

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

July 9, 2025

PUBLIC HEARINGS

PL-MV-2025-00055 KOMRI COMMERCIAL HOLDINGS INC

Ward: 1

PIN(s) 735860635, Lot 139, Plan 4-SC, Part Lot 7, Concession 3, Township of McKim, 243 Regent Street, Sudbury, [By-law 2010-100Z, C2]

For relief from Part 4, Section 4.15, subsection 4.15.1 (e), Part 5, Section 5.5, Table 5.5 and Part 7, Section 7.2, Table 7.1, special provision 10 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the conversion of the existing building by removing the commercial component in favour of adding four residential dwelling units to the existing four residential dwelling units for a total of eight residential dwellings units all contained within the existing building, firstly, providing a maximum net residential density of 137 units per hectare, where a maximum net residential density of 60 units per hectare is permitted, secondly, to provide for a minimum of 6 parking spaces, where 11 is required, and thirdly, no landscaped area adjacent to Isabel Street, where a 3.0m wide landscaped area adjacent to the full length of a lot line shall be required abutting all public roads having a width greater than 10.0m is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A119/71
(15 MAY 72) AND A0135/23 (17 JAN 24)

PL-MV-2025-00076 STEVEN HEAD

Ward: 2

PIN(s) 733810306, Parcel 15720 SEC SWS, Lot 68, Plan M-193, Part Lot 1, Concession 3, Township of Graham, 18 Simon Lake Drive, Naughton, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing an accessory lot coverage of 11%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%.

**PL-MV-2025-00077 SHELDON BURTON
KIMBERLEY BURTON**

Ward: 10

PIN(s) 735830235, Lot 153, Plan 34-S, Part Lot 4, Concession 3, Township of McKim, 510 Van Horne Street, Sudbury, [By-law 2010-100Z, R2-3]

For relief from Part 5, Section 5.4, subsection 5.4.2 (c) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with three additional dwelling units providing two driveways, where only one driveway is permitted per lot.

PL-MV-2025-00080**DENIS LEDUC
CHANTAL LEDUC**

Ward: 4

PIN(s) 733472000, Surface Rights Only, Part Lot 10, Concession 2, Part 2 Plan 53R-14524, Township of Rayside, 2023 Pilon Street, Chelmsford, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.10.1 (iii) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit an existing second additional dwelling unit within the existing detached accessory building accessory to a single detached dwelling containing two dwelling units, where no more than one dwelling unit is permitted in a building or structure accessory to a single detached dwelling, on a parcel of urban residential land, if the single detached dwelling, contains no more than three dwelling units and no other building or structure accessory to the single detached dwelling contains any dwelling units

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0061/2017 (11 SEP 17), B0065/1993 (5 APR 93), B0270/1992 (10 AUG 92), B0710/1989 TO B0712/1989 (17 DEC 90) AND B0011/2024 (08 APR 24)

PL-MV-2025-00081 **MIKE GRIER**
KIANA WARDELL

Ward: 12

PIN(s) 021150140, Parcel 42588 SEC SES SRO, Lot 138, Plan M-1014, Part Lot 2, Concession 6, Township of McKim, 1576 Dearbourne Drive, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a basement entrance addition on the existing single detached dwelling providing a front yard setback of 3.5m with eaves encroaching an additional 0.15m into the proposed 3.5m front yard setback, where the minimum required front yard is 6.0m and where eaves may encroach 1.2m into the required 6.0m yard but not closer than 0.6m to the lot line.

PL-MV-2025-00082 **ALEXANDER HAYWOOD**

Ward: 2

PIN(s) 735990624, Parcel 40674 SEC SES SRO, Lot 21, Plan M-1023, Part Lot 1, Concession 2, Township of Snider, 27 Cobalt Street, Copper Cliff, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of detached garage providing a maximum height of 7.0m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

PL-MV-2025-00086 KEVIN CRONIER

Ward: 7

PIN(s) 735090064, Parcel 44857 SEC SES, Part Lot 8, Concession1, Part 2, Plan 53R-8261, Township of Capreol, 1225 Radar Road, Hanmer, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 6.92m, where the height of any building or structure accessory to a residential dwelling shall be 6.5m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0388/1978 (OCT 30/78) AND B0389/1978 (OCT 30/78)

A reminder... the next scheduled meeting is Wednesday, July 23, 2025.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00055

APPLICATION SUMMARY

File Date: 04/22/2025

Application Type: Minor Variance

Address(es): 243 Regent Street, Sudbury P3C 4C6

Applicant(s): KOMRI COMMERCIAL HOLDINGS INC

Owner(s): KOMRI COMMERCIAL HOLDINGS INC

PLANNING APPLICATION

Are there multiple properties associated with the application?

Yes

Please describe the additional properties associated with this application

325 Isabel

What is the date the current Owner(s) acquired the property?

2023

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

4

What is the number of proposed new dwelling units on the property?

4

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Mixed Use Commercial

Current Official Plan designation (additional)

Current Zoning By-law designation

C2

Provide a detailed description of what is being proposed

Adding 4 units to the main floor of the building (existing 4 upstairs)

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

We are requesting a removal of the landscape strip for this property. The primary reason is the invasive nature that a landscape strip would provide to the City of Sudbury property. The lot line is off set from the current side walk and there would be a section of ~6' of poor quality pavement left beside the landscaping. The removal of the strip would allow for a cohesive and complete continuation of the sidewalk as well as allow for better use of the existing parking lot. The parking lot has been the way it current is for over 50 years and adding the landscape strip would could a lot of issues to make it appealing and functional

The increased density will allow for more units to be added to the supply in Sudbury and help with the housing crisis. The building can accommodate a total of 8 residential units which would help the neighborhood/city greatly.

The reduction in parking is requested to allow for the parking requirements for the area. The building is on a GOVA route, there is also an adjacent overflow parking lot owned by the owner for overflow if required. All units proposed are either 1 bedroom or bachelor (there is a proposed 2 bedrooms), most will be affordable housing

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

15

Lot Depth of the property

38

Lot Area of the property

600

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

~1950s

one main structure

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

4 residential units and commercial main floor

Is the use remaining the same? If no, please provide the proposed new use

main floor converted to 4 residential units

Existing uses of neighbouring properties

mixed use commercial and residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
main structure to remain	Yes										

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
main structure	No	272.437	506.038	2	15	19.5	6.5	0	23	0	0

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
6 parking spots	11 required	6 spots provided	5
Maximum net residential density	60 units per hectare	137 units per hectare	77 units per hectare
4.15.1 e) Landscape	3.0 metre-wide landscaped area	0m	3.0m

KOMRI HOLDINGS

243 REGENT STREET, SUDBURY, ON
PROJECT NO. KSI-023-232

ISSUED FOR REVISION 10 - JUNE 12th, 2025

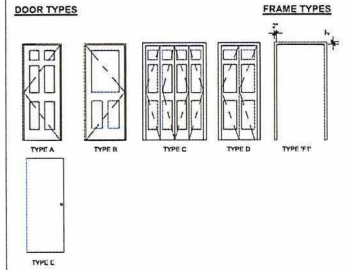


DOOR AND FRAME FINISH SCHEDULE											
NUMBER	DOOR TYPE	WIDTH	HEIGHT	DOOR MATERIAL	FRAME FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	GLASS	FIRE RATING	COMMENTS
101A	B	2'-8"	6'-8"	AL	PT	F1	ALWD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING DEADBOLT
101B	B	2'-8"	6'-8"	AL	PT	F1	ALWD	PT	WFO	45MIN	INSULATED DOOR WEATHERSTRIPPING SELF CLOSING DEVICE DEADBOLT
102A	B	2'-8"	6'-8"	AL	PT	F1	ALWD	PT	WFO	45MIN	INSULATED DOOR WEATHERSTRIPPING SELF CLOSING DEVICE DEADBOLT
102B	C	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING DEADBOLT
102A	D	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING DEADBOLT
102B	C	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING DEADBOLT
102C	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102A	B	2'-8"	6'-8"	AL	PT	F1	ALWD	PT	WFO	45MIN	INSULATED DOOR WEATHERSTRIPPING SELF CLOSING DEVICE DEADBOLT
102B	C	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING DEADBOLT
102C	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102D	B	2'-8"	6'-8"	AL	PT	F1	ALWD	PT	WFO	45MIN	INSULATED DOOR WEATHERSTRIPPING SELF CLOSING DEVICE DEADBOLT
102E	C	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING DEADBOLT
102F	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102G	D	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102H	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102I	B	2'-8"	6'-8"	AL	PT	F1	ALWD	PT	WFO	45MIN	INSULATED DOOR WEATHERSTRIPPING SELF CLOSING DEVICE DEADBOLT
102J	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102K	C	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING DEADBOLT
102L	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102M	D	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102N	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING
102O	B	2'-8"	6'-8"	AL	PT	F1	ALWD	PT	WFO	45MIN	INSULATED DOOR WEATHERSTRIPPING SELF CLOSING DEVICE DEADBOLT
102P	A	2'-8"	6'-8"	WD	PT	F1	WD	PT	-	-	INSULATED DOOR WEATHERSTRIPPING

ROOM FINISH SCHEDULE										
NUMBER	NAME	FLOOR FINISH	WALL MATERIAL	WALL FINISH	CEILING MATERIAL	CEILING FINISH	CH & HD HEIGHT	COMMENTS		
101A	ENTRY 1	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
101B	ENTRY 2	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
102	LIVING ROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
103	DINING AREA	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
104	KITCHEN	CT	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
105	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
106	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
107	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
108	ENRANCE	CT	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
109	KITCHEN	CT	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
110	W.C.	CT	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
111	DINING AREA	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
112	LIVING ROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
113	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
114	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
115	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
116	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
117	KITCHEN	CT	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
118	LIVING ROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
119	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
120	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
121	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
122	LIVING ROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
123	KITCHEN	CT	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
124	W.C.	CT	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
125	DINING AREA	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
126	BEDROOM	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
127	W.C.	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
128	W.C.	LAM	WD	GB	PT	GB	8'-0"	CEILING 2 OR LESS		
130	UNIT 3 BASEMENT STORAGE	(B)	(B)	(B)	(B)	(B)	8'-0"			
131	P.A. W.C.H. ROOM	(B)	(B)	(B)	(B)	(B)	8'-0"			

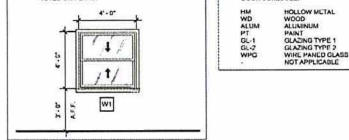
DOOR SCHEDULE GENERAL NOTES:

1. A TYPE (B) IS USED IN ANY COLUMN THAT DOES NOT APPLY TO A PARTICULAR DOOR.
2. DOOR WIDTH IS THE LEAF SIZE IN INCHES FOR SINGLE DOORS. THE PREFIX "F" INDICATES A PAIR OF DOORS (E.G. 2A). DOOR TYPE IS INDICATED BY DOOR MATERIAL (E.G. A TYPE "A" DOOR MAY BE WOOD OR HOLLOW METAL). SEE ALSO OTHER DRAWINGS.
3. GLASS IN DOORS SHALL BE TEMPERED EXCEPT THAT IN FIRE RATED DOORS IT SHALL BE WIRE GLASS. HOLLOW METAL GLASS ALSO SHALL BE WIRE GLASS.
4. FRAME TYPE NOTED TO FRAME ALLOWANCES SHOWN BELOW.
5. TYPICAL FRAME SECTIONS ARE SHOWN ELSEWHERE IN THIS SCHEDULE OR ON CONSTRUCTION DETAILS. FRAME DETAILS FOR DOORS AND SCREENS SHALL BE DEPTH OF WALL PLUS 1" (25 MM) TYPICAL.
6. ALL EXTERIOR DOORS AND FRAMES ARE TO BE INSULATED AND WEATHERSTRIPPED UNLESS NOTED OTHERWISE.



WINDOW SCHEDULE

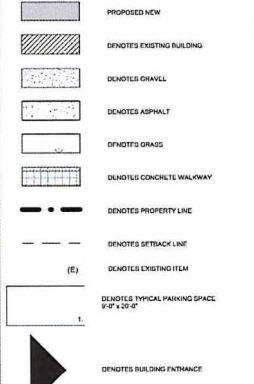
1. FRAME DEPTHS FOR WINDOWS AND SCREENS SHALL BE DEPTH OF WALL PLUS 1" (25 MM).
2. TYPICAL FRAME THICKNESS TO BE 2" (50 MM).
3. ALL DIMENSIONS SHOWN ON DRAWINGS ARE WINDOW EGDS. WINDOW EGDS MUST BE CALCULATED BY CONTRACTOR.
4. A F.F. ABOVE FINISHED FLOOR.
5. WINDOW WITH WHITE PANEL GLASS AND CLOSURES NOTED ON PLANS.



GENERAL NOTES:

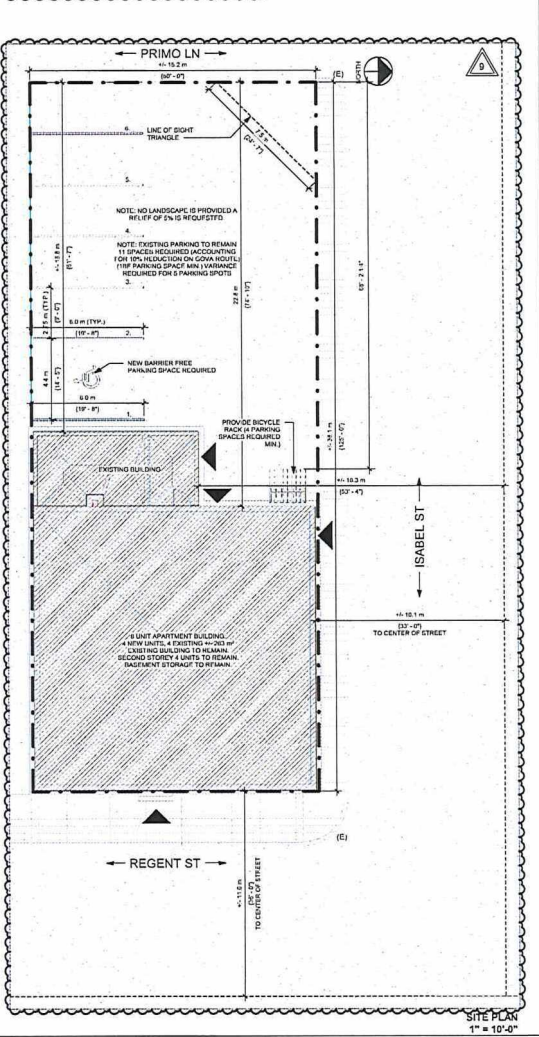
1. EXISTING HES FOR DRAWING PREPARED BY UNLICENSED SURVEYOR FOR GRADING INFORMATION. PROVIDE NEW 2" WIDE WHITE LINE PAINTING ON ALL NEW ASPHALT.
2. ALL SIDEWALKS & PATHWAYS TO BE 6" MIN. WIDE UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

SITE PLAN LEGEND



MEASUREMENTS ON SITE PLAN TO BE FIELD VERIFIED BY HOME OWNER. CONTRACTOR OR SITE SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING.

ITEM	MEASUREMENT	VALUE
EXISTING	AREA	42
TOTAL PROPERTY AREA*		585.00 sq ft
EXISTING DWELLING*		20.00 sq ft
TOTAL LOT COVERAGE*		4%
LANDSCAPE %*		70%
MAIN FLOOR	AREA	14.20 sq ft
SECOND FLOOR	AREA	28.00 sq ft
TOTAL	AREA	42.20 sq ft
MAXIMUM LOT COVERAGE*		10%
MINIMUM FRONT SETBACK*		3.00 m
MINIMUM FRONT YARD*		0.00 m
MINIMUM INTERIOR SIDE YARD*		3.00 m
MINIMUM CORNER SIDE YARD*		0.00 m
MINIMUM LANDSCAPE*		5%



GENERAL NOTES:

1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

DATE: 2025-06-12

PROJECT NO. KSI-023-232

ISSUED FOR REVISION 10 - JUNE 12th, 2025

COMPILED BY: [Name]

CHECKED BY: [Name]

DRAWN BY: [Name]

SCALE: As Indicated

SHEET: [Number]

INFORMATION SHEET

KOMRI ENGINEERING

243 REGENT STREET, SUDBURY, ON
PROJECT NO. KSI-023-232

PL-MV-2025-00055
Sketch 2

ISSUED FOR REVISION 10 - JUNE 12th, 2025

A01

GENERAL REQUIREMENTS

- GENERAL CONTRACTOR & SUBCONTRACTOR SHALL EXAMINE THE SITE, VERIFY ALL DIMENSIONS, DRAWING DETAILS & ASCERTAIN THE EXTENT AND NATURE OF WORK.
- ALL DIMENSIONS, OMISSIONS, OR CONFLICTS SHALL BE REPORTED TO CONTRACTOR PRIOR TO WORK.
- CONTRACTOR TO ENSURE 100% FIRE RATING AROUND ALL EXISTING WALLS, REDUCE AND REPLACED OYSPUM BOARDS ON BOTH SIDES OF EXISTING PARTITION WALLS TO MEET REQUIRED RATING. PROVIDE FIRE STOP TO SEAL PORTION AT BASE AND TOP.
- GENERAL CONTRACTOR TO PROVIDE ALL MATERIALS AND LABOR REQUIRED IN ACCORDANCE WITH THE OBC 2012 AND IS FOR GUIDANCE ONLY.
- ALL SITE MEASUREMENTS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO STARTING MATERIAL OR EXERCISING THE WORK.

CODE AND STANDARDS

- GENERAL CONTRACTOR SHALL:
- COMPLY WITH THE ONTARIO BUILDING CODE, REQUIREMENTS ON OTHER AUTHORIZED BUILDING JURISDICTION, REFERRED TO AS CODE.
 - BE FAMILIAR WITH THE OBC 2012 AND IS FOR GUIDANCE ONLY.
 - COMPLY WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT 1987 AND REGULATIONS FOR CONSTRUCTION PROJECTS.

PERMITS AND INSPECTIONS

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR BUILDING PERMIT AND ASSOCIATED INSPECTIONS.

DESIGN DATA

- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 SUPPLEMENTED BY THE USER'S GUIDE - NBC 2012 STRUCTURAL COMMENTARIES (PART 1 OF 2) AND THE USER'S GUIDE - NBC 2012 STRUCTURAL COMMENTARIES (PART 2 OF 2).
- CLIMATIC LOCATION: SUDBURY, ONTARIO

EXISTING STRUCTURES

- PRIOR TO CONSTRUCTION VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- TAKE ALL NECESSARY PRECAUTIONS TO ENSURE EXISTING STRUCTURES ARE PROTECTED DURING CONSTRUCTION.
- REMOVE ALL UNDESIRABLE AND HAZARDOUS MATERIALS AND REMOVE TO ENSURE THE INTEGRITY OF EXISTING STRUCTURE.
- REPORT ANY VARIATIONS IN EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THIS WORK.

SUBMITTALS

- SUBMIT FOR REVIEW BEFORE STARTING WORK.
- SUBMIT SHOP DRAWINGS IN CONFORMANCE WITH THE SEQUENCE OF CONSTRUCTION.
- SHOP DRAWINGS MUST BE REVIEWED BY CONTRACTOR BEFORE SUBMISSION TO CONSULTANT.
- SHOP DRAWINGS WITHOUT CONTRACTOR STAMPS WILL BE RETURNED WITHOUT REVIEW.
- OUR REVIEW OF SHOP DRAWINGS DOES NOT INCLUDE DETAILED CHECKING OF DIMENSIONS OR CALCULATIONS OF ELEMENTS ENGINEERED BY OTHERS AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLETELY WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- IF YOU RETURN THE DRAWINGS FROM ALL CONSULTANTS REQUIRED BY PRIOR REVIEWERS HAVE BEEN COMPLETED.
- DO NOT ADD DETAILS TO SHOP DRAWINGS THAT HAVE NOT BEEN STAMPED AS NOTED.
- DO NOT RE-DESIGN OR RE-ENGINEER ANY PART OF THE STRUCTURE UNLESS MADE IT IS THE RESPONSIBILITY OF THE CONSULTANT TO DEVELOP AND MAINTAIN A QUALITY CONTROL PLAN ASSOCIATED WITH THE STRUCTURAL WORK. THIS MUST BE PROVIDED TO THE CONSULTANT WHEN REQUESTED.
- THIS INCLUDES:

 - COLD AND HOT WEATHER CONSTRUCTION PROCEDURES
 - THROUGHPUT INSPECTION AND TESTING PROCEDURES

WALL PHASING



CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

- ALL INTERIOR PARTITIONS ARE TO BE 1/2" UNLESS NOTED OTHERWISE.
- IF NEXT TO ANY OPENING INDICATE THAT ADJACENT WALLS SHALL BE FIELD VERIFIED AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. REPORT TO OWNER INCLUDING AS REQUIRED BY DESIGN RATING CANNOT BE 100% FULFILLED.
- USE WEATHER RESISTANT OYSPUM WALL MOUNTED IN WEEDS OF PARTITIONS A DELTAIT BOARD BEHIND ALL WALL MOUNTED TILE WORK.
- PROVIDE WOOD SKIRTING TO EXISTING WALL MOUNTED IN WEEDS OF PARTITIONS. COORDINATE LOCATION AS REQUIRED.
- ALL PARTITIONS TO BE FIELD VERIFIED TO BE STRUCTURE UNLESS OTHERWISE NOTED.
- BRICE TO BE FIELD VERIFIED TO BE STRUCTURE UNLESS OTHERWISE NOTED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DATUM ELEVATION OF 99.
- ALL EXPOSED VERTICAL CORNERS IN OYSPUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNER GUARDS.
- ALL DOORS SHALL BE LOCATED 4" FROM WALL FACE TO DOOR FRAME EDGE. TYPICAL UNLESS NOTED OTHERWISE.
- THE LETTER 'X' NEXT TO PARTITION TAGS INDICATE PARTITIONS THAT ONLY EXTEND TO USE OF CEILING.

PARTITION ASSEMBLIES:

- 1/2" TYPICAL INTERIOR WOOD STUD PARTITION**
 - 1/2" OYSPUM BOARD ON BOTH SIDES OF
 - 2x4 SFP NO. 1 NO. 2 WOOD STUDS @ 16" OC
- 1/2" HR FIRE RATED PARTITION (U.L.C. DESIGN NO. 3024)**
 - CONSTRUCT PARTITION IN ACCORDANCE WITH U.L. DESIGN NO. 3024 HAVING A 1 HR FIRE RESISTANCE RATING
 - 1/2" TYPICAL OYSPUM BOARD ON BOTH SIDES OF
 - 1/2" METAL STUD WALL SYSTEM @ 16" OC
 - 5/8" MINERAL FIBRE INSULATION
 - PROVIDE FIRE STOP TO SEAL PORTION AT BASE AND TOP
- SINGLE SIDED FINISHING WALL**
 - 1/2" OYSPUM BOARD ON INTERIOR SIDE OF
 - 2x4 SFP NO. 1 NO. 2 WOOD STUDS @ 16" OC
- TYPICAL INTERIOR WOOD STUD PARTITION**
 - 1/2" OYSPUM BOARD ON BOTH SIDES OF
 - 2x4 SFP NO. 1 NO. 2 WOOD STUDS @ 16" OC
- 1/2" HR FIRE RATED PARTITION (U.L. DESIGN NO. 3024)**
 - CONSTRUCT PARTITION IN ACCORDANCE WITH U.L. DESIGN NO. 3024 HAVING A 1 HR FIRE RESISTANCE RATING
 - 1/2" TYPICAL OYSPUM BOARD ON BOTH SIDES OF
 - 1/2" METAL STUD WALL SYSTEM @ 16" OC
 - 5/8" MINERAL FIBRE INSULATION
 - PROVIDE FIRE STOP TO SEAL PORTION AT BASE AND TOP

CONSTRUCTION NOTES (TAGS):

- C1** CONTRACTOR TO INSTALL 1/2" OYSPUM BOARD UNLESS EXISTING STAIR ASSEMBLY. REFER TO SCHEDULE 1 FOR ASSEMBLY.
- C2** CONTRACTOR TO ENSURE 100% FIRE RATING AROUND ALL EXISTING WALLS, REDUCE AND REPLACED OYSPUM BOARDS ON BOTH SIDES OF EXISTING PARTITION WALLS TO MEET REQUIRED RATING. PROVIDE FIRE STOP TO SEAL PORTION AT BASE AND TOP.
- C3** CONTRACTOR TO INSTALL NEW EXTERIOR FINISH:
 - HORIZONTAL VINYL SIDING SELECTED BY OWNER
 - 1/2" SFP NO. 1 NO. 2 HORIZONTAL WOOD SHAPING
 - 5/8" CONDENSED OYSPUM SHEATHING
- C4** CONTRACTOR TO PAINT EXISTING CMU SHED WALL BLACK AS REQUESTED BY OWNER.
- C5** CONTRACTOR TO REINSTALL 1/2" HR FIRE RATED OYSPUM BOARD UNLESS ON BOTH SIDES OF PARTITION WALL TO MEET REQUIRED RATING. FIRE RESISTANCE RATING: CALK & SEAL ALL SEAMS WITH FIRE RATED SEALANT.

CONSTRUCTION NOTES (TAGS):

- C1** CONTRACTOR TO MATCH EXISTING OPENING. MATCH NEW WALL MATERIALS TO EXISTING WITH LIKE AND QUALITY.
- C2** CONTRACTOR TO ENSURE 100% FIRE RATING AROUND ALL EXISTING COLUMN, FINCH CORNERS AND LANDING WALLS. REDUCE AND REPLACE OYSPUM BOARD AS REQUIRED. EXISTING BRICK VENEER TO REMAIN (NO SIGN).
- C3** CONTRACTOR TO REINSTALL NEW EXTERIOR FINISH:
 - HORIZONTAL VINYL SIDING SELECTED BY OWNER
 - 1/2" SFP NO. 1 NO. 2 HORIZONTAL WOOD SHAPING
 - 5/8" CONDENSED OYSPUM SHEATHING
- C4** CONTRACTOR TO WELD EXISTING SAFETY DOOR OPEN, REMOVE ANY AND ALL OBSTRUCTION OR HAZARDS.

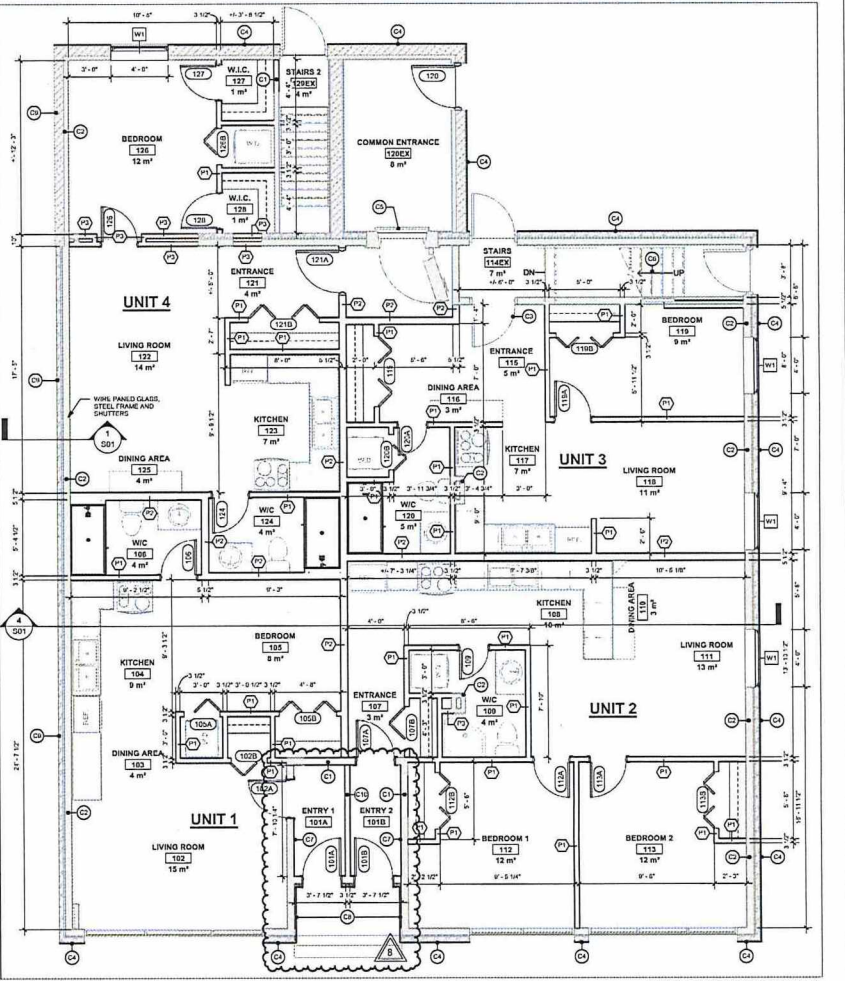
MINIMUM ROOM SIZE

IDENTITY	SIZE
LIVING ROOM SERVING NOT MORE THAN 2 COMBINED WITH OTHER SPACES	11 M ²
LIVING ROOM SERVING MORE THAN 2 COMBINED WITH OTHER SPACES	12.5 M ²
DINING AREA (COMBINED COMBINED WITH OTHER SPACES)	3.5 M ²
KITCHEN AREA SERVING NOT MORE THAN 2	3.7 M ²
KITCHEN AREA WITH A DINING ROOM: MORE THAN 2	4.7 M ²
BEDROOM WITH BUILT IN CABINETS	6.5 M ²
BEDROOM WITHOUT BUILT IN CABINETS	7 M ²
BEDROOM (COMBINED WITH OTHER SPACES)	4.2 M ²
COMBINED LIVING, DINING, BEDROOM AND KITCHEN	13.5 M ²

ONTARIO BUILDING CODE REVIEW - OBC 2012

Item	Part Description	Ontario Building Code Data Matrix Parts 3 & 9	OBC Reference	Pass/Fail
1	Part Description			
2	Max Occupancy: GROUP C RESIDENTIAL	New	3.1.2.1(1)	3.10.2
3	Building Area (m ²)	Existing: +1263m ² New: Total: +1263m ²	Dv. A.1.4.1.2	Dv. A.1.4.1.2
4	Gross Area	Existing: +1491m ² New: Total: +1491m ²	Dv. A.1.4.1.2	Dv. A.1.4.1.2
5	Number of Storages	Above grade: 3	3.2.1.1 & Dv. A.1.4.1.2	Dv. A.1.4.1.2
6	Number of Stairs / Fire Fighter Access: 2		3.2.2.10.3.2.2.5	3.10.20
7	Building Classification: GROUP C RESIDENTIAL		3.2.2.5	3.10.2
8	Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX INDEX	3.10.8.2
9	Standpipes required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9	3.10.12(b)
10	Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4	3.10.16
11	Water Service / Supply in Advance	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7	N/A
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A
13	Permitted Construction	<input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combustible or both <input type="checkbox"/> Combustible or both	3.2.2.20-83	3.10.8
14	Maximum Area (sq ft)	N/A	3.2.1.12(h)	3.10.11
15	Occupant load based on	<input type="checkbox"/> 1st Floor <input type="checkbox"/> 2nd Floor	3.1.11*	3.10.13
16	Barrier Free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Exempt)	3.8	3.5.2
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.18(1)	3.10.13(d)
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies (FRR (Hours)) Floors: 1HR Hours Roof: 0HR Hours Massivene: N/A Hours FRR of Supporting Members	3.2.2.20-83 & 3.2.1.14	3.10.8 3.10.8
19	Fire Separations:	Exits: Janitor Closets: Service Facility: Public Corridors: Separation of Duties: Other (Assembly Occupancy): Other (Care & Detention Occupancy): Other (Residential Occupancy):	N/A Rating N/A Rating N/A Rating 1HR Rating 1HR Rating Rating Rating Rating	3.4.4 3.3.1.2(b) 3.6.2 3.3.1.4/3.3.2.5 3.3.1.1 3.3.2.2 3.3.3.2 3.3.4.2
20	Spatial Separation - Construction of Exterior Walls	Wall: Area of ERF (sq ft) L.D. (ft) L.H. or H.C. Permitted Max. % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description (S-2) Comb. Constr. Comb. Constr. Non-Comb. Coating Non-Comb. Constr.	3.2.3 3.2.3	3.10.14
21	Windstorms: 1 PER UNIT	Occupant load: 10 Number of water closets being provided: 5		1.3.7.4

OBC REVIEW PART 3 & 9
12" = 1'-0"



MAIN FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

GENERAL
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE OBC 2012 AND IS FOR GUIDANCE ONLY.
3. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.
4. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.
5. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.
6. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.
7. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.
8. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.
9. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.
10. ALL MATERIALS AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR.

REVISED FOR REGION 1
REVISED FOR REGION 2
REVISED FOR REGION 3
REVISED FOR REGION 4
REVISED FOR REGION 5
REVISED FOR REGION 6
REVISED FOR REGION 7
REVISED FOR REGION 8
REVISED FOR REGION 9
REVISED FOR REGION 10
REVISED FOR REGION 11
REVISED FOR REGION 12
REVISED FOR REGION 13
REVISED FOR REGION 14
REVISED FOR REGION 15
REVISED FOR REGION 16
REVISED FOR REGION 17
REVISED FOR REGION 18
REVISED FOR REGION 19
REVISED FOR REGION 20
REVISED FOR REGION 21
REVISED FOR REGION 22
REVISED FOR REGION 23
REVISED FOR REGION 24
REVISED FOR REGION 25
REVISED FOR REGION 26
REVISED FOR REGION 27
REVISED FOR REGION 28
REVISED FOR REGION 29
REVISED FOR REGION 30
REVISED FOR REGION 31
REVISED FOR REGION 32
REVISED FOR REGION 33
REVISED FOR REGION 34
REVISED FOR REGION 35
REVISED FOR REGION 36
REVISED FOR REGION 37
REVISED FOR REGION 38
REVISED FOR REGION 39
REVISED FOR REGION 40
REVISED FOR REGION 41
REVISED FOR REGION 42
REVISED FOR REGION 43
REVISED FOR REGION 44
REVISED FOR REGION 45
REVISED FOR REGION 46
REVISED FOR REGION 47
REVISED FOR REGION 48
REVISED FOR REGION 49
REVISED FOR REGION 50
REVISED FOR REGION 51
REVISED FOR REGION 52
REVISED FOR REGION 53
REVISED FOR REGION 54
REVISED FOR REGION 55
REVISED FOR REGION 56
REVISED FOR REGION 57
REVISED FOR REGION 58
REVISED FOR REGION 59
REVISED FOR REGION 60
REVISED FOR REGION 61
REVISED FOR REGION 62
REVISED FOR REGION 63
REVISED FOR REGION 64
REVISED FOR REGION 65
REVISED FOR REGION 66
REVISED FOR REGION 67
REVISED FOR REGION 68
REVISED FOR REGION 69
REVISED FOR REGION 70
REVISED FOR REGION 71
REVISED FOR REGION 72
REVISED FOR REGION 73
REVISED FOR REGION 74
REVISED FOR REGION 75
REVISED FOR REGION 76
REVISED FOR REGION 77
REVISED FOR REGION 78
REVISED FOR REGION 79
REVISED FOR REGION 80
REVISED FOR REGION 81
REVISED FOR REGION 82
REVISED FOR REGION 83
REVISED FOR REGION 84
REVISED FOR REGION 85
REVISED FOR REGION 86
REVISED FOR REGION 87
REVISED FOR REGION 88
REVISED FOR REGION 89
REVISED FOR REGION 90
REVISED FOR REGION 91
REVISED FOR REGION 92
REVISED FOR REGION 93
REVISED FOR REGION 94
REVISED FOR REGION 95
REVISED FOR REGION 96
REVISED FOR REGION 97
REVISED FOR REGION 98
REVISED FOR REGION 99
REVISED FOR REGION 100



KOMRI ENGINEERING
110 RIVER HOLLANDS
210 REGENT STREET, SUDBURY, ON
PROJECT NO. 248252321
FLOOR PLANS

DRAWN: DP
CHECKED: KO
SCALE: As Indicated
SHEET: 1

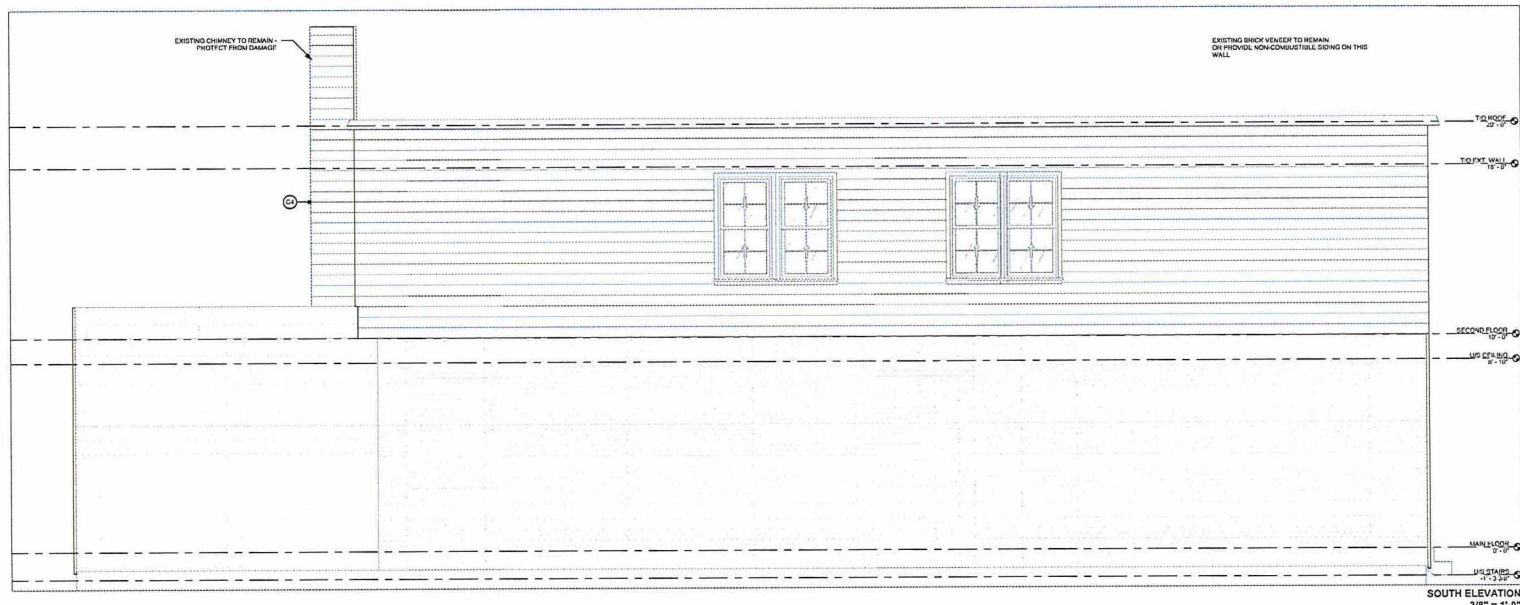
A02

ISSUED FOR REVISION 10 - JUNE 12th, 2025

PL-MV-2025-00055
Sketch 3



NORTH ELEVATION
3/8" = 1'-0"



SOUTH ELEVATION
3/8" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE BOOK AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE BOOK AND ALL APPLICABLE LOCAL ORDINANCES.
 3. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 4. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 5. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 6. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 7. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 8. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 9. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 10. THESE DRAWINGS SHALL BE THE PROPERTY OF K&E ENGINEERING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

EXCLUSIONS
 1. EXISTING CHIMNEY TO REMAIN - PROTECT FROM DAMAGE
 2. EXISTING BRICK VENEER TO REMAIN OR PROVIDE NON-COMBUSTIBLE SIDING ON THIS WALL
 3. EXISTING CHIMNEY TO REMAIN - PROTECT FROM DAMAGE
 4. EXISTING BRICK VENEER TO REMAIN OR PROVIDE NON-COMBUSTIBLE SIDING ON THIS WALL
 5. EXISTING CHIMNEY TO REMAIN - PROTECT FROM DAMAGE
 6. EXISTING BRICK VENEER TO REMAIN OR PROVIDE NON-COMBUSTIBLE SIDING ON THIS WALL
 7. EXISTING CHIMNEY TO REMAIN - PROTECT FROM DAMAGE
 8. EXISTING BRICK VENEER TO REMAIN OR PROVIDE NON-COMBUSTIBLE SIDING ON THIS WALL
 9. EXISTING CHIMNEY TO REMAIN - PROTECT FROM DAMAGE
 10. EXISTING BRICK VENEER TO REMAIN OR PROVIDE NON-COMBUSTIBLE SIDING ON THIS WALL



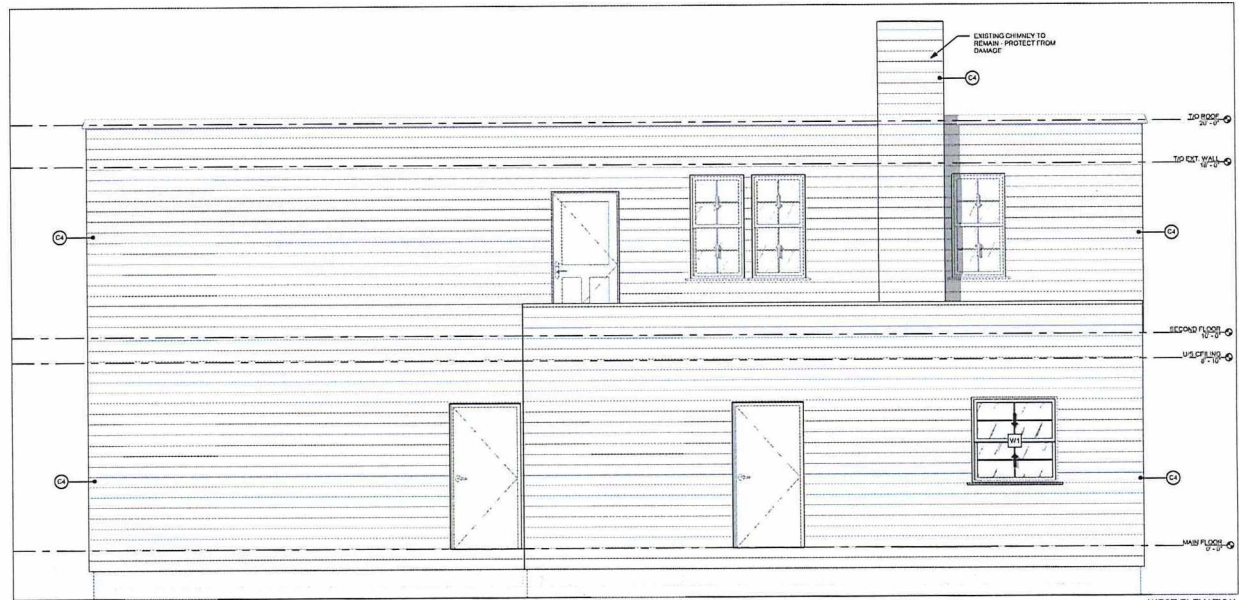
KOMRI HOLDINGS
 243 REGENT STREET, SUBURBT, OH
 PROJECT NO. KAS02232
 NORTH & SOUTH ELEVATIONS

DRAWN: DP
 CHECKED: KD
 SCALE: 3/8" = 1'-0"
 SHEET

A03

ISSUED FOR REVISION 10 - JUNE 12th, 2025

PL-MV-2025-00055
 sketch 4



WEST ELEVATION
3/8" = 1'-0"



EAST ELEVATION
3/8" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO THE EXISTING STRUCTURE PRIOR TO CONSTRUCTION.
 3. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AT ALL TIMES.

REVISIONS

NO.	DATE	DESCRIPTION
1	05/13/2025	ISSUED FOR REVISION 10
2	05/13/2025	ISSUED FOR REVISION 11
3	05/13/2025	ISSUED FOR REVISION 12
4	05/13/2025	ISSUED FOR REVISION 13
5	05/13/2025	ISSUED FOR REVISION 14
6	05/13/2025	ISSUED FOR REVISION 15
7	05/13/2025	ISSUED FOR REVISION 16
8	05/13/2025	ISSUED FOR REVISION 17
9	05/13/2025	ISSUED FOR REVISION 18
10	05/13/2025	ISSUED FOR REVISION 19
11	05/13/2025	ISSUED FOR REVISION 20
12	05/13/2025	ISSUED FOR REVISION 21
13	05/13/2025	ISSUED FOR REVISION 22
14	05/13/2025	ISSUED FOR REVISION 23
15	05/13/2025	ISSUED FOR REVISION 24
16	05/13/2025	ISSUED FOR REVISION 25
17	05/13/2025	ISSUED FOR REVISION 26
18	05/13/2025	ISSUED FOR REVISION 27
19	05/13/2025	ISSUED FOR REVISION 28
20	05/13/2025	ISSUED FOR REVISION 29
21	05/13/2025	ISSUED FOR REVISION 30
22	05/13/2025	ISSUED FOR REVISION 31
23	05/13/2025	ISSUED FOR REVISION 32
24	05/13/2025	ISSUED FOR REVISION 33
25	05/13/2025	ISSUED FOR REVISION 34
26	05/13/2025	ISSUED FOR REVISION 35
27	05/13/2025	ISSUED FOR REVISION 36
28	05/13/2025	ISSUED FOR REVISION 37
29	05/13/2025	ISSUED FOR REVISION 38
30	05/13/2025	ISSUED FOR REVISION 39
31	05/13/2025	ISSUED FOR REVISION 40
32	05/13/2025	ISSUED FOR REVISION 41
33	05/13/2025	ISSUED FOR REVISION 42
34	05/13/2025	ISSUED FOR REVISION 43
35	05/13/2025	ISSUED FOR REVISION 44
36	05/13/2025	ISSUED FOR REVISION 45
37	05/13/2025	ISSUED FOR REVISION 46
38	05/13/2025	ISSUED FOR REVISION 47
39	05/13/2025	ISSUED FOR REVISION 48
40	05/13/2025	ISSUED FOR REVISION 49
41	05/13/2025	ISSUED FOR REVISION 50
42	05/13/2025	ISSUED FOR REVISION 51
43	05/13/2025	ISSUED FOR REVISION 52
44	05/13/2025	ISSUED FOR REVISION 53
45	05/13/2025	ISSUED FOR REVISION 54
46	05/13/2025	ISSUED FOR REVISION 55
47	05/13/2025	ISSUED FOR REVISION 56
48	05/13/2025	ISSUED FOR REVISION 57
49	05/13/2025	ISSUED FOR REVISION 58
50	05/13/2025	ISSUED FOR REVISION 59
51	05/13/2025	ISSUED FOR REVISION 60
52	05/13/2025	ISSUED FOR REVISION 61
53	05/13/2025	ISSUED FOR REVISION 62
54	05/13/2025	ISSUED FOR REVISION 63
55	05/13/2025	ISSUED FOR REVISION 64
56	05/13/2025	ISSUED FOR REVISION 65
57	05/13/2025	ISSUED FOR REVISION 66
58	05/13/2025	ISSUED FOR REVISION 67
59	05/13/2025	ISSUED FOR REVISION 68
60	05/13/2025	ISSUED FOR REVISION 69
61	05/13/2025	ISSUED FOR REVISION 70
62	05/13/2025	ISSUED FOR REVISION 71
63	05/13/2025	ISSUED FOR REVISION 72
64	05/13/2025	ISSUED FOR REVISION 73
65	05/13/2025	ISSUED FOR REVISION 74
66	05/13/2025	ISSUED FOR REVISION 75
67	05/13/2025	ISSUED FOR REVISION 76
68	05/13/2025	ISSUED FOR REVISION 77
69	05/13/2025	ISSUED FOR REVISION 78
70	05/13/2025	ISSUED FOR REVISION 79
71	05/13/2025	ISSUED FOR REVISION 80
72	05/13/2025	ISSUED FOR REVISION 81
73	05/13/2025	ISSUED FOR REVISION 82
74	05/13/2025	ISSUED FOR REVISION 83
75	05/13/2025	ISSUED FOR REVISION 84
76	05/13/2025	ISSUED FOR REVISION 85
77	05/13/2025	ISSUED FOR REVISION 86
78	05/13/2025	ISSUED FOR REVISION 87
79	05/13/2025	ISSUED FOR REVISION 88
80	05/13/2025	ISSUED FOR REVISION 89
81	05/13/2025	ISSUED FOR REVISION 90
82	05/13/2025	ISSUED FOR REVISION 91
83	05/13/2025	ISSUED FOR REVISION 92
84	05/13/2025	ISSUED FOR REVISION 93
85	05/13/2025	ISSUED FOR REVISION 94
86	05/13/2025	ISSUED FOR REVISION 95
87	05/13/2025	ISSUED FOR REVISION 96
88	05/13/2025	ISSUED FOR REVISION 97
89	05/13/2025	ISSUED FOR REVISION 98
90	05/13/2025	ISSUED FOR REVISION 99
91	05/13/2025	ISSUED FOR REVISION 100



KOMRI HOLDINGS
 240 REGENT STREET, SUDBURY, ON
 PROJECT NO. 15102322
 EAST & WEST ELEVATIONS

DRAWN: DP
 CHECKED: KO
 SCALE: 3/8" = 1'-0"
 SHEET: A04

ISSUED FOR REVISION 10 - JUNE 12th, 2025

PL-MV-2025-00055
 Sketch 5

RCP LEGEND

- 101 DENOTES ROOM NUMBER REFERENCE
- C1 DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE
- 10'0" DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR
- DENOTES RECESSED POT LIGHTS
- DENOTES WATERPROOF RECESSED POT LIGHTS
- 14" DENOTES EXHAUST FAN
- DENOTES CARBON MONOXIDE DETECTION
- DENOTES INTERCONNECTED SMOKE DETECTOR WITH VISUAL COMPONENT
- DENOTES GYPSUM BOARD CEILING

NOTES:

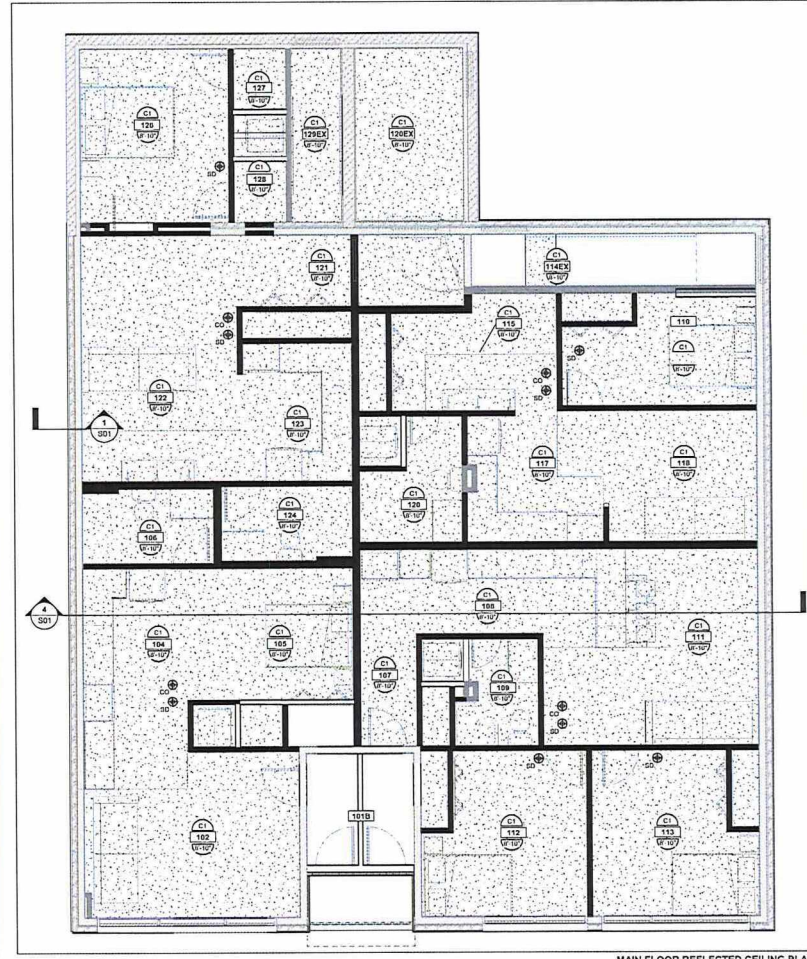
1. REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
2. CEILING HEIGHTS ARE BASED ON THE FLOOR THEY ARE LOCATED ON. SEE PLAN.
3. ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PENETRATE THE VAPOR BARRIER ARE TO BE SEALED WITH THE APPROPRIATE SEALING AND MEMBRANE. REFER TO SPECIFICATION SECTIONS 0800 SEALANTS AND 0710 MEMBRANE AIR VAPOUR BARRIERS.

CEILING ASSEMBLIES:

- NON-FIRE RATED CEILING MEMBRANE - 003**
CONSTRUCT CEILING ASSEMBLY IN ACCORDANCE WITH 00-3 DESIGN, HAVING A 1 HOUR FIRE RESISTANCE RATING.
 - 2 LAYERS 600 TYPE 'X' GYPSUM BOARD
 - 7/8" FURRING CHANNELS @ 16" O.C.
 - 1/2" METAL FRAMING @ 24" O.C.
 - HANGER WIRE SUPPORT AS REQUIRED
 - PROVIDE FIRE STOP TO SEAL WHERE REQUIRED
- 1/2" FIRE RATED CEILING MEMBRANE**
 - 2 LAYERS 600 TYPE 'X' GYPSUM BOARD
 - 1/2" FURRING CHANNELS @ 16" O.C.



BASEMENT FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



MAIN FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE REGULATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE REGULATIONS.

REVISIONS

NO.	DATE	DESCRIPTION
1	2025-06-10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
2	2025-06-10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
3	2025-06-10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
4	2025-06-10	ISSUED FOR REVISION 10 - JUNE 12th, 2025



KOMRI ENGINEERING
 243 REGENT STREET, SUDBURY, ON
 PROJECT NO. 188503232
 MAIN FLOOR REFLECTED CEILING PLAN

DRAWN: DP
 CHECKED: KD
 SCALE: 1/4" = 1'-0"
 SHEET

A05

ISSUED FOR REVISION 10 - JUNE 12th, 2025

PL-MV-2025-00055
 sketch 6

LEGEND

ROOM NAME [101]	DENOTES ROOM NAME AND NUMBER REFERENCE
PA	DENOTES PARTITION ASSEMBLY TAG REFERENCE
W1	DENOTES WINDOW TAG REFERENCE
W*	DENOTES EXTERIOR WALL TAG REFERENCE
FD	DENOTES FLOOR DRAIN
	DENOTES DOOR AND DOOR HANDLE
REF.	DENOTES REFRIGERATOR FREEZER
WAD	DENOTES STACKABLE WASHER AND DRYER
	DENOTES STOVE OVEN
HWT	DENOTES HOT WATER TANK
HVAC	DENOTES HEAT RECOVERY VENTILATOR

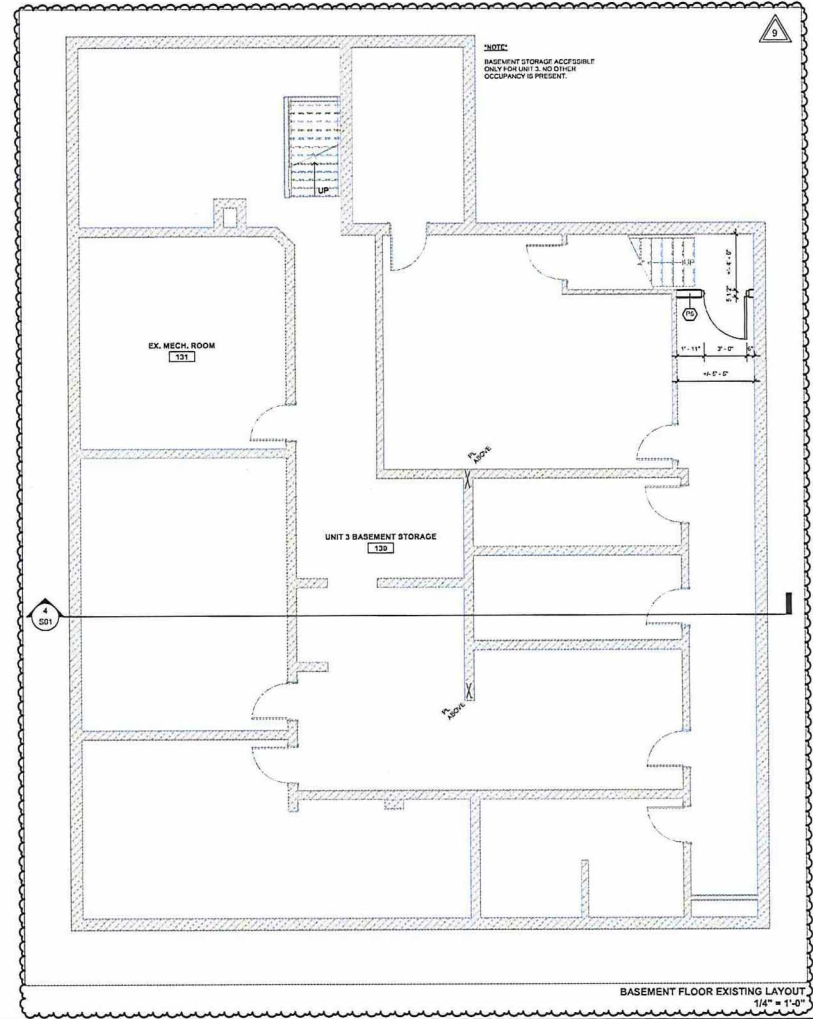
CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

- ALL INTERIOR PARTITIONS ARE TO BE FIN UNLESS NOTED OTHERWISE. NEXT TO ANY DIMENSION INDICATES FIN MEASUREMENT SHOULD BE FIELD MEASURED AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. REFER TO ARCHITECT ENGINEERING AS REQUIRED IF FINISH MATERIAL CANNOT BE IMPLEMENTED.
- USE WATER RESISTANT GYPSUM WALL BOARD ON ALL NET SIDES OF PARTITIONS & CEMENT BOARD BEHIND ALL WALL MOUNTED T.V. WORK.
- PROVIDE WOOD BRACING TO ACCESSORIES WALL MOUNTED IN ACCESSORIES. COORDINATE LOCATIONS AS REQUIRED.
- ALL PARTITIONS TO EXTEND TO TOP OF STRUCTURE UNLESS OTHERWISE NOTED. BRACE AS REQUIRED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DATUM. FINISH TOP OF FLOOR.
- ALL LARGED VERTICAL CORNERS IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNERS DUNDIG.
- ALL DOORS SHALL BE LOCATED 4" FROM WALL FACE TO DOOR FRAME EDGE. TYPICAL UNLESS NOTED OTHERWISE.
- THE LETTER 'X' NEXT TO PARTITION TAGS INDICATE PARTITIONS THAT ONLY EXTEND TO USE OF CEILING.

PARTITION ASSEMBLIES:

- PA1** TYPICAL INTERIOR WOOD STUD PARTITION
 - 1" GYPSUM BOARD ON BOTH SIDES OF:
 - 2x4 SPF NO. 1/NO. 2 WOOD STUDS @ 16" O.C.
- PA2** 1 HR FIRE RATED PARTITION UL C DESIGN NO. W188
 - CONSTRUCT PARTITION IN ACCORDANCE WITH UL C DESIGN NO. W188 HAVING A 1 HR FIRE RESISTANCE RATING.
 - 5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF:
 - 2x4 SPF NO. 1/NO. 2 WOOD STUDS @ 16" O.C.
 - 5" MINERAL FIBRE INSULATION
 - PROVIDE FIRE STOP TO SEAL PORTION AT BASE AND TOP
- PA3** SINGLE SIDED FINISHING WALL
 - 1" GYPSUM BOARD ON INTERIOR SIDE OF:
 - 2x4 SPF NO. 1/NO. 2 WOOD STUDS @ 16" O.C.
- PA4** TYPICAL INTERIOR WOOD STUD PARTITION
 - 1" GYPSUM BOARD ON BOTH SIDES OF:
 - 2x4 SPF NO. 1/NO. 2 WOOD STUDS @ 16" O.C.
- PA5** 1 HR FIRE RATED PARTITION UL L288
 - CONSTRUCT PARTITION IN ACCORDANCE WITH UL L288 HAVING A 1 HR FIRE RESISTANCE RATING.
 - 5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF:
 - 5" WOOD STUD WALL SYSTEM @ 16" O.C.
 - 5" MINERAL FIBRE INSULATION
 - PROVIDE FIRE STOP TO SEAL PORTION AT BASE AND TOP



GENERAL
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE REGULATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNCEC) AND ALL APPLICABLE REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE (CNPMC) AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL FIRE CODE (CNFC) AND ALL APPLICABLE REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL MECHANICAL VENTILATION AND AIR CONDITIONING CODE (CNMVAC) AND ALL APPLICABLE REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENERGY EFFICIENCY CODE (CNEEC) AND ALL APPLICABLE REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL SOUND AND VIBRATION CODE (CNV) AND ALL APPLICABLE REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ACCESSIBILITY ACT (CNA) AND ALL APPLICABLE REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENVIRONMENTAL ACT (CNEA) AND ALL APPLICABLE REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL OCCUPATIONAL SAFETY AND HEALTH ACT (CNSO) AND ALL APPLICABLE REGULATIONS.

REGIONS
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE REGULATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNCEC) AND ALL APPLICABLE REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE (CNPMC) AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL FIRE CODE (CNFC) AND ALL APPLICABLE REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL MECHANICAL VENTILATION AND AIR CONDITIONING CODE (CNMVAC) AND ALL APPLICABLE REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENERGY EFFICIENCY CODE (CNEEC) AND ALL APPLICABLE REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL SOUND AND VIBRATION CODE (CNV) AND ALL APPLICABLE REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ACCESSIBILITY ACT (CNA) AND ALL APPLICABLE REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENVIRONMENTAL ACT (CNEA) AND ALL APPLICABLE REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL OCCUPATIONAL SAFETY AND HEALTH ACT (CNSO) AND ALL APPLICABLE REGULATIONS.



KOMRI HOLDINGS
 215 REGENT STREET, SUDBURY, ON
 PROJECT NO. K1802232
 EXISTING BASEMENT & SECOND FLOOR LAYOUT




DRAWN: DL
 CHECKED: KO
 SCALE: 1/4" = 1'-0"
 SHEET

A06

ISSUED FOR REVISION 10 - JUNE 12th, 2025

PL-MV-2025-00055
 sketch 7








DEMOLITION LEGEND

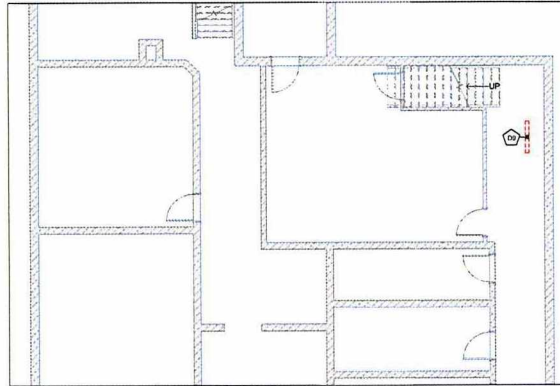
-  DEMOLITION TAG REFER TO DEMOLITION NOTES
-  DENOTES EXISTING ITEMS TO REMAIN
-  DENOTES ITEMS TO BE REMOVED - REFER TO DEMOLITION NOTES

DEMOLITION NOTES (GENERAL):

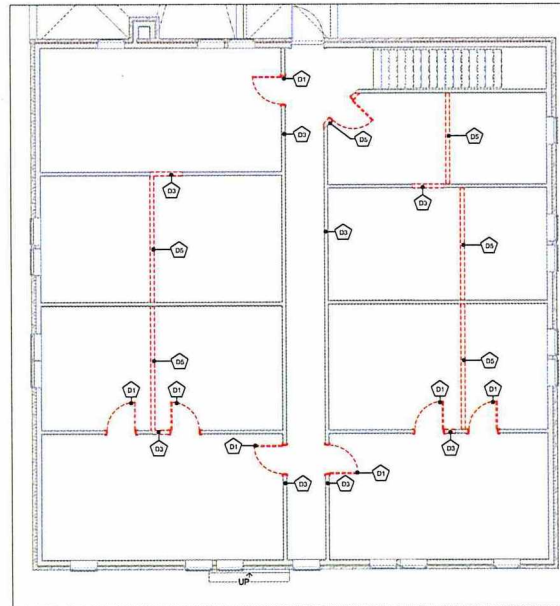
1. REFER TO STRUCTURAL DRAWINGS FOR LVL/EL REQUIREMENTS PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK.
2. REFER TO DEMOLITION FLOOR PLAN AND COORDINATE WORK BETWEEN TRADES.
3. REFER ALSO TO MECH/ELEC FOR ADDITIONAL DEMOLITION NOTES AND REQUIREMENTS.
4. ALL ELECTRICAL DEVICES SUBJECT TO DUST AND DEBRIS ARE TO BE REMOVED PRIOR TO DEMOLITION PHASE AND REINSTALLED DURING CONSTRUCTION PHASE. MAKE SAFE ALL ELECTRICAL SYSTEMS.
5. PROTECT EXISTING MECHANICAL AND ELECTRICAL SYSTEMS TO REMAIN. PROVIDE WATER/TIGHT ENCLOSURE AT THESE SYSTEMS WHEN EXPOSED TO THE ELEMENTS.
6. MECHANICAL DUCTS ARE TO BE CAPPED DURING DEMOLITION PHASE TO PREVENT THE SPREAD OF DUST TO THE REST OF THE BUILDING STILL IN OPERATION.
7. ALL REMOVED ITEMS NOT REUSED IN NEW CONSTRUCTION OR TURN OVER TO OWNER, SHALL BE REMOVED OFF SITE.
8. PROTECT EXISTING FLOORING, WALLS, EQUIPMENT, MILLWORK AND OTHER FINISHMENTS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OF THE WORK AS A MINIMUM USE POLYETHYLENE AND FIBROUS BOARDING.
9. PROTECT EXISTING MECHANICAL AND ELECTRICAL SYSTEMS TO REMAIN. PROVIDE WATER/TIGHT ENCLOSURE AT THESE SYSTEMS WHEN EXPOSED TO THE ELEMENTS.
10. ALL REMOVED ITEMS NOT REUSED IN NEW CONSTRUCTION OR TURN OVER TO OWNER, SHALL BE REMOVED OFF SITE.

DEMOLITION NOTES (TAGS):

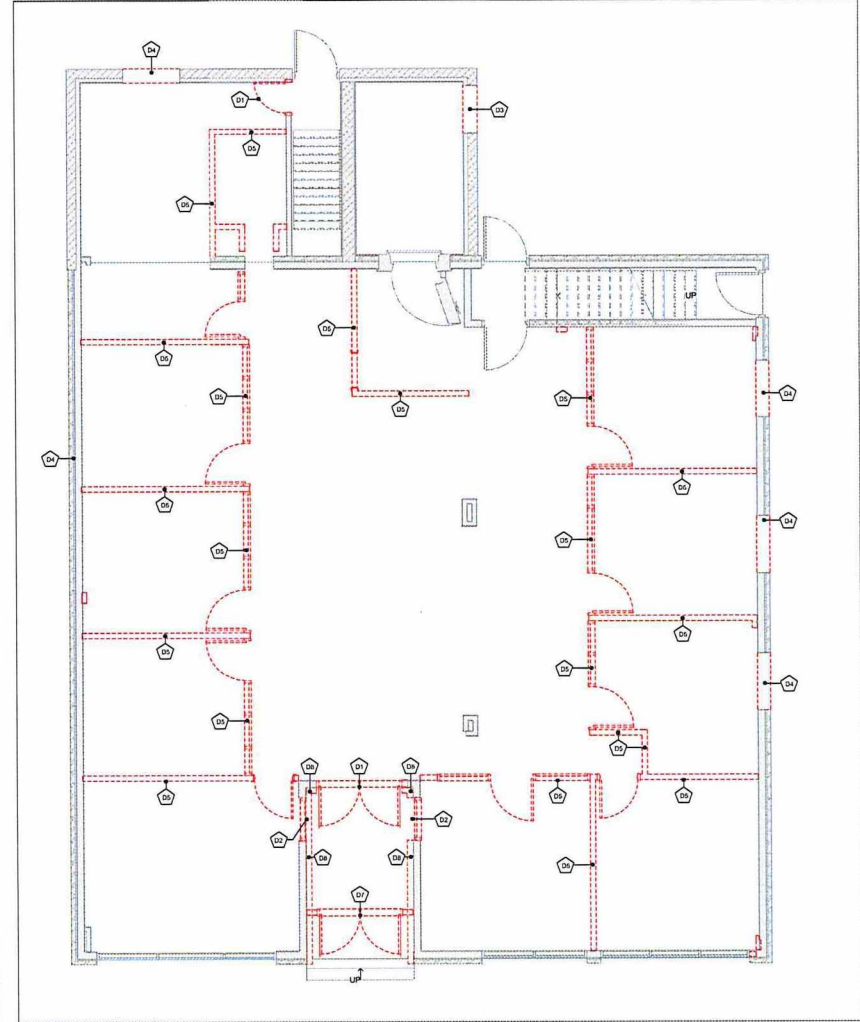
-  CONTRACTOR TO REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY. MAKE GOOD ALL SURFACES IN PREPARATION FOR NEW WALL INFILL. REFER TO WALL SCHEDULE.
-  CONTRACTOR TO REMOVE EXISTING WINDOW, FRAME AND HARDWARE IN ITS ENTIRETY. MAKE GOOD ALL SURFACES IN PREPARATION FOR NEW WALL INFILL. REFER TO WALL SCHEDULE.
-  CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN PREPARATION FOR NEW DOOR. REFER TO DOOR SCHEDULE FOR SIZES.
-  CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING STUD WALL IN PREPARATION FOR NEW WINDOW. REFER TO WINDOW SCHEDULES FOR SIZES.
-  CONTRACTOR TO NEATLY SAW CUT AND REMOVE PORTION OF EXISTING WALL INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, ETC. SHORE LOAD BEARING WALLS IF REQUIRED. MAKE GOOD ALL SURFACES IN PREPARATION FOR NEW.
-  CONTRACTOR TO REMOVE EXISTING STRIPS, INCLUDING BUT NOT LIMITED TO STRIPS/FINIS, TRAZO, RAILINGS, ETC. MAKE GOOD ALL SURFACES IN PREPARATION FOR NEW.
-  CONTRACTOR TO REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY. MAKE GOOD ON ALL SURFACES IN PREPARATION FOR NEW DOOR. REFER TO DOOR SCHEDULE.
-  CONTRACTOR TO REMOVE EXISTING BRICK CLADDING IN ITS ENTIRETY. MAKE GOOD ON ALL SURFACES IN PREPARATION FOR NEW. REFER TO FLOOR PLAN.
-  CONTRACTOR TO REMOVE CMU WALL. MAKE GOOD ON ALL SURFACES.



BASEMENT DEMOLITION PLAN
3/16" = 1'-0"



SECOND FLOOR DEMOLITION
3/16" = 1'-0"



MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"

GENERAL
 1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 7. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 8. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 9. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.
 10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE LOCAL AUTHORITY.

REVISIONS

NO.	DATE	DESCRIPTION
1	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
2	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
3	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
4	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
5	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
6	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
7	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
8	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
9	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025
10	2025/06/10	ISSUED FOR REVISION 10 - JUNE 12th, 2025



KOMRI ENGINEERING



KOMRI HOLDINGS
 245 REGENT STREET, SUITE 201, ONTARIO
 PROJECT NO. 24823332
 DEMOLITION PLAN

DRAWN: DP/DL
 CHECKED: KO
 SCALE: As Indicated
 SHEET:

A07

ISSUED FOR REVISION 10 - JUNE 12th, 2025

PL-MV-2025-00055
 Sketch 8



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00076

APPLICATION SUMMARY

File Date: 06/04/2025

Application Type: Minor Variance

Address(es): 18 Simon Lake Drive, Naughton P0M 2M0

Applicant(s): DWAYNE HEAD

Owner(s): STEVEN HEAD

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

March 2024

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Build Garage with accessory lot coverage at 11%

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Storage for boat, atv's, snow machine etc

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

22.86

Lot Depth of the property

48.77

Lot Area of the property

1114.9

Total width of the public road giving access to the property

22

List all buildings and structures on the property and their respective date of construction

House - 1960's

shed 1 - unknown

shed 2 - July 2024

Deck (under 0.6 height) - unknown

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential - since 1960's

Is the use remaining the same? If no, please provide the proposed new use

Same

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

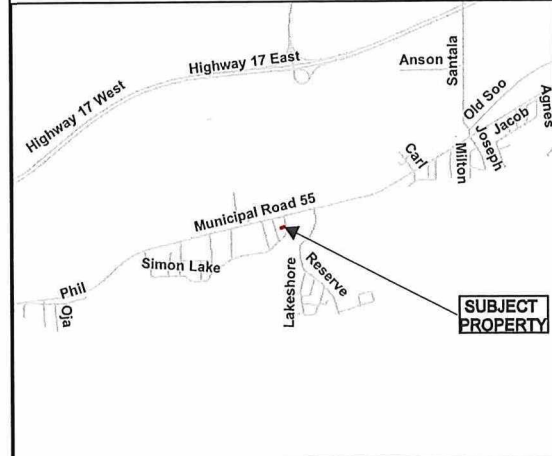
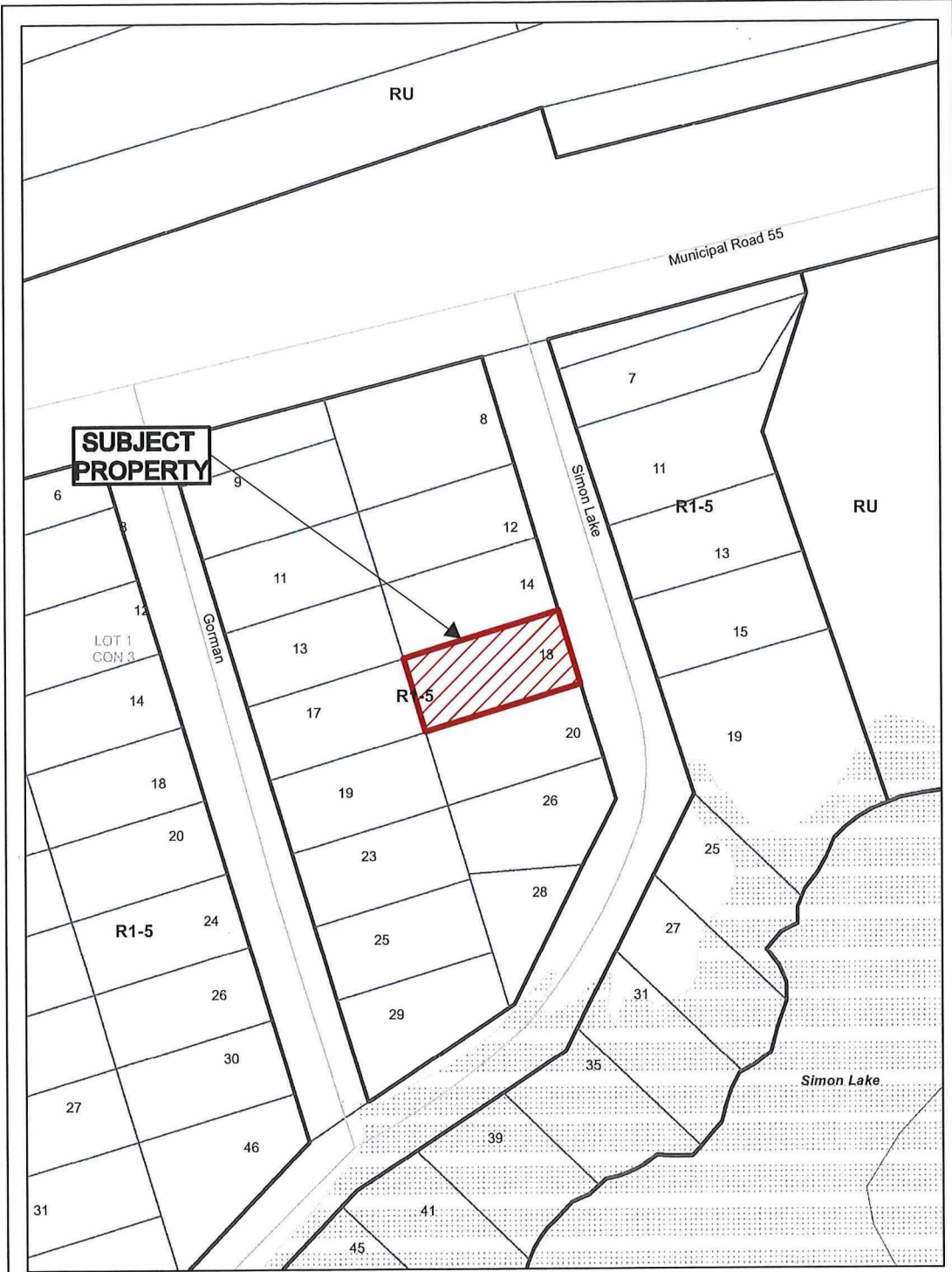
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Garage	No	93.57	93.57	1	8.53	10.97	5	33.53	4.27	1.2	13.13

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	72	144	1.5	7.62	9.45	6	12.8	28.35	4.27	9.14
Shed 1	No	13.69	13.69	1	3.7	3.7	3.35	43.87	1.2	17.96	1.2
Shed 2	No	13.69	13.69	1	3.7	3.7	3.35	43.87	1.2	13.26	16.96
Detached Deck - Under 0.6m	No	26.72	26.72	1	3.66	7.3	0.3	20.42	24.69	6.42	9.14

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Accessory Lot Coverage	10%	11%	1%



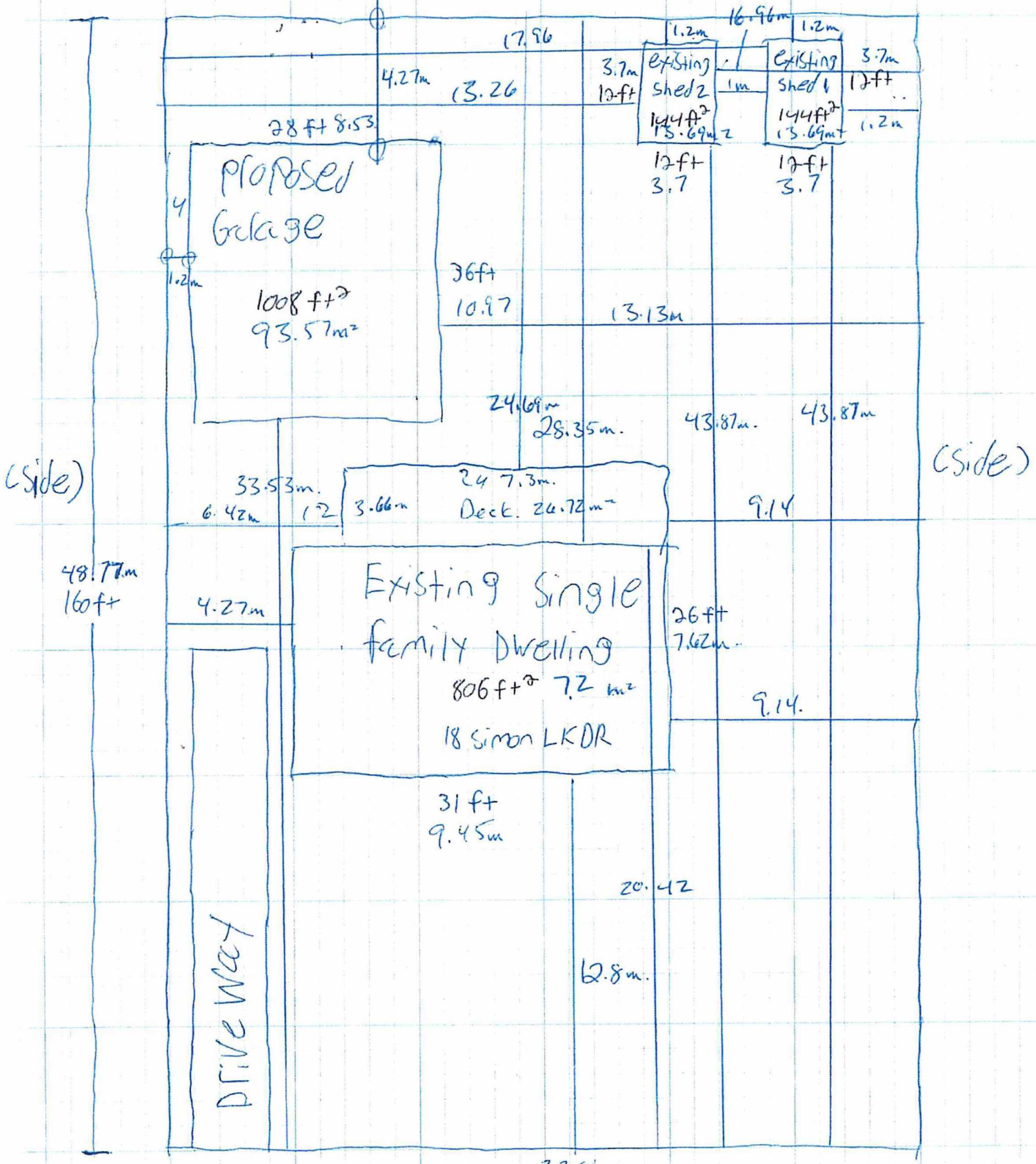
Application for Minor Variance or Permission



Subject Property being PIN 73381-0306,
 Parcel 15720 SEC SWS,
 Lot 68, Plan M-193,
 Part Lot 1, Concession 3,
 Township of Graham,
 18 Simon Lake Drive, Naughton,
 City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00076
 NDCA Date: 2025 06 12

(Rear)



(Side)

(Side)

(Front)
18. Simon LK DR

PL-MV-2025-00076
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00077

APPLICATION SUMMARY

File Date: 06/06/2025

Application Type: Minor Variance

Address(es): 510 Van Horne Street, Sudbury P3B 2X4

Applicant(s): SHELDON BURTON

Owner(s): SHELDON BURTON AND KIMBERLEY BURTON

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

30/05/2023

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

0

What is the number of proposed new dwelling units on the property?

4

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

0

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan

IPZ (part IV policies) (1) Ramsey

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

Single family dwelling with 3 ADUs. There was an existing triplex prior to purchase

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Looking to get relief from 5.4.2 (c) to permit two driveways

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

16.22

Lot Depth of the property

35.05

Lot Area of the property

568.511

Total width of the public road giving access to the property

20.0

List all buildings and structures on the property and their respective date of construction

no buildings

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential use

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Single Detached Dwelling with 3 ADUs	No	178.32	356.64	2	9.1	19.5	6.5	6.0	9.54	1.8	5.27

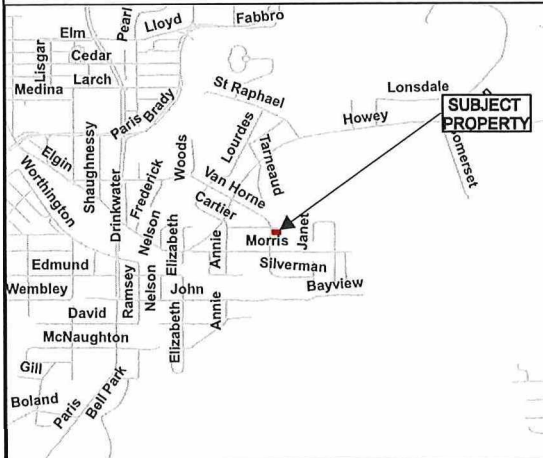
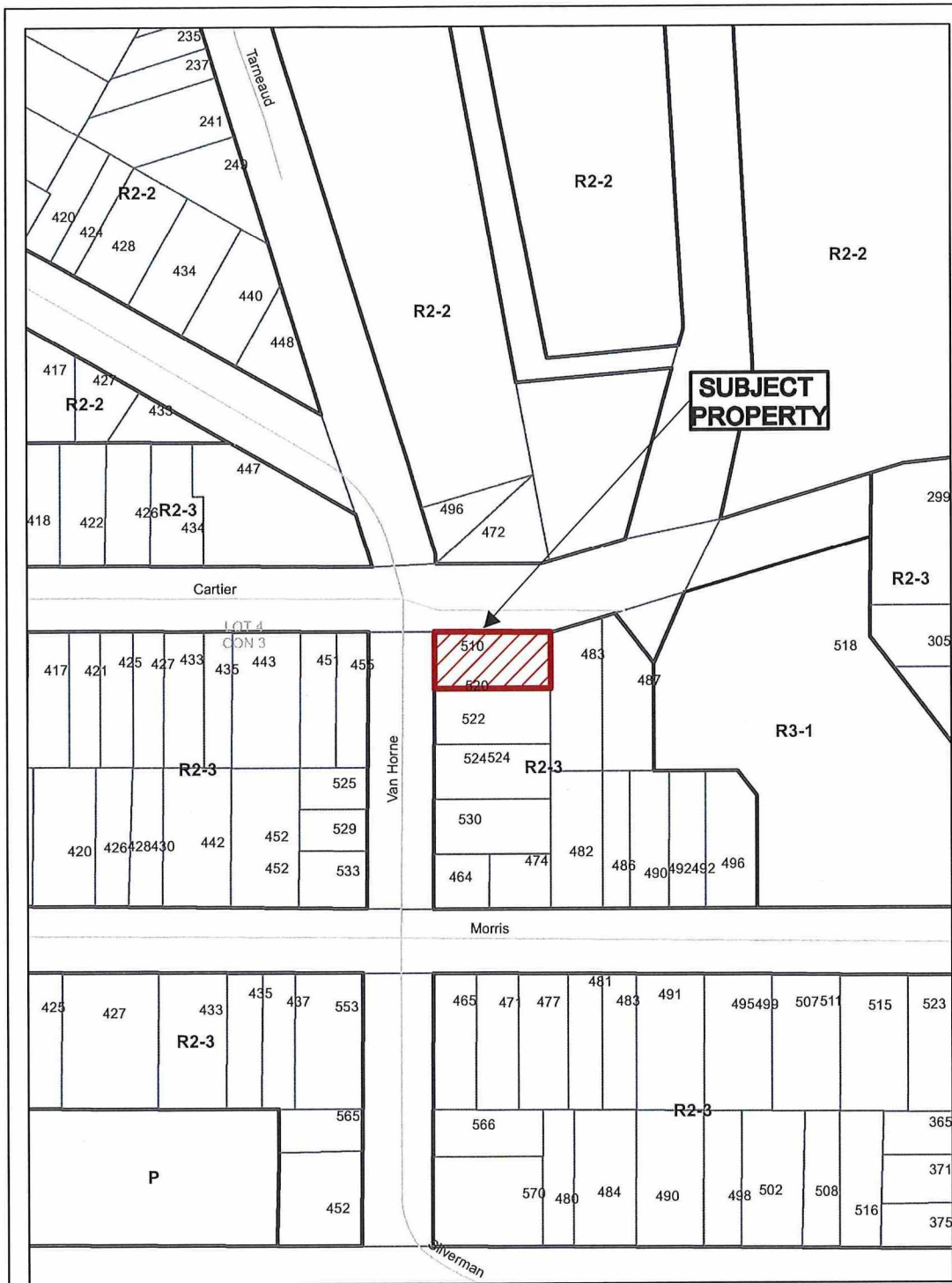
EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
5.4.2 (c) - number of driveways per lot	1	2	.1

PL-MV-2025-00077⁴



Application for Minor Variance or Permission



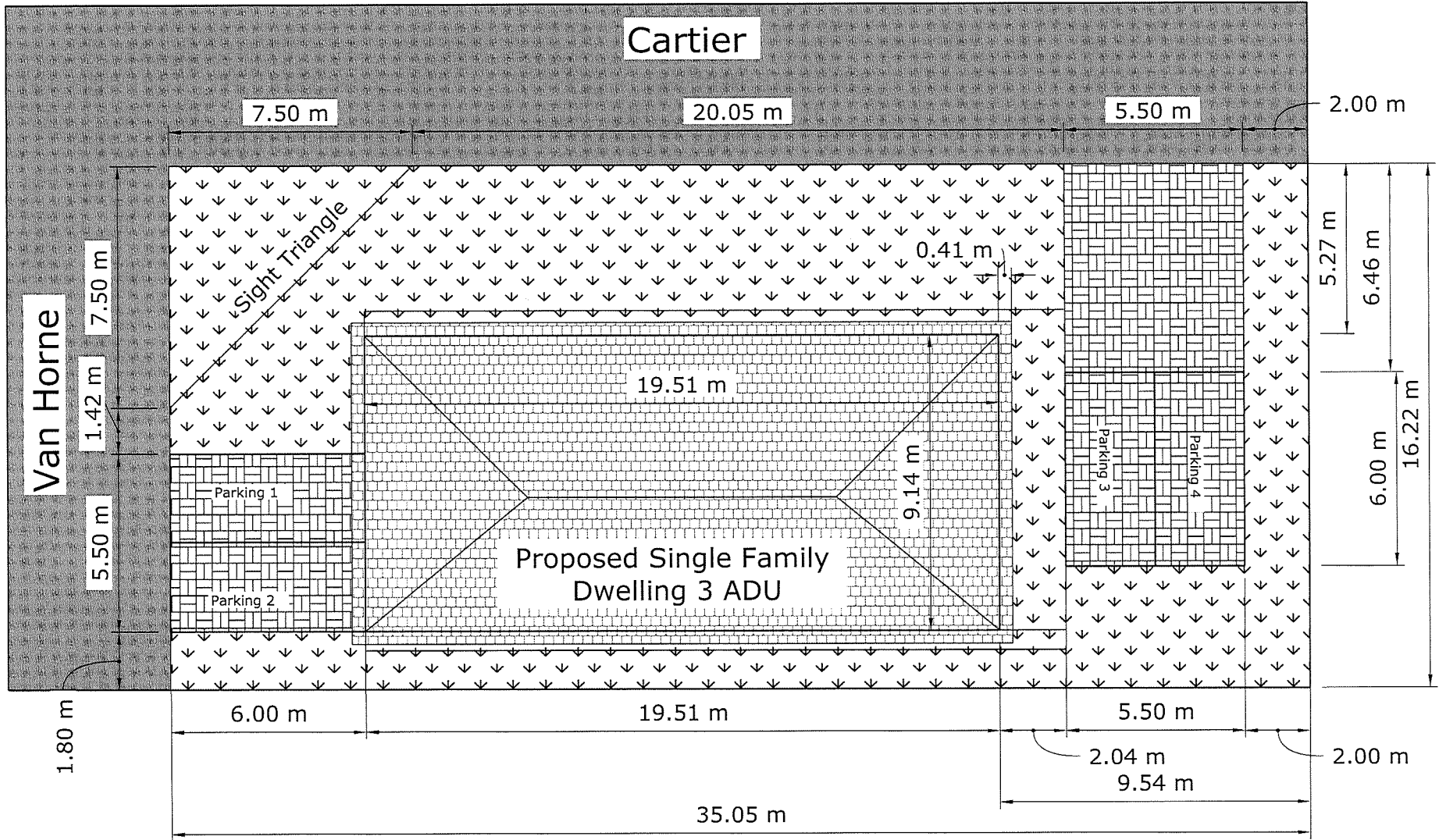
Subject Property being PIN 73583-0235,
 Lot 153, Plan 34-S,
 Part Lot 4, Concession 3,
 Township of McKim,
 510 Van Horne Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2025-00077
 Date: 2025 06 12

Property and Parking Changes to:

KSI-023-197 - 510 Van Horne St - Issue dfor client review - June 3rd, 2025



PL-MV-2025-00077
Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00080

APPLICATION SUMMARY

File Date: 06/10/2025

Application Type: Minor Variance

Address(es): 2023 Pilon Street, Chelmsford P0M 1L0

Applicant(s): DENIS LEDUC

Owner(s): DENIS LEDUC AND CHANTAL LEDUC

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

June 3, 2025

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

3

What is the number of proposed new dwelling units on the property?

1

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

2

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

1

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Rural

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Allow a second additional unit in an existing accessory structure

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Previous owner has already built this unit, and sold as a 4 unit property

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

16.91

Lot Depth of the property

91.4

Lot Area of the property

1545.6

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Single Family Dwelling - 2024

Accessory Structure - 2024

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential - 1 year

Is the use remaining the same? If no, please provide the proposed new use

Residential

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

Yes

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

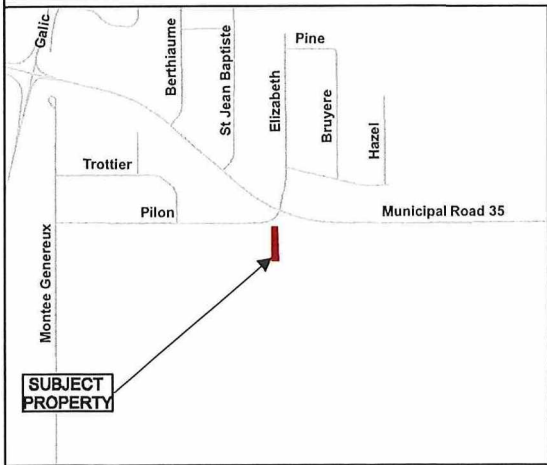
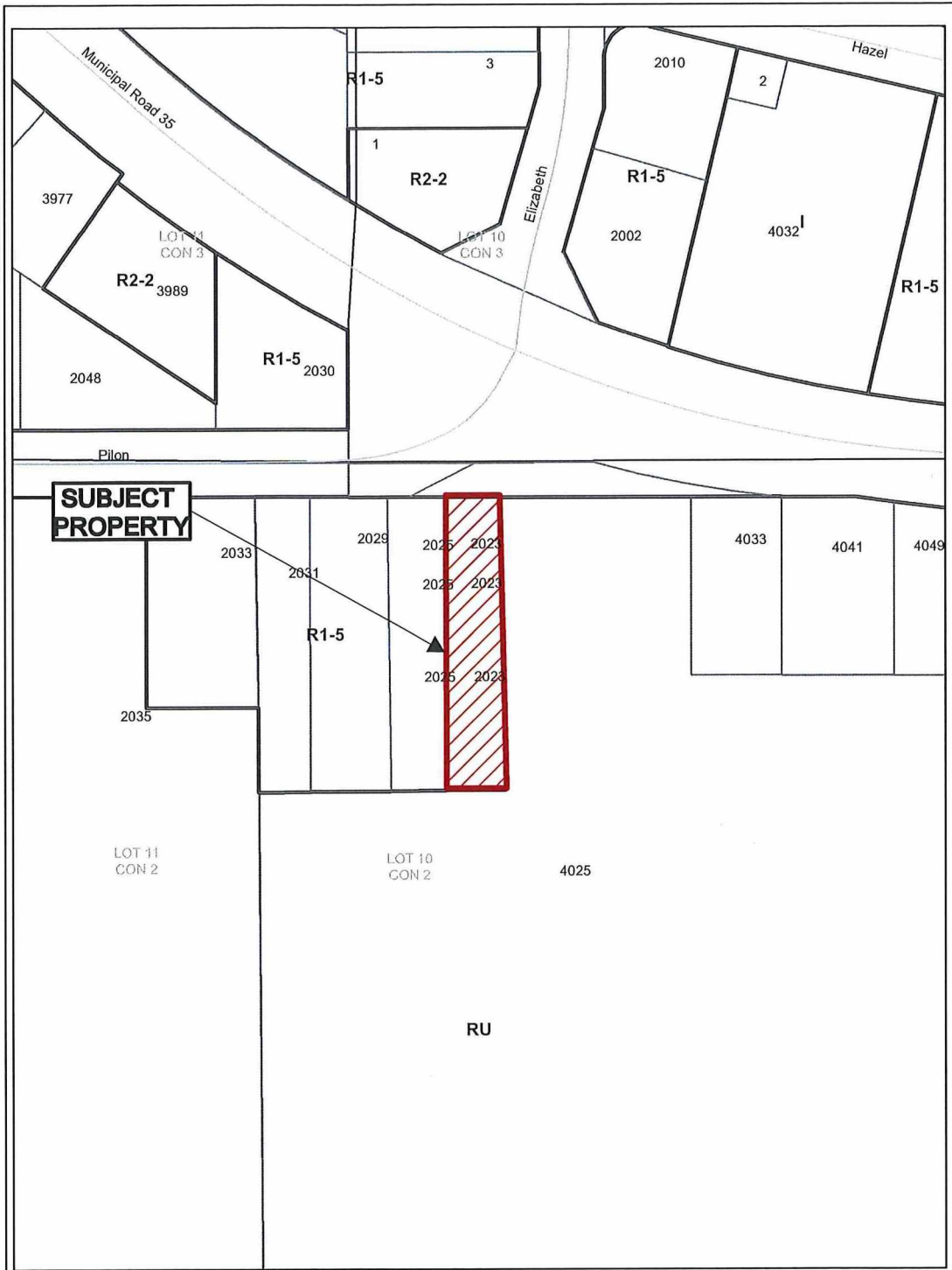
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
----------------------	------------------	---------------------------------	--------------------------------	----------------------------	--------------------	---------------------	---------------------	---------------------------------	--------------------------------	--------------------------------	--------------------------------------

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Single Family Dwelling	No	273	273	1	9.1	30	4.5	15	46.44	4.8	3
Accessory with Unit	No	150.5	150.5	1	9.9	15.2	4.5	48.9	26.84	4	3

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Permit second unit in accessory structure	1	2	1



Application for Minor Variance or Permission



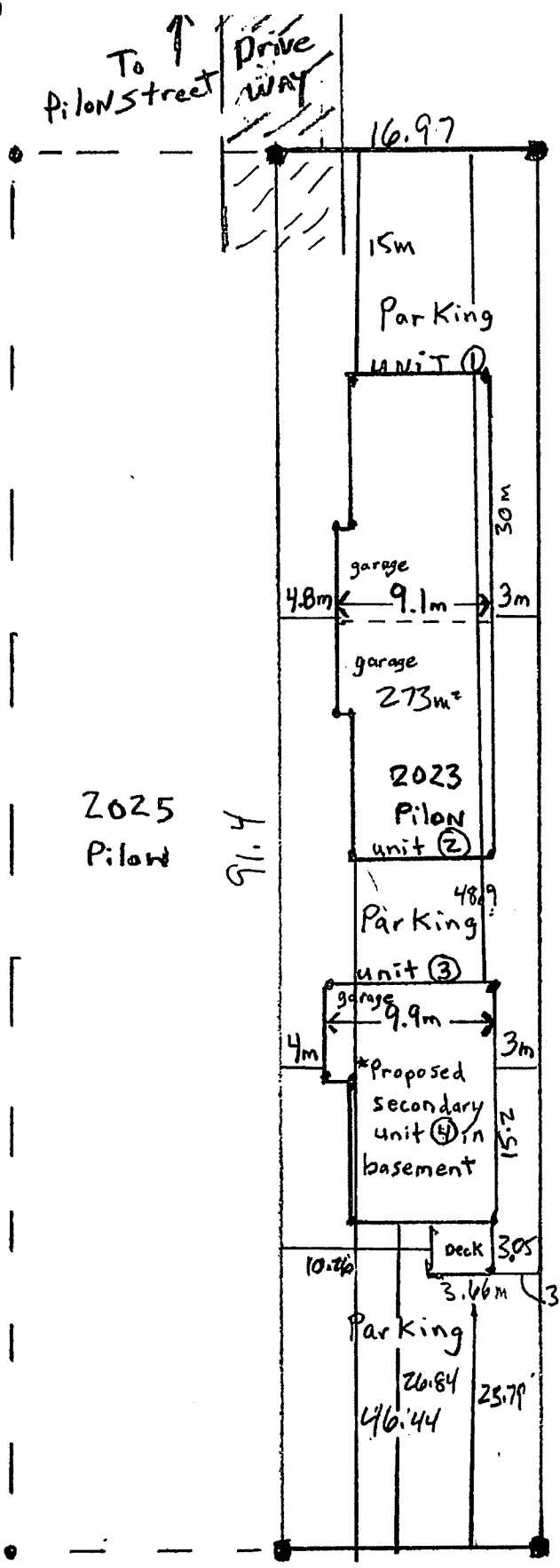
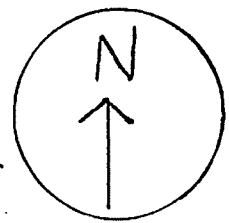
Subject Property being PIN 73347-2000, Surface Rights Only, Part Lot 10, Concession 2, Part 2 Plan 53R-14524, Township of Rayside, 2023 Pilon Street, Chelmsford, City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00080
Date: 2025 06 13

← Pilon St. →

Municipal Rd 35



* units 1,2,3 currently have full occupancy permits

2025 Pilon 91.4

4025 Municipal Road 35

91.44m

← 16.9m →

PL-MV-2025-00080 Sketch 2



PL-MV-2025-00080
Sketch 3



PL-MV-2025-00080
Sketch 4



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00081

APPLICATION SUMMARY

File Date: 06/10/2025

Application Type: Minor Variance

Address(es): 1576 Dearbourne Drive, Sudbury P3A 5A4

Applicant(s): B. NORTH CONTRACTING

Owner(s): MIKE GRIER AND KIANA WARDELL

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

2022

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Front yard set back of 3.5m for a proposed basement entrance - exterior open air stairwell with small portion covered by roof.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

less than the allowed front yard set back of 6 m

Is there an eave encroachment?

Yes

Size of eaves

0.15

Lot Frontage of the property

13.77

Lot Depth of the property

30.48

Lot Area of the property

888

Total width of the public road giving access to the property

10

List all buildings and structures on the property and their respective date of construction

House 1978

shed 2022

shed 2022

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Single Family Dwelling - residential

Is the use remaining the same? If no, please provide the proposed new use

same

Existing uses of neighbouring properties

residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

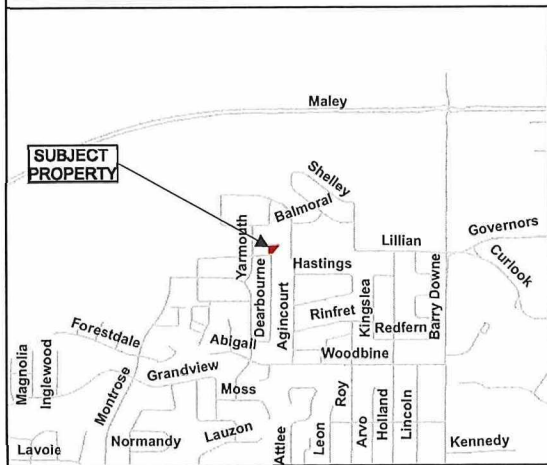
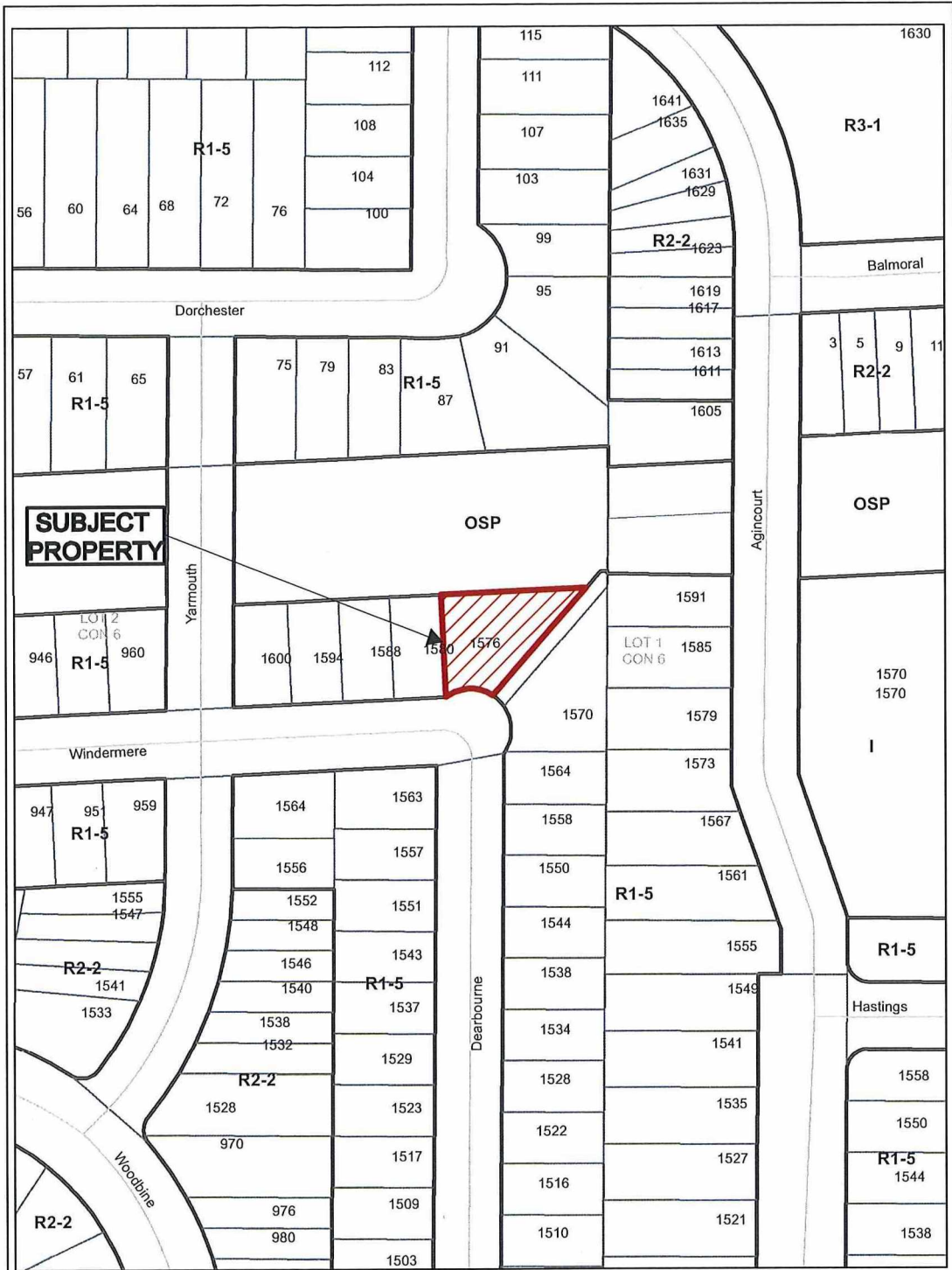
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Addition	No	8.49	8.49	0	2.56	4.18	1.0	3.53	22.24	2.4	9.8

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	142.8	142.8	1	13.4	13.1	5.18	6.09	9.14	1.83	9.1
shed	No	7.4	7.4	1	2.4	3.04	2.1	20.1	5.18	1.79	22.0
shed	No	9.2	9.2	1	3.04	3.04	2.1	20.1	5.18	12.16	14.5

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Addition set back to front lot line	6 m	3.5 m	2.5 m
Eave Encroachment into Front Yard	May encroach 1.2 m into the required yard but not closer than 0.6 m to the lot line.	2.65m encroachment/3.3 5m setback	1.45m



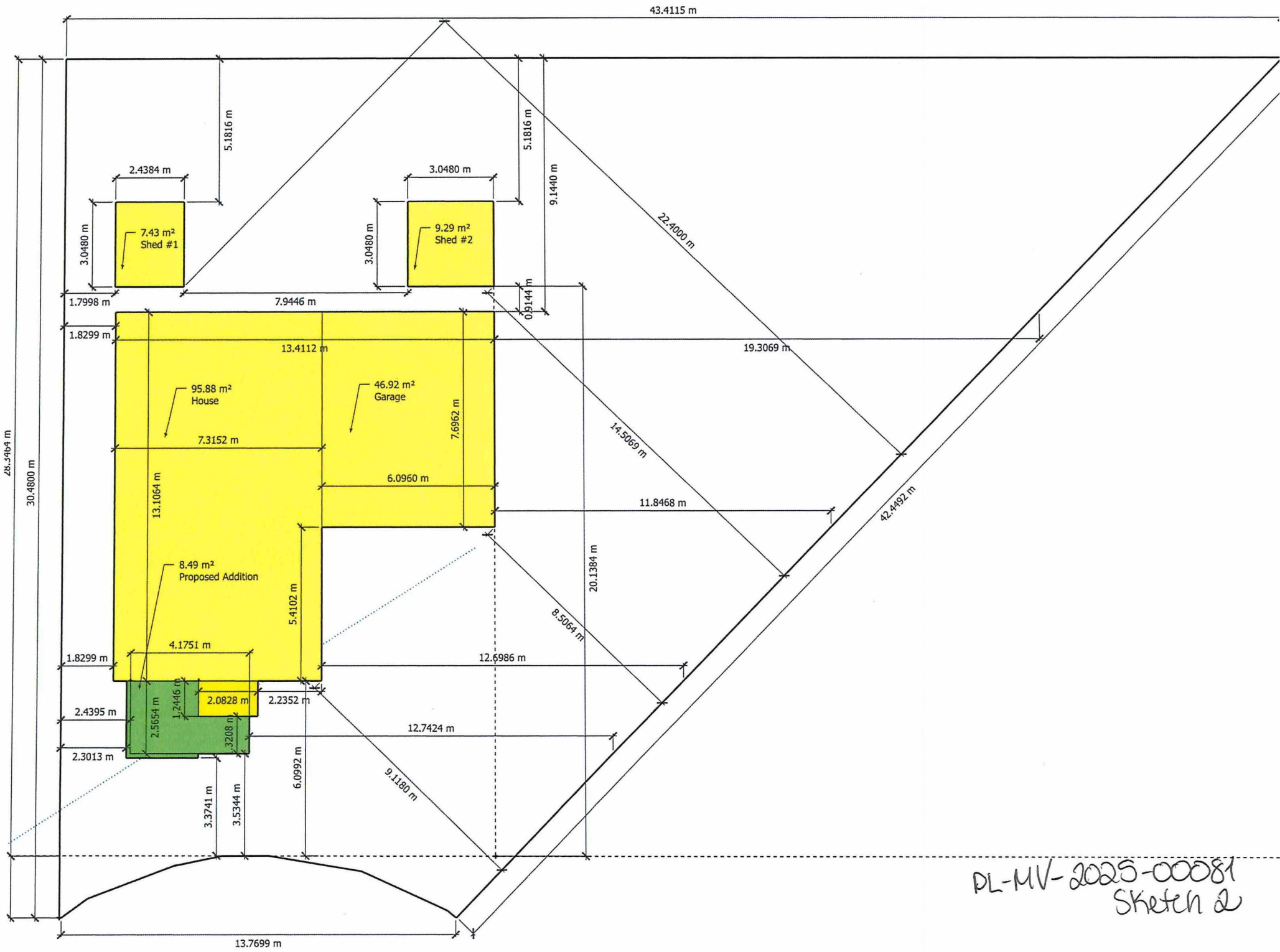
Application for Minor Variance or Permission



Subject Property being PIN 02115-0140,
 Parcel 42588 SEC SES SRO,
 Lot 138, Plan M-1014,
 Part Lot 2, Concession 6,
 Township of McKim,
 1576 Dearbourne Drive, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

PL-MV-2025-00081
 Date: 2025 06 16



PL-MV-2025-00081
 Sketch 2



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00082

APPLICATION SUMMARY

File Date: 06/12/2025

Application Type: Minor Variance

Address(es): 27 Cobalt Street, Copper Cliff P0M 1N0

Applicant(s): ALEXANDER HAYWOOD

Owner(s): ALEXANDER HAYWOOD

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

March 31, 2006

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R1-5

Provide a detailed description of what is being proposed

Remove existing owner portion of shared garage and build new garage in from lot line.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Desire to build a second story for storage and workout space exceeding the zoning by-law height for single story structure

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

23

Lot Depth of the property

37.5

Lot Area of the property

889

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

House in ~1947

Garage in ~1947

Storage shed (8'x12') in ~2015

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential

Is the use remaining the same? If no, please provide the proposed new use

Yes - staying the same

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?
No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

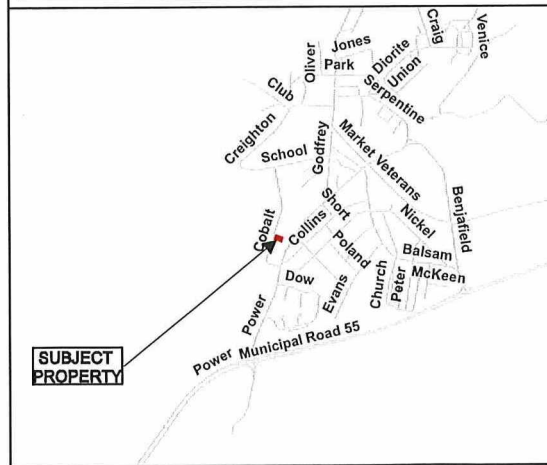
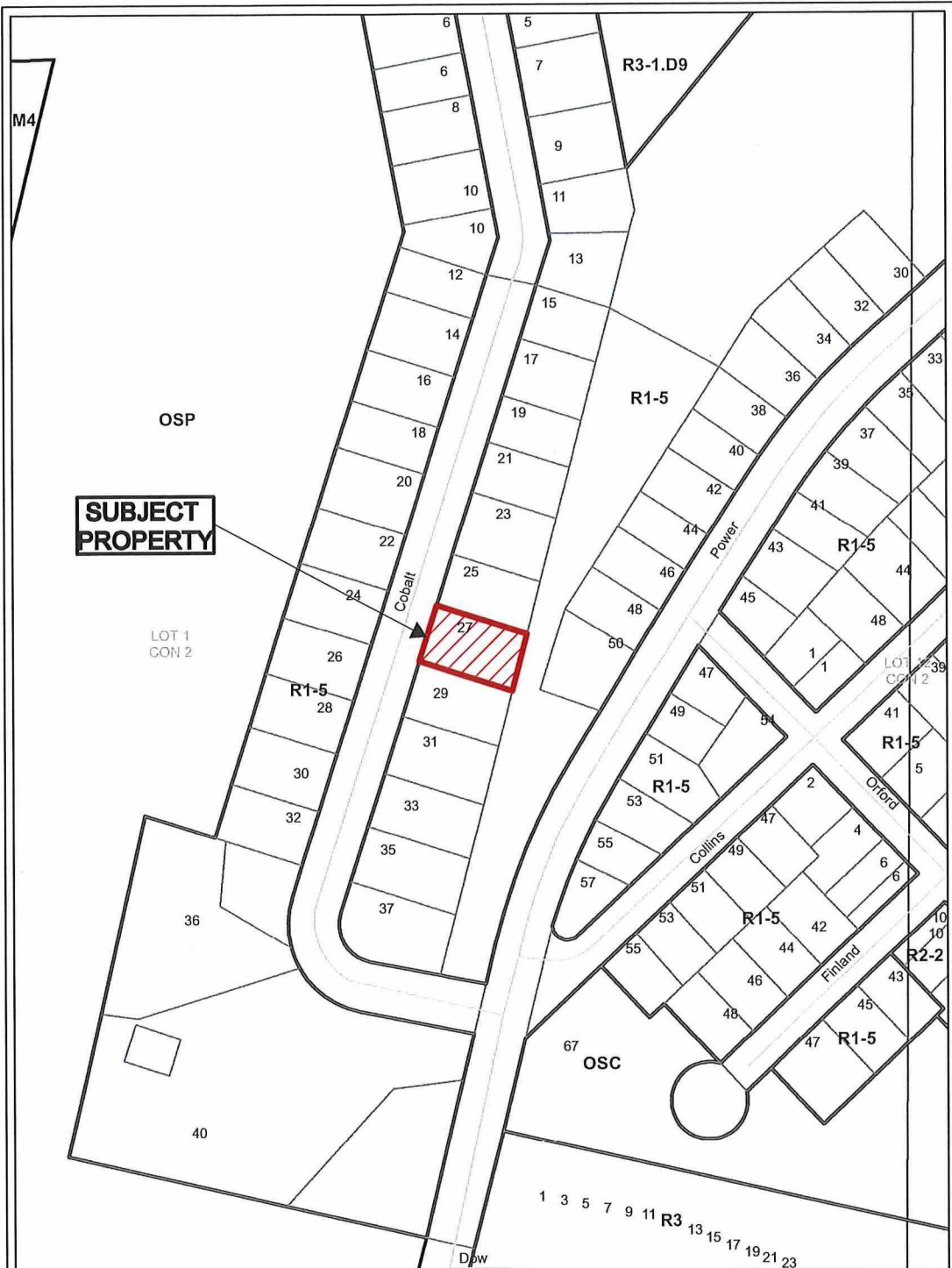
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Garage	No	44.6	67.0	2	6.1	7.3	7	25.14	5.48	1.83	15.24

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	96	172	2	7.9	15.5	7	6	15.8	9.75	5.5
Existing Garage - dimensions for full shared garage - subject property owns 50%	Yes	39.0	39.0	1	6.4	6.1	3.05	23.0	6.7	20.0	0
Upper Deck	No	23.7	23.7	0	4.87	4.87	0.91	18.1	17.0	8.5	9.8
Lower Deck	No	26.5	26.5	0	4.87	5.18	0.56	18.1	17.0	3.35	14.9
Shed	No	8.93	8.93	1	2.44	3.66	3.35	34.86	1.2	1.2	18.3
Wood Shed	No	4.46	4.46	1	1.23	3.66	2.44	27.6	6.5	1.2	20.9

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Height - detached garage	4.2.4 Height a) The maximum height of any accessory building or structure on a residential lot shall be 5.0 metres.	7	2



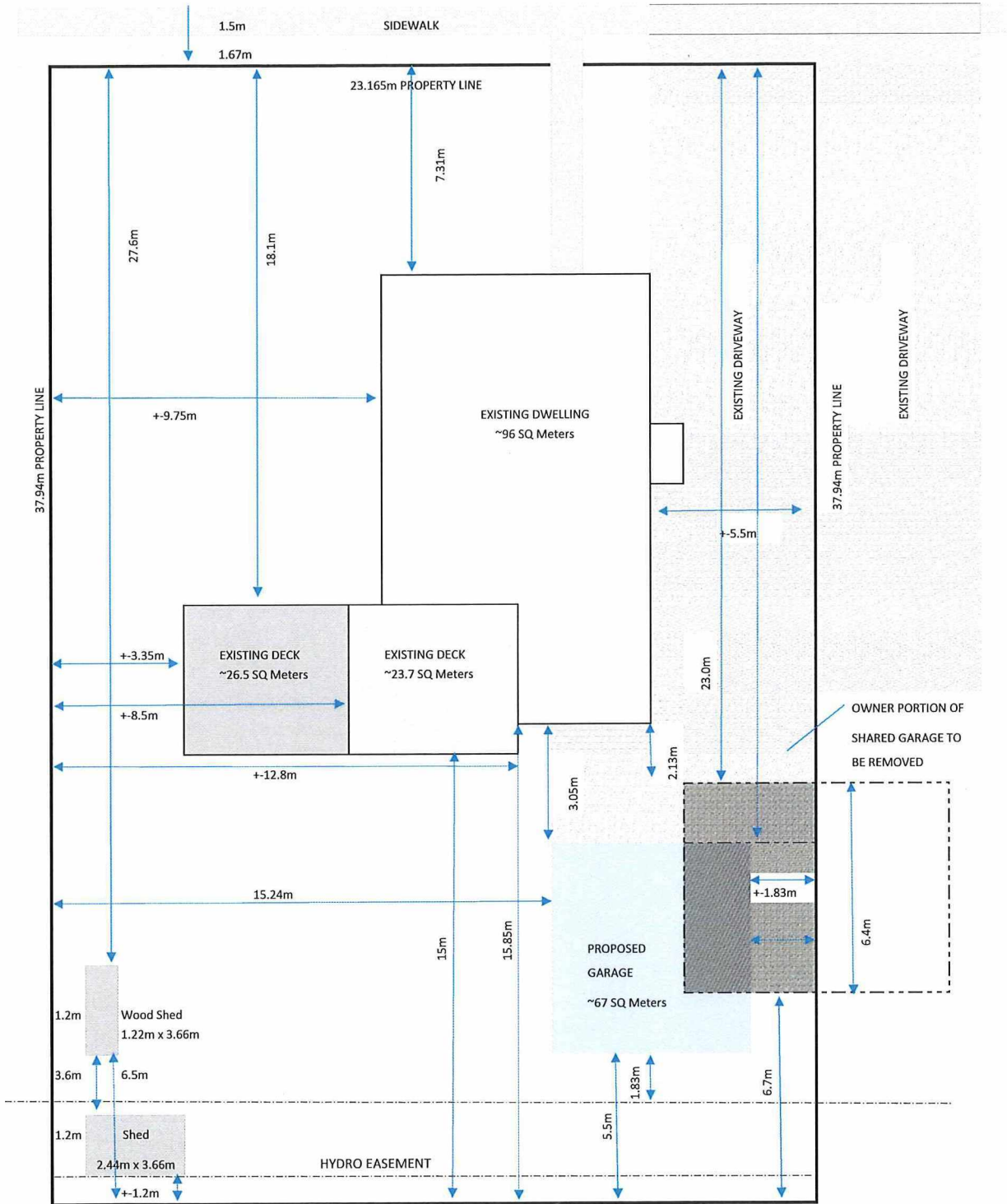
Application for Minor Variance or Permission



Subject Property being PIN 73599-0624,
 Parcel 40674 SEC SES SRO,
 Lot 21, Plan M-1023,
 Part Lot 1, Concession 2,
 Township of Snider,
 27 Cobalt Street, Copper Cliff,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

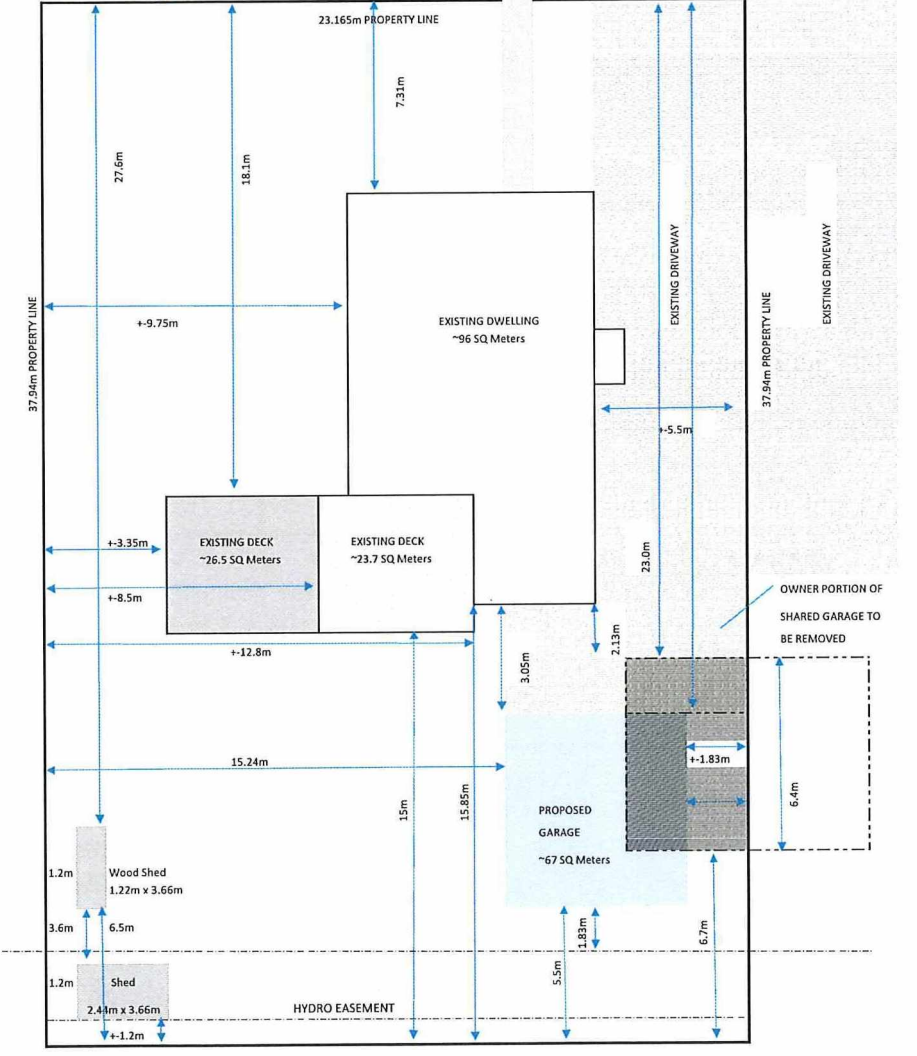
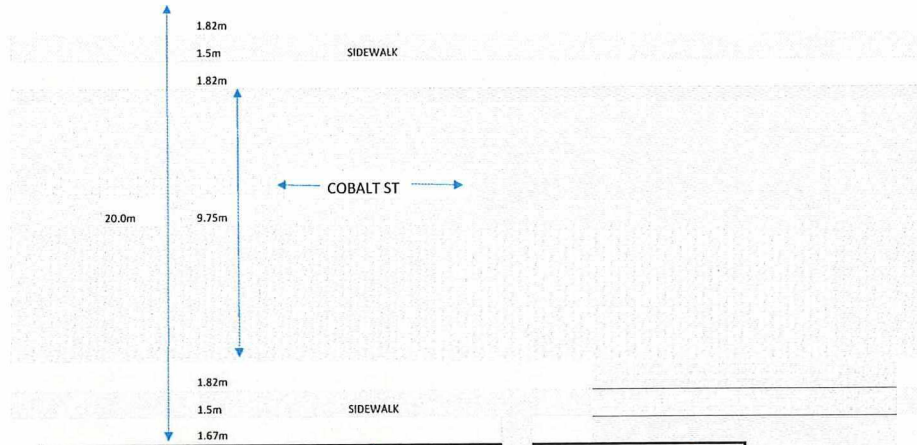
PL-MV-2025-00082
 Date: 2025 06 16



LOT INFORMATION
 27 COBALT, COPPER CLIFF
 M1023 LOT 21
 Pcl 40674
 Total Lot = 889 SQ Meters

SCALE AS SHOWN
 1 SQ M

PL-MV-2025-00082
 sketch 2



LOT INFORMATION
 27 COBALT, COPPER CLIFF
 M1023 LOT 21
 Pcl 40674
 Total Lot = 889 SQ Meters

SCALE AS SHOWN
 1 SQ M

PL-MV-2025-00082
 sketch 4



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00086

APPLICATION SUMMARY

File Date: 06/17/2025

Application Type: Minor Variance

Address(es): 1225 Radar Road, Hanmer P3P 0B4

Applicant(s): SHIELD EA LTD

Owner(s): KEVIN CRONIER

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

June 16, 2025

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

4

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Current Zoning By-law designation

RU

Provide a detailed description of what is being proposed

Detached Garage

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

because of the proposed size of the structure and access to the road.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

60.61

Lot Depth of the property

134.8

Lot Area of the property

8093.7

Total width of the public road giving access to the property

30.0

List all buildings and structures on the property and their respective date of construction

House and detached garage

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Rural

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

Rural

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

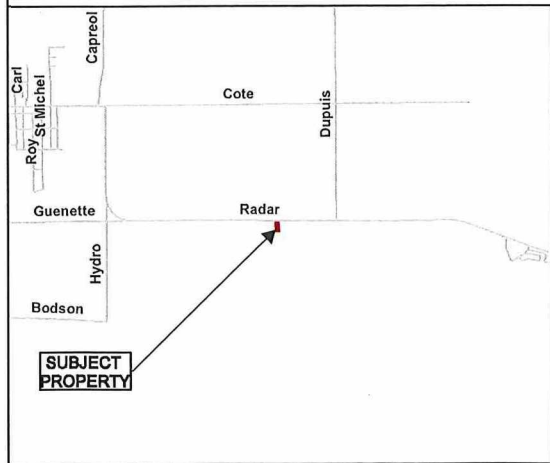
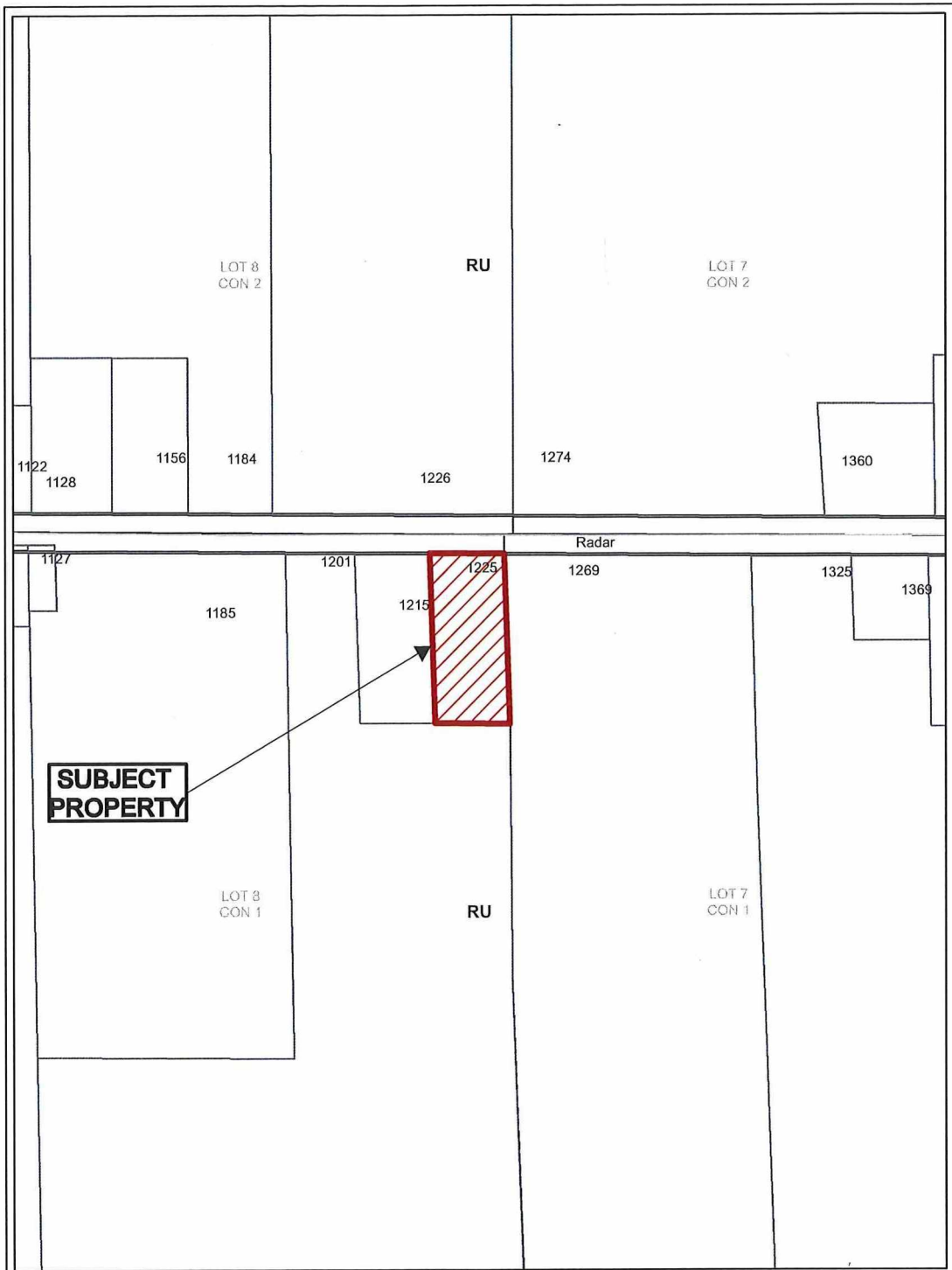
Building Description	Same As Existing	Proposed Ground Floor Area (m ²)	Proposed Gross Floor Area (m ²)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Detached Garage	No	260.12	260.12	1	12.19	21.34	6.92	23.13	90.37	47.21	1.2

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m ²)	Existing Gross Floor Area (m ²)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Existing House	No	114.54	171.8	2	13.9	8.24	9	14.6	111.96	24.71	22.25
Existing Detached Garage	No	128.14	128.14	1	7.91	16.2	4	19.66	98.94	13.19	38.88
Shed A	No	9.3	9.3	1	3.05	3.05	2.5	70.86	60.89	23.48	34.07
Shed B - movable ice hut on skis	No	9.3	9.3	1	3.05	3.05	2.5	70.86	60.89	15.92	41.69

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Building Height	6.5m	6.92m	0.42m



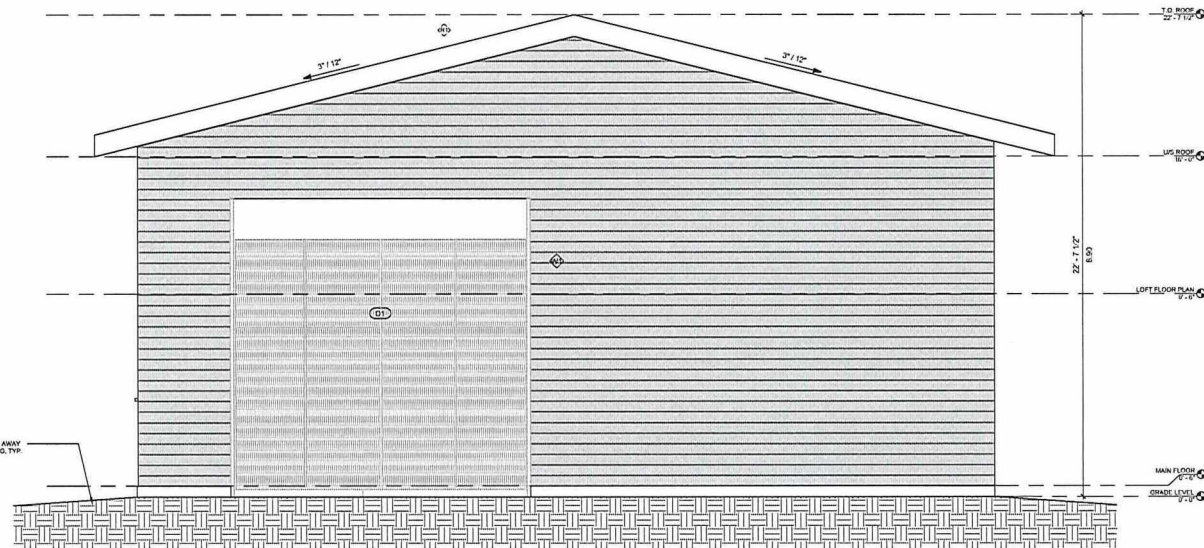
Application for Minor Variance or Permission



Subject Property being PIN 73509-0064,
Parcel 44857 SEC SES,
Part Lot 8, Concession 1,
Part 2, Plan 53R-8261,
Township of Capreol,
1225 Radar Road, Hanmer,
City of Greater Sudbury

Sketch 1, NTS
NDCA

PL-MV-2025-00086
Date: 2025 06 19



① FRONT ELEVATION
3/8" = 1'-0"

GENERAL NOTES
 ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED REPRODUCTION OF THESE DRAWINGS IS PROHIBITED WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE COMMENCING WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ONTARIO BUILDING CODE.
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK.

No.	Description	Date
A	ISSUED FOR MAJOR VARIANCE	02/28/24

**PRELIMINARY
NOT FOR CONSTRUCTION**



DETACHED GARAGE

PROJECT ADDRESS HERE

FRONT ELEVATION

Project number PROJ. 4671

A3.2

Scale 3/8" = 1'-0"

PL-MV-2025-00086
Sketch 3

3/22/2025 11:45 AM