

# APPLICATIONS FOR MINOR VARIANCE

Tom Davies Square 200 Brady St

Wednesday, December 22, 2021

# **PUBLIC HEARINGS**

### A0136/2021

### SABRINA HANNAH

Ward: 9

PIN 73475 0713, Parcel 25355, Lot(s) 25, Subdivision M-340, Lot Pt 6, Concession 6, Township of Broder, 340 St Charles Lake Road , Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For permission under Section 45(2) of the Planning Act, R.S.O.1990, c. P.13, to enlarge the legal non-conforming use of the subject property, being that of two existing single detached dwellings, by the 36.79m2 addition to the southwest elevation of the single-detached dwelling located to the rear of the subject property.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0212/1980 (JAN 19/81)

### A0149/2021

### ARCHEAN DEVELOPMENT CORP

Ward: 2

PIN 73375 0928, Survey Plan 53R-20221 Part(s) 7 and 8, Lot Pt 4, Concession 4, Township of Waters, 146 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling, providing a minimum rear yard setback of 5.6m, where 7.5m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATIONS A0150/2021 AND A0151/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B5/13 (FEB 14/13)

# A0150/2021

# ARCHEAN DEVELOPMENT CORP

Ward: 2

PIN 73375 0929, Survey Plan 53R-20221 Part(s) 9 and 10, Lot Pt 4, Concession 4, Township of Waters, 148 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling, providing a minimum rear yard setback of 5.6m, where 7.5m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATIONS A0149/2021 AND A0151/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B5/13 (FEB 14/13)

A0151/2021

# ARCHEAN DEVELOPMENT CORP

Ward: 2

PIN 73375 0930, Survey Plan 53R-20221 Part(s) 11 and 12, Lot Pt 4, Concession 4, Township of Waters, 150 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling, providing a minimum rear yard setback of 5.6m, where 7.5m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATIONS A0150/2021 AND A0151/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B5/13 (FEB 14/13)

# A0152/2021

### HLM3INC.

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0115/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

### A0153/2021

### HLM3INC.

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0116/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

# A0154/2021

# HLM3INC.

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0117/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

A0155/2021

HLM3INC.

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Applications B0115/2021, B0116/2021 and B0117/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

A REMINDER... THE NEXT SCHEDULED MEETING IS WEDNESDAY, JANUARY 12, 2022



Box 5000, Station 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

Office Use Only 2021.01.01 A 0136/2021
S.P.P. AREA
YES NO
NDCA REG. AREA
YES NO

# **City of Greater Sudbury APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

	ASE PRINT. SCHEDULES MAY BE	NGLUĐED, JE NEC	ESSARY .: .		. '
T	he undersigned hereby applies to the Comm f the Planning Act R.S.O. 1990, c.P. 13 for r	littee of Adjustment of th	ne City of Greater Si	udbury under Section 4	
F	tegistered Owner(s): Sabrina Hannah		Email:		
V	Mailing Address: 340 St. Charles Lake R	oad	Home Phone		
=	May On Albania	D-4-LO-4 DOESO	Business Ph	ione:	
_	illy: Sudbury	Postal Code: P3E5G	5 Fax Phone:		
p	the application will be represented by some repared and submitted by someone other the lame of Agent: 2293453 Ontario Inc. c/c	an the registered owner		or the application is	
	failing Address:	7 (4000) 1 (400)	Home Phon	e:	
	40 St. Charles Lake Road, Sudbury,	ON P3E 5G5	Business Pi		
C	ity: Sudbury	Postal Code: P3A5X	5 Fax Phone:		
N to n	ote: Unless otherwise requested, all communicates and mailing addresses of any mortgago ensure that any individual, company, financialised of this application).	gees, holders of charges	or other encumbra	nces. (Give full particu	lars
N to n	lames and mailing addresses of any mortgan o ensure that any individual, company, financ otified of this application). lame: failing Address:	gees, holders of charges lal institution holding a r	or other encumbra	nces. (Give full particu	lars
N to n	lames and mailing addresses of any mortgan b ensure that any individual, company, financ otified of this application). lame:	gees, holders of charges	or other encumbra	nces. (Give full particu	lars
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N Nton NNO CI a	lames and mailing addresses of any mortgage ensure that any individual, company, finance of filed of this application).  lame: lailing Address: lity:  urrent Official Plan designation: Living Are ) Nature and extent of relief from the Zoning variances are being sought, a schedule be in metric.  Variance To  To expand the legal non-conforming uses	Postal Code: a 1 Current By-law for which the ap may be attached to to  By-law Requirement 144.5(m2)	Zoning By-law desk plication is being mane application form Proposed 181,29(m2)	nces. (Give full particule subject lands can be gnation: R1-5 ade. (If more than five n). Measurements mu  Difference 36.79(m2)	st

ΑP	PLICATION FOR MI	NOR	VARIANCE	• 77		·	Ber Da.	PAGE	2 OF 4
6)	Legal Description (include	any a	ibulling property registered t	ınder the s	ame	ownership).			
30						V 100 100 100 100 100 100 100 100 100 10	Ward:		
	PIN(s): 73475-0713 Lot No.:	Cor	ncession No.:	Parce		Broder	vvarq:		
	Subdivision Plan No.: M	_	Lot: 25			Plan No.:	-	Part(s):	
	Municipal Address or St	reet(s	: 340 St. Charles Lake	Road, S	Sudk	oury, ON F	3E 5G5		
7)	Date of acquisition of su	bject I	and. December 10, 202	20					
8)	Dimensions of land affect	cted.							
	Frontage 30 (	<u>m)</u>	Depth Irregular (m)	Area 210	00	(m <sup>2</sup> )	Width of Str	eet 10	(m)
9)	Particulars of all building	s:	Existing				Propose	d	
	Ground Floor Area:	Blo	to A = 288 BLDG B=14	44.5 (m <sup>2</sup>	i.	no chanc	w	-	(m <sup>2</sup> )
	Gross Floor Area:	Blo	dg A = 288 BLDG B=1	44.5 (m²	7	no chang			(m <sup>2</sup>
	No. of storeys:	_	A = 1 BLDG B=1	7	_	no change			(ma)
	Width: Length:		dg A = 9 BLDG B=7	(m) 5 (m)	_	no chang			(m) (m)
	Height:		ig A = 14 BLDG B=15. ig A = 4 BLDG B=4	(m)	-	no chang			(m)
	8 3 3 3 4 4 4 5 5 5 5 5 5 5 5 5 5 5 5 5 5	DIC	IN A P DEDO D-T		-	TIO OTION	10		<b></b>
10)	lot lines).		ructures on or proposed for Existing			and the second s	Proposed		
	Front: Rear:	밁	ia A = 15 BLDG B=49	(m) (m)		no chanc			(m) (m)
	Side:	BIG	lg A = 44 BLDG B=10 lg A = 4 BLDG B=2	(m)		no chang			(m)
	Side:		ig A = 12 BLDG B=18	(m)		no chan			(m)
11)	What types of water sup drainage are available?		ewage disposal and storm			What type	of access to th	ne land?	
	Municipally owned & ope			7		Provincial I			
		erated	l sanitary sewage system	1977.00		Municipal F			_
	Lake Individual Well						ined Yearly Ined Seasonal	V	
	Communal Well					Right-of-wa			
	Individual Septic System					Water	a la buwatar	anhi neovida	norking
	Communal Septic Syste Pit Privy	Ш					ss Is by water o cking facilities		
	Municipal Sewers/Ditche	es/Sw	ales				J		
12)	Date(s) of construction of 1957 (B) and 1970 (A)	of all b	uildings and structures on	the subjec	et lan	d.			
13)	Existing use(s) of the su	blect i	property and length of time	It / they h	ave o	continued.			
•	10 607 ( 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	.,		50120 FOR #2 NX					
	Use(s): two dwelling			Leng	th of	time: since	1970s		
14)	Proposed use(s) of the s	ubjec	t property.						
	Same as #13 📮 or,								
15)	What is the number of d								
16)	If this application is appr	oved.	would any existing dwelling	g units be	legal	lized?	☐ Yes	□ No	
			,			NO 20 7/2		17 T.	

If "yes", how many? 1

17) Existing uses of abutting properties: residential

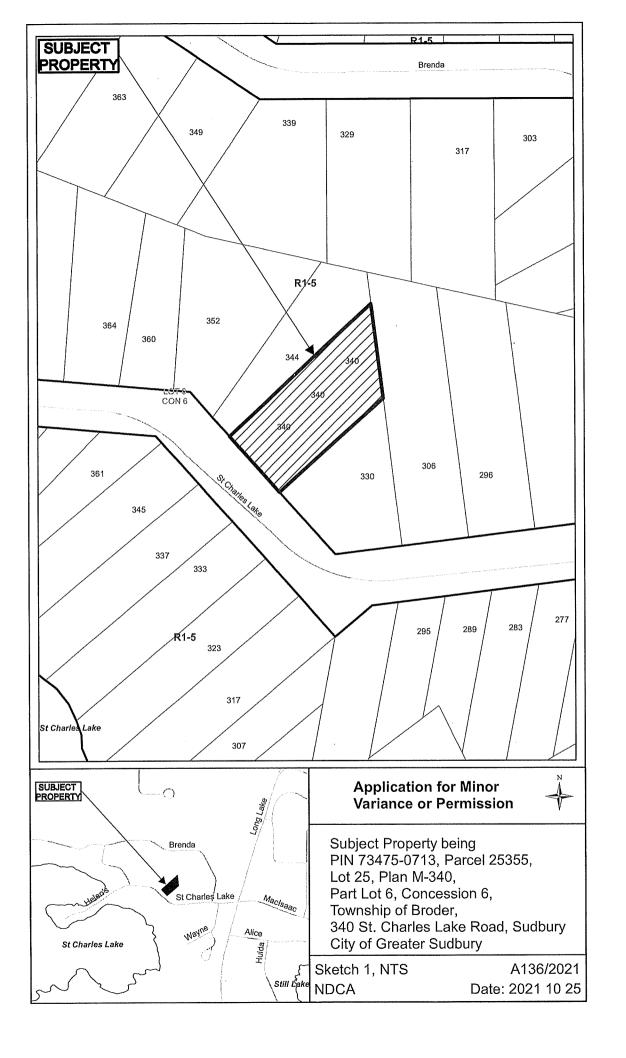
A013612031

Application for minor variance page 3 of 4
18) To the best of your knowledge has the subject land over been subject of a previous application for minor variance/permission? Dives Bito
if "yos", bullento the application member(e):
19) is the property line அத்துவிறர் உள்ளர் சுறந்துதொரு for Consent (1ஆ கல்லாயுகை) பாக்க வெள்ள 62 of the Plandlog Ad., R.S.O. 1960 உடிர்? புர்க் புர்க
If Jass, milicale application numberlie) and airtins of application(s):
20) is the properly the subject of a current application for a Plan of Subdivision under Section 61 of the Planning Act, R.S.O. 1980, 6.P.18, or its predecessors? $\Box$ Yes $\Box$ No
l'Yes', indicate application number(s) and status of application(s);
21) is this property boosted within an area subject to the Greater Budbury Sounde Protection Plan?  13 Yes
If "yes", provide dates on how the property is designated in the Source Protection Plan.
PART A: OWNER ACKNOWLEDGEMENT AND CONSENT
wa, Sahrira A. Hannah Julawa primati
ences), the individual camental or the beneath absorption as
Gollection, the end Disclosure of Information:  a) acknowledge that percend intermedian collected on this form is reflected pursuant to the Planning Act, R.C.O.  1966, c.P.13 for the propose of processing this planning application;
b) Acknowledge that is the practice of the City of Oracler Endbury, is reconstance with section 1,0.1 of the Planning Act, R.S.O. 1986, c.P. 13, to provide public access to all plainting applications and decuments, including but not finded to reports, aludes and drawings, required by the City of Greater Sudderly in support of this application ("Supporting Decumentation") and provided to the City by me, my agents, my consultants and my solicities.
<ul> <li>in accordingos with the Municipal Franciom of Information and Brahadon of Privacy Aci, consent to the use and disclosure of this application and any Supporting Decumentation, ladustre of any paragraph information, to any person of antity, in any martier chosen by the City; including copying, positing on the City's website, advertising in a newspaper, rottine distribution to members of council and in staff reports, or rotoucing to a trial party upon trial party request;</li> </ul>
<ul> <li>grant the City permission to reproduce, is whole or in part, the explication and Supporting Documentation for internal use, industion in size reports, distribution to the public for the purpose of public committed on or any other use associated with the purpose of review and implementation of the application;</li> </ul>
Authority to Enter Land and Photograph e) growths City permission to sitend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application:
O peknowledge that, in the event of a third party oppeal of this application (where applicates) to the Onlario Land Tribunal, the City of Greater Statistay may not alloud at the Onlario Land Tribunal heading unless the City is provided with the City's required fee for altendance at the housing:
Appointment of Authorized Agent
appoint and authorize 2293453 Orderto Inc.  The constant of Agents, we are anytour agent with regard to the application to the City of Greater Statistics, including that not include a receiving all correspondences alterating at any hearings, which any conditions, and providing any approveds or constant and follow, contains, and adopt as myldur own, the sole, representations, replace and commitments made by the eigent on mylour behilf.
Dujod little 7th day of October, 1 20 21
J. Hannak
(willgons) Eigenflow of Gymelle) or Blaining Officer or Authorized Agent
Print Nothing Sathlina A. Hannah
"I blied at Wholly at Wholly at Wholly and the avert in

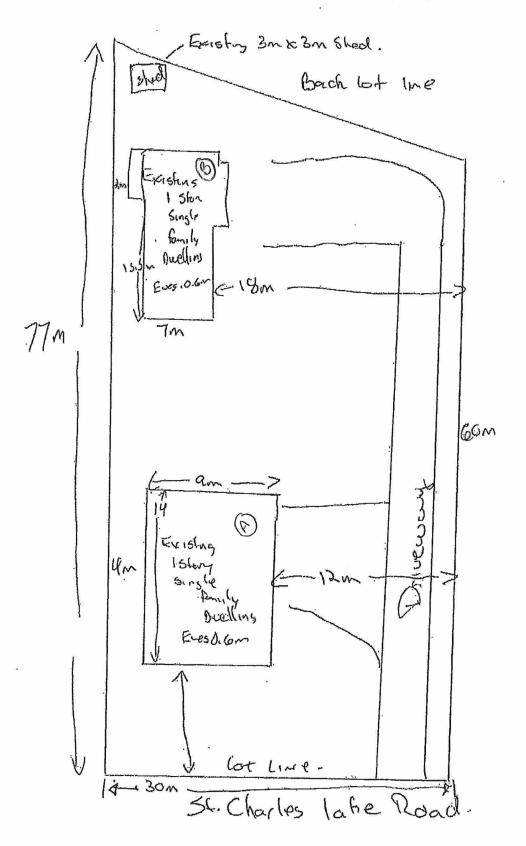
Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

# Date of Receipt: Nov. 25/21 Hearing Date: December 22. 2021 Received By: N. Louis Zoning Designation: Q1-5 Resubmission: DYes DNo Previous File Number(s): A0212/1980 Previous Hearing Date: January 19, 1921 Notes:

A0136/2021



# 340 St. Charles Cake Road.



A0136/2021 Setch 2



Description of Proposal:

Desired built form and existing lot size.

**Box 5000, Station** 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

Office	Use Only 20.01.01
A 0149	112021
<b>A</b> 0,149 S.P.P. A	ŔEA ,
YES	_ NO _√
NDCA R	EG. AREĄ
YES	_ NO <u>√</u>

# City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

### considered public information and shall be made available to the public. PLEASE PRINT, SCHEDULES MAY BE INCLUDED, IF NECESSARY. The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended. Registered Owner(s): ARCHEAN DEVELOPMENT CORP. Email Mailing Address: らのメ 10うち Home Business Phone: Postal Code: POM IX Fax Phone: If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify. Name of Agent: TULLOCH Engineering Email: Mailing Address: 1942 Regent Street Unit L Home Phone: Business Phone: Postal Code: P3E 5V5 Fax Phone: City: Sudbury Note: Unless otherwise requested, all communication will be sent to the agent, if any. Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application). Name: ARCHEAN DEVELOPMENT CORP. Mailing Address: Postal Code: City: Current Zoning By-law designation: R1-5 4) Current Official Plan designation: Living Area 1 a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric. By-law Requirement Proposed Difference Variance To 5.60m 1.9m 7.50m Rear Yard Setback (m) b) Is there an eave encroachment? □ Yes ✓ No If 'Yes', size of eaves:

Development of a single detached dwelling and attached garage with permission to allow a rear yard setback of 5.60m where

Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

6)	Legal Description (include	e any abutting property register	ed under the sam	e ownership).		
	PIN(s): 733750928		Townshii	p: WATERS	Ward: $\partial_{\mathbf{r}}$	
	Lot No.: 4	Concession No.: 4	Parcel(s)			
	Subdivision Plan No.:	Lot:		e Plan No.: 5	3R20221 Part(s):	7 & 8
		reet(s):-16-JESSIE-ST, LIVELY		ATMC ICA	Stocch	
	Transpart autob of o		,	<u> </u>		<b>V</b>
		•				
7)	Date of acquisition of su	ıbject land. 07/10/2020				
8)	Dimensions of land affe	rted				
٠,	Differisions of land and	oteu.				
	Frontage 18.50	(m) Depth 30.0 (m)	Area 550	(m²)	Width of Street 20.0	(m)
٥١	Portioulars of all building	ne: Evietina			Dranga	
9)	Particulars of all building Ground Floor Area:		s (m²)		Proposed	(m <sup>2</sup> )
		No existing buildings or structure	(111 )	145.87		
	Gross Floor Area:	<b>33</b>	(m²)	145.87		(m <sup>-</sup> )
	No. of storeys:	11	(m)	1		(m)
	Width:	u	(m)	8.53		(m)
	Length:	"	(m)	18.2		(m)
	Height:	11	(111)	4.0		(117)
10)	Location of all buildings	and structures on or proposed	for the cubiact la	nde (enecify di	istances from side rear	and front
10)	lot lines).	Existing	ioi tile subject lai	ilda (apecily di	Proposed	and none
	Front:	_	tures (m)	6.15	Поросси	(m)
	Rear:	No existing buildings or struc	(m)	5.65		(m)
	Side:	tī	(m)	5.10		(m)
	Side:	18	(m)	4.85		(m)
	O.G.O.		, , , , , , , , , , , , , , , , , , ,	4.00		
11)		oply, sewage disposal and sto	orm	What type	of access to the land?	
	drainage are available?	•				
	Municipally owned & or	erated piped water system	. =	Dravinaial	Lliahum	
		perated sanitary sewage system	em 🖸	Provincial I Municipal I		L
	Lake	erated samtary sewage syste	; [Z]		ined Yearly	<b>7</b>
	Individual Well				ined Seasonal	
	Communal Well			Right-of-wa	ay	
	Individual Septic Syster	n		Water		
	Communal Septic Syste	em			ss is by water only, prov	
	Pit Privy		□	and do	cking facilities to be use	ed.
	Municipal Sewers/Ditch	es/Swales				
121	Date(s) of construction	of all buildings and structures	on the subject la	ınd.		
,	N/A		,			
	INA					
13)	Existing use(s) of the si	ubject property and length of	time it / they have	e continued.		
	Use(s): Vacant (former in	actitutional)	l ength (	of time: 15+ Ye		
	Use(s). Vacant (former ii	nstitutional)	Longin	51 titilo: 15+ 46	ears .	
14	Proposed use(s) of the	subject property.				
	Same as #13 ☐ or,	Residential				
15	Mhat is the number of o	dwelling units on the property	?			
10,	, viriacio die namber or c	arrowing arms on the property	. 0			
					•	
16	) If this application is app	roved, would any existing dw	elling units be leg	galized?	□ Yes 🛛 No	
	168					
	If "yes", how many?					
17	) Existing uses of abuttin	g properties: Vacant, residentia	l and onen enace			
	. •	- vacant residenta	and opon space			

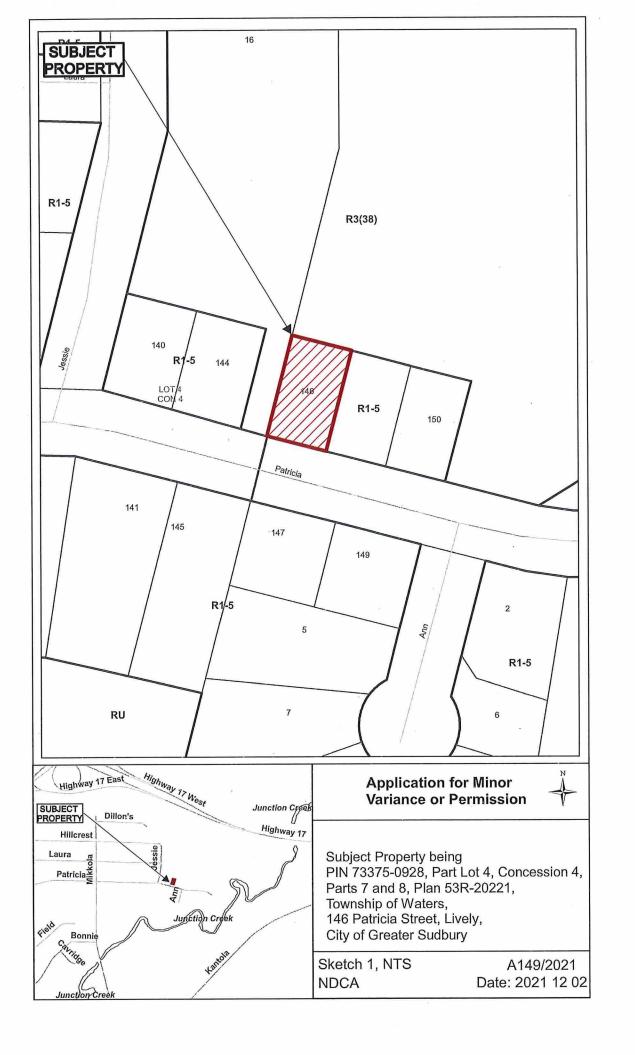
A0149/2021

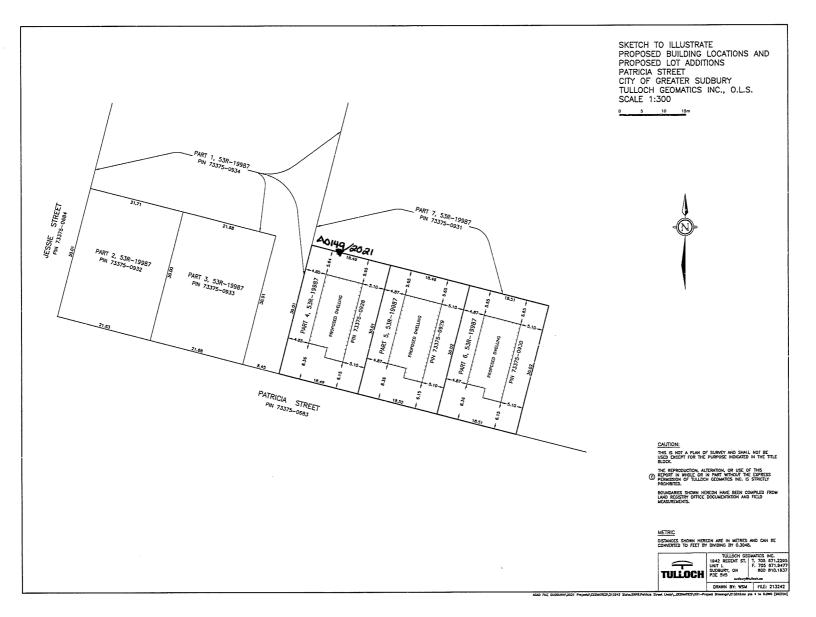
# APPLICATION FOR MINOR VARIANCE

	To the best of your knowledge variance/permission?	has the subject lar ⊐ Yes   ☑ No		ct of a previous applicati	on for minor
	If "yes", indicate the application or, describe briefly,	number(s):			
19)	Is the property the subject of a R.S.O. 1990 c.P.13?		ı for Consent (i.e. s	everance) under Sectior	n 53 of the Planning Act,
	If "yes", indicate application nu	mber(s) and status	of application(s):		
20)	Is the property the subject of a R.S.O. 1990, c.P.13, or its pred	current application decessors?	n for a Plan of Subd □ Yes   ☑ No		of the Planning Act,
	If 'Yes', indicate application nu	mber(s) and status	of application(s):		
21)	Is this property located within a ☐ Yes ☐ No		he Greater Sudbur	y Source Protection Plan	n?
	If "yes", provide details on how	the property is desi	gnated in the Source	e Protection Plan	
PA	RT A: OWNER ACKNOW	/LEDGEMENT	AND CONSEN		
	e, ARCHEAN DEVELOPMENT C			_	(please print all
nan	nes), the registered owner(s) of the	ne property describe	ed as		
	PT LT 4 CON 4 WATERS PARTS 7 AND 8, 53R20	221 SRO; WATERS S/T EASI	EMENT IN GROSS OVER PT 7	53R20221 AS IN SD268330 CITY OF C	GREATER SUDBURY
ın t	he City of Greater Sudbury:				
Co a)	llection, Use and Disclosure of acknowledge that personal info 1990, c.P.13 for the purpose o	ormation collected	on this form is colle	ected pursuant to the Pla	anning Act, R.S.O.
b)	acknowledge that it is the prac Planning Act, R.S.O. 1990, c.F but not limited to reports, studi application ("Supporting Docus solicitors;	P.13, to provide pu es and drawings, r	blic access to all pla equired by the City	anning applications and of Greater Sudbury in s	documents, including support of this
c)	in accordance with the <i>Municij</i> disclosure of this application a person or entity, in any mannenewspaper, routine distribution party request;	nd any Supporting r chosen by the Ci	Documentation, in ity, including copying	clusive of any personal i g, posting on the City's	information, to any website, advertising in a
d)	grant the City permission to re internal use, inclusion in staff i use associated with the purpo	eports, distribution	to the public for the	e purpose of public cons	ocumentation for sultation or any other
Au e)	thority to Enter Land and Pho grant the City permission to at part of the City's review and p	tend, photograph	and conduct inspec pplication;	tions of the lands subjec	or to this application as
f)	acknowledge that, in the even Appeal Tribunal, the City of Gi the City is provided with the C	eater Sudbury ma	y not attend at the I	_ocal Planning Appeal 1	to the Local Planning Fribunal hearing unless
Аp	pointment of Authorized Age	nt			
g)	appoint and authorize name of Agent), to act as my/limited to receiving all correspo or consents and ratify, confirm, the agent on my/our behalf.	ndence, attending a and adopt as my/o	at any hearings, fulfil ur own, the acts, rep	ling any conditions, and presentations, replies and	providing any approvals commitments made by
	Dated this 8th	day of Novem	ber	4,	, 20 21
	Dated this 8th  Carlo DiCarlo (witness)		M.	· 	
	(witness)		signature of Owne	r(s) or Signing Officer or	Authorized Agent
			Print Name: Mari	( Foresi	
			*I have authority to	bind the Corporation	A049/2021

and complete, and I/we make this solemn declaration conscientiously believing it to be true same force and effect as if made under oath.	orting Documentation are true e and knowing that it is of the
solemnly declare that all of the statements contained in this application and in the Supposand complete, and I/we make this solemn declaration conscientiously believing it to be true same force and effect as if made under oath.  Dated this	orting Documentation are true e and knowing that it is of the
solemnly declare that all of the statements contained in this application and in the Support and complete, and I/we make this solemn declaration conscientiously believing it to be true same force and effect as if made under oath.  Dated this	e and knowing that it is of the
David Gien Tutloch a Commissioner, etc., Province of Ontario, for TULLOCH Engineering Inc. Expires Feb 20th, 2024  Commissioner of Oaths  Signature of Wwner(s) or Signing to the Where a Corporation  Print Name:  * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she	e and knowing that it is of the
David Gien Tufloch a Commissioner, etc., Province of Ontario, for TULL.OCH Engineering Inc. Expires Feb 20th, 2024  Commissioner of Oaths  Signature of Wwner(s) or Signing to the Where a Corporation  Print Name:  * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she	Officer or Authorized Agent
a Commissioner, etc., Province of Ontario, for TULLOCH Engineering Inc. Expires Feb 20th, 2024  Commissioner of Oaths  Signature of Wwner(s) or Signing (*where a Corporation)  Print Name:  * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she	a SMHH
	e has authority to bind the
FOR OFFICE USE ONLY	
	ved By: N. Lewis
Zoning Designation: R₁- 2 Resubmission: ☐ Yes ☑ No	
Previous File Number(s): Booos/ aut 3	
Previous Hearing Date: February 14, 2013	
Notes:	

PO149/2021





A0149/2021 Sketch 2



Box 5000, Station 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

# A 0160/2021 S.P.P. AREA YES \_\_\_\_ NO \_\_\_ NDCA REG. AREA YES \_\_\_\_ NO \_V

# **City of Greater Sudbury APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

CA	PLICATION FEE FOR HEDGEROWS: SH, DEBIT OR CHEQUE MADE PAYA	<b>\$299.00 (includes \$23</b> BLE TO: <b>CITY OF GRE</b>	, 5.00 legal notice f ATER SUDBURY	ee)	
qu Ap rec	rsonal information on this form is col estions regarding the collection of thi provals. In accordance with Section 1 juired to be provided to a municipality nsidered public information and shall	s information may be .0.1 of the <i>Planning A</i> or approval authority	directed to the Ma ct, R.S.O. 1990 in as part of this as	anager of Developm formation and mate	ient
PL	EASE PRINT. SCHEDULES MAY BI	E INCLUDED, IF NEC	ESSARY.		;
1)	The undersigned hereby applies to the Con of the Planning Act R.S.O. 1990, c.P. 13 for	nmittee of Adjustment of the relief, as described in this	ne City of Greater Su s application, from th	dbury under Section 4 e By-Law, as amended	5 d.
	Registered Owner(s): ARCHEAN DEVELOPM	IENT CORP.	Email:		
	Mailing Address: 20X 1075		Home Phone		
	City: CODORC ( ) CF	Postal Code: Or \( \mathcal{N} \)	Business Phone:	one;	
	city: Copper (LIFF	1 Ostal Code: (20)(1)	TVC) Fax Prione.		
2)	If the application will be represented by som prepared and submitted by someone other.  Name of Agent: TULLOCH Engineering  Mailing Address: 1942 Regent Street Unit L	neone other than the regis than the registered owner	(s), please specify.  Email:		·
	Walling Address. 1942 Regent Street Unit L		Home Phone Business Ph		
	City: Sudbury	Postal Code: P3E 5V5	Fax Phone:	one.	
3)	Note: Unless otherwise requested, all common Names and mailing addresses of any mortg to ensure that any individual, company, final notified of this application).	agees, holders of charges	or other encumbran	ces. (Give full particula subject lands can be	ırs
	Name: ARCHEAN DEVELOPMENT CORP.				
	Mailing Address:				
	City:	Postal Code:			
4)	Current Official Plan designation: Living Area	1 Current	Zoning By-law desig	nation: R1-5	
F1\	a) Nature and extent of relief from the Zonin				
5)	variances are being sought, a schedu be in metric.	g By-law for which the appile may be attached to the	plication is being made application form)	de. (If more than five . Measurements mus	t
5)	variances are being sought, a schedu	g By-law for which the ap ile may be attached to the By-law Requirement	plication is being man ne application form) Proposed	de. (If more than five . Measurements mus Difference	t
5)	variances are being sought, a schedu be in metric.	le may be attached to the	ne application form)	. Measurements mus Difference	t
5)	variances are being sought, a schedube in metric.  Variance To	By-law Requirement	Proposed	. Measurements mus	t
5)	variances are being sought, a schedube in metric.  Variance To	By-law Requirement	Proposed	. Measurements mus Difference	t
5)	variances are being sought, a schedube in metric.  Variance To	By-law Requirement	Proposed	. Measurements mus Difference	t
5)	variances are being sought, a schedube in metric.  Variance To	By-law Requirement	Proposed	. Measurements mus Difference	t
5)	variances are being sought, a schedube in metric.  Variance To	By-law Requirement	Proposed	. Measurements mus Difference	t
	variances are being sought, a schedube in metric.  Variance To  Rear Yard Setback	By-law Requirement	Proposed	Difference 1.90m	t (m)
1	variances are being sought, a schedube in metric.  Variance To  Rear Yard Setback  b) Is there an eave encroachment?	By-law Requirement 7.50m	Proposed 5.60m	Difference 1.90m	
1	variances are being sought, a schedube in metric.  Variance To  Rear Yard Setback  b) Is there an eave encroachment?	By-law Requirement 7.50m  1 Yes  No	Proposed 5.60m	. Measurements mus  Difference  1.90m  res:	(m)

15) What is the number of dwelling units on the property? $_{0}$ 

If "yes", how many?

16) If this application is approved, would any existing dwelling units be legalized?

17) Existing uses of abutting properties: Vacant, residential and open space

140A5012021

☐ Yes

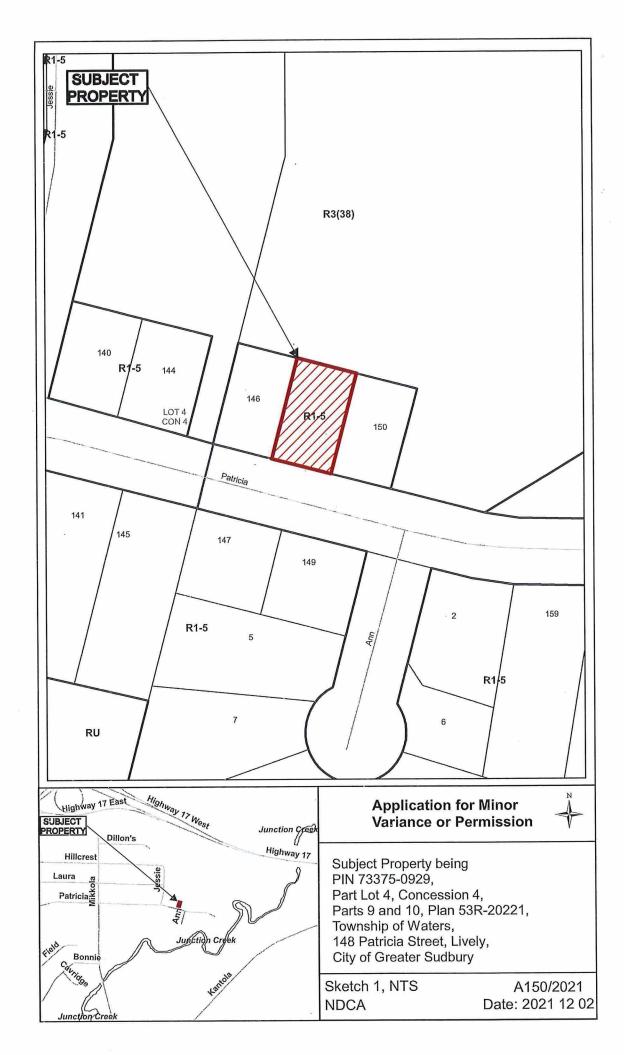
☑ No

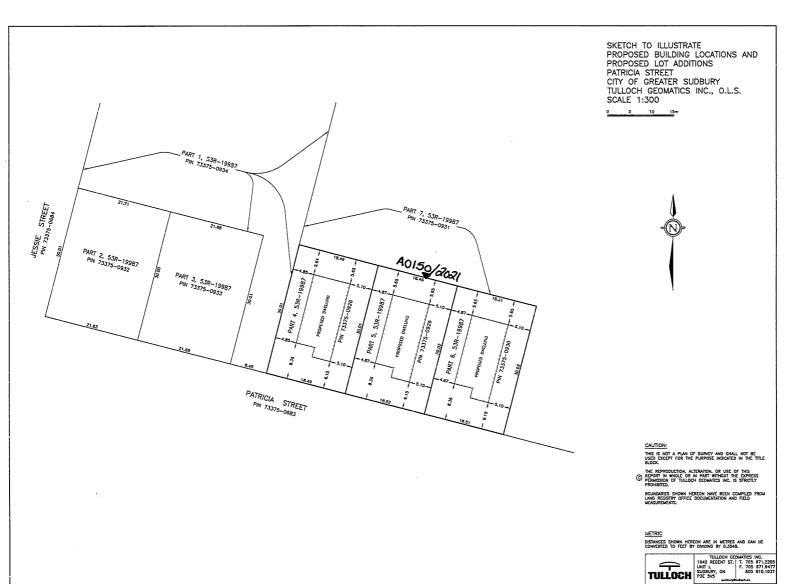
18	l) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☑ No
	If "yes", indicate the application number(s):
19	) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☑ No
	If "yes", indicate application number(s) and status of application(s):
20	) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☑ No
	If 'Yes', indicate application number(s) and status of application(s):
21	) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes     ☑ No
	If "yes", provide details on how the property is designated in the Source Protection Plan
P/	ART A: OWNER ACKNOWLEDGEMENT AND CONSENT
	/e, ARCHEAN DEVELOPMENT CORP. (please print all
	mes), the registered owner(s) of the property described as RT LOT 4 CON 4 WATERS PARTS 9 AND 10, 53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PART 9 53R20221 AS IN SD268330 CITY OF GREATER SUDBURY
in t	he City of Greater Sudbury:
_	
Co a)	<b>Ilection, Use and Disclosure of Information:</b> acknowledge that personal information collected on this form is collected pursuant to the <i>Planning Act,</i> R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
b)	acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the <i>Planning Act</i> , R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
c)	in accordance with the <i>Municipal Freedom of Information and Protection of Privacy Act</i> , consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
d)	grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;
Aut e)	thority to Enter Land and Photograph grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
f)	acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;
App	pointment of Authorized Agent
a)	appoint and authorize
3,	appoint and authorize (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.
	Dated this 8th day of November , 20 21
	(witness)  Carlo DiCarlo  signature of Owner(s) or Signing Officer or Authorized Agent
	signature of Owher(s) or Signing Officer or Authorized Agent
	Print Name: Mark Foresi

\*I have authority to bind the Corporation

We, TULLOCH Engineering		(please print all names)
e registered owner(s) or autho	prized agent of the property described as	
RT LOT 4 CON 4 WATERS PARTS 9 AND 10,	53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PART 9 53R20221 AS	6 IN SD268330 CITY OF GREATER SUDBURY
the City of Greater Sudbury:		
olemnly declare that all of th nd complete, and I/we make ame force and effect as if ma	e statements contained in this application and in this solemn declaration conscientiously believing it de under oath.	ne Supporting Documentation are true to be true and knowing that it is of the
ated this St	day of Novembel	, 20 2 1
David Glen Tulloch a Commissioner, etc., Pro for TULLOCH Engineerin Expires Feb 20th, 2024		4
ommissioner of Oaths	signature of Owne/(s) or (*where a Corporation)	Signing Officer or Authorized Agent
Where the owner is a firm or corporation or affix the corporation	Print Name: \(\sum_{\text{UC}}\sum_{\text{V}}\) *I have authority to bind the corporation, the person signing this instrument shall state ate seal.	·
corporation or affix the corpora	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.	·
	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.	·
OR OFFICE USE ONLY	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.	·
OR OFFICE USE ONLY  Date of Receipt: 1/04	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.	that he/she has authority to bind the
OR OFFICE USE ONLY  Date of Receipt: 1/04	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.  *POO! Hearing Date: Dec. 23, 253!  *Resubmission: □ Yes ☒ No	that he/she has authority to bind the
OR OFFICE USE ONLY  Date of Receipt: 1/04	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.  *POO! Hearing Date: Dec. 23, 253!  *Resubmission: □ Yes ☒ No	that he/she has authority to bind the
OR OFFICE USE ONLY  Date of Receipt: 1/04	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.  *POO! Hearing Date: Dec. 23, 253!  *Resubmission: □ Yes ☒ No	that he/she has authority to bind the
OR OFFICE USE ONLY  Date of Receipt: 1/04	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.  *POO! Hearing Date: Dec. 23, 253!  *Resubmission: □ Yes ☒ No	that he/she has authority to bind the
OR OFFICE USE ONLY  Date of Receipt: 1/04	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.  *POO! Hearing Date: Dec. 23, 253!  *Resubmission: □ Yes ☒ No	that he/she has authority to bind the
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OR OFFICE USE ONLY  Date of Receipt: 1/04	*I have authority to bind the corporation, the person signing this instrument shall state ate seal.  *POO! Hearing Date: Dec. 23, 253!  *Resubmission: □ Yes ☒ No	that he/she has authority to bind the

A015012021





AUSO/202

DRAWN BY: WSM FILE: 213242



c) Description of Proposal:

Desired built form and existing lot size.

Box 5000, Station 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

Office Us 2020.0	1.01
<b>A</b> 0151/ S.P.P. ARE	2021
S.P.P. ARE	A
YES	ио <u>√</u>
NDCA REG	. AREA
YES	ио _✓

# **City of Greater Sudbury APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee) CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any

Ap rec	estions regarding the collection of this in provals. In accordance with Section 1.0. juired to be provided to a municipality of nsidered public information and shall be	1 of the <i>Planning A</i> or r approval authority	ct, R.S.O. 1990 inf as part of this ap	ormation and materia	
ŖĽ	EASE PRINT. SCHEDULES MAÝ BE II	NCLUDED, IF NEC	ESSARY.		
1)	The undersigned hereby applies to the Commi of the Planning Act R.S.O. 1990, c.P. 13 for rel	•	•	-	
	Registered Owner(s): ARCHEAN DEVELOPMEN	T CORP.	Email:		
	Mailing Address: BOX 1075		Home Phone		
,	city: Copper Clif	Postal Code: POW	Business Phone:	one:	
Y	sis copper citi		770 - 227 - 1101101		
2)	If the application will be represented by someo prepared and submitted by someone other that	-		or the application is	
	Name of Agent: TULLOCH Engineering		Email:		
	Mailing Address: 1942 Regent Street Unit L		Home Phone		
	City of the contract of the co	Postal Code: P3E 5V5	Business Ph Fax Phone:	one:	
	City: Sudbury  Note: Unless otherwise requested, all commur				
	to ensure that any individual, company, financia notified of this application).  Name: ARCHEAN DEVELOPMENT CORP.  Mailing Address:	al institution holding a n	nortgage, etc. on the	subject lands can be	
	City:	Postal Code:			
4) 5)	Current Official Plan designation: Living Area 1  a) Nature and extent of relief from the Zoning E variances are being sought, a schedule	Current By-law for which the ap		de. (If more than five	
	be in metric.	may be attached to the	e application form	j. Weasurements must	
	Variance To	By-law Requirement	Proposed	Difference	
	Rear Yard Setback	7.50m	5.60m	1.90m	
		Lan-vanian a series			
	b) Is there an eave encroachment?	Yes 🗸 No	If 'Yes', size of ea	ves:(	(m)

Development of a single detached dwelling and attached garage with permission to allow a rear yard setback of 5.60m where

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

		VARIANCE

PAGE 2 OF 4

6)	Legal Description (include	any abutting property regi	stered un	der the same	e ownership).			
	PIN(s): 733750930			Township	: WATERS	Ward:		
	Lot No.: 4	Concession No.: 4		Parcel(s)		WILLIAM TO THE TOTAL THE TOTAL TO THE TOTAL TOTAL TO THE		
	Subdivision Plan No.:	Lot:			e Plan No.: 5		art(s): 1	
	Municipal Address or St	reet(s): 16 JESSIE ST, LIVE	LY, P3Y	TAZ PCA	tricica_	Street		<u> 4</u>
7)	Date of acquisition of su	bject land. 07/10/2020		-	-			
8)	Dimensions of land affect	cted.			. 2.			
	Frontage 18.50 (	m) Depth 30.0 (	(m) <i>F</i>	Area 550	(m <sup>2</sup> )	Width of Stree	t 20.0	(m)
9)	Particulars of all building	s: Existing		. 2.		Proposed		, 2,
	Ground Floor Area:	No existing buildings or struc	tures	(m <sup>2</sup> )	145.87			(m <sup>2</sup> )
	Gross Floor Area:			(m~)	145.87			(m²)
	No. of storeys:				1			
	Width:	11		(m)	8.53			(m)
	Length:	#		(m)	18.2			(m)
	Height:	11		(m)	4.0m			(m)
10)	Location of all buildings a lot lines). Front:	and structures on or propos Existing	g	e subject lar (m)		stances from sid Proposed	e, rear a	nd front
	Rear:	No existing buildings or st	tructures	(m)	6.15 5.65			(m)
	Side:	11		(m)				(m)
	Side:	16		(m)	5.10 4.87			(m)
	Side.			(1117	4.87			1111/
11)	drainage are available?  Municipally owned & op	ply, sewage disposal and erated piped water system	ו	[7]	What type Provincial I	of access to the	land?	
	Municipally owned & op	erated sanitary sewage sy	/stem	<u> </u>	Municipal F			
	Lake					ned Yearly		<u> </u>
	Individual Well					ined Seasonal		
	Communal Well	_			Right-of-wa Water	y		
	Individual Septic Systen Communal Septic Syste					ss is by water onl	v provid	
	Pit Privy	1111				cking facilities to		
	Municipal Sewers/Ditch	es/Swales						
12)	Date(s) of construction on N/A	of all buildings and structu	res on th	e subject la	nd.			
13)	Existing use(s) of the su	bject property and length	of time it	/ they have	continued.			
	Use(s): Vacant (former in	stitutional)		Length o	of time: 15+ Ye	ears .		
14)	Proposed use(s) of the	subject property.						
	Same as #13 ☐ or,	Residential						
15)	What is the number of d	welling units on the prope	rty? <sub>0</sub>					
16)	If this application is app	roved, would any existing	dwelling	units be leg	alized?	□ Yes [	∑ No	
	If "yes", how many?							
17)	Existing uses of abutting	g properties: Vacant, reside	ntial and c	pen space				

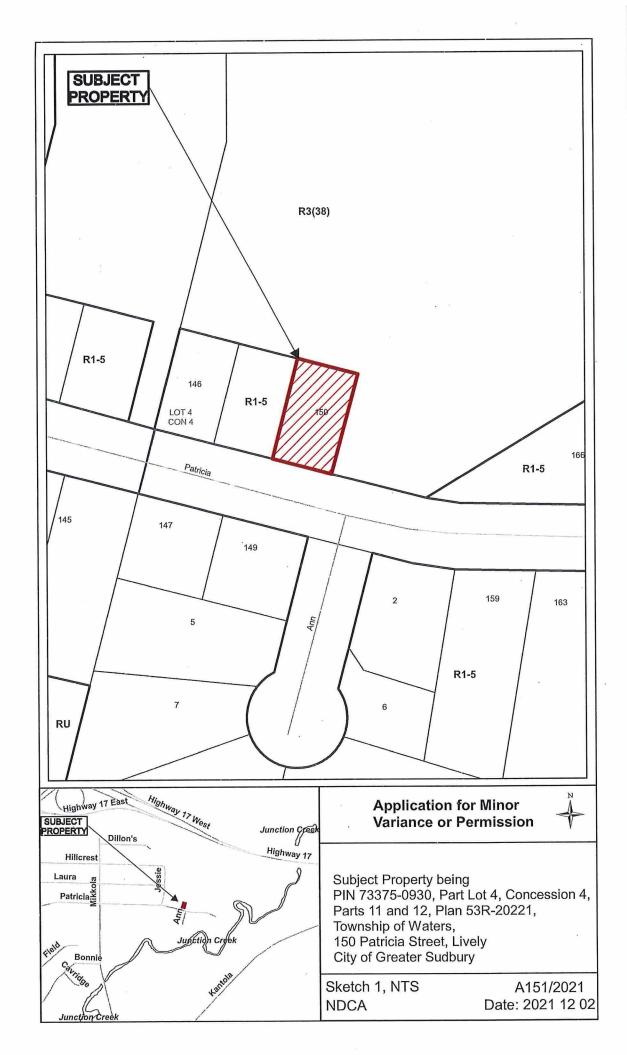
40151/2021

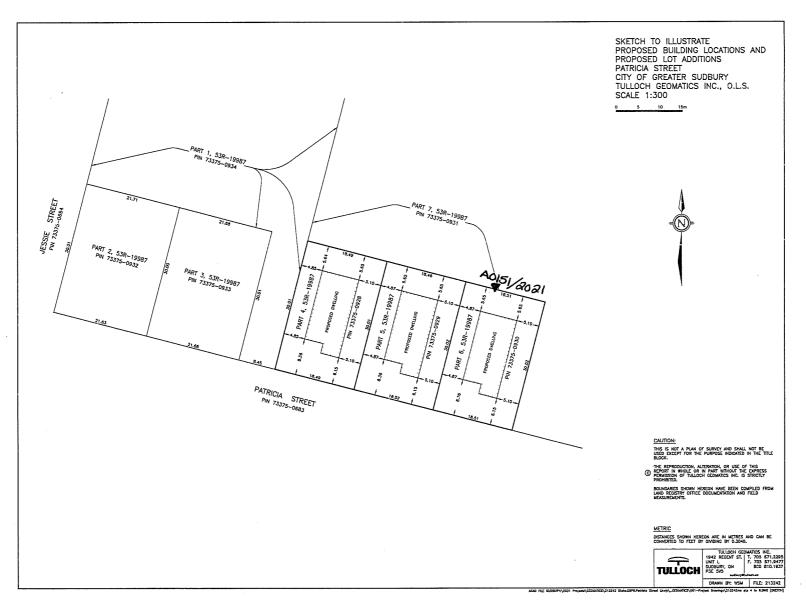
P/	١G	П	₹.	0	1	1	ı

18)	To the best of your knowledge has the subject la variance/permission? ☐ Yes ☑ No	· · · · · · · · · · · · · · · · · · ·	on for minor
	If "yes", indicate the application number(s): or, describe briefly,		
19)	Is the property the subject of a current application R.S.O. 1990 c.P.13? ☐ Yes ☐ No.		n 53 of the Planning Act,
	If "yes", indicate application number(s) and statu	s of application(s):	
20)	Is the property the subject of a current application R.S.O. 1990, c.P.13, or its predecessors?	n for a Plan of Subdivision under Section 51 □ Yes   ☑ No	of the Planning Act,
	If 'Yes', indicate application number(s) and statu	s of application(s):	
21)	Is this property located within an area subject to ☐ Yes ☑ No	the Greater Sudbury Source Protection Plan	1?
	If "yes", provide details on how the property is des	ignated in the Source Protection Plan	*
PA	RT A: OWNER ACKNOWLEDGEMENT	AND CONSENT	
I/W	e, ARCHEAN DEVELOPMENT CORP.		(please print all
	nes), the registered owner(s) of the property describ		- ADDITION OF THE CONTRACT OF
	tt Lot 4 con 4 waters parts 11 & 12, 59r20221 sro; waters 9/t ease he City of Greater Sudbury:	MENT IN GROSS OVER PART 11 53R20221 AS IN SD268330 CTTY OF	F GREATER SUDBURY
Co	llection, Use and Disclosure of Information:		
a)	acknowledge that personal information collected 1990, c.P.13 for the purpose of processing this p		anning Act, R.S.O.
b)	acknowledge that it is the practice of the City of <i>Planning Act</i> , R.S.O. 1990, c.P.13, to provide pubut not limited to reports, studies and drawings, application ("Supporting Documentation") and proolicitors;	iblic access to all planning applications and required by the City of Greater Sudbury in s	documents, including upport of this
c)	in accordance with the <i>Municipal Freedom</i> of <i>Int</i> disclosure of this application and any Supporting person or entity, in any manner chosen by the C newspaper, routine distribution to members of coparty request;	g Documentation, inclusive of any personal i ity, including copying, posting on the City's v	nformation, to any website, advertising in a
d)	grant the City permission to reproduce, in whole internal use, inclusion in staff reports, distributior use associated with the purpose of review and in	n to the public for the purpose of public cons	ocumentation for sultation or any other
Au e)	thority to Enter Land and Photograph grant the City permission to attend, photograph part of the City's review and processing of this a		t to this application as
f)	acknowledge that, in the event of a third party at Appeal Tribunal, the City of Greater Sudbury matthe City is provided with the City's required fee f	ly not attend at the Local Planning Appeal T	o the Local Planning ribunal hearing unless
Аp	pointment of Authorized Agent		
g)	appoint and authorize name of Agent), to act as my/our agent with reg limited to receiving all correspondence, attending a or consents and ratify, confirm, and adopt as my/o the agent on my/our behalf.	at any hearings, fulfilling any conditions, and p	roviding any approvals
	Dated this 8th day of Novem	ber	, 20 21
	Carlo DiCarlo		
		signature of Owner(s) or Signing Officer or A	Authorized Agent
	(witness)	Print Name: Mark Foresi	Tata on Page 11
		*I have authority to bind the Corporation	P0161/2021

We, TULLOCH	Engineering		(please print all names
ne registered ow	vner(s) or authorized agent of the pro	pperty described as	
ART LOT 4 CON 4 WATE	ERS PARTS 11 & 12, 53R20221 SRO; WATERS S/T EAS	EMENT IN GROSS OVER PART 11 53R20221 AS IN	SD268330 CITY OF GREATER SUDBURY
the City of Gre	eater Sudbury:		
nd complete, a	e that all of the statements contain nd l/we make this solemn declarati effect as if made under oath.	ed in this application and in the on conscientiously believing it to	e Supporting Documentation are true of the bearing and knowing that it is of the
ated this	day of	Nov	20 21
a Committee	en Tulloch ssioner, etc., Province of Ontario, DCH Engineering Inc. reb 20th, 2024  f Oaths	signature of Owner(s) or s (*where a Corporation)	Signing Officer or Authorized Agent
	ner is a firm or corporation, the person saffix the corporate seal.	Print Name:	·
corporation or		*I have authority to bind the 0	·
corporation or  OR OFFICE  Date of Receip	affix the corporate seal.  USE ONLY  t: √ov. 202\ Hearing Date: 3	*I have authority to bind the $\alpha$ signing this instrument shall state the contract $\alpha$	·
CORPORATION OF CORPOR	affix the corporate seal.  USE ONLY  t: √ov. 202\ Hearing Date: 3	*I have authority to bind the o	at he/she has authority to bind the
COR OFFICE  Date of Receip  Zoning Design:  Previous File N  Previous Heari	affix the corporate seal.  USE ONLY  t: Nov. 2021 Hearing Date: 3 ation: R1-2 Resubmission: lumber(s): B0054/2013	*I have authority to bind the $\alpha$ signing this instrument shall state the contract $\alpha$	at he/she has authority to bind the
OR OFFICE  Date of Receip  Zoning Designary	affix the corporate seal.  USE ONLY  t: Nov. 2021 Hearing Date: 3 ation: R1-2 Resubmission: lumber(s): B0054/2013	*I have authority to bind the $\alpha$ signing this instrument shall state the contract $\alpha$	at he/she has authority to bind the
COR OFFICE  Date of Receip  Zoning Design:  Previous File N  Previous Heari	affix the corporate seal.  USE ONLY  t: Nov. 2021 Hearing Date: 3 ation: R1-2 Resubmission: lumber(s): B0054/2013	*I have authority to bind the $\alpha$ signing this instrument shall state the contract $\alpha$	at he/she has authority to bind the

A0151/2021





90,151,7071 Skotch 2



Box 5000, Station 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

Offic 20	e Use Only . 021.01.01
A015	2/20 <i>9</i> /
S.P.P.	AREA
YES_	NO
NDCA F	REG. AREA
YES_	NO

# **City of Greater Sudbury** APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

oi R	he undersigned hereby applies to the Co f the Planning Act R.S.O. 1990, c.P. 13 f	ommittee of Adjustment of the C	ily of Greater Su	dbury under Section	45
		or relier, as described in this ap	plication, from th	e By-Law, as amend	led.
	egistered Owner(s): HLM3Inc		Email: ∡		
IV	alling Address: 2106 South Sk	nore Koad	Home Phone Business Pho		
C	ity: Sodburg	Postal Code:구3G 1M3		5110,	
pr	the application will be represented by so repared and submitted by someone other	meone other than the registere r than the registered owner(s),	please specify.	or the application is	
M	ame of Agent: Tulloch Engineering ailing Address:		Email: Home Phone	a colle 7	_
		) Southshore Road	Business Phone		
C	ity: Sudbury	Postal Code: P3E 5V5	Fax Phone:	<del>-</del> -	
no Na	ames and mailing addresses of any mor ensure that any individual, company, fin tified of this application).  ame:	igagees, holders of charges or o ancial institution holding a morto	other encumbran gage, etc. on the	ces. (Give full partici subject lands can b	ulars
Na M	ensure that any individual, company, fin otified of this application).	igagees, holders of charges or dancial institution holding a morton process of the second	other encumbran gage, etc. on the	ces. (Give full partici subject lands can b	ulars
Na Ma Ci	ensure that any individual, company, fin olified of this application). arne: ailing Address:	ancial institution holding a morte	other encumbran gage, etc. on the	subject lands can b	ulars
Na Mi Ci	ensure that any individual, company, finotified of this application).  ame: ailing Address: ty:	Postal Code:  Current Zoni	gage, etc. on the	subject lands can b	e
Na Mi	ensure that any individual, company, fin otified of this application).  ame: ailing Address: ty:  urrent Official Plan designation; Rural  Nature and extent of relief from the Zon variances are being sought, a sched	Postal Code:  Current Zoni ing By-law for which the applica	gage, etc. on the	subject lands can b	e
Na Mi Ci	ensure that any individual, company, finotified of this application).  ame: ailing Address: ty: urrent Official Plan designation; Rural  Nature and extent of relief from the Zon variances are being sought, a sched be in metric.	Postal Code:  Current Zoni ing By-law for which the applica	gage, etc. on the ing By-law design ition is being mad pplication form)	nation: R1-1 de. (If more than fiv.	e
Na Mi Ci	ensure that any individual, company, fin otified of this application).  ame: ailling Address: ty:  urrent Official Plan designation; Rural  Nature and extent of relief from the Zon variances are being sought, a sched be in metric.  Variance To	Postal Code:  Current Zoniing By-law for which the applicatule may be attached to the	ing By-law designation is being macpplication form)  Proposed	nation: R1-1 de. (If more than fiv.) Difference	e
Na Mi Ci	ensure that any individual, company, fin otified of this application).  ame: ailling Address: ty:  urrent Official Plan designation; Rural  Nature and extent of relief from the Zon variances are being sought, a sched be in metric.  Variance To	Postal Code:  Current Zoniing By-law for which the applicatule may be attached to the	ing By-law designation is being macpplication form)  Proposed	nation: R1-1 de. (If more than fiv.) Difference	e
Na Mi	ensure that any individual, company, fin otified of this application).  ame: ailling Address: ty:  urrent Official Plan designation; Rural  Nature and extent of relief from the Zon variances are being sought, a sched be in metric.  Variance To	Postal Code:  Current Zoniing By-law for which the applicatule may be attached to the	ing By-law designation is being macpplication form)  Proposed	nation: R1-1 de. (If more than fiv.) Difference	e
Na Mi Ci	ensure that any individual, company, fin otified of this application).  ame: ailling Address: ty:  urrent Official Plan designation; Rural  Nature and extent of relief from the Zon variances are being sought, a sched be in metric.  Variance To	Postal Code:  Current Zoniing By-law for which the applicate may be attached to the applicate By-law Requirement  45	ing By-law designation is being macpplication form)  Proposed	nation: R1-1 de. (If more than fiv.) Measurements mu Difference	e

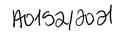
6) Legal Description (include any abutting property registered under the same ownership).  PIN(s): 734720312  Lot No.:11  Concession No.: 2  Parcel(s):  Subdivision Plan No.:  Lot:  Reference Plan No.:53R19666  Particulars of Street(s): Except Parts 1 & 2 , 53R21171 / 0 Southshore Road  7) Date of acquisition of subject land. June 3 2020  8) Dimensions of land affected.  Frontage 40  (m)  Depth 230 +- (m)  Area 1.57 ha  (m²)  Width of Street:  Gross Floor Area:  Vacant:  (m²)  No. of storeys:  Width:  Length: Height:  (m)  Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Existing  Proposed  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Existing  Proposed  Proposed	
PIN(s): 734720312  Lot No.: 11  Concession No.: 2  Subdivision Plan No.:  Nunicipal Address or Street(s): Except Parts 1 & 2, 53R21171  Date of acquisition of subject land. June 3 2020  8) Dimensions of land affected.  Frontage 40  (m)  Depth 230 +- (m)  Area 1.57 ha  (m²)  Width of Street (s): Except Parts 1 & 2, 53R21171  Proposed  Proposed  Proposed  Oross Floor Area:  No. of storeys:  Width:  Length:  Height:  (m)  Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Existing  Proposed	
Lot No.:11	
Subdivision Plan No.:  Lot: Reference Plan No.: 53R19666 Pa Municipal Address or Street(s): Except Parts 1 & 2 , 53R21171 / 0 Southshore Road  7) Date of acquisition of subject land. June 3 2020  8) Dimensions of land affected.  Frontage 40 (m) Depth 230 +- (m) Area 1.57 ha (m²) Width of Street 1  9) Particulars of all buildings: Existing (m²) Ground Floor Area: Vacant (m²) No. of storeys: Width: (m) Length: (m) Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines). Existing Proposed	
Municipal Address or Street(s): Except Parts 1 & 2 , 53R21171 / 0 Southshore Road  7) Date of acquisition of subject land. June 3 2020  8) Dimensions of land affected.  Frontage 40 (m) Depth 230 +- (m) Area 1.57 ha (m²) Width of Street :  9) Particulars of all buildings: Existing (m²) Proposed  Ground Floor Area: Vacant (m²)  No. of storeys: Width: (m)  Length: (m)  Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines). Existing Proposed	art(s): 5,6,7 & 8
8) Dimensions of land affected.  Frontage 40 (m) Depth 230 +- (m) Area 1.57 ha (m²) Width of Street 2  9) Particulars of all buildings: Existing (m²) Ground Floor Area: Vacant (m²) No. of storeys: Width: (m) Length: (m) Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines). Existing Proposed	311(3): 0,0,7 & (
Frontage 40 (m) Depth 230 +- (m) Area 1.57 ha (m²) Width of Street 3  9) Particulars of all buildings: Existing Ground Floor Area: Vacant (m²)  No. of storeys: Width: (m)  Length: (m)  Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines). Existing Proposed	
9) Particulars of all buildings: Existing (m²) Ground Floor Area: Vacant (m²) No. of storeys: Width: (m) Length: (m) Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines). Existing Proposed	
Ground Floor Area:  Gross Floor Area:  No. of storeys:  Width:  Length:  Height:  (m)  (m)  (m)  (m)  (m)  (m)  (m)  (m	20 (m)
Ground Floor Area:  Gross Floor Area:  No. of storeys:  Width:  Length:  Height:  (m)  (m)  Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Exercise:  Front:  Wacant  (m²)  (m)  (m)  (m)  Front:  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Existing  Proposed	
Gross Floor Area:  No. of storeys:  Width:  Length:  Height:  (m)  Height:  (m)  (m)  Height:  (m)  Height:  (m)  Height:  (m)  Height:  (m)  Proposed for the subject lands (specify distances from side, lot lines).  Existing  Proposed	(m <sup>2</sup>
No. of storeys:  Width: Length: Height:  (m) Height: (m)  Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Expert: Ex	(m <sup>2</sup>
Length: Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Existing Proposed	(m
Height: (m)  10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines). Existing Proposed	(m)
10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, lot lines).  Existing  Proposed	(m)
lot lines). Existing Proposed	(m)
Side: (m)  Side: (m)  11) What types of water supply, sewage disposal and storm drainage are available?  Municipally owned & operated piped water system	
Municipally owned & operated sanitary sewage system Provincial Highway  Municipally owned & operated sanitary sewage system Municipal Road	
Lake   Maintained Yearly	
Individual Well □ Maintained Seasonal  Communal Well □ Right-of-way	
Communai Weil □ Right-of-way Individual Septic System □ Water	
Communal Septic System □ If access is by water only, Pit Privy □ and docking facilities to be Municipal Sewers/Ditches/Swales □	provide parking
12) Date(s) of construction of all buildings and structures on the subject land.  vacant	
13) Existing use(s) of the subject property and length of time it / they have continued.	
Heate)	
Use(s): vacant Length of time:	
14) Proposed use(s) of the subject property.	
Same as #13  or, future waterfront lots	
15) What is the number of dwelling units on the property? <sub>None</sub>	
16) If this application is approved, would any existing dwelling units be legalized? ☐ Yes ☐ N	1-

If "yes", how many?

17) Existing uses of abutting properties: residential lots to the west and

A0152/2021

PPLICATION FOR MINOR VARIANCE IN THE PROPERTY OF THE PROPERTY OF THE PROPERTY PAGE 3 OF	371
3) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? □ Yes ☑ No	
If "yes", Indicate the application number(s):	
Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Ac R.S.O. 1990 c.P.137 📓 Yes 🔲 No	1,
If "yes", Indicate application number(s) and status of application(s):	
ls the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☐ No	
If 'Yes', indicate application number(s) and status of application(s):	
ls this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☐ No	
if "yes", provide details on how the property is designated in the Source Protection Plan.	
RT A: OWNER ACKNOWLEDGEMENT AND CONSENT	
, HLM3Inc (please print	<b>-</b> 0
iss), the registered owner(s) of the property described as Part Lot 11, Con 2, Broder Two and Part Lot 11 Con 2 Location Ct. 1245	## 2
g Parls 5, 6, 7 & 8, Plan 53R19666 except Parls 1 & 2 53R-21171 e City of Greater Sudbury:	_
ection, Use and Disclosure of Information:	
acknowledge that personal information collected on this form is collected pursuant to the <i>Planning Act,</i> R.S.O. 1990, c.P.13 for the purpose of processing this planning application;	
acknowledge that it is the practice of the City of Greater Sudbury, In accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, Including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors:	
n accordance with the Municipal Freedom of Information and Protection of Privecy Act, consent to the use and lisclosure of this application and any Supporting Documentation, inclusive of any personal information, to any serson or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a tewspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;	
rant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for itemal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other se associated with the purpose of review and implementation of the application;	
ority to Enter Land and Photograph rant the City permission to attend, photograph and conduct inspections of the lands subject to this application as art or the City's review and processing of this application;	
cknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario and Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is rovided with the City's required fee for attendance at the hearing;	
intment of Authorized Agent	
point and authorize Tulloch Engineering (please print	
ame of Agent), to act as my/our agent with regard to this application to the City of Greater Suddury, Including but no nited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals consents and railly, confirm, and adopt as my/our own, the acts, representations, repiles and commitments made by to agent on my/our behalf.	t
ated this 3rd day of November 20 21	
Mina Preset July Must	
Signature of Oxfortisto Signing Officer or Authorized Agent  Print Name: Nichtlas Followo, Tanelle Fol	
TOPICO TO	: 69 /

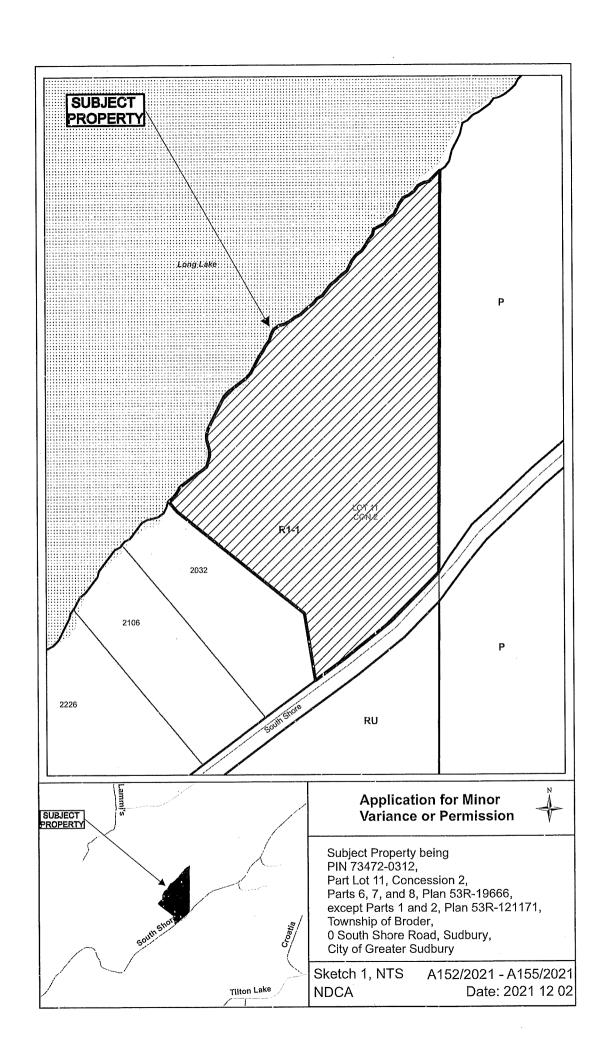


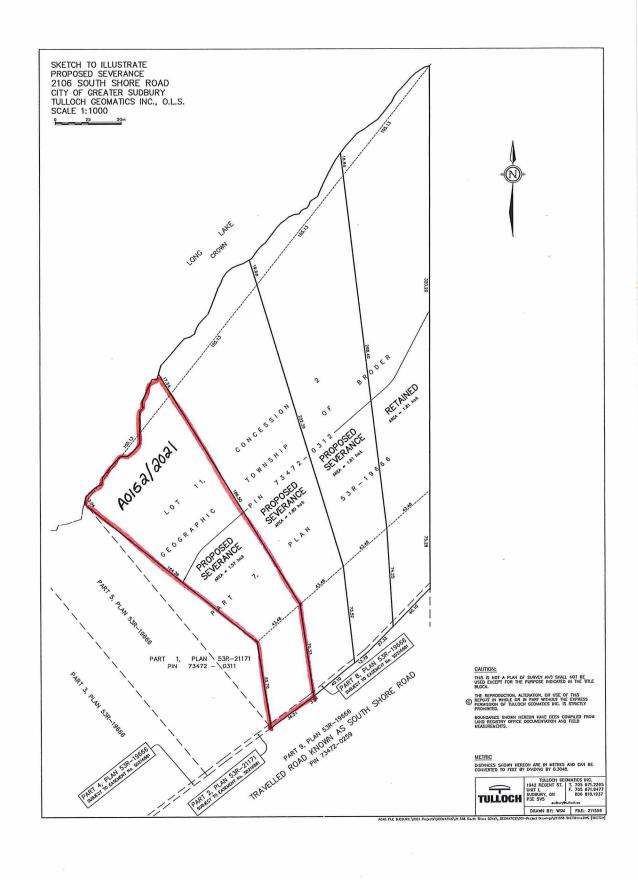
# APPLICATION FOR MINOR VARIANCE

PAGE 4 OF 4

PAGE 4 OF
PART B: OWNER OR AUTHORIZED AGENT DECLARATION
I/We, Tulloch Engineering (please print all names
the registered owner(s) or authorized agent of the property described as Part Lot 11, Con 2, Broder Twp. and Part Lot 11 Con 2
Location CL 12452 being Parts 5,6,7 &8, 53R19666 except Parts 1 & 2, 53R21171
in the City of Greater Sudbury:
solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.
David Gien Tulioch a Commissioner, etc., Province of Ontario.
for TULLOCH Engineering Inc. Expires Feb 20th, 2024  Signature of Owner(s) or Signing Officer or Authorized Agent (*where a Corporation)
Print Name: Www. Switch
Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.
FOR OFFICE USE ONLY
Date of Receipt: Nov. 25/31 Hearing Date: Detember 28, 2021 Received By:  Zoning Designation: Resubmission: Per No
Previous Hearing Date:
Notes: Relates to Consent Application Bous/2021, as well as Bollo/2021 and Boulf/2021

A0152/2021







Box 5000, Station 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

# Office Use Only 2021.01.01 A DJ 3/2021 S.P.P. AREA YES \_\_\_\_\_NO \_\_\_\_ NDCA REG. AREA YES \_\_\_\_ NO \_\_\_\_

# City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

cor	nsidered public information and shall	be made available to	the public.	pprioation shan bi	•
ΡĿ	EASE PRINT. SCHEDULES MÁY BE	INCLUDED, IF NEC	ESSARY:		
1)	The undersigned hereby applies to the Com of the Planning Act R.S.O. 1990, c.P. 13 for	mittee of Adjustment of the relief, as described in this	e City of Greater S application, from t	udbury under Sectior he By-Law, as amend	ı 45 ded.
	Registered Owner(s): HLM3Inc		Email:		
	Mailing Address: 2106 Sooth Shore	e Road	Home Phon		
	City: <a horg<="" td="" x=""><td>Postal Code: P36 1</td><td>Business Pl H 3 Fax Phone:</td><td>none:</td><td></td></a>	Postal Code: P36 1	Business Pl H 3 Fax Phone:	none:	
			11.5 ( 4.21 ( 1.01)01		***************************************
2)	If the application will be represented by som prepared and submitted by someone other to	eone other than the regis han the registered owner(	tered owner(s) and/ s), please specify.	or the application is	
	Name of Agent: Tulloch Engineering		Email: eric.	taylor@tulloch.ca	
	Mailing Address:	S	Home Phor		
	Except Parts 1 & 2 , 53R21171 / 0 5 City: Sudbury	Southshore Road Postal Code: P3E 5V	Business P 5 Fax Phone:		
	Note: Unless otherwise requested, all comm				
	notified of this application).  Name:  Malling Address:  City:	Postal Code:			
-		rosiai code.			
ł) (	Current Official Plan designation: Rural	Current 2	Zoning By-law desig	gnation: R1-1	
5) ;	a) Nature and extent of relief from the Zoning variances are being sought, a schedul be in metric.	g By-law for which the apple may be attached to the	e application is being ma	ade. (If more than fiv n). Measurements m	ve ust
	Variance To	By-law Requirement	Proposed	Difference	
	Minimum Lot Frontage	45	40	5	
					_
					7
			*****		-
					_
ł	b) Is there an eave encroachment?	l Yes □ No	If 'Yes', size of ea	aves:	(m)
C	c) Description of Proposal:				
	The creation of 3 lots through consent where the the 3 new severed	lots and the retained lot have approx 40 n	lot frontage whereas 45 m are	required.	
	N Provide reason why the property	nomenhandth the second			
(	Provide reason why the proposal cannot The proposed lots cnform with the Official Plan required minimum tol	comply with the provision	s of the ∠oning By-	law:	nd lot
	have less thatn the required 45 m road frontage.		s green and confinguration of this p	reporty are a severed and 1 fetalite	3U 1UL

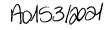
# APPLICATION FOR MINOR VARIANCE

PAGE 2 OF 4

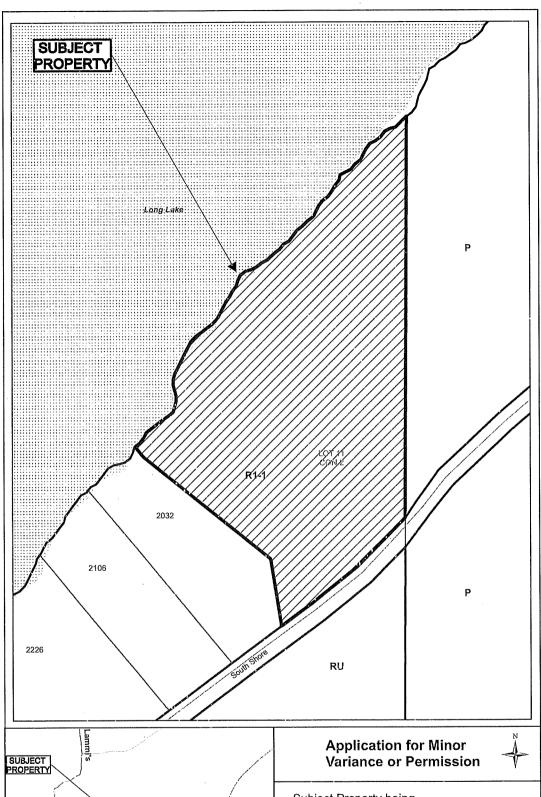
6)	Legal Description (include a	nny abutting property registe	ered under the same	ownership).			
	PIN(s): 734720312		Township:	Broder	Ward:9	l	
	Lot No.: 11	Concession No.: 2	Parcel(s):		TTGIG.		
	Subdivision Plan No.:	Lot:	Reference	Plan No.: 53		Part(s):	5,6,7 & 8
	Municipal Address or Stre	et(s): Except Parts 1 &	2,53R21171 /	/ 0 Southsh	ore Road		
7)	Date of acquisition of subj	ect land. June 3 2020					
8)	Dimensions of land affecte	ed.					
	Frontage 40 (m	) Depth 275 +- (m	) Area 1.8 ha	(m <sup>2</sup> )	Width of Str	eet 20	(m)
9)	Particulars of all buildings:	Existing	2		Proposed	t	2
	Ground Floor Area:	vacant	(m²)				(m <sup>2</sup> )
	Gross Floor Area:		(m²)				(m²)
	No. of storeys:						·
	Width:		(m)		·····		(m)
	Length: Height:		(m) (m)				(m) (m)
	ricigiit.		(111)		<del> </del>		(111)
10)	Location of all buildings and lot lines). Front:	d structures on or proposed Existing		ds (specify dist	ances from s Proposed		
	Rear:	vacant	(m) (m)			****	(m) (m)
	Side:		(m)				(m)
	Side:		(m)				(m)
			,,,,				
11)	What types of water supply drainage are available?	y, sewage disposal and st	orm	What type of	access to th	e land?	
	Municipally owned & opera	ated piped water system	FI	Provincial Hi	ahway		[]
	Municipally owned & opera	ated sanitary sewage syst	em 📙	Municipal Ro			
	Lake	, , ,			ed Yearly		
	Individual Well				ed Seasonal		
	Communal Well Individual Septic System			Right-of-way Water			
	Communal Septic System				is by water o	nlv. provi	_
	Pit Privy				ing facilities		
	Municipal Sewers/Ditches	'Swales			_		
12)	Date(s) of construction of a	all buildings and structures	s on the subject land	d.			
13)	Existing use(s) of the subje	ect property and length of	time it / they have c	continued.			
	Use(s): vacant		Length of	time:			
14)	Proposed use(s) of the sub	piect property.					•
,	. , - ,	-,oo. p. op o j.					
	Same as #13 □ or, full	re waterfront lots					
15)	What is the number of dwe	elling units on the property	? <sub>None</sub>				
16)	If this application is approv	ed, would any existing dw	elling units be legal	ized?	□ Yes	<b>□</b> No	
	If "yes", how many?						
17)	Existing uses of abutting p	roperties: <sub>residential</sub> lots to the	west and				

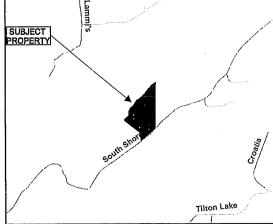
A015312021

APPLICATION FOR MINOR VARIANCE TO A SECOND PROPERTY AND A SECOND PAGE 3.0F						
18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☐ No						
If "yes", indicate the application number(s):						
19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☐ No						
If "yes", indicate application number(s) and status of application(s):						
20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its pradecessors?						
If 'Yes', indicate application number(s) and status of application(s):						
21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  ☐ Yes ☐ No						
if *yes*, provide details on how the property is designated in the Source Protection Plan.						
PART A: OWNER ACKNOWLEDGEMENT AND CONSENT						
names), the registered owner(s) of the property described as Part Lot 11, Con 2, Broder Twp and Part Lot 11 Con 2 Location CL 12452 being Parts 5, 6, 7 & 8, Plan 53R19666 except Parts 1 & 2 53R-21171 in the City of Greater Suddbury:						
Collection, Use and Disclosure of information:						
<ul> <li>a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O.</li> <li>1990, c.P.13 for the purpose of processing this planning application;</li> </ul>						
acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors:						
in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;						
grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;						
Authority to Enter Land and Photograph ) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;						
acknowledge that, in the event of a third party appeal of this application (where applicable) to the Onlario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;						
ppointment of Authorized Agent						
appoint and authorize Tulloch Engineering name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratily, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.						
Daled this 3rd day of November ,20 21						
(wilness) Signature of Ophor(sy) Signing Officer for Authorized Agent						
Print Name: Nichales Fougno, TANELLE FOLI						



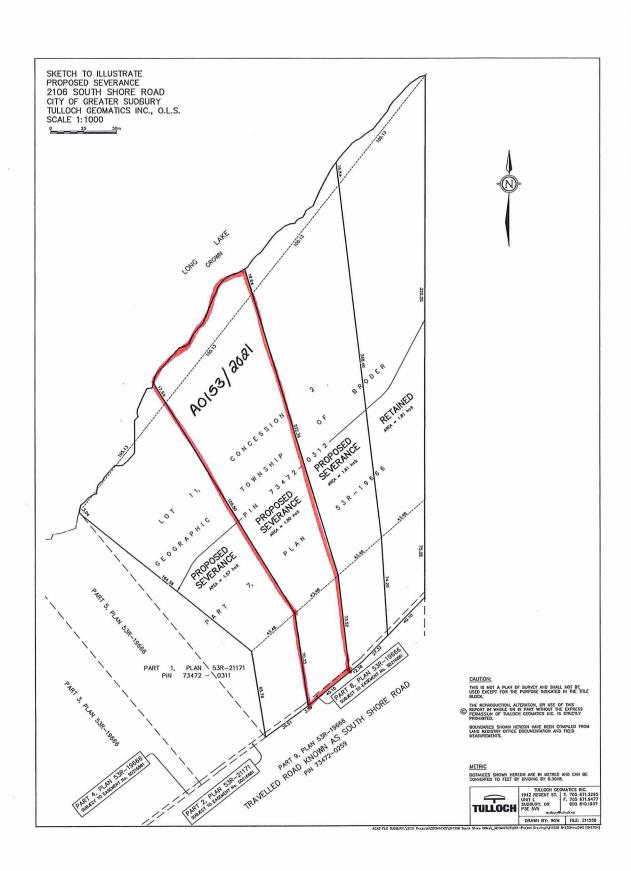
APPLICATION FOR MINOR VARIANCE PAGE 4 O
PART B: OWNER OR AUTHORIZED AGENT DECLARATION
I/We, Tulloch Engineering (please print all nam
the registered owner(s) or authorized agent of the property described as Part Lot 11, Con 2, Broder Twp. and Part Lot 11 Con 2
Location CL 12452 being Parts 5,6,7 &8, 53R19666 except Parts 1 & 2, 53R21171
in the City of Greater Sudbury:
solemnly declare that all of the statements contained in this application and in the Supporting Documentation are to and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of same force and effect as if made under oath.
Dated this 120 21  David Gien Tulloch
a Commissioner, etc., Province of Ontario, for TULLOCH Engineering Inc.  Expires Feb 20th, 2024  Commissioner of Oaths  signature of Owner(s) or Signing Officer or Authorized Agent (*where a Corporation)
Print Name: When Smith  1 have authority to bind the Corporation
Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.
FOR OFFICE USE ONLY
Date of Receipt: Nov. 25/3) Hearing Date: December 22, 2021 Received By: N. Lewis  Zoning Designation: Resubmission: Pres No
Previous File Number(s): Previous Hearing Date:
Notes: Relates to Consent Application BOILD/2021, as well as BOILD/2021 and BOILT/2021





Subject Property being PIN 73472-0312, Part Lot 11, Concession 2, Parts 6, 7, and 8, Plan 53R-19666, except Parts 1 and 2, Plan 53R-121171, Township of Broder, 0 South Shore Road, Sudbury, City of Greater Sudbury

Sketch 1, NTS NDCA A152/2021 - A155/2021 Date: 2021 12 02



Office Use Only 2021.01:01



Box 5000, Station 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

#### KOE/HOLO A S.P.P. AREA YES \_\_\_ NO **City of Greater Sudbury** NDCA REG. AREA \_\_ NO YES

# **APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee) CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the <i>Planning Act</i> , R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.					
ΡĮ	EASE PRINT. SCHEDULES MAY BE I	NCLUDED, IF NEG	ESSARY		
1)	The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 4 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended				
	Registered Owner(s): HLM3Inc		Email:	_	
	Mailing Address: 2106 Scoth Shore	-Rel	Home Phone		
	City: Sudhuru	Postal Code: P3(4 1)	Business Pho 4.3 Fax Phone:	one:	
	City. Sournory	Postal Code. PO(1 1)	10 Fax Priorie:		
3)	If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.  Name of Agent: Tulloch Engineering  Mailing Address:  Except Parts 1 & 2 , 53R21171 / 0 Southshore Road  City: Sudbury  Postal Code: P3E 5V5  Fax Phone:  Note: Unless otherwise requested, all communication will be sent to the agent, if any.  Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).				ılars
	Name:				
	Mailing Address:				
	City:	Postal Code:			-
4)	Current Official Plan designation: Rural	Current	Zoning By-law desig	nation: R1-1	
5)	<ul> <li>a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.</li> </ul>				
	Variance To	By-law Requirement	Proposed	Difference	7
	Minimum Lot Frontage	45	40	5	_
		Yes □ No	If 'Yes', size of eav	/es:	(m)
	c) Description of Proposal:  The creation of 3 lots through consent where the tho 3 new severed to	Is and the retained lot have approx 40	n lot frontage whoreas 45 m are re	quired.	
	d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:  The proposed lots cnform with the Official Plan required minimum lot areas and fronatges for waterfront lots but given the configuration of the property the 3 severed and 1 retained lot have less thatn the required 45 m road frontage.				

6)	Legal Description (include a	any abutting property registe	ered under the same	ownership).			
	PIN(s): 734720312		Township:	Broder	Ward:	9	
	Lot No.: 11	Concession No.: 2	Parcel(s):				
	Subdivision Plan No.:	Lot:	Reference	Plan No.: 53	3R19666	Part(s): {	5,6,7 & 8
	Municipal Address or Stre	et(s): Except Parts 1 &	2,53R21171 /	0 Southsh	nore Road		
	**						
7)	Date of acquisition of sub	ect land. June 3 2020					
,							
8)	Dimensions of land affect	ed.					
٠,	Dimonsions of faria affect	ou.		•			
	Frontage 40 (m	) Depth 325 +- (m	) Area 1.81 ha	(m²)	Width of Str	reet 20	(m)
9)	Particulars of all buildings	Existing			Propose	d	
	Ground Floor Area:	vacant	(m <sup>2</sup> )			-	(m <sup>2</sup> )
	Gross Floor Area:	TUSUI II	(m <sup>2</sup> )				(m <sup>2</sup> )
	No. of storeys:						
	Width:		(m)				(m)
	Length:		(m)				(m)
	Height:		. (m)				(m)
10)	Location of all buildings an lot lines).	d structures on or propose Existing	d for the subject land	ls (specify dis	stances from s		nd front
	Front:	vacant	(m)		•		(m)
	Rear:		(m)				(m)
	Side:		(m)				(m)
	Side:		(m)				(m)
11)	What types of water suppl drainage are available?	y, sewage disposal and st	orm	What type o	of access to the	he land?	
	Municipally owned & oper	ated piped water system	Я	Provincial H	lighway		
	Municipally owned & oper	ated sanitary sewage syst	em 🗍	Municipal R			11
	Lake				ned Yearly		□,
	Individual Well Communal Well				ned Seasona	l	
	Individual Septic System			Right-of-way Water	1		
	Communal Septic System				s is by water o	only, provid	
	Pit Privy				king facilities		
	Municipal Sewers/Ditches	/Swales					
12)	Date(s) of construction of vacant	all buildings and structures	s on the subject land	i.			
13)	Existing use(s) of the subj	ect property and length of	time it / they have c	ontinued.			
	Use(s): vacant		Length of	time:			
						•	-
14)	Proposed use(s) of the sul	oject property.					
	Same as #13 □ or, futu	re waterfront lots					
15)	What is the number of dwe	elling units on the property	? <sub>None</sub>				
16)	If this application is approv	ed, would any existing dw	elling units be legali	zed?	□ Yes	□ No	
		, , , , , , , , , , , , , , , , , , , ,	<u> </u>			<b>a</b>	
	If "yes", how many?						
17)	Existing uses of abutting p	roperties: <sub>residential</sub> lots to the	west and				

A0154/2021

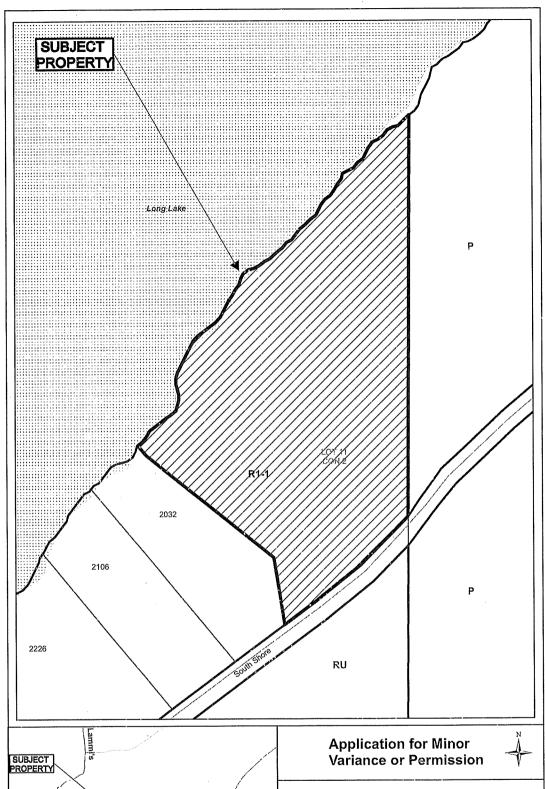
G	PPLICATION FOR MINOR VARIANCE
1	B) To the best of your knowledge has the subject land over been subject of a previous application for minor variance/permission? □ Yes □ No
	If "yes", Indicate the application number(s):
1:	9) is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?
	If "yes", indicate application number(s) and status of application(s):
2	<ul> <li>b) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act,</li> <li>R.S.O. 1990, c.P.13, or its predecessors?</li> <li>Yes</li> <li>No</li> </ul>
	If 'Yes', indicate application number(s) and status of application(s):
2	I) is this property located within an area subject to the Greater Sudbury Source Protection Plan?  ☐ Yes ☐ No
	If "yas", provide details on how the property is designated in the Source Protection Plan.
	ART A: OWNER ACKNOWLEDGEMENT AND CONSENT
	ve. HLM3Inc(elease print all
Di	Imos), the registered owner(s) of the property described as Part Lot 11, Con 2, Broder Twp and Part Lot 11 Con 2 Location CL 12452 plng Parts 5, 6, 7 & 8, Plan 53R19565 except Parts 1 & 2 53R-21171 the City of Greater Sudbury:
	•
C)	ollection, Use and Disclosure of Information: acknowledge that personal information collected on this form is collected pursuant to the <i>Planning Act,</i> R.S.O. 1990, c.P.13 for the purpose of processing this planning epplication;
b)	acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my
c)	In accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
d)	grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;
Аш 3)	thority to Enter Land and Photograph grant the City permission to attend, photograph and conduct inspections of the lands subject to this epplication as part of the City's review and processing of this application;
)	acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;
	pointment of Authorized Agent
1)	appoint and authorize Tulloch Engineering name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and railly, confirm, and edopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.
	Dated this 3rd day of November 20 21
	Una Voesel John Malus
	(Wilness) Signature of Ophor(s) Signing Officer of Authorized Agent
	Print Name: Nicrosus Fougno, TANELLE FOLIGNO  I have authority to bind the Corporation

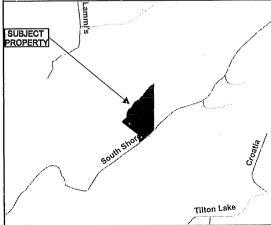
A015412021

PART B: OWNER OR AUTHORIZED AGENT DECLARATION	
I/We, Tulloch Engineering	(please print all names),
the registered owner(s) or authorized agent of the property described as	Part Lot 11, Con 2, Broder Twp. and Part Lot 11 Con 2
Location CL 12452 being Parts 5,6,7 &8, 53R19666 except	Parts 1 & 2, 53R21171
in the City of Greater Sudbury:	
solemnly declare that all of the statements contained in this application and complete, and I/we make this solemn declaration conscientiously be same force and effect as if made under oath.	on and in the Supporting Documentation are true pelieving it to be true and knowing that it is of the
David Glen Tulloch a Commissioner, etc., Province of Ontario, for TULLOCH Engineering Inc. Expires Feb 20th, 2024  Commissioner of Oaths  Signature of Other (*where a Corp	wher(s) or Signing Officer or Authorized Agent oration)  Where Smith to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

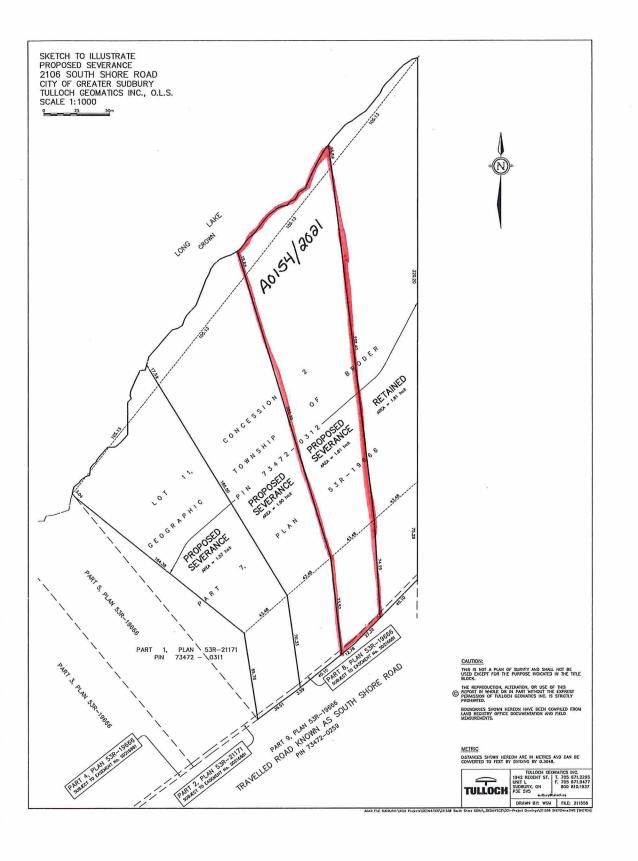
FOR OFFICE USE ONLY
Date of Receipt: Nov. 25/2  Hearing Date: December 22, 202  Received By: N. Lewis  Zoning Designation: Resubmission: Per No
Previous File Number(s):
Previous Hearing Date:
Notes: Relates to Consent Application Boll7/2021, as well as Bolls/2021 and Bolls/20





Subject Property being
PIN 73472-0312,
Part Lot 11, Concession 2,
Parts 6, 7, and 8, Plan 53R-19666,
except Parts 1 and 2, Plan 53R-121171,
Township of Broder,
0 South Shore Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS NDCA A152/2021 - A155/2021 Date: 2021 12 02





Box 5000, Station 'A', 200 Brady Street Sudbury ON P3A 5P3 Tel. (705) 671-2489, Ext. 4376/4346 Fax (705) 673-2200

have less thatn the required 45 m road frontage.

Office 202	Use Only 21.01.01
A 015	5/2021
S.P.P. A	REA
YES	NO_ <u>√</u> _
NDCA R	EG. AREA
YES_V	<u></u> NO

## **City of Greater Sudbury APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee) APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee) CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development

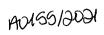
	sidered public information and shall		•				
ĽΕ	ASE PRINT. SCHEDULES MAY BE	INCLUDED, IF NEC	ESSARY				
T	The undersigned hereby applies to the Com of the Planning Act R.S.O. 1990, c.P. 13 for	mittee of Adjustment of the relief, as described in this	e City of Greater Suc application, from the	lbury under Section By-Law, as amende	45 ed.		
F	Registered Owner(s): HLM3Inc		Email: Home Phone:				
10	Mailing Address: <u>RIDG Socita Shor</u>	r Koaa	Business Pho				
<u> </u>	Dity: Salbury	Postal Code: P3G 11					
	f the application will be represented by som prepared and submitted by someone other t			the application is			
١	Name of Agent: Tulloch Engineering		Email:				
Ñ	Mailing Address:		Home Phone	: cell:			
Ē	Except Parts 1 & 2 , 53R21171 / 0	Southshore Road	Business Pho	oné			
-	City: Sudbury Note: Unless otherwise requested, all comm	Postal Code: P3E 5V					
_	Name: Mailing Address:						
_		D. J.J.O. J.					
(	Mailing Address: Dity:	Postal Code:					
			Zoning By-law desigr	nation: R1-1			
) [	City:	Current 2	olication is being mad	de. (If more than fiv	e ust		
) <u>C</u>	City:  Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin  variances are being sought, a schedu	Current 2	olication is being mad	de. (If more than fiv	e ust		
) <u>c</u>	City:  Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin  variances are being sought, a schedu  be in metric.	Current 2 ng By-law for which the app ule may be attached to th	olication is being made application form)	de. (If more than fiv . Measurements m	e ust		
) <u>c</u>	City:  Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin variances are being sought, a schedu be in metric.  Variance To	Current 2  g By-law for which the appule may be attached to the	olication is being made application form)  Proposed	de. (If more than fiv . Measurements m Difference	e		
) (	City:  Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin variances are being sought, a schedu be in metric.  Variance To	Current 2  g By-law for which the appule may be attached to the	olication is being made application form)  Proposed	de. (If more than fiv . Measurements m Difference	e ust		
) <u>c</u>	City:  Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin variances are being sought, a schedu be in metric.  Variance To	Current 2  g By-law for which the appule may be attached to the	olication is being made application form)  Proposed	de. (If more than fiv . Measurements m Difference	e ust		
	City: Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin variances are being sought, a schedu be in metric.  Variance To  Minimum Lot Frontage	Current 2  g By-law for which the appule may be attached to the	olication is being made application form)  Proposed	de. (If more than fiv . Measurements m Difference 5	ust		
	City:  Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin variances are being sought, a schedu be in metric.  Variance To  Minimum Lot Frontage	Current Zing By-law for which the appule may be attached to the By-law Requirement 45	olication is being made application form)  Proposed  40	de. (If more than fiv . Measurements m Difference 5	e ust		
	City:  Current Official Plan designation: Rural  a) Nature and extent of relief from the Zonin variances are being sought, a schedube in metric.  Variance To  Minimum Lot Frontage  b) Is there an eave encroachment?	Current Z  ag By-law for which the appule may be attached to the  By-law Requirement  45	Proposed  40  If 'Yes', size of ear	de. (If more than fiv . Measurements m Difference 5	ust		

PA	\GE	2	OF	4.

### APPLICATION FOR MINOR VARIANCE

6)	Legal Description (includ	e any abutting property register	ed under the same	ownership).			
	PIN(s): 734720312		Township:	Broder	V/ard: <sup>و</sup>	)	
	Lot No.: 11	Concession No.: 2	Parcel(s):				
	Subdivision Plan No.:	Lot:	Reference	Plan No.: 50	3R19666	Part(s):	<u>5,6,7 &amp; 8</u>
	Municipal Address or S	treet(s): Except Parts 1 & 2	2,53R21171 /	0 Southst	nore Road		
7)	Date of acquisition of su	ubject land. June 3 2020					
8)	Dimensions of land affe			. 2.			
	Frontage 40	(m) Depth 365 +- (m)	Area 1.81 ha	(m <sup>2</sup> )	Width of Str	eet 20	(m)
9)	Particulars of all building Ground Floor Area:	gs: Existing vacant	(m <sup>2</sup> )		Propose	<u>d</u>	(m <sup>2</sup> )
	Gross Floor Area:	YAGUIR	(m <sup>2</sup> )				(m²)
	No. of storeys:	Marie 19.					
	Width:		(m)				(m)
	Length:	****	(m)				(m)
	Height:		(m)				(m)
	lot lines). Front: Rear: Side: Side: What types of water superinage are available? Municipally owned & op	and structures on or proposed Existing Vacant  pply, sewage disposal and storerated piped water system perated sanitary sewage system	(m) (m) (m) (m)	What type	of access to the Highway Road ined Yearly ined Seasona	he land?	(m) (m) (m) (m)
	Individual Septic System	m		Water	У		. 🗖
	Communal Septic System				ss is by water	only, provi	
	Pit Privy	em	<u> </u>		cking facilities		
	Municipal Sewers/Ditch	nes/Swales			9		
12)	Date(s) of construction	of all buildings and structures	on the subject lan	d.	<u> </u>		
13	Existing use(s) of the s	ubject property and length of	time it / they have o	continued.			
	Use(s): vacant		Length of	time:			
14	) Proposed use(s) of the Same as #13 □ or,	subject property.					
	Camb active E	tuture waterront lots					
15	) What is the number of	dwelling units on the property	? <sub>None</sub>				
16	) If this application is application is application is application.	proved, would any existing dw	elling units be lega	lized?	□ Yes	□ No	
17	) Existing uses of abuttir	ng properties: residential lots to the	west and				

A	PPLICATION FOR MINOR VARIANCE
18	i) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☐ No
	If "yes", indicate the application number(s):
19	i) is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☐ No
	If "yes", indicate application number(s) and status of application(s):
20	) is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?
	If 'Yes', indicate application number(s) and status of application(s):
21	) is this property located within an area subject to the Greater Sudbury Source Protection Plan? □ Yes 및 No
	If "yes", provide details on how the property is designated in the Source Protection Plan.
	ART A: OWNER ACKNOWLEDGEMENT AND CONSENT
	(please print all mass), the registered owner(s) of the property described as Part Lot 11, Con 2, Broder Twp and Part Lot 11 Con 2 Location CL 12452
08	ing Parls 5, 6, 7, 8, 8, Plan 53R19666 except Parls 1 & 2 53R-21171 the City of Greater Sudbury:
Co	illection, Use and Disclosure of Information:
a)	acknowledge that personal information collected on this form is collected pursuant to the <i>Planning Act</i> , R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
b)	acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
c)	in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, Inclusive of any personal information, to any person or entity, in any manner chosen by the City, Including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
d)	grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;
Aui e)	hority to Enter Land and Photograph grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
	acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Grealer Sudbury may not attend at the Ontarlo Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;
	contract of Authorized Agent
	appoint and authorize Tulloch Engineering name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, repiles and commitments made by the agent on my/our behalf.
	Dated this 3rd day of November 120 21
	Ina Vactor Jamil Column
	(Witness) Signature of Omer(s) Signing Officer or Authorized Agent
	Print Name: <u>Nicrolas Fougro</u> , <u>TANELLE</u> FOLIGA  1 have authority to blind the Corporation
	The second to bind the Colbotation



#### PART B: OWNER OR AUTHORIZED AGENT DECLARATION

FOR OFFICE USE ONLY .....

IWe, Tulloch Engineering	(please print all names),
the registered owner(s) or authorized agent of the property describe	d as Part Lot 11, Con 2, Broder Twp. and Part Lot 11 Con 2
Location CL 12452 being Parts 5,6,7 &8, 53R19666 ex	cept Parts 1 & 2, 53R21171
in the City of Greater Sudbury:	
solemnly declare that all of the statements contained in this appand complete, and I/we make this solemn declaration conscients same force and effect as if made under oath.	lication and in the Supporting Documentation are true usly believing it to be true and knowing that it is of the
Dated this	ember ,20 21
	of Owner(s) or Signing Officer or Authorized Agent Corporation)
Print Na *I have a	me: Law Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

Date of Receipt: Nov. 25/21 Hearing Date: December 22, 2021 Received By: N. Lewis  Zoning Designation: Q4-1 Resubmission: □ Yes □ No
Previous File Number(s):
Previous Hearing Date:
Notes: Relates to Consent Applications Bolls/2021, Bolls/2021 @ Boll7/2021

