

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

June 11, 2025

PUBLIC HEARINGS

PL-MV-2025-00047 ALAIN BEAULIEU

Ward: 7

PIN(s) 734960184, Parcel 27025 SEC SES, Part Lot 9, Plan M-252, Part Lot 9, Concession 1, Township of Garson, 27 Alice Street, Garson, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, as amended, to facilitate the construction of a two-storey addition on the existing single detached dwelling providing a minimum 1.23m interior side yard setback with eaves encroaching an additional 0.61m, where 1.8m is required and where eaves may encroach 0.6 m into the required 1.8m yard but not closer than 0.6 m to the lot line.

**PL-MV-2025-00065 JESSE HAMMELL
CHRIS GOODE**

Ward: 2

PIN(s) 733950513, North 1/4 of Part Lot 8, Concession 6, Township of Lorne, 1150 Spanish River Road, Whitefish, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.10.3 (d) and Section 4.3 and Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an additional dwelling unit in an accessory building providing, firstly, a 59.0m setback from the main building, where an additional dwelling unit shall be located no more than 30.0m from the main building at its closest in the Rural (RU) Zones, secondly, no frontage on an assumed road and a minimum lot frontage of 0.0m, whereas no person shall erect any building on any lot that does not have frontage on an assumed road and where a minimum lot frontage of 90.0m is required.

PL-MV-2025-00066 BRANDON DIGBY

Ward: 2

PIN(s) 733820873, SRO, Lots 15 & 16, Plan M-425, save and except Part 1, Plan 53R-16392, Part Lot 6, Concession 1, Township of Denison, 3 Randolph Road, Whitefish, [By-law 2010-100Z, R1-2]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of detached garage providing a maximum height of 6.7m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

**PL-MV-2025-00067 MARCEL HOULE
TRACEY HOULE**

Ward: 3

PIN(s) 733500265, Parcel 26812 SEC SWS, Part Lot 5, Concession 3, Part 1, Plan SR-1942, Township of Balfour, 2850 Highway 144, Chelmsford, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 7.93m, where the height of any building or structure accessory to a residential dwelling shall be 6.5 metres.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0264/1979 (Sep 10/79) AND MINOR VARIANCE APPLICATION A0170/1979 (Sep 10/79)

PL-MV-2025-00068 SUDBURY APARTMENT RENTALS LIMITED

Ward: 12

PIN(s) 021310156, Lots 161-163, Plan 18-SB, Part Lot 5, Concession 4, Township of McKim, 220 and 222 King Street, Sudbury, [By-law 2010-100Z, R2-3]

For permission under Section 45(2) of the Planning Act, R.S.O. 1990, c. P.13 to expand the legal non-conforming use of the existing building from 12 dwelling units to 16 dwelling units, providing a minimum lot area of 80.0 sq. m per dwelling unit.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0036/1987 (Feb 12/87)

PL-MV-2025-00069 PATRICK BROUZES

Ward: 9

PIN(s) 734720124, Parcel 27188 SEC SES SRO, Lot 26, Plan M-480, Part Lot 12, Concession 2, Township of Broder, 2570 South Shore Road, Sudbury, [By-law 2010-100Z, R1-1]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of detached garage providing, a maximum height of 7.76m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION
A0088/1993 (MAY 3/93)

This application was deferred from the meeting of May 14, 2025 in order to afford the owner the opportunity to address those comments received from agencies and departments.

PL-MV-2025-00041 ADAM MARTEL

Ward: 6

PIN(s) 735080509, Parcel 32620 SEC SES SRO, Lot 20, Plan M-476, Part Lot 12, Concession 2, Township of Capreol, 4317 Odile Street, Hanmer, [By-law 2010-100Z, R1-5]

REVISED

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.1 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a main dwelling with three additional dwelling units on the proposed lot, subject to Consent Application B0106/2024, providing firstly, a rear yard setback of 4.6m with eaves encroaching an additional 0.5m, where 7.5m is required and where eaves may encroach 1.2m into the required 7.5m rear yard but not closer than 0.6 m to the lot line, and secondly, for the balconies to encroach 2.9m into the required rear yard and provide a setback of 4.6m from the rear lot line, where balconies may only encroach 1.8m into the required 7.5m rear yard.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0106/2024 (27 JAN 25)

A reminder... the next scheduled meeting is Wednesday, June 25, 2025.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00047

APPLICATION SUMMARY

File Date: 04/09/2025

Application Type: Minor Variance

Address(es): 27 Alice Street, Garson P3L 1M3

Applicant(s): ALAIN BEAULIEU

Owner(s): ALAIN BEAULIEU

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2005

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

2

What is the number of proposed new dwelling units on the property?

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area 1

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Minor variance is requested for the interior side yard setback from the two-story addition to the property line. The Zoning By-Law requires a 1.8m setback and I have 1.231m.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The Zoning By-Law requires a 1.8m setback and I have 1.231m.

Is there an eave encroachment?

Yes

Size of eaves

0.61

Lot Frontage of the property

33.275

Lot Depth of the property

91.44

Lot Area of the property

3042.7

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

1972 and renovation 2025

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

R1-5 since 1972

Is the use remaining the same? If no, please provide the proposed new use

Residential

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

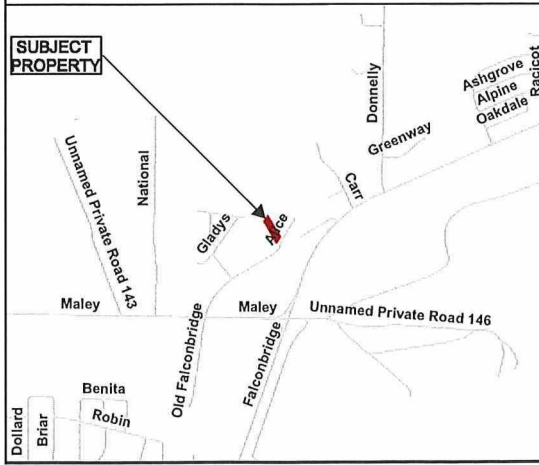
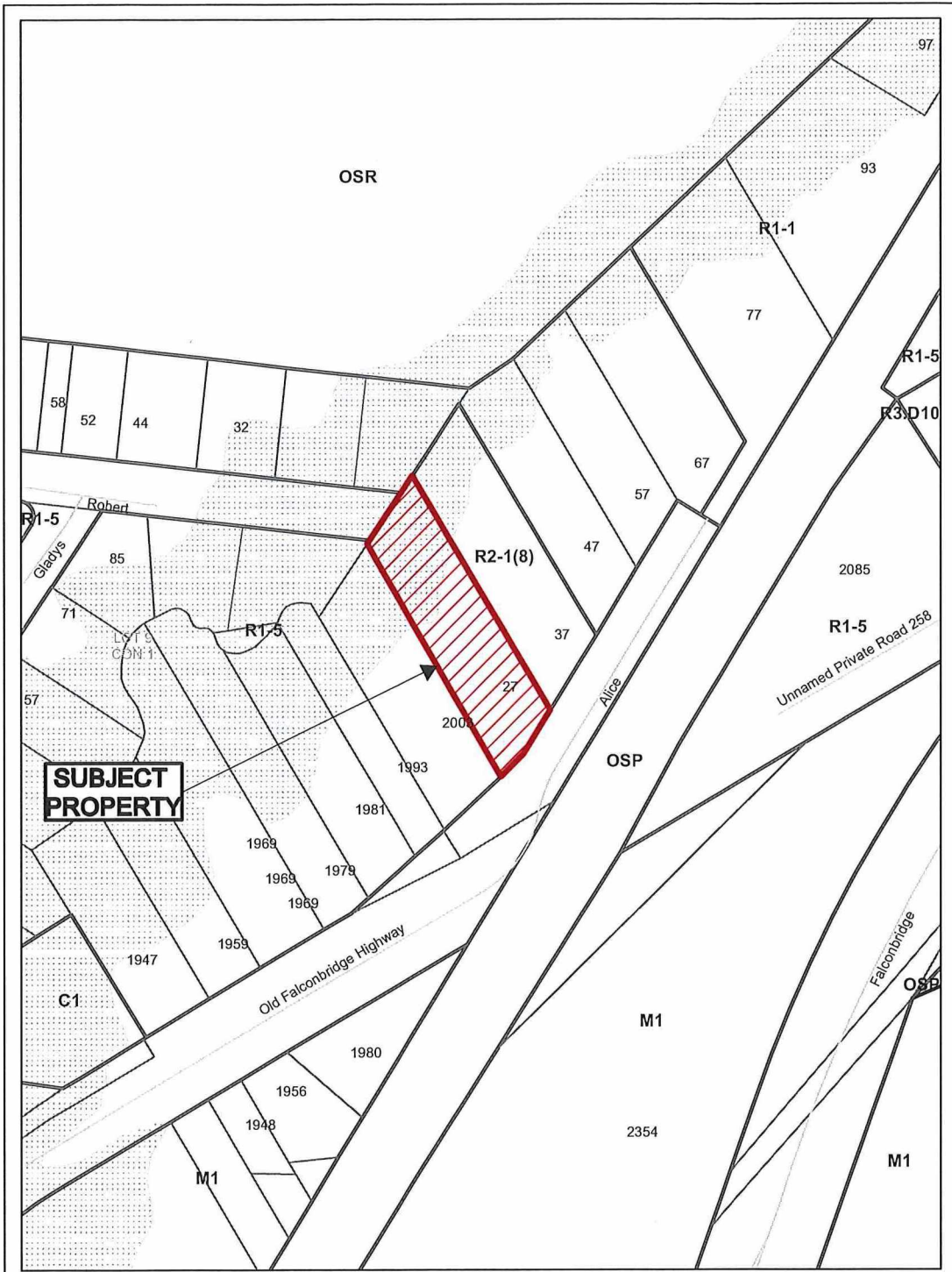
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
house with attached garage (garage rebuilt)	Yes	201.08	368.06	2	13.424	17.342	7.711	11.81	78.3	14.701	1.231
shed	Yes										

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House with attached garage (garage will be demolished and rebuilt)	No	175.44	291.6	1	12.262	17.088	5.182	14.4	81.9	14.701	1.7777
shed	No	9.4	9.4	1	2.591	3.657	3.658	32	62.2	25.6	0
Pool	No	59.78	59.78	0	5.48	10.91	0	37.4	59	10.9	12.5

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
6.3 Zone Standards R1-5 Minimum Interior Side Yard + 3	Minimum Interior Side yard is 1.8m (1.2 + 0.6 for each full storey above the first storey abutting such yard)	1.23m	0.57m



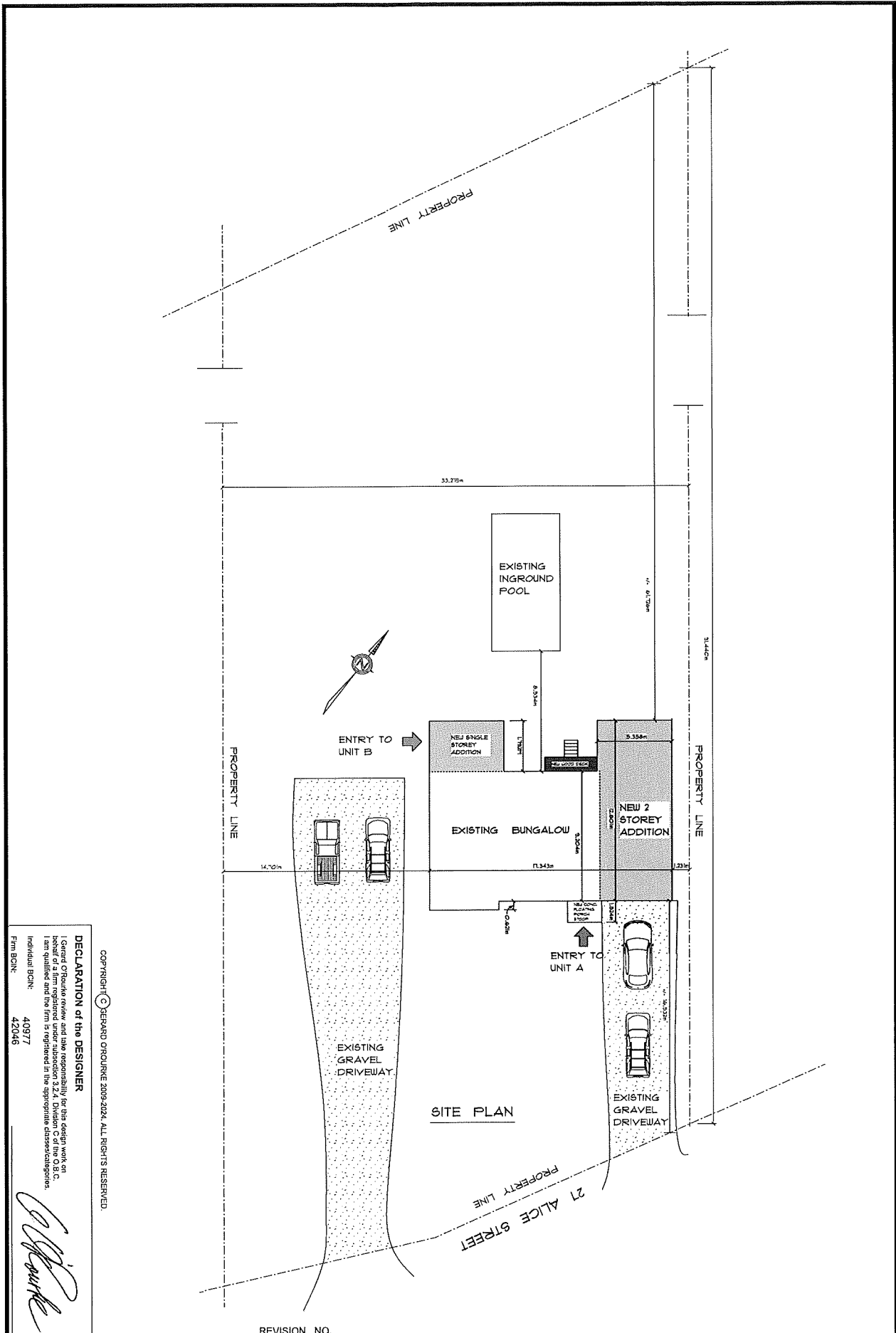
N

**Application for Minor
Variance or Permission**

Subject Property being PIN 73496-0184,
Parcel 27025 SEC SES,
Part Lot 9, Plan M-252,
Part Lot 9, Concession 1,
Township of Garson,
27 Alice Street, Garson,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00047
Date: 2025 04 17



DECLARATION of the DESIGNER

I, Gerard O'Rourke, hereby declare that I am a qualified person in the profession of architecture and I am qualified and the firm is registered in the appropriate discipline/profession.

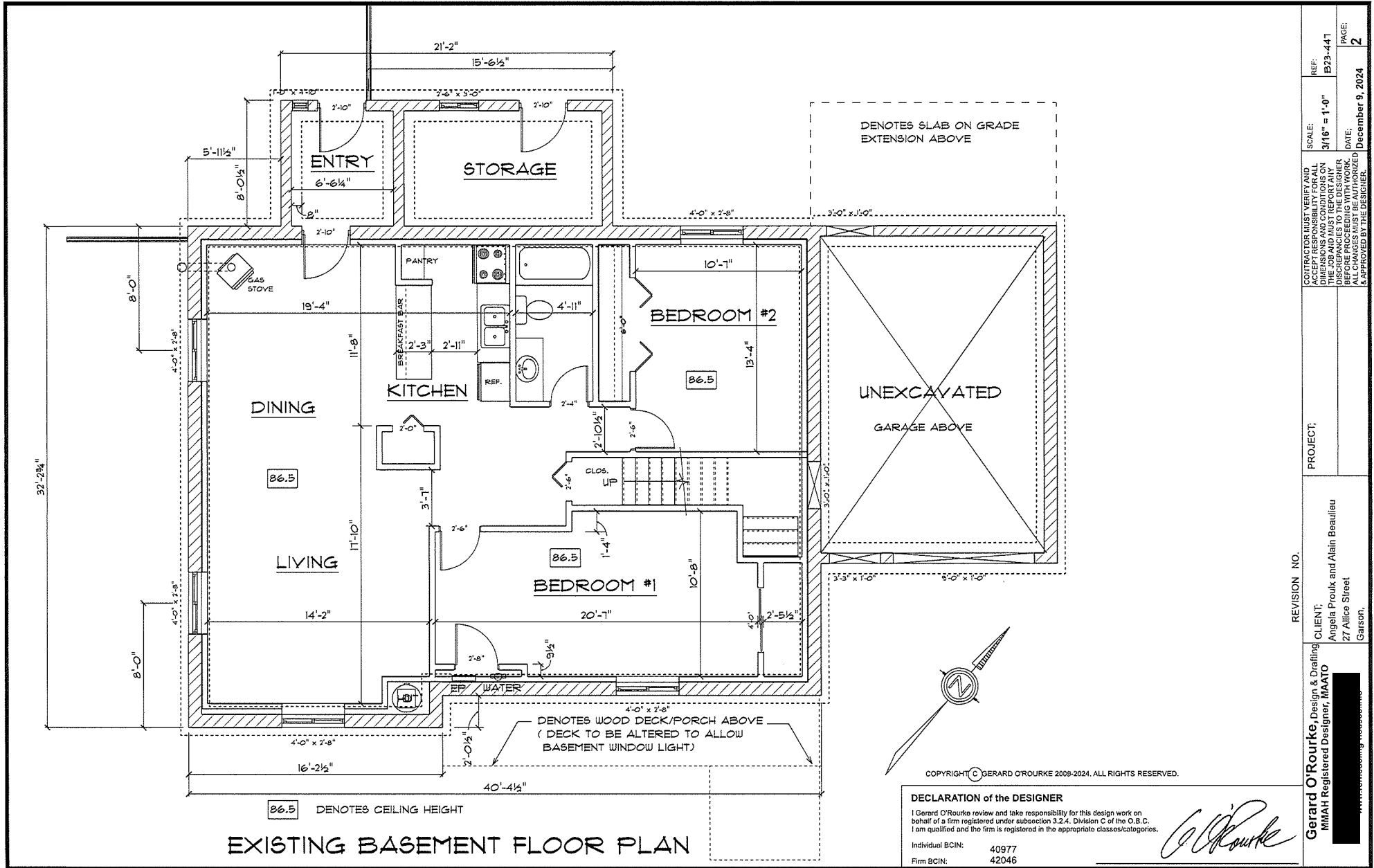
Individual BCIN: 40977
Firm BCIN: 42046

Gerard O'Rourke

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GERARD O'ROURKE, Design & Drafting MMAH Registered Designer, MAATO www.remolding-houses.info	CLIENT: Angela Proulx and Alain Beauille 27 Alice Street Garson,	PROJECT: 	CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.	SCALE: 1:120 DATE: December 9, 2024	REF: B23-44T PAGE: 1
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PL-MV-2025-00047 sketch 3

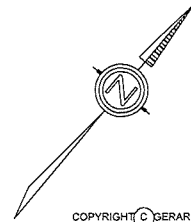


EXISTING BASEMENT FLOOR PLAN

86.5 DENOTES CEILING HEIGHT

DENOTES SLAB ON GRADE EXTENSION ABOVE

DENOTES WOOD DECK/PORCH ABOVE (DECK TO BE ALTERED TO ALLOW BASEMENT WINDOW LIGHT)



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DECLARATION of the DESIGNER

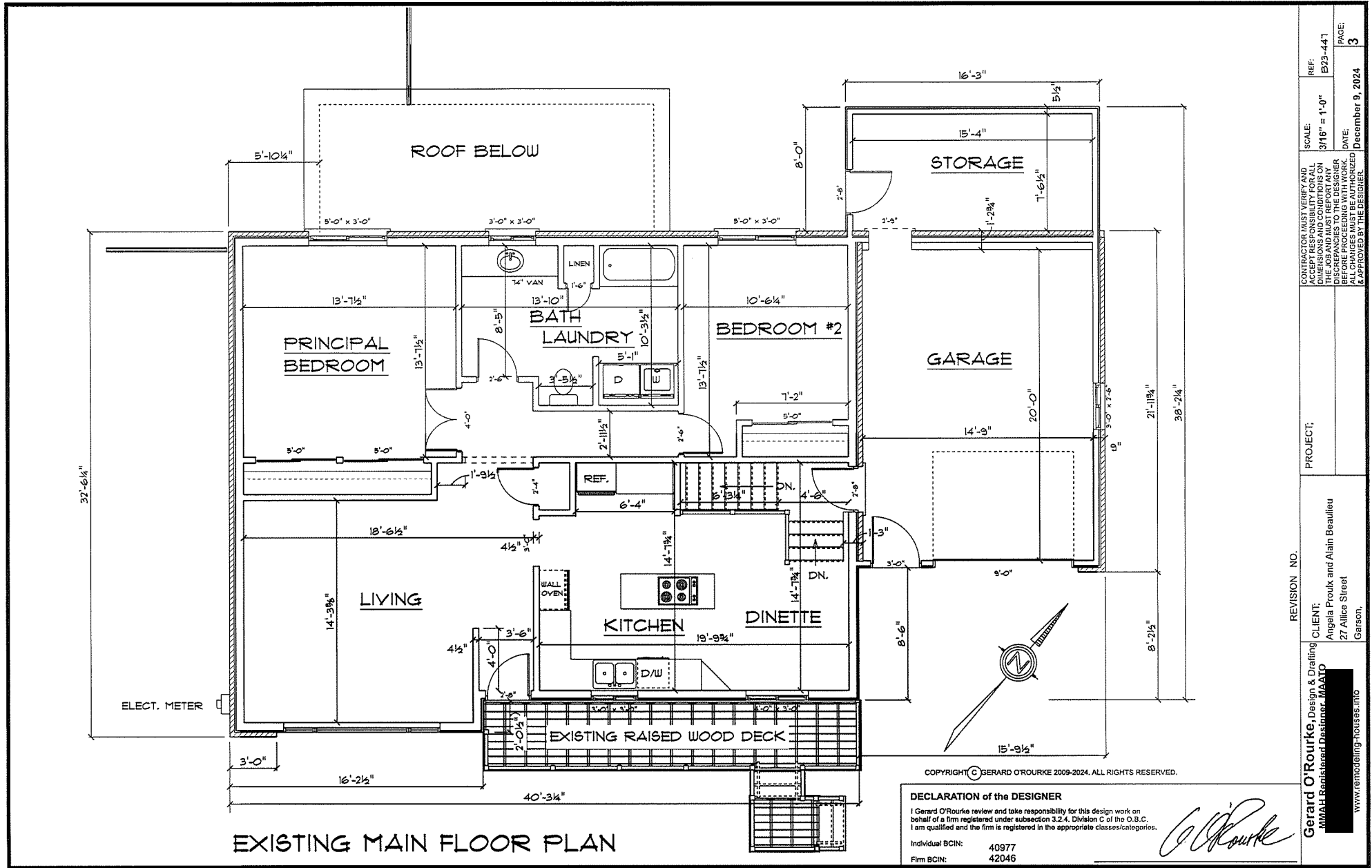
I Gerard O'Rourke review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate class/categories.

Individual BCIN: 40977
Firm BCIN: 42046

Gerard O'Rourke

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL WORK SHOWN ON THE DRAWINGS AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. THIS DOCUMENT IS PREPARED, CHECKED & APPROVED BY THE DESIGNER.	SCALE: 3/16" = 1'-0"	REF: B23-441
	DATE: December 9, 2024	PAGE: 2
REVISION NO.	PROJECT:	CLIENT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson,
GERARD O'ROURKE, Design & Drafting MIMAH Registered Designer, MAAATO	www.mimahdesign.com	

PL-MV-2025-00047
Sketch 4



EXISTING MAIN FLOOR PLAN

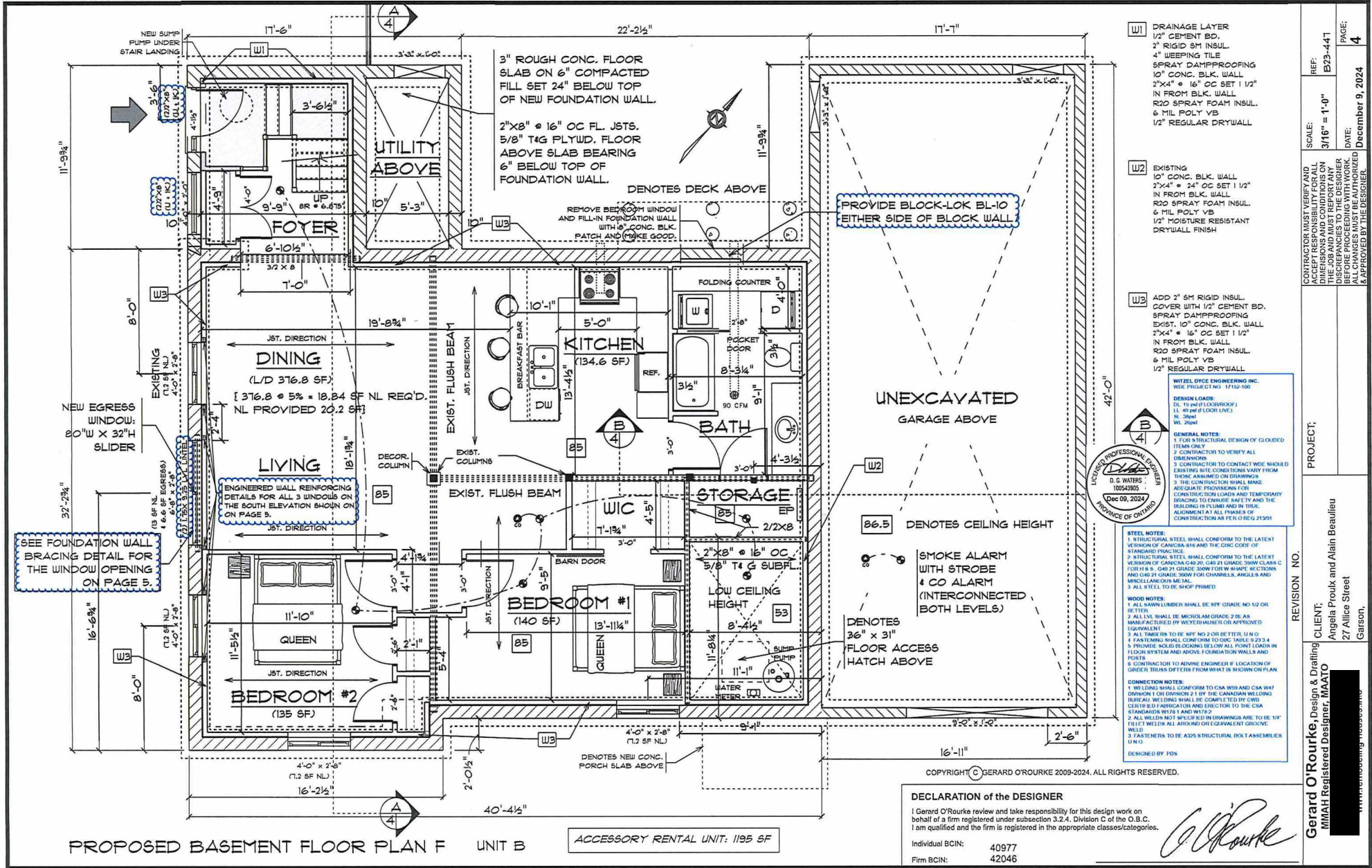
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DECLARATION of the DESIGNER
 I, Gerard O'Rourke, review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.
 Individual BCIN: 40977
 Firm BCIN: 42046

Gerard O'Rourke

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK & APPROVED BY THE DESIGNER.	SCALE: 3/16" = 1'-0"	REF: E23-441
	DATE: December 9, 2024	PAGE: 3
REVISION NO.	PROJECT:	CLIENT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson,
GERARD O'ROURKE, Design & Drafting MMARH Registered Designer, MAARO www.remodeling-houses.mto		

PL-MV-2025-00047
 sketch 5



PROPOSED BASEMENT FLOOR PLAN F UNIT B

ACCESSORY RENTAL UNIT: 1195 SF

DECLARATION of the DESIGNER

I, Gerard O'Rourke, review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Individual BCIN: 40977
Firm BCIN: 42046

Gerard O'Rourke

- U1 DRAINAGE LAYER
1/2" CEMENT BD.
2" RIGID SM INSUL.
4" WEeping TILE
SPRAY DAMPROOFING
10" CONC. BLK. WALL
2"x4" x 16" OC SET 1 1/2"
IN FROM BLK. WALL
R20 SPRAY FOAM INSUL.
6 MIL POLY VB
1/2" REGULAR DRYWALL
- U2 EXISTING
10" CONC. BLK. WALL
2"x4" x 24" OC SET 1 1/2"
IN FROM BLK. WALL
R20 SPRAY FOAM INSUL.
6 MIL POLY VB
1/2" MOISTURE RESISTANT
DRYWALL FINISH
- U3 ADD 2" SM RIGID INSUL.
COVER WITH 1/2" CEMENT BD.
SPRAY DAMPROOFING
EXIST. 10" CONC. BLK. WALL
2"x4" x 16" OC SET 1 1/2"
IN FROM BLK. WALL
R20 SPRAY FOAM INSUL.
6 MIL POLY VB
1/2" REGULAR DRYWALL

- W1 PROVIDE BLOCK-LOK BL-10
EITHER SIDE OF BLOCK WALL
- W2 REMOVE BEDROOM WINDOW
AND FILL-IN FOUNDATION WALL
WITH 10" CONC. BLK.
PATCH AND MAKE GOOD.
- W3 ADD 2" SM RIGID INSUL.
COVER WITH 1/2" CEMENT BD.
SPRAY DAMPROOFING
EXIST. 10" CONC. BLK. WALL
2"x4" x 16" OC SET 1 1/2"
IN FROM BLK. WALL
R20 SPRAY FOAM INSUL.
6 MIL POLY VB
1/2" REGULAR DRYWALL

WITZEL DICE ENGINEERING INC.
WIDE PROTECTING 1710-108
DESIGN LOADS:
DL 15 and (if floor/roof)
LL 40 and (if floor level)
SL 30 and
WL 20 and

GENERAL NOTES:
1. FOR STRUCTURAL DESIGN OF CLOUDED
ITEMS ONLY
2. CONTRACTOR TO VERIFY ALL
DIMENSIONS
3. CONTRACTOR TO CONTACT WIDE SHOULD
EXISTING SITE CONDITIONS VARY FROM
THOSE ASSUMED ON DRAWINGS
4. THE CONTRACTOR SHALL MAKE
APPROPRIATE PROVISIONS FOR
CONSTRUCTION LOADS AND TEMPORARY
LOADS TO MAINTAIN SAFETY AND
THE BUILDING IS TO BE IN THE
ALIGNMENT AT ALL PHASES OF
CONSTRUCTION AS PER OREGON REG 31931

STEEL NOTES:
1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST
VERSION OF CANCSA S16 AND THE CANC CODE OF
STANDARD PRACTICE
2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST
VERSION OF CANCSA S40, S40.2, S40.3, S40.4
FOR H S, S40.21 GRADE, S40.309 FOR W SHAPE, S40.309
AND S40.21 GRADE, S40.309 FOR CHANNELS, ANGLES AND
MISCELLANEOUS METAL
3. ALL STEEL TO BE SHEEP PRIMED

WOOD NOTES:
1. ALL SAWN LUMBER SHALL BE SPS GRADE NO 1 OR
BETTER
2. ALL LVL SHALL BE MICRO LAM GRADE 2 OR AS
MANUFACTURED BY Weyerhaeuser OR APPROVED
EQUIVALENT
3. ALL TIMBERS TO BE SPS NO 2 OR BETTER LVL OR
4. FASTENERS SHALL CONFORM TO CANC TABLE S2.3.4
5. PROVIDE SOLID BLOCKS BELOW ALL POINT LOADS IN
FLOOR SYSTEM AND ABOVE FOUNDATION WALLS AND
POSTS
6. CONTRACTOR TO ADVISE ENGINEER IF LOCATION OF
GIBBER TRUCK DIFFERS FROM WHAT IS SHOWN ON PLAN

CONNECTION NOTES:
1. WELDING SHALL CONFORM TO CSA W590 AND CSA W547
DIVISION 1 OR DIVISION 2 BY THE CANADIAN WELDING
BUREAU. WELDING SHALL BE COMPLETED BY CWB
CERTIFIED FABRICATOR AND INSPECTION TO THE CANC
STANDARDS W776.1 AND W776.2
2. ALL WELDS NOT SPECIFIED IN DRAWINGS ARE TO BE 1/4"
FILLET WELDS ALL AROUND ON EQUIVALENT GROOVE
WELLS
3. FASTENERS TO BE A305 STRUCTURAL BOLT ASSEMBLER
UNLESS

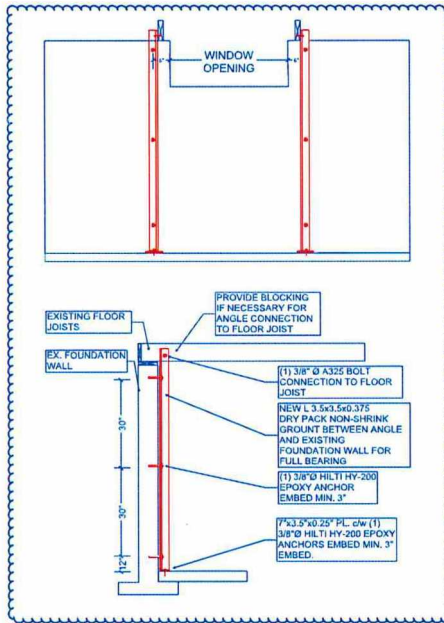
DESIGNED BY YDS

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON DRAWINGS. DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED IN WRITING BY THE DESIGNER.	SCALE: 3/16" = 1'-0"	REF: B23-447	PAGE: 4
PROJECT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson,	REVISION NO.	DATE: December 9, 2024	

PL-MV-2025-00047
Sketch 6

17152-100

27 ALICE ST. - ADDITION
FOUNDATION WALL BRACING DETAIL



WITZEL DYCE ENGINEERING INC.
WDE PROJECT NO. 17152-100

DESIGN LOADS:
DL: 15 psf (LOORROOF)
LL: 40 psf (FLOOR LEVEL)
WL: 30psf
WS: 20psf

GENERAL NOTES:
1. FOR STRUCTURAL DESIGN OF CLOUDED ITEMS ONLY
2. CONTRACTOR TO VERIFY ALL TIME SENSITIVE
3. CONTRACTOR TO CONTACT WDE SHOULD EXISTING SITE CONDITIONS VARY FROM THOSE ASSUMED ON DRAWINGS
4. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE SPECIFIED
5. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO ENSURE SAFETY AND THE BUILDING IS PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF CONSTRUCTION AS PER O REG 21591

STEEL NOTES:
1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CANCSA S315 AND THE CAN CODE OF STANDARD PRACTICE
2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CANCSA G40.20 G40.21 GRADE 300W GRADE C FOR I, H, L, G40.21 GRADE 300W FOR W SHAPES, SECTIONS AND CHANNELS; 300W FOR CHANNELS, ANGLES AND MISCELLANEOUS METAL
3. ALL STEEL TO BE SHOP PRIMED

WOOD NOTES:
1. ALL WOOD LUMBER SHALL BE SPT GRADE NO 1/2 OR BETTER
2. ALL LVL SHALL BE MICRO AND GRADE 2 OR AN EQUIVALENT LUMBER BY Weyerhaeuser OR APPROVED EQUIVALENT
3. ALL TIMBERS TO BE SPT NO 2 OR BETTER, U N D
4. FASTENING SHALL CONFORM TO O RC TABLE 8.23.4
5. PROVIDE WOOD BLOCKING BELOW ALL POINT LOADS IN FLOOR SYSTEM AND ABOVE FOUNDATION WALLS AND POINTS
6. CONTRACTOR TO ADVISE ENGINEER IF LOCATION OF CURBED TRIM DIFFERS FROM WHAT IS SHOWN ON PLAN

CONNECTION NOTES:
1. WELDING SHALL CONFORM TO CSA W59 AND CSA W57 DIVISION 1 OR DIVISION 2 BY THE CANADIAN WELDING INSTITUTE. WELDING SHALL BE COMPLETED BY CERTIFIED FABRICATOR AND THE CTOR TO THE CSA STANDARDS W81.1 AND W81.2
2. ALL WELDS NOT SPECIFIED IN DRAWINGS ARE TO BE FULL PENET WELD ALL AROUND OR EQUIVALENT GROOVE WELD
3. FASTENERS TO BE AS PER STRUCTURAL DETAIL ASSEMBLIES U N D

DESIGNED BY PDR



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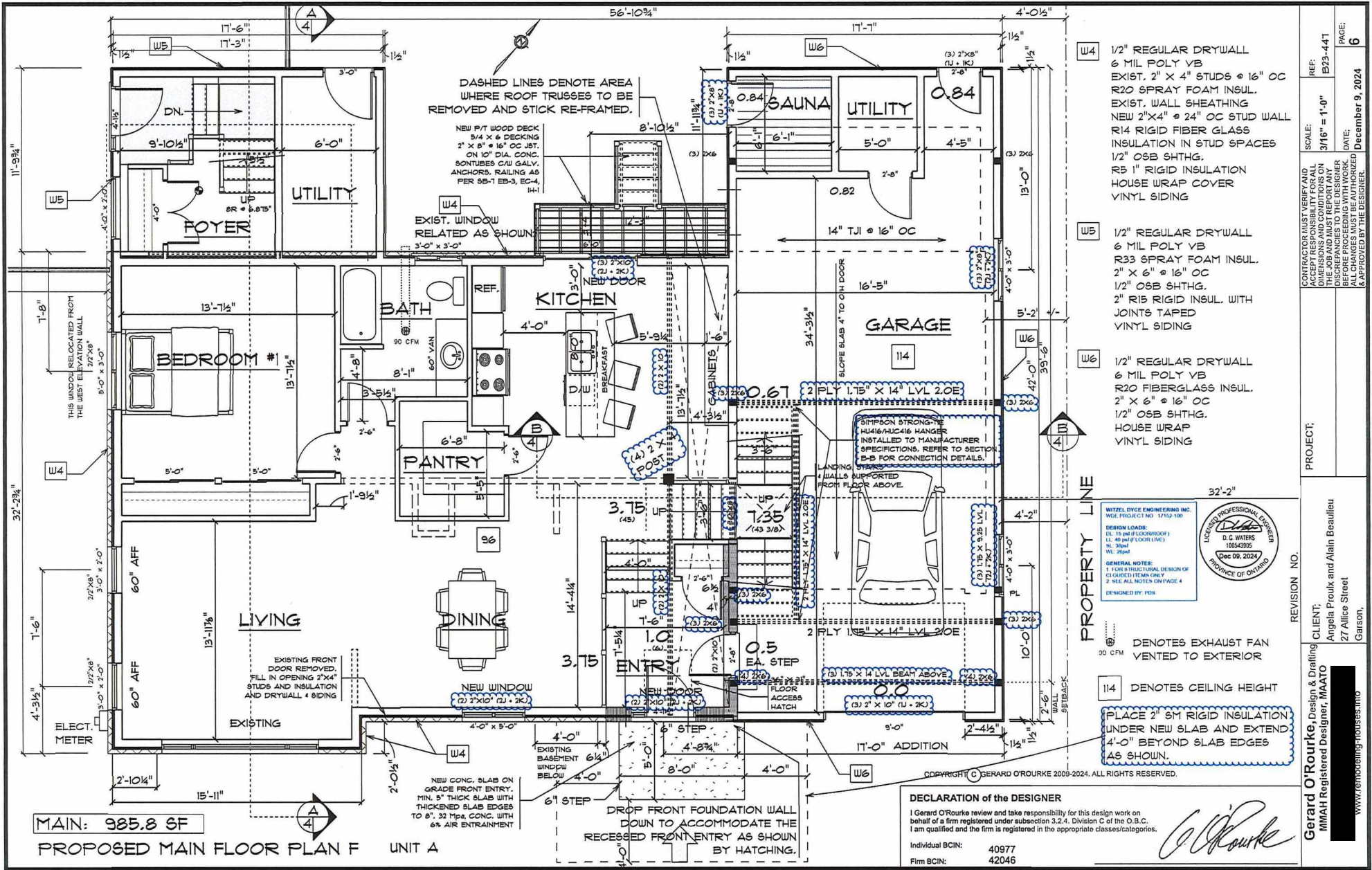
DECLARATION of the DESIGNER

I, Gerard O'Rourke, review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

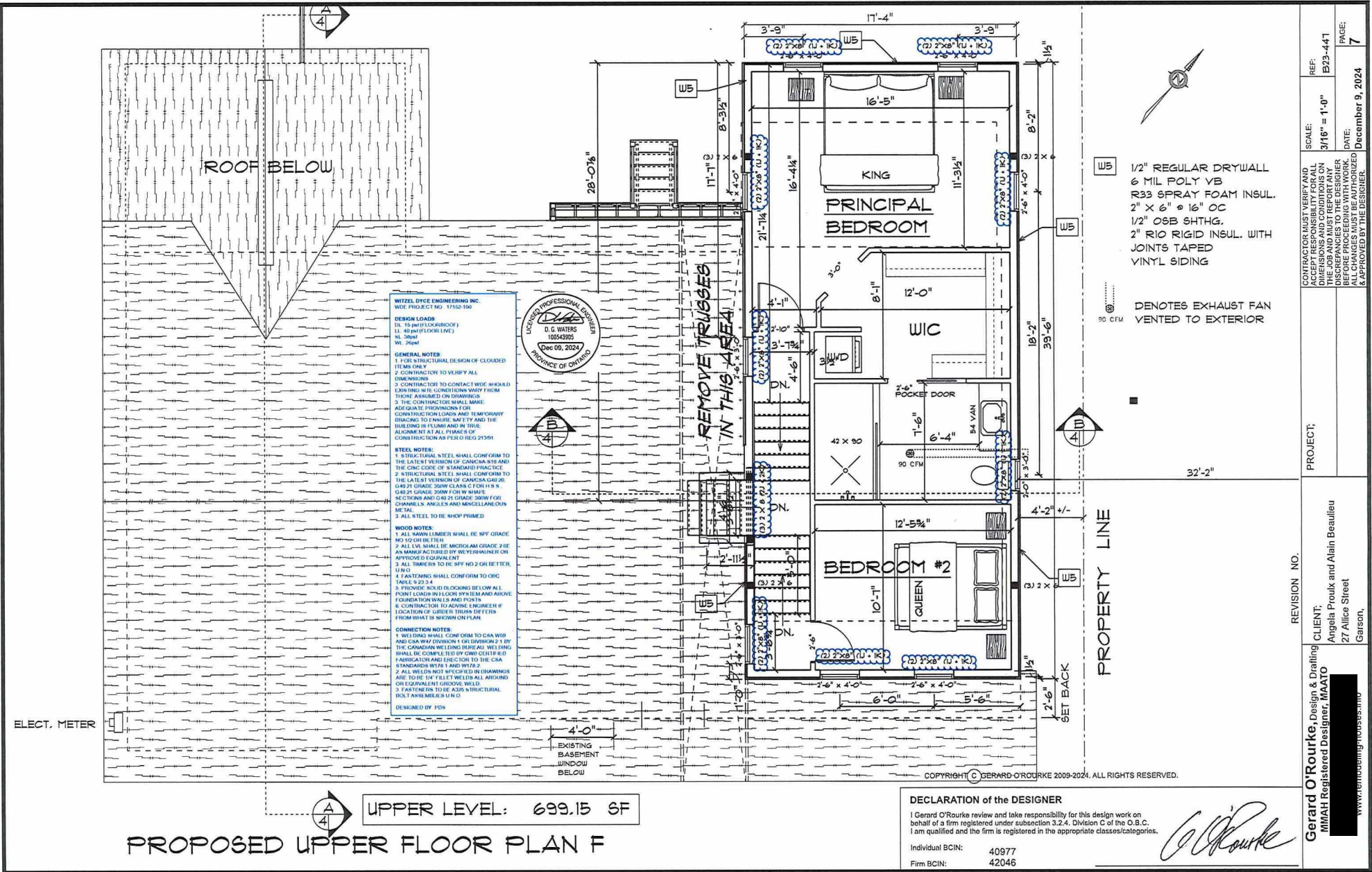
Individual BCIN: 40977
Firm BCIN: 42046

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON DRAWINGS. THE CONTRACTOR SHALL MAKE DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.	SCALE: 3/8" = 1'-0"	REF: B23-44T	PAGE: 5
	PROJECT:	REVISION NO.:	DATE: December 9, 2024
CLIENT: Angela Proulx and Alain Beaulieu 27 Alice Street Garrison,		GERARD O'ROURKE, Design & Drafting MMAAH Registered Designer, MAAATO www.remodeling-houses.info	

PL-MV-2025-00047
Sketch 7



PL-MV-2025-00047
 Sketch 8



ELECT. METER

UPPER LEVEL: 699.15 SF
PROPOSED UPPER FLOOR PLAN F

WITTEL DWCE ENGINEERING INC.
 WDE PROJECT NO. 17150-100

DESIGN LOADS
 DL 15 psf (FLOOR/ROOF)
 LL 40 psf (FLOOR/LIVE)
 WL 30psf
 WS 20psf

GENERAL NOTES
 1. FOR STRUCTURAL DESIGN OF CLOUDED ITEMS ONLY
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS
 3. CONTRACTOR TO CONTACT WDE SHOULD CONFLICTS IN ANY DIMENSIONS VARY FROM THOSE ASSUMED ON DRAWINGS
 4. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO ENSURE SAFETY AND THE BUILDING IS PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF CONSTRUCTION AS PER O REG 21351

STEEL NOTES
 1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CANCSA 315 AND THE CONC CODE OR STANDARD PRACTICE
 2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CANCSA 348.6
 3. 40# 21 GRADE 300W CLASS C FOR 18\"/>



REMOVE TRUSSES IN THIS AREA

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DECLARATION of the DESIGNER

I Gerard O'Rourke review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Individual BCIN: 40977
 Firm BCIN: 42046

Gerard O'Rourke

W5 1/2" REGULAR DRYWALL
 6 MIL POLY VB
 R33 SPRAY FOAM INSUL.
 2" X 6" @ 16" OC
 1/2" OSB SHING.
 2" RIO RIGID INSUL. WITH JOINTS TAPED
 VINYL SIDING

90 CFM DENOTES EXHAUST FAN VENTED TO EXTERIOR

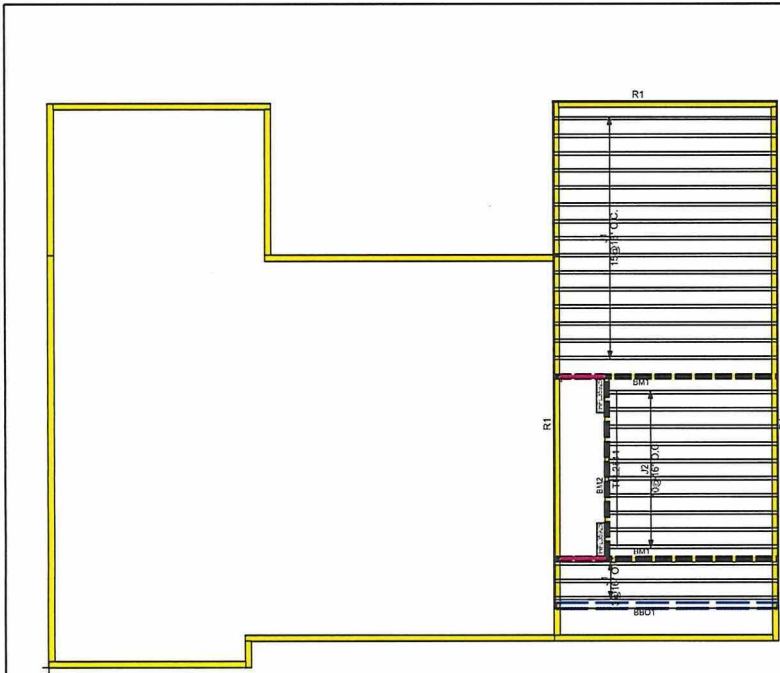
PROPERTY LINE

SET BACK

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE. DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. THIS DOCUMENT IS FORWARDED & APPROVED BY THE DESIGNER.	SCALE: 3/16" = 1'-0"	REF: B23-441
PROJECT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson.	DATE: December 9, 2024	PAGE: 7
REVISION NO.		

PL-MV-2025-00047

Sketch 9

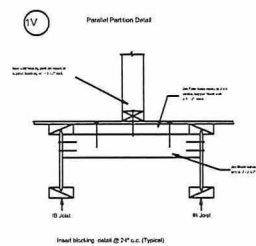
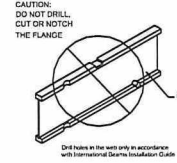
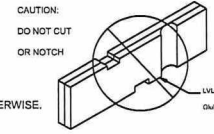


NOTES:
 1. ALL DIMENSIONS FROM OUTSIDE OF FOUNDATION WALLS.
 2. HEADERS BY OTHERS.
 3. ADJUST JOISTS TO ACCOMMODATE FOR TOILET FLANGES & DRAINS.
 4. NO ROOF LOADS TO BE IMPOSED ON FLOOR MEMBERS UNLESS INDICATED OTHERWISE.
 5. ALL ROOF & FLOOR POINT LOADS TO BE SUFFICIENTLY SUPPORTED BY OTHER.
 6. BBO=BEAM BY OTHER.
 7. DBBO=DROPPED BEAM BY OTHER.

DEFLECTION CRITERIA: L/360 LL & L/240 T.L.
 DECKING MATERIAL: 5/8" SUBFLOOR
 DIRECTLY APPLIED CEILING: 1/2" GYPSUM
 BLOCKING REQUIRED AS SHOWN ON PLAN.

Product	Length	Product	Pieces	Net Qty
J1	18'-00"	1/4" ALJ380 140	1	16
J2	14'-00"	1/4" ALJ380 140	1	10
BM1	18'-00"	1-3/4" x 14" VERSA-LAMB LVL 2.1E 3100 SP	2	4
BM2	14'-00"	1-3/4" x 14" VERSA-LAMB LVL 2.1E 3100 SP	2	2
R1	12'-00"	1 1/8" x 14" APA Rim Board	1	8

Qty	Manuf	Product
2	MITEK	IHF1L5625
10	MITEK	TFL2514



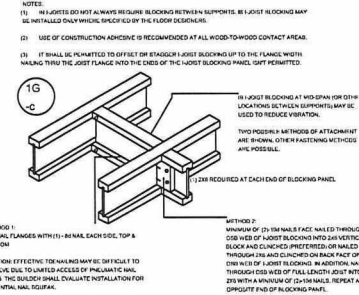
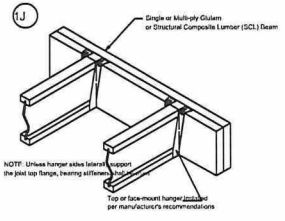
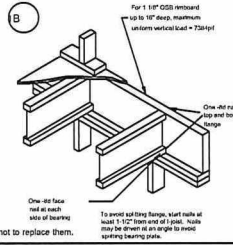
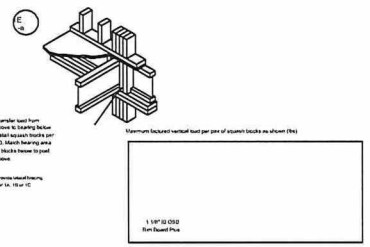
Course # 24-2852E
 Order # DATE: 11/19/2024
 Lvl Def: 100
 Pl Def: 100
 Spng: 18" O.C.
 Design Criteria: LED
 Code Desc: MISC. 2015
 Version of Calc: INITIAL SHEET/REV. 0/5

** No special structural reviews or site inspections are included in this design.
 ** Refer to www.structural.com for TRC 2011 tables on design responsibilities.
 ** All slope heights are measured from top of main sub-floor (Lvl 0).
 ** Design of all lateral support, such as bracing, is to be done by JLCM.

Designer: MKM
 Checker:
 TO Link: 40.0 PSF
 10 Deck: 10.0 PSF
 10 Deck: 0.0 PSF
 BC Link: 5.0 PSF
 BC Deck: 5.0 PSF
 TOTAL LOADS: 65.0 PSF

CONVENTIONAL FRAMING
 This frame is subject to deflection with a deflection limit of L/360. Deck joists shall be braced under each at 12' on center. Joist ends shall be braced at 6' on center. All bracing shall be installed in accordance with the manufacturer's instructions and shall not exceed 6'.

SINGLE ACCOUNT
 27 Alice St



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DECLARATION of the DESIGNER

I Gerard O'Rourke review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Individual BCIN: 40977
 Firm BCIN: 42046

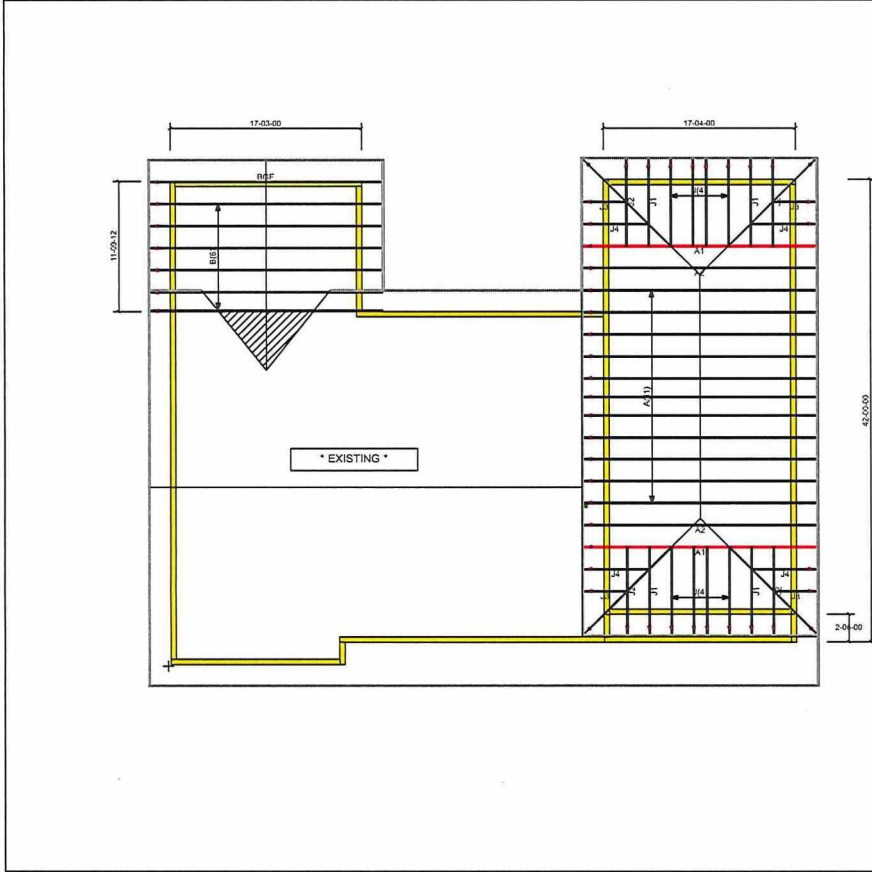
Gerard O'Rourke

REVISION NO. _____

PROJECT: Angela Proulx and Alain Beaulieu
 27 Alice Street
 Garson,

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE. DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. APPROVED BY THE DESIGNER.

SCALE: 3/16" = 1'-0"
 REF: B23-44T
 DATE: December 9, 2024
 PAGE: 8



ROOF NOTES:
 - 5/12 & 6/12 PITCH
 - 24" FINISHED OVERHANG
 - 2X6 BEARING WALLS
 - ALL DIMENSIONS ARE FROM OUTSIDE FRAME
 - DIMENSIONS READ AS FEET-INCHES-SIXTEENTHS
 - ALL BEAMS NOTED ARE BY OTHERS

* OVERHANGS AND HEEL HEIGHTS NEED CONFIRMATION *

CONVENTIONAL (FLOOR) Category: A (per C 15.0) or B (per C 15.1) or C (per C 15.2) or D (per C 15.3) or E (per C 15.4) or F (per C 15.5) or G (per C 15.6) or H (per C 15.7) or I (per C 15.8) or J (per C 15.9) or K (per C 15.10) or L (per C 15.11) or M (per C 15.12) or N (per C 15.13) or O (per C 15.14) or P (per C 15.15) or Q (per C 15.16) or R (per C 15.17) or S (per C 15.18) or T (per C 15.19) or U (per C 15.20) or V (per C 15.21) or W (per C 15.22) or X (per C 15.23) or Y (per C 15.24) or Z (per C 15.25) or AA (per C 15.26) or AB (per C 15.27) or AC (per C 15.28) or AD (per C 15.29) or AE (per C 15.30) or AF (per C 15.31) or AG (per C 15.32) or AH (per C 15.33) or AI (per C 15.34) or AJ (per C 15.35) or AK (per C 15.36) or AL (per C 15.37) or AM (per C 15.38) or AN (per C 15.39) or AO (per C 15.40) or AP (per C 15.41) or AQ (per C 15.42) or AR (per C 15.43) or AS (per C 15.44) or AT (per C 15.45) or AU (per C 15.46) or AV (per C 15.47) or AW (per C 15.48) or AX (per C 15.49) or AY 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(per C 20.50) or UF (per C 20.51) or UG (per C 20.52) or UH (per C 20.53) or UI (per C 20.54) or UJ (per C 20.55) or UK (per C 20.56) or UL (per C 20.57) or UM (per C 20.58) or UN (per C 20.59) or UO (per C 20.60) or UP (per C 20.61) or UQ (per C 20.62) or UR (per C 20.63) or US (per C 20.64) or UT (per C 20.65) or UU (per C 20.66) or UV (per C 20.67) or UW (per C 20.68) or UX (per C 20.69) or UY (per C 20.70) or UZ (per C 20.71) or VA (per C 20.72) or VB (per C 20.73) or VC (per C 20.74) or VD (per C 20.75) or VE (per C 20.76) or VF (per C 20.77) or VG (per C 20.78) or VH (per C 20.79) or VI (per C 20.80) or VJ (per C 20.81) or VK (per C 20.82) or VL (per C 20.83) or VM (per C 20.84) or VN (per C 20.85) or VO (per C 20.86) or VP (per C 20.87) or VQ (per C 20.88) or VR (per C 20.89) or VS (per C 20.90) or VT (per C 20.91) or VU (per C 20.92) or VV (per C 20.93) or VW (per C 20.94) or VX (per C 20.95) or VY (per C 20.96) or VZ (per C 20.97) or WA (per C 20.98) or WB (per C 20.99) or WC (per C 21.00) or WD (per C 21.01) or WE (per C 21.02) or WF (per C 21.03) or WG (per C 21.04) or WH (per C 21.05) or WI (per C 21.06) or WJ (per C 21.07) or WK (per C 21.08) or WL (per C 21.09) or WM (per C 21.10) or WN (per C 21.11) or WO (per C 21.12) or WP (per C 21.13) or WQ (per C 21.14) or WR (per C 21.15) or WS (per C 21.16) or WT (per C 21.17) or WU (per C 21.18) or WV (per C 21.19) or WW (per C 21.20) or WX (per C 21.21) or WY (per C 21.22) or WZ (per C 21.23) or XA (per C 21.24) or XB (per C 21.25) or XC (per C 21.26) or XD (per C 21.27) or XE (per C 21.28) or XF (per C 21.29) or XG (per C 21.30) or XH (per C 21.31) or XI (per C 21.32) or XJ (per C 21.33) or XK (per C 21.34) or XL (per C 21.35) or XM (per C 21.36) or XN (per C 21.37) or XO (per C 21.38) or XP (per C 21.39) or XQ (per C 21.40) or XR (per C 21.41) or XS (per C 21.42) or XT (per C 21.43) or XU (per C 21.44) or XV (per C 21.45) or XW (per C 21.46) or XX (per C 21.47) or XY (per C 21.48) or XZ (per C 21.49) or YA (per C 21.50) or YB (per C 21.51) or YC (per C 21.52) or YD (per C 21.53) or YE (per C 21.54) or YF (per C 21.55) or YG (per C 21.56) or YH (per C 21.57) or YI (per C 21.58) or YJ (per C 21.59) or YK (per C 21.60) or YL (per C 21.61) or YM (per C 21.62) or YN (per C 21.63) or YO (per C 21.64) or YP (per C 21.65) or YQ (per C 21.66) or YR (per C 21.67) or YS (per C 21.68) or YT (per C 21.69) or YU (per C 21.70) or YV (per C 21.71) or YW (per C 21.72) or YX (per C 21.73) or YY (per C 21.74) or YZ (per C 21.75) or ZA (per C 21.76) or ZB (per C 21.77) or ZC (per C 21.78) or ZD (per C 21.79) or ZE (per C 21.80) or ZF (per C 21.81) or ZG (per C 21.82) or ZH (per C 21.83) or ZI (per C 21.84) or ZJ (per C 21.85) or ZK (per C 21.86) or ZL (per C 21.87) or ZM (per C 21.88) or ZN (per C 21.89) or ZO (per C 21.90) or ZP (per C 21.91) or ZQ (per C 21.92) or ZR (per C 21.93) or ZS (per C 21.94) or ZT (per C 21.95) or ZU (per C 21.96) or ZV (per C 21.97) or ZW (per C 21.98) or ZX (per C 21.99) or ZY (per C 22.00) or ZZ (per C 22.01)	Design: MKM Drawn: TC: 1/4" = 1/8" P/F 1/2" Scale: 3/8 P/F 3/4" Scale: 1/2 P/F 1" Scale: 3/4 P/F 1 1/2" Scale: 1 P/F 2" Scale: 1 1/4 P/F 3" Scale: 1 3/4 P/F 4" Scale: 2 P/F 6" Scale: 3 P/F 8" Scale: 4 P/F 10" Scale: 5 P/F 12" Scale: 6 P/F 15" Scale: 7 1/2 P/F 20" Scale: 10 P/F 24" Scale: 12 P/F 30" Scale: 15 P/F 36" Scale: 18 P/F 48" Scale: 24 P/F 60" Scale: 30 P/F 72" Scale: 36 P/F 96" Scale: 48 P/F TOTAL LOADS: 448 P/F	Order # 24-2852 Order DATE: 11/28/2024 100 24' 0" 17'-03" 17'-04" 2'-04" 42'-00" 11'-00" 17'-03"-00" 17'-04"-00" 2'-04"-00" 42'-00"-00" * EXISTING * * OVERHANGS AND HEEL HEIGHTS NEED CONFIRMATION *
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DECLARATION of the DESIGNER

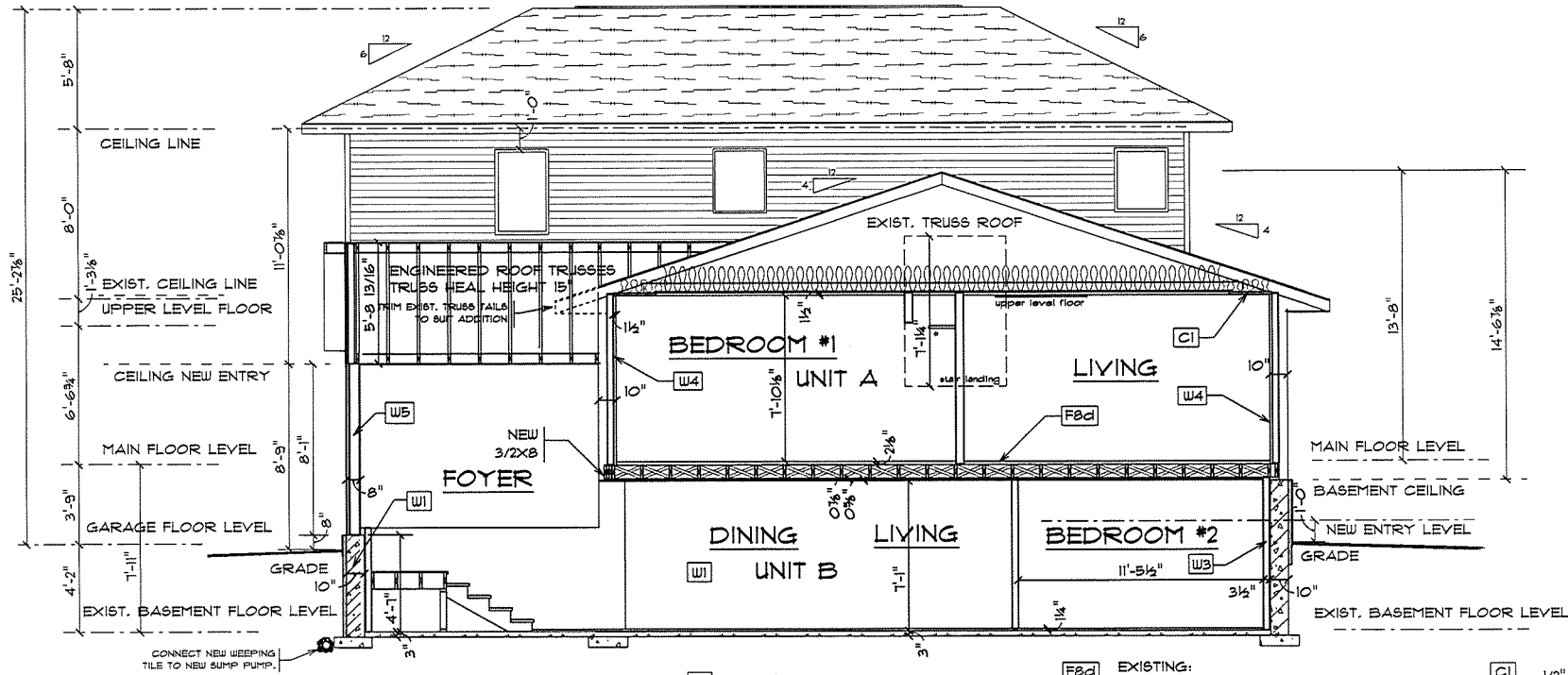
I, Gerard O'Rourke, review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Individual BCIN: 40977
 Firm BCIN: 42046

REVISION NO. CLIENT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson,	PROJECT: SINGLE ACCOUNT 27 Alice St	CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON DRAWINGS BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED IN WRITING BY THE DESIGNER.	SCALE: 1/8" = 1'-0" REF: B23-441 DATE: December 9, 2024 PAGE: 9
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 sketch 11

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SECTION A - A

W1 DRAINAGE LAYER
 1/2" CEMENT BD.
 2" RIGID SM INSUL.
 4" WEEPING TILE
 SPRAY DAMPPROOFING
 10" CONC. BLK. WALL
 2"x4" @ 16" OC SET 1/2"
 IN FROM BLK. WALL
 R20 SPRAY FOAM INSUL.
 6 MIL POLY VB
 1/2" REGULAR DRYWALL

W3 ADD 2" SM RIGID INSUL.
 COVER WITH 1/2" CEMENT BD.
 SPRAY DAMPPROOFING
 EXIST. 10" CONC. BLK. WALL
 2"x4" @ 16" OC SET 1/2"
 IN FROM BLK. WALL
 R20 SPRAY FOAM INSUL.
 6 MIL POLY VB
 1/2" REGULAR DRYWALL

F8d EXISTING:
 5/8" SUBFLOOR WOOD JOISTS @ 16" OC
 1/2" REGULAR DRYWALL TO BE REMOVED.
 PROPOSED:
 ADD 1.5" LIGHT WEIGHT CONC. TOPPING
 OVER SUBFL. TO ENCASE IN FLOOR TUBE
 HEATING SYSTEM.
 SB-3 TABLE 2, 30 MIN. FRR, STC 50-
 SAFE+ SOUND ABSORPTIVE BATTS
 RESILIENT CHANNELS @ 24" OC
 1 LAYER 5/8" TYPE "X" F/R DRYWALL

C1 1/2" REGULAR DRYWALL
 6 MIL POLY VB
 2" X 2" STRAPPING
 RIGID INSULATION ON
 CEILING AT OUTER EDGE
 AS SHOWN
 EXIST. CEILING JOISTS
 NEW R60 BATT/BLOWN
 INSULATION
 INSULATION BAFFLES

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	DATE:	December 9, 2024	PAGE:	10
PROJECT:	Angela Proulx and Alain Beaulieu 27 Alice Street Garson.			
REVISION NO.				

WITTEL DYCE ENGINEERING INC.
 WDE PROJECT NO. 17152-108

DESIGN LOADS:
 1. 15 psf (IF FLOOR/ROOF)
 2. 40 psf (IF FLOOR/LEVEL)
 3. 5 psf (IF WALL)
 4. 10 psf (IF ROOF)

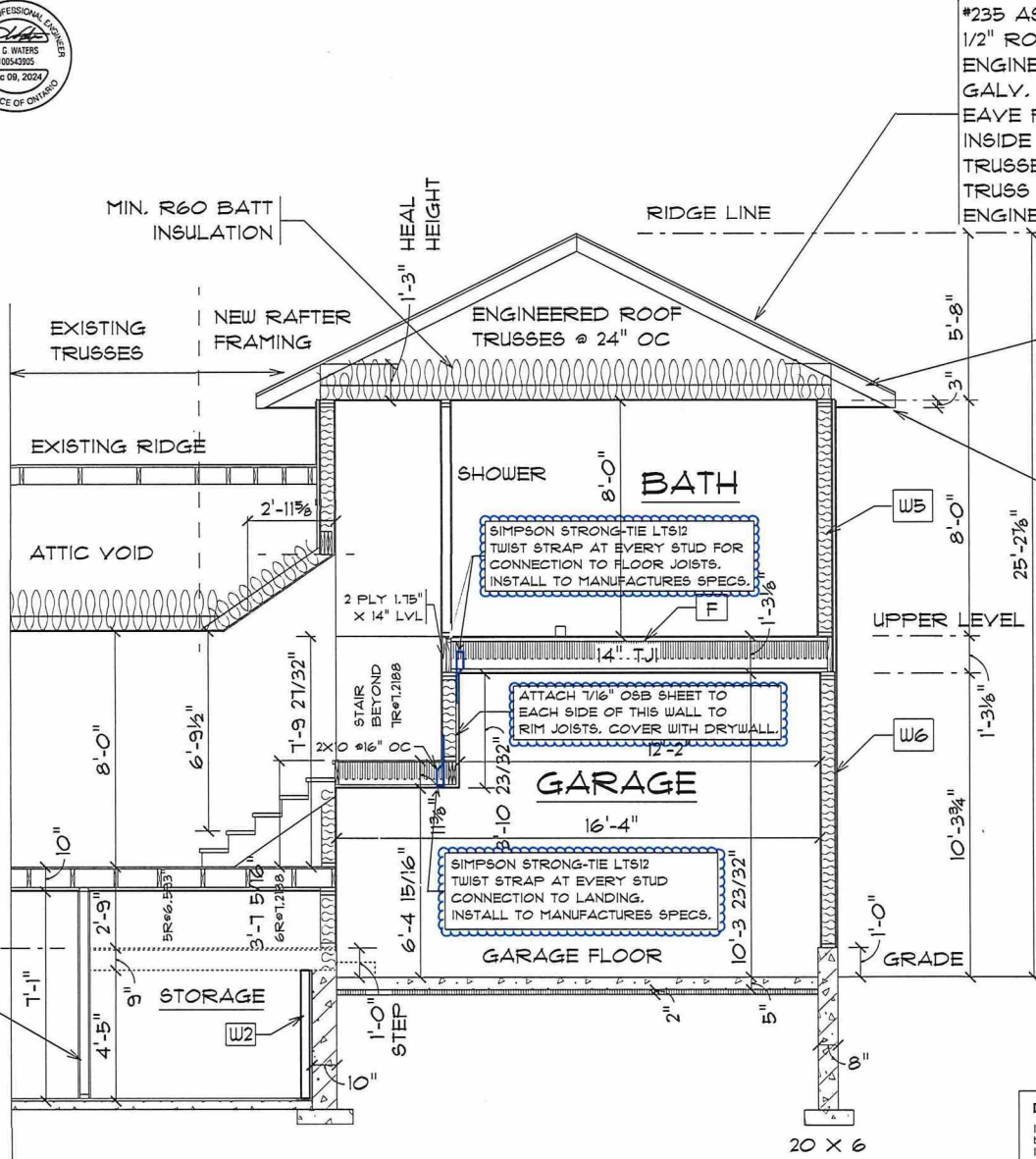
GENERAL NOTES:
 1. FOR STRUCTURAL DESIGN OF CLOUTED ITEMS ONLY.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS.
 3. CONTRACTOR TO CONTACT WDE SHOULD ANY UNUSUAL SITE CONDITIONS VARY FROM THOSE ASSUMED ON DRAWINGS.
 4. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO ENSURE SAFETY AND THE BUILDING IS PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF CONSTRUCTION AS PER O REG 21391.

STEEL NOTES:
 1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA S416 AND THE CODE CODE OF PRACTICE.
 2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA G40.21, G40.21 GRADE 350W CLASS C FOR I S S, G40.21 GRADE 350W FOR W SHAPES, SECTIONS AND G40.21 GRADE 300W FOR CHANNELS, ANGLES AND MISCELLANEOUS METAL.
 3. ALL STEEL TO BE SHOP PRIMED.

WOOD NOTES:
 1. ALL DIMENSIONS SHALL BE SPT GRADE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS SHALL BE MANUFACTURE GRADE 2 OR AN MANUFACTURE GRADE 2 OR APPROVED EQUIVALENT.
 3. ALL TIMBERS TO BE SPT NO 2 OR BETTER UNLESS NOTED OTHERWISE.
 4. FASTENING SHALL CONFORM TO CBC TABLE 9.23.4.
 5. PROVIDE SUILD BLOCKING BELOW ALL POINT LOADS IN FLOOR SYSTEM AND ABOVE FOUNDATION WALLS AND POSTS.
 6. CONTRACTOR TO ADVISE ENGINEER IF LOCATION OF GREATER TRUSS SPACING FROM WHAT IS SHOWN ON PLAN.

CONNECTION NOTES:
 1. WELDING SHALL CONFORM TO CSA W59 AND CSA W57 DIVISION 1 OR DIVISION 2 1 BY THE CANADIAN WELDING BUREAU. WELDING SHALL BE COMPLETED BY QUALIFIED FABRICATOR AND ELECTRICIAN TO THE CSA STANDARD W57.1 AND W57.2.
 2. ALL WELDS NOT SPECIFIED IN DRAWINGS ARE TO BE FULL PENETRATION ALL AROUND OR EQUIVALENT GROOVE WELD.
 3. FASTENERS TO BE AS PER STRUCTURAL BOLT ASSEMBLY E AND D.

DESIGNED BY: PSB



#235 ASPHALT SHINGLES
 1/2" ROOF SHEATHING C/W 'H' CLIPS
 ENGINEERED ROOF TRUSSES @ 24" O/C
 GALV. METAL ROOF STARTER
 EAVE PROTECTION 12" MIN. PAST INSIDE FACE OF EXTERIOR WALL
 TRUSSES BRACED AS PER TRUSS MFG. SPECIFICATIONS
 TRUSS SUPPLIER TO PROVIDE LAYOUT ENGINEERED TRUSS DRAWINGS
 TRUSS HEAL HEIGHT 15"

MORVENT @ 48" O/C FOR FREE AIR FLOW
 2x6 SUB FASCIA VENTED ALUM. SOFFIT ALUM. FASCIA & GUTTER

FINISHED FLOORING
 5/8" T&G PLY, SUBFL. GLUED & SCREWED.
 TUBE HEATING ATTACHED TO U/S OF SUBFL.
 R40 BATT INSULATION
 14" TJI JOISTS @ 16" OC
 5/8" REGULAR DRYWALL

SECTION B - B

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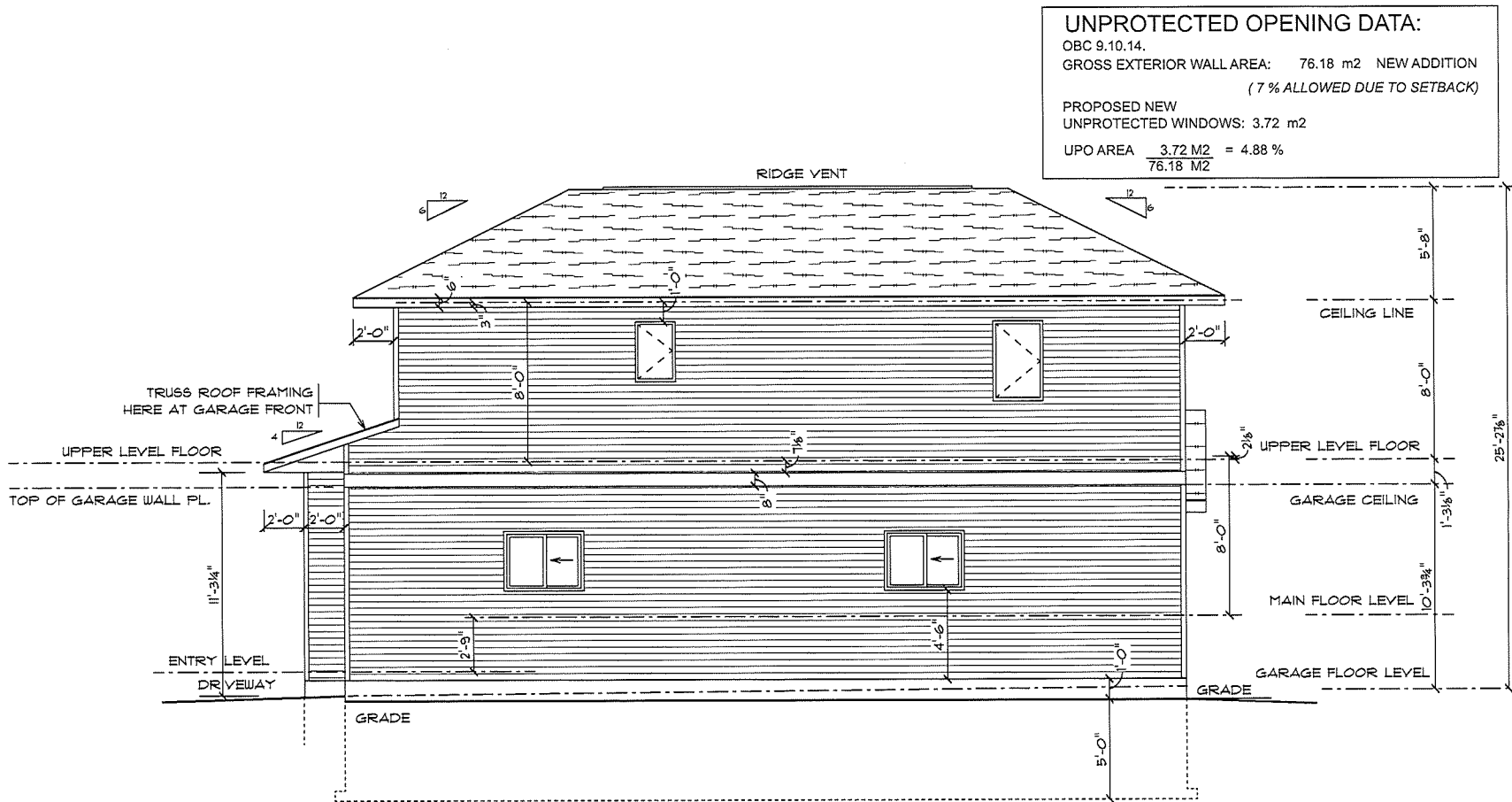
DECLARATION of the DESIGNER

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Individual BCIN: 40977
 Firm BCIN: 42046

Gerard O'Rourke

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REVISION NO.	PROJECT:	PAGE: 11
CLIENT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson.	DESIGNED BY: PSB	DATE: December 9, 2024



UNPROTECTED OPENING DATA:
 OBC 9.10.14.
 GROSS EXTERIOR WALL AREA: 76.18 m2 NEW ADDITION
 (7% ALLOWED DUE TO SETBACK)
 PROPOSED NEW
 UNPROTECTED WINDOWS: 3.72 m2
 UPO AREA $\frac{3.72 \text{ M2}}{76.18 \text{ M2}} = 4.88\%$

NORTH ELEVATION

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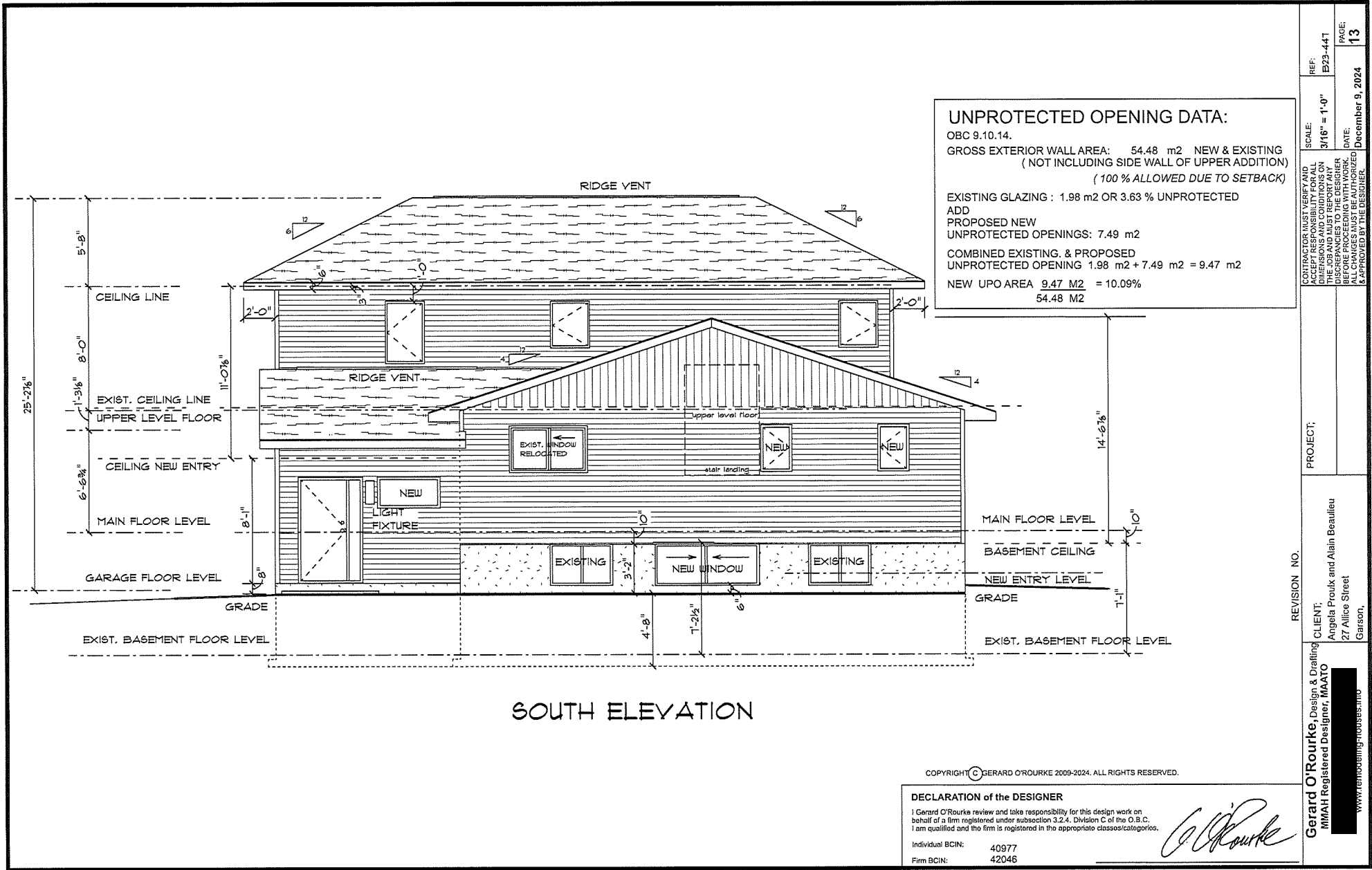
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	PROJECT:		DATE:	December 9, 2024
REVISION NO.	CLIENT:	Angela Proulx and Alain Beaulieu 27 Alice Street Garson,		PAGE:
	Gerard O'Rourke, Design & Drafting MMAH Registered Designer, MMAH O			12
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 sketch 14



SOUTH ELEVATION

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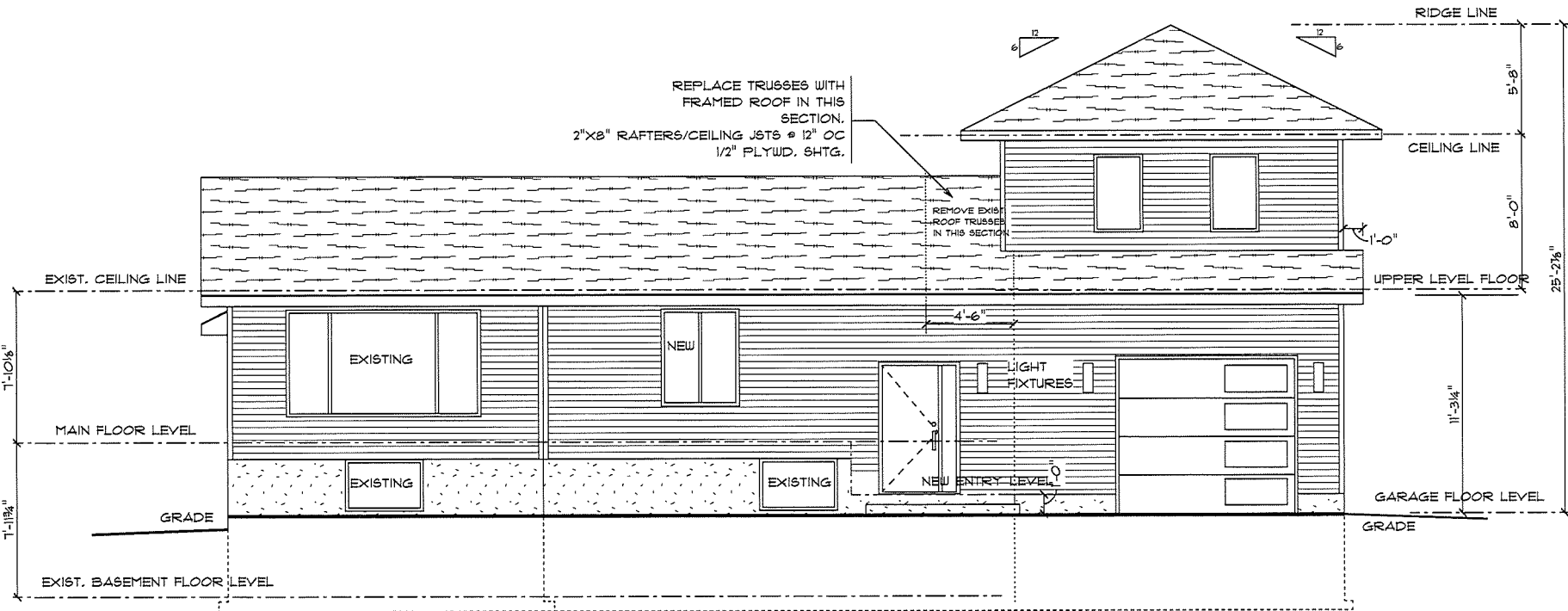
DECLARATION of the DESIGNER

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 Firm BCIN: 42046

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 Sketch 15



REPLACE TRUSSES WITH
FRAMED ROOF IN THIS
SECTION.
2"x8" RAFTERS/CEILING JOISTS @ 12" OC
1/2" PLYWD. SHTG.

REMOVE EXIST.
ROOF TRUSSES
IN THIS SECTION

EAST ELEVATION
FRONT ELEVATION

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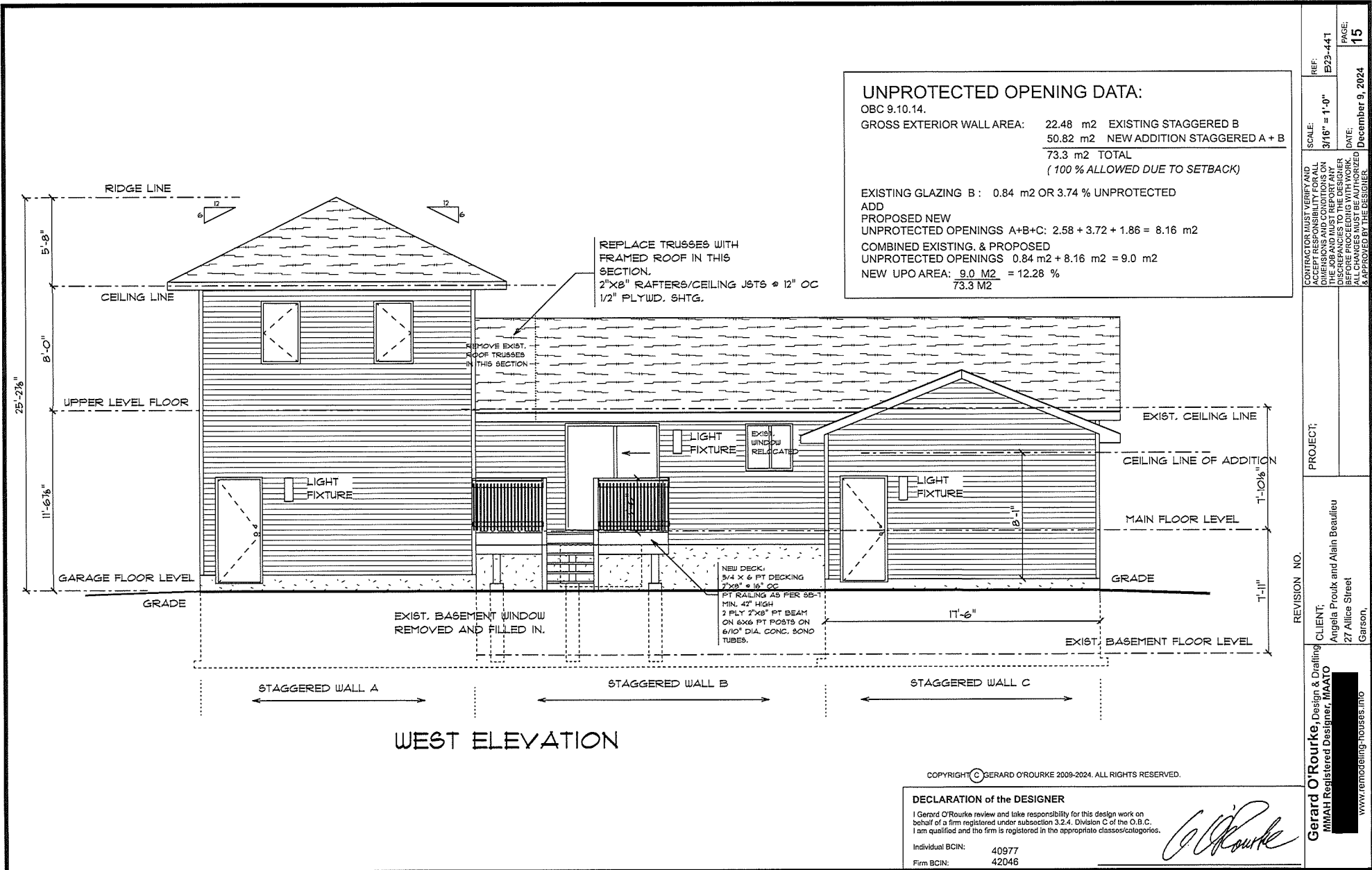
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	DATE: December 9, 2024	PAGE: 14
REVISION NO.	PROJECT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson,	CLIENT: Angela Proulx and Alain Beaulieu 27 Alice Street Garson,
Gerard O'Rourke, Design & Drafting MARA Registered Designer - MARA ID: [REDACTED]	www.gerardorourke.com	

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Sketch 16



UNPROTECTED OPENING DATA:
 OBC 9.10.14.
 GROSS EXTERIOR WALL AREA: 22.48 m2 EXISTING STAGGERED B
 50.82 m2 NEW ADDITION STAGGERED A + B
 73.3 m2 TOTAL
 (100% ALLOWED DUE TO SETBACK)

EXISTING GLAZING B : 0.84 m2 OR 3.74 % UNPROTECTED
 ADD
 PROPOSED NEW
 UNPROTECTED OPENINGS A+B+C: 2.58 + 3.72 + 1.86 = 8.16 m2
 COMBINED EXISTING. & PROPOSED
 UNPROTECTED OPENINGS 0.84 m2 + 8.16 m2 = 9.0 m2
 NEW UPO AREA: $\frac{9.0 \text{ M}^2}{73.3 \text{ M}^2} = 12.28 \%$

WEST ELEVATION

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SCALE: 3/16" = 1'-0"

REF: E22-441

DATE: December 9, 2024

PAGE: 15

REVISION NO.

PROJECT: Angela Proulx and Alain Beaulieu
 27 Alice Street
 Garson, MA

CLIENT: Angela Proulx and Alain Beaulieu
 27 Alice Street
 Garson, MA

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REF. PROTECTION AND SPOKE NOTES:

1. PROVIDE INTERCONNECTED SPOKE ALARMS (S.A.) LOCATED IN ALL SLEEPING ROOMS AND DETOUR BEDROOMS LOCATED MAX. 45'-3" FROM ANY POINT ON THE FLOOR LEVEL MEASURED ALONG HALLWAYS AND INSTALLED IN ACCORDANCE WITH O.B.C. 9.10.18.5.
2. CARBON MONOXIDE ALARM (C.M.A.) TO BE INSTALLED ON ANY FLOOR LEVEL WITH SLEEPING ROOMS LOCATED ADJACENT TO SUCH ROOMS WHERE THE DWELLING CONTAINS AN ATTACHED GARAGE OR A FUEL FIRED APPLIANCE AS PER O.B.C. 9.33.4.7.

GRADING NOTES:

1. GRADING TO BE DESIGN BY A REGISTERED ONTARIO LAND SURVEYOR WHERE REQUIRED BY MUNICIPAL BYLAWS.
2. REQUIREMENT OF HANDRAILS, GUARDRAILS AND LANDINGS TO BE VERIFIED WITH FINAL GRADING PLAN AS SET OUT IN THE O.B.C. DIV. B, PART 9.8 AND IS NOT THE RESPONSIBILITY OF GERARD O'ROURKE DESIGN.

GENERAL NOTES:

1. THE ONTARIO BUILDING CODE (O.B.C.) AND LOCAL BYLAWS MAY SUPERCEDE ALL NOTES ON THESE PLANS.
2. ALL STAIRS, RAMPS, LANDINGS, GUARDRAILS/HANDRAILS DESIGNED IN ACCORDANCE WITH O.B.C. 9.8. GUARDRAILS ALSO CONSTRUCTED IN ACCORDANCE WITH SUPPLEMENTARY STANDARDS 98-7. REQUIRED HANDRAILS TO BE 34" TO 36" ABOVE STAIR NOSING. REQUIRED GUARDRAILS TO BE 36" TO 42" ABOVE STAIR NOSING OR FLOOR LEVEL. REFER TO O.B.C. 9.8. FOR REQUIRED HEIGHTS.
3. EXTERIOR FREESTANDING CONCRETE STAIRS TO BE CONSTRUCTED AS PER O.B.C. 9.8.1.1. OR ANCHORED TO FOUNDATION IN ACCORDANCE WITH O.B.C. 9.8.1.0.
4. FOUNDATIONS AND FOOTINGS DESIGNED IN ACCORDANCE WITH O.B.C. 9.9.
5. FOUNDATION WALL EXTERIOR DRAINAGE LAYER AS PER O.B.C. 9.14.
6. MATERIALS AND FINISHES FOR CONSTRUCTION TO MEET MINIMUM STANDARDS AS SET OUT BY THE O.B.C.
7. BRIDGING OR STRAPPING AS PER O.B.C. 9.23.3.4. REQUIRED TO BRACE FLOOR JOISTS TO BE AT A MAX. SPACING OF 6'-4" FROM BEARING SUPPORT. BRIDGING TO CONSIST OF 1/2" OR 2/3" MEMBERS. STRAPPING TO CONSIST OF MIN. 1/2" STRAPPING NAILED TO JOISTS.
8. FASTENERS AS PER 9.23.3 AND NAILING AS PER TABLE 9.23.3.4. NAILING FOR FRAMING, ANCHORAGE OF STRUCTURE AS PER 9.23.6. ALL OTHER FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. 9.23. AND OTHER REFERRED SECTIONS OF THE O.B.C.
9. INSULATION REQUIREMENTS IN REFERENCE TO O.B.C. 9.21.1. WITHIN THE SCOPE OF PART 9. AS PER O.B.C. 9.23. FOR RESIDENTIAL OCCUPANCIES AND AS PER O.B.C. 9.23.4 FOR NON-RESIDENTIAL OCCUPANCIES.
10. BRICK VENEER WALL TO BE TIED BACK TO SUPPORT WALL AS PER O.B.C. 9.23.9.5. AND SHALL HAVE FLASHING WEEP HOLES PROVIDED AS PER O.B.C. 9.23.13.
11. ALL STEEL LINTELS SUPPORTING MASONRY VENEER TO BE 3/8" X 3/4" UNLESS OTHERWISE SPECIFIED.
12. MIN. 7/8" O.B.S. ROOF SHEATHING OR 3/4" O.S.B. FLOOR SHEATHING MAY BE USED IN LIEU OF SPECIFIED PLYWOOD SHEATHING SHOWN ON SECTIONS.
13. GARAGE / CARPORT TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. DIV. B, 9.39.
14. EAVE PROTECTION TO BE MIN. 7/4" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 1/4" FROM THE INTERIOR SIDE TO THE EXTERIOR SIDE.
15. FOAMED PLASTER TO BE PROTECTED AS PER O.B.C. 9.10.17.10.
16. IF REQD. SOIL GAS MITIGATION AS PER O.B.C. 9.15.4. SEE DETAILS ON PAGE 7 FOR METHODS.

CONCRETE NOTES:

1. ALL CONCRETE AND AGGREGATES IN CONFORMANCE WITH O.B.C. 9.3.1.
2. CONCRETE SHALL BE DESIGNED, MIXED, PLACED, CURED, AND TESTED IN ACCORDANCE WITH CAN284-4438-00 "CONCRETE CONSTRUCTION FOR HOUSING AND SMALL BUILDINGS".
3. THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:
 - A) 32 MPa FOR GARAGE FLOORS, CARPORT FLOORS, AND ALL EXTERIOR PLATWORK.
 - B) 25 MPa FOR INTERIOR FLOORS (OTHER THAN GARAGES AND CARPORTS) WHERE DAMPROOFING IS NOT PROVIDED.
 - C) 20 MPa FOR FOUNDATION WALLS, COLUMNS, FOOTINGS, GRADE BEAMS, AND PIERS.

LUMBER NOTES:

1. ALL LUMBER AND WOOD PRODUCTS IN CONFORMANCE WITH O.B.C. 9.3.3.
2. ALL LUMBER TO BE S.P.F. NO. 1 & 2 (MINIMUM)
3. CONVENTIONAL JOIST, RAFTER, AND COLUMN SIZES MAY BE DERIVED FROM THE CANADIAN WOOD COUNCIL - WOOD DESIGN MANUAL (CSA O86)

CONTINUOUS AIR BARRIER NOTES:

1. AIR BARRIER PROVIDED AT ALL WALL, CEILING AND FLOOR ASSEMBLIES THAT SEPARATE CONDITIONED FROM UNCONDITIONED SPACES AND SHALL BE CONSTRUCTED AS CONTINUOUS AND EXTEND THROUGHOUT THE BASEMENT AND SEALED AT THE SLAB.
2. AIR BARRIER SYSTEM PROPERTIES AS PER O.B.C. 9.23.3.3.
3. CONTINUITY AND SEAL OF BARRIER AS PER 9.23.3.3.

WALL STUD NOTES:

1. ALL EXTERIOR WALLS AND LOAD BEARING INTERIOR WALLS TO BE GRADED AS PER 9.23.10.2.
2. ALL LOAD BEARING STUD WALLS OR STUD WALLS SUPPORTING BRICK/SIDING TALLER THAN THOSE LISTED IN TABLE 9.23.10.1. ARE TO BE BUILT BASED ON TABLE A-30 TO A-33 AND CONSTRUCTED WITH 3/8" O.S.B. SHEATHING, SOLID BRIDGING * 3/4" O.C. AND NAILING AS PER O.B.C. 9.23.10.1, 02).

CONVENTIONAL FRAMING NOTES:

1. ALL ROOF AND CEILING FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. 9.23.3.
2. HIP AND VALLEY RAFTERS TO BE 2" LARGER IN DEPTH THAN COMMON RAFTER MEMBERS AND MIN. 1/2" THICK AS PER O.B.C. 9.23.10.6.
3. RIDGE BELF SUPPORTED WHERE RAFTER BOTTOMS ADEQUATELY TIED TO PREVENT OUTWARD MOVEMENT AND ROOF SLOPE IS 1 IN 3 (4/3 RISE) AS PER O.B.C. 9.23.10.8.
4. CEILING JOISTS, COLLAR TIES AND INTERMEDIATE RAFTER SUPPORT AS PER O.B.C. 9.23.13.7.
5. RAFTER NAILING AS PER O.B.C. TABLE 9.23.10.8 AND O.B.C. TABLE 9.23.3.4.

TRUSS OVERLAY AND RAFTER NOTES:

1. ALL TRUSS OVERLAY OF CONVENTIONAL FRAMING AS PER O.B.C. 9.23.17.2. AND TABLE A-6, A-7 OR O.B.C. 9.23.10.6.
2. OVERLAYMENT TO BE NAILED TO SIDES OF TRUSS MEMBERS BELOW OR NAILED TO A MIN. 2x4 RUNNER NAILED TO TOP OF TRUSSES. NAILING AS PER O.B.C. 9.23.3.4.
3. SEE LITE SCHEDULE FOR MAXIMUM SPANS.

RE-ENGINEERED TRUSS NOTES:

1. GERARDE O'ROURKE DESIGN. IS NOT RESPONSIBLE FOR IMPROVED LOADS BY ALTERNATIVE TRUSS DESIGN.
2. COLUMNS FOR GIRDER TRUSSES FROM TRUSS DESIGN TO BE SIZED ACCORDING TO TABLES A-34 TO A-37 OF DIV. B, PART 9. OF THE O.B.C. OR BY PART 4 AS REQUIRED.
3. LINTELS AND BEAMS WITH POINT LOADS APPLIED FROM TRUSS AND GIRDER TRUSS LOADS ARE TO BE SIZED IN ACCORDANCE WITH PART 9 AND PART 4 OF THE O.B.C.

BATHROOM WALL REINFORCEMENT:

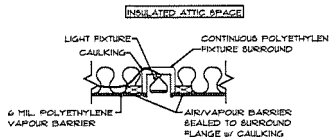
1. IN THE MAIN BATHROOM OF A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO ALLOW FOR FUTURE INSTALLATION OF GRAB BARS ON A WALL ADJACENT TO THE TOILET AND TUB AS PER O.B.C. 9.10.2.3.

VENTILATION NOTES:

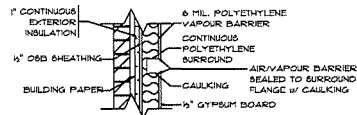
1. VENTILATION IN ACCORDANCE WITH O.B.C. 9.23.
2. FAN SOUND RATINGS AS PER O.B.C. 9.23.2.3.(2)

ELECTRICAL FACILITIES NOTES:

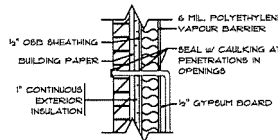
1. ALL LIGHTING, OUTLETS, AND WIRING AS PER 9.34.



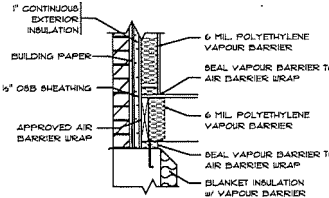
AIR/VAPOUR BARRIER DETAIL AT CEILING ELEC. FEATURE



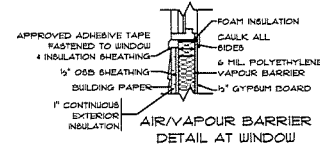
AIR/VAPOUR BARRIER DETAIL AT ELEC. BOXES IN EXTERIOR WALLS



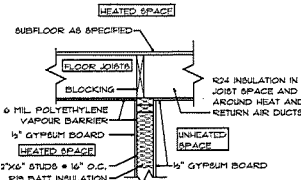
AIR/VAPOUR BARRIER DETAIL AT PENETRATIONS IN EXTERIOR WALLS



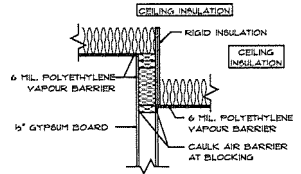
AIR/VAPOUR BARRIER DETAIL AT FOUNDATION WALL



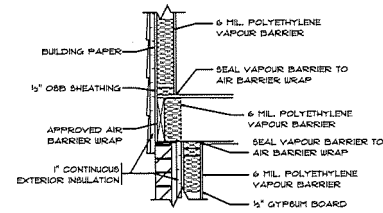
AIR/VAPOUR BARRIER DETAIL AT WINDOW



AIR/VAPOUR BARRIER DETAIL AT INSULATED CEILING ABOVE UNHEATED SPACE



AIR/VAPOUR BARRIER DETAIL AT CHANGE IN CEILING HEIGHT



AIR/VAPOUR BARRIER DETAIL AT BRICK CANTILEVER

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DECLARATION of the DESIGNER

I, Gerard O'Rourke, review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4, Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Individual BCIN: 40977
Firm BCIN: 42046

Gerard O'Rourke

REVISION NO. _____

CLIENT: Angela Proulx and Alain Beaulieu
27 Alice Street
Garson,
www.renovating-trusses.info

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.

SCALE: 1/8" = 1'-0"

REF: E23-447

DATE: December 9, 2024

PAGE: 16



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00065

APPLICATION SUMMARY

File Date: 05/13/2025

Application Type: Minor Variance

Address(es): 1150 Spanish River Road, Whitefish P0M 3H0

Applicant(s): KIM HAMMELL

Owner(s): JESSE HAMMELL AND CHRIS GOODE

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Unknown

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

6

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

Permit additional unit 59m away from main dwelling unit and no road frontage (legal existing lot)

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

It is better for the field bed and better terrain for the unit to be built. Also well close to the area.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

511

Lot Depth of the property

233

Lot Area of the property

161874

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

House - 1964

Shed 1 - unknown

Shed 2 - unknown

Garage - 1964

Hay Shed - unknown

Barn - 1930

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential, unknown how long

Is the use remaining the same? If no, please provide the proposed new use

Same Residential

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

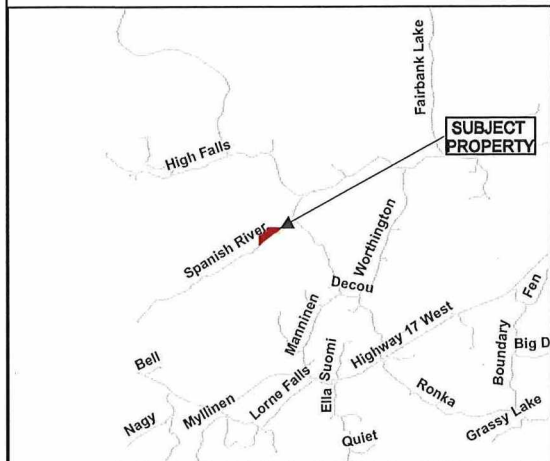
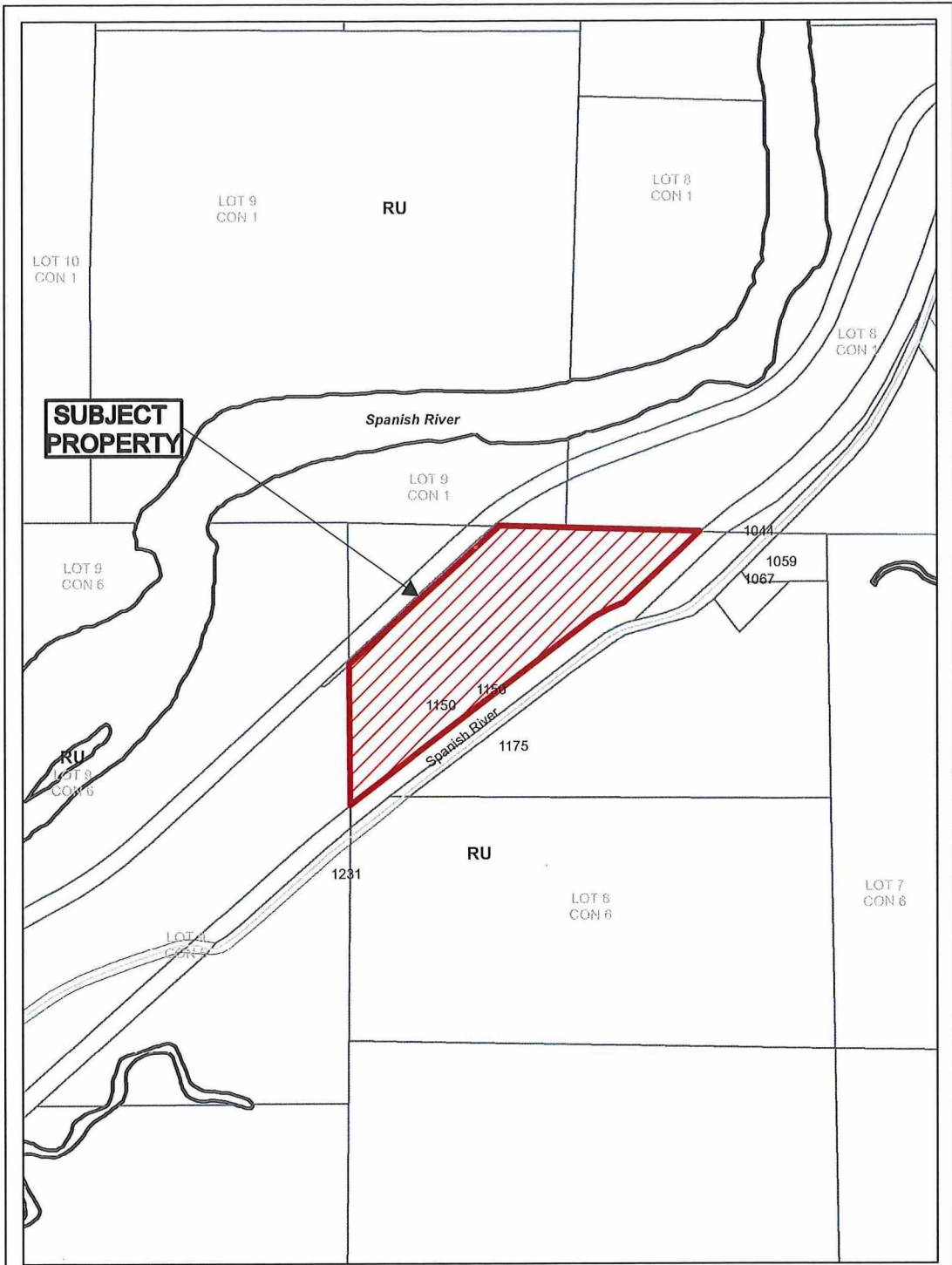
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Additional Unit	No	85.9	85.9	1	4.88	17.6	4.3	38	321	560	133

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	66.5	66.5	1	7	9.5	5	9.5	402	450	201
Garage	No	39	39	1	6	6.5	5	25	351	479	205
Shed 1	No	26	26	1	4	6.5	3	35	326	502	188
Shed 2	No	12	12	1	3	4	3	47	323	500	197
Hay shed	No	35	35	1	2.5	14.5	2.5	35	307	517	182
Barn	No	210	210	1	14	15	6.5	86	333	490	210

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Distance of additional unit farther than 30m	30	59	29
No road frontage (existing lot)	90	0	90
Access on Assumed Road - Section 4.3	Not Permitted	Permit	0



**Application for Minor
Variance or Permission**



Subject Property being PIN 73395-0513,
North 1/4 of Part Lot 8, Concession 6,
Township of Lorne,
1150 Spanish River Road, Whitefish,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00065
Date: 2025 05 15



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00066

APPLICATION SUMMARY

File Date: 05/13/2025

Application Type: Minor Variance

Address(es): 3 Randolph Road, Whitefish P0M 3E0

Applicant(s): BRANDON DIGBY

Owner(s): BRANDON DIGBY

PLANNING APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

530712000213400

What is the date the current Owner(s) acquired the property?

2024

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-2

Provide a detailed description of what is being proposed

32x40 garage, 14' walls.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

the height of the garage. Storage for backhoe, boat and RV camper.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

47.9

Lot Depth of the property

211

Lot Area of the property

4000

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

1964

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

residential since 1964

Is the use remaining the same? If no, please provide the proposed new use

yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

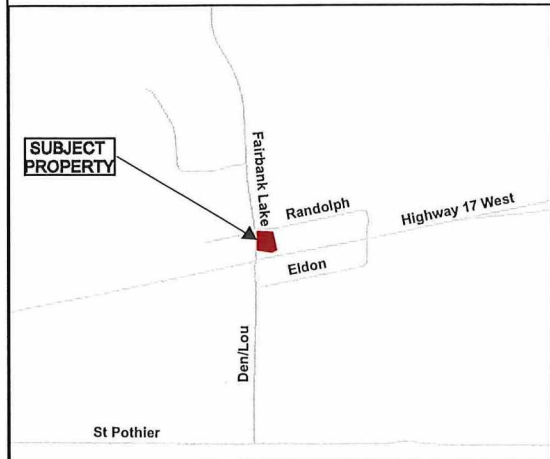
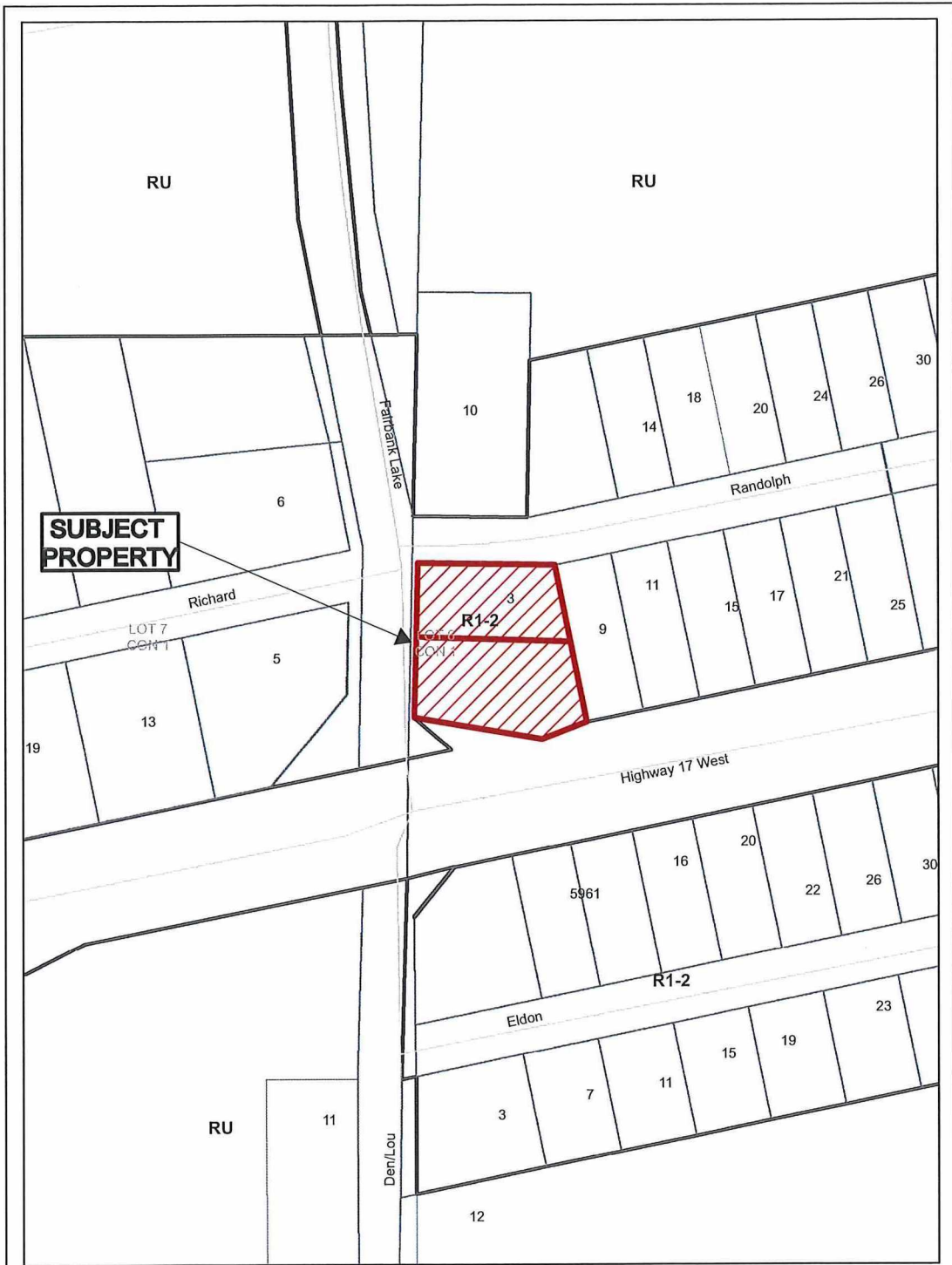
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage	No	117	117	1	13.4	9.7	6.7	38	18.2	18.2	22.8

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	117	117	1	9.7	12.4	6.4	8.2	42.6	33.5	7.6

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
6.7	5	6.7	1.7



**Application for Minor
Variance or Permission**



Subject Property being PIN 73382-0873,
SRO, Lots 15 & 16, Plan M-425,
save and except Part 1, Plan 53R-16392,
Part Lot 6, Concession 1,
Township of Denison,
3 Randolph Road, Whitefish,
City of Greater Sudbury

Sketch 1, NTS
NDCA

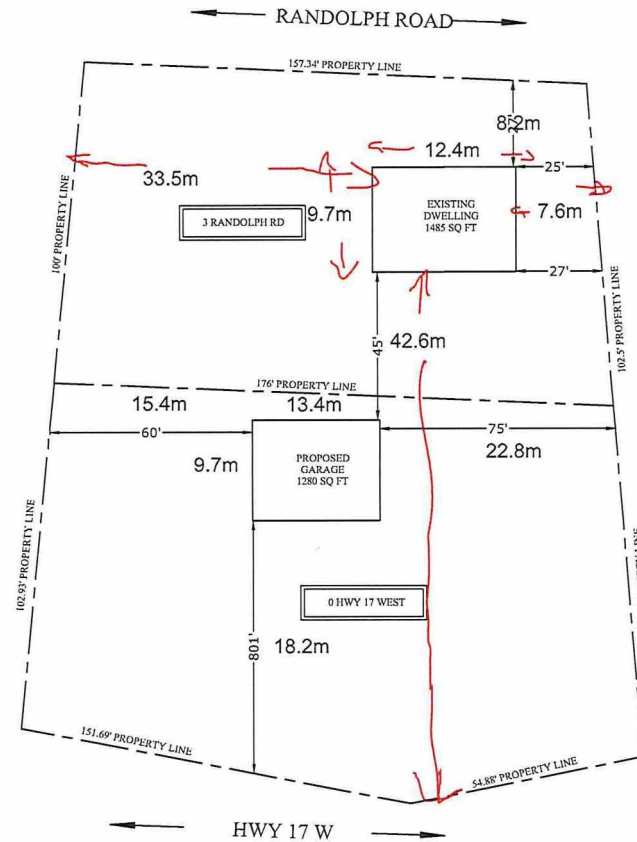
PL-MV-2025-00066
Date: 2025 05 20

RESIDENTIAL GARAGE

Non- heated, Non-insulated
(unfinished)
BRANDON DIGBY



BRANDON DIGBY



DESCRIPTION:	
SQUARE FOOTAGE	1280 SQ FT
GARAGE	



KIMBERLY E. ZARICHNEY

KEZ CAD

3 ST.POTHIER RD. RR#1
WHITEFISH ON P0M 3E0



NOTE: IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION

PLOT PLAN
NTS

LOT INFORMATION:
3 RANDOLPH ROAD M425 LOT 16, PCL 22051 and 0 HWY 17 W, Pel 22188 m425 Lot 15, 53R16392

2023_009
FEB 2023

GO

PL-MV-2025-00066
sketch 2

GENERAL NOTES

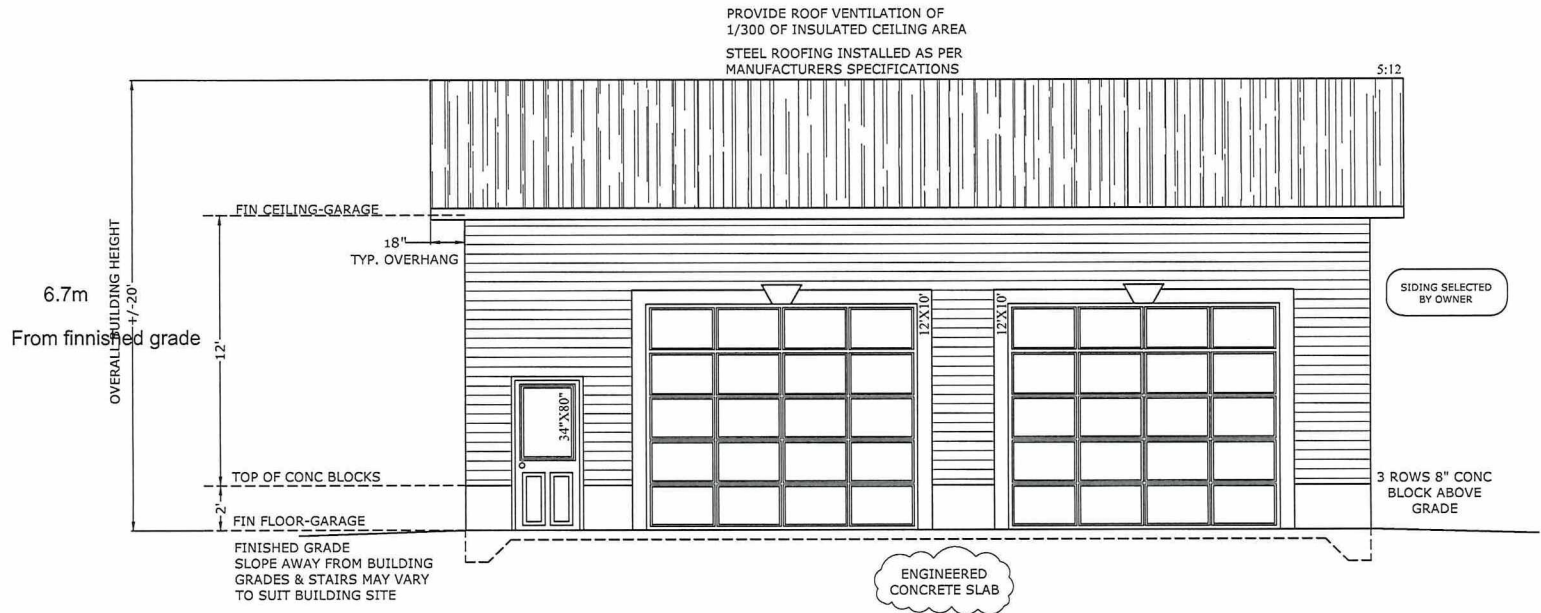
- ALL DIMENSIONS ARE SUBJECT TO CHANGE
- ALL DETAILS ARE THE ARTISTS CONCEPTION AND MAY VARY UPON CONSTRUCTION
- CONSTRUCTOR/OWNER SHALL CHECK AND VERIFY ALL DIMENSIONS AND ADVISE THE CONSULTANT OF ANY DISCREPANCY PRIOR TO COMMENCING

ELEVATIONS SHOWN ARE APPROXIMATELY ARTISTS CONCEPTS. GRADES & BRICKLINES WILL VARY WITH SITE CONDITIONS. WINDOW STYLES TO BE SELECTED BY OWNER

WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS



BRANDON DIGBY
RIGHT ELEVATION



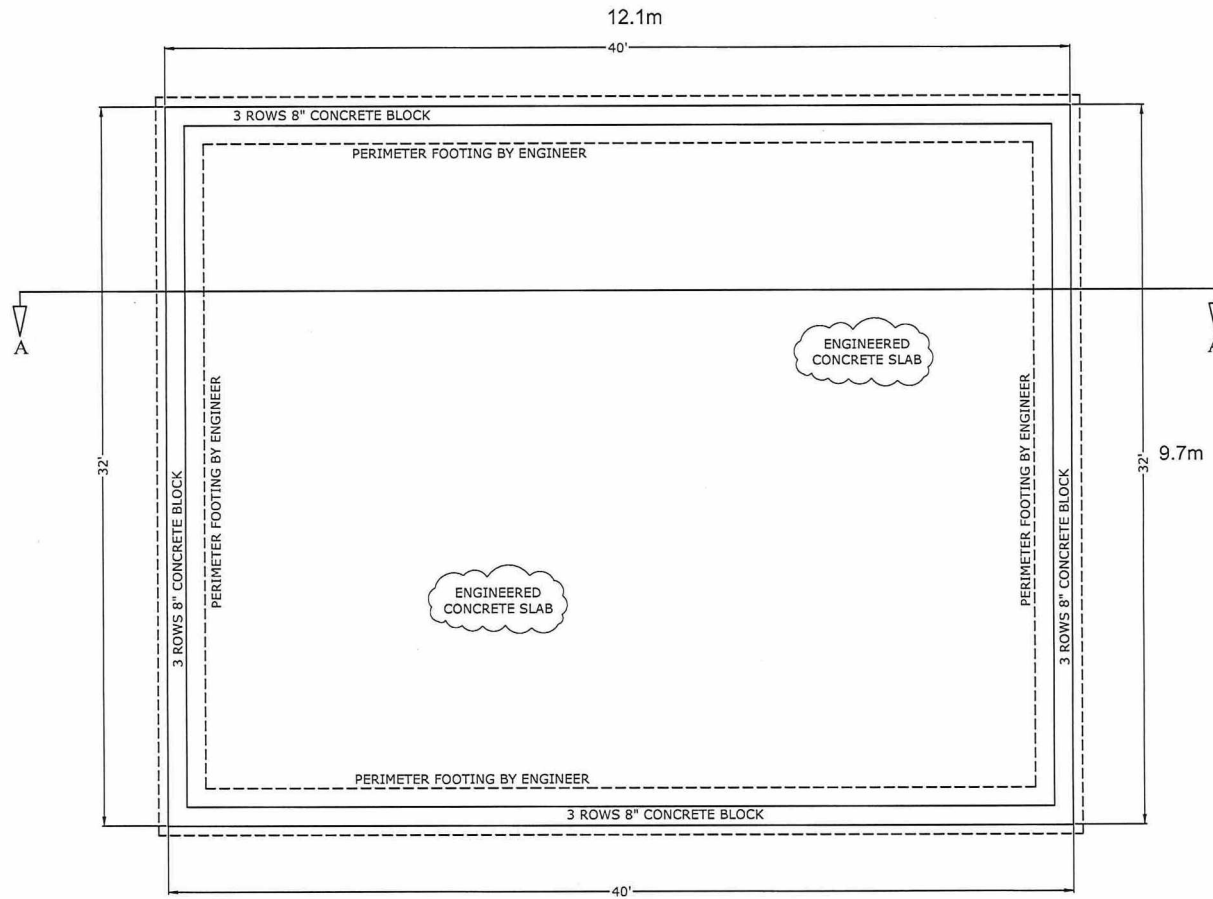
FRONT ELEVATION

3/16"=1'0"

2023_009
FEB 2023

G3

PL-MV-2025-00066
sketch 3



FOUNDATION PLAN
3/16"=1'0"

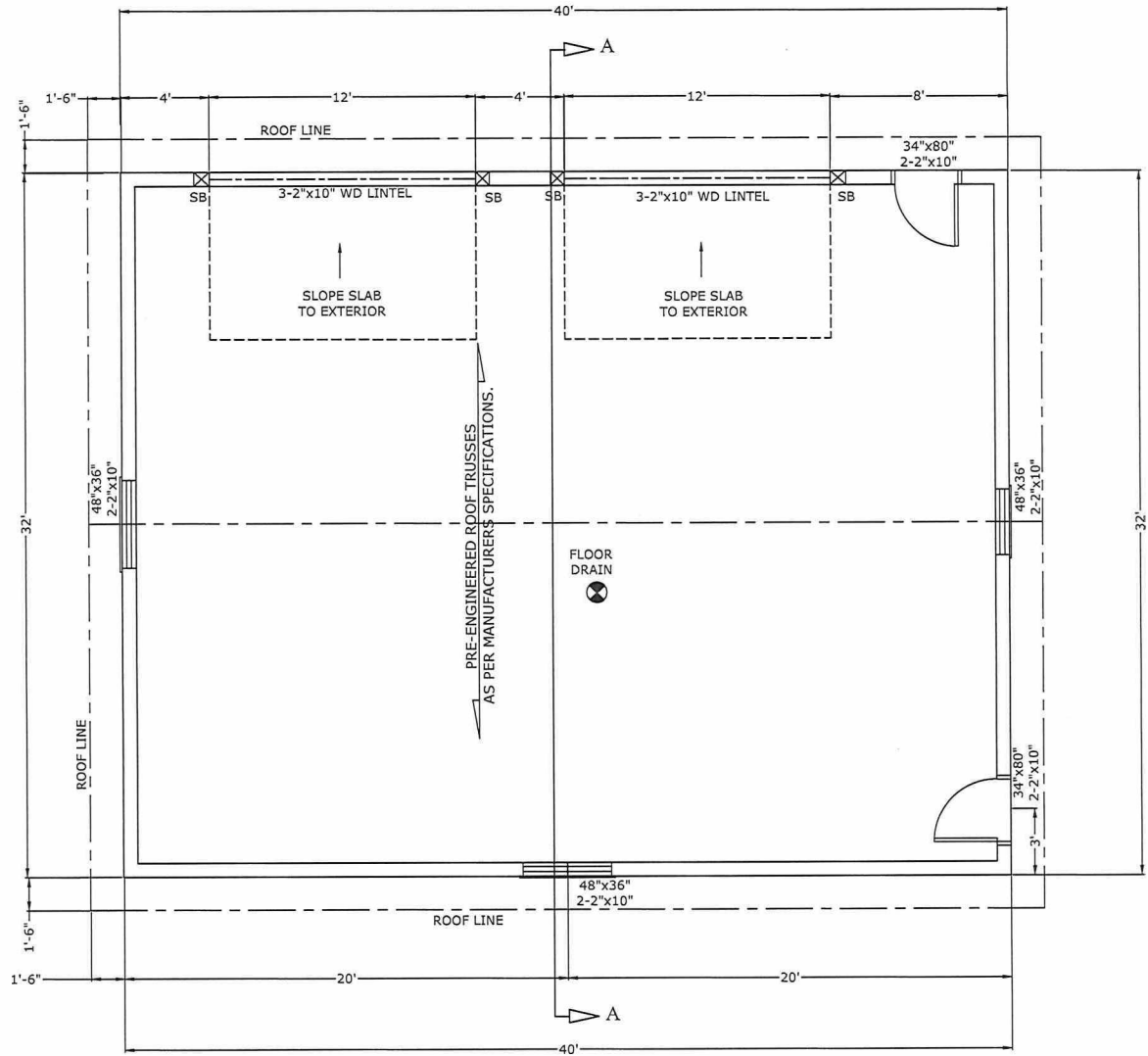


BRANDON DIGBY
FOUNDATION PLAN

2023_009
FEB 2023

G1

PL-MV-2025-00066
Sketch 4



FLOOR PLAN
3/16"=1'0"



BRANDON DIGBY
FLOOR PLAN

2023_009
FEB 2023

G2

PL-MV-2025-00066
Sketch 5

GENERAL NOTES

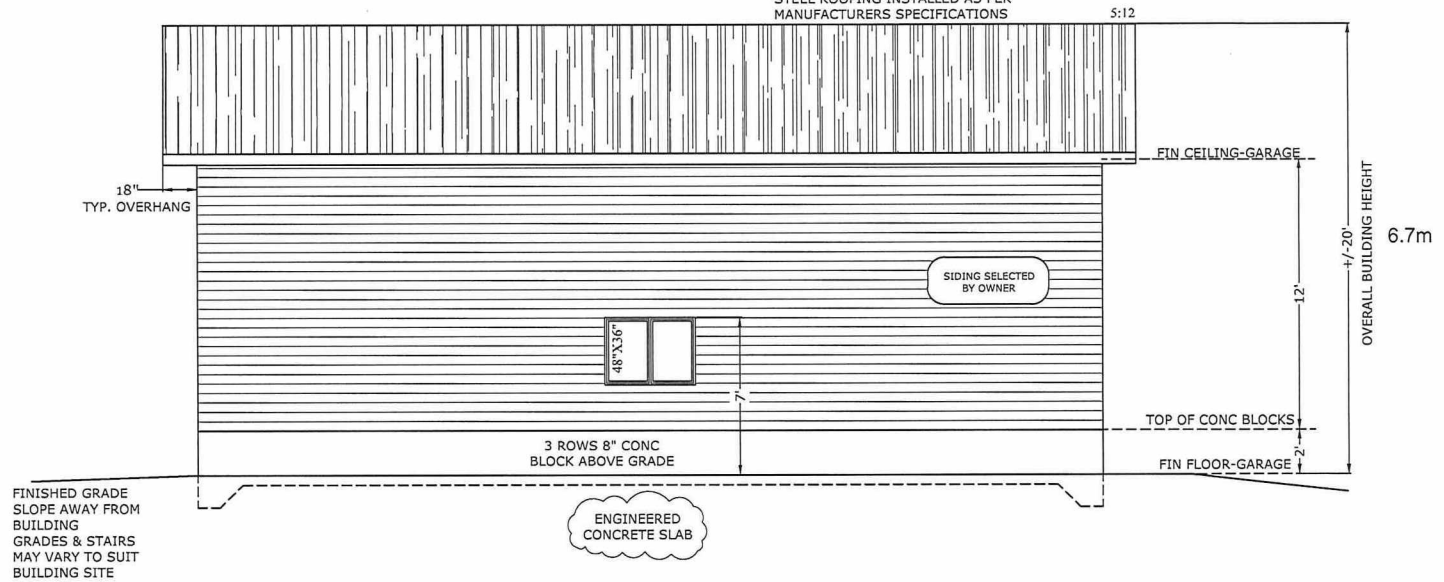
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ELEVATIONS SHOWN ARE APPROXIMATELY ARTISTS CONCEPTS. GRADES & BRICKLINES WILL VARY WITH SITE CONDITIONS. WINDOW STYLES TO BE SELECTED BY OWNER

WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS
ALL LIVING AREA WINDOWS TO BE EQUAL TO 10%, BEDROOMS 5% OF AREA

PROVIDE PROPER FLASHING AT ROOF VALLEYS AS PER OBC
PROVIDE ROOF VENTILATION OF 1/300 OF INSULATED CEILING AREA

PROVIDE ROOF VENTILATION OF 1/300 OF INSULATED CEILING AREA
STEEL ROOFING INSTALLED AS PER MANUFACTURERS SPECIFICATIONS



BRANDON DIGBY
LEFT ELEVATION

BACK ELEVATION

3/16" = 1'0"

2023_009
FEB 2023

G4

PL-MV-2025-00066
Sketch 6

GENERAL NOTES

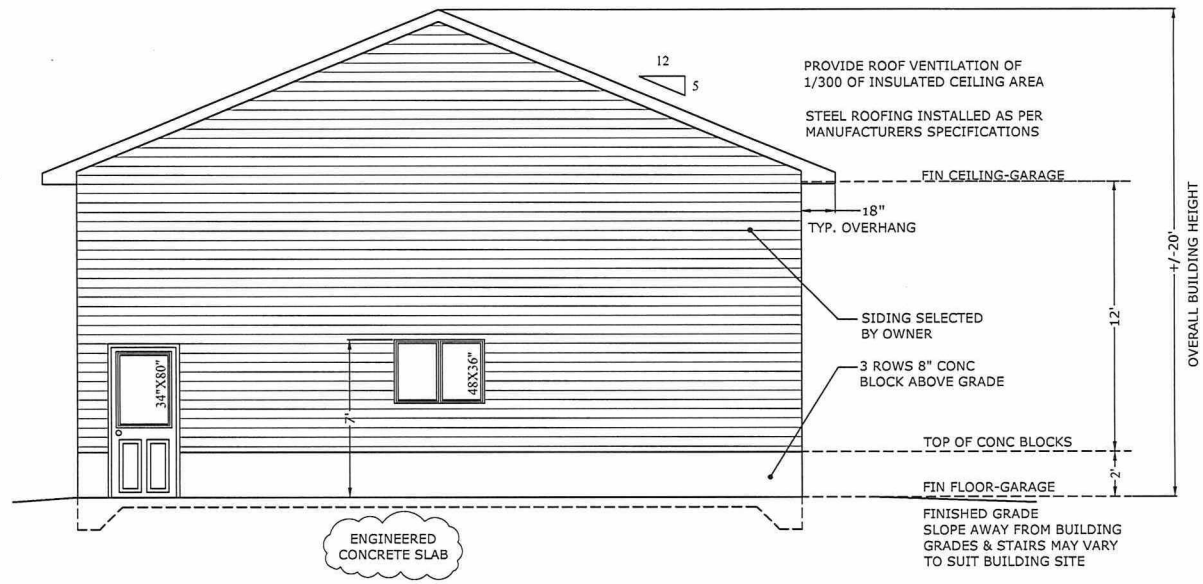
- ALL DIMENSIONS ARE SUBJECT TO CHANGE
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ELEVATIONS SHOWN ARE APPROXIMATELY ARTISTS CONCEPTS. GRADES & BRICKLINES WILL VARY WITH SITE CONDITIONS. WINDOW STYLES TO BE SELECTED BY OWNER

WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS



BRANDON DIGBY
FRONT & BACK ELEVATIONS



RIGHT ELEVATION

3/16" = 1'0"

2023_009
FEB 2023

G5

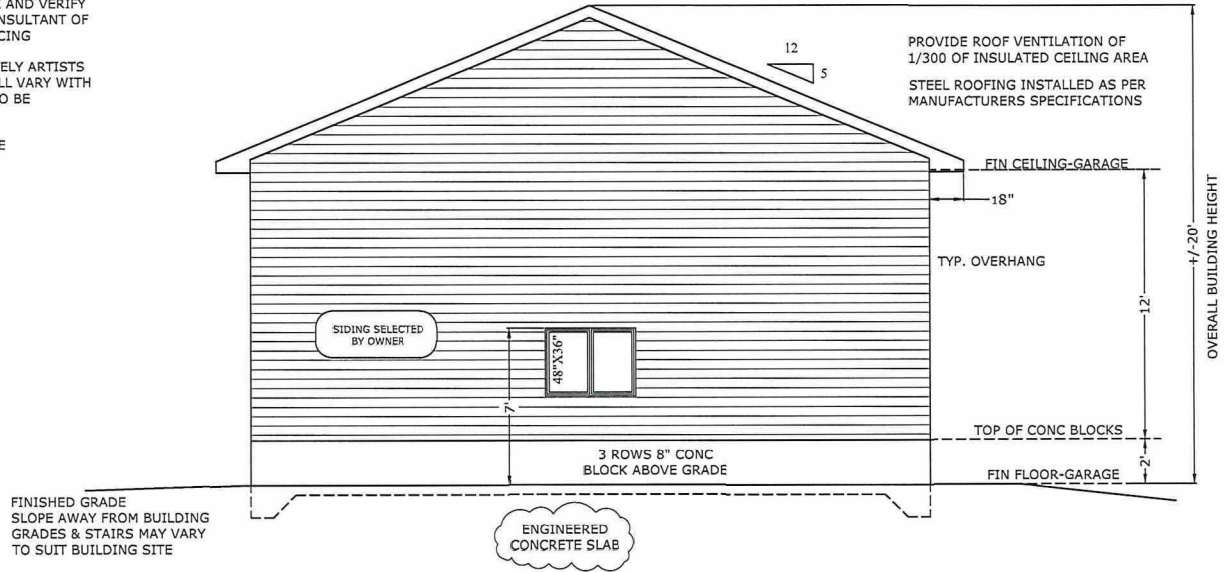
PL-MV-2025-00066
Sketch 7

GENERAL NOTES

- ALL DIMENSIONS ARE SUBJECT TO CHANGE
- ALL DETAILS ARE THE ARTISTS CONCEPTION AND MAY VARY UPON CONSTRUCTION
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ELEVATIONS SHOWN ARE APPROXIMATELY ARTISTS CONCEPTS. GRADES & BRICKLINES WILL VARY WITH SITE CONDITIONS. WINDOW STYLES TO BE SELECTED BY OWNER

WINDOW LOCATIONS & SIZES MUST BE CONFIRMED BY OWNERS

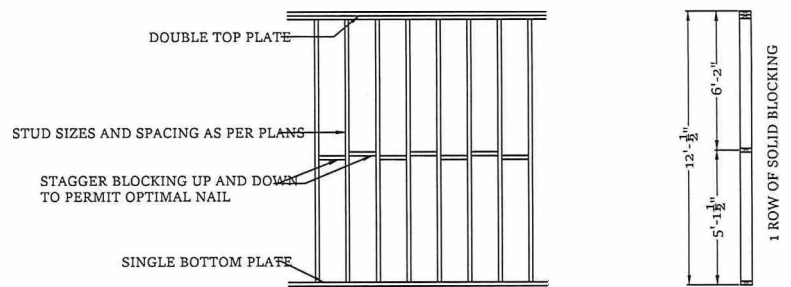


LEFT ELEVATION

3/16" = 1'0"



BRANDON DIGBY
FRONT & BACK ELEVATIONS



TYPICAL ELEVATIONS - 12' WALL

WALL BRACING DETAIL

N.T.S.

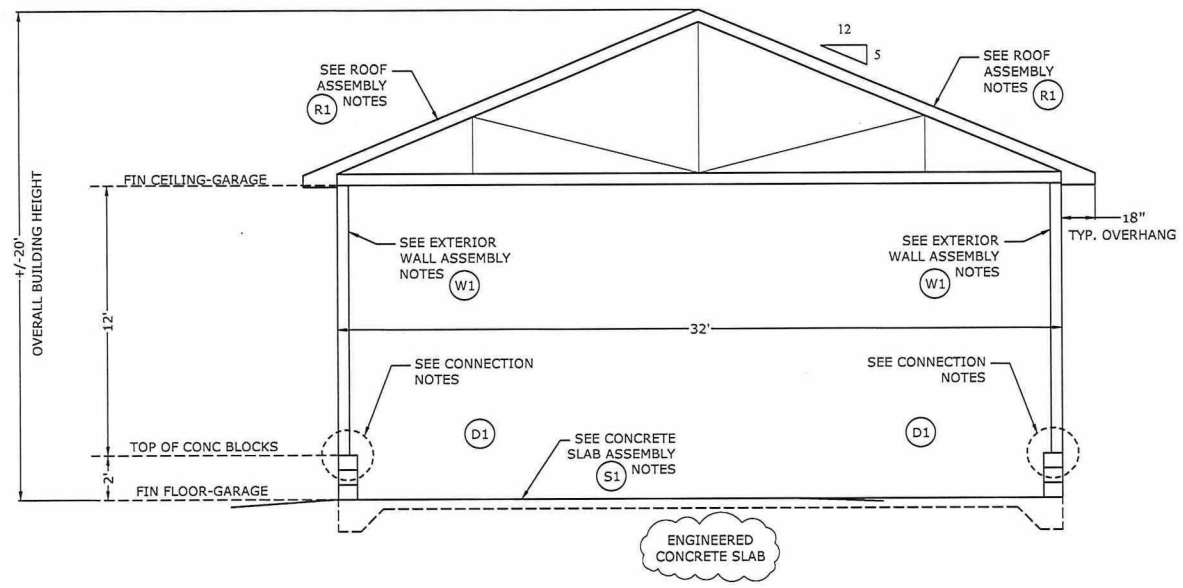
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FEB 2023

G6

PL-MV-2025-00066
Sketch 8



BRANDON DIGBY
SECTION A-A



SECTION NOTES

- (R1) **ROOF ASSEMBLY**
 - PRE-ENGINEERED TRUSSES AND BRACING AS PER MANUFACTURER SPECS
 - 3/8" PLYWOOD SHEATHING OR 7/16" ASPENITE WITH "H" CLIPS
 - TYPAR AIR BARRIER
 - STEEL ROOFING INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
 - PROVIDE ROOF VENTILATION OF 1:300 OF INSULATED CEILINGS AREA, 50% AT SOFFIT USING BAFFLES BETWEEN RAFTERS AND VENTED SOFFIT
 - PRE-PAINTED ALUMINUM VENTED SOFFIT AND FASCIA WITH PRE-PAINTED METAL EAVESTROUGHING
- (W1) **EXTERIOR WALL ASSEMBLY**
 - 2"x6" STUDS @ 16" O.C.
 - 7/16" ASPENITE SHEATHING WITH 3/32" GAP BETWEEN BOARDS
 - METAL SIDING SELECTED BY OWNER & INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
- (D1) **CONCRETE BLOCK TO STUD WALL CONNECTION**
 - 1/2" ANCHOR BOLTS @ 7'-10" O.C. EMBEDDED AT LEAST 4" FROM THE CORNERS
 - SET AND LEVEL SILL IN MORTAR BED OR PLACE ON LEVEL FOUNDATION AND CAULK AND SEAL WITH GASKET, BOLTS MUST BE FASTENED TO SILL PLATE WITH NUTS AND WASHERS AND ABLE TO BE TIGHTENED WITHOUT COMING OUT OF FOUNDATION

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND REVISIONS TO THE ONTARIO BUILDING CODE, ELECTRICAL SAFETY CODE, PLUMBING CODE, HEALTH UNIT AND LOCAL BUILDING SERVICES.
- IT SHALL BE THE CONSTRUCTOR'S RESPONSIBILITY TO ENSURE THAT ALL MATERIALS, LABOUR AND ASSEMBLIES CONFORM TO ALL APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. NOTATIONS ON DRAWINGS ARE TO ASSIST THE CONSTRUCTOR AND DO NOT NECESSARILY ADDRESS ALL ASPECTS OF CONSTRUCTION.
- WINDOW AND DOOR DIMENSIONS SHOWN ON DRAWINGS ARE NOMINAL, VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING OPENINGS.
- SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM BUILDING.
- CONSTRUCTOR/OWNER TO ENSURE THAT WEEPING TILE IS NOT CONNECTED TO SEWAGE SYSTEM.
- RESISTANCE TO FORCED ENTRY REQUIREMENTS OF DOORS AND WINDOWS MUST BE PROVIDED AND IN ACCORDANCE WITH SECTIONS 9.6.6 AND 9.7.8 OF THE ONTARIO BUILDING CODE.
- ALL INTERIOR AND EXTERIOR GUARDS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.
- ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL.
- WHERE REBAR CALLS TO BE CONT., OVERLAP MIN. 12" AND TIE TOGETHER.
- WHERE GRANULAR MATERIALS/BACKFILL CALLS TO BE COMPACTED, COMPACTION SHALL BE 100% STANDARD PROCTOR DENSITY.
- DO NOT BACKFILL UNTIL FLOOR FRAMING IS IN PLACE AND SECURE.
- ALL CONCRETE SHALL BE 20 MPA.
- ALL LUMBER SHALL BE GRADED AND STAMPED.
- ALL NAILING SHALL CONFORM TO TABLE 9.23.2.4 OF THE OBC.
- PROVIDE JOIST HANGERS AT ALL LOCATIONS WHERE A WOOD MEMBER FRAMES ONTO ANOTHER.

SECTION A-A

3/16"=1'0"

PRE-ENGINEERED ROOF TRUSSES AS PER MANUFACTURERS SPECIFICATIONS. PROVIDE SPECIFICATIONS AT TIME OF PERMIT APPLICATION

NOTE:
ALL POINT LOADS FROM GIRDER TRUSSES TO EXTEND DOWN TO FOUNDATION WALLS AS PER OBC TYP
PRE-ENG LVL LINTELS REQUIRED WHERE GIRDER TRUSSES BEAR OVER WINDOWS AND DOORS AS PER SHOP DRAWINGS



2023_009
FEB 2023

G7

PL-MV-2025-00066
Sketch 9



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00067

APPLICATION SUMMARY

File Date: 05/16/2025

Application Type: Minor Variance

Address(es): 2850 Highway 144, Chelmsford P0M 1L0

Applicant(s): NORTEC BUILDING CONSULTANTS

Owner(s): MARCEL HOULE AND TRACEY HOULE

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2006

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Rural

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

Detached Garage with carport and storage loft

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The proposed detached garage requires a minimum 3.65m (12'0) height ceiling height to allow for tractor to enter inside the garage.

With the storage loft area added above the main floor level to total height of the garage is 7.93m.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

67.05

Lot Depth of the property

241.4

Lot Area of the property

16185.87

Total width of the public road giving access to the property

30.48

List all buildings and structures on the property and their respective date of construction

Two story house with attached garage. Built in 2006.

Pool Shed 2006

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential - 19 years

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Rural

Has the property ever been subject of a previous application for minor variance/permission?

No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

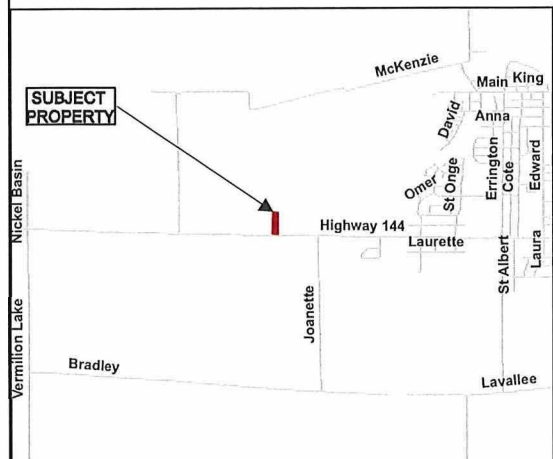
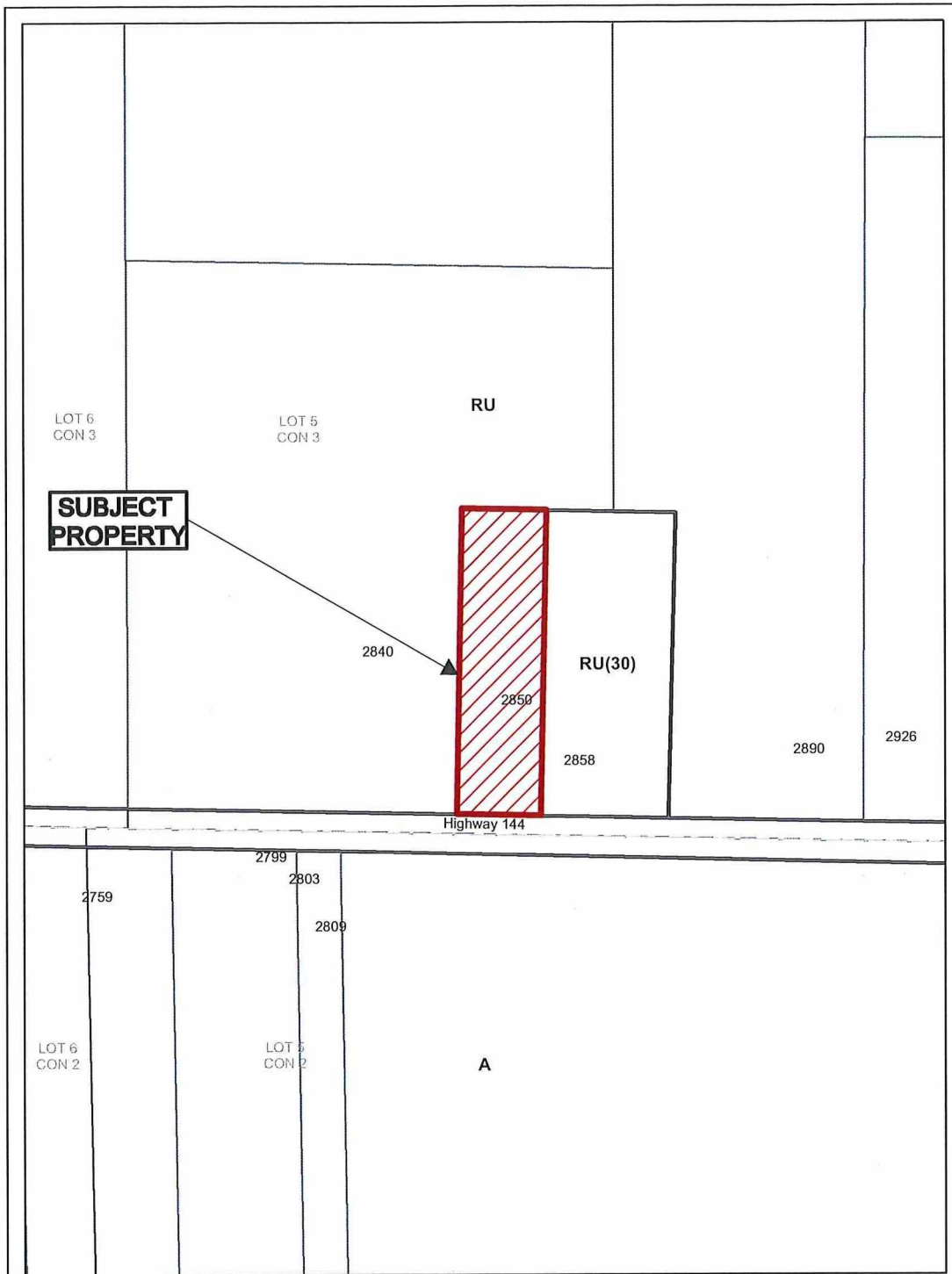
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage with carport & storage loft	No	96.49	131.56	1	10.5	9.19	7.93	90.25	141.96	6.91	49.69

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Two Story House with attached garage	No	302.81	502.15	2	19.87	15.24	8.53	73.15	153.07	24.46	22.77
Pool Shed	No	9.29	9.29	1	3.04	3.04	4.32	104.02	134.39	21.49	42.57
Gazebo	No	23.78	23.78	1	4.87	4.87	4.32	116.21	120.38	21.49	40.74
In Ground Pool	No	60.20	60.20	0	5.48	10.97	0	101.59	134.39	28.63	27.50

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height	4.2.4. (b) 6.5 M	7.93 M	1.42 M



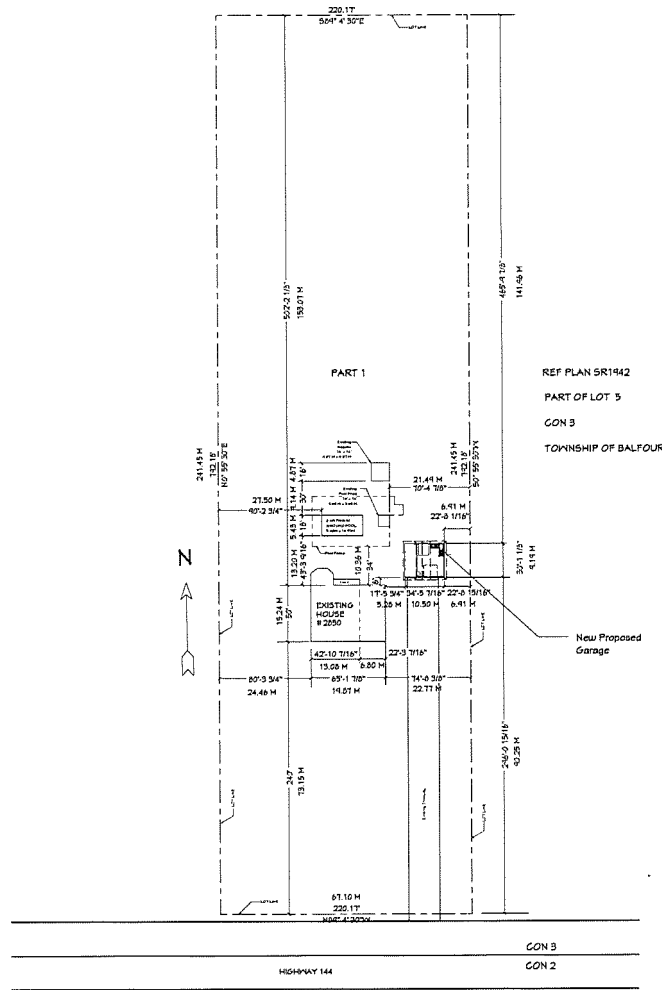
N

**Application for Minor
Variance or Permission**

Subject Property being PIN 73350-0265,
Parcel 26812 SEC SWS,
Part Lot 5, Concession 3,
Part 1, Plan SR-1942,
Township of Balfour,
2850 Highway 144, Chelmsford,
City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00067
NDCA Date: 2025 05 23

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
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△	Dimensions Revised	05-21-2025
□	Issued for Minor Variance	05-15-2025

Rev.	Description	Date
△	Revision	<input type="checkbox"/> Issued <input type="checkbox"/> Approved

Drawing Chronology



PLEASE NOTE THAT THIS DRAWING IS NOT VALID UNLESS IT IS STAMP AND SIGNED BY THE DESIGNER. THIS DRAWING MAY NOT BE REPRODUCED WITHOUT THE DESIGNER'S WRITTEN PERMISSION. DRAWINGS AND INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.

NORTEC
 Building Consultants
 Architectural
 Building Designs
 Development
 www.nortec.ca
 Sudbury, ON

Project For:
 Marcel Hoar
 Proposed Detached Garage with Loft
 2600 HWY 144
 Chatham-Kent, Ontario

Drawing Title:
SITE PLAN

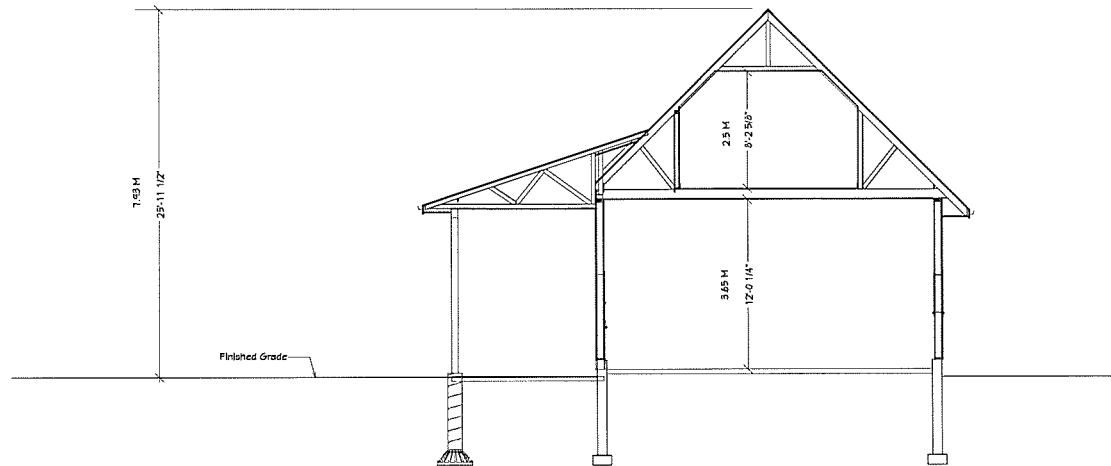
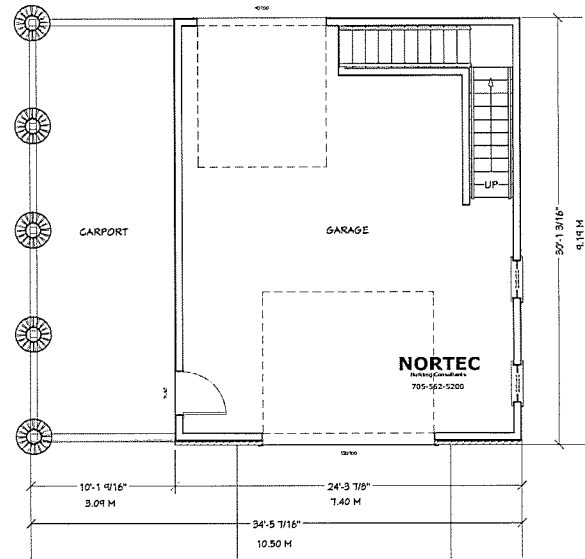
Date:	2025-04-10	Scale:	1" = 50'-0"
Designed By:	L. Chaloux	Drawn By:	L. Chaloux
Checked:		Sheet No:	
Project Number:	2004		SP - 1

Not Issued for Construction

PL-MV-2025-00067
 sketch 2



Detached Garage - 2850 - HWY 144 Exterior View



Not Issued for Construction

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
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Rev.	Description	Date
Δ	Dimensions Revised	05-21-2025
□	Issued for Minor Variance	05-15-2025

Revision	Issued	Approved
Δ	□	○

Drawing Chronology



PLEASE NOTE THAT THIS DRAWING IS NOT VALID UNLESS IT IS STAMPED AND SIGNED BY THE DESIGNER. THIS DRAWING MAY NOT BE REPRODUCED WITHOUT THE DESIGNER'S WRITTEN PERMISSION. DRAWINGS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT.

NORTEC
 Building Consultants
 Architectural
 Building Designs
 Development
 www.nortec.ca
 Sudbury, ON

Project For:
 Marcel Houde
 Proposed Detached Garage with Loft
 2850 HWY 144
 Chatham/Leed, Ontario

Drawing Title:
 Proposed Detached Garage
 with Carport and Storage Loft
 Main Floor Plan & Building Section

Date: 2025-04-10	Scale:
Designed By: L. Chaloux	Drawn By: L. Chaloux
Checked:	Sheet No:
Project Number: 2044	A-1

PL-MV-2025-00067
 Sketch 3



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00068

APPLICATION SUMMARY

File Date: 05/16/2025

Application Type: Minor Variance

Address(es): 220 King Street, Sudbury P3C 2W1

Applicant(s): TULLOCH

Owner(s): SUDBURY APARTMENT RENTALS LIMITED

PLANNING APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

222 King Street

What is the date the current Owner(s) acquired the property?

April 2025

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

12

What is the number of proposed new dwelling units on the property?

4

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

0

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

The development of four additional units in the unoccupied basement of the existing legal non-conforming 12-unit multiple dwelling located upon the subject lands.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Proposal would add 4-units to the basement of an existing R2-3 zoned building. See Cover letter for further justification.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

36.58

Lot Depth of the property

35

Lot Area of the property

1282

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

12-unit multiple dwelling, late 1980s.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

residential, since construction.

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
12-unit, 3-storey multiple dwelling	No	382	1528	3	14	29	11	3.77	14	3	4.5

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
To permit an additional 4 dwelling units in the basement of an existing legal non-conforming 12-unit multiple dwelling for a total of 16 multiple dwelling units with a lot area of 80m2 per unit where 140m2 per unit is required and 107m2 per unit currently exists under Section 45(2) of the Planning Act	R2-3: 140m2 per unit Existing: 107m2 per unit	80m2 per unit	R2-3 difference: 60m2 per unit Existing: 33m2 per unit



Planners | Surveyors | Biologists | Engineers

May 16, 2025
250822

Committee of Adjustment

Tom Davies Square – City of Greater Sudbury
200 Brady Street
Sudbury, ON
P3A 5P3

Re: 220-222 King Street Minor Variance Application

Dear Committee of Adjustment,

TULLOCH has been retained by the current owner of 220-222 King Street in Sudbury to secure planning approvals for the development of four additional units in the basement of the existing legal non-conforming 12-unit multiple dwelling located on the subject lands. TULLOCH is hereby submitting an application under *Section 45(2)* of the *Planning Act* to facilitate the expansion of an existing legal non-conforming use.

Should there be any questions with respect to the above, please do not hesitate to contact the undersigned directly.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Ryland Thompson', with a long horizontal stroke extending to the right.

Ryland Thompson
Planner

PLANNING JUSTIFICATION - 220-222 KING STREET, SUDBURY

1.0 INTRODUCTION

TULLOCH has been retained by the current owner of those lands known municipally as 220-222 King Street in Sudbury to facilitate a Minor Variance to permit an additional 4 dwelling units in the basement of an existing legal non-conforming 12-unit multiple dwelling for a total of 16 multiple dwelling units with a lot area of 80m² per unit where 140m² per unit is required and 107m² per unit currently exists under *Section 45(2)* of the *Planning Act*. As part of the redevelopment the existing parking area will be reconfigured while the existing height and footprint of the building will remain unchanged.

2.0 SUBJECT LANDS

The subject property is located west of Notre Dame Avenue in the Flour Mill neighbourhood within the community of Sudbury. The subject property has an area of approximately 1,282m² with +/-36.58m of frontage on the north side of King Street. Vehicular access to the property is provided through a laneway that runs along the northerly lot line and intersects with Laforest Avenue. Parking is provided within a parking area behind the building which can be accessed via the aforementioned laneway. The parking area currently consists of 15 parking spaces.

The immediate surrounding area is primarily low and medium density residential, with a mix of low and medium density built forms. Within the surrounding area there are industrial and commercial uses and a large park to the north. The surrounding land is mostly zoned R2-3 'Low Density Residential Two' and C2 'General Commercial'.

Surrounding uses can be described as follows:

- NORTH:** Low, medium, and high density residential uses
- EAST:** Mixed use and commercial buildings containing restaurants, retail, gym, Shell gas station, Circle K convenience store
- SOUTH:** Low, medium, and high density residential uses, places of worship, secondary school, Food Basics, pharmacy, restaurants
- WEST:** Low, medium, and high density residential uses, O'Connor Playground, elementary schools

The subject property is designated as 'Living Area I' per Schedule 1b of the City of Greater Sudbury Official Plan (OP) and is within the Built Boundary and Settlement Area per Schedule 3 of the OP. King Street is categorized as Local Road per Schedule 7 of the OP.

3.0 BACKGROUND

In 1987, the owners of 220-222 King Street sought relief from *Zoning By-law 62-192* in order to construct a 3-storey, 12-unit apartment building on the property. The specific variances requested

were to permit a reduced front yard setback, lot area, and reduced parking requirements. At the time the By-law required 18 parking spaces for the proposed development, where permission for 15 spaces was proposed. The application was scheduled for a public hearing before the Committee of Adjustment on March 16, 1987, and was approved by Committee.

On June 14, 2021, Planning Committee approved a Zoning By-Law Amendment (PL2021-99) to change the zoning classification from R2-3 to R3(S) to facilitate the development of four additional units (16-units total) and a private home daycare with site specific provisions of parking, accessible parking, planting strips and fencing. Staff was generally supportive of the development proposal and was of the opinion that the development proposal in question was generally in conformance with the OP, was consistent with the PPS, and would not conflict with the Growth Plan for Northern Ontario. The approval was conditional and lapsed on June 29, 2023.

4.0 DEVELOPMENT PROPOSAL

The subject application proposes to add an additional 4 dwelling units in the basement of an existing legal non-conforming 12-unit multiple dwelling for a total of 16 multiple dwelling units with a lot area of 80m² per unit where 140m² per unit is required and 107m² per unit currently exists under *Section 45(2)* of the *Planning Act*.

The current lot area per unit for the existing 12-unit multiple dwelling situated on the subject property is 107m² per unit. The minimum lot area within the R2-3 zone is 140m² per unit, however, since the building was constructed in 1987, the building in its current state is legal non-conforming. To facilitate the additional 4 units a further reduction in the per-unit lot area to 80m² is required.

To enable the additional 4-units the existing parking will be reconfigured to add an additional 5 parking spaces as shown in the Concept Plan accompanying the application. By reconfiguring the parking spaces and increasing the paved surface area within the rear yard in accordance with the zoning by-law, 5 additional parking spaces will be provided. Parking relief is not required to the by-law, considering the subject property is directly abutting GOVA Route 27 (Flour Mill Local), and is eligible for a 10% parking space reduction, therefore providing the required 1.35 spaces per unit for the 4 additional dwelling units and maintaining the existing 15 parking spaces for the existing 12-units. Eight (8) bicycle parking spaces will be provided.

Development Approvals confirmed that a Site Plan Control Amendment would not be required as part of the minor parking area alterations. Environmental Services confirmed that curbside refuse/recycling collection along King Street for the 16-units can continue to be accommodated.

5.0 SECTION 45(2) APPLICATION

The existing building and use pre-dates the Zoning By-law and is therefore a legal non-conforming use in accordance with Section 34(9) of the Planning Act.

Unlike *Section 45(1)* of the *Planning Act*, which prescribes a clear set of tests, *Section 45(2)* does not clearly state which tests must be met for permission to expand a non-conforming use. However, the tests used to review *Section 45(2)* applications have been established through the decision of the *Supreme Court of Canada in Saint-Romuald (Ville) v. Olivier, 2001, SCC 57, 2001 Carswell Que 2013*, OMB case *Asgharzadeh, Re, 2010 Carswell Ont 4047* and more recently, Ontario Land Tribunal (OLT) case *Fraser v. Rideau Lakes (Township), 2020*. As a result, applications applied for under *Section 45(2)* of the *Planning Act*, must be evaluated on the basis of the following two tests:

1. *Whether the application is desirable for appropriate development of the subject property; and*
2. *Whether the application will result in undue adverse impacts on the surrounding properties and neighborhood.*

Furthermore, *Fraser v. Rideau Lakes (Township), 2020*, case also established that for variations applied for under *Section 45(2)* of the *Planning Act*, the intent and purpose of the Official Plan is not a relevant consideration. Nevertheless, Official Plan policies are referenced in the following planning analysis.

IS THE APPLICATION DESIRABLE FOR THE APPROPRIATE DEVELOPMENT OF THE PROPERTY?

It is the author's opinion that the additional 4-units and per lot area reduction is appropriate and desirable given that:

- The proposed development represents the highest and best use of the property by converting existing usable space within the legal non-conforming building into 4 additional dwelling units.
- The proposed development of an additional 4 units in the currently unoccupied basement of an existing multiple dwelling is considered residential intensification and is consistent with the housing objectives discussed in **Section 2.2** of the PPS.
- The current density on the subject property is presently 94 units/ha. As per the OP, developments with a net density of greater than 90 units/ha is considered high density. An increase of four units within the existing building would increase the net density to +/- 125 units/ha, the proposed density increase is desirable in this location as it is supported by active transportation infrastructure, public transit and is in proximity to many amenities and services such as schools, restaurants, and businesses.
- The proposed development is consistent with the City's objectives for development within the Settlement Area within **Section 2.3.2** of the OP. It represents an efficient use of land within a location where development is encouraged, does not require any extension or upgrades to municipal infrastructure, supports the use of active transportation infrastructure and public transit, and supports local businesses and institutions.

WILL THE APPLICATION RESULT IN UNDUE ADVERSE IMPACTS ON THE SURROUNDING PROPERTIES AND NEIGHBOURHOOD?

It is the author's opinion that the additional four units and the resulting reduced lot area per unit will not result in any adverse impacts on the surrounding properties and neighbourhood.

- The existing 12-unit multiple dwelling already represents a high-density development, and an increase of 4-units would not result in adverse impacts to residents or the surrounding neighbourhood.
- No negative impact will result from the variance with regard to aesthetic impact on the surrounding area as there will be no alterations to the building or changes to the size and massing of the multiple dwelling and no changes to sun-shadowing will occur.
- The parking lot reconfiguration is a negligible change to the existing condition and the introduction of those parking spaces results in a total of +/-25% landscaped open space where +/-27% landscaped open space currently exists.
- Development Engineering is not requiring a site plan amendment for the proposed additional parking spaces or units and are comfortable that servicing and stormwater will be similar/ or the same as existing following the addition of the units.
- The proposal would enable intensification of the subject lands in a manner that is appropriate for the character and uses in the surrounding neighbourhood. The subject property is situated in an older residential neighbourhood with a range of densities up to 210 units/ha. Lot areas per unit are more compact than typical in this neighbourhood, with the building directly to the west having a lot area per unit of approximately 47m²/unit with most multiple dwellings having per unit lot areas between 60m² and 110m² per unit.
- When considering high-density housing, the size and massing of high-density buildings and potential traffic strain on local roads is often a consideration of whether the high density use can be compatible with the surrounding neighbourhood. The proposed development will not alter the size and massing of the existing building which appears as a medium density built form (3-storeys in height). There is not expected to be any negative impacts related to the traffic that would be generated by the proposed development on the local road network and surrounding land uses nor is there expected to be an undue burden on surrounding public spaces (i.e., parks and recreational amenities etc.).

6.0 CONCLUSION

Given the analysis contained herein, the requested permission to expand does not introduce any adverse effects to either the subject property or the abutting lands. The proposed development is an increase of 4 units and represents a logical use of an unoccupied basement within a legal non-conforming multiple dwelling. As such, it is the author's opinion that the proposed variance is appropriate for the facilitation of the development for the subject property, given that:

1. The application is desirable for appropriate development of the subject property; and

2. The application will not result in undue adverse impacts on the surrounding properties and neighborhood.

Respectfully submitted,

Prepared By:

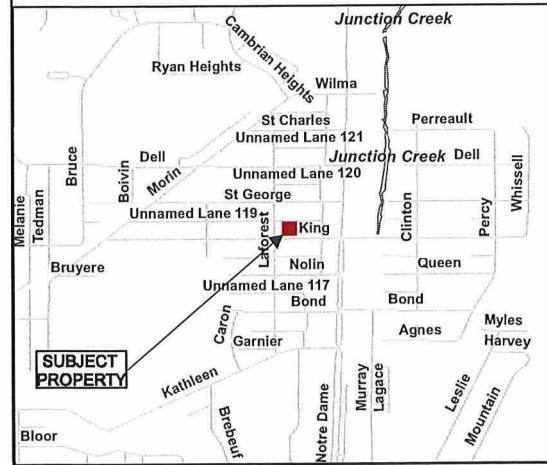
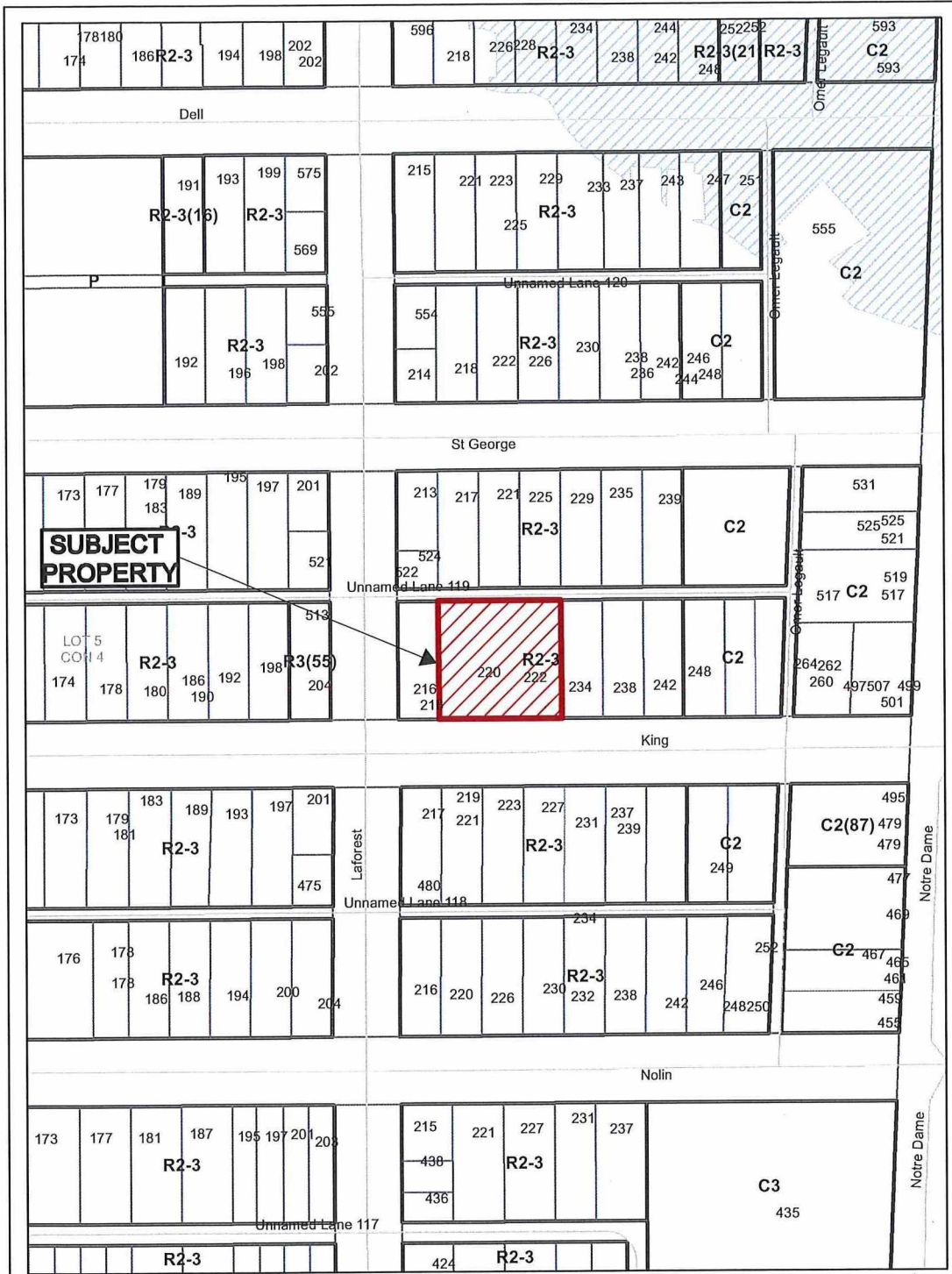


Ryland Thompson
Planner

Reviewed By:



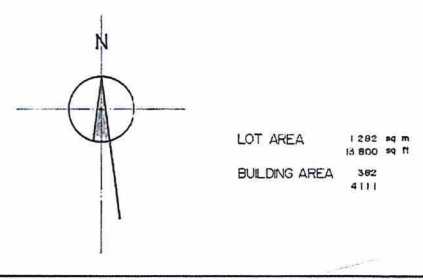
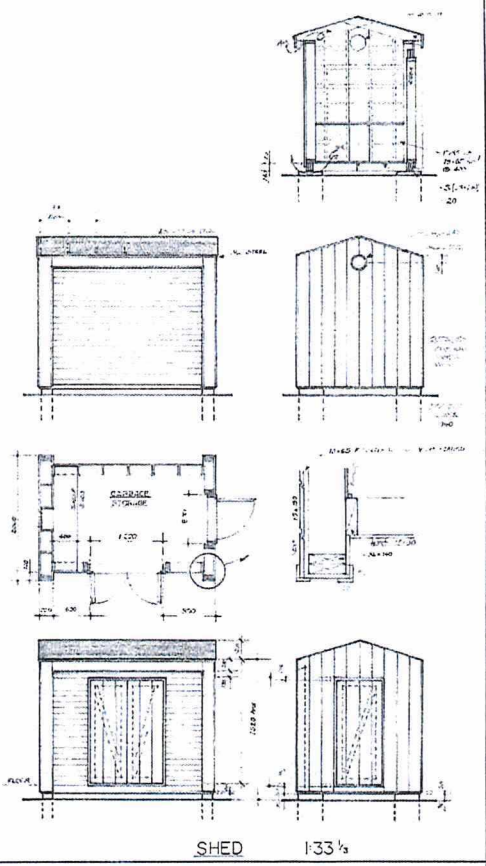
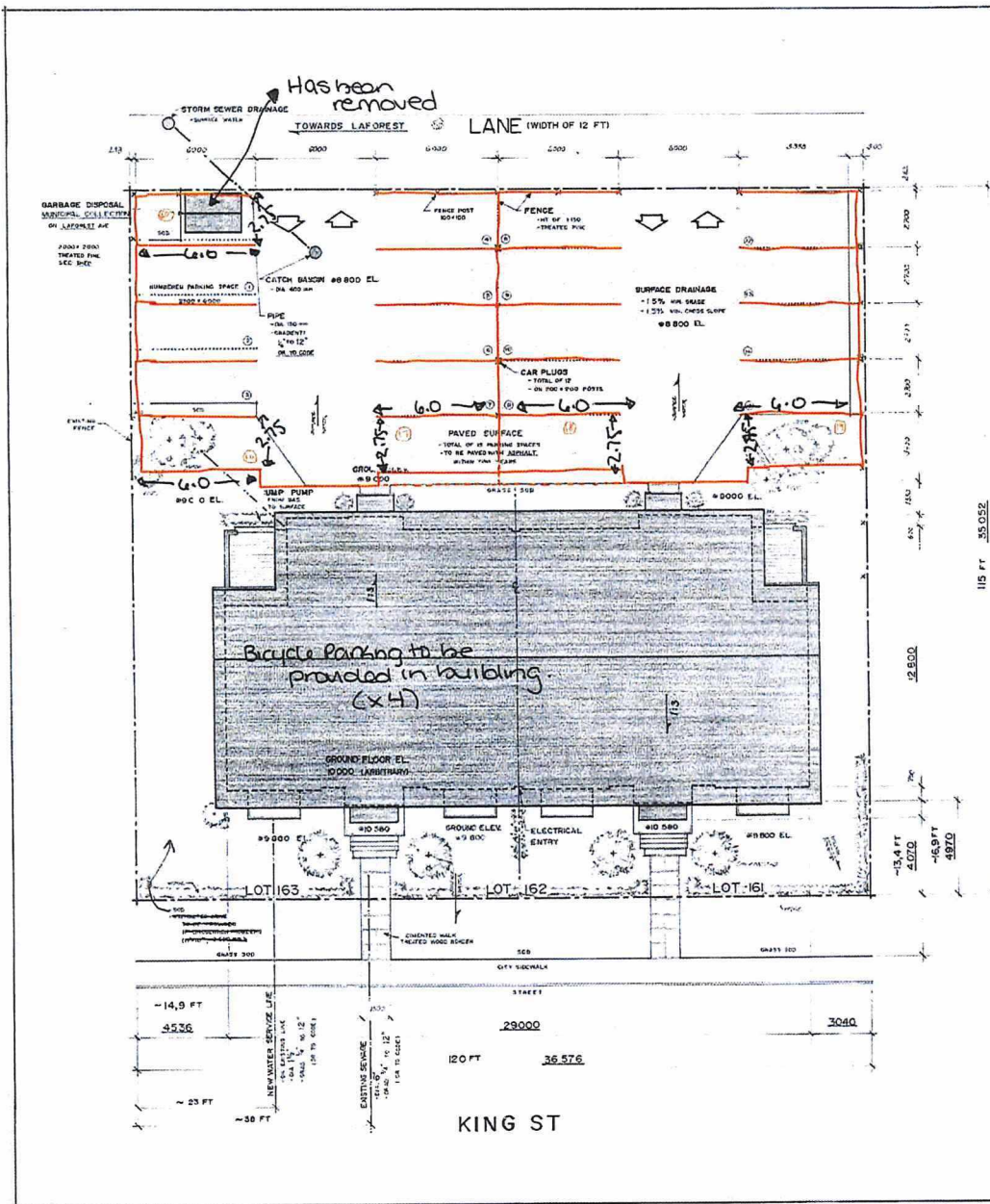
Vanessa Smith, M.Pl., RPP
Senior Planner | Project Manager



Application for Minor Variance or Permission

Subject Property being PIN 02131-0156, Lots 161-163, Plan 18-SB, Part Lot 5, Concession 4, Township of McKim, 220 and 222 King Street, Sudbury, City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00068
 NDCA Date: 2025 05 27



EDIFICE DE LA RIVA
12 unités
220, 222 King
terrains 161, 162, 163

RECEIVED
JUN 03 1987
BUREAU DE PERMIS

THIS IS BONDABLE "A" TO A CITY PLAN
CONCORDANCE AGREEMENT BETWEEN THE APPROVED,
MUNICIPALITY OF QUEBEC AND BUREAU DE PERMIS
AND DATING FROM: ARRIVEE DE LA 1000,
DATED JUNE 5, 1987

THIS IS BONDABLE "A" TO THE APPROVED
ARRIVEE DATED June 5, 1987
BUREAU DE PERMIS AND
Rosée Carrière Marie
Andrée DesRiva

Georges Lanacé architecte
1 rue de la Loi, St.
C-18 202

GEORGES LANACÉ ARCHITECTE
DU QUÉBEC

TYPE DE RÉGIM.
SITE PLAN

DATE	MARS 1987	ÉCHELLE 1:100	
NO	DATE	REVISION	PROJET NO
1	05 27	SHLD	107-7
2	06 01	FINALIZED	
			1

PL-MV-2025-00068
sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00069

APPLICATION SUMMARY

File Date: 05/17/2025

Application Type: Minor Variance

Address(es): 2570 South Shore Road, Sudbury P3G 1M3

Applicant(s): PATRICK BROUZES

Owner(s): PATRICK BROUZES

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

January 15th 2024

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-1

Provide a detailed description of what is being proposed

Building of 2 storey detached garage.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

non conforming to height restriction in bylaw 2010-100Z.

We purchased this house last year, and we knew it had minimal storage but felt we could work with it, but as a family of 5 we are bursting at the seams. We showed our designer a picture of a 3 bay garage and loft and asked him to create a plan. The main floor of the garage will have a work area for me with my wood working tools, there will also be storage for garden tools, side by side, and boat. My wife has a lot of seasonal decorations, and the loft area will be used to store them all, as well as for off-season clothing for my wife and daughters and sports equipment. We will also be able to put our gym equipment in the loft and reclaim a bedroom we are currently using to house the equipment.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

22.86

Lot Depth of the property

114.757

Lot Area of the property

2294.41

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

House 2010

Sauna unsure, original was probably in 1960's but it has been partially renovated since.

Shed - to be demolished

Gazebo - between 2010 and 2024

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential, since at least the 1960's.

Is the use remaining the same? If no, please provide the proposed new use

staying the same

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

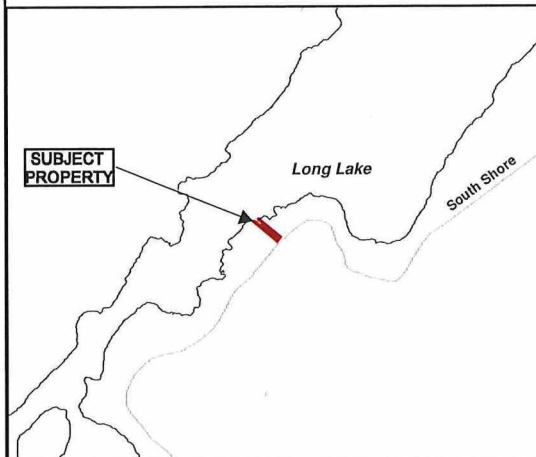
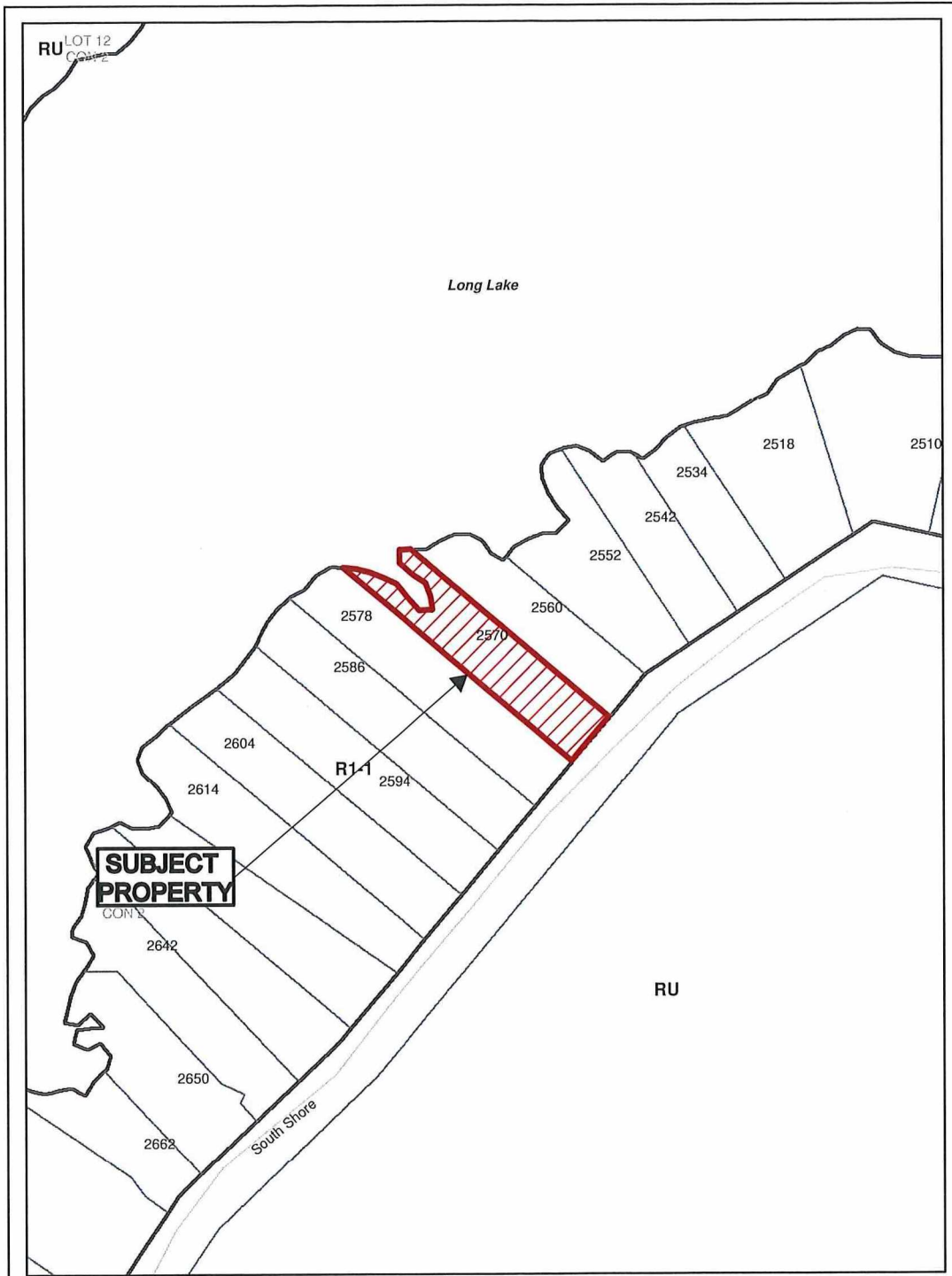
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Garage with loft	No	113.71	198.10	2	12.2	9.8	7.76	7.6	78.5	1.8	11.26

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Sauna	No	20	20	1	3.66	5.49	2.57	81.91	2.65	14.41	3.36
House	No	222.5	479.0	1	16.15	20.72	6.0	41.22	30.05	3.05	2.79
Gazebo	No	6.08	6.08	1	3.04	3.04	3.15	68.19	19.85	14.40	6.7
Shed	Yes	7.32	7.32	1	2.4	3.05	2.74	35.77	52.91	13.10	6.41

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height - Detached Garage	By-law 2010-100Z, maximum height of 5m	7.76	2.76



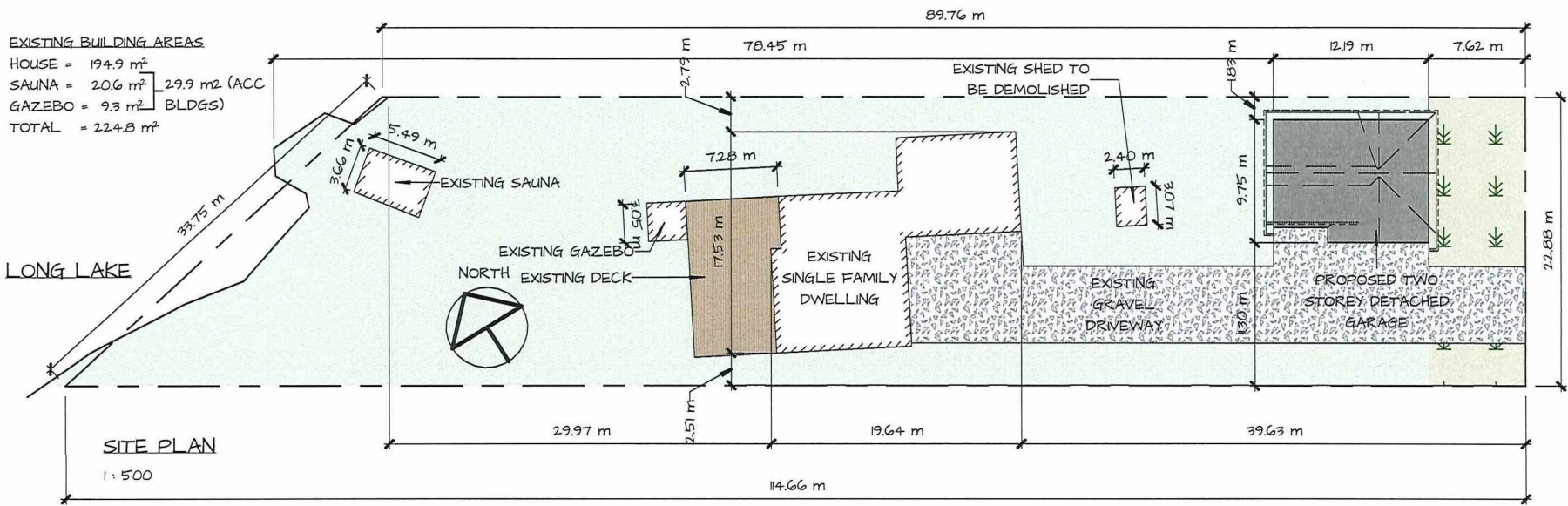
**Application for Minor
Variance or Permission**



Subject Property being PIN 73472-0124,
Parcel 27188 SEC SES SRO,
Lot 26, Plan M-480,
Part Lot 12, Concession 2,
Township of Broder,
2570 South Shore Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00069
Date: 2025 05 23

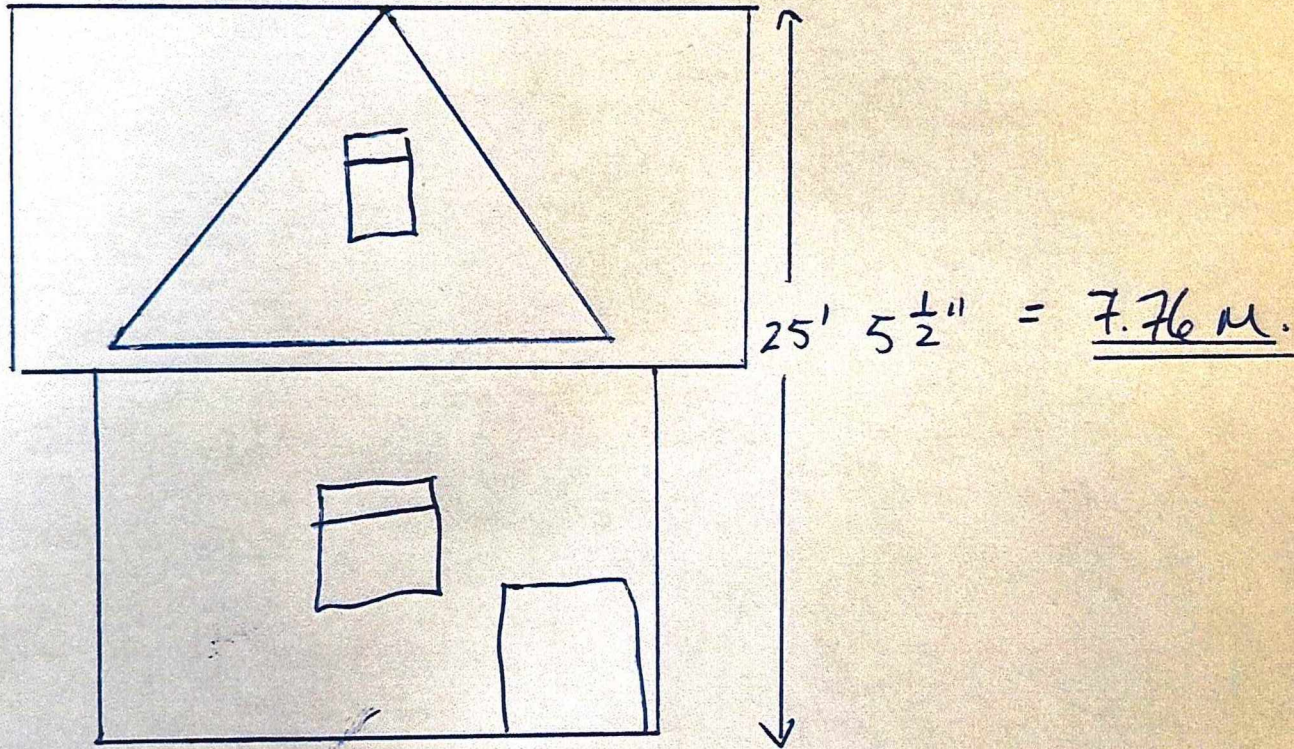


SITE PLAN
1:500

PL-MV-2025-00069
Sketch 2

Height sketch

East elevation (looking from road).



PL-MV-2025-00069
Sketch 3

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
17834444



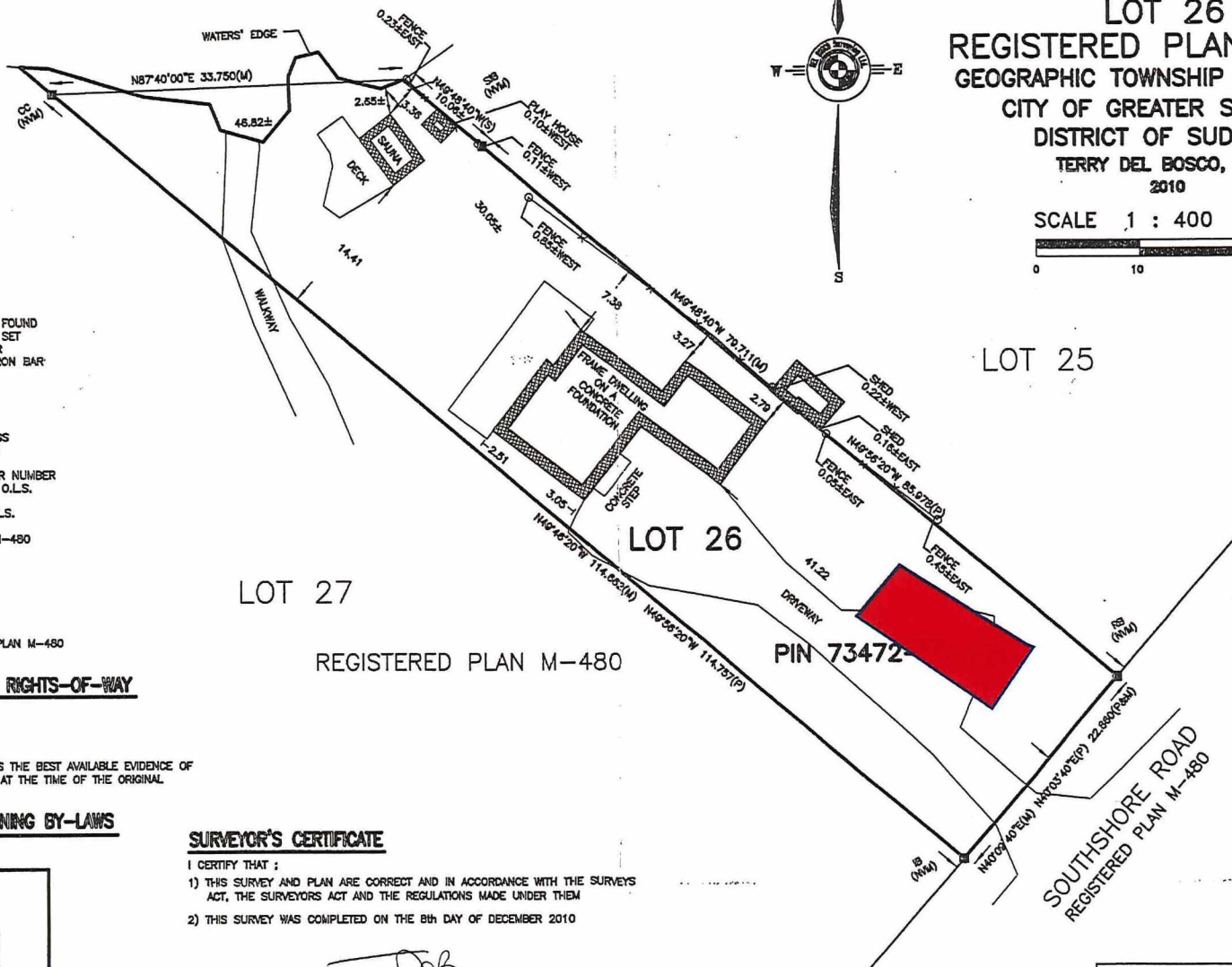
THIS PLAN IS NOT VALID
UNLESS IT IS AN APPROVED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 28(2)

SURVEYOR'S REAL PROPERTY REPORT
ON
LOT 26
REGISTERED PLAN M-180
GEOGRAPHIC TOWNSHIP OF BRODER
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TERRY DEL BOSCO, O.L.S.
2010

SCALE 1 : 400



LONG LAKE



LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
IB	DENOTES	IRON BAR
RB	DENOTES	ROCK BAR
RPL	DENOTES	ROCK PLUG
M	DENOTES	MEASURED
S	DENOTES	SET
NVM	DENOTES	NO VISIBLE MARKINGS
WIT	DENOTES	WITNESS MONUMENT
PROP	DENOTES	PROPORTIONED
PIN	DENOTES	PROPERTY IDENTIFIER NUMBER
1655	DENOTES	TERRY DEL BOSCO, O.L.S.
707	DENOTES	R. T. LAKE, O.L.S.
943	DENOTES	D.W. ENDLEMAN, O.L.S.
1542	DENOTES	J. A. COLE, O.L.S.
P	DENOTES	REGISTERED PLAN M-480
—	DENOTES	NOT TO SCALE

DESCRIPTION

PIN 73472-0124, BEING LOT 26, REGISTERED PLAN M-480
NO VISIBLE MUNICIPAL No.

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY

NONE

NOTE

THE LIMIT OF LONG LAKE AS SHOWN HEREON IS THE BEST AVAILABLE EVIDENCE OF THE WATERS' EDGE OR THE HIGH WATER MARK AT THE TIME OF THE ORIGINAL SURVEY OF THE TOWNSHIP OF BRODER

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS

NOT CERTIFIED BY THIS REPORT.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM
- 2) THIS SURVEY WAS COMPLETED ON THE 8th DAY OF DECEMBER 2010

DECEMBER 10, 2010
DATE

TERRY DEL BOSCO
ONTARIO LAND SURVEYOR

SOUTHSHORE ROAD
REGISTERED PLAN M-480

NOTE
DISTANCES SHOWN HEREON ARE IN METERS AND CAN
BY CONVERTED TO FEET BY DIVIDING BY 0.3048.

TULLOCH

1942 REGENT STREET SUDBURY, ONTARIO
UNIT L P3E 5V5 705-671-2295

FILE 8072 LOT GRADING PREPARED BY TDB

PL-MV-2025-00069
Sketch 4



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00041

REVISED

APPLICATION SUMMARY

File Date: 04/07/2025

Application Type: Minor Variance

Address(es): 4317 Odile Street, Hanmer P3P 1L6

Applicant(s): ADAM MARTEL

Owner(s): ADAM MARTEL

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Feb 20, 2024

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
WHPA Significant

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5

Provide a detailed description of what is being proposed
See Schedule

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
See Schedule

Is there an eave encroachment?
Yes

Size of eaves
0.5

Lot Frontage of the property
18.349

Lot Depth of the property
34.107

Lot Area of the property
625.829

Total width of the public road giving access to the property
18.288

List all buildings and structures on the property and their respective date of construction
None. This will be a new lot with nothing on it.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
Residential additional lot

Is the use remaining the same? If no, please provide the proposed new use
yes

Existing uses of neighbouring properties
Residential

Has the property ever been subject of a previous application for minor variance/permission?
No

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

Yes

Indicate the application number(s) and status of the application(s)

B01062024, currently approved with conditions. Only conditions remaining are drainage/lot grading plan which is currently submitted to the city for approval.

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

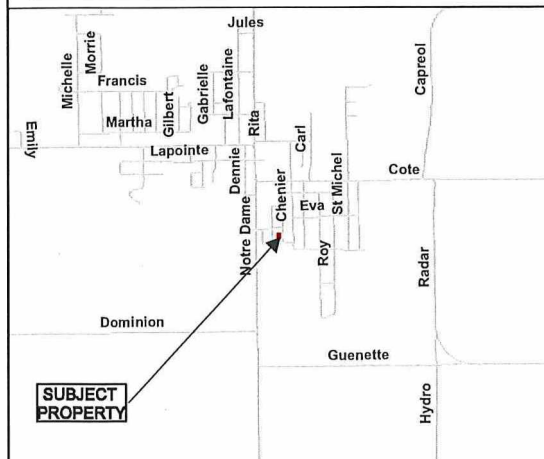
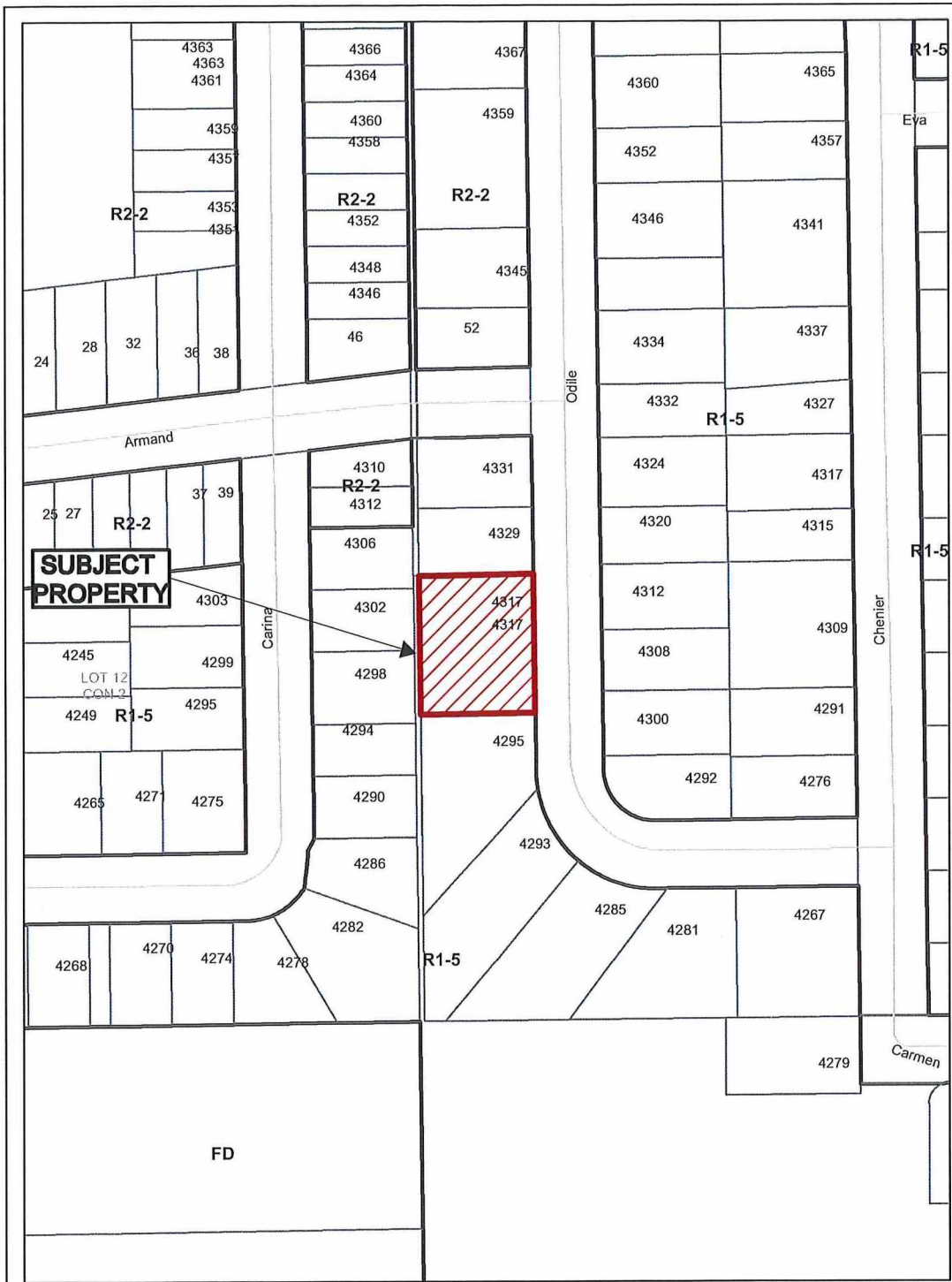
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Single detached dwelling with 3 additional units	No	242.2	484.4	2	14.7	17.5	9.91	12.0	4.6	1.8	1.8

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
detached garage	Yes	69.68	88.44	1	7.62	9.1	4.87	23.69	1.22	13.39	19.72

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Rear Yard Setback as per Table 6.2	7.5m	4.6m	2.9m
Balcony Encroachment as per Table 4.1	May encroach 1.8 m into the required rear yard	2.9m encroachment, 4.6m setback from rear lot line	1.8m
Eave Encroachment as per Table 4.1	May encroach 1.2 m into the required rear yard but not closer than 0.6 m to the lot line	3.4m into required rear yard	2.2m



Application for Minor Variance or Permission



Subject Property being PIN 73508-0509,
 Parcel 32620 SEC SES SRO,
 Lot 20, Plan M-476,
 Part Lot 12, Concession 2,
 Township of Capreol,
 4317 Odile Street, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2025-00041
 Date: 2025 04 11

Proposal for a Single Dwelling Structure with Three Self-Contained Units

Location: Hanmer, Ontario

Lot Size: 18m x 34.2m

Zoning: R1-5

Submitted to: City of Greater Sudbury Planning Committee

Overview

Proposing a single dwelling with three self contained accessory units. In order to meeting the cities bylaws for parking and front yard landscaping, I require a minor variance for the rear yard setback. Details can be found below.

Development Details

1. Design & Layout:

- One building with three fully independent units.
- Each unit includes private kitchen, bathroom(s), laundry, and entryway.
- Modern, high-quality finishes and energy-efficient systems.

2. Curb Appeal & Landscaping:

- Attractive contemporary façade with varied materials and articulated features.
- Landscaped areas in the front yard to soften the streetscape.
- Defined walkways for safety and aesthetics.

Requested Variances

To accommodate the proposed design within the existing R1-5 zoning regulations, the following variances are respectfully requested:

Original Proposal			
Zoning Clause	Requirement	Proposed	Difference
Front Yard Parking as per clause 4.2.10.5	6.3m	18.3m	12.0m
Landscaped Open Space as per clause 4.15.2	50%	27%	23%
Table 6.2 – Rear Yard Setback	7.5m	3.9m	3.6m
Table 4.1 – Balcony Encroachment	Max. 1.8m into rear yard	3.6m	1.8m
Table 4.1 – Eave Encroachment	Max. 1.2m into rear yard ($\geq 0.6m$ to lot line)	4.1m	2.9m

PL-MV-2025-00041

Revised Proposal			
Zoning Clause	Requirement	Proposed	Difference
Table 6.2 – Rear Yard Setback	7.5m	4.6m	2.9m
Table 4.1 – Balcony Encroachment	Max. 1.8m into rear yard	2.9m	1.8m
Table 4.1 – Eave Encroachment	Max. 1.2m into rear yard ($\geq 0.6m$ to lot line)	3.4m	2.2m

Based on the discussions had on the first hearing, we had made several changes to the design in order to better suit the area. These revisions have reduced the variances required. The following changes were made;

- Second washrooms removed. This allowed us to shorten the building.
- Rear porch is now flush with the back of the house allowing for larger back yard and reducing the encroachment into the rear yard setback.

Rationale for Variances

- Rear Yard Setback: The reduced rear yard setback allows the building footprint and parking to accommodate functional parking and living space for each unit while maintaining adequate outdoor amenity space.
- Balcony & Eave Encroachments: These architectural features enhance the usability and aesthetics of the building. They are modest in nature and do not adversely affect privacy, drainage, or neighbor access.

Conclusion

While minor variances are necessary, they are justified by the benefit of adding four modern, independent dwelling units in a single, thoughtfully designed structure. We respectfully request the Planning Committee's support in approving these variances to allow this much-needed development to proceed.

PL-MV-2025-00041



DOOR AND FRAME FINISH SCHEDULE

Table with columns: NUMBER, DOOR TYPE, WIDTH, HEIGHT, DOOR FINISH, FRAME FINISH, FRAME MATERIAL, FRAME FINISH, GLASS, FIRE RATING, COMMENTS. Lists various door specifications and materials.

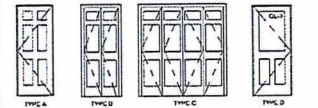
ABBREVIATIONS:

Table mapping abbreviations to materials: LAM (Laminated), VCT (Vinyl Composite Tile), WD (Wood), OY (Oxide Yellow), PT (Paint), etc.

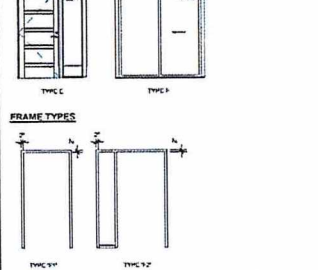
DOOR SCHEDULE GENERAL NOTES:

- 1. A FINISH IS USED IN ANY COLUMN THAT DOES NOT APPLY TO A PARTICULAR DOOR.
2. DOOR HEIGHT IS THE CLEAR HEIGHT IN INCHES FOR SINGLE DOORS.
3. DOOR TYPE, HEIGHT AND WIDTH ELEVATIONS SHOWN BELOW THE FINISH IS INDICATES A...
4. GLASS IN DOORS SHALL BE TEMPERED GLASS THAT IS TYPE III GLASS UNLESS IT SHALL BE...
5. WINDOW PLATE GLASS SHALL BE...
6. FINISH, TYPE AND SIZE TO BE SHOWN IN THE SCHEDULE OR IN THE...
7. ALL EXTENSION DOORS AND FRAMES ARE TO BE PREGATED AND WEATHERSTRIPPED UNLESS NOTED OTHERWISE.

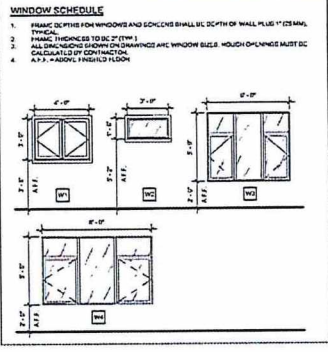
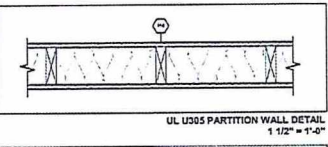
DOOR TYPES



FRAME TYPES



ROOM FINISH SCHEDULE table with columns: NUMBER, NAME, ROOM FINISH, WALL FINISH, FLOOR FINISH, CEILING FINISH, COMMENTS. Lists room specifications.



GENERAL NOTES: 1. ALL DIMENSIONS SHOWN ON DRAWINGS ARE WINDOW SIZES... 2. FRAME THICKNESS TO BE... 3. ALL DIMENSIONS SHOWN ON DRAWINGS ARE WINDOW SIZES... 4. A 3\"/>

REVISIONS: 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.



ADAM BAVEL ATTORNEY AT LAW PROJECT NO. 00041 SCHEDULES

Drawn: NC, Checked: DFM, Date: As Indicated

A02

ISSUED FOR REVISION 5 - MAY 20, 2025

PL-MV-2025-00041 Sketch 3

GENERAL NOTES:

- EXISTING HEIGHT TO DRAWING PREPARED BY ESTABLISHED SURVEYING FOR GRADING INFORMATION.
- PROVIDE A 2" WIDE, WHITE LINE PAINTED ON ALL NEW ASPHALT.
- ALL EXISTING & PROPOSED UTILITIES PER PLAN, INCLUDING UTILITIES NOTED, CONNECTION TO LOCAL ALL UNDERGROUND UTILITIES PER TO LOCAL REGULATION OF WORK.
- NEW TOTAL LOT COVERAGES:
 - EXISTING DWELLING → 22%
 - PROPOSED NEW DWELLING → 24% (24%)
 - PROPOSED NEW GARAGE → 10% (10%)
 - NEW TOTAL LOT COVERAGES → 28% (28%)

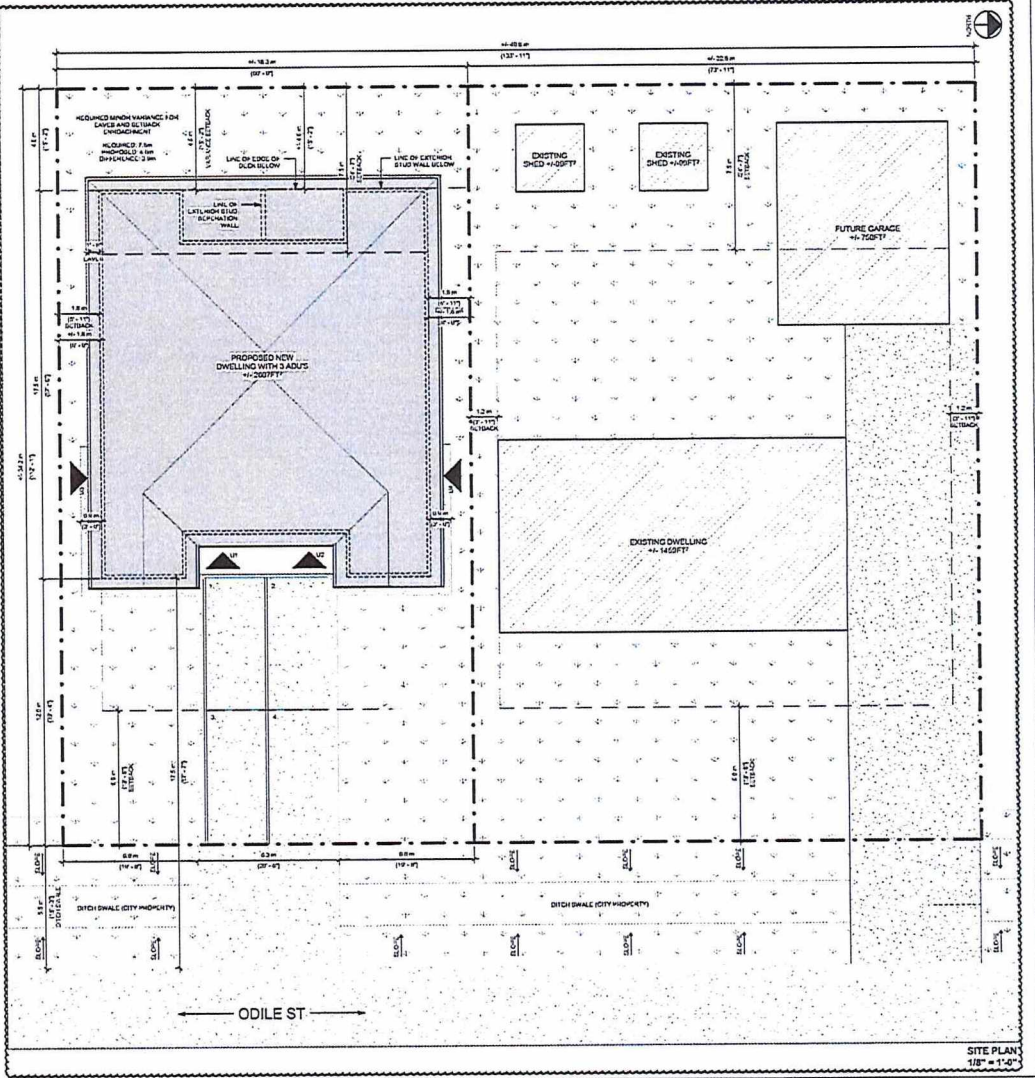
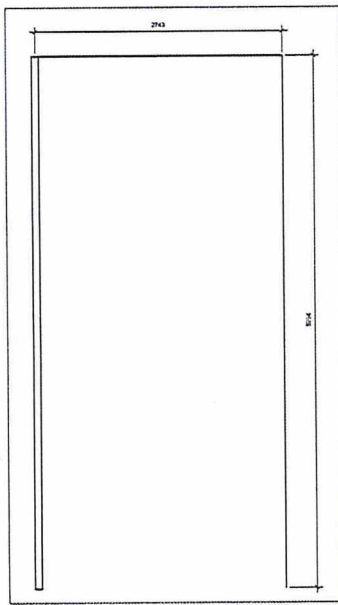
SITE PLAN LEGEND

- PROPOSED NEW
- EXISTING BUILDING
- EXISTING WALL
- EXISTING ASPHALT
- EXISTING GRASS
- EXISTING MASONRY BRICK PAVCH
- EXISTING CONCRETE WALKWAY
- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING TYPICAL PARKING SPACE (5' x 10')
- BUILDING ENTRANCE

DIMENSIONS ON THIS PLAN TO BE VALID VERIFIED BY LAND SURVEYOR. CONNECTION TO ALL UTILITIES PER TO LOCAL REGULATION OF WORK.

ZONE → R-1
 TOTAL PROPOSED AREA → 128.2 SQM
 EXISTING DWELLING → 22% (22%)
 PROPOSED NEW DWELLING → 24% (24%)
 PROPOSED NEW GARAGE → 10% (10%)
 NEW TOTAL LOT COVERAGES → 28% (28%)

MAXIMUM LOT COVERAGES → 40%
 MAXIMUM HEIGHT → 11m
 MINIMUM LOT WIDTH → 10m
 MINIMUM FRONT YARD → 4.8m
 MINIMUM REAR YARD → 7.2m
 MINIMUM SIDE YARD → 3.6m
 MINIMUM CONCRETE WALKWAY → 4.8m



GENERAL: ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS OF THE ACT AND THE REGULATIONS THEREUNDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

DESIGNED BY: [Name]
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



ADAM BAXTEL
 PROFESSIONAL ENGINEER
 PROJECT NO. 100000100

DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

A03

ISSUED FOR REVISION 5 - MAY 20, 2025

PL-MV-2025-00041
 sketch 4

LEGEND

- ROOM NAME**
 [Symbol] [Room Name] - DENOTES ROOM NAME AND NUMBER NO CHANGE
- [Symbol] - DENOTES PARTITION ASSEMBLY TAG REFERENCE
- [Symbol] - DENOTES WINDOW TAG REFERENCE
- [Symbol] - DENOTES EXTERIOR WALL TAG REFERENCE
- [Symbol] - DENOTES FLOOR DRAIN
- [Symbol] - DENOTES DOOR AND DOOR MARKING
- [Symbol] - DENOTES KEY INFORMATION MESSAGE
- [Symbol] - DENOTES STACKABLE WASHING AND DRYER
- [Symbol] - DENOTES STOVE COOKTOP
- [Symbol] - DENOTES TANKLESS HOT WATER ON DEMAND GOLDEN FARM
- [Symbol] - DENOTES HEAT RECOVERY VENTILATION

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

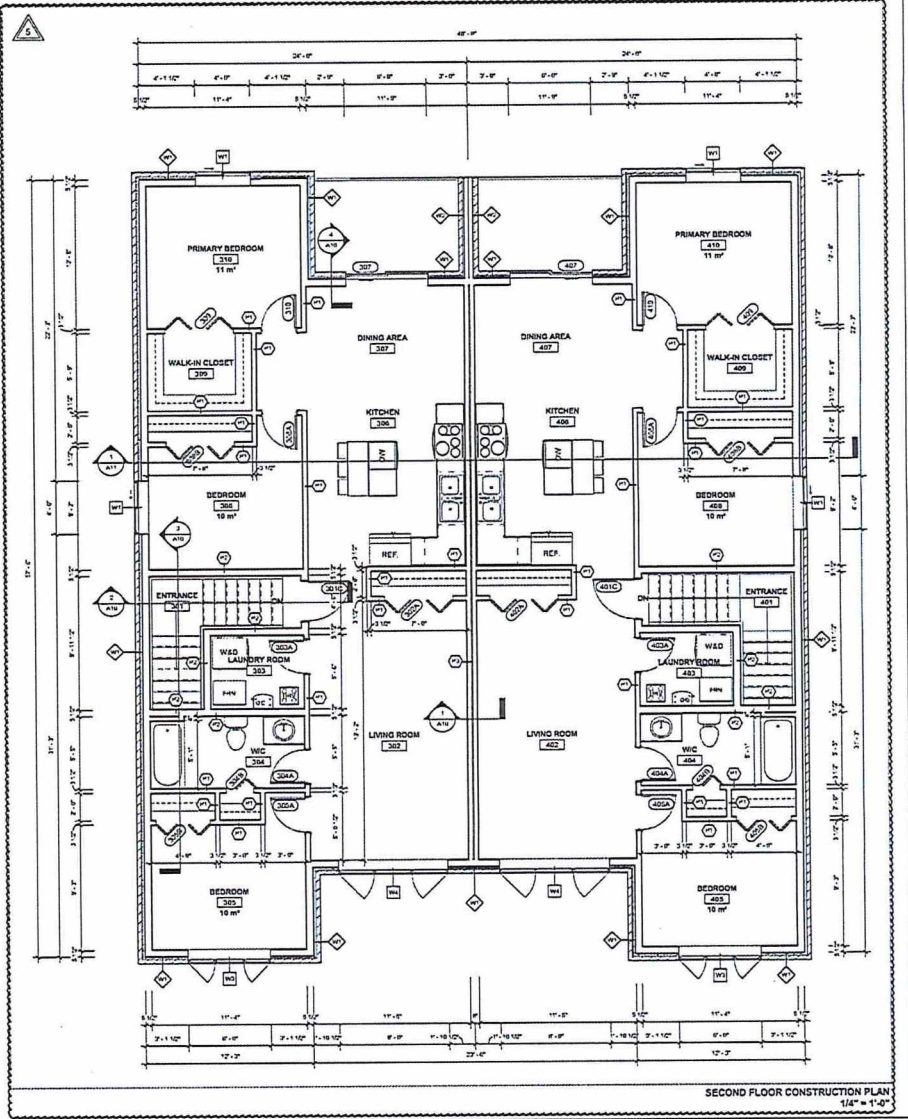
- ALL INTERIOR PARTITIONS ARE TO BE 4" UNLESS NOTED OTHERWISE.
- IN ALL CASES, PARTITIONS SHALL BE CONSTRUCTED TO PROVIDE A SOUND RATING OF 50 DB.
- USE 1/2" GYPSUM BOARD ON BOTH SIDES OF ALL MCT SIDES OF PARTITIONS & CLIMATE BOUND WALLS UNLESS OTHERWISE NOTED.
- PHONIC PNC 100 SHALL BE USED TO SEAL PARTITIONS AT ACCESSIBLE ELEVATIONS.
- ALL PARTITIONS SHALL BE CONSTRUCTED TO PROVIDE A SOUND RATING OF 50 DB.
- ALL FLOOR CLOSURES ARE TO BE CONSTRUCTED TO PROVIDE A SOUND RATING OF 50 DB.
- ALL UNFILLED VERTICAL JOINTS IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH JOINT COMPOUND.
- ALL DOORS SHALL BE LOCATED AT MINIMUM 18" FROM PARTITION WALLS.
- THE LEAF OF EACH PARTITION SHALL BE FINISHED TO MATCH THE FINISH OF THE ADJACENT WALLS.

PARTITION ASSEMBLIES:

- (1) TYPICAL INTERIOR PARTITION WITH DOOR:**
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 @ 16" OC 2" WOOD STUDS @ 16" OC.
 - PHONIC PNC 100 TO SEAL PARTITIONS AT ACCESSIBLE ELEVATIONS.
- (2) TYPICAL INTERIOR PARTITION WITH WINDOW:**
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 @ 16" OC 2" WOOD STUDS @ 16" OC.
 - PHONIC PNC 100 TO SEAL PARTITIONS AT ACCESSIBLE ELEVATIONS.
- (3) TYPICAL INTERIOR PARTITION WITH DOOR AND WINDOW:**
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 @ 16" OC 2" WOOD STUDS @ 16" OC.
 - PHONIC PNC 100 TO SEAL PARTITIONS AT ACCESSIBLE ELEVATIONS.
- (4) TYPICAL INTERIOR PARTITION WITH DOOR AND WINDOW (DOUBLE TOP PLATE):**
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 @ 16" OC 2" WOOD STUDS @ 16" OC.
 - PHONIC PNC 100 TO SEAL PARTITIONS AT ACCESSIBLE ELEVATIONS.
- (5) TYPICAL INTERIOR PARTITION WITH DOOR AND WINDOW (DOUBLE TOP PLATE) WITH DOUBLE GLAZING:**
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 @ 16" OC 2" WOOD STUDS @ 16" OC.
 - PHONIC PNC 100 TO SEAL PARTITIONS AT ACCESSIBLE ELEVATIONS.

WALL ASSEMBLIES:

- (1) EXTERIOR WALL WITH WINDOW:**
 - STONE VENEER BY OWNER.
 - 1/2" GYPSUM BOARD ON INTERIOR SIDE.
 - 1/2" WOOD INSULATION (R-19).
 - 1/2" WOOD SHEATHING (5/8" CDX).
 - 1/2" GYPSUM BOARD ON EXTERIOR SIDE.
 - 1/2" WOOD INSULATION (R-19).
 - 1/2" WOOD SHEATHING (5/8" CDX).
 - 1/2" GYPSUM BOARD ON EXTERIOR SIDE.
 - 1/2" WOOD INSULATION (R-19).
 - 1/2" WOOD SHEATHING (5/8" CDX).
 - 1/2" GYPSUM BOARD ON EXTERIOR SIDE.
- (2) EXTERIOR WALL WITH WINDOW (DOUBLE TOP PLATE):**
 - STONE VENEER BY OWNER.
 - 1/2" GYPSUM BOARD ON INTERIOR SIDE.
 - 1/2" WOOD INSULATION (R-19).
 - 1/2" WOOD SHEATHING (5/8" CDX).
 - 1/2" GYPSUM BOARD ON EXTERIOR SIDE.
 - 1/2" WOOD INSULATION (R-19).
 - 1/2" WOOD SHEATHING (5/8" CDX).
 - 1/2" GYPSUM BOARD ON EXTERIOR SIDE.
 - 1/2" WOOD INSULATION (R-19).
 - 1/2" WOOD SHEATHING (5/8" CDX).
 - 1/2" GYPSUM BOARD ON EXTERIOR SIDE.



SECOND FLOOR CONSTRUCTION PLAN
 1/4" = 1'-0"

ISSUED FOR REVISION 5 - MAY 20, 2025

GENERAL
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ELECTRICAL DEPARTMENT.
 5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL MECHANICAL DEPARTMENT.

NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ELECTRICAL DEPARTMENT.
 5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL MECHANICAL DEPARTMENT.



KOMRI ENGINEERING












ARCHITECT
 PROJECT NO. 2025-00041
 SECOND FLOOR PLAN

DATE: 10/20/2025
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/4" = 1'-0"



A06

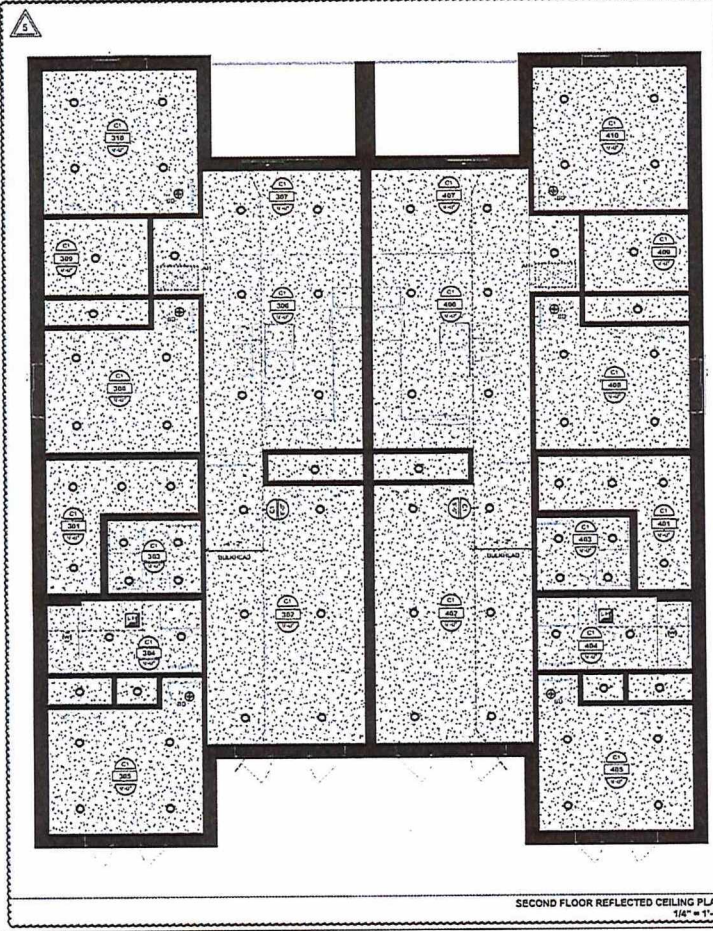
PL-MV-2025-00041
 sketch 7

RCP LEGEND

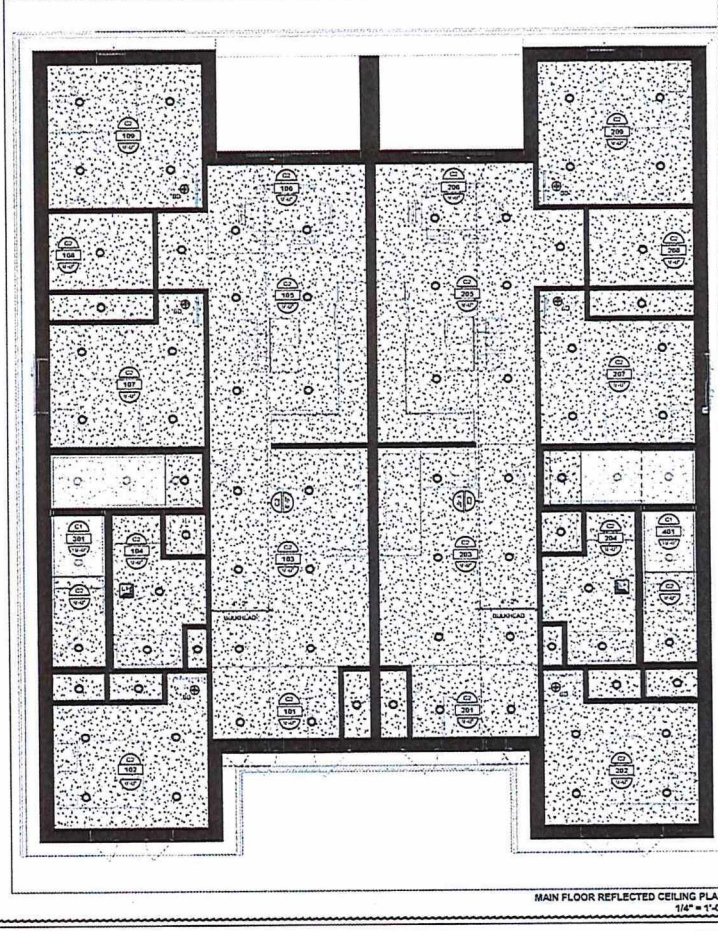
-  ROOM NUMBER AND FINISH
-  DENOTES CEILING TYPE - R/C TO CEILING SCHEDULE
-  DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR
-  DENOTES SMOKE HOOD NECESSARY FOR LIGHTS
-  DENOTES EXHAUST FAN
-  DENOTES CRYSTAL BOARD CEILING
-  DENOTES SMOKE DETECTOR
-  PHOTOELECTRIC SMOKE DETECTOR WITH VISUAL COMPONENT
-  PHOTOELECTRIC SMOKE ALARM WITH VISUAL COMPONENT
-  DENOTES LIGHTING FIXTURE
-  DENOTES ACCESS HATCH - PHOTOELECTRIC HATCH TO BE 8" MINIMUM CO-ORDINATE LOCATION OF HATCH WITH OWNER AND CONFIRM WITH CONSULTANT PRIOR TO INSTALLATION

- NOTES:**
1. REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 2. CEILING HEIGHTS ARE BASED ON THE FLOOR THEY ARE LOCATED ON SEE PLAN.
 3. ALL PENETRATIONS THROUGH HOOP ASSEMBLY THAT PENETRATE THE HOOP DAMPERS ARE TO BE SEALED WITH THE APPROPRIATE SEALANT AND FINISHED TO MATCH TO SPECIFICATION SECTION DRAWING DETAILS AND OTHER RELEVANT AND THROUGH FINISHING.
 4. FMC DAMPERS TO BE INSTALLED IN THE PLANE OF THE FMC SEPARATION WALLS AND FLOOR.
 5. SMOKE DETECTORS SHALL BE INSTALLED IN THE CORNER OF THE ROOM OR IN THE CENTER OF THE ROOM UNLESS OTHERWISE SPECIFIED.

- CEILING ASSEMBLIES:**
-  FINISH: CRYSTAL BOARD CEILING
 - 1/2" CRYSTAL BOARD
 - 1/2" RESILIENT CHANNEL @ 12" OC
 - HOOP FLOOR AS SCHEDULED
 -  FINISH: PHOTOELECTRIC DETECTOR
 - 5/8" FMC "X" CRYSTAL BOARD
 - 1/2" RESILIENT CHANNEL @ 12" OC
 - FLOOR AS SCHEDULED



SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



MAIN FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

GENERAL
 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE OF THE PHILIPPINES AND ALL APPLICABLE LOCAL ORDINANCES.
 ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE OF THE PHILIPPINES AND ALL APPLICABLE LOCAL ORDINANCES.

REVISIONS
 NO. 1: ISSUED FOR REVISION 5 - MAY 20, 2025



KOMRI ENGINEERING
 PROJECT NO. 00000000

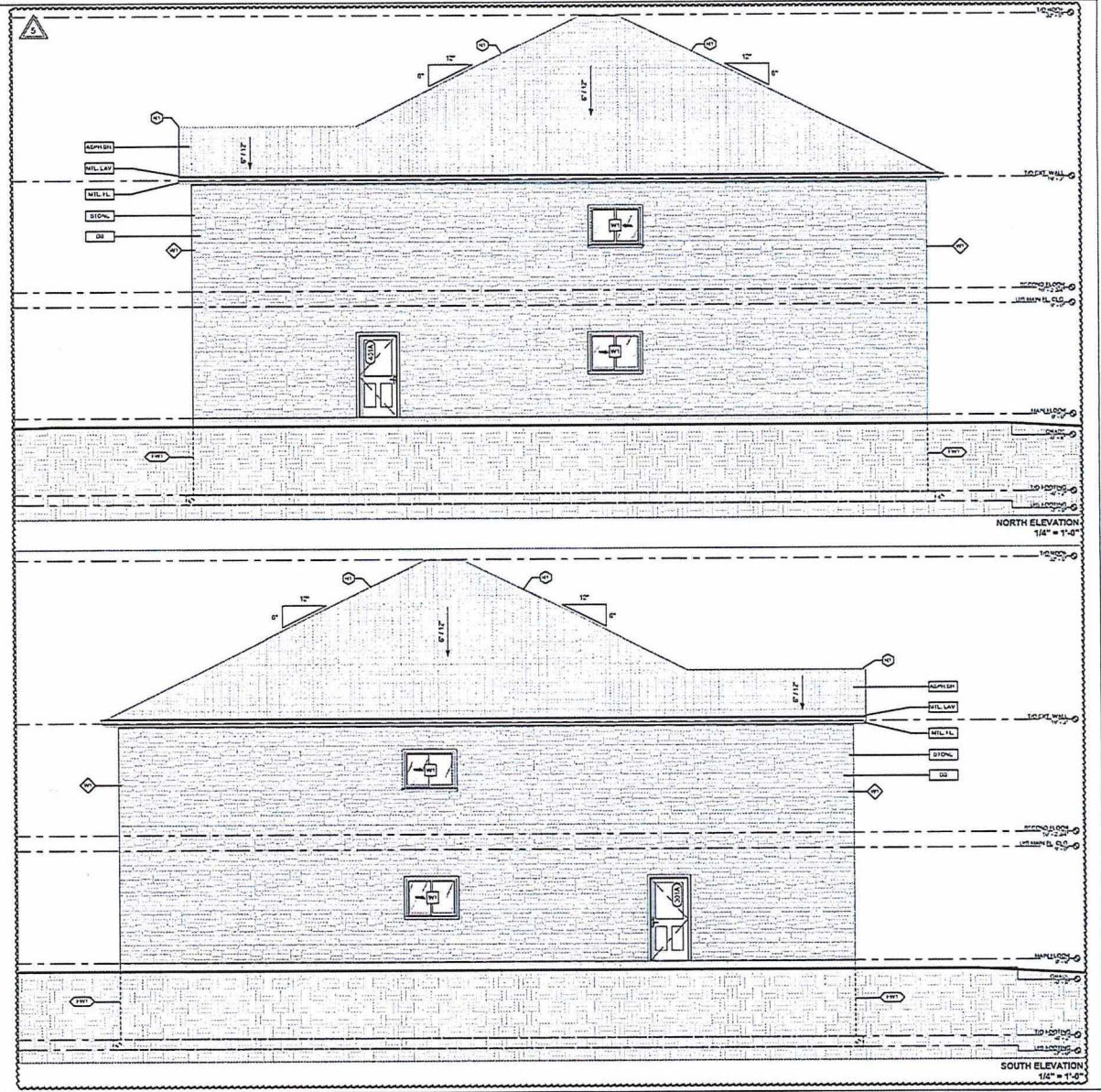
DRAWN: NL
 CHECKED: DP/KD
 SCALE: 1/8" = 1'-0"

A07

ISSUED FOR REVISION 5 - MAY 20, 2025

PL-MV-2025-00041
 sketch 8

LEGEND	
MIL-FL	INDICATES METAL FLASHING
ADPH-SP	INDICATES 25 YEAR ASPHALT SHINGLE
FLVH-SD	INDICATES HORIZONTAL VINYL SIDING BY GIBBS
STONC	INDICATES STONIC CLADDING BY OWENS
MIL-LAY	INDICATES METAL SAVED THOUGHT
DR	INDICATES DOWN SPOUT
H1	ROOF IDENTIFICATION IN SCHEDULE
F1	FOUNDATION IDENTIFICATION IN SCHEDULE
W1	WALL IDENTIFICATION IN SCHEDULE
D1	DOOR IDENTIFICATION IN SCHEDULE
W1	WINDOW IDENTIFICATION IN SCHEDULE
H1	HOODING IDENTIFICATION IN SCHEDULE



GENERAL
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 2. ALL MATERIALS SHALL BE OF THE QUALITY SPECIFIED IN THE SCHEDULES.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE REGULATIONS.

SECTION
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 2. ALL MATERIALS SHALL BE OF THE QUALITY SPECIFIED IN THE SCHEDULES.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE REGULATIONS.



ADAM BARTEL
 4111 COLLEGE AVENUE, QY
 PROJECT NO. 10000
 NORTH SOUTH ELEVATION

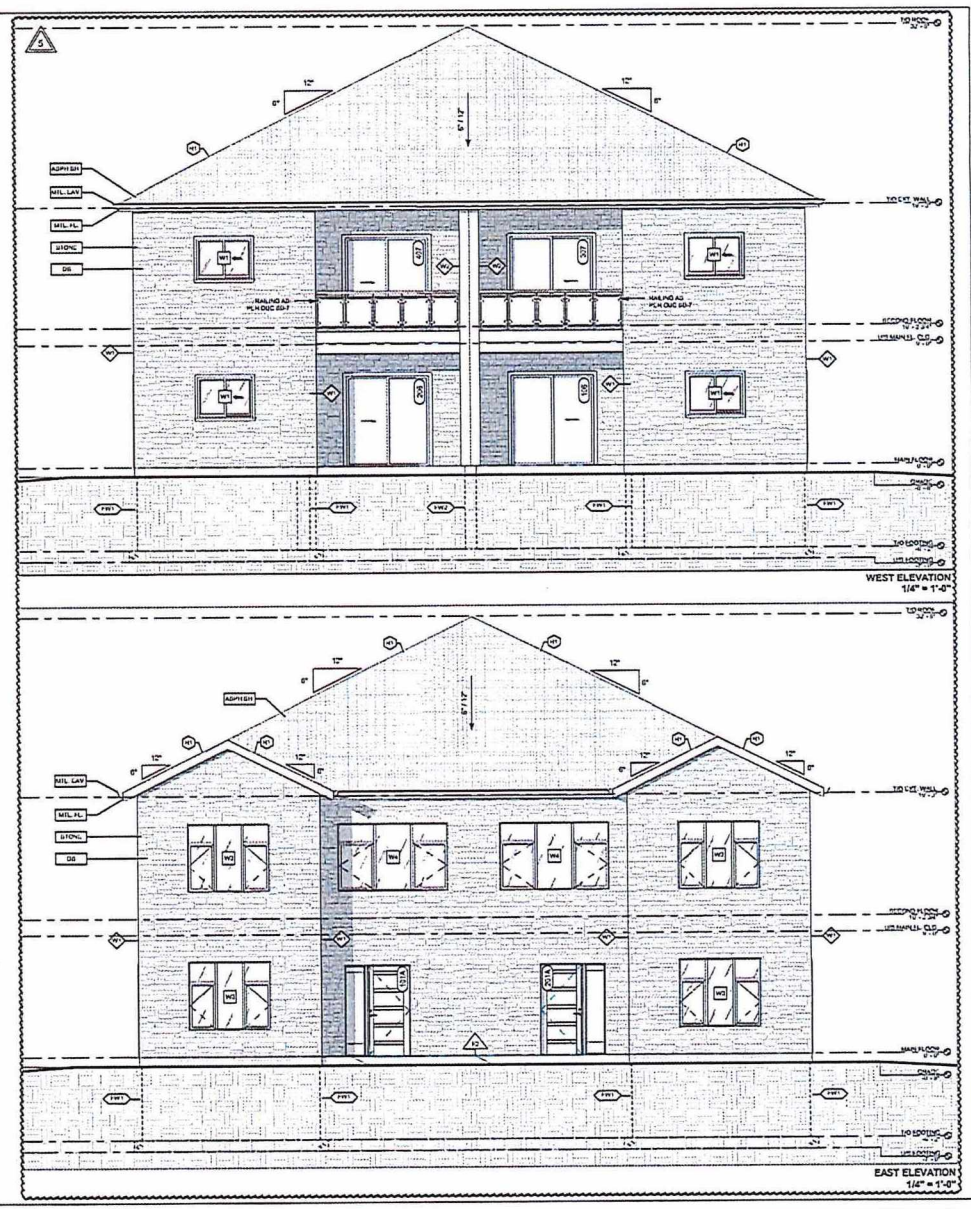
Drawn	NL
Checked	SPKMD
Scale	1/4" = 1'-0"
Date	

A08

ISSUED FOR REVISION 5 - MAY 20, 2025

PL-MV-2025-00041
 sketch 9

LEGEND	
	IDENTIFIES METAL FLASHING
	IDENTIFIES 25 YEAR ASPHALT SHINGLES
	IDENTIFIES HORIZONTAL VINYL SIDING BY OWNER
	IDENTIFIES STONE CLADDING BY OWNER
	IDENTIFIES METAL LAVES/THROUGHT
	IDENTIFIES METAL DOWN SPOUT
	ROOF IDENTIFICATION IN SCHEDULE
	FOUNDATION IDENTIFICATION IN SCHEDULE
	WALL IDENTIFICATION IN SCHEDULE
	DOOR IDENTIFICATION IN SCHEDULE
	WINDOW IDENTIFICATION IN SCHEDULE
	FOOTING IDENTIFICATION IN SCHEDULE



GENERAL
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY BONDING.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.

REVISIONS
 1. ALL REVISIONS SHALL BE MADE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY BONDING.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.



ADAM HAVEL
 LICENSED PROFESSIONAL ENGINEER
 PROJECT NO. 2025-00041
 EAST & WEST ELEVATIONS

DRAWN	NC
CHECKED	DP/MD
SCALE	1/4" = 1'-0"
SHEET	

A09

ISSUED FOR REVISION 5 - MAY 20, 2025

PL-MV-2025-00041
 Sketch 10

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

1. ALL PARTITION PARTITIONS ARE TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.
2. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.
3. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.
4. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.
5. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.
6. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.
7. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.
8. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. IN CASE TO ANY DIMENSION FOR PARTITIONS THAT REQUIRE 1/2" SHOULD BE FIELD UNLESS AND MAY VARY TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. HEIGHT TO FINISH FLOORING AS REQUIRED BY SUDS CODE SHALL BE MAINTAINED.

PARTITION ASSEMBLIES:

- 1. TYPICAL INTERIOR NON-FIRE PARTITION
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 SPS NO 1 NO 2 WOOD STUDS @ 16" O.C.
 - TYPICAL INTERIOR PLUMBING ROOMS PARTITION ASSEMBLY
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 SPS NO 1 NO 2 WOOD STUDS @ 16" O.C.
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 SPS NO 1 NO 2 WOOD STUDS @ 16" O.C.
 - TYPICAL INTERIOR WOOD STUD PARTITION ASSEMBLY
 - 5/8" FINC W/ GYPSUM BOARD BEATING ON BOTH SIDES OF 2x4 WOOD STUDS @ 16" O.C. FIELLED W/ 7" MINCHAL FINC PANELS.
 - 1/2" AIR SPACE ABOVE.
 - 2x4 WOOD STUDS @ 16" O.C. FIELLED W/ 7" MINCHAL FINC PANELS.
 - 1/2" AIR SPACE BELOW.
 - WOOD FINE STOP TO SCAL PARTITIONS AT BASIC AND TOP.
 - TYPICAL INTERIOR WOOD STUD PARTITION ASSEMBLY
 - 5/8" FINC W/ GYPSUM BOARD BEATING ON BOTH SIDES OF 2x4 WOOD STUDS @ 16" O.C. FIELLED W/ 7" MINCHAL FINC PANELS.
 - WOOD FINE STOP TO SCAL PARTITIONS AT BASIC AND TOP.
- 2. TYPICAL INTERIOR WOOD STUD PARTITION ASSEMBLY
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 SPS NO 1 NO 2 WOOD STUDS @ 16" O.C.
 - WOOD VENEER BY OWNER OR BRICK FACE @ 2" VENT & 1/2" HOLE. 1/2" AIR SPACE (OPTIONAL, 2-DENTS) BENEATH AND TOP.

WALL ASSEMBLIES:

- 1. TYPICAL EXTERIOR WOOD STUD PARTITION ASSEMBLY
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 SPS NO 1 NO 2 WOOD STUDS @ 16" O.C.
 - WOOD VENEER BY OWNER OR BRICK FACE @ 2" VENT & 1/2" HOLE. 1/2" AIR SPACE (OPTIONAL, 2-DENTS) BENEATH AND TOP.
- 2. TYPICAL EXTERIOR WOOD STUD PARTITION ASSEMBLY
 - 1/2" GYPSUM BOARD ON BOTH SIDES OF 2 x 4 SPS NO 1 NO 2 WOOD STUDS @ 16" O.C.
 - WOOD VENEER BY OWNER OR BRICK FACE @ 2" VENT & 1/2" HOLE. 1/2" AIR SPACE (OPTIONAL, 2-DENTS) BENEATH AND TOP.

FLOOR ASSEMBLIES:

- 1. 1" CONCRETE SLAB
 - 1" FRESH AS SCOURED
 - 1" CONCRETE SLAB ON GRADE OR 1" MIN 2" HD
 - 1" HD POLY SANDWICH BARRIER MEMBRANE - SEAL JOINTS (TYP.)
 - 1" FRESH INSULATION OVER
 - CHALKLINE AT 1/2" BELOW SLAB & CHALKLINE @ 1/2" (2" IF FINAL) AS SHOWN
- 2. TYPICAL EXTERIOR WOOD STUD PARTITION ASSEMBLY
 - 1" CONCRETE SLAB ON GRADE - NON-FRESH WITH BARS @ 12" O.C. MIN
 - 1" HD POLY SANDWICH BARRIER MEMBRANE - SEAL JOINTS (TYP.)
 - 1" HD INSULATION (MIN 2" MIN) ALSO LAYED OUT 1/2" OF OUT BLOWN ABOUT 1/2" FROM EACH SIDE WITH PROTECTION
 - CHALKLINE AT 1/2" BELOW SLAB & CHALKLINE @ 1/2" (2" IF FINAL) AS SHOWN
- 3. TYPICAL INTERIOR WOOD STUD PARTITION ASSEMBLY
 - 1" FRESH AS SCOURED
 - 1" HD POLY SANDWICH BARRIER MEMBRANE - SEAL JOINTS (TYP.)
 - 1" HD INSULATION (MIN 2" MIN) ALSO LAYED OUT 1/2" OF OUT BLOWN ABOUT 1/2" FROM EACH SIDE WITH PROTECTION
 - CHALKLINE AT 1/2" BELOW SLAB & CHALKLINE @ 1/2" (2" IF FINAL) AS SHOWN
- 4. TYPICAL STAIR LANDING FLOOR ASSEMBLY
 - 1" FRESH AS SCOURED
 - 1" HD POLY SANDWICH BARRIER MEMBRANE - SEAL JOINTS (TYP.)
 - 1" HD INSULATION (MIN 2" MIN) ALSO LAYED OUT 1/2" OF OUT BLOWN ABOUT 1/2" FROM EACH SIDE WITH PROTECTION
 - CHALKLINE AT 1/2" BELOW SLAB & CHALKLINE @ 1/2" (2" IF FINAL) AS SHOWN

ROOF ASSEMBLIES:

- 1. TYPICAL INTERIOR WOOD STUD PARTITION ASSEMBLY
 - 25 YEAR ASPHALT SHINGLES
 - CAVE THROUGH AND NO PARAMETER AS PER LOCAL
 - SLAB AND WALL BUILDING BARRIERS PLUMBING AND FLASHING AREAS
 - 1" HD POLY SANDWICH BARRIER MEMBRANE - SEAL JOINTS (TYP.)
 - 1" HD INSULATION (MIN 2" MIN) ALSO LAYED OUT 1/2" OF OUT BLOWN ABOUT 1/2" FROM EACH SIDE WITH PROTECTION
 - CHALKLINE AT 1/2" BELOW SLAB & CHALKLINE @ 1/2" (2" IF FINAL) AS SHOWN

BEAM SCHEDULE

IDENTITY	SIZE
B1	P.T. 3x12 SPS SPP NO 1 NO 2
B2	3PLY 2x8 SPP NO 1 NO 2 WESTPASSER VLA 23E
B3	3PLY 2x8 SPP NO 1 NO 2

LINTEL SCHEDULE

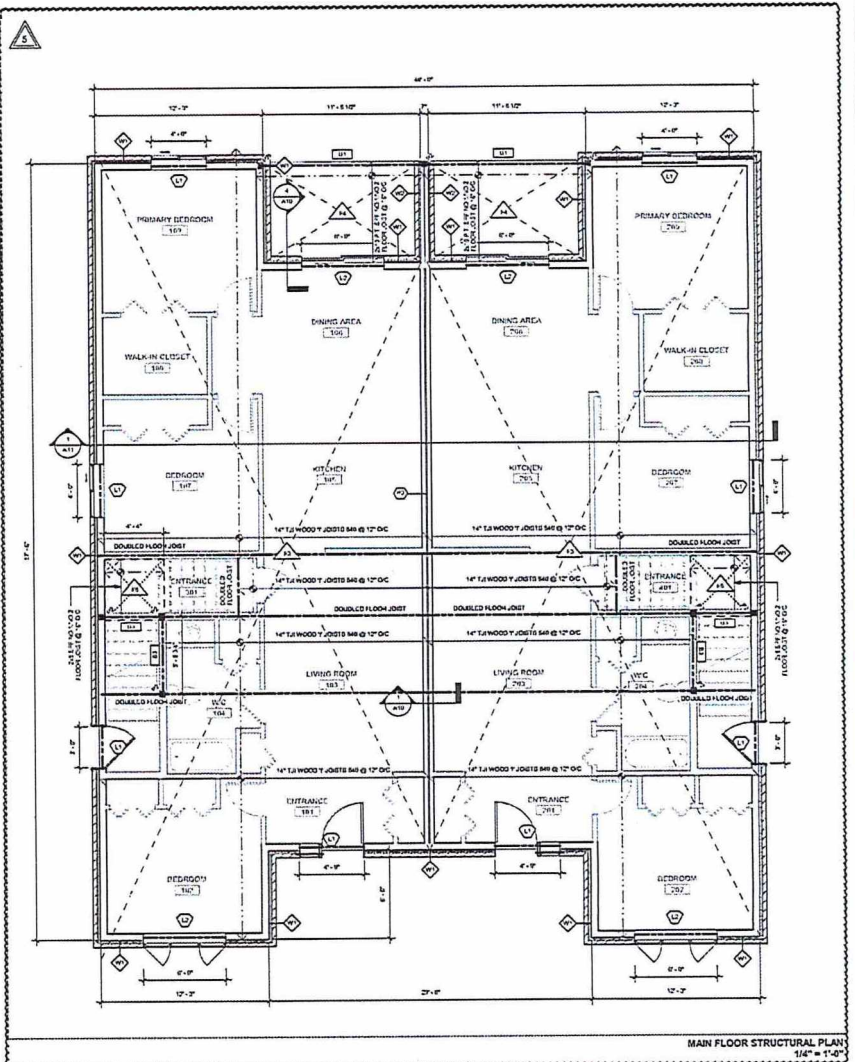
IDENTITY	SIZE
L1	2PLY 2x8 SPP NO 1 NO 2
L2	2PLY 2x8 SPP NO 1 NO 2
L3	2PLY 2x12 SPP NO 1 NO 2

PORTICOLUMN SCHEDULE

IDENTITY	SIZE
P1	P.T. 6x6 WOOD POST SPP NO 1 NO 2
P2	3PLY 2x8 SPP NO 1 NO 2

FOOTING SCHEDULE

IDENTITY	SIZE
F1	2'x4" WIDE, 18" DEEP FOOTING ON 3x18" BARS CONTIGUOUS



MAIN FLOOR STRUCTURAL PLAN
1/4" = 1'-0"

GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



AKASH BARNAL
PROJECT MANAGER
MAIN FLOOR STRUCTURAL PLAN

DATE: _____
SCALE: 1/4" = 1'-0"

S02

ISSUED FOR REVISION 5 - MAY 20, 2025

PL-MV-2025-00041
Sketch 14

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

- ALL PARTITION PARTITIONS ARE TO BE 1/2" UNLESS NOTED OTHERWISE. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE. ALL PARTITIONS TO BE 1/2" UNLESS NOTED OTHERWISE.
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PARTITION ASSEMBLIES:

- 100 TYPICAL INTERIOR WOOD STUD PARTITION**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.
- 100 TYPICAL INTERIOR WOOD STUD PARTITION**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.
- 100 TYPICAL INTERIOR WOOD STUD PARTITION (1/2" OSB)**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.
- 100 TYPICAL INTERIOR WOOD STUD PARTITION (1/2" OSB)**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.
- 100 TYPICAL INTERIOR WOOD STUD PARTITION (1/2" OSB)**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.

WALL ASSEMBLIES:

- 100 TYPICAL INTERIOR WOOD STUD PARTITION (1/2" OSB)**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.
- 100 TYPICAL INTERIOR WOOD STUD PARTITION (1/2" OSB)**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.
- 100 TYPICAL INTERIOR WOOD STUD PARTITION (1/2" OSB)**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.

ROOF ASSEMBLIES:

- 100 TYPICAL INTERIOR WOOD STUD PARTITION (1/2" OSB)**
 - 1/2" OSB SHEATHING ON BOTH SIDES OF 2x4 STUDS @ 16" O.C.
 - 2x4 STUDS @ 16" O.C.

BEAM SCHEDULE

IDENTITY	SIZE
B1	PT. 3xPLY 2x10 SPP NO 1 HD 2
B2	3xPLY 2x10 SPP NO 1 HD 2
B3	3xPLY 2x10 SPP NO 1 HD 2

POSTICOLUMN SCHEDULE

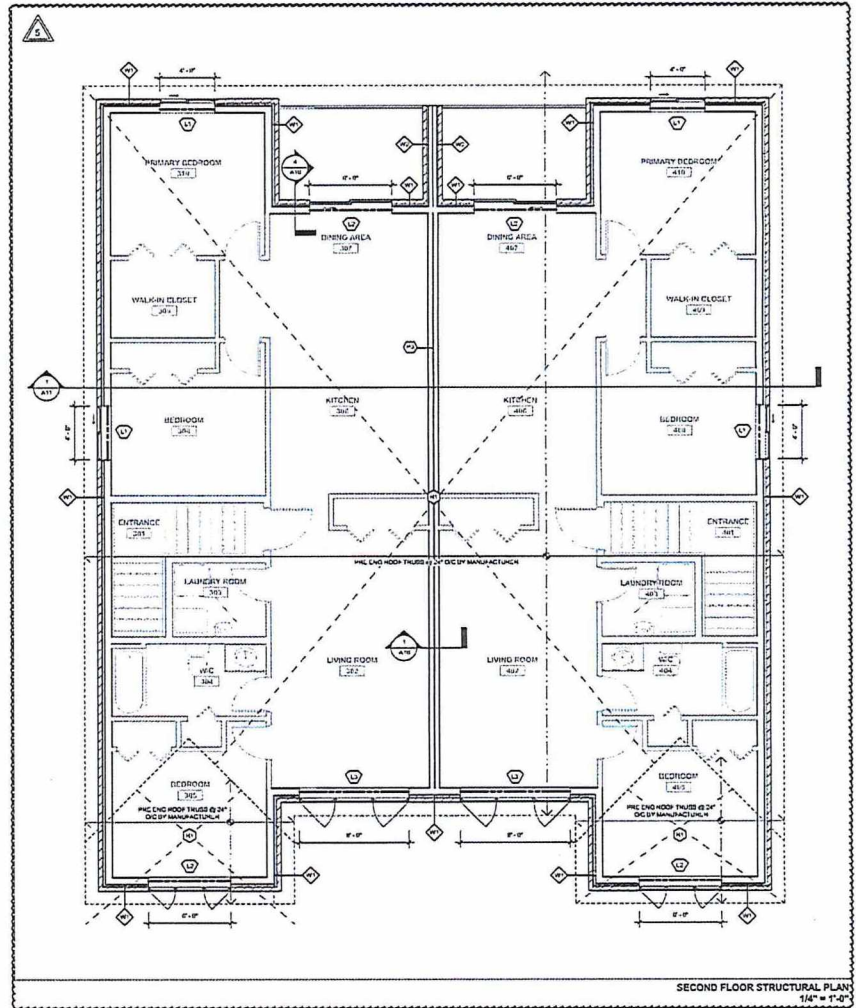
IDENTITY	SIZE
P1	PT. 6x6 WOOD POST SPP NO 1 HD 2
P2	3xPLY 2x10 SPP NO 1 HD 2

LINTEL SCHEDULE

IDENTITY	SIZE
L1	2xPLY 2x10 SPP NO 1 HD 2
L2	3xPLY 2x10 SPP NO 1 HD 2
L3	3xPLY 2x10 SPP NO 1 HD 2

FOOTING SCHEDULE

IDENTITY	SIZE
F1	2" WIDE, 10" DEEP FOOTING CW 3" MIN BARS CONTINUOUS



ISSUED FOR REVISION 5 - MAY 20, 2025

FOR ALL INFORMATION REGARDING THIS PROJECT, CONTACT THE PROJECT MANAGER AT (416) 291-1111. THE PROJECT MANAGER IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE PROJECT MANAGER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE PROJECT MANAGER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES.

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KOMRI ENGINEERING

ADAM MARTEL
 PROJECT NO. 18-02-01
 SECOND FLOOR STRUCTURAL PLAN

DRAWN: NL
 CHECKED: EMMO
 SCALE: 1/4" = 1'-0"

S03

PL-MV-2025-00041
 sketch 15