

Tom Davies Square

200 Brady St

Thursday, February 24, 2022

### PUBLIC HEARINGS

#### **A0001/2022**

#### **NORMAN DOUCET CAROLINA BOHRER**

Ward: 10

PIN 73592 0187, Parcel 33662, Surveys Plan SR-1228 Part(s) 3 & Plan SR-2515 Part(s) 1, Lot Pts 2 and 3, Concession 2, Township of McKim, 1140 Ramsey Lake Road, Sudbury, [2010-100Z, R1-3 Low Density Residential One]

For relief from Part 4, Section 4.2, Table 4.1 and Section 4.41, subsections 4.41.2 and 4.41.4 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling and covered deck on the subject property, firstly, to permit eaves to encroach 5.93m into the required yard, where eaves may only encroach 1.2m into the required yard but not closer than 0.6m to the lot line, secondly, providing a 12.6m setback from the high water mark of a lake or river, where no person shall erect any residential building closer than 30.0m to the high water mark of a lake or a river, thirdly, to permit a single detached residential dwelling to be 12.6m setback from the high water mark of a lake or a river, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3, fourthly, a minimum rear yard setback of 1.98m, where 7.5m is required, and fifthly, a maximum height of 12.82m, where 11.0 is permitted.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B0578/1968 (JAN 6/69).

#### **A0006/2022**

#### **JULIE ANNE DAY**

Ward: 3

PIN 73352 0887, Parcel 31533 SEC SWS, Survey Plan 53R-17023 Part(s) 1, Lot Pt 1, Concession 5, Township of Dowling, 93 Blais Road, Dowling, [2010-100Z, RU (Rural)]

For relief from Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Application B0003/2022, providing a minimum lot frontage of 86.0m, where 90.0m is required.

**A0008/2022****JACK ROCCA**

Ward: 1

PIN 73586 0638, Lot(s) 297, Subdivision 4S, Lot Pt 7, Concession 3, Township of McKim, 331 Regent Street, Sudbury, [2010-100Z, C2 (General Commercial)]

For relief from Part 4, Section 4.2, Table 4.1, Part 5, Section 5.2, subsection 5.2.3.1 and Section 5.5, Table 5.5 and Part 7, Section 7.2, Table 7.1 and Section 7.3, Table 7.3 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to facilitate the conversion of the existing building by removing a shared housing component having 10 guest rooms in favour of adding two residential dwelling units to the existing three residential dwelling units for a total of five residential dwellings units all contained within the existing building, firstly, providing a maximum net residential density of 86 units per hectare, where a maximum net residential density of 60 units per hectare is permitted, secondly, to recognize an existing minimum front yard setback of 0.06m, where 7.5m is required, thirdly, to recognize an existing southerly interior side yard setback of 0.3m, where 1.2m is required, fourthly, to provide for a minimum of 6 parking spaces, where 8 is required, fifthly, eaves to encroach 1.17m into the required southerly interior side yard setback (setback 0.03m from the lot line), where eaves may encroach 0.6m into the required yard but not closer than 0.6m to the lot line, and sixthly, to permit parking space #6 on the sketch submitted with the application to provide a reduced size of 2.9m by 6.0m, where the width of a required parking when the length abuts a wall or barrier shall be 3.0m and a length of 6.0m.

**A0009/2022****AMERICAN IRON AND METAL COMPANY INC.**

Ward: 6

PIN 73505 0795, Parcel 10207, Survey Plan 53R-8610 Part(s) Except 1, Lot Pt 7, Concession 3, Township of Hanmer, 1818 Kenneth Drive, Val Therese, [2010-100Z, RU (Rural), M6(1) (Disposal Industrial)]

For permission under Section 45(2) of the Planning Act, R.S.O.1990, c. P.13, to enlarge the legal non-conforming use of the subject property, being a salvage operation, by permitting the construction of an 840.0m<sup>2</sup> storage building with accessory office space.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0311/1976 (JUNE 16/76) AND B0175/1979 (JUNE 11/79) AND PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A0099/1976 (JUNE 16/76) AND A0105/1979 (JUNE 11/79)

**A0010/2022****CHANTELLE GORHAM**

Ward: 3

PIN 73342 0853, Parcel 25317, Lot(s) 27, Subdivision M-1011, Lot Pt 8, Concession 1, Township of Levack, 35 Levack Drive, Levack, [2010-100Z, C2 (General Commercial)]

For relief from Part 4, Section 4.2, subsection 4.2.5, Table 4.1 and Part 7, Section 7.3, Table 7.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit, firstly, the existing balcony to encroach 5.48m into the required front yard, where balconies may encroach 1.8m into the required front yard, secondly, eaves with no setback from the front lot line, where eaves may encroach 1.2m into the required front yard but not closer than 0.6m to the lot line, and thirdly, the existing main building having a minimum front yard setback of 2.41m, where 6.0m is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A0140/1991 (JUNE 17/92) AND A0294/1992 (OCT 19/92)

**A0011/2022**

**SUDBURY APARTMENT RENTALS LIMITED**

Ward: 12

PINs 02133 0306 & 02133 0273, Lot(s) 68 to 70, Subdivision M-53, Lot 6, Concession 4, Township of McKim, 365 & 367 Morin Avenue, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.3 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0105/2021, providing, firstly, a minimum lot frontage of 0.0m, where 18.0m is required, and secondly, no frontage onto an assumed road, whereas no person shall erect any building on any lot that does not have frontage on an assumed road.

**A REMINDER... THE NEXT SCHEDULED MEETING IS  
WEDNESDAY, MARCH 9, 2022**



Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

|   |                             |
|---|-----------------------------|
| Office Use Only<br>2021.01.01           |                             |
| A000112020                              |                             |
| S.P.P. AREA                             |                             |
| YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> |
| NDCA REG. AREA                          |                             |
| YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> |

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)  
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)  
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

|  |                            |
|--|----------------------------|
| Registered Owner(s): Norman Doucet & Carolina Bohrer | Email: [REDACTED]          |
| Mailing Address: 1140 Ramsey Lake Road               | Home Phone: [REDACTED]     |
|  | Business Phone: [REDACTED] |
| City: Sudbury  | Fax Phone: [REDACTED]      |
| Postal Code: P3E 6J7                                 |                            |

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

|                  |                 |
|------------------|-----------------|
| Name of Agent:   | Email:          |
| Mailing Address: | Home Phone:     |
|                  | Business Phone: |
| City:            | Fax Phone:      |
| Postal Code:     |                 |

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

|  |
|--|
| Name: Royal Bank of Canada                   |
| Mailing Address: 10 York Mills Rd. 3rd Floor |
| City: Toronto                                |
| Postal Code: M2P 0A2                         |

- 4) Current Official Plan designation: Living Area I Current Zoning By-law designation: R1-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To  | By-law Requirement | Proposed | Difference |
|--|--------------------|----------|------------|
| Height - Bylaw 2010-100Z                                       | 11.0 m             | 12.82 m  | 1.82 m     |
| Rear Yard - Bylaw 2010-100Z                                    | 7.5 m              | 1.98 m   | 5.52 m     |
| Water Setback - Bylaw 2021-152Z                                | 30 m               | 12.6 m   | 17.4 m     |
| Eaves Encroachment Bylaw 2010-100Z                             | 1.2 m              | 5.93 m   | -4.73 m    |
| Permit Residential Dwelling in Shoreline Buffer Area 2021-152Z | Not Permitted      | Permit   |            |

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: 0.41 (m)

- c) Description of Proposal:

Minor variance approval to facilitate the construction of a new residential home with a dwelling height of 12.82m where 11m is required, and rear yard setback of 1.98m where 7.5m is required at variance to By-law 2010-100Z

also to include approval for setback for residential buildings to the high water mark of a lake of 30m where 12.6m is required which is at variance to By-law 2021-152Z

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

For the rear yard setback, the architect and surveyor had a different interpretation of what the city has identified as the interpretation of the rear yard, and as such located the dwelling in the most appropriate location to take advantage of southern exposure and lake views. The minor variance application was submitted in December 2021 under bylaw 2010-100Z, which did not include the updated water setbacks. Under bylaw 2021-152Z, we are seeking approval to build in the proposed location taking into account the revised setbacks and odd shape of the lot. Under the old bylaw the architect located the dwelling within the required water setbacks while respecting and orienting the dwelling in relation to the neighbouring properties.

- 8) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73592-0187 Township: McKim Ward:  
 Lot No.: 2 & 3 Concession No.: 2 Parcel(s): 33662  
 Subdivision Plan No.: Lot: Reference Plan No.: 1228, 2515 Part(s): SR-1228 Part 3  
 Municipal Address or Street(s): 1140 Ramsey Lake Road SR-2515 Part 1

- 7) Date of acquisition of subject land. 18-Aug-2016

- 8) Dimensions of land affected.

Frontage 15.5 (m) Depth 79.1max (m) Area 2666.9 (m<sup>2</sup>) Width of Street 20 (m)

|                    | Existing               |                        | Proposed                |  |
|--------------------|------------------------|------------------------|-------------------------|--|
|                    | House*                 | Garage                 |                         |  |
| Ground Floor Area: | 94.2 (m <sup>2</sup> ) | 39.9 (m <sup>2</sup> ) | 263.5 (m <sup>2</sup> ) |  |
| Gross Floor Area:  | 94.2 (m <sup>2</sup> ) | 39.9 (m <sup>2</sup> ) | 539.4 (m <sup>2</sup> ) |  |
| No. of storeys:    | 1 + Basement           | 1                      | 2 + Walkout             |  |
| Width:             | 8 (m)                  | 6.23 (m)               | 16.8 (m)                |  |
| Length:            | 11.7 (m)               | 6.46 (m)               | 26.4 (m)                |  |
| Height:            | 5 +/- (m)              | 4.6 (m)                | 12.8 (m)                |  |

\* Existing house to be demolished upon construction of new residence

|        | Existing |           | Proposed |  |
|--------|----------|-----------|----------|--|
|        | House*   | Garage    |          |  |
| Front: | 54.6 (m) | 33.5 (m)  | 59.7 (m) |  |
| Rear:  | 4.6 (m)  | 13 (m)    | 1.98 (m) |  |
| Side:  | 21.8 (m) | 5.28 (m)  | 21.5 (m) |  |
| Side:  | 42.6 (m) | 11.56 (m) | 13.1 (m) |  |

\* Existing house to be demolished upon construction of new residence

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

|   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/>            |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/>            |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                                     |

- 12) Date(s) of construction of all buildings and structures on the subject land.

1950-1960's

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Home Length of time: Always

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, \_\_\_\_\_

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? \_\_\_\_\_

- 17) Existing uses of abutting properties: Residential

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. IPZ3

### PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Norman Doucet and Carolina Bohrer (please print all names), the registered owner(s) of the property described as 1140 Ramsey Lake Road, Sudbury, Ontario, P3E 6J7  
in the City of Greater Sudbury:

#### Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

#### Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

#### Appointment of Authorized Agent

- appoint and authorize Norman Doucet (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22 day of December, 2021

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Carolina Bohrer

\*I have authority to bind the Corporation

A0001/2022

IWe, Norman Doucet

\_\_\_\_ (please print all names),

the registered owner(s) or authorized agent of the property described as 1140 Ramsey Lake Road, Sudbury, Ontario, P3E 6J7

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22<sup>ND</sup> day of DECEMBER, 20 21

~~Glen Stewart Ferguson,~~  
~~Commissioner of Oaths~~  
 a Commissioner, etc.,  
 Province of Ontario,  
 for the City of Greater Sudbury,  
 Expires July 21, 2023

signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

Print Name:

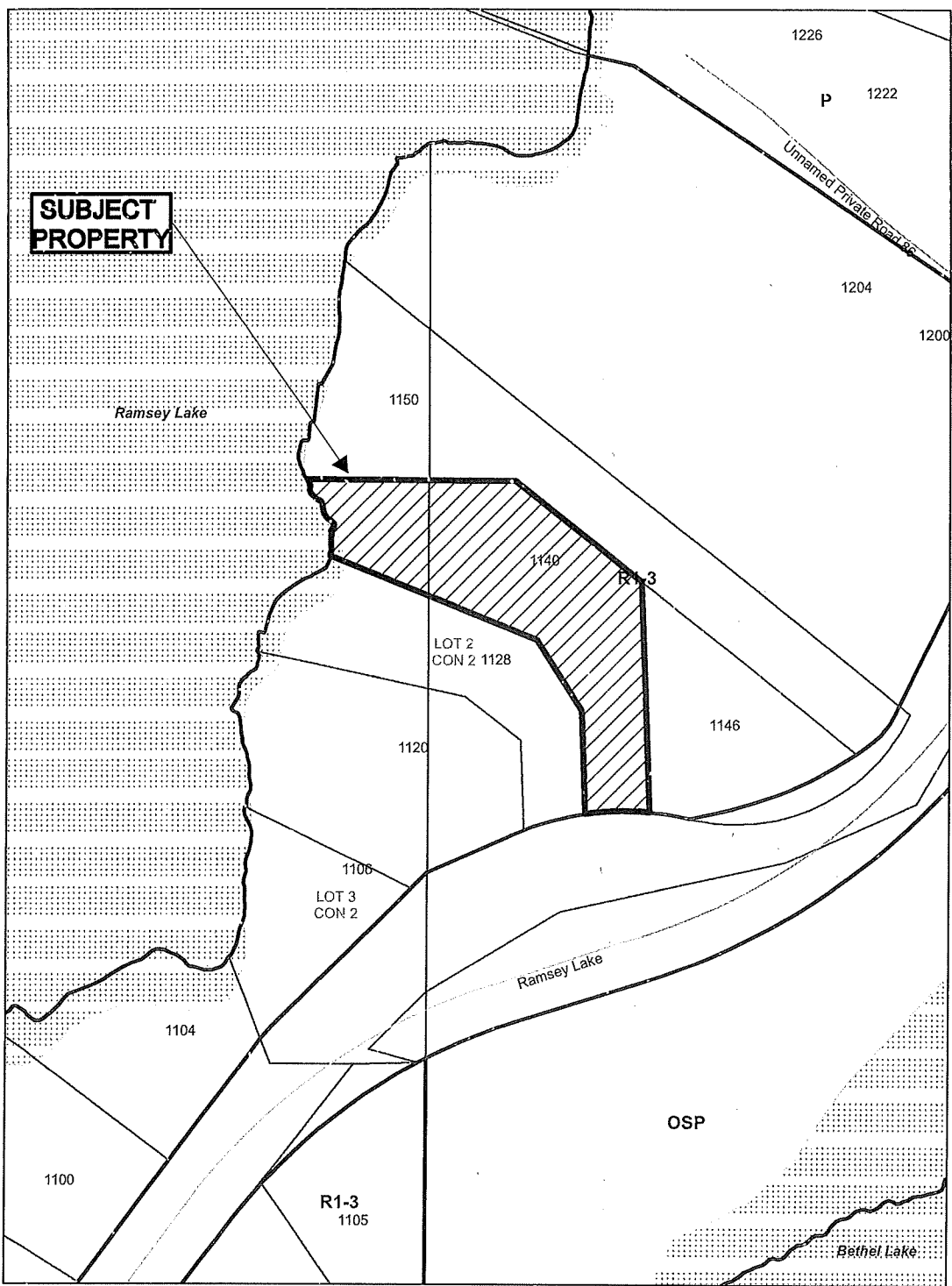
\*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this Instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

**FOR OFFICE USE ONLY**

Date of Receipt: Jan. 18/82 Hearing Date: February 9, 2020 Received By: N. Lewis  
Zoning Designation: R-3 Resubmission: ☐ Yes ☒ No  
Previous File Number(s): B0578/1968  
Previous Hearing Date: January 6, 1969  
Notes:

A0001/2022



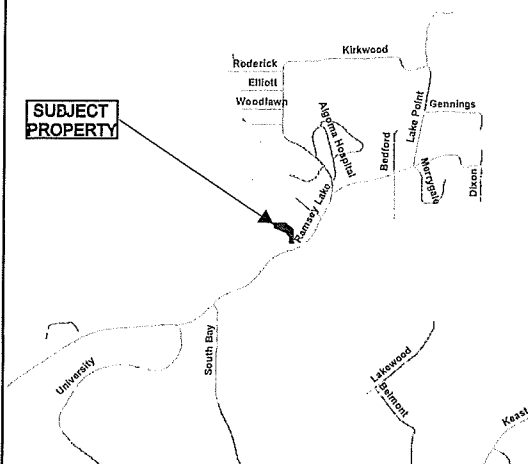
### Application for Minor Variance or Permission



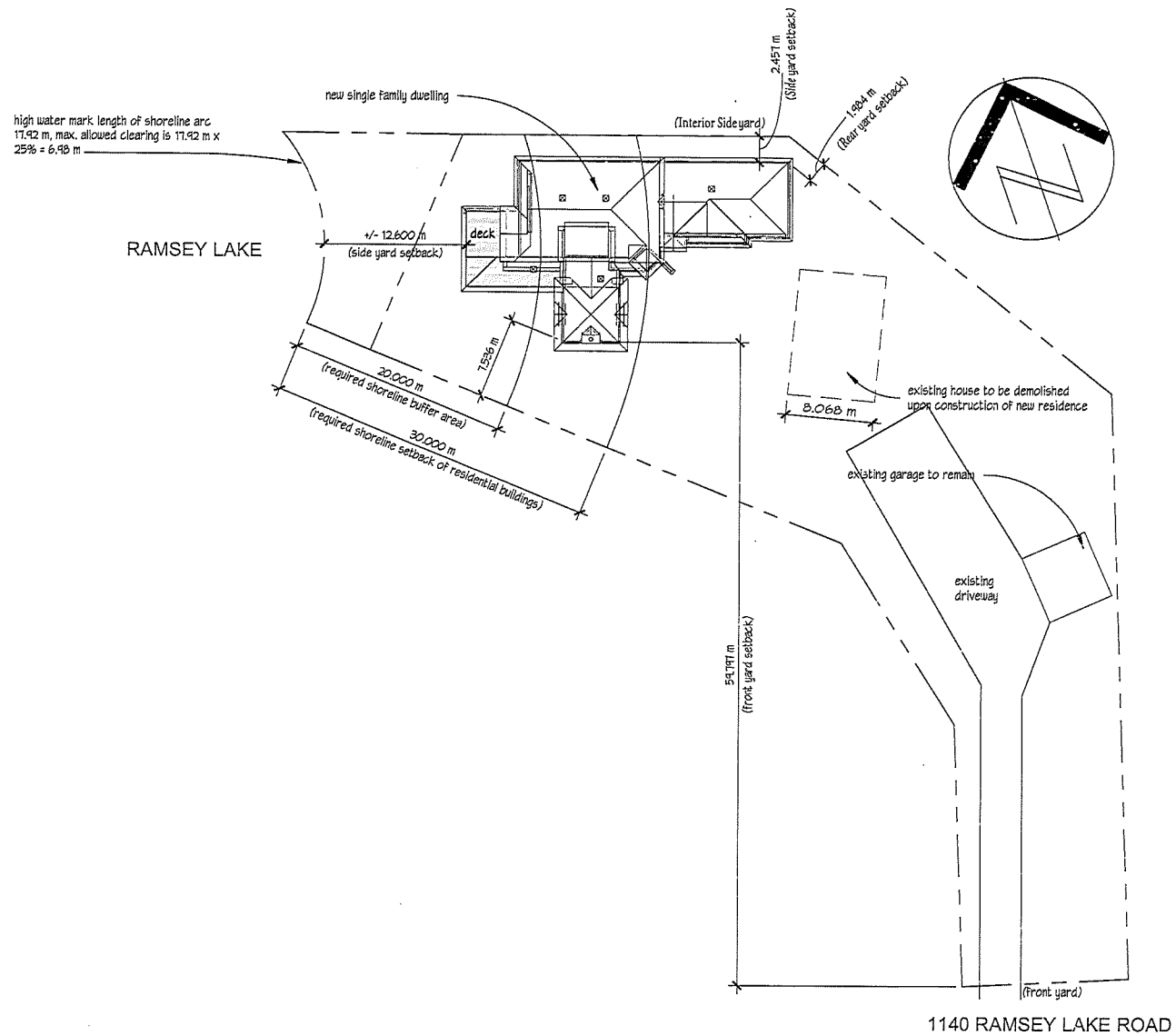
Subject Property being  
PIN 73592-0187, Parcel 33662,  
Part Lot 2, Concession 2, Part 3,  
Plan SR-1228, Part 1, Plan SR2515,  
Township of McKim,  
1140 Ramsey Lake Road, Sudbury  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0001/2022  
Date: 2022 01 20







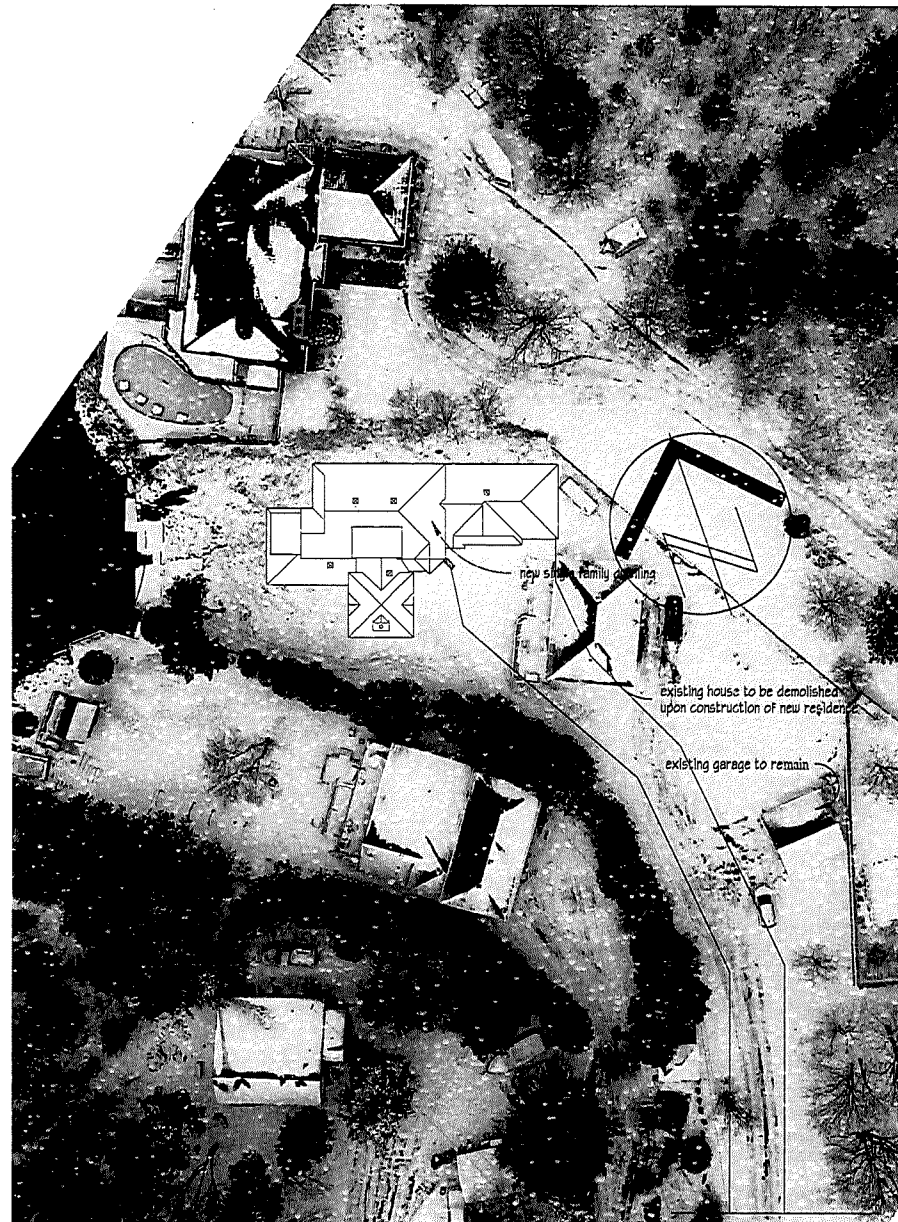
A0001/2022  
 sketch 2



① SOUTH ELEVATION (metric)  
1 : 150

A0001/2022  
Sketch 3

RAMSEY LAKE



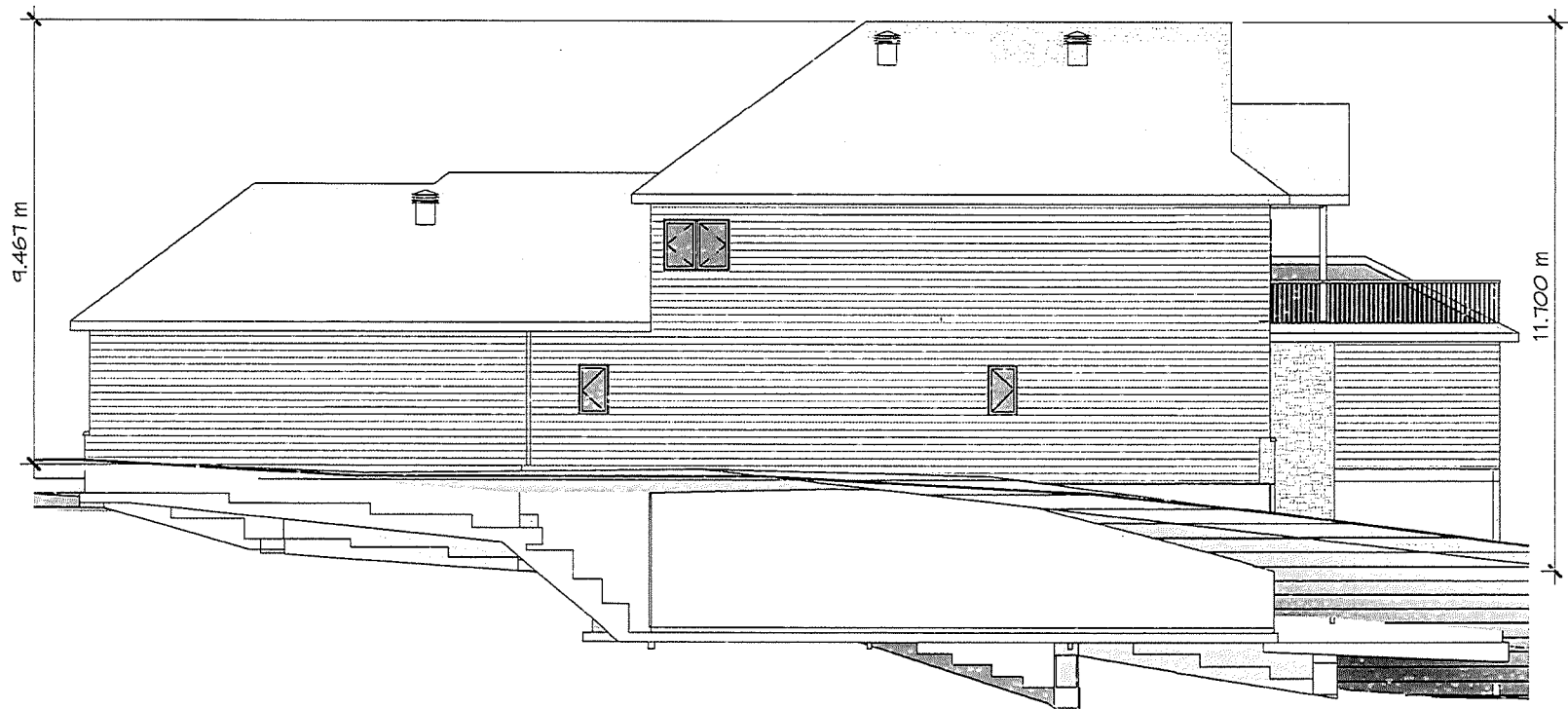
1140 RAMSEY LAKE ROAD

A0001/2022  
Sketch 4



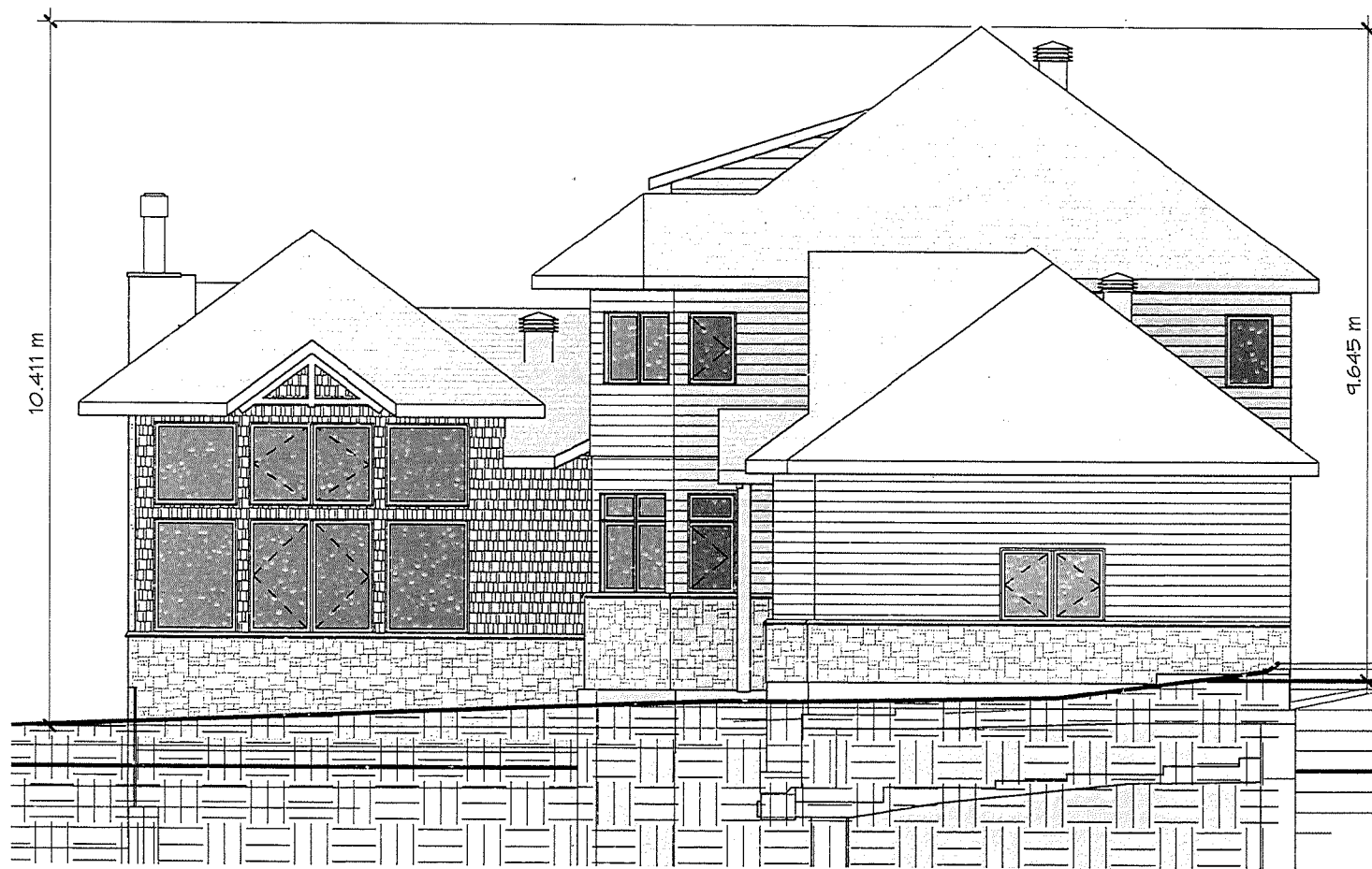
① WEST ELEVATION (metric)  
1 : 100

A0001/2022  
Sketch 5



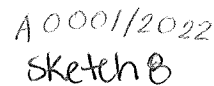
① NORTH ELEVATION (metric)  
1 : 150

A0001/2022  
Sketch 6



① EAST ELEVATION (metric)  
1 : 100

A0001/2022  
Sketch 7





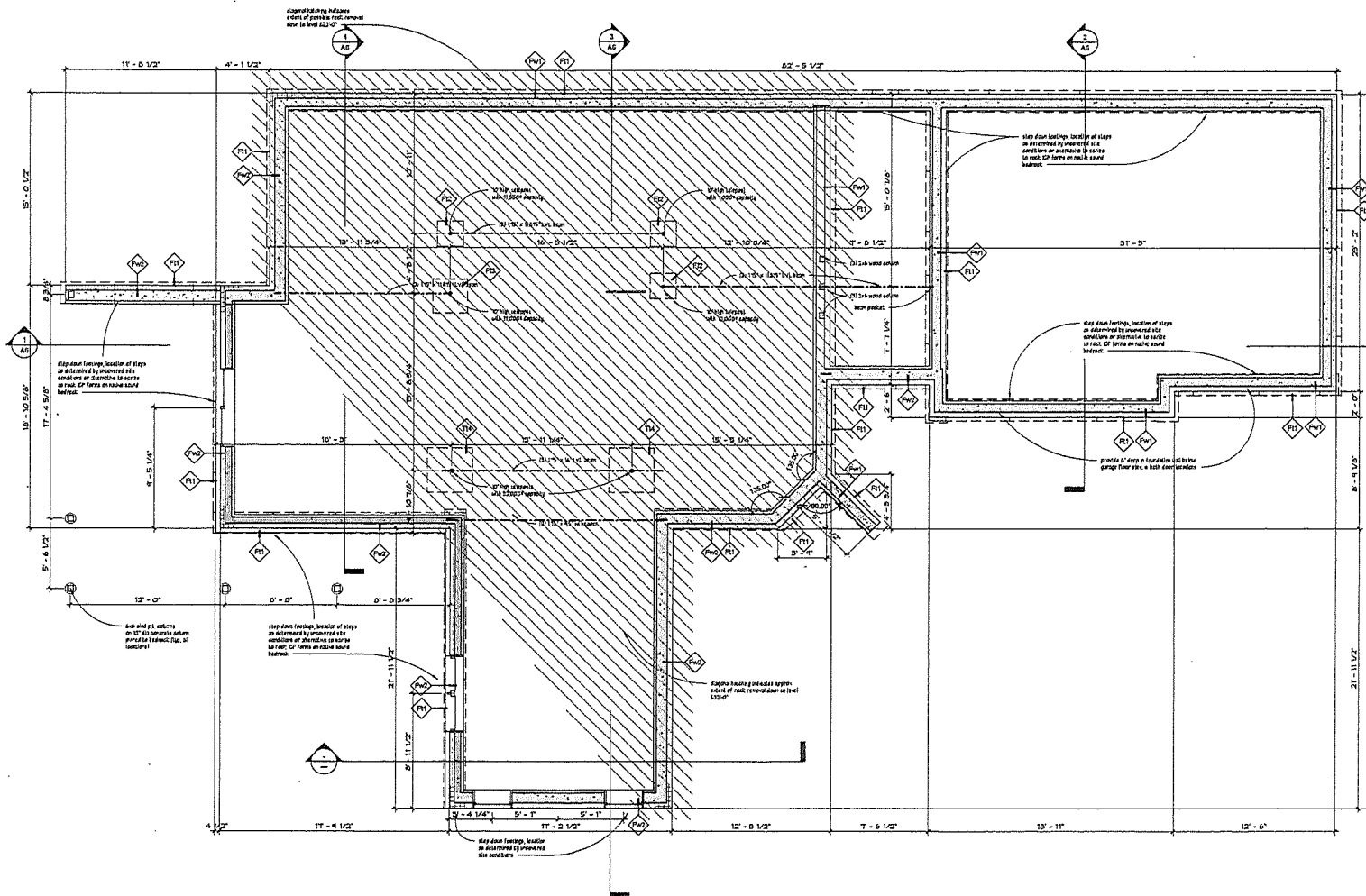
Existing



A0001/2022  
Sketch 9







① Foundation Plan  
1/4" = 1'-0"

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for any other project without the Architect's permission in writing.

The Contractor shall verify and verify all existing conditions on site and shall advise the Architect immediately of any discrepancies in the drawings and specifications to the Architect before proceeding with the work.

DRAWINGS NOT TO BE  
SCALED

| REVISION SCHEDULE |               |
|-------------------|---------------|
| REVISION NUMBER   | REVISION DATE |
|                   |               |



poch belair  
architect o architecte

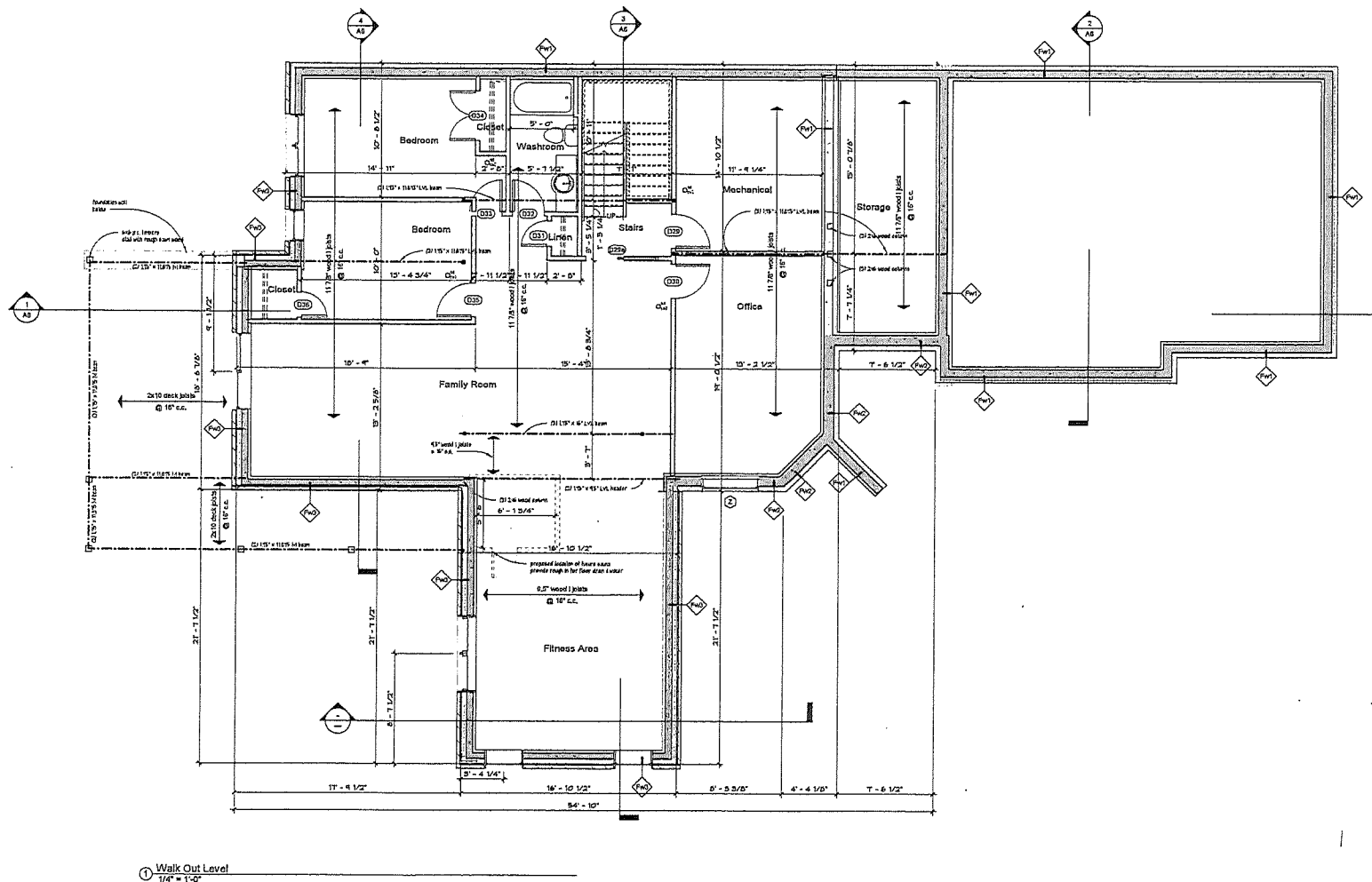
1140 Ramsey Lake Rd.  
St. John's, NL A1B 1X1

Doucet Residence (rev. 1)  
1140 Ramsey Lake Rd.

Foundation Plan

|                   |     |      |
|-------------------|-----|------|
| July 2021<br>rev. | rcb | 2021 |
| 1/4" = 1'-0"      | rcb | A1   |

POUCH/2022  
Sketch M



① Walk Out Level  
1/4" = 1'-0"

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for any other project without the Architect's permission in writing.

DRAWINGS NOT TO BE  
SCALED

| REVISION SCHEDULE |               |
|-------------------|---------------|
| REVISION NUMBER   | REVISION DATE |
|                   |               |



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architects

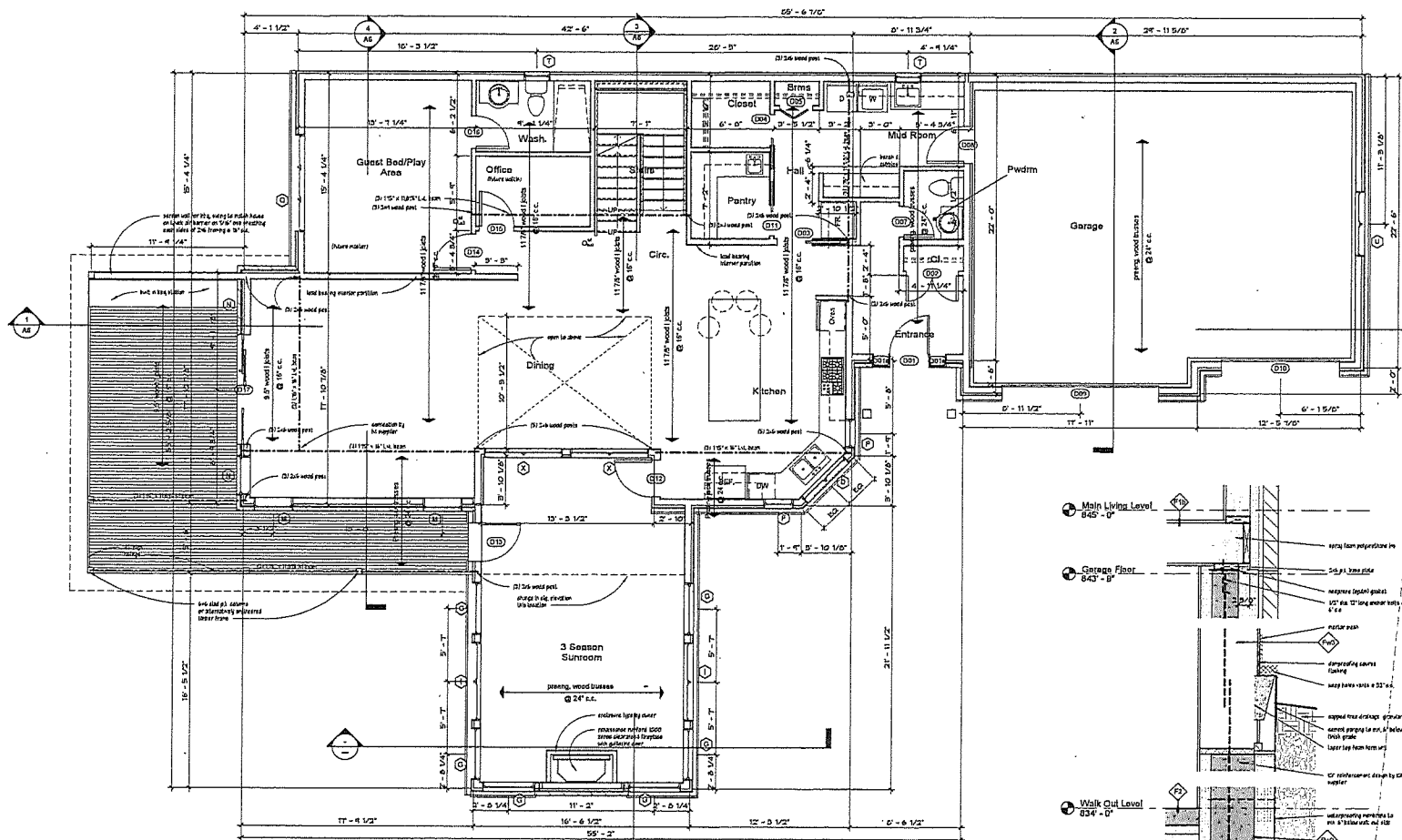
11000  
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Doucet Residence (rev. 1)  
1140 Ramsey Lake Rd.

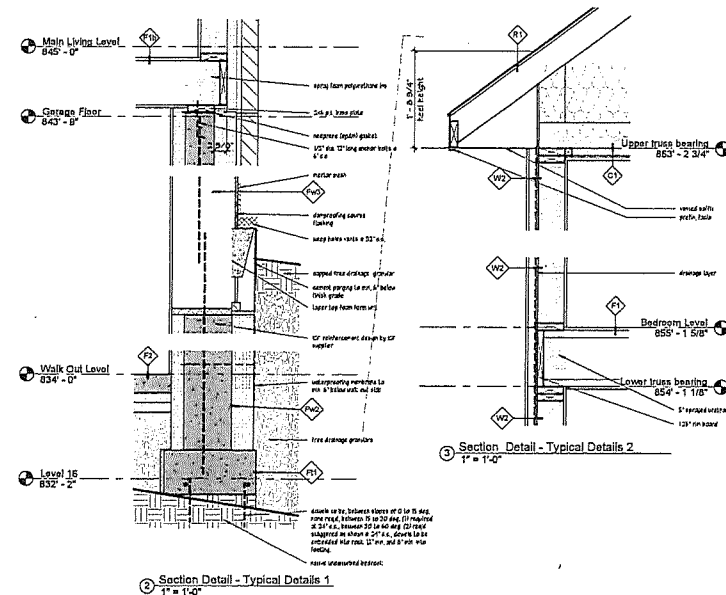
Walk Out Level

|       |              |          |     |      |
|-------|--------------|----------|-----|------|
| Date  | July 2021    | rev.     | rch | 2021 |
| Scale | 1/4" = 1'-0" | Drawn by | rch | A2   |

100012022  
Sketch 12



| Lintel Schedule  |            |                 |
|------------------|------------|-----------------|
| Width of Opening | Queen Size | Member Size (") |
| Up to 3'         | 2          | 2 x 4           |
| 3' to 4.4'       | 2          | 2 x 6           |
| 4.4' to 5.3'     | 2          | 2 x 8           |
| 5.3' to 6.6'     | 2          | 2 x 10          |
| 6.6' to 7.6'     | 3          | 2 x 10          |
| 7.6' to 12.0'    | 3          | 1.75 x 11.25 M  |



1 Main Living Level  
1/4" = 1'-0"

3 Section Detail - Typical Details 2  
1" = 1'-0"

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for any other project without the Architect's permission in writing.

DRAWINGS NOT TO BE  
SCALED

| REVISION SCHEDULE |               |
|-------------------|---------------|
| REVISION NUMBER   | REVISION DATE |



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architect o architects

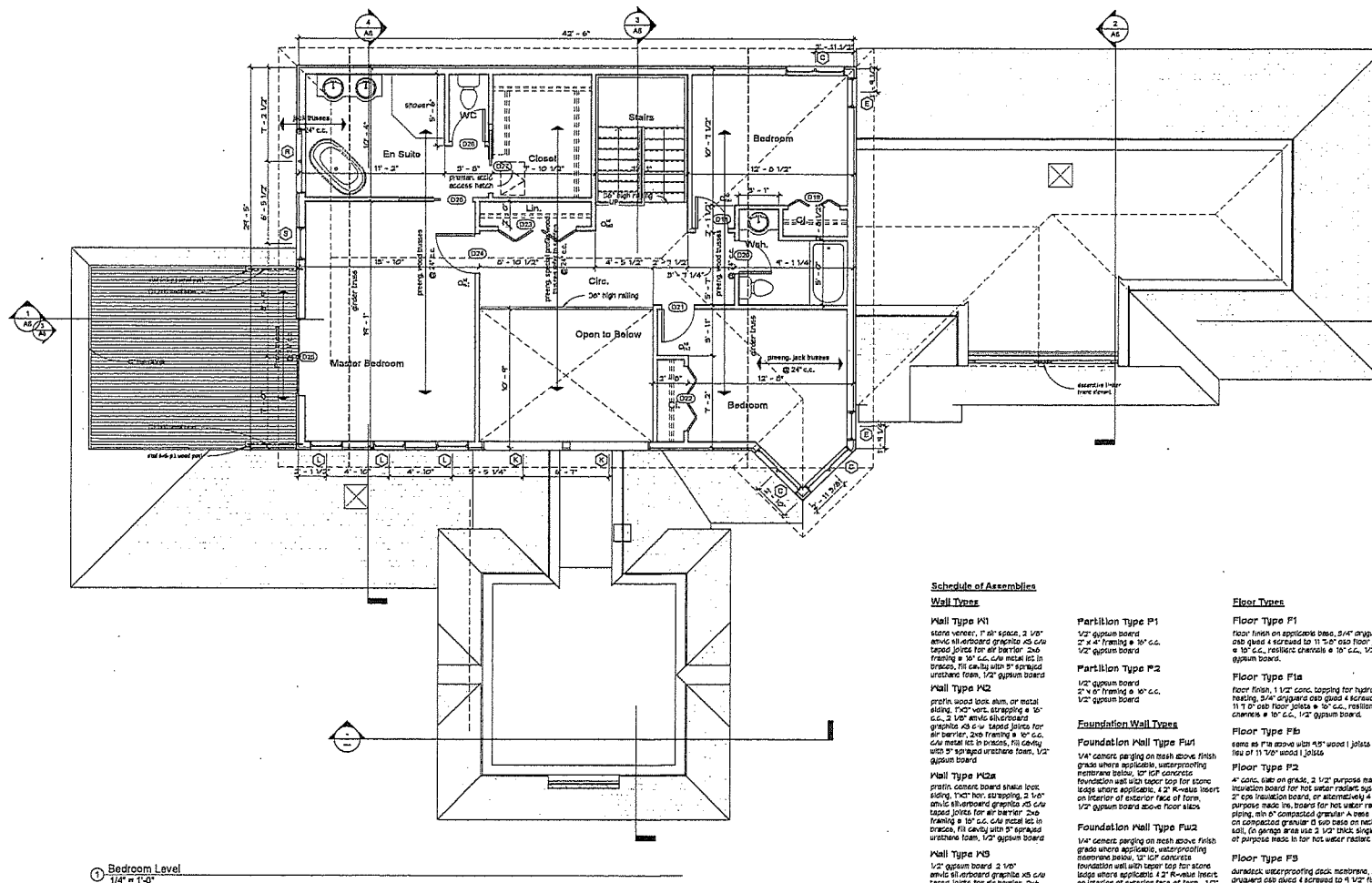
1140 Ramsey Lake Rd.  
1140 Ramsey Lake Rd.

Doucet Residence (rev. 1)  
1140 Ramsey Lake Rd.

Main Floor Plan, Typical Details

|              |      |     |      |
|--------------|------|-----|------|
| July 2021    | rev. | rcb | 2021 |
| As Indicated | rcb  | A3  |      |

Approved 2022  
Sketch B



1 Bedroom Level  
1/4" = 1'-0"

# **Schedule of Assemblies**

## **Wall Types**

**Wall Type W1**  
stone veneer, 1" air space, 2 1/2" emvco all-weatherboard gypcrete, 3/4" c.c. spaced joists for air barrier, 2x4 framing, 10" c.c. c.w. metal lath in braces, fill cavity with 5" sprayed urethane foam, 1/2" gypsum board

**Wall Type W2**  
prefin wood look alum. or metal siding, 1/2" air space, 2 1/2" emvco all-weatherboard gypcrete, 3/4" c.c. spaced joists for air barrier, 2x4 framing, 10" c.c. c.w. metal lath in braces, fill cavity with 5" sprayed urethane foam, 1/2" gypsum board

**Wall Type W2a**  
prefin cement board sheath loc. siding, 1/2" air space, 2 1/2" emvco all-weatherboard gypcrete, 3/4" c.c. spaced joists for air barrier, 2x4 framing, 10" c.c. c.w. metal lath in braces, fill cavity with 5" sprayed urethane foam, 1/2" gypsum board

**Wall Type W3**  
1/2" gypsum board, 2 1/2" emvco all-weatherboard gypcrete, 3/4" c.c. spaced joists for air barrier, 2x4 framing, 10" c.c. c.w. metal lath in braces, fill cavity with 5" sprayed urethane foam, 1/2" gypsum board

**Wall Type W4**  
prefin cement board sheath loc. siding, 1/2" air space, 2 1/2" emvco all-weatherboard gypcrete, 3/4" c.c. spaced joists for air barrier, 2x4 framing, 10" c.c. c.w. metal lath in braces, fill cavity with 5" sprayed urethane foam, 1/2" gypsum board

**Foundation Wall Types**  
**Foundation Wall Type Fw1**  
1/4" concrete parging on mesh above finish grade where applicable, underfooting membrane below, 12" ICF concrete foundation wall with taper top for stone ledge where applicable, 4" R-value insert on interior of exterior face of form, 1/2" gypsum board above floor slabs

**Foundation Wall Type Fw2**  
1/4" concrete parging on mesh above finish grade where applicable, underfooting membrane below, 12" ICF concrete foundation wall with taper top for stone ledge where applicable, 4" R-value insert on interior of exterior face of form, 1/2" gypsum board above floor slabs

**Foundation Wall Type Fw3**  
stone veneer, 1" air space, membrane type air barrier, 12" ICF concrete foundation wall with taper top for stone ledge where applicable, 4" R-value insert on interior of exterior face of form, 1/2" gypsum board above floor slabs

**Partition Type P1**  
1/2" gypsum board, 2" x 4" framing, 10" c.c., 1/2" gypsum board

**Partition Type P2**  
1/2" gypsum board, 2" x 4" framing, 10" c.c., 1/2" gypsum board

**Foundation Wall Types**  
**Foundation Wall Type Fw1**  
1/4" concrete parging on mesh above finish grade where applicable, underfooting membrane below, 12" ICF concrete foundation wall with taper top for stone ledge where applicable, 4" R-value insert on interior of exterior face of form, 1/2" gypsum board above floor slabs

**Foundation Wall Type Fw2**  
1/4" concrete parging on mesh above finish grade where applicable, underfooting membrane below, 12" ICF concrete foundation wall with taper top for stone ledge where applicable, 4" R-value insert on interior of exterior face of form, 1/2" gypsum board above floor slabs

**Foundation Wall Type Fw3**  
stone veneer, 1" air space, membrane type air barrier, 12" ICF concrete foundation wall with taper top for stone ledge where applicable, 4" R-value insert on interior of exterior face of form, 1/2" gypsum board above floor slabs

## **Floor Types**

**Floor Type F1**  
floor finish on applicable base, 5/8" drywood oak glued & screwed to 11" x 8" oak floor joists, 10" c.c., resilient channels, 10" c.c., 1/2" gypsum board

**Floor Type F1a**  
floor finish, 1 1/2" conc. topping for hydronic heating, 5/8" drywood oak glued & screwed to 11" x 8" oak floor joists, 10" c.c., resilient channels, 10" c.c., 1/2" gypsum board

**Floor Type F1b**  
same as F1a above with 4x8 wood joists in lieu of 11" x 8" wood joists

**Floor Type F2**  
4" conc. slab on grade, 2 1/2" purpose mass insulation board for hot water radiant system, 2" xps insulation board, or alternatively 1 1/2" purpose mass ins. board for hot water radiant piping, min 8" compacted granular A base on compacted granular D sub base on native soil, (in garage area use 3 1/2" thick single layer of purpose mass ins. in hot water radiant system)

**Floor Type F3**  
dimpled waterproofing deck membrane, 5/8" drywood oak glued & screwed to 11" x 8" floor joists, exterior wood joists, 10" c.c., refer to plans for type, resilient channels, 10" c.c., finished soft material, slope decks to one edge parallel to joists

## **Roofing Types**

**Roofing Type F11**  
10" x 20" wood conc. footings c/w min. 2 continuous 10m reinforcing bars, alternative where foundation walls bear and mid-line undisturbed bedrock, 10m bottom of ICF form to rock profile

**Roofing Type F12**  
2x8x12x12" conc. pad footings c/w min. 3 continuous 10m reinforcing bars each way, continuous 10m reinforcing bars each way

**Roofing Type F13**  
2x8x12x12" conc. pad footings c/w min. 3 continuous 10m reinforcing bars each way, continuous 10m reinforcing bars each way

**Roofing Type F14**  
40"x40"x14" conc. pad footings c/w min. 4 continuous 10m reinforcing bars each way, continuous 10m reinforcing bars each way

## **Ceiling Types**

**Ceiling Type C1**  
1/2" gypsum board, resilient channels, 10" c.c. to 1/8" of trusses, 10" c.c. blocking c/w clips pre-engineered trusses & 34" c.c.

## **Roof Types**

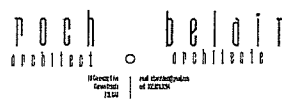
**Roof Type R1**  
stone coated metal roofing, weather guard membrane, 1/2" x 6" s.d. blocking c/w clips pre-engineered trusses & 34" c.c.

This drawing is an instrument of service and shall remain the property of the architect. It shall not be used for addition or alteration in detail or any other project without the architect's permission in writing.

The contractor shall check and verify all existing conditions on site and also check and verify all dimensions on the drawings and report discrepancies to the architect before proceeding with the work.

**DRAWINGS NOT TO BE SCALED**

| REVISION SCHEDULE |               |
|-------------------|---------------|
| REVISION NUMBER   | REVISION DATE |
|                   |               |

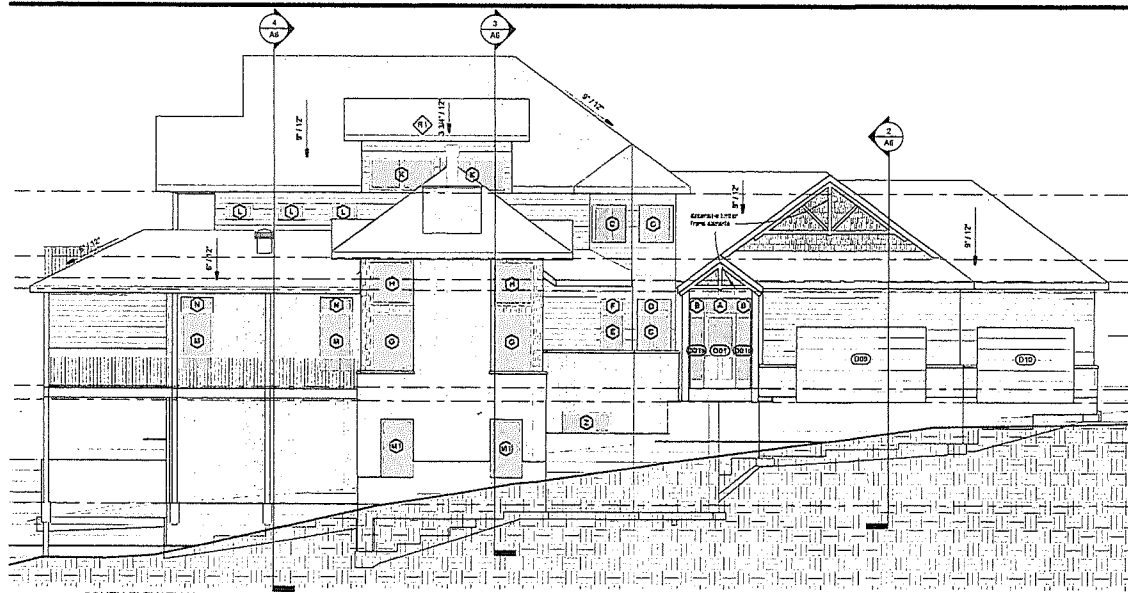


Doucet Residence (rev. 1)  
1140 Ramsey Lake Rd.

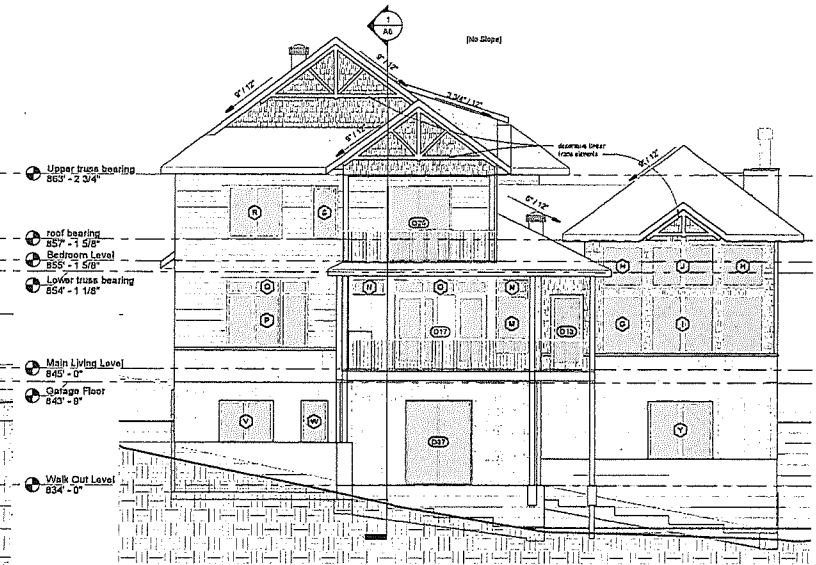
Second Floor Plan, Schedule of Assemblies

|                |     |      |
|----------------|-----|------|
| July 2021 rev. | rob | 2021 |
| As Indicated   | rob | A4   |

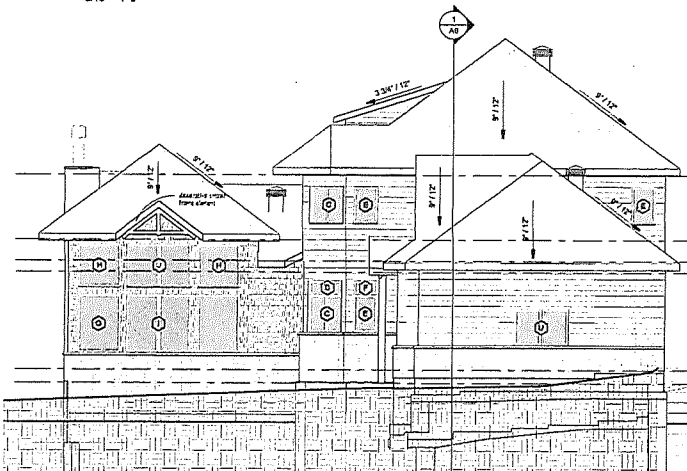
A0001/2022  
Sketch 14



1 SOUTH ELEVATION  
3/16" = 1'-0"



1 WEST ELEVATION  
3/16" = 1'-0"

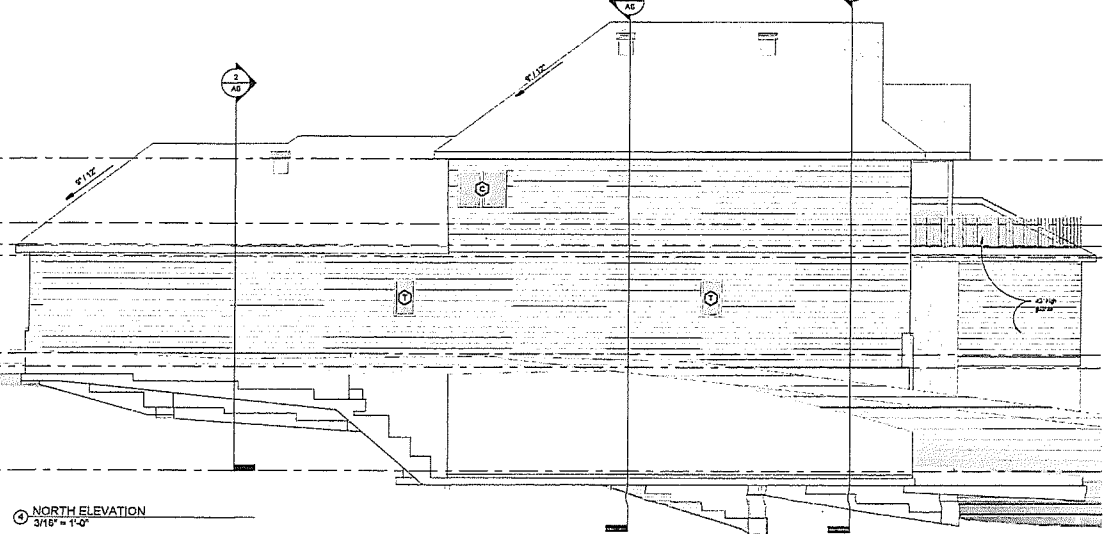


2 EAST ELEVATION  
3/16" = 1'-0"

- Upper truss bearing  
863' - 2 3/4"
- roof bearing  
857' - 1 5/8"
- Bedroom Level  
855' - 1 5/8"
- Lower truss bearing  
854' - 1 1/8"

- Main Living Level  
845' - 0"
- Garage Floor  
843' - 9"

- Walk Out Level  
834' - 0"



2 NORTH ELEVATION  
3/16" = 1'-0"

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for addition or alteration in any other project without the Architect's permission in writing.

The Contractor shall verify all existing conditions on site and also check and verify all dimensions on the drawings and report discrepancies to the Architect before proceeding with the work.

DRAWINGS NOT TO BE SCALED

| REVISION SCHEDULE |               |
|-------------------|---------------|
| REVISION NUMBER   | REVISION DATE |
|                   |               |



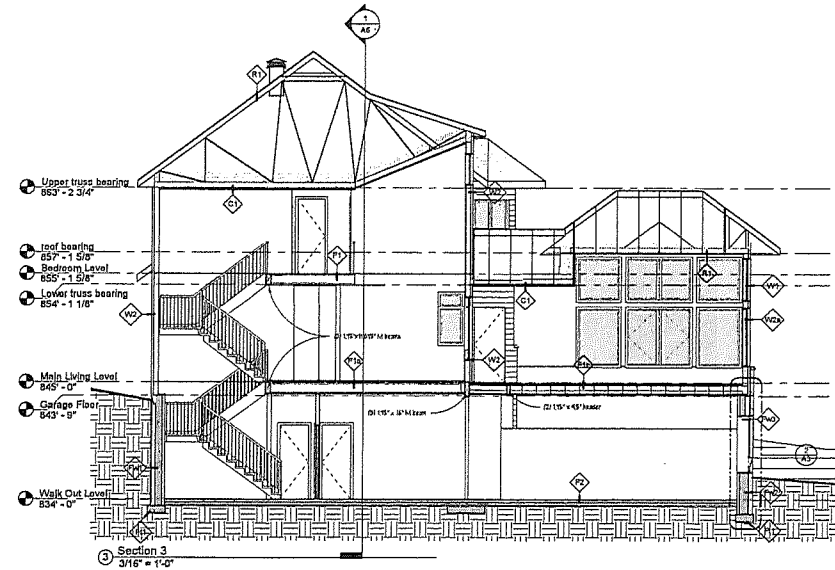
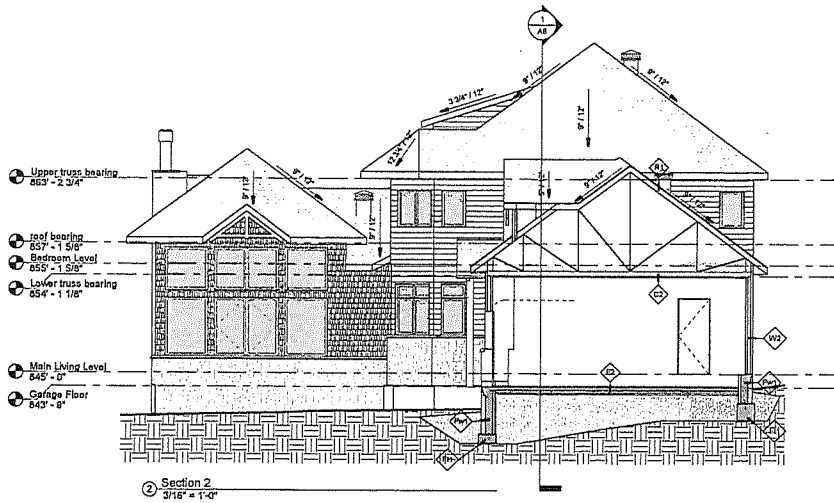
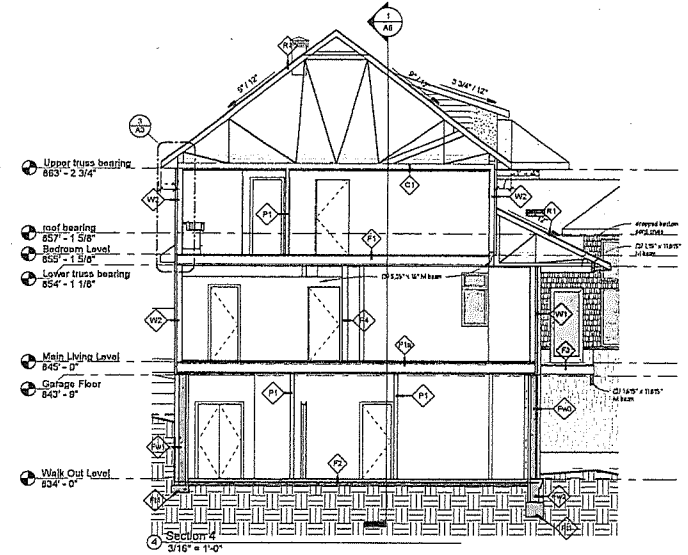
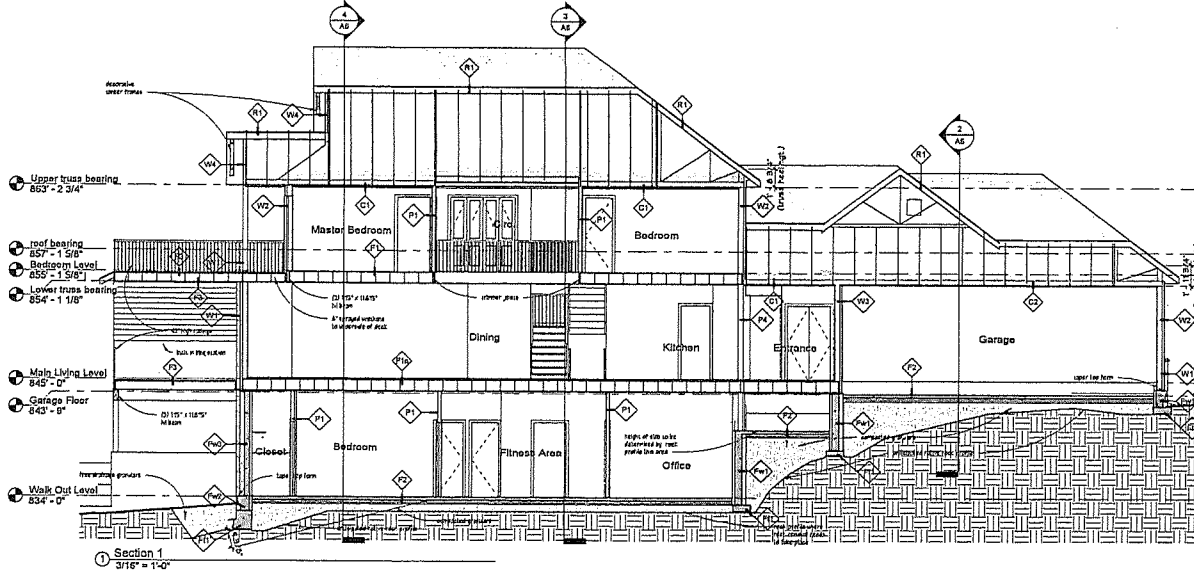
roch belair  
architect o architect  
ROCHELLE BELAIR  
1899 1899

Doucet Residence (rev. 1)  
1140 Ramsey Lake Rd.

Elevations

|                        |                   |                     |
|------------------------|-------------------|---------------------|
| Drawn by<br>rev.       | Checked by<br>rcb | Project No.<br>2021 |
| Scale<br>3/16" = 1'-0" | Scale<br>rcb      | Scale<br>A5         |

PROJECT 2022  
Sketch 15



This drawing is an instrument of service and shall remain the property of the architect, and shall not be used for addition or alteration in whole or in part without the architect's permission in writing.

For complete instructions and details of existing conditions on site, see also sheets bearing only all dimensions on the drawings and representations in the Architect's book preceding this set.

DRAWINGS NOT TO BE  
SCALED

| REVISION SCHEDULE |               |
|-------------------|---------------|
| REVISION NUMBER   | REVISION DATE |



POCH BELAIN  
architects

11000  
11000  
11000

Doucet Residence (rev. 1)  
1140 Ramsey Lake Rd.

Sections

July 2021  
100%

rch

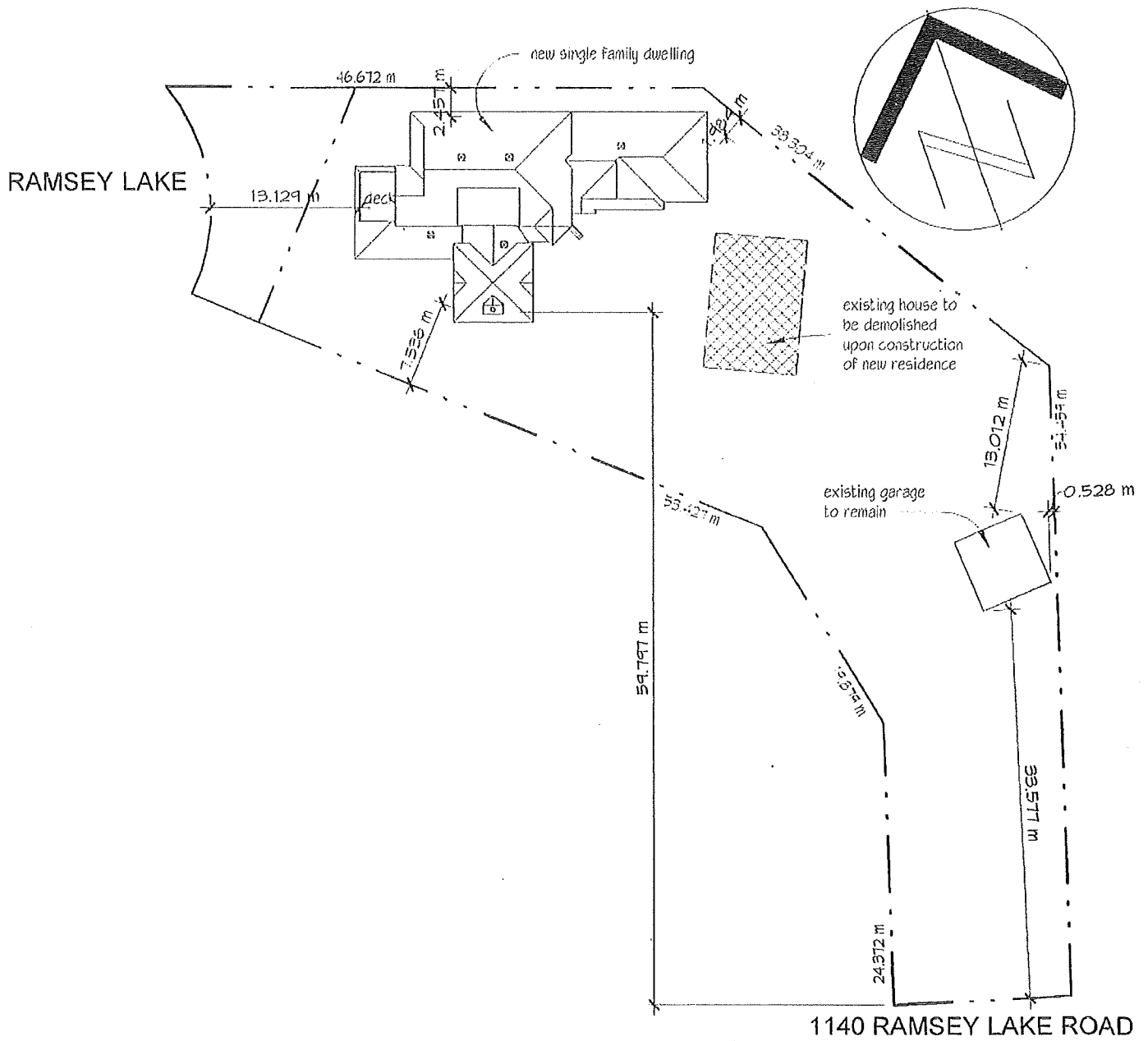
2021

3/16" = 1'-0"

rch

A6

POUCH 2022  
Sketch 116



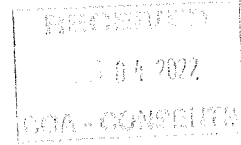
① Site Plan (minor variance)  
1:500

A0001/2022  
Sketch 17





Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200



|   |  |
|---|--|
| Office Use Only<br>2021.01.01           |  |
| A0006/2022                              |  |
| S.P.P. AREA                             |  |
| YES                                     | NO <input checked="" type="checkbox"/> |
| NDCA REG. AREA                          |  |
| YES <input checked="" type="checkbox"/> | NO                                     |

**City of Greater Sudbury**  
**APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)  
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)  
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

|                                     |                          |
|-------------------------------------|--------------------------|
| Registered Owner(s): Julie Anne Day | Email:                   |
| Mailing Address: 71 Blais Road      | Home Phone: 705-919-4573 |
|                                     | Business Phone:          |
| City: Dowling                       | Postal Code: P0M 1R0     |
|                                     | Fax Phone:               |

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

|                                     |                      |
|-------------------------------------|----------------------|
| Name of Agent: D.S. Dorland Limited | Email:               |
| Mailing Address: 298 Larch Street   | Home Phone:          |
|                                     | Business Phone:      |
| City: Sudbury                       | Postal Code: P3B 1M1 |
|                                     | Fax Phone:           |

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

|                  |
|------------------|
| Name: N/A        |
| Mailing Address: |
| City:            |
| Postal Code:     |

- 4) Current Official Plan designation: Rural/Parks & Open Space Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To          | By-law Requirement | Proposed | Difference |
|----------------------|--------------------|----------|------------|
| Minimum Lot Frontage | 90                 | 86       | 4          |
|                      |                    |          |            |
|                      |                    |          |            |
|                      |                    |          |            |
|                      |                    |          |            |

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: (m)

- c) Description of Proposal:  
Boundary realignment to eliminate encroachment of a paved driveway

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  
Driveway has been in place for many years

- 6) Legal Description (include any abutting property registered under the same ownership).

|   |                   |  |
|---|-------------------|--|
| PIN(s): 73352-0887                            | Township: Dowling | Ward: 3                                  |
| Lot No.: 1                                    | Concession No.: 5 | Parcel(s): 31533 SWS                     |
| Subdivision Plan No.: N/A                     | Lot: N/A          | Reference Plan No.: 53R-17023 Part(s): 1 |
| Municipal Address or Street(s): 93 Blais Road |                   |  |

- 7) Date of acquisition of subject land. May 23 2003

- 8) Dimensions of land affected.

|          |          |     |       |       |     |      |           |                   |                 |       |     |
|----------|----------|-----|-------|-------|-----|------|-----------|-------------------|-----------------|-------|-----|
| Frontage | 91.4 +/- | (m) | Depth | 222.5 | (m) | Area | 26902 +/- | (m <sup>2</sup> ) | Width of Street | 20.12 | (m) |
|----------|----------|-----|-------|-------|-----|------|-----------|-------------------|-----------------|-------|-----|

- 9) Particulars of all buildings:

|                    | Existing | See Attached Sketch | Proposed          |
|--------------------|----------|---------------------|-------------------|
| Ground Floor Area: | 300 +/-  | (m <sup>2</sup> )   | (m <sup>2</sup> ) |
| Gross Floor Area:  |          | (m <sup>2</sup> )   | (m <sup>2</sup> ) |
| No. of storeys:    | 1        |                     |                   |
| Width:             |          | (m)                 | (m)               |
| Length:            |          | (m)                 | (m)               |
| Height:            |          | (m)                 | (m)               |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

|        | Existing     | Proposed      |
|--------|--------------|---------------|
| Front: | 86.7 +/- (m) | No Change (m) |
| Rear:  | 16 +/- (m)   | No Change (m) |
| Side:  | 73 +/- (m)   | No Change (m) |
| Side:  | 37.5 +/- (m) | No Change (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

|   |                                     |
|---|-------------------------------------|
| Municipally owned & operated piped water system     | <input type="checkbox"/>            |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/>            |
| Lake  | <input type="checkbox"/>            |
| Individual Well                                     | <input checked="" type="checkbox"/> |
| Communal Well                                       | <input type="checkbox"/>            |
| Individual Septic System                            | <input checked="" type="checkbox"/> |
| Communal Septic System                              | <input type="checkbox"/>            |
| Pit Privy   | <input type="checkbox"/>            |
| Municipal Sewers/Ditches/Swales                     | <input checked="" type="checkbox"/> |

|                     |                                     |
|---------------------|-------------------------------------|
| Provincial Highway  | <input type="checkbox"/>            |
| Municipal Road      | <input type="checkbox"/>            |
| Maintained Yearly   | <input checked="" type="checkbox"/> |
| Maintained Seasonal | <input type="checkbox"/>            |
| Right-of-way        | <input type="checkbox"/>            |
| Water               | <input type="checkbox"/>            |

If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Unknown

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential

Length of time: UNKNOWN

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or,

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Rural Residential

A0006/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): Concurrent

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. Intake Protection Zone 3 -  
Score is 1, Significant Groundwater Recharge Area, Highly Vulnerable Aquifer, - Score is 6

### **PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Julie Anne Day (please print all names), the registered owner(s) of the property described as PCL 31533 SEC SWS; PT LT 1 CON 5 DOWLING  
PT 1, 53R17023  
in the City of Greater Sudbury:

#### **Collection, Use and Disclosure of Information:**

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

#### **Authority to Enter Land and Photograph**

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

#### **Appointment of Authorized Agent**

- appoint and authorize D.S. Dorland (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18<sup>th</sup> day of January, 2022

Dave Dorland  
(witness)

Julie Beaudoin Day  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Julie Beaudoin Day

\*I have authority to bind the Corporation

10006/2022

I/We, D.S. Dorland (please print all names),


DOWLING, PT 1, 53R17023

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 19<sup>th</sup> day of JANUARY, 2022

  
Commissioner of Oaths

Susan Joanne Tulloch, a Commissioner,  
etc., Province of Ontario, for Poulson Law  
Expires August 2, 2022.

  
signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

Print Name:

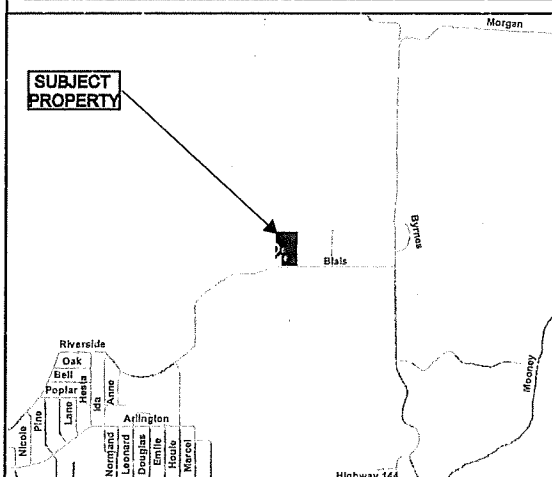
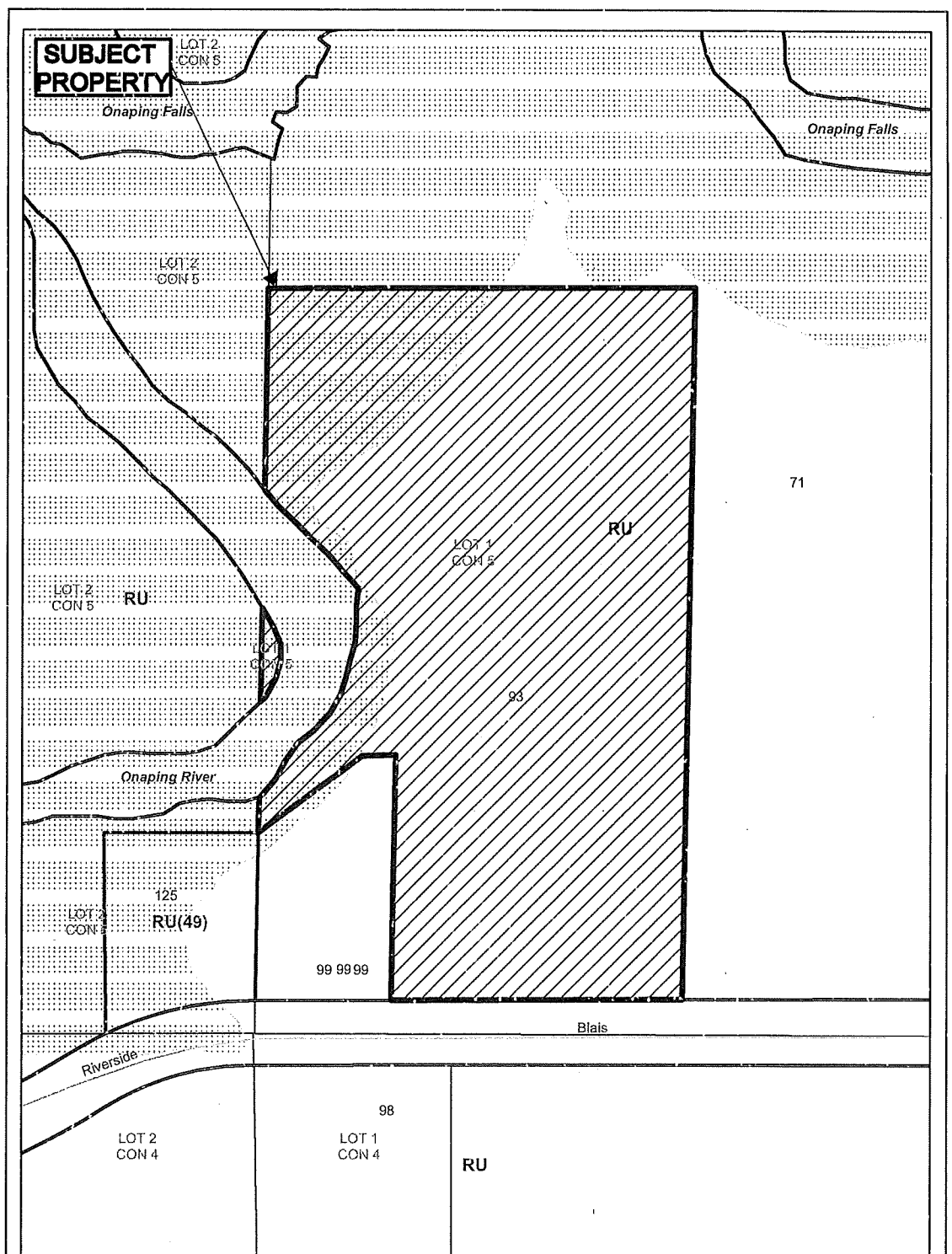
\*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

**FOR OFFICE USE ONLY**

[illegible]

A0006/2022



# Application for Minor Variance or Permission



Subject Property being  
PIN 73352-0887,  
Parcel 31533 SEC SWS,  
Part Lot 1, Concession 5,  
Part 1, Plan 53R-17023  
Township of Dowling,  
93 Blais Road, Dowling,  
City of Greater Sudbury

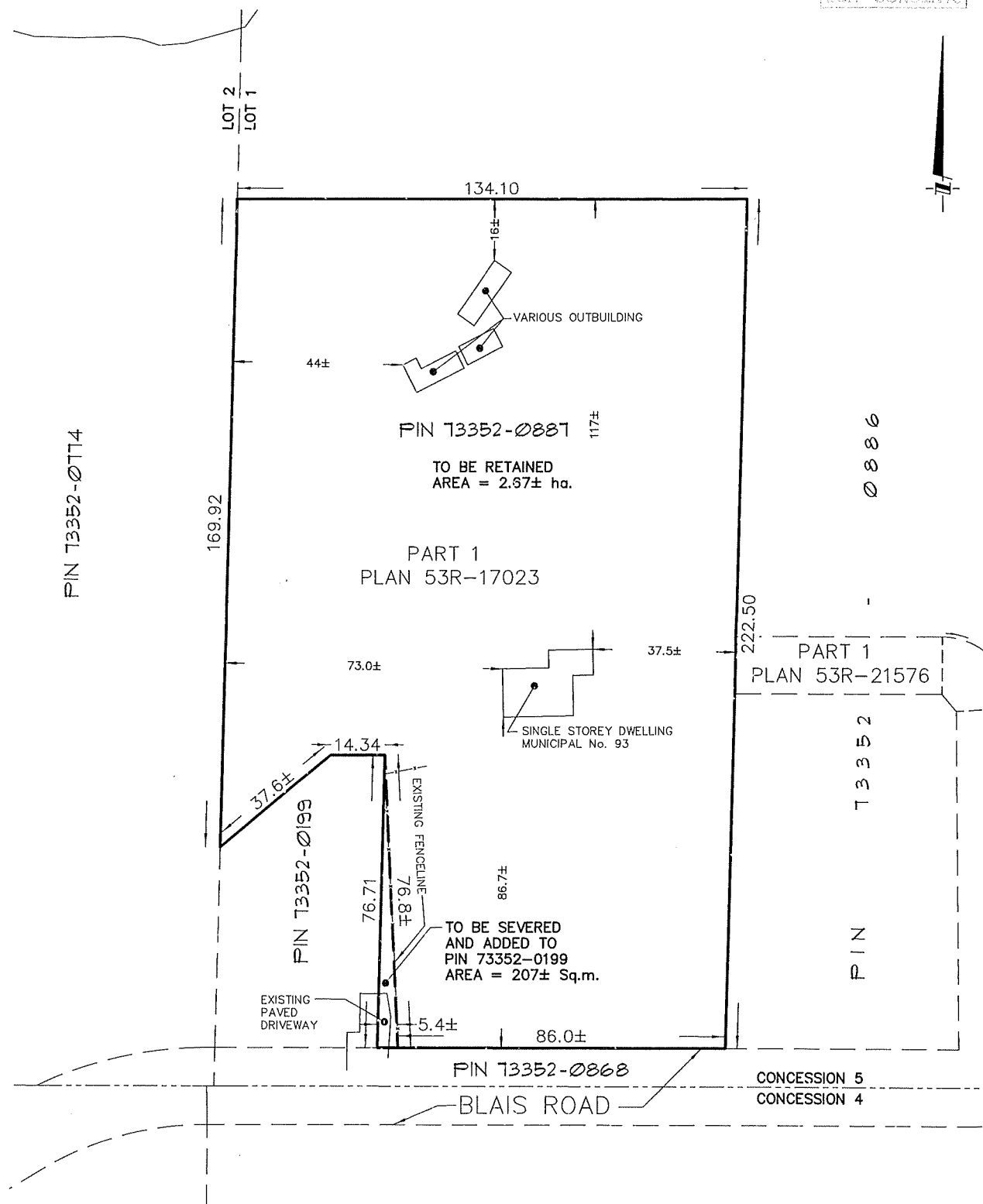
Sketch 1, NTS  
NDCA

A0006/2022  
Date: 2022 01 25

SKETCH FOR PLANNING ACT APPLICATION  
**PART OF LOT 1**  
**CONCESSION 5**  
 GEOGRAPHIC TOWNSHIP OF DOWLING  
 CITY OF GREATER SUDBURY  
 DISTRICT OF SUDBURY

**NOTE**

THIS IS NOT A PLAN OF SURVEY AND  
 SHOULD ONLY BE USED FOR THE PURPOSE  
 STATED IN THE TITLE BLOCK.



A0006/2022  
 Sketch 2

|   |                                      |   |
|---|--------------------------------------|---|
| D.S.<br><b>DORLAND</b><br>LIMITED   |                                      | ONTARIO LAND SURVEYORS<br>GEOMATICS PROFESSIONALS |
| 298 LARCH STREET<br>SUDBURY, ONTARIO, P3B 1M1<br>PHONE (705) 673-2556 FAX (705) 673-1051<br>WWW.DSDORLANDLIMITED.CA |                                      |   |
| PREPARED BY : WJM   | SCALE : 1:1000 METRIC                |   |
| CHECKED : ****  | CAD FILE : 17215 RPLAN.dwg           |   |
| DATE : JANUARY 20, 2022   | P.S. TAB : CONSENT SKETCH 73352-0887 |   |

SCALE 1:1000





Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

8 pkg spaces  
aisle width 3.1m  
office floor space all  
or eliminate?  
yards?  
Legal existing?

86.11 uph  
60 permit

|                               |  |
|-------------------------------|--|
| Office Use Only<br>2020 01 01 |  |
| A0008/2022                    |  |
| S.P.P. AREA                   |  |
| YES                           | NO <input checked="" type="checkbox"/> |
| NDCA REG. AREA                |  |
| YES                           | NO <input checked="" type="checkbox"/> |

## City of Greater Sudbury

### APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Jack Rocca Email: [REDACTED]  
Mailing Address: 87 Bayview Road Home Phone: [REDACTED]  
City: Sudbury, Ont. Postal Code: P3B 3X7 Business Phone: [REDACTED]  
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: \_\_\_\_\_ Email: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ Home Phone: \_\_\_\_\_  
City: \_\_\_\_\_ Postal Code: \_\_\_\_\_ Business Phone: \_\_\_\_\_  
Fax Phone: \_\_\_\_\_

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: \_\_\_\_\_  
Mailing Address: N/A  
City: \_\_\_\_\_ Postal Code: \_\_\_\_\_

- 4) Current Official Plan designation: Mixed Use Commercial Current Zoning By-law designation: C-2

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To              | By-law Requirement | Proposed        | Difference |
|--------------------------|--------------------|-----------------|------------|
| ① C2 residential density | 60 uph             | 86.00 uph       | 26.00 uph  |
| ② Front yard setback     | 7.5 m              | 0.06 m          | 7.44 m     |
| ③ Left side yard setback | 1.2 m              | 0.3 m           | 0.9 m      |
| ④ Parking required       | 8 spaces           | 6 spaces        | 2          |
| ⑤ Eaves encroachment     | 0.6 m              | 0.07 m. Setback | 0.57 m.    |

R.  
(5 units)  
R.  
R.

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal: Convert 10 renting rooms into 2 apt. units  
legalize all the apt units. Front yard should be 0.1 meters,  
is 0.1 m; left side yard should be 1.2 m, is 0.1 m.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: 8 parking spaces  
are required for 5 residential units. Zoning only allows 3 veh units.  
Front and left side yard requirements, front should be 0.1 m  
and is 0.06 m, left side yard should be 1.2 m, and is 0.3 m.

331 Regent St. - Jack Rocca

|         |               |                   |          |            |
|---------|---------------|-------------------|----------|------------|
| ⑥ 5 a). | Variance To   | Bylaw Requirement | Proposed | Difference |
|         | Width parking | 3 m.              | 2.9 m.   | .1 m.      |
|         | Spot No. 6    |                   |          |            |



- 8) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73586-0638 Township: McKinn Ward:  
 Lot No.: \_\_\_\_\_ Concession No.: \_\_\_\_\_ Parcel(s): \_\_\_\_\_  
 Subdivision Plan No.: 45C Lot: 297 Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 331 Regent Street, Sudbury

- 7) Date of acquisition of subject land. March 5, 2021

- 8) Dimensions of land affected.

Frontage 15.24 (m) Depth 38.1 (m) Area 580.64 (m<sup>2</sup>) Width of Street 20.1168 (m)

- 9) Particulars of all buildings:

|                    | Existing                                     | Proposed                                     |
|--------------------|--|--|
| Ground Floor Area: | <u>278.71</u> (m <sup>2</sup> )              | <u>278.71</u> (m <sup>2</sup> )              |
| Gross Floor Area:  | <u>same x 2 (Basement)</u> (m <sup>2</sup> ) | <u>same x 2 (Basement)</u> (m <sup>2</sup> ) |
| No. of storeys:    | <u>1</u>                                     | <u>1</u>                                     |
| Width:             | <u>12.192</u> (m)                            | <u>12.192</u> (m)                            |
| Length:            | <u>22.86</u> (m)                             | <u>22.86</u> (m)                             |
| Height:            | <u>4.26</u> (m)                              | <u>4.26</u> (m)                              |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

|        | Existing         | Proposed        |
|--------|------------------|-----------------|
| Front: | <u>0.06</u> (m)  | <u>same</u> (m) |
| Rear:  | <u>15.14</u> (m) | <u>same</u> (m) |
| Side:  | <u>2.95</u> (m)  | <u>same</u> (m) |
| Side:  | <u>0.09</u> (m)  | <u>same</u> (m) |

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☒  
 Municipally owned & operated sanitary sewage system ☒  
 Lake ☐  
 Individual Well ☐  
 Communal Well ☐  
 Individual Septic System ☐  
 Communal Septic System ☐  
 Pit Privy ☐  
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐  
 Municipal Road ☐  
 Maintained Yearly ☒  
 Maintained Seasonal ☐  
 Right-of-way ☐  
 Water ☐  
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Unknown.

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential 3 apts. + 10 renting rooms. length of time: 15 years plus.

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Residential, 5 apt. units.

- 15) What is the number of dwelling units on the property? 3 apts. + 10 renting rooms.

- 16) If this application is approved, would any existing dwelling units be legalized?

☒ Yes ☐ No

If "yes", how many? 5

- 17) Existing uses of abutting properties: Commercial and mixed comm. - residential, residential

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

### PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/we, Jack Rocca (please print all names), the registered owner(s) of the property described as 931 Regent Street, Sudbury in the City of Greater Sudbury:

#### Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

#### Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

#### Appointment of Authorized Agent

- appoint and authorize NA (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 27 day of January, 2022

Susan Labelle  
(witness)

Jack Rocca  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Jack Rocca

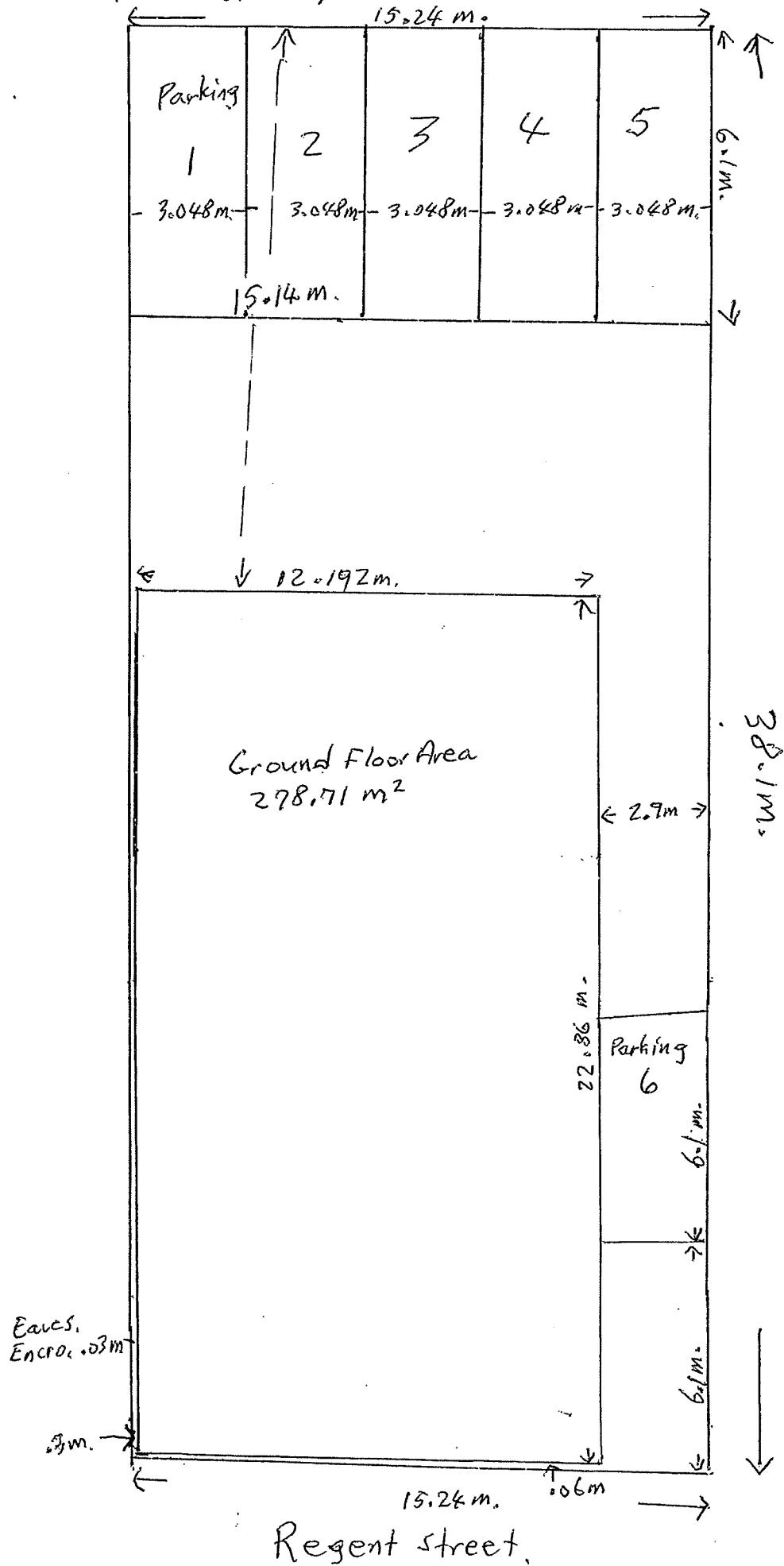
\*I have authority to bind the Corporation

A000812022





Municipal Lane way





Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

|  |
|--|
| Office Use Only<br>2021.01.01  |
| A 0009/2021  |
| S.P.P. AREA<br>YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> |
| NDCA REG. AREA<br>YES <input type="checkbox"/> NO <input type="checkbox"/>         |

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT: SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

|   |                            |
|---|----------------------------|
| Registered Owner(s): American Iron and Metal Company Inc. | Email: [REDACTED]          |
| Mailing Address: 75 Steel City Court                      | Home Phone: [REDACTED]     |
|   | Business Phone: [REDACTED] |
| City: Hamilton  | Postal Code: L8H 3Y2       |
|   | Fax Phone: [REDACTED]      |

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

|   |                            |
|---|----------------------------|
| Name of Agent: IBI Group c/o Jared Marcus   | Email: [REDACTED]          |
| Mailing Address: 200-360 James Street North | Home Phone: [REDACTED]     |
|   | Business Phone: [REDACTED] |
| City: Hamilton                              | Postal Code: L8L 1H5       |
|   | Fax Phone: [REDACTED]      |

**Note:** Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

|                  |              |
|------------------|--------------|
| Name:            |              |
| Mailing Address: |              |
| City:            | Postal Code: |

- 4) Current Official Plan designation: General Industrial      Current Zoning By-law designation: Disposal Industrial M6(1)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To | By-law Requirement | Proposed | Difference |
|-------------|--------------------|----------|------------|
|             |                    |          |            |
|             |                    |          |            |
|             |                    |          |            |
|             |                    |          |            |
|             |                    |          |            |

- b) Is there an eave encroachment? ☐ Yes ☐ No      If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal:

Expansion of a legal non-conforming salvage operation. The proposed is for the construction of a 840m<sup>2</sup> storage building with accessory office space

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The lands are a legal non-conforming use, due to the Wellhead Protection policies which prohibit salvage operations on the lands.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: Hanmer Ward: \_\_\_\_\_  
 Lot No.: Pt. Lot 7 Concession No.: 3 Parcel(s): \_\_\_\_\_  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 1818 Kenneth Drive, Val Therese

- 7) Date of acquisition of subject land.
- 2020

- 8) Dimensions of land affected.

Frontage 126 (m) Depth VARIES (m) Area 15,180 (m<sup>2</sup>) Width of Street 20.7 (m)

- 9) Particulars of all buildings:

|                    | Existing                                | Proposed                     |
|--------------------|---|------------------------------|
| Ground Floor Area: | <u>Combined 432.5</u> (m <sup>2</sup> ) | <u>747</u> (m <sup>2</sup> ) |
| Gross Floor Area:  | <u>±580.1</u> (m <sup>2</sup> )         | <u>840</u> (m <sup>2</sup> ) |
| No. of storeys:    | <u>1 to 2</u>                           | <u>1</u>                     |
| Width:             | <u>varies</u> (m)                       | <u>32.46</u> (m)             |
| Length:            | <u>Varies</u> (m)                       | <u>26.13</u> (m)             |
| Height:            | <u>varies</u> (m)                       | <u></u> (m)                  |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

|        | Existing          | Proposed          |
|--------|-------------------|-------------------|
| Front: | <u>3.71</u> (m)   | <u>37.11</u> (m)  |
| Rear:  | <u>734.28</u> (m) | <u>727.77</u> (m) |
| Side:  | <u>85.54</u> (m)  | <u>47.72</u> (m)  |
| Side:  | <u>2.85</u> (m)   | <u>46.33</u> (m)  |

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐  
 Municipally owned & operated sanitary sewage system ☐  
 Lake ☐  
 Individual Well ☐  
 Communal Well ☐  
 Individual Septic System ☐  
 Communal Septic System ☐  
 Pit Privy ☐  
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐  
 Municipal Road ☐  
 Maintained Yearly ☒  
 Maintained Seasonal ☐  
 Right-of-way ☐  
 Water ☐  
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

unknown

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Automobile and metal recycling Length of time: \_\_\_\_\_

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, \_\_\_\_\_

- 15) What is the number of dwelling units on the property? \_\_\_\_\_

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☐ No

If "yes", how many? \_\_\_\_\_

- 17) Existing uses of abutting properties:
- Rural Residential

A0009/2022

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  
☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. WHPA Kenneth B & C

#### PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, American Iron and Metal Company Inc. (please print all names), the registered owner(s) of the property described as Part of Lot 7 Concession 3, Geographic Township of Hanmer, City of Greater Sudbury, District of Sudbury in the City of Greater Sudbury:

##### Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

##### Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

##### Appointment of Authorized Agent

- appoint and authorize IBI Group (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of November, 2021

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: American Iron & Metal inc.

\*I have authority to bind the Corporation

10009/2022



### PART B: OWNER OR AUTHORIZED AGENT DECLARATION


I/We, Ritee Haider (Authorized Agent) (please print all names),  
the registered owner(s) or authorized agent of the property described as Part of Lot 7, Concession 3, Geographic

Township of Hanmer

**in the City of Greater Sudbury:**

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 27<sup>th</sup> day of January, 20 22

  
Commissioner of Oaths  
Jared Vail Marcus, a Commissioner, etc.  
Province of Ontario,  
for IBI Group.  
Expires December 5, 2023.

signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

Print Name: Ritee Haider  
 \*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

**FOR OFFICE USE ONLY**

|                          |  |              |
|--------------------------|--|--------------|
| Date of Receipt:         | Hearing Date:  | Received By: |
| Zoning Designation:      | Resubmission: <input type="checkbox"/> Yes <input type="checkbox"/> No |              |
| Previous File Number(s): |  |              |
| Previous Hearing Date:   |  |              |
| Notes:                   |  |              |

14/09/2022



IBI GROUP  
200 East Wing—360 James Street North  
Hamilton ON L8L 1H5 Canada  
tel 905 546 1010  
ibigroup.com

November 22, 2021

Chair and Members of Committee of Adjustment  
c/o Ms. Nia Lewis, Consent Official, Secretary-Treasurer  
City of Greater Sudbury  
200 Brady Street  
Sudbury, Ontario P3A 5P3

Dear Chair and Members of Committee of Adjustment:

**APPLICATION FOR MINOR VARIANCE - EXPANSION OF LEGAL NON-CONFORMING USE  
1818 KENNETH DRIVE, VAL THERESE**

On behalf of the owner, American Iron and Metal Company Inc. (AIM), we are pleased to submit the enclosed application of Minor Variance, under Section 45(2) of the *Planning Act, R.S.O. 1990, c. P.13*, for the expansion of a legal non-conforming use, for the lands located at 1818 Kenneth Drive, Val Therese.

**Expansion of an Existing Use**

Section 45(2)(a) of the *Planning Act* states:

In addition to its powers under subsection (1), the committee, upon any such application,

- (a) where any land, building or structure, on the day the by-law was passed, was lawfully used for a purpose prohibited by the by-law, may permit,
  - (i) the enlargement or extension of the building or structure, if the use that was made of the building or structure on the day the by-law was passed, or a use permitted under subclause (ii) continued until the date of the application to the committee, but no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the by-law was passed

The subject lands are currently regulated by the City of Sudbury Zoning By-law 2010-100Z which came into force and effect on September 29, 2010. Prior to this date the lands were regulated by the former City of East Valley and the Town of Onaping Falls Zoning By-law 83-300. A zoning amendment was passed on April 24, 1991 on the subject lands which permitted the lands to be used for, among other things, a salvage Business (By-law 91-114). The subject lands commenced operation as a salvage yard that same year:

Within the Current City of Sudbury Zoning By-law 2010-100Z, the subject lands are zoned Disposal Industrial M6(1) and Rural (RU), with Wellhead Protection Area B Overlays, vulnerability score 10, and Area C, vulnerability score 8. While the Disposal Industrial Zone M6(1) permits the lands to be developed for only a few uses, which include a salvage yard (along with a saw mill, a planning mill, a lumber yard, including the sale of lumber products and the customizing of vans and their sale and a single detached dwelling).

While a salvage yards is, on its face, a permitted, use, the subject lands are also subject to with Section 4.42 Wellhead Protection Areas. Significantly, Section 4.42.1 removes permitted uses from the site, specifically including any "salvage or wrecking yard."

Approved 2022



Chair and Members of Committee of Adjustment – November 22, 2021

As such, although the subject lands have historically operated as a salvage yard pursuant to By-law 91-114, and although a salvage yard is a permitted use within the Disposal Industrial M6(1) Zone, the use is no longer permitted, and, as such, triggers a requirement for an application pursuant to section 45(2).

#### **Application will Permit Revisions to Site that will reduce Impacts of Current Operations**

Currently, the site operations include the acceptance of scrap metal, End-of-Life Vehicles (ELV), equipment, batteries, electronics, etc. All items are processed to recycle the metals they contain. Once processed the recyclable metal materials are loaded on to trucks and shipped off site for final processing. It is also noted that as part of a revision to the on site processes undertaken by our client, as the new owner of the property, the processing/decontamination of ELVs no longer occurs on the subject lands - all vehicles stored on site will be devoid of contaminants (fuel, oil, fluids, batteries, etc.).

The proposal before the Committee will permit the construction of a new 335m<sup>2</sup> storage building. The proposed building will be used as a drop off location for public customers, a non-ferrous warehouse, and a small portion being used for offices, lunchroom and lockers for employees.

These noted operations, with exception of the office uses, have historically taken place outdoors on the subject lands. By moving these operations indoors, the owners will be able to better sort materials from small dealers indoors reducing the noise emanating from the site and reducing any risk of leaks from the materials, including providing an improved environment for employees.

AIM has been working with the City's Water Wastewater Treatment and Compliance Services department to update the Risk Management Plan (RMP) for the subject lands. The final RMP was submitted to the City in September 2021. Based on correspondence with municipal staff, it is expected that the updated RMP will be approved and in place on the subject lands by the end of December 2021. The updated RMP specifically contemplates the value of an indoor storage facility for use in reducing the risk of leaks from the materials and ensure that any such emission is kept safely out of the ground.

#### **Proposed Storage Building is Good Planning**

Given that the use of the lands as a salvage yard is a legal non-conforming use, it is our opinion that the expansion of such use, in the form of a new building that will reduce the impacts of the existing operations, would be considered an appropriate expansion of the use on the subject lands.

The expansion of a legal non-conforming use is permitted through an application to the committee of adjustment under section 45(2) of the *Planning Act*, provided that the proposed expansion does not expand beyond the limit of the lands which are owned by and used in connection therewithin. It is noted that the limits of the operation are not being expanded, but rather a new building is being proposed, which will reduce the overall outdoor operations on-site. The proposed new building will not negatively impact the environment, or the surrounding lands and will conform with all other performance standards of the Zoning By-law.

#### **Material in Support of the Application**

In support of the application for Minor Variance, Expansion of a Legal Non-Conforming Use, under Section 45(2) of the *Planning Act*, please find enclosed the following:

- Completed Application Form;
- Proposed Site Plan; and,
- A copy of the Draft Risk Management Plan for the subject lands.

A0009/2022

Chair and Members of Committee of Adjustment – November 22, 2021

- One (1) cheque in the amount of \$985.00, made payable to the City of Greater Sudbury, which represents the application fee and the statutory newspaper notice fee.

We trust that the enclosed is in order. However, should you have any questions or require further information, please do not hesitate to contact the undersigned.

Regards,

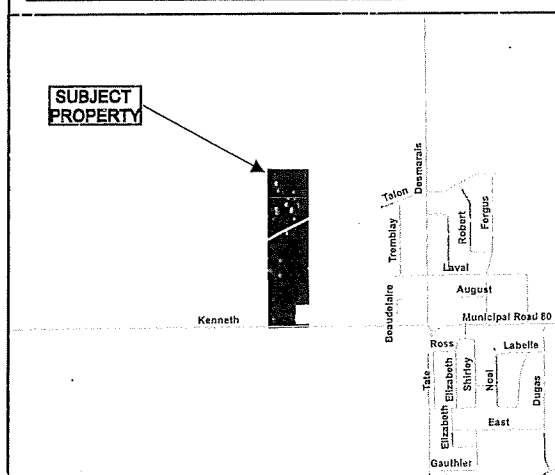
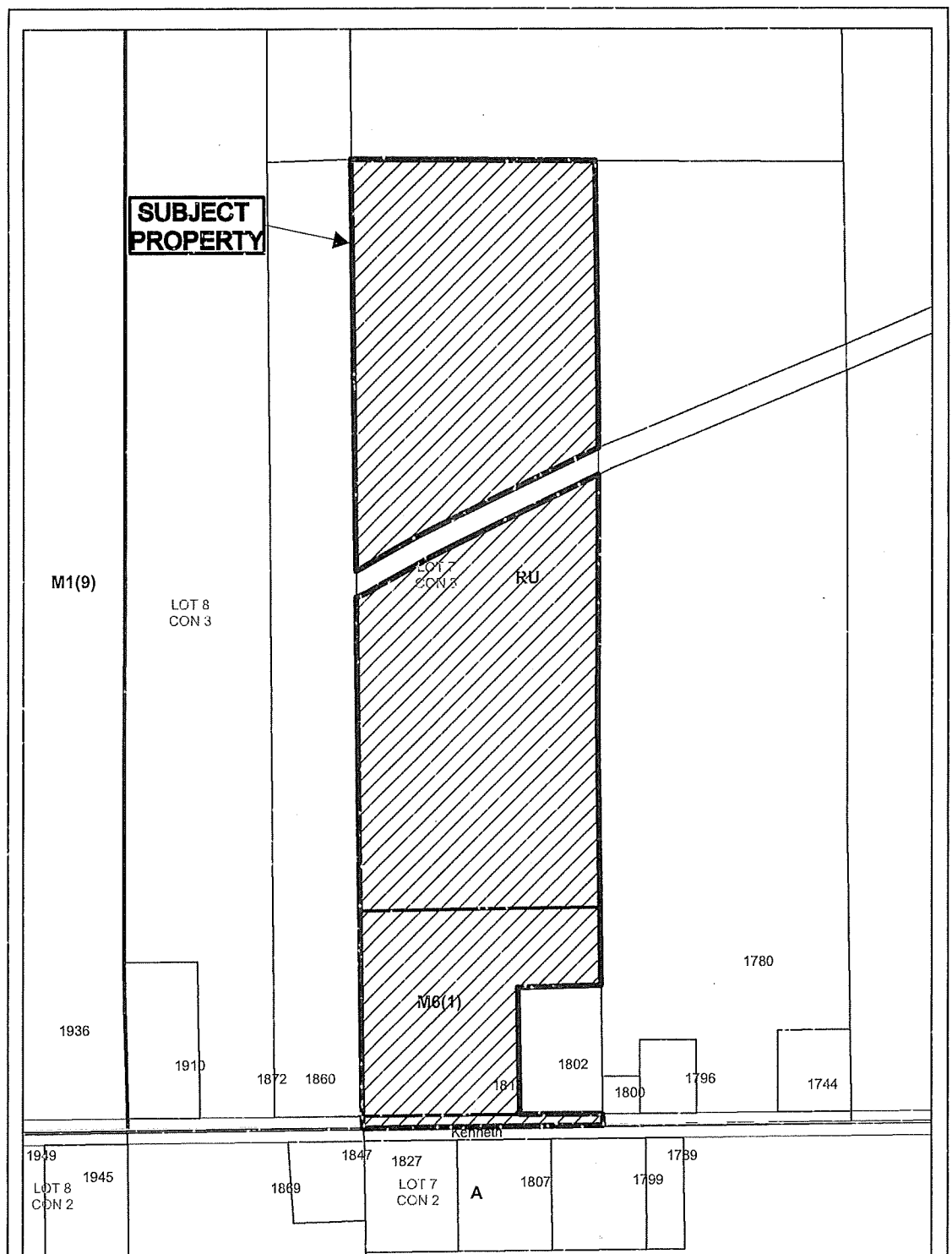
**IBI Group**



Tracy Tucker, BAA, CPT  
Sr. Project Manager

Cc: Mr. Shady Rophail, American Iron and Metal Company Inc.;  
Mr. Andrew Jeanrie, Bennett Jones LLP

110009/2022



# **Application for Minor Variance or Permission**



Subject Property being  
PIN 73505-0795, Parcel 10207,  
Part Lot 7, Concession 3,  
except Part 1, Plan 53R-8610,  
Township of Hanmer,  
1818 Kenneth Drive, Val Therese  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0009/2022  
Date: 2022 02 02





Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

Office Use Only  
2022.01.01

A0010/2022

S.P.P. AREA

YES \_\_\_ NO ☒

NDCA REG. AREA

YES \_\_\_ NO ☒

## City of Greater Sudbury

### APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT: SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): CHANTELE GORHAM

Email: [REDACTED]

Mailing Address: 35 LEVACK DRIVE, BOX 220

Home Phone: [REDACTED]

Business Phone: [REDACTED]

City: LEVACK ON

Postal Code: P0M 2C0

Fax Phone: N/A

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: DAVID KURTIS (HUSBAND)

Email: [REDACTED]

Mailing Address: SAME AS ABOVE

Home Phone: [REDACTED]

Business Phone: [REDACTED]

City: [REDACTED]

Postal Code: [REDACTED]

Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SUDBURY CREDIT UNION

Mailing Address: 37 LEVACK DR.

City: LEVACK ON

Postal Code: P0M 2C0

- 4) Current Official Plan designation: Current Zoning By-law designation: CZ/R1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To          | By-law Requirement | Proposed | Difference |
|----------------------|--------------------|----------|------------|
| Balcony Encroachment | 1.8 m              | 5.48 m   | 3.68 m     |
| Eave Encroachment    | 1.2 m              | 0.0 m    | 1.2 m      |
| Front Yard Setback   | 6.0 m              | 2.41 m   | 3.59 m     |
|                      |                    |          |            |
|                      |                    |          |            |

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal: TO FULFIL REQUIREMENT FOR BUILDING CONSTRUCTED 1991 TO MEET OCCUPANCY PERMIT.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: CONSTRUCTED TO CODE OF 1982 BUILT IN 1991, UNCHANGED SINCE CONSTRUCTION

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: \_\_\_\_\_  
 Lot No.: 127 Concession No.: PLM 1011 Parcel(s): PCL 25317 SW5  
 Subdivision Plan No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Reference Plan No.: \_\_\_\_\_ Part(s): \_\_\_\_\_  
 Municipal Address or Street(s): 35 LEVACK DR LEVACK, ON P0M2C0

- 7) Date of acquisition of subject land.
- MAR. 15, 2004

- 8) Dimensions of land affected.

Frontage 71' / 21.6408m <sup>88'</sup> Depth 26.822m Area \_\_\_\_\_ (m<sup>2</sup>) Width of Street \_\_\_\_\_ (m)

- 9) Particulars of all buildings:

|                    | Existing   | Proposed                |
|--------------------|--|-------------------------|
| Ground Floor Area: | <u>2300 sq'</u> <u>213.667</u> (m <sup>2</sup> ) | _____ (m <sup>2</sup> ) |
| Gross Floor Area:  | <u>4600 sq'</u> <u>427.354</u> (m <sup>2</sup> ) | _____ (m <sup>2</sup> ) |
| No. of storeys:    | <u>2</u>   | _____                   |
| Width:             | <u>46'</u> <u>14.0208</u> (m)                    | _____ (m)               |
| Length:            | <u>50'</u> <u>15.240</u> (m)                     | _____ (m)               |
| Height:            | <u>18'</u> <u>5.4864</u> (m)                     | _____ (m)               |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

|        | Existing                     | Proposed  |
|--------|------------------------------|-----------|
| Front: | <u>8'</u> <u>2.4384</u> (m)  | _____ (m) |
| Rear:  | <u>30'</u> <u>9.144</u> (m)  | _____ (m) |
| Side:  | <u>19'</u> <u>5.7912</u> (m) | _____ (m) |
| Side:  | <u>6'</u> <u>1.8288</u> (m)  | _____ (m) |

MEASUREMENTS - CLAUDE TRUMBLE (CITY INSPECTOR) COFA 10/91

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

|   |                                     |  |                                     |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/>            |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input checked="" type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/>            |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/>            |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/>            |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                                     |
| Pit Privy   | <input type="checkbox"/>            |  |                                     |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            |  |                                     |

- 12) Date(s) of construction of all buildings and structures on the subject land.

Approx Aug 1991 const. completed

- 13) Existing use(s) of the subject property and length of time / they have continued.

Use(s): RESTAURANT 1991 - 2004 Length of time: \_\_\_\_\_  
FOOD MANUF. / RE 2004 to Present

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, SAME

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? \_\_\_\_\_

- 17) Existing uses of abutting properties:
- BANK / RESIDENTIAL

A0010/2022



- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☒ Yes ☐ No

If "yes", indicate the application number(s): 17-140/91 FRONT YD 8' APPROVED SIDEYD. 183  
 or, describe briefly, A-294/92 APPROVAL 1.83 where 3m required.  
A 294/92 APPROVAL 1.83m setback side YARD. w/0.61m EAVE APPROVED

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan.

LOCATED WITHIN DOWNING OPENING WALLHEAD PROTECTION AREA.

#### PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, CHARLENE GORHAM (please print all

names), the registered owner(s) of the property described as 35 LEVACK TR.

in the City of Greater Sudbury:

#### Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

#### Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

#### Appointment of Authorized Agent

- appoint and authorize DAVID KURTIS (HUSBAND) (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25 day of JAN, 2022

[Signature]  
(witness)

[Signature]  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: CHARLENE GORHAM

\*I have authority to bind the Corporation

APPROVED 2022

I/We, CHARSELLE GORDHAM & DAVID KURTZ (please print all names),  
the registered owner(s) or authorized agent of the property described as 35 LEVACIE DR.

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 25 day of January, 2022

signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

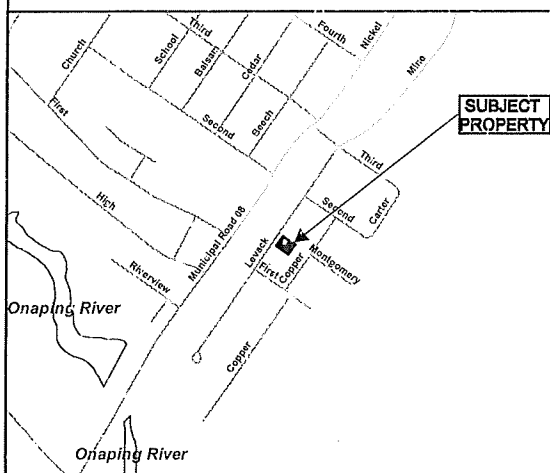
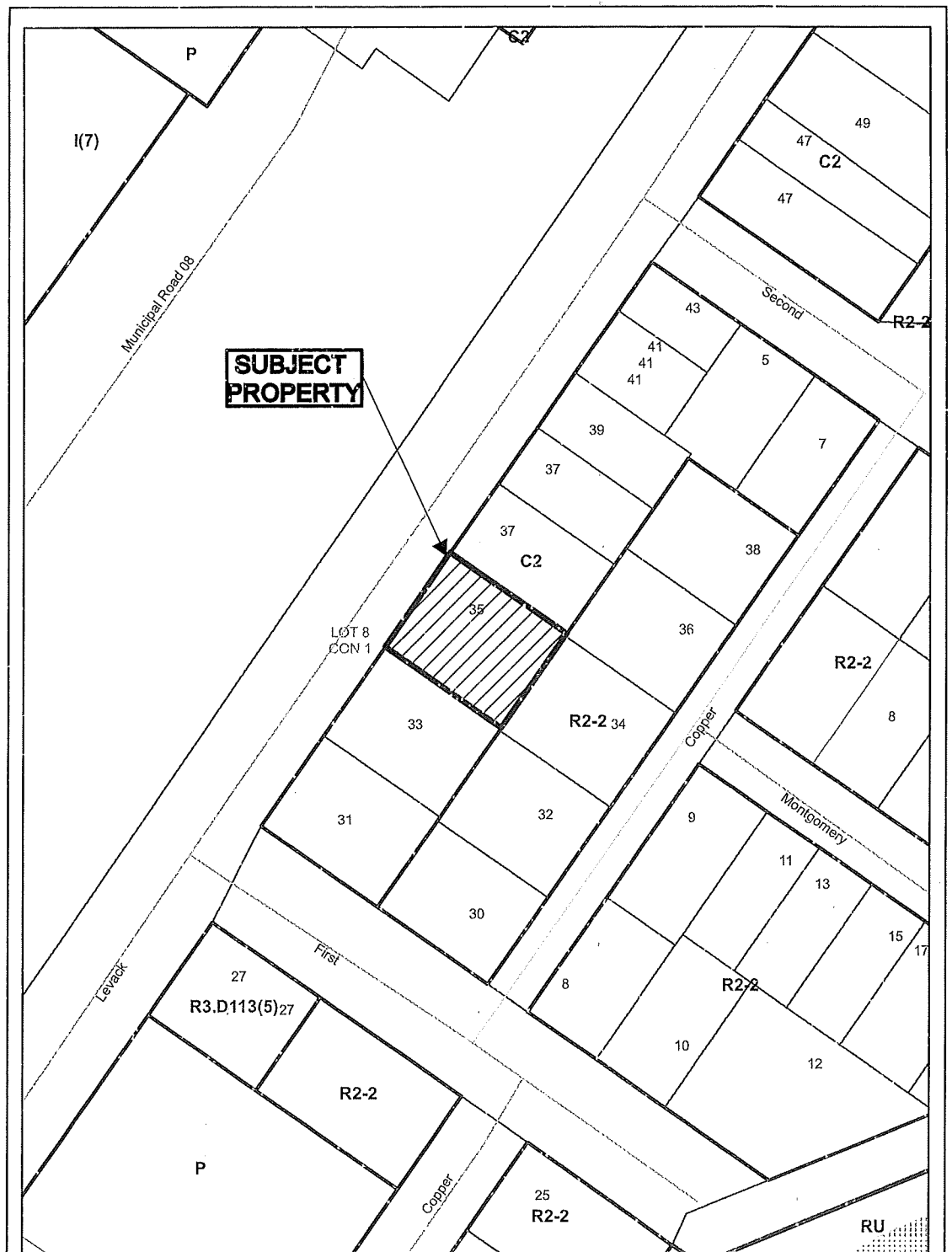
Print Name: Robert A. Smith  
 \*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

**FOR OFFICE USE ONLY:**

|  |  |   |                       |
|--|--|---|-----------------------|
| Date of Receipt: Jan 25/22                         |  | Hearing Date: Feb 24/22   | Received By: N. Lewis |
| Zoning Designation: CA                             |  | Resubmission: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |                       |
| Previous File Number(s): A0140/1991 and A0294/1992 |  |   |                       |
| Previous Hearing Date: June 17/91 Oct. 19/92       |  |   |                       |
| Notes:   |  |   |                       |

APR 10 / 2022



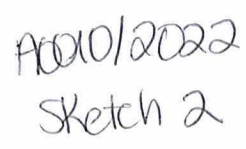
# Application for Minor Variance or Permission



Subject Property being  
PIN 73342-0853,  
Parcel 25317, Lot 27, Plan M-1011,  
Part Lot 8, Concession 1,  
Township of Levack,  
35 Levack Drive, Levack,  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

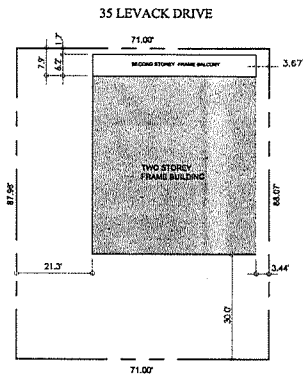
A0010/2022  
Date: 2022 02 01



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CONTAINS  
NO RECORDS

LEGEND

S.I.B.  
S.S.I.B.  
I.A.  
R.B.  
R.I.B.  
I.P.  
C.C.  
R.P.  
■  
□  
(M)  
(P)  
(F.N.)  
(WIT.)



#### NOTE:

Plot Plan Rules/Summerize Existing Setbacks (as-built) obtained from Ontario Land Surveyor dated September 10, 1991, Ogilvie Holder Closing.

REQUIRED MINOR VARIANCES BASED ON AS-BUILT CONDITION and INFORMATION ABOUT PROPOSED CONSTRUCTION to the COMMITTEE of ADJUSTMENT and all BUILDING PERMIT ISSUANCE

#### REQUIRED MINOR VARIANCE ①

- 1) Required for Eaves that are encroaching 4' onto City right-of-way. Letter of Tolerance required.
- Minor Variance for 0' setback from Property Line.
- Letter of Tolerance will then be provided by Chief Building Official for Encroachment.

#### REQUIRED MINOR VARIANCE ②

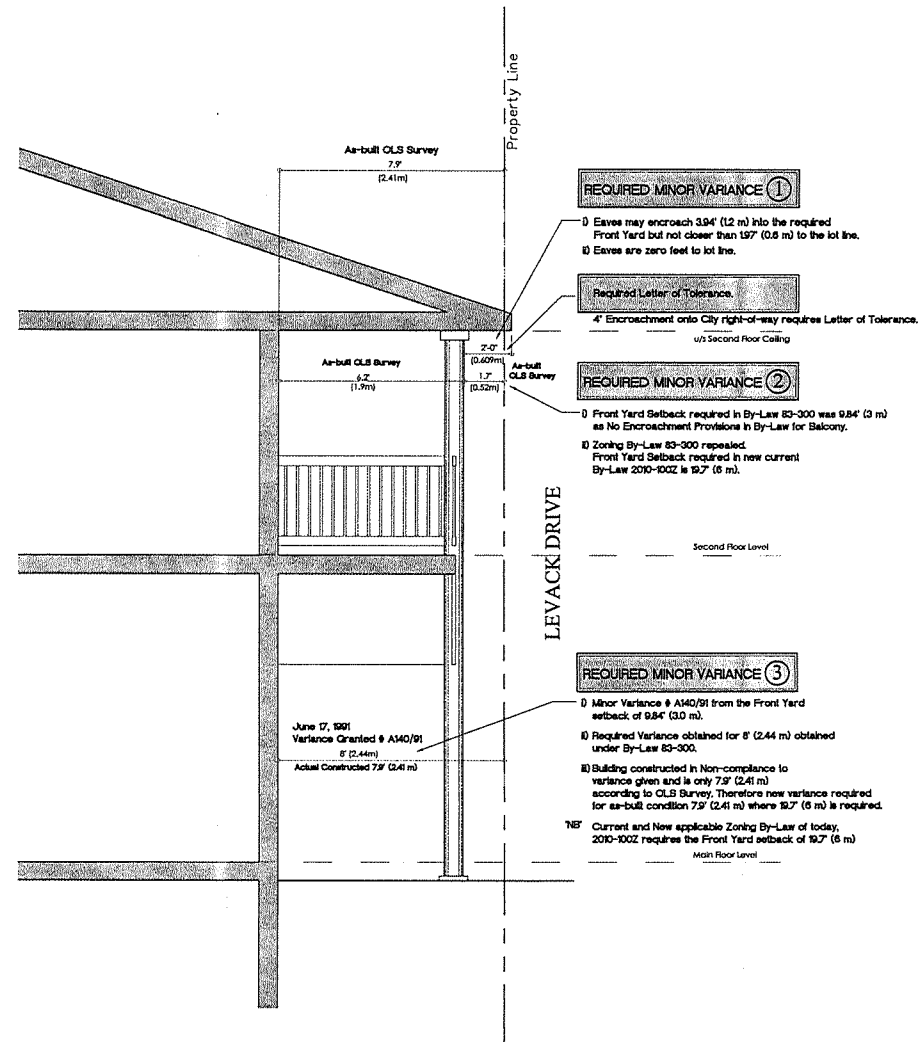
- 1) Required Front Yard Setback in Zoning By-Law 2010-1002 is 19.7' (6.0 m)
- 2) Old Zoning By-Law 83-300 was 9.84' (3 m)
- 3) Balconies may encroach in Front Yard 5.9' (1.8 m)
- 4) Balconies as Constructed Encroach 6.2' (1.9 m)

#### NOTE:

Zoning By-Law 83-300 was Repealed and replaced by Zoning By-Law 2010-1002. In either case, As-Built conditions of Construction require a Minor Variance for required Front Yard Setback.

#### REQUIRED MINOR VARIANCE ③

- 1) Minor Variance obtained from Committee of Adjustment # A140/91 dated June 17, 1991, to build building 8' (2.44 m) from Front Yard Property Line.
- 2) Building was constructed 7.9' (2.41 m) from Front Yard Property Line.
- 3) Re-Application required to Committee for Reduced Distance.



#### REQUIRED MINOR VARIANCE ①

- 1) Eaves may encroach 3.94' (1.2 m) into the required Front Yard but not closer than 1.97' (0.6 m) to the lot line.
- 2) Eaves are zero feet to lot line.

#### REQUIRED MINOR VARIANCE ②

- 1) Required Letter of Tolerance.
- 2) 4' Encroachment onto City right-of-way requires Letter of Tolerance.
- 3) Front Yard Setback required in By-Law 83-300 was 9.84' (3 m) as No Encroachment Provisions in By-Law for Balcony.
- 4) Zoning By-Law 83-300 repealed.
- 5) Front Yard Setback required in new current By-Law 2010-1002 is 19.7' (6 m).

#### REQUIRED MINOR VARIANCE ③

- 1) Minor Variance # A140/91 from the Front Yard setback of 9.84' (3.0 m).
- 2) Required Variance obtained for 8' (2.44 m) obtained under By-Law 83-300.
- 3) Building constructed in Non-compliance to variance given and is only 7.9' (2.41 m) according to OLS Survey. Therefore new variance required for as-built condition 7.9' (2.41 m) where 19.7' (6 m) is required.
- 4) Current and New applicable Zoning By-Law of today, 2010-1002 requires the Front Yard setback of 19.7' (6 m)

#### NOTE:

This Sketch is provided for illustrative purposes only.

35 LEVACK DRIVE, ONAPING

A0010/2022  
sketch 3



Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

Office Use Only

2022 01 01

A0011/2022

S.P.P. AREA

YES ☐ NO ☒

NDCA REG. AREA

YES ☐ NO ☒

## City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): SUDBURY APARTMENT RENTALS LIMITED

Email: [REDACTED]

Mailing Address: O'Neil Drive East

Home Phone:

Business Phone:

City: Sudbury

Postal Code: P3L 1H6

Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Engineering

Email: [REDACTED]

Mailing Address: 1942 Regent Street Unit L

Home Phone:

Business Phone:

City:

Postal Code: P3E 5V5

Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SUDBURY APARTMENT RENTALS LIMITED

Mailing Address:

City:

Postal Code:

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

| Variance To                     | By-law Requirement                      | Proposed                        | Difference                      |
|---------------------------------|---|---------------------------------|---------------------------------|
| Reduce Lot frontage (Lot 68/69) | 18.0m                                   | 0.0m                            | 18.0m                           |
| Section 4.2(a) (Lot 68/69)      | Requires access onto to an assumed road | No access on to an assumed road | No access on to an assumed road |
|                                 |   |                                 |                                 |
|                                 |   |                                 |                                 |
|                                 |   |                                 |                                 |

- b) Is there an eave encroachment? ☐ Yes ☐ No If 'Yes', size of eaves: (m)

- c) Description of Proposal:

Proposal to permit 0.0m lot frontage in order to facilitate severance application of lots 70 and 68/89.

Property also does not benefit from access onto an assumed road (given lane-way).

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Property does not benefit from required assumed road frontage.

A0011/2022

- 6) Legal Description (include any abutting property registered under the same ownership).

|   |                 |                     |          |
|---|-----------------|---------------------|----------|
| PIN(s): 021330306   |                 | Township: MCKIM     |          |
| Lot No.: 68 & 69  | Concession No.: | Parcel(s):          |          |
| Subdivision Plan No.:                                     | Lot:            | Reference Plan No.: | Part(s): |
| Municipal Address or Street(s): 365 land 367 Morin Avenue |                 |                     |          |

- 7) Date of acquisition of subject land. 02/07/2020

- 8) Dimensions of land affected.

|               |     |            |     |                        |                   |                     |     |
|---------------|-----|------------|-----|------------------------|-------------------|---------------------|-----|
| Frontage 0.0m | (m) | Depth 36.7 | (m) | Area 738m <sup>2</sup> | (m <sup>2</sup> ) | Width of Street N/A | (m) |
|---------------|-----|------------|-----|------------------------|-------------------|---------------------|-----|

- 9) Particulars of all buildings:

|                    | Existing                  | Proposed                                       |
|--------------------|---------------------------|--|
| Ground Floor Area: | Unknown (m <sup>2</sup> ) | No new development proposed. (m <sup>2</sup> ) |
| Gross Floor Area:  | " (m <sup>2</sup> )       | (m <sup>2</sup> )                              |
| No. of storeys:    | 3                         |  |
| Width:             | Unknown (m)               | (m)  |
| Length:            | Unknown (m)               | (m)  |
| Height:            | Unknown (m)               | (m)  |

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

|        | Existing    | Proposed                         |
|--------|-------------|----------------------------------|
| Front: | ±2.0m (m)   | No new development proposed. (m) |
| Rear:  | ±3.0m (m)   | (m)                              |
| Side:  | ±0.0m (m)   | (m)                              |
| Side:  | ±10.35m (m) | (m)                              |

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

|   |                                     |  |                          |
|---|-------------------------------------|--|--------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="checkbox"/> | Provincial Highway   | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road   | <input type="checkbox"/> |
| Lake  | <input type="checkbox"/>            | Maintained Yearly  | <input type="checkbox"/> |
| Individual Well                                     | <input type="checkbox"/>            | Maintained Seasonal  | <input type="checkbox"/> |
| Communal Well                                       | <input type="checkbox"/>            | Right-of-way   | <input type="checkbox"/> |
| Individual Septic System                            | <input type="checkbox"/>            | Water  | <input type="checkbox"/> |
| Communal Septic System                              | <input type="checkbox"/>            | If access is by water only, provide parking and docking facilities to be used. |                          |
| Pit Privy   | <input type="checkbox"/>            |  |                          |
| Municipal Sewers/Ditches/Swales                     | <input type="checkbox"/>            | See relief requested   |                          |

- 12) Date(s) of construction of all buildings and structures on the subject land.

Unknown

- 13) Existing use(s) of the subject property and length of time it / they have continued.

|                     |                         |
|---------------------|-------------------------|
| Use(s): Residential | Length of time: Unknown |
|---------------------|-------------------------|

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or,

- 15) What is the number of dwelling units on the property? 5-units

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Residential and Vacant

A8011/2022

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☒ Yes ☐ No

If "yes", indicate the application number(s): \_\_\_\_\_  
or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): Deferred until variances obtained

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

#### PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, SUDBURY APARTMENT RENTALS LIMITED

(please print all

names), the registered owner(s) of the property described as \_\_\_\_\_

LOT 65 AND LOT 66, PLAN 14-13, EXCEPTING PART 1 OF 378-15867, TOWNSHIP OF WILSON, CITY OF SUDBURY.

in the City of Greater Sudbury:

#### Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

#### Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

#### Appointment of Authorized Agent

- appoint and authorize TULLOCH Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25<sup>th</sup> day of January, 20 22

Chauhan  
(witness)

Paul Charbonneau  
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Paul Charbonneau

\*I have authority to bind the Corporation

A0011/2022



I/We, TULLOCH Engineering (please print all names),  
the registered owner(s) or authorized agent of the property described as

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 28th day of January, 20 22

Dave Tuller  
Commissioner of Oaths

**David Glen Tulloch**  
a Commissioner, etc., Province of Ontario,  
for **TULLOCH Engineering Inc.**  
Expires Feb 20<sup>th</sup>, 2024

signature of Owner(s) or Signing Officer or Authorized Agent  
(\*where a Corporation)

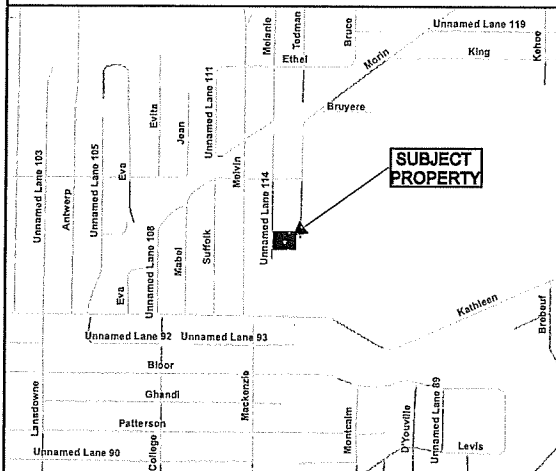
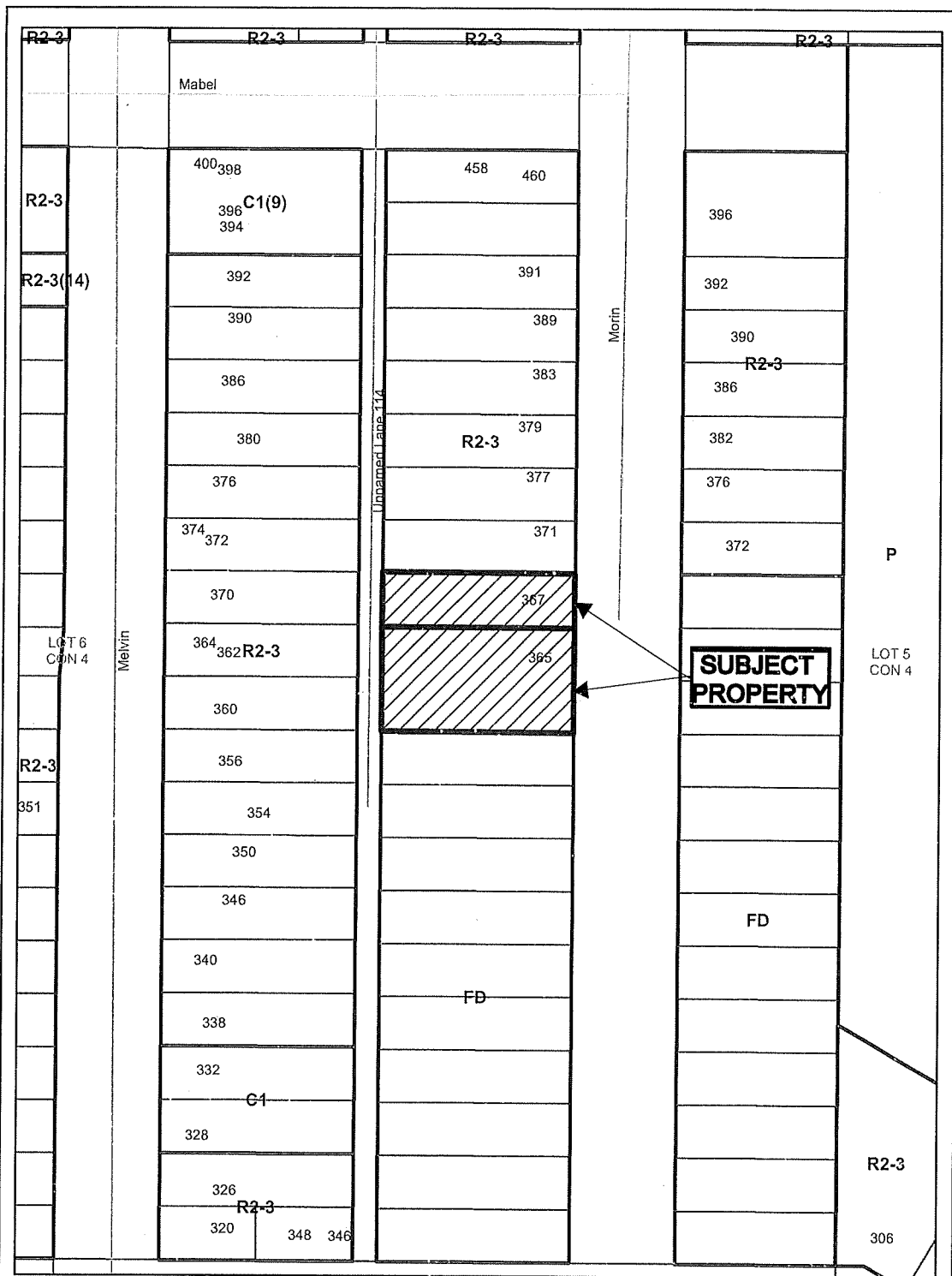
Print Name: Vonessa Smith  
 \*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

**FOR OFFICE USE ONLY**

|   |                          |   |
|---|--------------------------|---|
| Date of Receipt: Jan. 28/22   | Hearing Date: Feb. 04/22 | Received By: N. Lewis   |
| Zoning Designation: R2-3  | Resubmission:            | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Previous File Number(s): B0222/96 / A0114/21 / B0103/21               |                          |   |
| Previous Hearing Date: Jan 6/97 / Sept. 15/21 / Nov. 15/21 (deferred) |                          |   |
| Notes:<br>Submission to address comments in B0103/2021.               |                          |   |

A0011/2022



# Application for Minor Variance or Permission



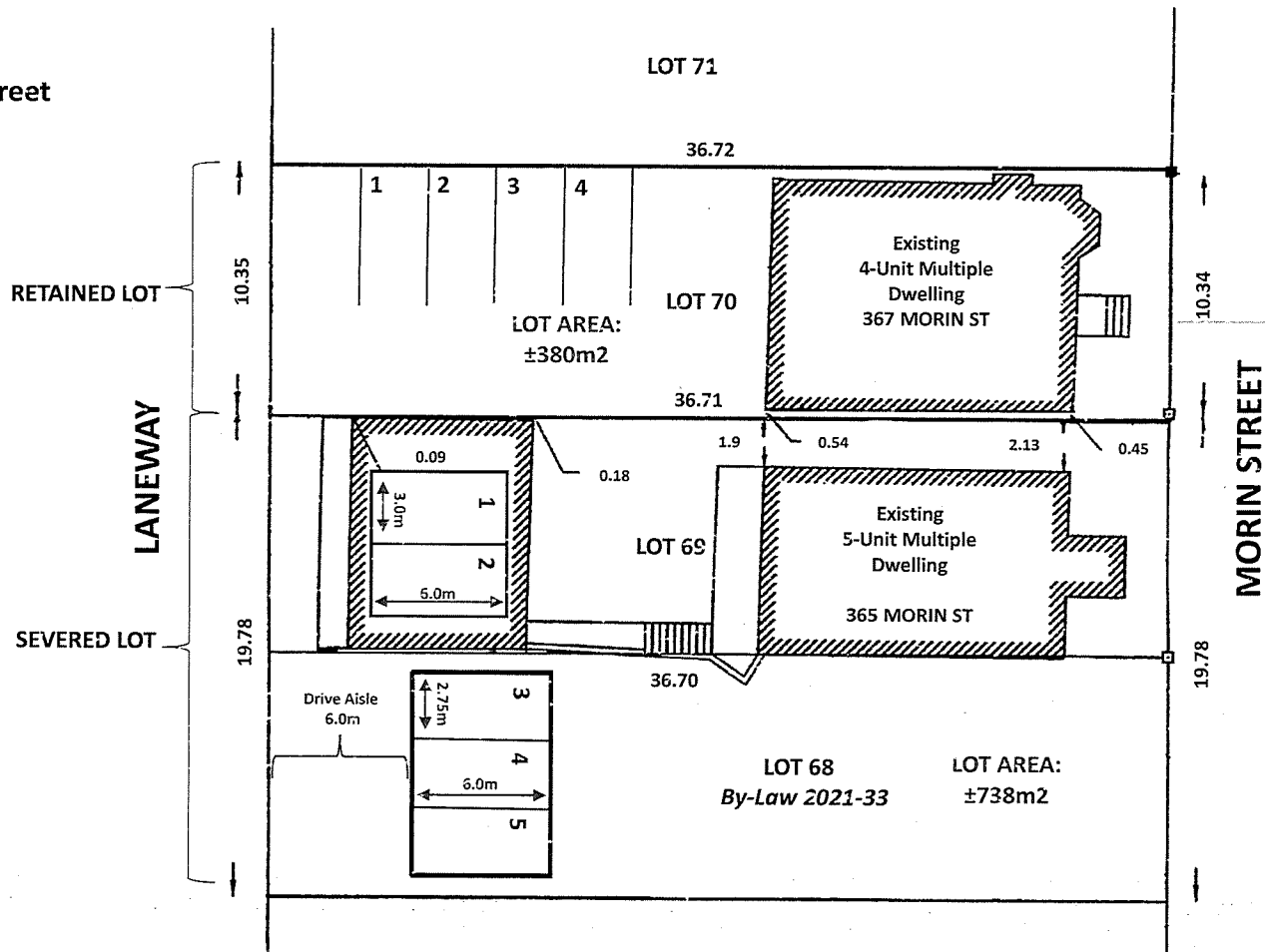
Subject Property being  
PINs 02133-0306 and 02133-0273,  
Lots 68 to 70, Plan M-53,  
Lot 6, Concession 4  
Township of McKim, 365 and  
367 Morin Ave, Sudbury  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

A0011/2022  
Date: 2022 02 07

# CONCEPTUAL SKETCH

365 Morin Street



ROOM/2022  
Sketch 2