

Tom Davies Square
200 Brady St

Wednesday, December 22, 2021

PUBLIC HEARINGS

A0136/2021

SABRINA HANNAH

Ward: 9

PIN 73475 0713, Parcel 25355, Lot(s) 25, Subdivision M-340, Lot Pt 6, Concession 6, Township of Broder, 340 St Charles Lake Road, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For permission under Section 45(2) of the Planning Act, R.S.O.1990, c. P.13, to enlarge the legal non-conforming use of the subject property, being that of two existing single detached dwellings, by the 36.79m² addition to the southwest elevation of the single-detached dwelling located to the rear of the subject property.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0212/1980 (JAN 19/81)

A0149/2021

ARCHEAN DEVELOPMENT CORP

Ward: 2

PIN 73375 0928, Survey Plan 53R-20221 Part(s) 7 and 8, Lot Pt 4, Concession 4, Township of Waters, 146 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling, providing a minimum rear yard setback of 5.6m, where 7.5m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATIONS A0150/2021 AND A0151/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B5/13 (FEB 14/13)

A0150/2021

ARCHEAN DEVELOPMENT CORP

Ward: 2

PIN 73375 0929, Survey Plan 53R-20221 Part(s) 9 and 10, Lot Pt 4, Concession 4, Township of Waters, 148 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling, providing a minimum rear yard setback of 5.6m, where 7.5m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATIONS A0149/2021 AND A0151/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B5/13 (FEB 14/13)

A0151/2021**ARCHEAN DEVELOPMENT CORP**

Ward: 2

PIN 73375 0930, Survey Plan 53R-20221 Part(s) 11 and 12, Lot Pt 4, Concession 4, Township of Waters, 150 Patricia Street, Lively, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling, providing a minimum rear yard setback of 5.6m, where 7.5m is required.

ALSO SUBJECT TO MINOR VARIANCE APPLICATIONS A0150/2021 AND A0151/2021

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B5/13 (FEB 14/13)

A0152/2021**HLM3INC.**

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0115/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

A0153/2021**HLM3INC.**

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0116/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

A0154/2021**HLM3INC.**

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be severed, subject of Consent Application B0117/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

A0155/2021

HLM3INC.

Ward: 9

PIN 73472 0312, Survey Plan 53R-19666 Part(s) 7, 8, and 9, Lot Pt 11, Concession 2, Township of Broder, 0 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve the lands to be retained, subject of Consent Applications B0115/2021, B0116/2021 and B0117/2021, providing a minimum lot frontage of 40.0m, where 45.0m is required.

ALSO SUBJECT TO CONSENT APPLICATIONS B0115/2021 TO B0117/2021

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, JANUARY 12, 2022**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 6P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2021.01.01
A 0136/2001
S.P.P. AREA YES _____ NO _____
NDCA REG. AREA YES _____ NO _____

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Sabrina Hannah	Email: [REDACTED]
Mailing Address: 340 St. Charles Lake Road	Home Phone: [REDACTED]
	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3E5G5
	Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: 2293453 Ontario Inc. c/o Russell Fraser	Email: [REDACTED]
Mailing Address:	Home Phone: [REDACTED]
340 St. Charles Lake Road, Sudbury, ON P3E 5G5	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3A5X5
	Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name:	
Mailing Address:	
City:	Postal Code:

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
To expand the legal non-conforming use	144.5(m2)	181.29(m2)	36.79(m2)

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Proposing to expand the legal non-conforming use due to the addition of a second dwelling that was done in or about 1970 in order to bring it into compliance under the zoning by-law.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

That the addition was already existing and was done without the benefit of a variance prior to the new owner purchasing the property and that the intent is to bring the property into compliance.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73475-0713 Township: Broder Ward:
 Lot No.: Concession No.: Parcel(s):
 Subdivision Plan No.: M340 Lot: 25 Reference Plan No.: Part(s):
 Municipal Address or Street(s): 340 St. Charles Lake Road, Sudbury, ON P3E 5G5

- 7) Date of acquisition of subject land. December 10, 2020

- 8) Dimensions of land affected.

Frontage 30 (m) Depth Irregular (m) Area 2100 (m²) Width of Street 10 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	Bldg A = 288 BLDG B=144.5 (m ²)	no change (m ²)
Gross Floor Area:	Bldg A = 288 BLDG B=144.5 (m ²)	no change (m ²)
No. of storeys:	Bldg A = 1 BLDG B=1	no change
Width:	Bldg A = 9 BLDG B=7 (m)	no change (m)
Length:	Bldg A = 14 BLDG B=15.5 (m)	no change (m)
Height:	Bldg A = 4 BLDG B=4 (m)	no change (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	Bldg A = 15 BLDG B=49 (m)	no change (m)
Rear:	Bldg A = 44 BLDG B=10 (m)	no change (m)
Side:	Bldg A = 4 BLDG B=2 (m)	no change (m)
Side:	Bldg A = 12 BLDG B=18 (m)	no change (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1957 (B) and 1970 (A)

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): two dwelling Length of time: since 1970s

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, _____

- 15) What is the number of dwelling units on the property? 2

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☐ No

If "yes", how many? 1

- 17) Existing uses of abutting properties: residential

AD13612021

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "Yes", indicate the application number(s): _____

or, describe briefly: _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 61 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessor? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "Yes", provide details on how the property is designated in the Source Protection Plan: _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Sabrina A. Hannah (please print all

names), the legal owner(s) of the property described as

510, Lot 24, Plan 4340 Greater City of Greater Sudbury

in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;

b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;

c) in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, making disclosure to members of council and in staff reports, or releasing to a third party upon third party request;

d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;

f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize 2293453 Ontario Inc. (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and fully, freely, and adopt as my/our own, the sole, representations, replies and commitments made by the agent on my/our behalf.

Dated this 7th day of October, 2021

(Witness)

Signature of Owner or Signing Officer or Authorized Agent

Print Name: Sabrina A. Hannah

"I have authority to bind the Corporation"

APR 30/2021

I/We, Russell Fraser, President of 2293453 Ontario Inc. (please print all names),
the registered owner(s) or authorized agent of the property described as

In the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 13th day of October, 2021

U. Arzhan

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

*I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY'

Date of Receipt: Nov. 26/21 Hearing Date: December 22, 2021 Received By: N. Lewis
Zoning Designation: R1-S Resubmission: ☐ Yes ☐ No
Previous File Number(s): A0212/1980
Previous Hearing Date: January 19, 1981
Notes:

10/30/2021

**SUBJECT
PROPERTY**

R1-5

Brenda

363

349

339

329

317

303

364

360

352

R1-5

344

340

LOT 6
CON 6

340

340

361

345

St Charles Lake

337

333

R1-5

323

330

306

296

St Charles Lake

317

307

295

289

283

277

**SUBJECT
PROPERTY**

Brenda

St Charles Lake

St Charles Lake

Wayne

Long Lake

MacIsaac

Alice

Hulda

Still Lake

Application for Minor Variance or Permission

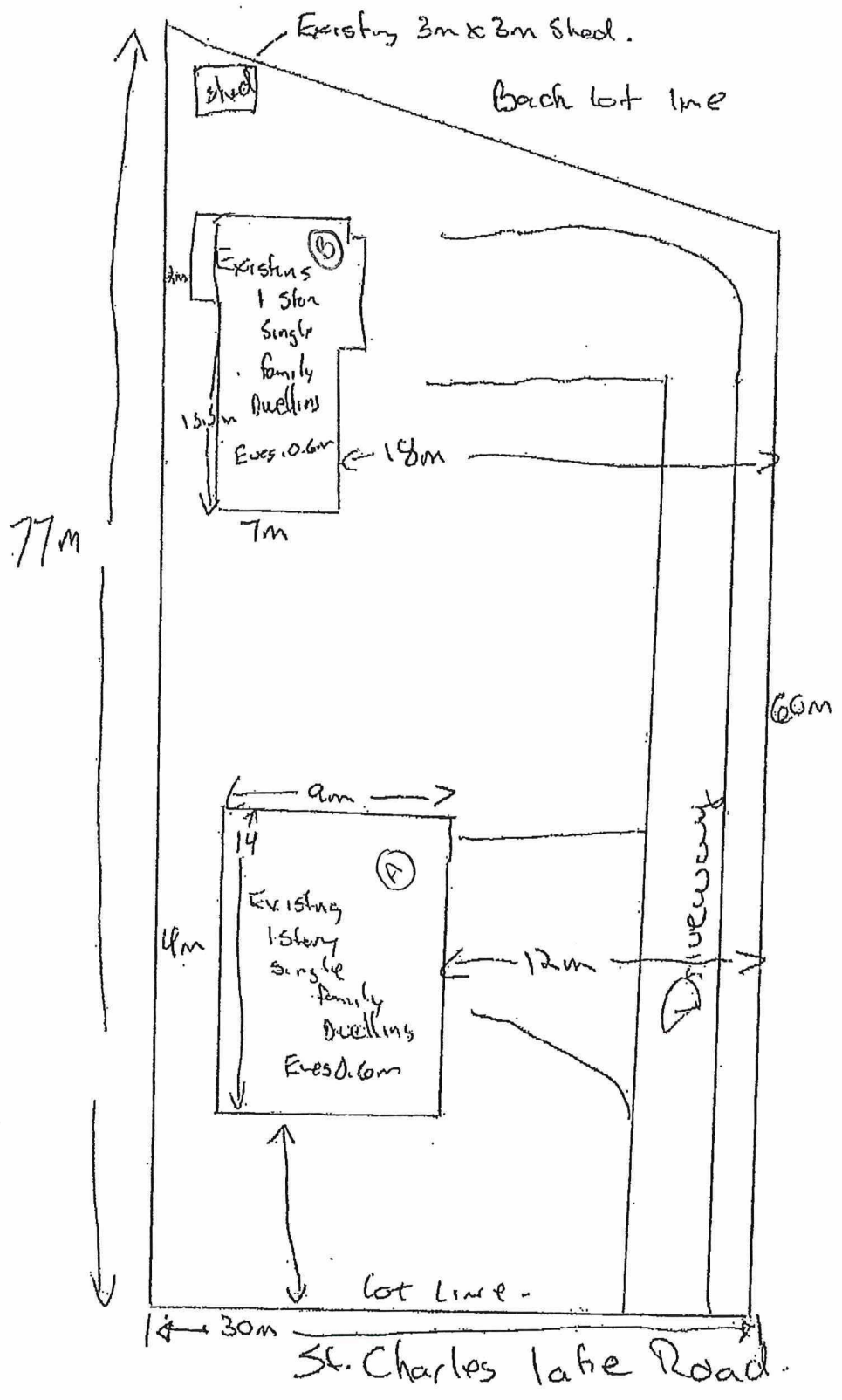


Subject Property being
PIN 73475-0713, Parcel 25355,
Lot 25, Plan M-340,
Part Lot 6, Concession 6,
Township of Broder,
340 St. Charles Lake Road, Sudbury
City of Greater Sudbury

Sketch 1, NTS
NDCA

A136/2021
Date: 2021 10 25

340 St. Charles Lake Road.



Apr 30/2021
Sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2020.01.01
A 0149/2021
S.P.P. AREA
YES _____ NO <input checked="" type="checkbox"/>
NDCA REG. AREA
YES _____ NO <input checked="" type="checkbox"/>

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): ARCHEAN DEVELOPMENT CORP. Email: [REDACTED]
Mailing Address: BOX 1075 Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Copper Cliff Postal Code: P0M 1W0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Engineering Email: [REDACTED]
Mailing Address: 1942 Regent Street Unit L Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury Postal Code: P3E 5V5 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: ARCHEAN DEVELOPMENT CORP.
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Rear Yard Setback	7.50m	5.60m	1.9m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
Development of a single detached dwelling and attached garage with permission to allow a rear yard setback of 5.60m where 7.5m is required.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Desired built form and existing lot size.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 733750928 Township: WATERS Ward: 2
 Lot No.: 4 Concession No.: 4 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R20221 Part(s): 7 & 8
 Municipal Address or Street(s): 16 JESSIE ST, LIVELY, P3Y 1A2 Patricia Street

- 7) Date of acquisition of subject land. 07/10/2020

- 8) Dimensions of land affected.

Frontage 18.50 (m) Depth 30.0 (m) Area 550 (m²) Width of Street 20.0 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	No existing buildings or structures (m ²)	145.87 (m ²)
Gross Floor Area:	" (m ²)	145.87 (m ²)
No. of storeys:	"	1
Width:	" (m)	8.53 (m)
Length:	" (m)	18.2 (m)
Height:	" (m)	4.0 (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	No existing buildings or structures (m)	6.15 (m)
Rear:	" (m)	5.65 (m)
Side:	" (m)	5.10 (m)
Side:	" (m)	4.85 (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

N/A

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant (former institutional) Length of time: 15+ Years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Residential

- 15) What is the number of dwelling units on the property? 0

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Vacant, residential and open space

A0149/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, ARCHEAN DEVELOPMENT CORP. (please print all

names), the registered owner(s) of the property described as

SRO PT LT 4 CON 4 WATERS PARTS 7 AND 8, 53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PT 7 53R20221 AS IN SD268330 CITY OF GREATER SUDBURY

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize TULLOCH Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 8th day of November, 20 21

Carlo DiCarlo
(witness)

M. Foresi
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Mark Foresi

*I have authority to bind the Corporation

A0449/2021

I/We, TULLOCH Engineering (please print all names),
the registered owner(s) or authorized agent of the property described as

SRO PT LT 4 CON 4 WATERS PARTS 7 AND 8, 53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PT 7 53R20221 AS IN SD268330 CITY OF GREATER SUDBURY

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 15th day of November, 2021

David Glen Tulloch
a Commissioner, etc., Province of Ontario,
for TULLOCH Engineering Inc.
Expires Feb 20th, 2024

David T. Hall
Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

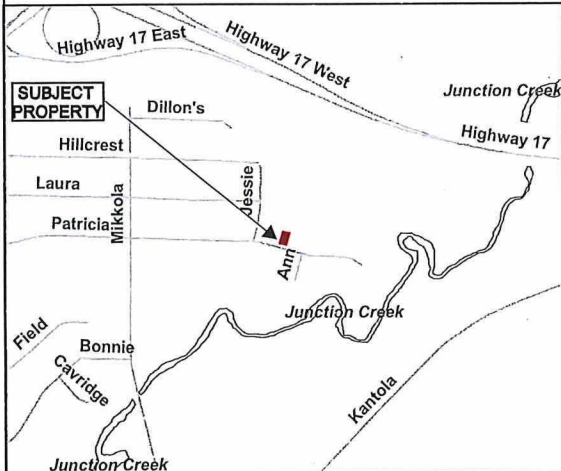
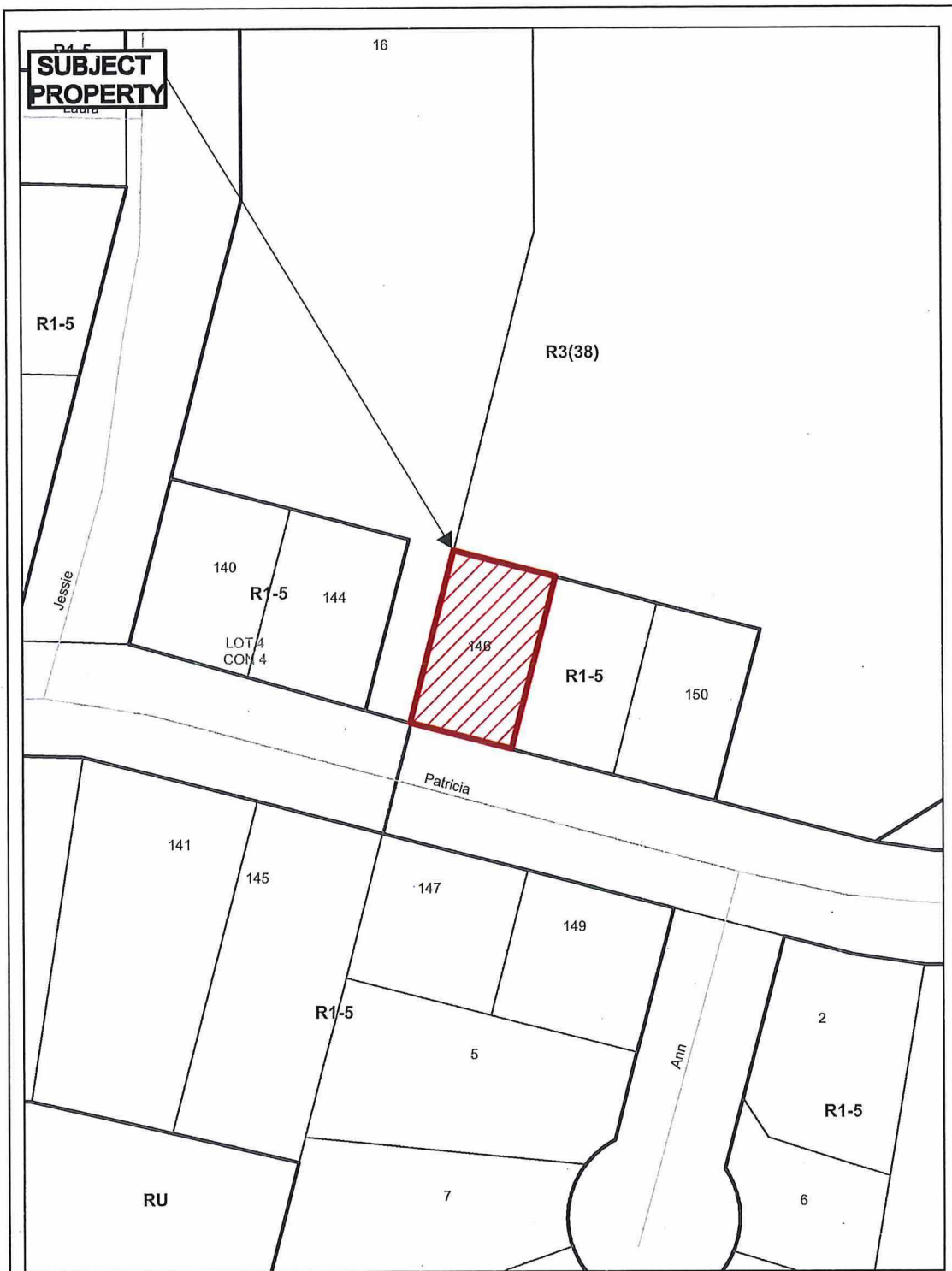
Print Name: Vernon Smith
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Nov. ..., 2021	Hearing Date: Dec. 22, 2021	Received By: N. Lewis
Zoning Designation: R1-2	Resubmission:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Previous File Number(s): B0005/2013		
Previous Hearing Date: February 14, 2013		
Notes: 		

10/49/2021



Application for Minor Variance or Permission



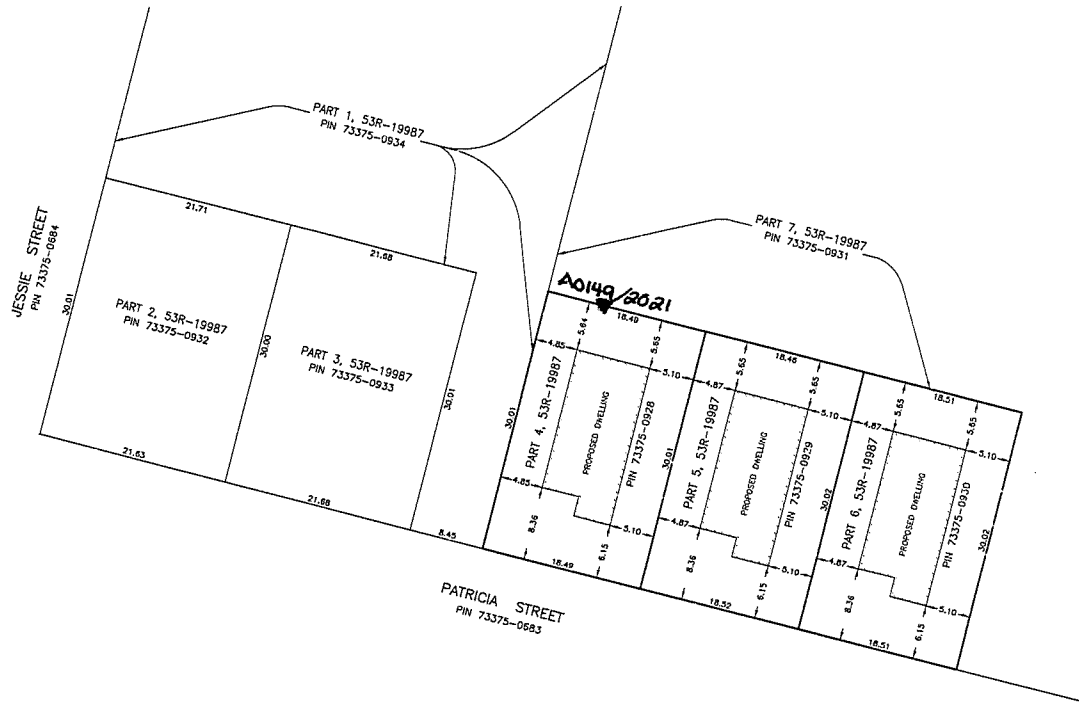
Subject Property being
PIN 73375-0928, Part Lot 4, Concession 4,
Parts 7 and 8, Plan 53R-20221,
Township of Waters,
146 Patricia Street, Lively,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A149/2021
Date: 2021 12 02

SKETCH TO ILLUSTRATE
PROPOSED BUILDING LOCATIONS AND
PROPOSED LOT ADDITIONS
PATRICIA STREET
CITY OF GREATER SUDBURY
TULLOCH GEOMATICS INC., O.L.S.
SCALE 1:300

0 5 10 15m



CAUTION:

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF TULLOCH GEOMATICS INC. IS STRICTLY PROHIBITED.

BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM LAND REGISTRY OFFICE DOCUMENTATION AND FIELD MEASUREMENTS.

METRIC

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

	TULLOCH GEOMATICS INC.	
	1842 REGENT ST.	T. 705 871-2295
	SUDBURY, ON	F. 705 871-9477
	P3C 5V5	800 810-1537
DRAWN BY: WSM		FILE: 213242

A0149/2021 Project\GEOMATICS\213242 Sketch\Patricia Street Unit\GEOMATICS\01-Project Drawings\213242.dwg plot 1 to 6 LWS (DWG)

A0149/2021
Sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2020.01.01
A 0450/2021
S.P.P. AREA
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): ARCHEAN DEVELOPMENT CORP. Email: [REDACTED]
Mailing Address: BOX 1075 Home Phone: [REDACTED]
City: Copper Cliff Postal Code: P0M 1N0 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Engineering Email: [REDACTED]
Mailing Address: 1942 Regent Street Unit L Home Phone: [REDACTED]
City: Sudbury Postal Code: P3E 5V5 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: ARCHEAN DEVELOPMENT CORP.
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Rear Yard Setback	7.50m	5.60m	1.90m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Development of a single detached dwelling and attached garage with permission to allow a rear yard setback of 5.60m where 7.5m is required.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Desired built form and existing lot size.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 733750929 Township: WATERS Ward:
 Lot No.: 4 Concession No.: 4 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R20221 Part(s): 9 & 10
 Municipal Address or Street(s): 16 JESSIE ST, LIVELY, P3Y 1A2 Patricia Street

- 7) Date of acquisition of subject land. 07/10/2020

- 8) Dimensions of land affected.

Frontage 18.50 (m) Depth 30.0 (m) Area 550 (m²) Width of Street 20.0 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	No existing buildings or structures (m ²)	145.87 (m ²)
Gross Floor Area:	" (m ²)	145.87 (m ²)
No. of storeys:	"	1
Width:	" (m)	8.53 (m)
Length:	" (m)	18.2 (m)
Height:	" (m)	4.0m (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	No existing buildings or structures (m)	6.15 (m)
Rear:	" (m)	5.65 (m)
Side:	" (m)	5.10 (m)
Side:	" (m)	4.87 (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

N/A

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant (former institutional) Length of time: 15+ Years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Residential

- 15) What is the number of dwelling units on the property? 0

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Vacant, residential and open space

A01501/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, ARCHEAN DEVELOPMENT CORP. _____

(please print all

names), the registered owner(s) of the property described as _____

PART LOT 4 CON 4 WATERS PARTS 9 AND 10, 53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PART 9 53R20221 AS IN SD268330 CITY OF GREATER SUDBURY

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize TULLOCH Engineering _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 8th day of November, 2021

Carlo DiCarlo
(witness)

M. J.
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Mark Foresi

*I have authority to bind the Corporation

Ad/ISO/2021

I/We, TULLOCH Engineering (please print all names),
the registered owner(s) or authorized agent of the property described as

PART LOT 4 CON 4 WATERS PARTS 9 AND 10, 53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PART 9 53R20221 AS IN SD268330 CITY OF GREATER SUDBURY

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 5th day of November, 2021

David Glen Tulloch
a Commissioner, etc., Province of Ontario,
for TULLOCH Engineering Inc.
Expires Feb 20th, 2024

Dan T. Mack
Commissioner of Oaths

signature of Owner (S) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Vanessa Smith
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY.

Date of Receipt: Nov. 2001 Hearing Date: Dec. 22, 2001 Received By: N. Lewis

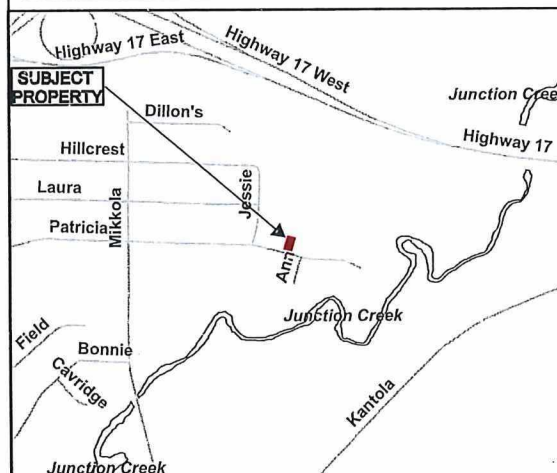
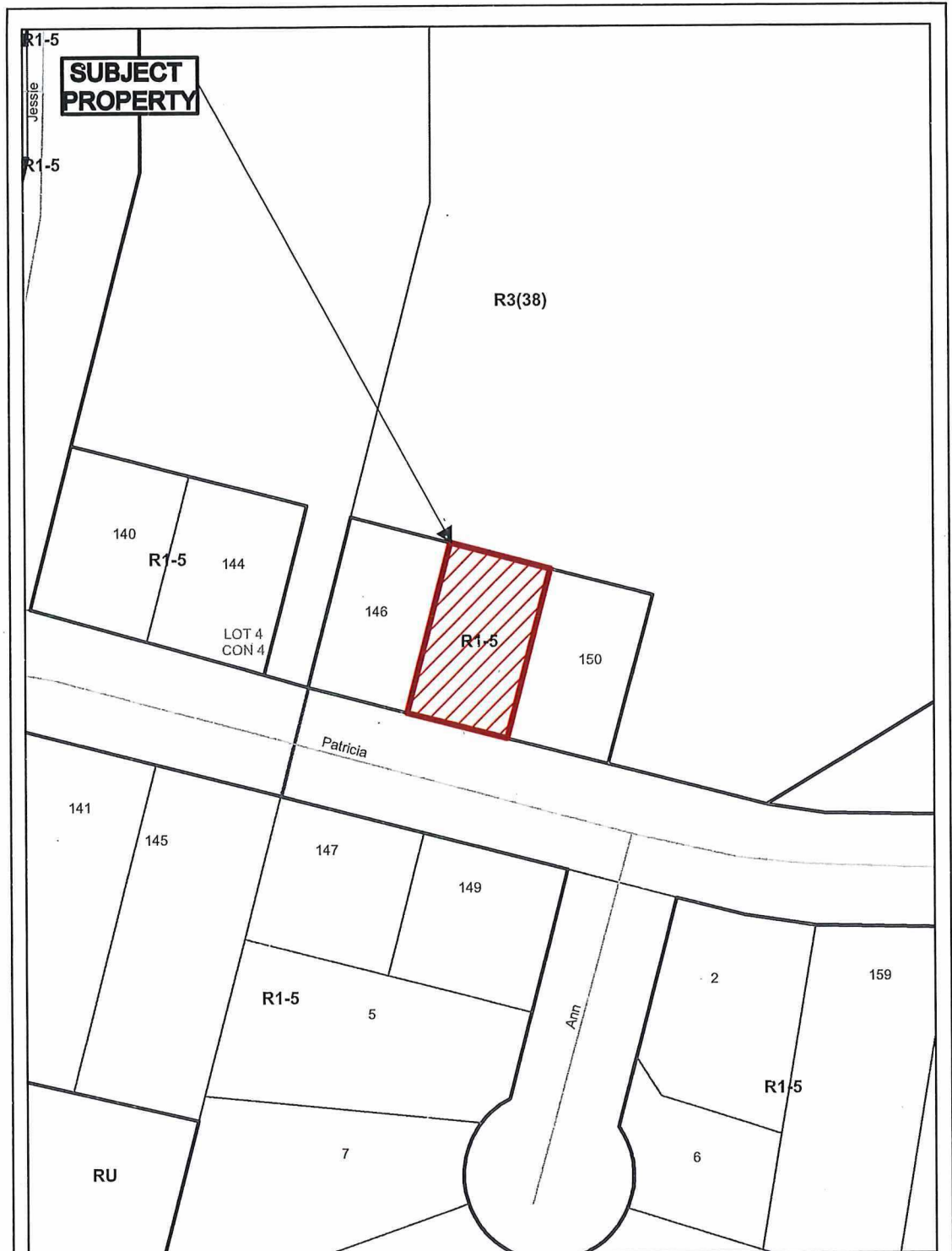
Zoning Designation: R1-2 Resubmission: ☐ Yes ☒ No

Previous File Number(s): B0006/2013

Previous Hearing Date: February 14, 2013

Notes:

AP15012021.



Application for Minor Variance or Permission



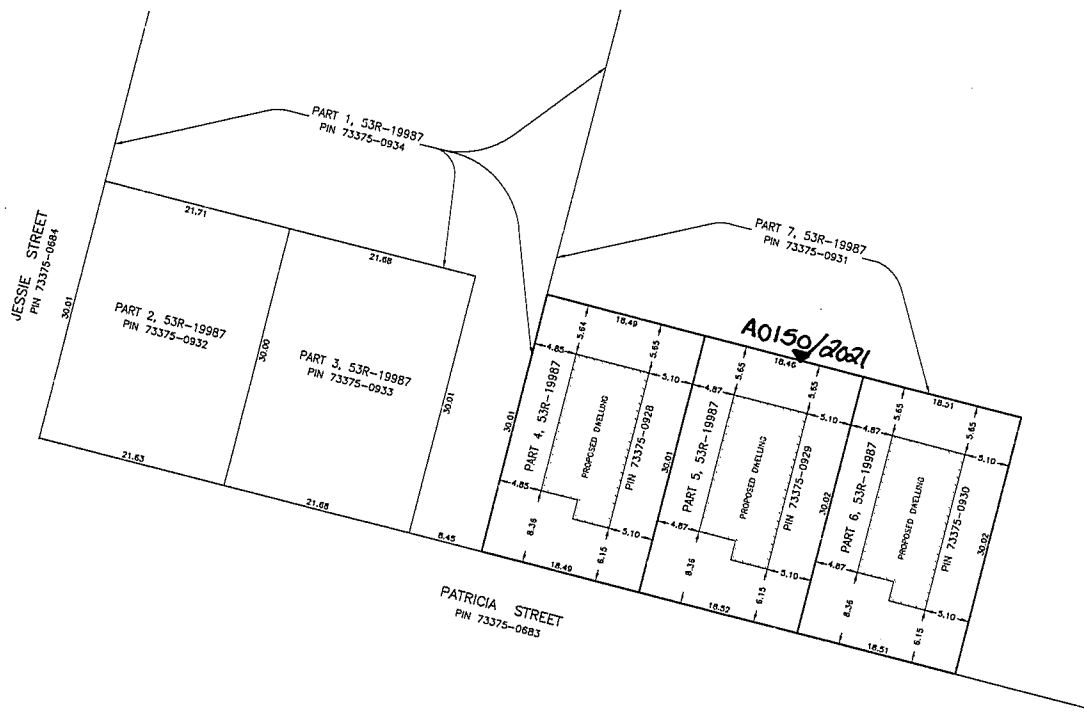
Subject Property being
PIN 73375-0929,
Part Lot 4, Concession 4,
Parts 9 and 10, Plan 53R-20221,
Township of Waters,
148 Patricia Street, Lively,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A150/2021
Date: 2021 12 02

SKETCH TO ILLUSTRATE
PROPOSED BUILDING LOCATIONS AND
PROPOSED LOT ADDITIONS
PATRICIA STREET
CITY OF GREATER SUDBURY
TULLOCH GEOMATICS INC., O.L.S.
SCALE 1:300

0 5 10 15m



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MEASUREMENTS.

METRIC

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

	TULLOCH GEOMATICS INC.	
	1042 REGENT ST. T. 705 871-2295	
	UNIT 1 SUDBURY, ON F. 705 871-9477	
	P.O. BOX 800 R10.1037	
	mailto:info@tulloch.ca	
	DRAWN BY: WSM	FILE: 213242

A0150/2021
Sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2020.01.01	
A 0151/2021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): ARCHEAN DEVELOPMENT CORP. Email: [REDACTED]
Mailing Address: BOX 1075 Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Copper Cliff Postal Code: P0M1N0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Engineering Email: [REDACTED]
Mailing Address: 1942 Regent Street Unit L Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury Postal Code: P3E 5V5 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: ARCHEAN DEVELOPMENT CORP.
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Rear Yard Setback	7.50m	5.60m	1.90m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Development of a single detached dwelling and attached garage with permission to allow a rear yard setback of 5.60m where 7.5m is required.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Desired built form and existing lot size.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 733750930 Township: WATERS Ward:
 Lot No.: 4 Concession No.: 4 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R20221 Part(s): 11 & 12
 Municipal Address or Street(s): 16 JESSIE ST, LIVELY, P3Y 1A2 Patricia Street 98

- 7) Date of acquisition of subject land. 07/10/2020

- 8) Dimensions of land affected.

Frontage 18.50 (m) Depth 30.0 (m) Area 550 (m²) Width of Street 20.0 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	No existing buildings or structures (m ²)	145.87 (m ²)
Gross Floor Area:	" (m ²)	145.87 (m ²)
No. of storeys:	"	1
Width:	" (m)	8.53 (m)
Length:	" (m)	18.2 (m)
Height:	" (m)	4.0m (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	No existing buildings or structures (m)	6.15 (m)
Rear:	" (m)	5.65 (m)
Side:	" (m)	5.10 (m)
Side:	" (m)	4.87 (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

N/A

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant (former institutional) Length of time: 15+ Years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Residential

- 15) What is the number of dwelling units on the property? 0

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Vacant, residential and open space

AD15/1/2021

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, ARCHEAN DEVELOPMENT CORP. (please print all

names), the registered owner(s) of the property described as

PART LOT 4 CON 4 WATERS PARTS 11 & 12, 53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PART 11 53R20221 AS IN SD268330 CITY OF GREATER SUDBURY

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Local Planning Appeal Tribunal, the City of Greater Sudbury may not attend at the Local Planning Appeal Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize TULLOCH Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 8th day of November, 20 21

Carlo DiCarlo
(witness)

M. Foresi
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Mark Foresi

*I have authority to bind the Corporation

AR151/2021

I/We, TULLOCH Engineering (please print all names),
the registered owner(s) or authorized agent of the property described as

PART LOT 4 CON 4 WATERS PARTS 11 & 12, 53R20221 SRO; WATERS S/T EASEMENT IN GROSS OVER PART 11 53R20221 AS IN SD268330 CITY OF GREATER SUDBURY

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 15th day of Nov, 2021

David Glen Tulloch
a Commissioner, etc., Province of Ontario,
for TULLOCH Engineering Inc.
Expires Feb 20th, 2024

David T. Moh
Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Vanessa Smith
*I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Nov. 2021 Hearing Date: Dec. 22, 2021 Received By: N. Lewis

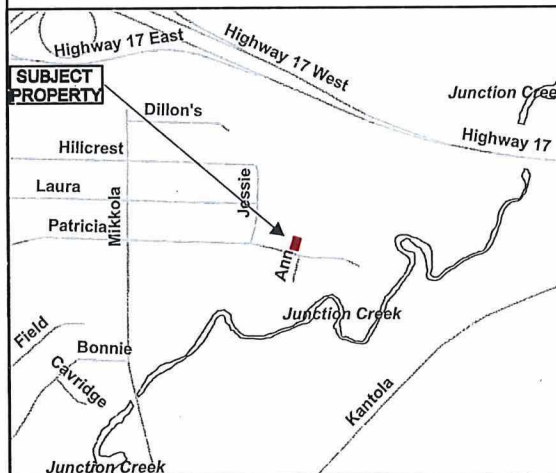
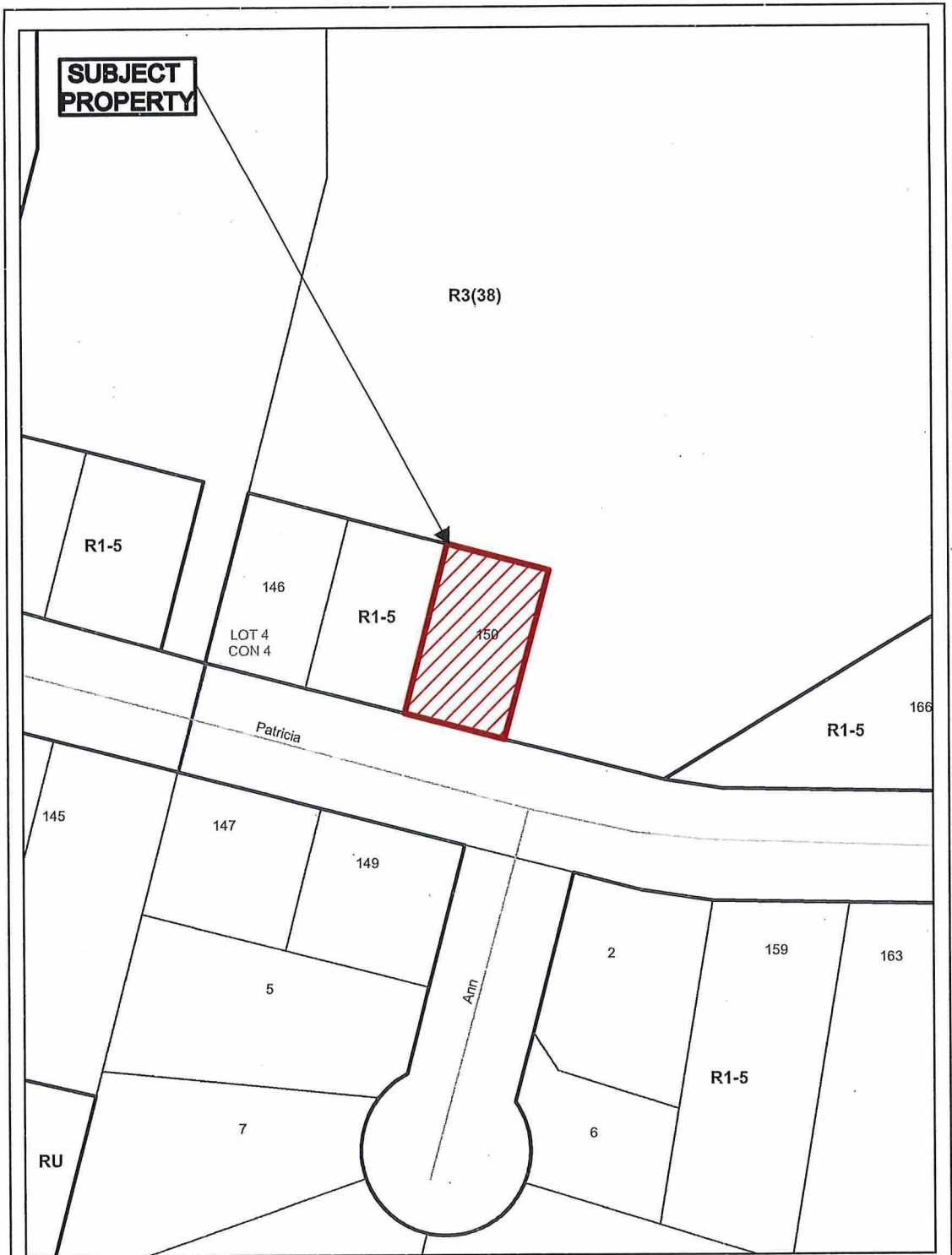
Zoning Designation: R1-2 Resubmission: ☐ Yes ☒ No

Previous File Number(s): B0007/2013

Previous Hearing Date: February 14, 2013

Notes:

APR 15 / 2021



Application for Minor Variance or Permission



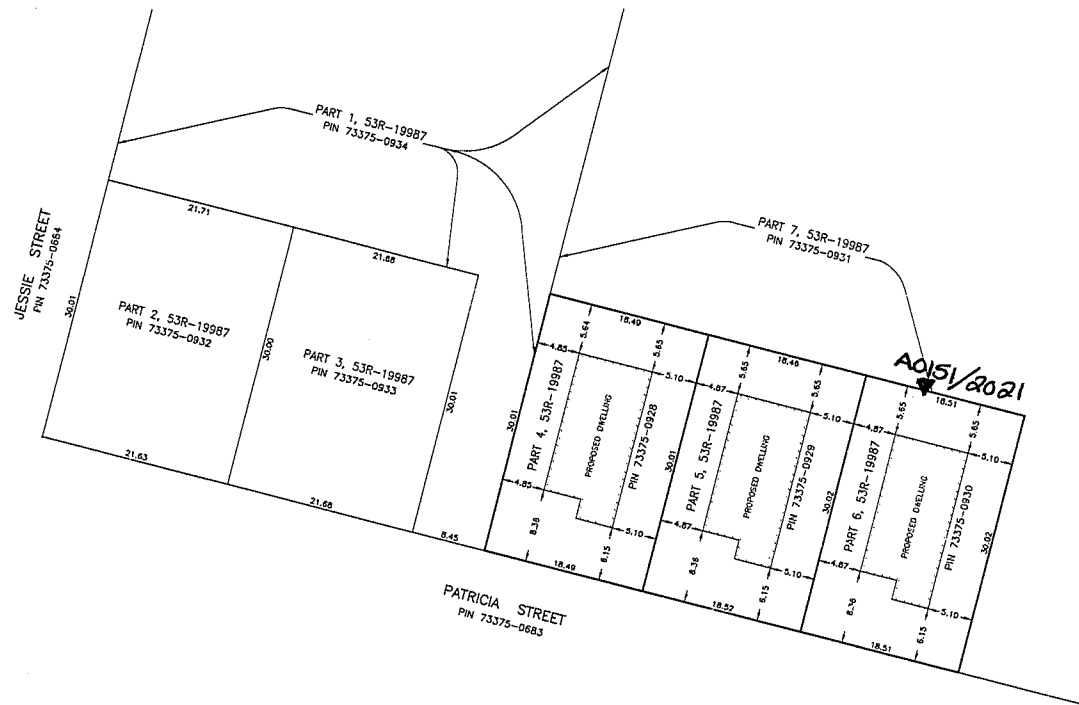
Subject Property being
PIN 73375-0930, Part Lot 4, Concession 4,
Parts 11 and 12, Plan 53R-20221,
Township of Waters,
150 Patricia Street, Lively
City of Greater Sudbury

Sketch 1, NTS
NDCA

A151/2021
Date: 2021 12 02

SKETCH TO ILLUSTRATE
PROPOSED BUILDING LOCATIONS AND
PROPOSED LOT ADDITIONS
PATRICIA STREET
CITY OF GREATER SUDBURY
TULLOCH GEOMATICS INC., O.L.S.
SCALE 1:300

0 5 10 15m



CAUTION:


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BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM LAND REGISTRY OFFICE DOCUMENTATION AND FIELD MEASUREMENTS.

METRIC

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

	TULLOCH GEOMATICS INC.	
	1942 REGENT ST. T. 705.671.2285	
	SUDBURY, ON F. 705.671.9477	
	P.O. BOX 500	B0B 8T0 1K37
	author: [signature]	
	DRAWN BY: WSM	FILE: 213242

ACAD FILE: E:\SUDBURY\2021 Projects\GEOMATICS\213242 Sketch\DWG\Patricia Street Layout_Geomatics\01-Project Drawing\213242.dwg plot 4 to 8.000 (202103)

A0151/2021
Sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2021.01.01	
A0152/2021	
S.P.P. AREA	
YES	NO
NDCA REG. AREA	
YES	NO

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): HLM3Inc Email: [REDACTED]
Mailing Address: 2106 South Shore Road Home Phone: [REDACTED]
City: Sudbury Postal Code: P3G 1M3 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Tulloch Engineering Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: cell: [REDACTED]
Except Parts 1 & 2, 53R21171 / 0 Southshore Road Business Phone: [REDACTED]
City: Sudbury Postal Code: P3E 5V5 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Minimum Lot Frontage	45	40	5

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

The creation of 3 lots through consent where the 3 new severed lots and the retained lot have approx 40 m lot frontage whereas 45 m are required.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The proposed lots conform with the Official Plan required minimum lot areas and frontages for waterfront lots but given the configuration of the property the 3 severed and 1 retained lot have less than the required 45 m road frontage.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 734720312 Township: Broder Ward: 9
 Lot No.: 11 Concession No.: 2 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R19666 Part(s): 5, 6, 7 & 8
 Municipal Address or Street(s): Except Parts 1 & 2, 53R21171 / 0 Southshore Road

- 7) Date of acquisition of subject land. June 3 2020

- 8) Dimensions of land affected.

Frontage 40 (m) Depth 230 +- (m) Area 1.57 ha (m²) Width of Street 20 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	vacant (m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	vacant (m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

vacant

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant

Length of time:

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, future waterfront lots

- 15) What is the number of dwelling units on the property? None

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

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A0152/2021

APPLICATION FOR MINOR VARIANCE **PAGE 3 OF 4**

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/we, HLM3Inc, (please print all names), the registered owner(s) of the property described as Part Lot 11, Con 2, Broder Twp and Part Lot 11 Con 2 Location CL 12452 being Parts 5, 6, 7 & 8, Plan 53R19666 except Parts 1 & 2 53R-21171 in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- In accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Tulloch Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 3rd day of NOVEMBER, 2021

Lina Dore
(witness)

Nicholas Foligno
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: NICHOLAS FOLIGNO, JANELLE FOLIGNO

*I have authority to bind the Corporation

A0152/2021

I/We, Tulloch Engineering

Location CL 12452 being Parts 5,6,7 &8, 53R19666 except Parts 1 & 2, 53R21171

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

David Glen Tulloch
a Commissioner, etc., Province of Ontario,
for **TULLOCH Engineering Inc.**
Expires Feb 20th, 2024

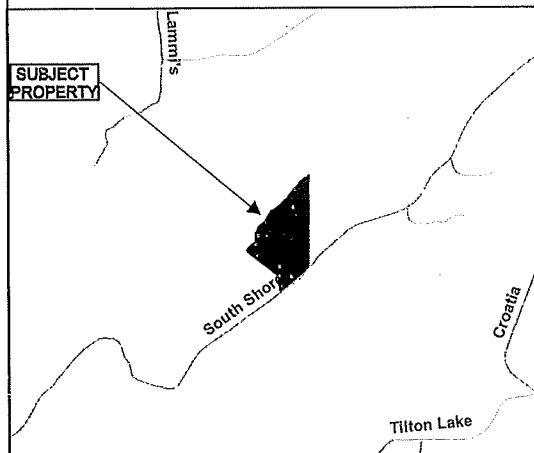
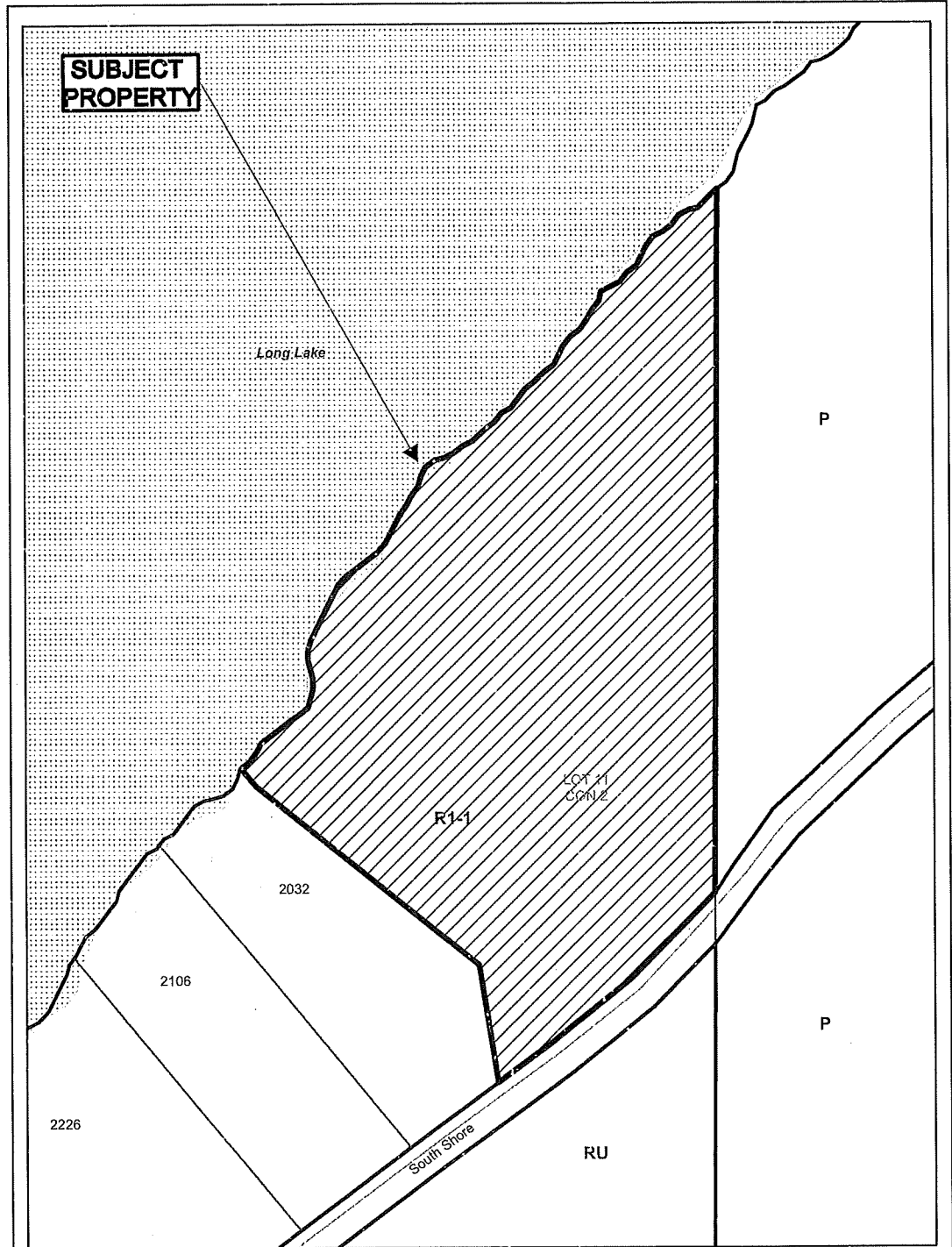
signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Nov. 25/21	Hearing Date: December 28, 2021	Received By:
Zoning Designation:	Resubmission: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Previous File Number(s):		
Previous Hearing Date:		
Notes: Relates to Consent Application B0115/2021, as well as B0116/2021 and B0117/2021		

AO152/2021



Application for Minor Variance or Permission



Subject Property being
PIN 73472-0312,
Part Lot 11, Concession 2,
Parts 6, 7, and 8, Plan 53R-19666,
except Parts 1 and 2, Plan 53R-121171,
Township of Broder,
0 South Shore Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS A152/2021 - A155/2021
NDCA Date: 2021 12 02

A horizontal scale bar with markings at 0, 25, and 50m. The bar is divided into segments by vertical lines, with the 25m mark in the middle and the 50m mark at the end.



DRAWN BY: WSM	FILE: 211558
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Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only
2021.01.01

A0153/2021

S.P.P. AREA

YES ____ NO ____

NDCA REG. AREA

YES ____ NO ____

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)

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Email: [REDACTED]

Mailing Address: 2106 South Shore Road

Home Phone: [REDACTED]

Business Phone: [REDACTED]

City: Sudbury

Postal Code: P3G 1M3

Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Tulloch Engineering

Email: eric.taylor@tulloch.ca

Mailing Address:

Home Phone: cell: [REDACTED]

Except Parts 1 & 2, 53R21171 / 0 Southshore Road

Business Phone: [REDACTED]

City: Sudbury

Postal Code: P3E 5V5

Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name:

Mailing Address:

City:

Postal Code:

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-1

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Variance To	By-law Requirement	Proposed	Difference
Minimum Lot Frontage	45	40	5

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

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- 7) Date of acquisition of subject land. June 3 2020

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 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

vacant

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant Length of time:

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, future waterfront lots

- 15) What is the number of dwelling units on the property? None

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- 17) Existing uses of abutting properties: residential lots to the west and

A0153/2021

APPLICATION FOR MINOR VARIANCE **PAGE 3 OF 4**

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

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☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, HLM3Inc (please print all names), the registered owner(s) of the property described as Part Lot 11, Con 2, Broder Twp and Part Lot 11 Con 2 Location CL 12452 being Parts 5, 6, 7 & 8, Plan 53R19666 except Parts 1 & 2 53R-21171 in the City of Greater Sudbury;

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- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
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Appointment of Authorized Agent

- g) appoint and authorize Tulloch Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 3rd day of NOVEMBER, 20 21

Lina Boer
(witness)

Nicholas Foligno
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: NICHOLAS FOLIGNO, TANELLE FOLIGNO

*I have authority to bind the Corporation

Ad 153/2021

IWe, Tulloch Engineering

____ (please print all names),

the registered owner(s) or authorized agent of the property described as

Part Lot 11, Con 2, Broder Twp. and Part Lot 11 Con 2

Location CL 12452 being Parts 5,6,7 &8, 53R19666 except Parts 1 & 2, 53R21171

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this

(7th)

day of

November

, 20 21

David Glen Tulloch

a Commissioner, etc., Province of Ontario,
for TULLOCH Engineering Inc.

Expires Feb 20th, 2024

David T. H. C. L.

Commissioner of Oaths

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name:

Kenneth Smith

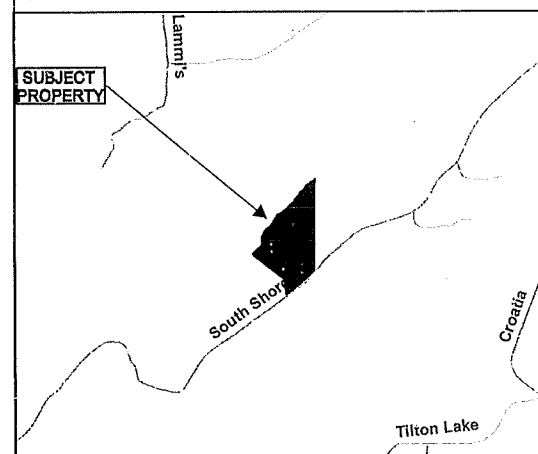
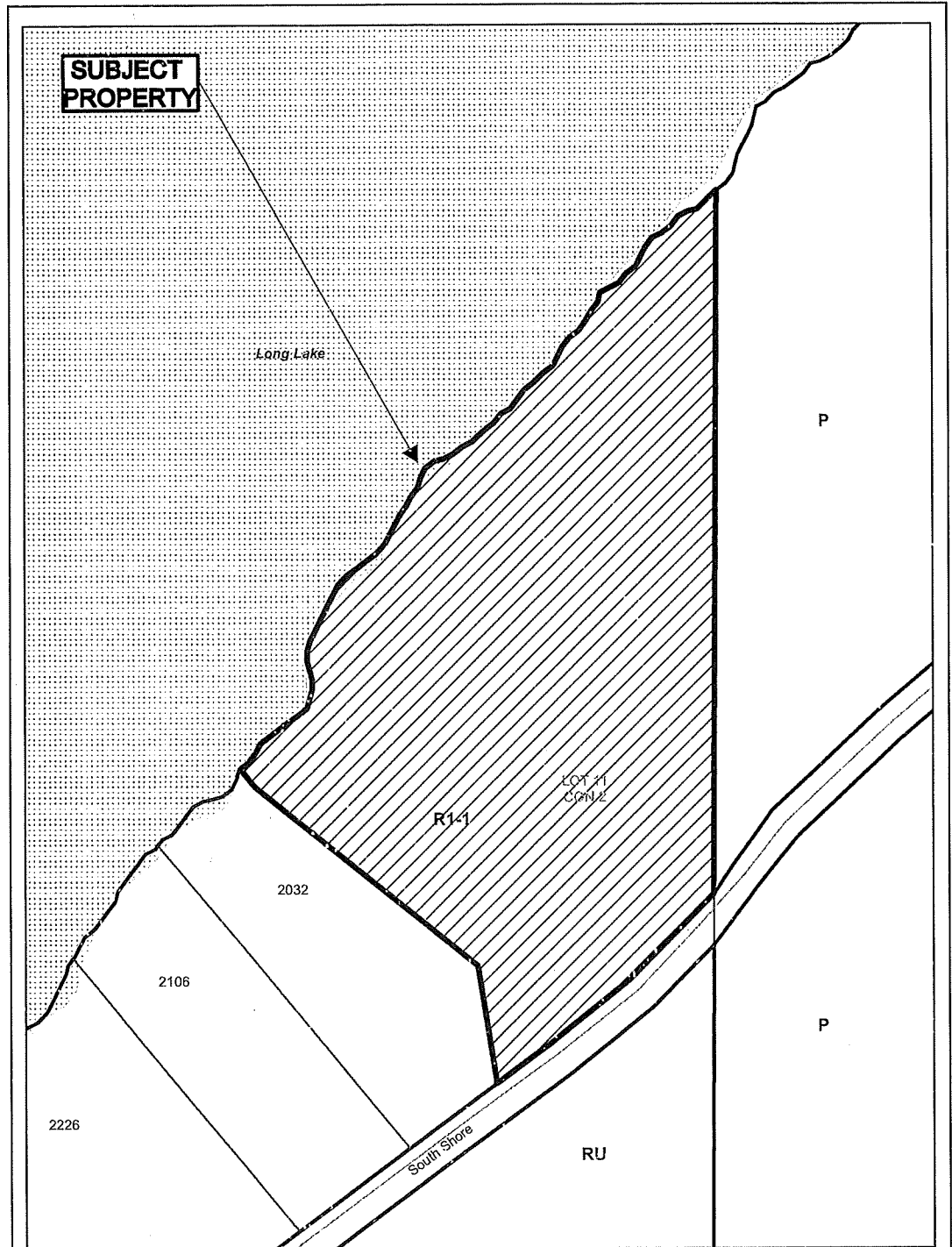
*I have authority to bind the Corporation

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FOR OFFICE USE ONLY

[illegible]

AD53/2021



Application for Minor Variance or Permission

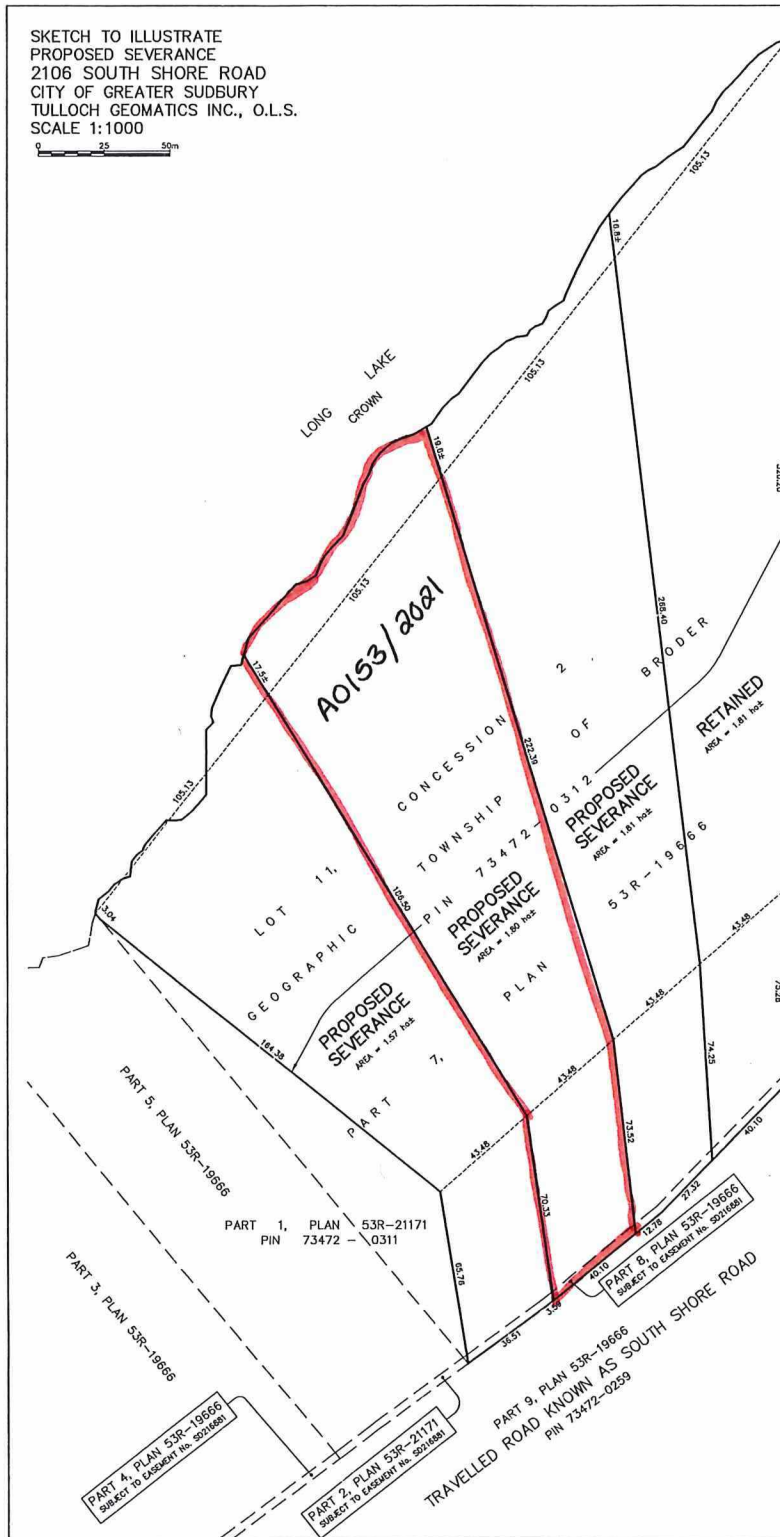


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Township of Broder,
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City of Greater Sudbury

Sketch 1, NTS A152/2021 - A155/2021
NDCA Date: 2021 12 02

SKETCH TO ILLUSTRATE
PROPOSED SEVERANCE
2106 SOUTH SHORE ROAD
CITY OF GREATER SUDBURY
TULLOCH GEOMATICS INC., O.L.S.
SCALE 1:1000

0 25 50m



CAUTION:
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE
USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE
BLOCK.

THE REPRODUCTION, ALTERATION, OR USE OF THIS
REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS
PERMISSION OF TULLOCH GEOMATICS INC. IS STRICTLY
PROHIBITED.

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MEASUREMENTS.

METRIC
DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

TULLOCH	TULLOCH GEOMATICS INC.
	1942 REGENT ST. T. 705 671-2295
	SUDBURY, ON F. 705 671-9477
	P3E SVS E. 800 810-1937
DRAWN BY: WSM FILE: 211556	

\\2001\FILE\2001\2001\TULLOCH\211556 South Shore Road\TULLOCH\211556 SKETCH.DWG [SKETCH]



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

Office Use Only 2021.01.01	
A 0154/2021	
S.P.P. AREA	
YES	NO
NDCA REG. AREA	
YES	NO

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Mailing Address:	Home Phone: cell: [REDACTED]
Except Parts 1 & 2, 53R21171 / 0 Southshore Road	Business Phone: [REDACTED]
City: Sudbury	Postal Code: P3E 5V5
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- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The proposed lots conform with the Official Plan required minimum lot areas and frontages for waterfront lots but given the configuration of the property the 3 severed and 1 retained lot have less than the required 45 m road frontage.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 734720312 Township: Broder Ward: 9
 Lot No.: 11 Concession No.: 2 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R19666 Part(s): 5,6,7 & 8
 Municipal Address or Street(s): Except Parts 1 & 2, 53R21171 / 0 Southshore Road

7) Date of acquisition of subject land. June 3 2020

8) Dimensions of land affected.

Frontage 40 (m) Depth 325 +- (m) Area 1.81 ha (m²) Width of Street 20 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	vacant (m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	vacant (m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

vacant

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant Length of time:

14) Proposed use(s) of the subject property.

Same as #13 ☐ or, future waterfront lots

15) What is the number of dwelling units on the property? None

16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

17) Existing uses of abutting properties: residential lots to the west and

A0154/2021

APPLICATION FOR MINOR VARIANCE PAGE 3 OF 4

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☐ No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, HLM3Inc (please print all names), the registered owner(s) of the property described as Part Lot 11, Con 2, Broder Twp and Part Lot 11 Con 2 Location CL 12452 being Parts 5, 6, 7 & 8, Plan 53R19666 except Parts 1 & 2 53R-21171
in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- In accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Tulloch Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 3rd day of NOVEMBER, 20 21

Lina Poretti
(witness)

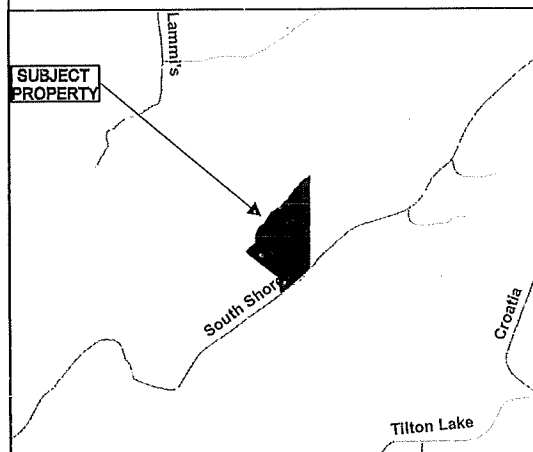
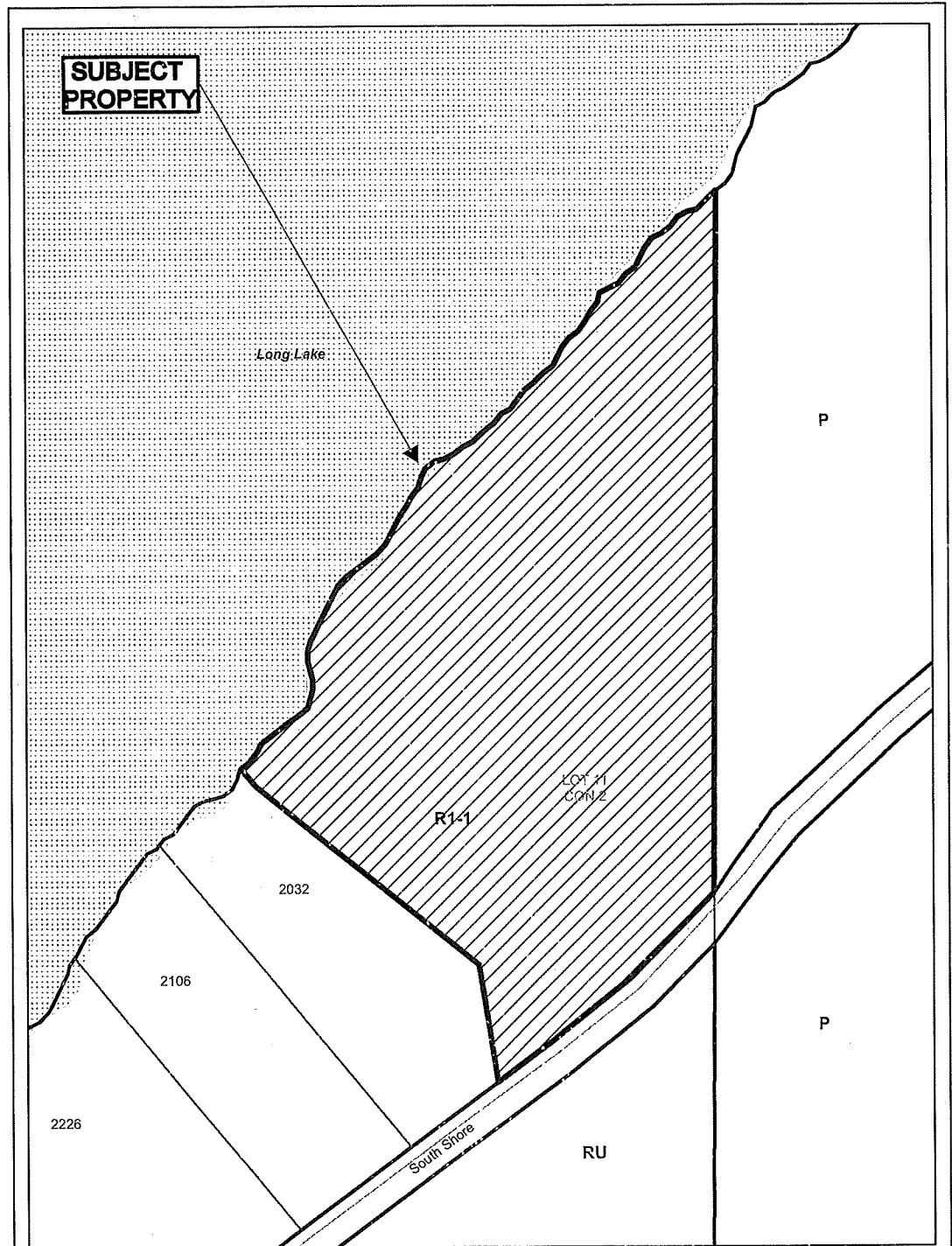
Nickolas Foligno
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: NICKOLAS FOLIGNO, JANELE FOLIGNO

*I have authority to bind the Corporation

AD154/2021

A0154/2021



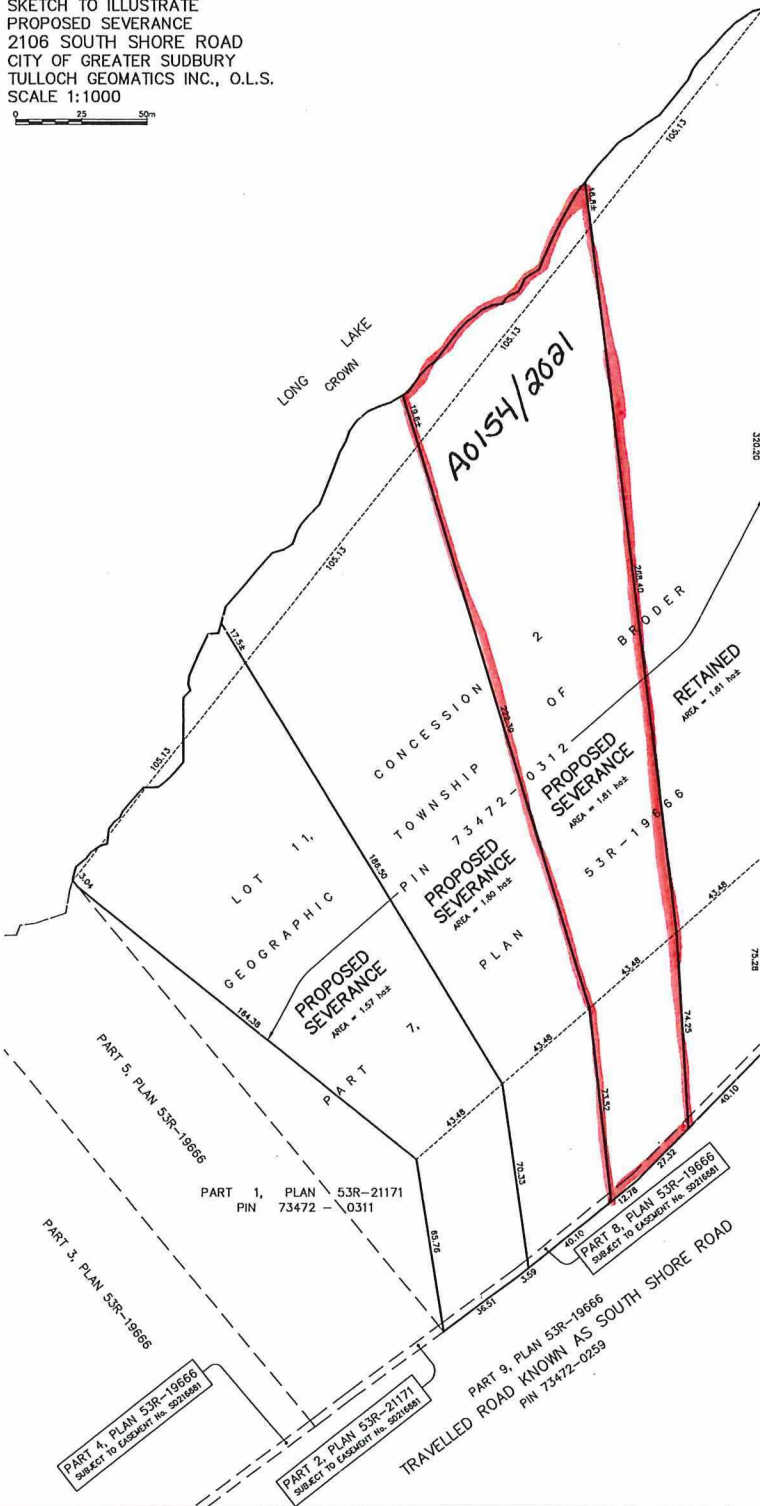
Application for Minor Variance or Permission



Subject Property being
PIN 73472-0312,
Part Lot 11, Concession 2,
Parts 6, 7, and 8, Plan 53R-19666,
except Parts 1 and 2, Plan 53R-121171,
Township of Broder,
0 South Shore Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS A152/2021 - A155/2021
NDCA Date: 2021 12 02

SKETCH TO ILLUSTRATE
PROPOSED SEVERANCE
2106 SOUTH SHORE ROAD
CITY OF GREATER SUDBURY
TULLOCH GEOMATICS INC., O.L.S.
SCALE 1:1000



CAUTION:


THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF TULLOCH GEOMATICS INC. IS STRICTLY PROHIBITED.

BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM LAND REGISTRY OFFICE DOCUMENTATION AND FIELD MEASUREMENTS.

METRIC

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

	TULLOCH GEOMATICS INC.	
	1942 HERBERT ST.	T. 705 671.2295
	UNIT L	F. 705 671.5477
	SUDBURY, ON	800 810.1937
DRAWN BY: WSM		FILE: 211556



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2021.01.01	
A 0155/2021	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (includes \$235.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): HLM3Inc Email: [REDACTED]
Mailing Address: 8106 South Shore Road Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury Postal Code: P3G 1M3 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Tulloch Engineering Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: cell: [REDACTED]
Except Parts 1 & 2, 53R21171 / 0 Southshore Road Business Phone: [REDACTED]
City: Sudbury Postal Code: P3E 5V5 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: [REDACTED]
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Minimum Lot Frontage	45	40	5

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

The creation of 3 lots through consent where the 3 new severed lots and the retained lot have approx 40 m lot frontage whereas 45 m are required.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The proposed lots conform with the Official Plan required minimum lot areas and frontages for waterfront lots but given the configuration of the property the 3 severed and 1 retained lot have less than the required 45 m road frontage.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 734720312 Township: Broder Ward: 9
 Lot No.: 11 Concession No.: 2 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R19666 Part(s): 5, 6, 7 & 8
 Municipal Address or Street(s): Except Parts 1 & 2, 53R21171 / 0 Southshore Road

- 7) Date of acquisition of subject land. June 3 2020

- 8) Dimensions of land affected.

Frontage 40 (m) Depth 365 +- (m) Area 1.81 ha (m²) Width of Street 20 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	vacant (m ²)	(m ²)
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No. of storeys:		
Width:	(m)	(m)
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- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

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Front:	vacant (m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

vacant

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant Length of time:

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, future waterfront lots

- 15) What is the number of dwelling units on the property? None

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☐ No

If "yes", how many?

- 17) Existing uses of abutting properties: residential lots to the west and

A0155/2021

APPLICATION FOR MINOR VARIANCE PAGE 3 OF 4

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

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☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

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I/We, HLM3Inc

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Dated this 3rd day of NOVEMBER, 20 21

Lina Preter
(witness)

Nicholas Foligno
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: NICHOLAS FOLIGNO, JANELLE FOLIGNO

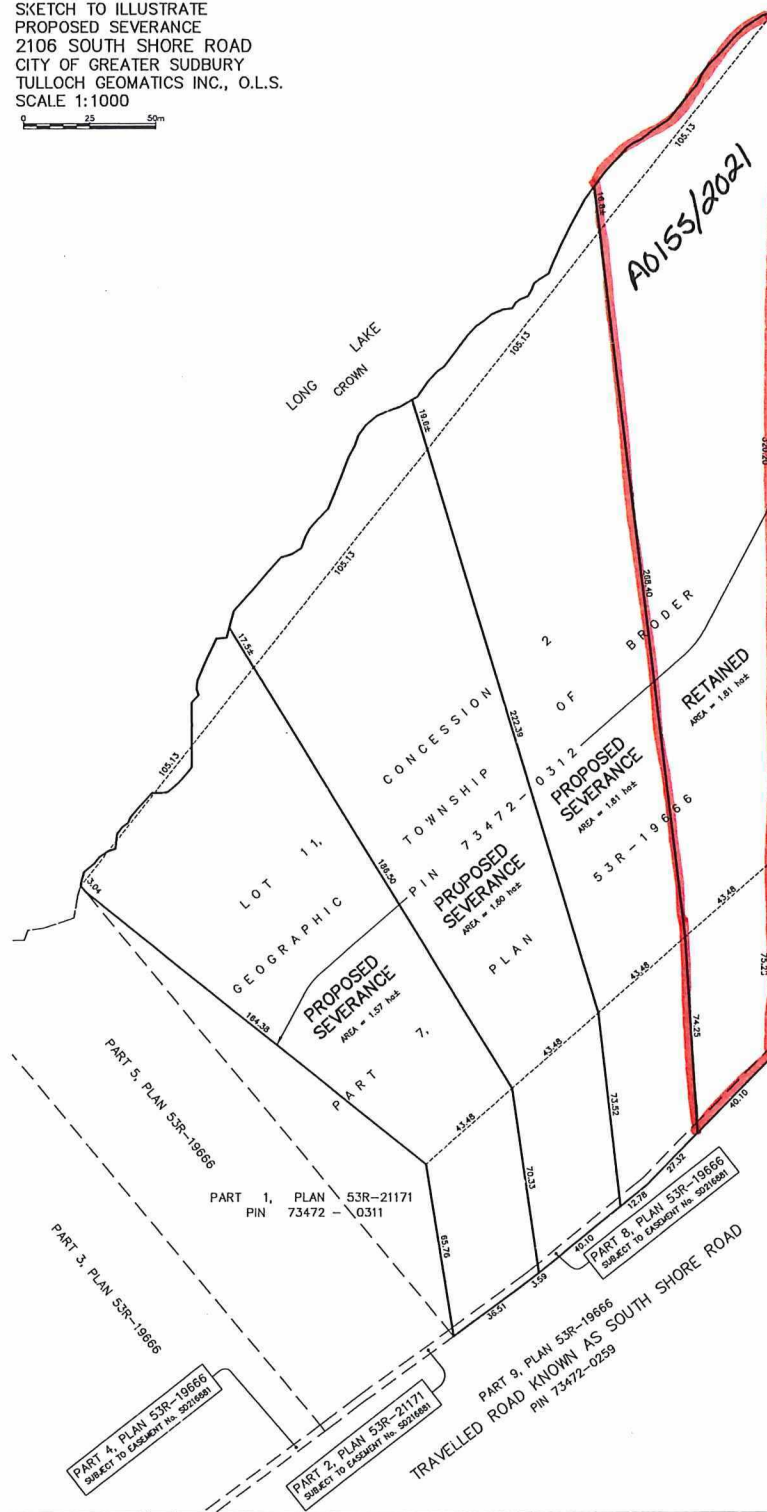
*I have authority to bind the Corporation

AD155/2021

AV155/2021

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PROPOSED SEVERANCE
2106 SOUTH SHORE ROAD
CITY OF GREATER SUDBURY
TULLOCH GEOMATICS INC., O.L.S.
SCALE 1:1000

0 25 50m



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TULLOCH	TULLOCH GEOMATICS INC.
	1942 REGENT ST. T. 705.671.2295
	UNIT L SUDBURY, ON P3E 5V5 F. 705.671.9477 800.810.1937
DRAWN BY: WSM FILE: 211555	

ACAD FILE: SUDBURY\3121 Project\TULLOCH\311054 South Shore RD\TULLOCH\311054 Project Drawing\311054 SHEET 10 OF 10 (SHEET)