length (m) | Proposed Height (m) | Proposed Front Yard Setback (m) | Proposed Rear Yard Setback (m) | Proposed Side Yard Setback (m) | Proposed Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| Storage building | No | 168.36 | 168.36 | 1 | 9.2 | 18.3 | 6 | 10 | 46 | 3 | 58 |
| Gazebo | No | 92.88 | 92.88 | 1 | 7.62 | 12.19 | 4 | 53 | 3 | 23.84 | 30 |
| 2nd storage | No | 297.19 | 297.19 | 1 | 12.19 | 24.38 | 6 | 55 | 1.2 | 36 | 1.2 |

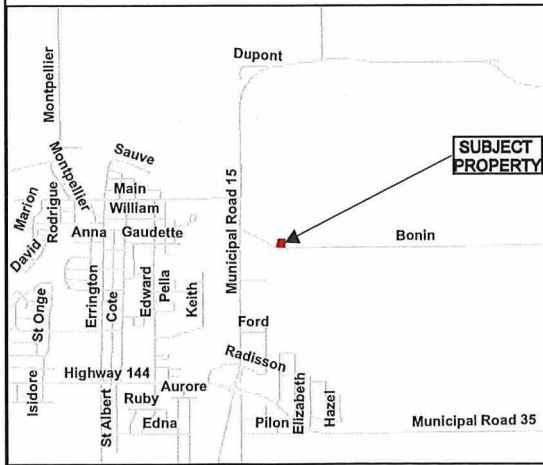
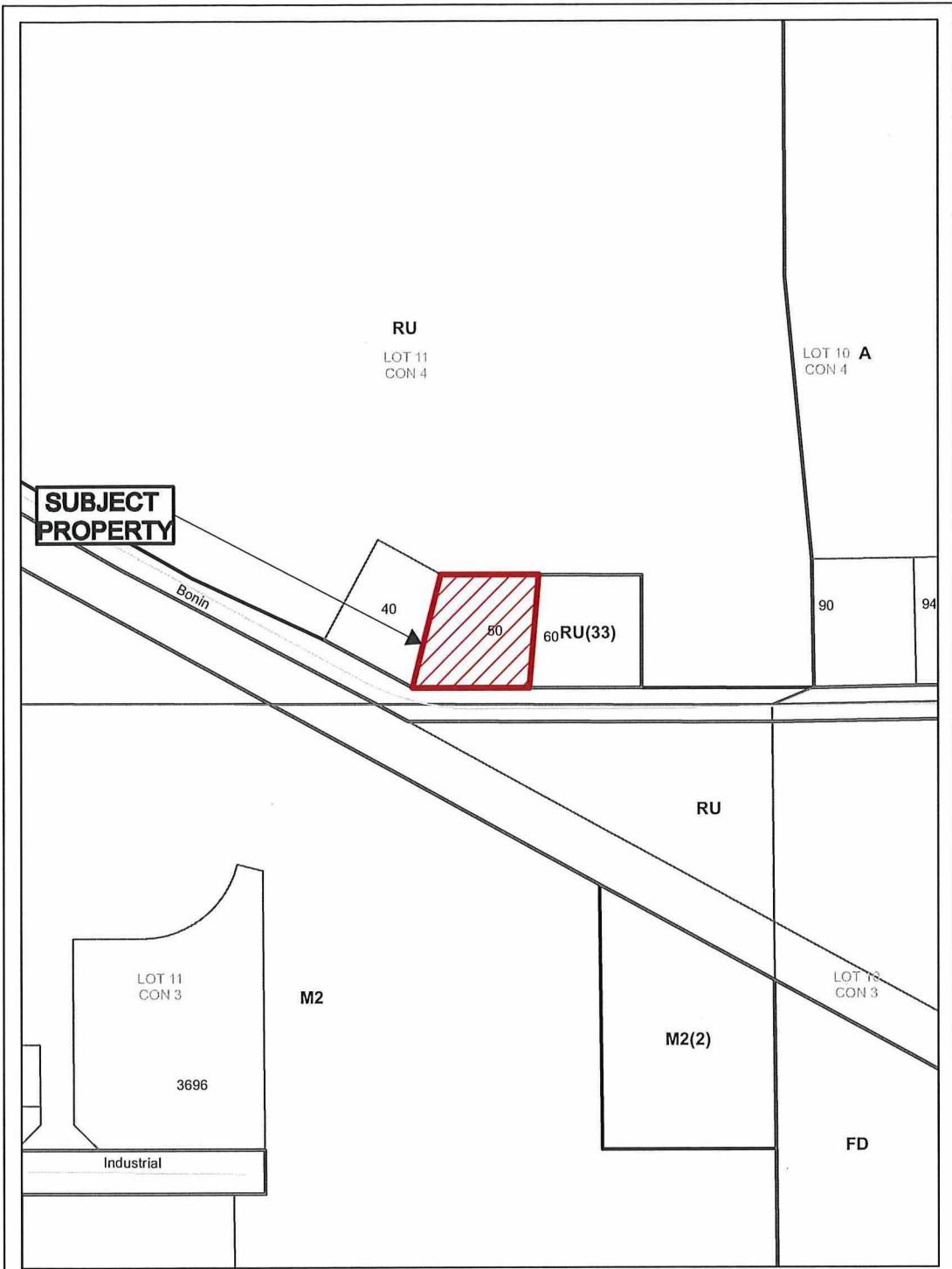
EXISTING BUILDING/STRUCTURE

| Building Description | To Be Demolished | Existing Ground Floor Area (m2) | Existing Gross Floor Area (m2) | Existing Number of Storeys | Existing Width (m) | Existing Length (m) | Existing Height (m) | Existing Front Yard Setback (m) | Existing Rear Yard Setback (m) | Existing Side Yard Setback (m) | Existing Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| House | No | 382.85 | 382.85 | 1 | 15.5 | 24.7 | 5 | 24.38 | 29.87 | 18.28 | 17.37 |
| Garage | No | 47.48 | 47.48 | 1 | 4.87 | 9.75 | 4.2 | 30.48 | 21.33 | 9.14 | 24.68 |
| Pool | No | 30.25 | 30.25 | 0 | 5.5 | 5.5 | 0 | 46.62 | 17.67 | 35.76 | 24.5 |

ZONING BY-LAW RELIEF

| Variance To | By-law Requirement | Proposed (m) | Difference (m) |
|------------------------|--------------------|--------------|----------------|
| Max Lot Coverage | 10% | 23% | 13% |
| Accessory Lot Coverage | 10% | 14% | 4% |

PL-MV-2025-00071



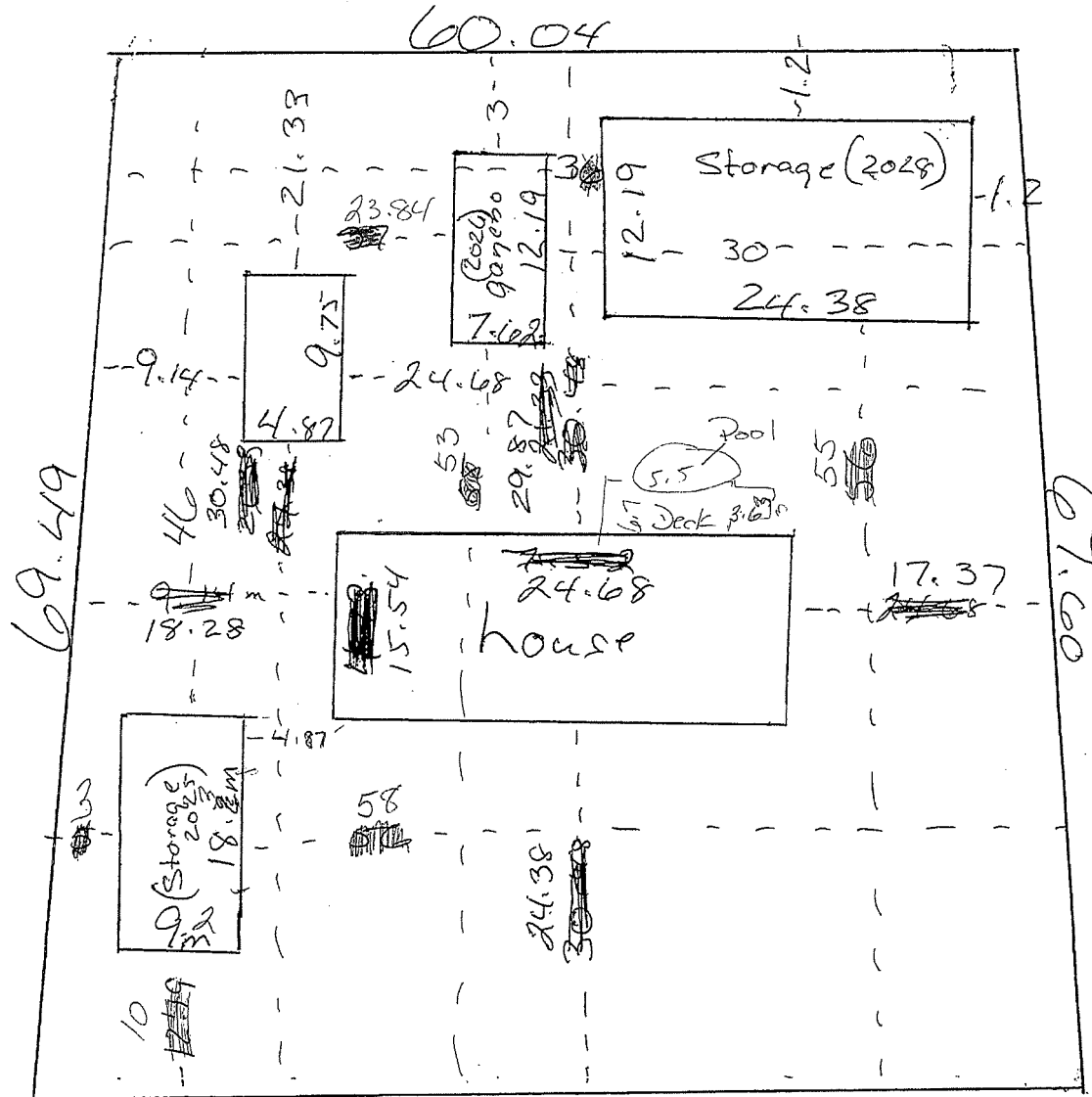
Application for Minor Variance or Permission



Subject Property being PIN 73345-0756 , Part Lot 11, Concession 4, being Part 2, Plan 53R-8555 and Part 1, Plan 53R-18487, except Part 2, Plan 53R-18487, Township of Rayside, 50 Bonin Street, Chelmsford, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00071
Date: 2025 06 03



Bonin Street 70.34

PL-MV-2025-00071
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00072

APPLICATION SUMMARY

File Date: 05/27/2025

Application Type: Minor Variance

Address(es): 1827 Torbay Road Road, Sudbury P3B 1A3

Applicant(s): PROSPEC ENGINEERING AND ARCHITECTURE

Owner(s): SAHIL BHARDWAJ AND NEELIMA BHARDWAJ

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2021/03/21

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
Source Protection Area: Nickel District

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5

Provide a detailed description of what is being proposed
Sunroom Addition

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
Adding a sunroom won't effect the zoning, as its not a additional residential or dwelling being added, it is an additional structure on side of the house as additional house amenity.

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
19.0

Lot Depth of the property
79.78

Lot Area of the property
1497.2

Total width of the public road giving access to the property
13.5

List all buildings and structures on the property and their respective date of construction
Dwelling
Garden Shed A
Garden Shed B

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
Residential

Is the use remaining the same? If no, please provide the proposed new use
SAME

Existing uses of neighbouring properties
Residential

Has the property ever been subject of a previous application for minor variance/permission?
No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?
Yes

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

No

Have you consulted with Conservation Sudbury regarding this relief?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

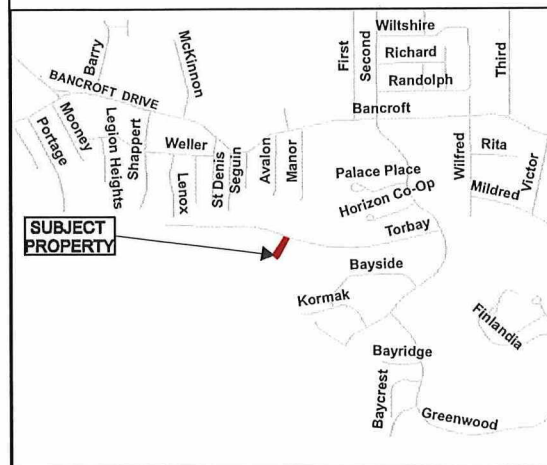
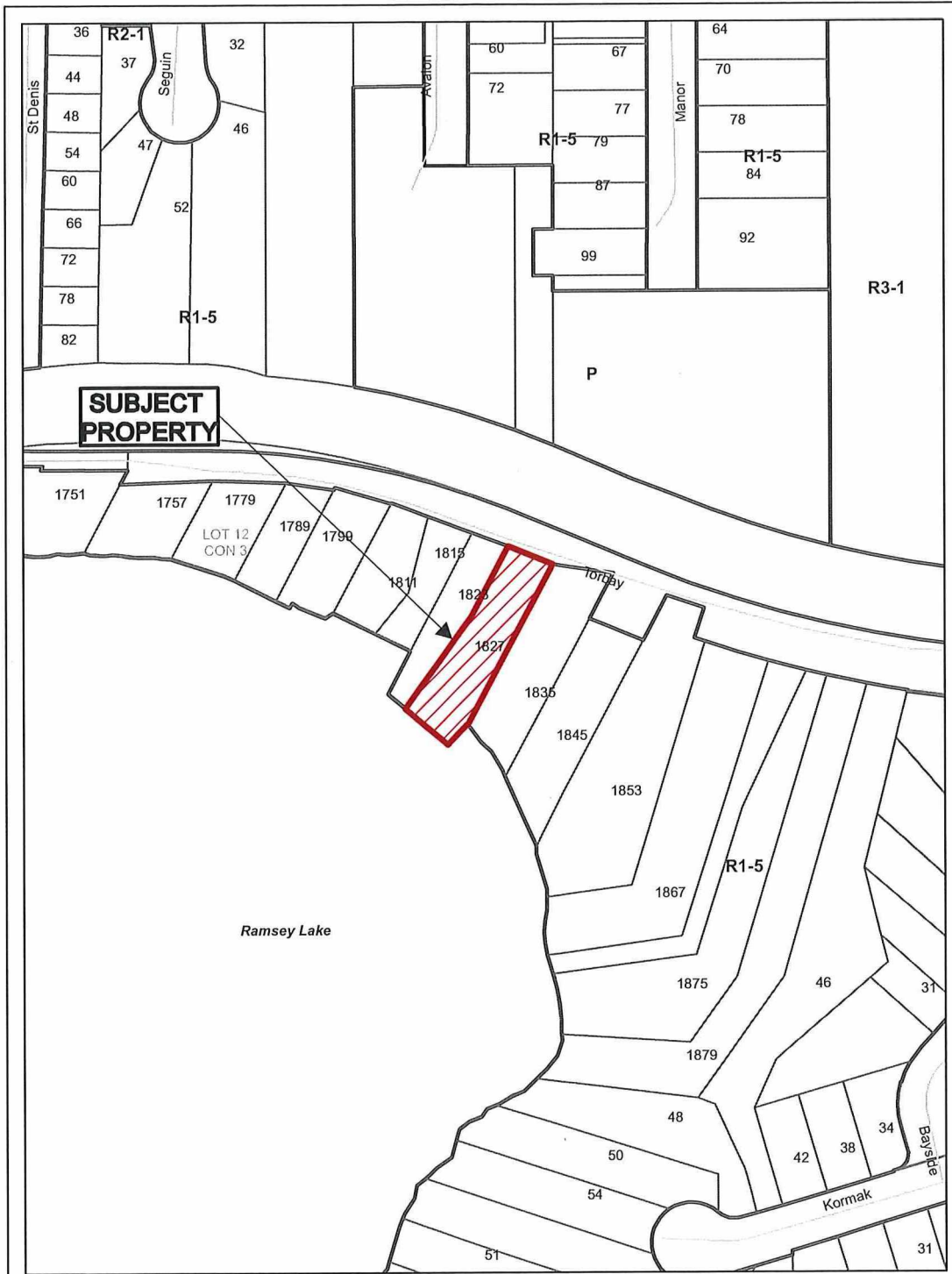
| Building Description | Same As Existing | Proposed Ground Floor Area (m2) | Proposed Gross Floor Area (m2) | Proposed Number of Storeys | Proposed Width (m) | Proposed Length (m) | Proposed Height (m) | Proposed Front Yard Setback (m) | Proposed Rear Yard Setback (m) | Proposed Side Yard Setback (m) | Proposed Side Yard Setback Other (m) |
|--|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| Addition of Sunroom on rear left side of the house as per the attached drawing | No | 14.64 | 14.64 | 1 | 2.4 | 6.1 | 4.75 | 44.2 | 27.2 | 14.0 | 3.3 |

EXISTING BUILDING/STRUCTURE

| Building Description | To Be Demolished | Existing Ground Floor Area (m2) | Existing Gross Floor Area (m2) | Existing Number of Storeys | Existing Width (m) | Existing Length (m) | Existing Height (m) | Existing Front Yard Setback (m) | Existing Rear Yard Setback (m) | Existing Side Yard Setback (m) | Existing Side Yard Setback Other (m) |
|---|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| Residential lake side single family house | No | 242.34 | 242.34 | 1 | 16.16 | 24.25 | 4.75 | 28.4 | 26.2 | 1.5 | 2.2 |
| Garden Shed A | No | 15.84 | 15.84 | 1 | 4.7 | 3.4 | 3.96 | 56.5 | 20.6 | 1.2 | 15.7 |
| Garden Shed B | No | 16.73 | 16.73 | 1 | 4.6 | 3.7 | 3.96 | 62.0 | 15.1 | 0.7 | 17.0 |

ZONING BY-LAW RELIEF

| Variance To | By-law Requirement | Proposed (m) | Difference (m) |
|---|--------------------|--------------|----------------|
| Addition of Sunroom - Subsection 4.41.2 | 30.00 | 17.9 | 12.1 |
| Addition of Sunroom - Subsection 4.41.4 | 20.0 | 17.9 | 2.1 |
| Garden Shed A - Subsection 4.41.2 | 30.0 | 13.2 | 16.8 |
| Garden Shed A - Subsection 4.41.4 | 20.0 | 13.2 | 6.8 |
| Garden Shed B - Subsection 4.41.2 | 30.0 | 7.9 | 22.1 |



N

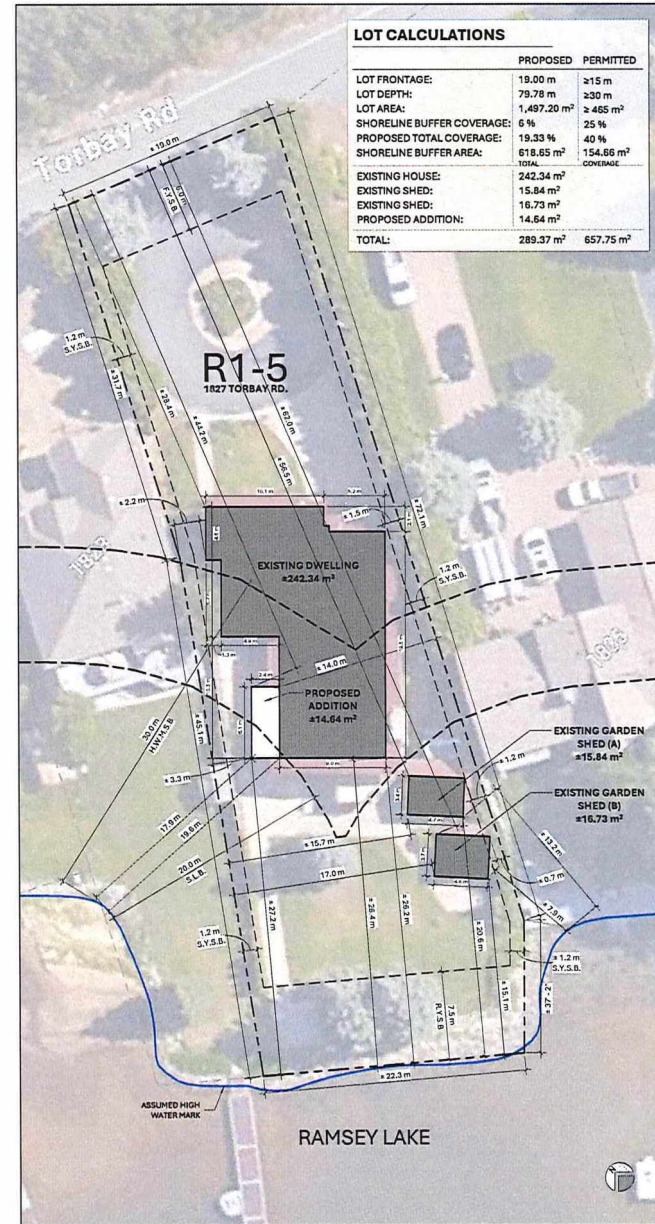
**Application for Minor
Variance or Permission**

Subject Property being PIN 73578-0119,
Parcel 5878 SEC SES,
Part Lot 12, Concession 3,
Parts 11-13, Plan 53R-13566,
together with easement over Parts 2, 3, 5, 6, 8 & 10,
Plan 53R-13566, Township of Neelon,
1827 Torbay Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00072
NDCA Date: 2025 06 04

SAVY BHARDWAJ

1827 TORBAY ROAD,
SUDBURY, ON
SUNROOM ADDITION
PRO-25-084
ISSUED FOR MINOR VARIANCE
2025-06-06



| SITEPLAN LEGEND | |
|-----------------|---------------------------|
| | PROPERTY LINE |
| | ADJACENT PROPERTY LINE |
| | SETBACK LINE |
| | HIGH WATER MARK SETBACK |
| | DENOTES EXISTING BUILDING |
| | DENOTES NEW BUILDING |

| ABBREVIATIONS | |
|---------------|-------------------------|
| S.Y.S.B | SIDE YARD SETBACK |
| F.Y.S.B | FRONT YARD SETBACK |
| R.Y.S.B | REAR YARD SETBACK |
| H.W.M.S.B | HIGH-WATER MARK SETBACK |
| H.W.M | HIGH-WATER MARK |
| S.L.B | SHORELINE BUFFER |

PROSPEC ENGINEERING & ARCHITECTURE
300 ELIZABETH STREET, SUDBURY, ON
N2A 0A9
TEL: 705-525-1111

GENERAL NOTES
THE CONTRACTOR IS REQUIRED TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER IMMEDIATELY AND TO ALL NEARBY PROFESSIONALS BEFORE PROCEEDING WITH THE WORK.
THIS DRAWING HAS BEEN PREPARED FOR CONSTRUCTION AND SHOULD BE USED ONLY AFTER APPROVAL BY THE RELEVANT PROFESSIONALS.
ALL WORK AND INSTALLATIONS MUST COMPLY WITH APPLICABLE CODES INCLUDING BUT NOT LIMITED TO: THE CANADIAN BUILDING CODE AND ALL REGULATIONS AND STANDARDS IN EFFECT AT THE TIME OF PROJECT APPROVAL.
ALL UTILITIES, TRENCHES AND SPECIFICATIONS FROM THE PROPERTY OF PROSPEC ENGINEERING WILL BE USED FOR THE PROJECT UNLESS OTHERWISE SPECIFIED IN WRITING.
DO NOT SCALE DRAWINGS.

PRO-25-084
SUNROOM ADDITION
1827 TORBAY ROAD,
SUDBURY, ON
CLIENT:

| # | DESCRIPTION | DATE |
|---|-------------|------|
| | | |

PLOT PLAN

DRAWN BY: SB
CHECKED BY: EM
APPROVED BY: EL
SCALE: As Indicated
SHEET: **A001**
REVISION:

PL-MV-2025-00072
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00073

APPLICATION SUMMARY

File Date: 05/28/2025

Application Type: Minor Variance

Address(es): 4157 Bonaventure Drive, Hanmer P3P 0E3

Applicant(s): JOEL JACQUES

Owner(s): JOEL JACQUES AND MICHELLE JACQUES

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

November 2021

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-2

Provide a detailed description of what is being proposed

Deck Extension on the rear part of the yard

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Because of the rear set-back

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

10.5

Lot Depth of the property

31

Lot Area of the property

325.5

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Dwelling 2021

Deck 2022

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

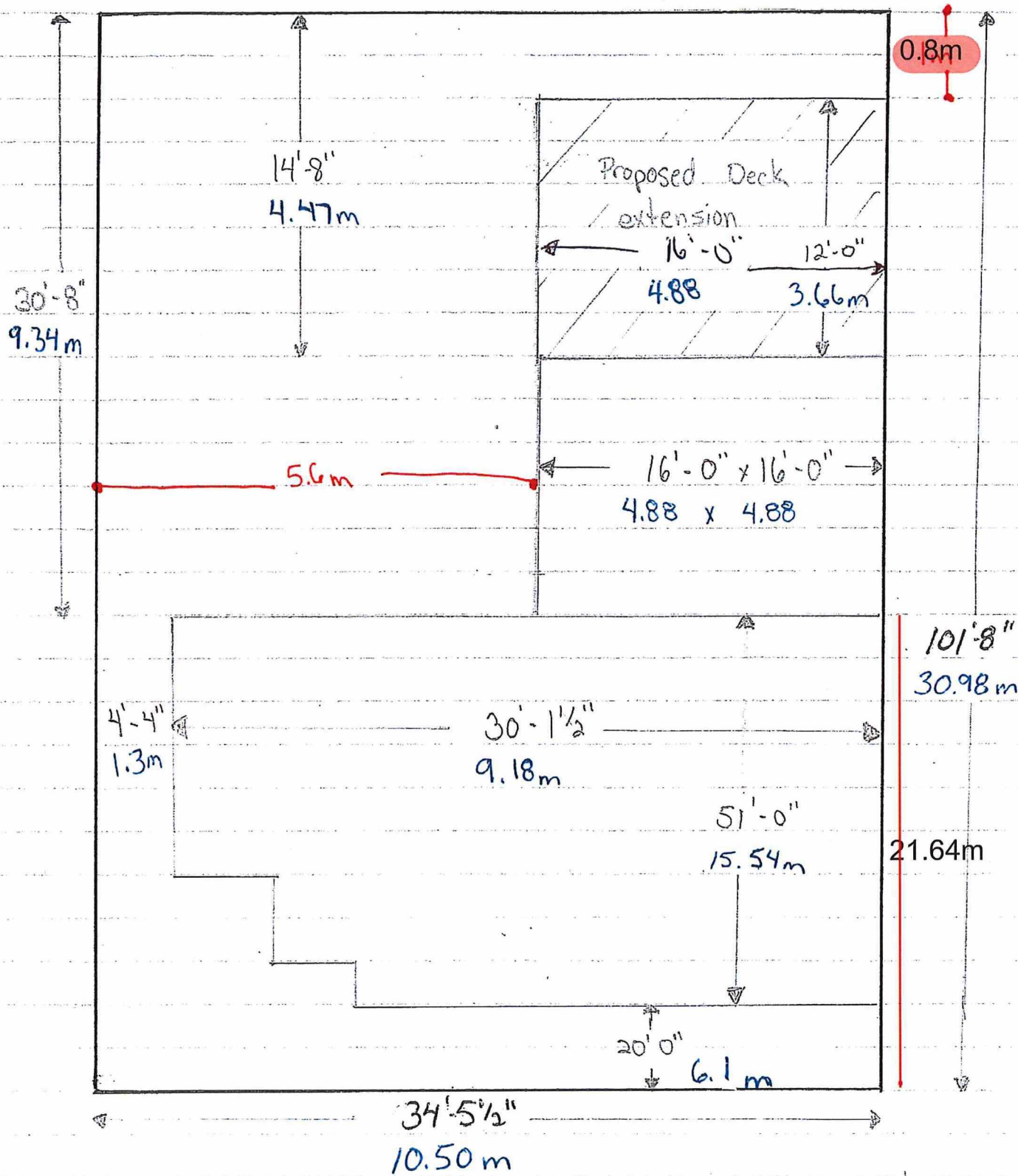
| Building Description | Same As Existing | Proposed Ground Floor Area (m2) | Proposed Gross Floor Area (m2) | Proposed Number of Storeys | Proposed Width (m) | Proposed Length (m) | Proposed Height (m) | Proposed Front Yard Setback (m) | Proposed Rear Yard Setback (m) | Proposed Side Yard Setback (m) | Proposed Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| Deck Extension | Yes | 17.9 | 17.9 | 0 | 4.88 | 3.66 | 1.7 | 21.64 | 0.8 | 5.6 | 0 |

EXISTING BUILDING/STRUCTURE

| Building Description | To Be Demolished | Existing Ground Floor Area (m2) | Existing Gross Floor Area (m2) | Existing Number of Storeys | Existing Width (m) | Existing Length (m) | Existing Height (m) | Existing Front Yard Setback (m) | Existing Rear Yard Setback (m) | Existing Side Yard Setback (m) | Existing Side Yard Setback Other (m) |
|-------------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| Dwelling, Semi-Detached | No | 291.07 | 582.14 | 1 | 9.182 | 15.54 | 6 | 6 | 9.3 | 0 | 1.3 |
| Deck | No | 23.7 | 23.7 | 0 | 4.8 | 4.8 | 1.8 | 21.6 | 4.47 | 0 | 5.63 |

ZONING BY-LAW RELIEF

| Variance To | By-law Requirement | Proposed (m) | Difference (m) |
|---|--|--|---------------------------------|
| 1.7m High Deck Extension (R2-2) - Table 4.1 | May encroach 3.6 m into the required rear yard but not closer than 3.0 m to the rear lot line. | 6.7m encroachment, 0.8m setback from rear lot line | 3.1m encroachment/2.2 m setback |



9

Bonaventure Drive

PL-MV-2025-00073
 sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00074

APPLICATION SUMMARY

File Date: 06/03/2025

Application Type: Minor Variance

Address(es): 51 Downing Street, Sudbury P3B 3E7

Applicant(s): CR DESIGN

Owner(s): BROOKE HOWES AND KEN ROBINEAU

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

01/06/2024

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

4

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
RAMSEY LAKE WATERSHED

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5

Provide a detailed description of what is being proposed
DEMOLISH EXISTING SFD AND CONSTRUCT A NEW TWO STOREY SFD WITH AN ATTACHED DECK AND A COVERED PORCH

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
FOR THE SFD/ATTACHED DECK AND COVERED PORCH - THE OWNER WOULD LIKE TO HAVE THE NEW HOUSE LOCATED WHERE THE EXISTING HOUSE IS TO HAVE THE SAME VIEWS ETC. AND ALSO TO PROVIDE THE SAME LEVEL OF PRIVACY FROM THE NEIGHBOURS AS THE EXISTING HOUSE PROVIDES. THE SHORELINE BUFFER CLEARING ALLOWANCE OF 25% IS BEING MAINTAINED (WILL BE 10%). THE 30M HIGHWATER MARK SETBACK WOULD BE DIFFICULT TO ACHIEVE AS IT WOULD MOVE THE HOUSE TO THE FRONT NARROW PORTION OF THE LOT WHICH WOULD TAKE AWAY FROM THE ENJOYMENT OF THE PROPERTY.
FOR THE DETACHED GARAGE - THE OWNER WOULD LIKE THE CHARACTER OF THE GARAGE TO MATCH THE CHARACTER OF THE HOUSE AND WOULD LIKE TO HAVE ADDITIONAL SPACE FOR STORAGE ABOVE THE GARAGE AS THEIR PROPOSED HOUSE HAS NO BASEMENT

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
18.3

Lot Depth of the property
89

Lot Area of the property
2696

Total width of the public road giving access to the property
20

List all buildings and structures on the property and their respective date of construction
EXISTING HOUSE - 1970'S (EXACT DATE UNKNOWN)

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
SFD - ENTIRE LENGTH OF PROPERTY CREATION

Is the use remaining the same? If no, please provide the proposed new use
YES

Existing uses of neighbouring properties
SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

| Building Description | Same As Existing | Proposed Ground Floor Area (m2) | Proposed Gross Floor Area (m2) | Proposed Number of Storeys | Proposed Width (m) | Proposed Length (m) | Proposed Height (m) | Proposed Front Yard Setback (m) | Proposed Rear Yard Setback (m) | Proposed Side Yard Setback (m) | Proposed Side Yard Setback Other (m) |
|-------------------------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| NEW SFD | No | 224 | 444 | 2 | 14 | 18.5 | 10.7 | 47 | 13 | 3.9 | 9.9 |
| NEW REAR YARD ATTACHED DECK | No | 63 | 63 | 1 | 16.3 | 3.3 | 0.3 | 65.6 | 8.6 | 3.8 | 25 |
| NEW FRONT / SIDE YARD COVERED PORCH | No | 52 | 52 | 1 | 10.6 | 11.9 | 0.3 | 47 | 18.5 | 9.6 | 7.5 |
| NEW DETACHED GARAGE | No | 112 | 218 | 2 | 9.1 | 12.2 | 9.1 | 22.9 | 42.5 | 1.8 | 7.3 |

EXISTING BUILDING/STRUCTURE

| Building Description | To Be Demolished | Existing Ground Floor Area (m2) | Existing Gross Floor Area (m2) | Existing Number of Storeys | Existing Width (m) | Existing Length (m) | Existing Height (m) | Existing Front Yard Setback (m) | Existing Rear Yard Setback (m) | Existing Side Yard Setback (m) | Existing Side Yard Setback Other (m) |
|----------------------|------------------|---------------------------------|--------------------------------|----------------------------|--------------------|---------------------|---------------------|---------------------------------|--------------------------------|--------------------------------|--------------------------------------|
| EXISTING SFD | Yes | 122 | 200 | 2 | 13.3 | 10.5 | 6.7 | 54.9 | 12.2 | 5 | 15.3 |

ZONING BY-LAW RELIEF

| Variance To | By-law Requirement | Proposed (m) | Difference (m) |
|--------------------------------------|--------------------|--------------|----------------|
| 4.2.4. HEIGHT OF ACCESSORY BUILDINGS | 5M | 9.1M | 4.1M |

4.41.2.
SETBACK REQUIREMENTS FOR RESIDENTIAL
BUILDINGS
(SFD, DECK, COVERED PORCH)

30M

13M - SFD
8.6M - REAR
YARD
ATTACHED
DECK
18.5M -
FRONT/SIDE
YARD COVERED
PORCH

17M-SFD
21.4M - REAR
YARD DECK
11.5M -
FRONT/SIDE
YARD COVERED
PORCH

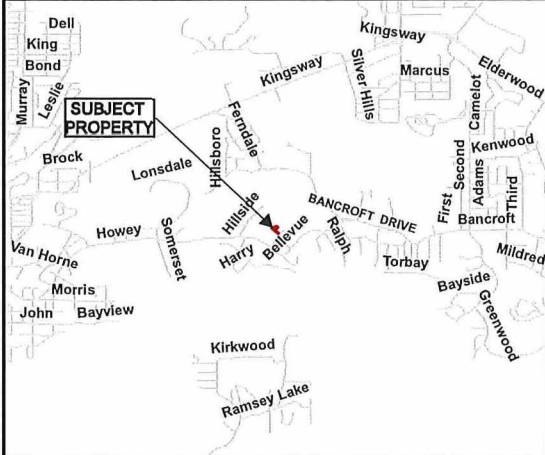
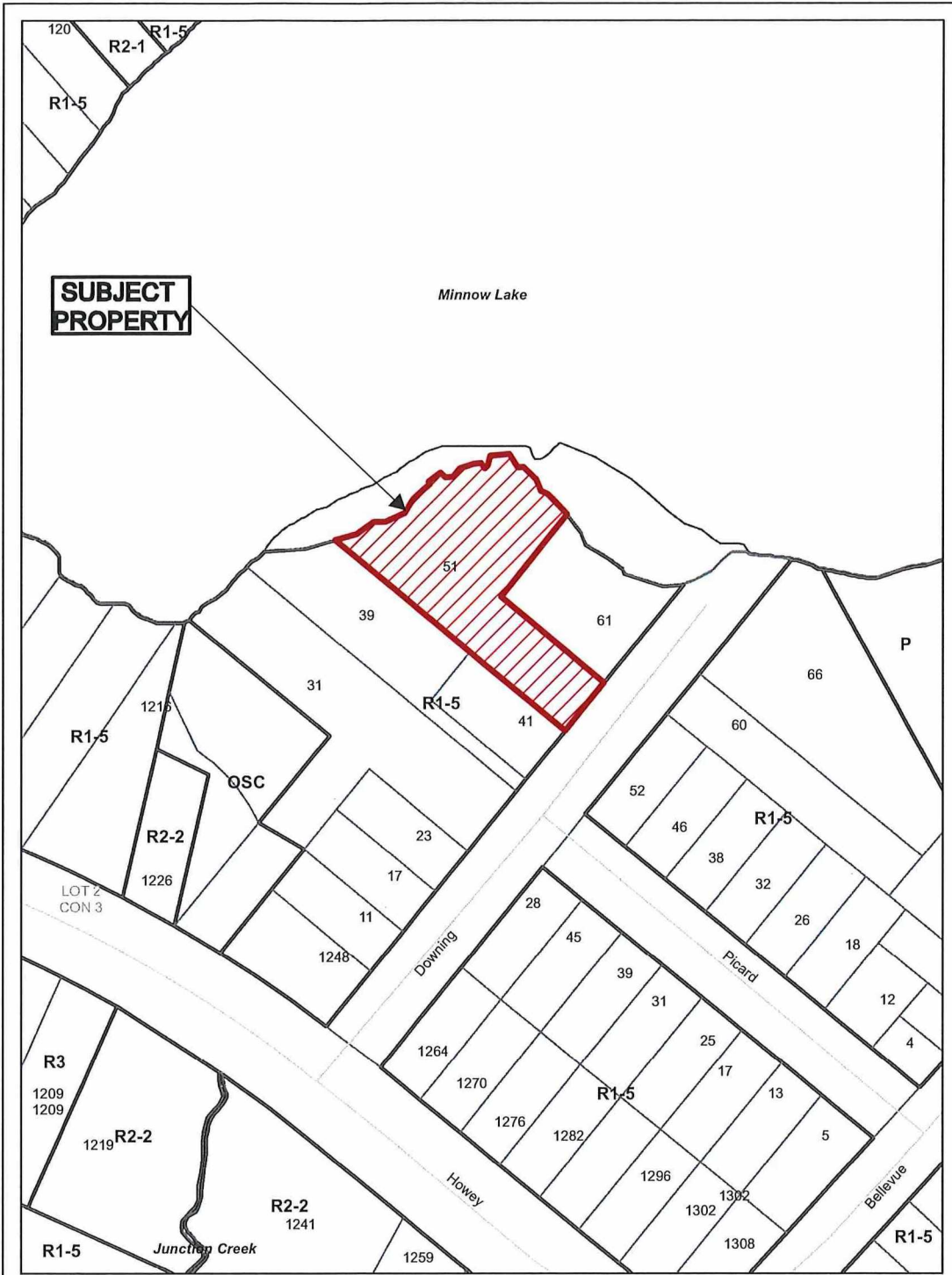
4.41.3
SHORELINE BUFFER AREAS
(SFD,DECK,COVERED PORCH)

20M

13M -SFD
8.6M REAR
YARD
ATTACHED
DECK
18.5M -
FRONT/SIDE
YARD COVERED
PORCH

7M -SFD
11.4M - REAR
YARD ATTACHED
DECK
1.5M -
FRONT/SIDE
YARD COVERED
PORCH

PL-NV-2025-00074



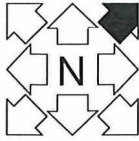
Application for Minor Variance or Permission



Subject Property being PIN 73581-0523,
 Firstly: Part Lot 105, Plan M-129, being Parts 2 & 3, Plan 53R-20665;
 Secondly: Lot 106, Plan M-129, being Part 4, Plan 53R-20665,
 Part Lot 2, Concession 3,
 Township of McKim,
 51 Downing Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2025-00074
 Date: 2025 06 05

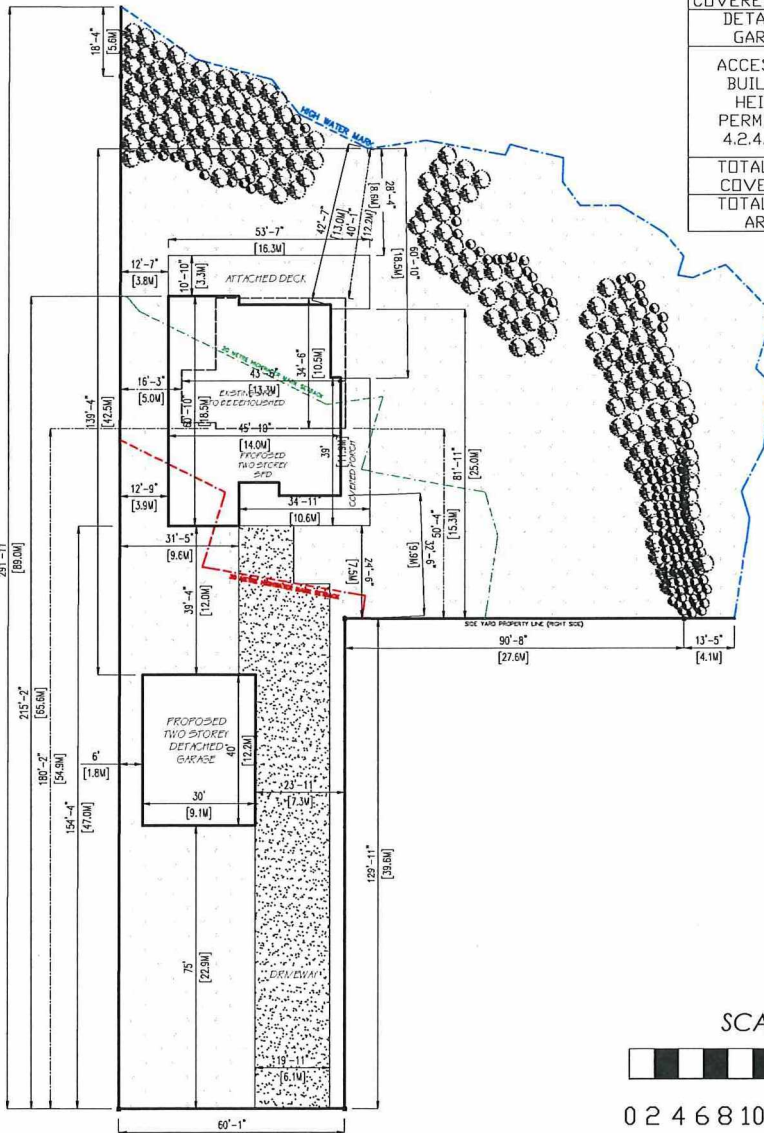


BUILDING SETBACKS

| SETBACKS | FRONT(ROAD) | SIDE (LEFT) | SIDE (RIGHT) | REAR (HIGH WATER MARK) | REQUIRED SETBACK FROM HIGH WATER MARK (4.41.2) | DIFFERENCE | REQUIRED SHORELINE BUFFER (4.41.3) | DIFFERENCE |
|---|--|---|--|--|--|------------|------------------------------------|------------|
| HOUSE | 47 M | 3.9 M | 9.9 M | 13 M | 30 M | 17 M | 20 M | 7 M |
| REAR YARD ATTACHED DECK | 65.6 M | 3.8 M | 25 M | 8.6 M | 30 M | 21.4 M | 20 M | 11.4 M |
| FRONT / SIDE COVERED PORCH | 47 M | 9.6 M | 7.5 M | 18.5 M | 30 M | 11.5 M | 20 M | 1.5 M |
| DETACHED GARAGE | 22.9 M | 1.8 M | 7.3 M | 42.5 M | 30 M | | | |
| EXISTING HOUSE (TO BE DEMOLISHED) | 54.9 M | 5 M | 15.3 M | 12.2 M | N/A (PREDATES CURRENT BYLAW) | | | |
| SHORELINE BUFFER | | | | | | | | |
| TOTAL SHORELINE BUFFER AREA (15,347 SQ. FT) | ATTACHED DECK (62.2M ² (672 SQ.FT)) | SINGLE FAMILY DWELLING (70.2M ² (759 SQ.FT)) | COVERED PORCH (4.2M ² (45 SQ.FT)) | TOTAL SHORELINE BUFFER AREA CLEARED (1,475 SQ. FT) (10%) | | | | |

AREA OF STRUCTURES

| | GROUND FLOOR AREA | GROSS FLOOR AREA |
|--|--|---|
| EXISTING HOUSE | 122 SQ. M. | 200 SQ. M. |
| NEW SFD | 224 SQ. M. | 444 SQ. M. |
| REAR YARD DECK | 63 SQ. M. | 63 SQ. M. |
| FRONT/SIDE COVERED PORCH | 52 SQ. M. | 52 SQ. M. |
| DETACHED GARAGE | 112 SQ. M. | 218 SQ. M. |
| ACCESSORY BUILDING HEIGHT PERMITTED 4.2.4. -5M | ACCESSORY BUILDING HEIGHT PROPOSED 4.2.4. -9.1 M | DIFFERENCE OF PERMITTED HEIGHT FOR DETACHED GARAGE 4.1M |
| TOTAL LOT COVERAGE | 451 SQ. M. (17%) | |
| TOTAL LOT AREA | 2,696 SQ. M. | |



DOWNING STREET

SCALE



0 2 4 6 8 10 12 14 16 18 20 METRES

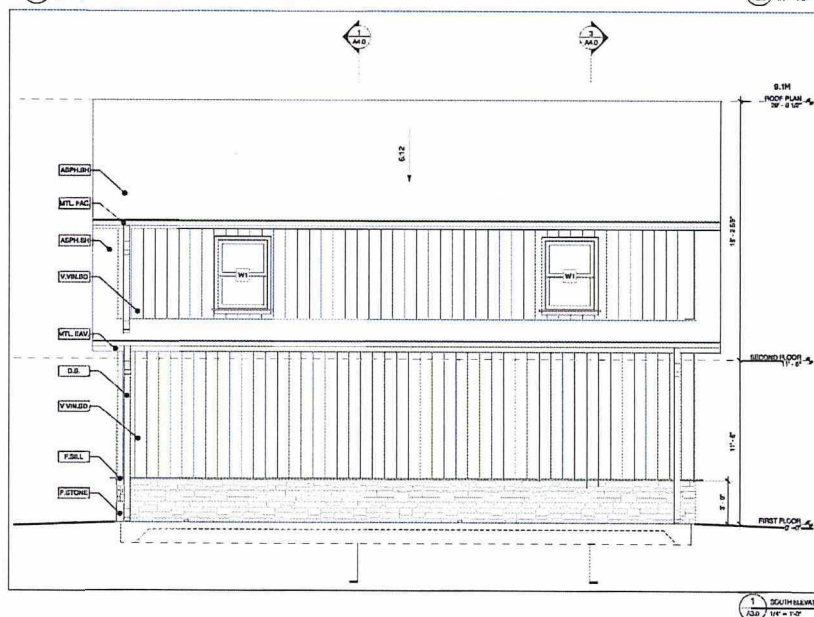
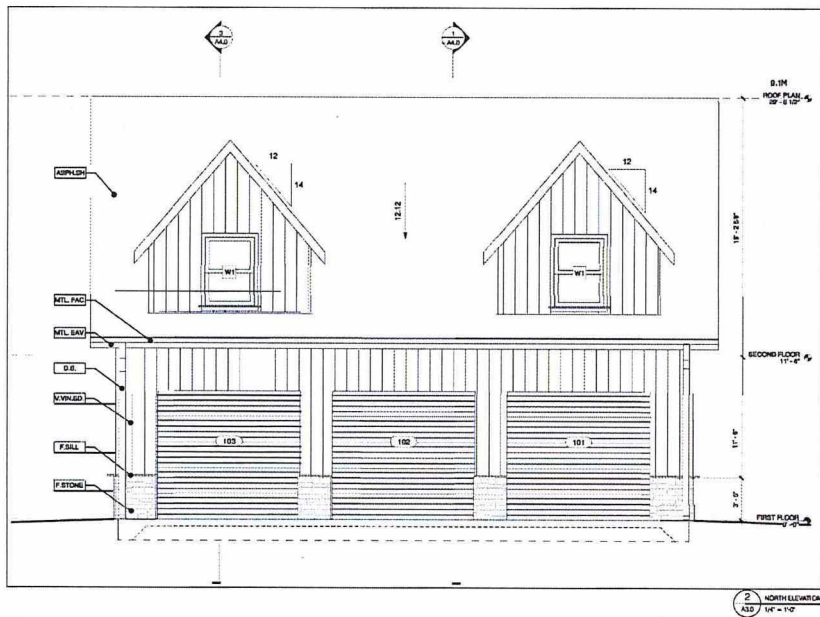
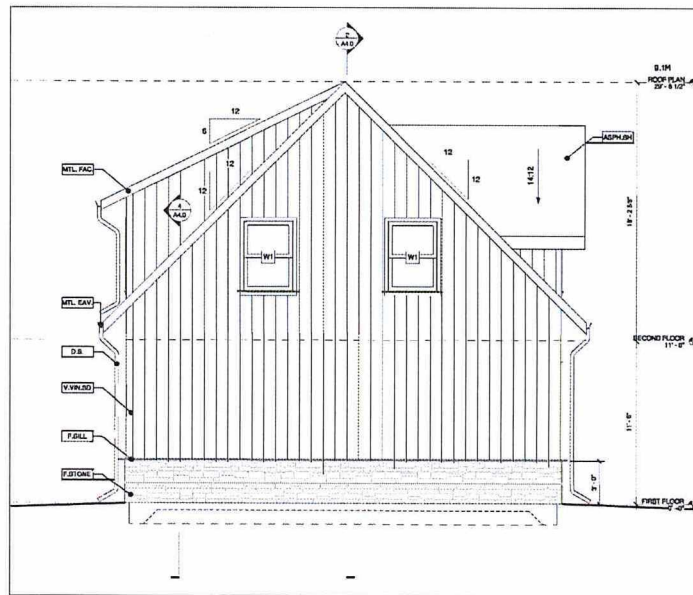
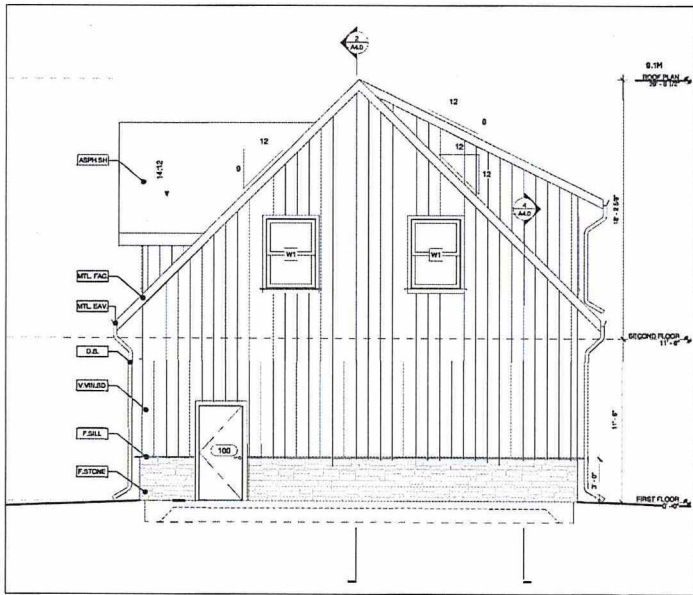
CR Design

| | | | |
|-----------|---|-------|------------|
| PROJECT | Demo existing house and Construct SFD / Det. Garage | DATE | 2025.06.01 |
| CLIENT | 51 Downing Street, Sudbury | SCALE | SP1 |
| Site Plan | | DATE | 13/24/25 |

PL-MV-2025-00074
Sketch 2

LEGEND

| | |
|----------|--|
| MTL EAV | METAL EAVES |
| ASPH SH | DENOTES 25 YEAR ASPHALT SHINGLES |
| V.VINLSD | DENOTES VERTICAL VINYL SIDING BY OWNER |
| MTL EAV | DENOTES METAL EAVESTROUGH |
| DS | DENOTES METAL DOWN SPOUT |
| F.STONE | FUSION STONE INSTALL AS PER MANUFACTURERS INSTRUCTION |
| F.SILL | FUSION STONE SILL - INSTALL AS PER MANUFACTURERS INSTRUCTION |
| MTL FAC | DENOTES METAL FASCIA |
| RV | DENOTES ROOF VENT |
| (101) | DOOR IDENTIFICATION IN SCHEDULE |
| W1 | WINDOW IDENTIFICATION IN SCHEDULE |



PROSPEC
 PROSPEC ENGINEERING AND ARCHITECTURE
 2502 ELA STREET
 SUDBURY, ONTARIO
 172 ALGONQUIN BOULEVARD EAST
 TIMMINS, ONTARIO

- GENERAL NOTES**
1. - ANY CHANGES DONE TO THE DESIGN DURING CONSTRUCTION WITHOUT PROSPEC ENGINEERING'S WRITTEN CONSENT & APPROVAL WILL VOID PROSPEC ENGINEERING'S INSURANCE COVERAGE.
 2. - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
 3. - THESE DRAWINGS REMAIN THE PROPERTY OF PROSPEC ENGINEERING AND SHALL NOT BE ALTERED IN ANY MANNER OR USED ON ANY OTHER PROJECT.
 4. - DO NOT SCALE DRAWINGS



STGN & SEAL

REVISED FOR PERMIT AND CONSTRUCTION 2025/03/21

BROOKE HOWES & KEN ROBINEAU

PROJECT NAME
UNHEATED GARAGE
 51 DOWNING ST,
 SUDBURY ON.

DRAWING TITLE
ELEVATIONS

FILE NO.
 PEL-24-234

DRAWN BY: _____ S.N.
 CHECKED BY: _____ S.L.
 APPROVED BY: _____ S.L.
 SCALE: 1/4" = 1'-0"
 SHEET

A3.0

REVISION _____ 0

PL-MV-2025-00074
 sketch 3