

Tom Davies Square

200 Brady St

Wednesday, December 4, 2024

**PUBLIC HEARINGS****A0101/2024****JENNIFER JOCKO  
BRAD LEFEBVRE**

Ward: 9

PIN 73477 0308, Survey Plan 53R-21845 Part(s) 2 and 6, Lot Part 3 and 4, Concession 3, Township of Broder, 3978 Ristimaki Road, Sudbury, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.10.3 d) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the conversion of the existing single detached dwelling to an accessory building containing an additional dwelling unit providing a 97.0m setback from the main building, where an additional dwelling unit located in a building accessory to a main building in an "RU", Rural zone shall be located no more than 30.0m from the main building.

**A0109/2024****1074086 ONT. INC.**

Ward: 1

PIN 73585 0856, Lot(s) Parts 16 and 17, Subdivision 31-SA, Lot Part 6, Concession 3, Township of McKim, 265 Elm Street, Sudbury, [2010-100Z, C4(1)(Office Commercial)]

For relief from Part 4, Section 4.2, Table 4.1, Section 4.25, subsection 4.25.1 and Part 5, Section 5.3, Table 5.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an addition, firstly, providing eaves to encroach 1.4m into the required rear yard, where eaves may encroach 1.2m into the required rear yard but not closer than 0.6m to the lot line, secondly, providing a reduction in the required rear yard maintaining a rear yard setback of 6.405m and an increase in lot coverage, where enlargement, reconstruction, repair and/or renovation does not further reduce the existing rear yard and/or increase lot coverage, thirdly, an increase in gross floor area of 16.16 sq. m within the required rear yard, where enlargement, reconstruction, repair and/or renovation does not increase the gross floor area of the building or structure located within the required rear yard, and fourthly, 4 parking spaces, where a total of 7 parking spaces are required for a medical office and one dwelling unit.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A355/89 (JAN 22/90)

**A0110/2024****TIMESTONE CORPORATION**

Ward: 11

PINs 73576 0528 &amp; 73576 0529, Survey Plan 53R-22079 Part(s) 17, 18, and 19, Lot(s) 96 and Part 95, Subdivision M-1003, Township of Neelon, 127 Covington Crescent, 129 Covington Crescent, Sudbury, [2010-100Z, R3(66) (Medium Density Residential)]

For relief from Part 6, Section 6.3, Table 6.5 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve lands subject of a future consent application to permit a semi-detached dwelling to provide a maximum lot coverage of 45%, where a maximum of 40% is permitted.

ALSO PREVIOUSLY SUBJECT TO CONSENT APPLICATION B55/24 (26 AUG 24) AND CONCURRENT MINOR VARIANCE APPLICATION A111/24

A0111/2024

**TIMESTONE CORPORATION**

Ward: 11

PINs 73576 0528 & 73576 0529, Survey Plan 53R-22079 Part(s) 17, 18, and 19, Lot(s) 96 and Part 95, Subdivision M-1003, Township of Neelon, 127 Covington Crescent, 129 Covington Crescent, Sudbury, [2010-100Z, R3(66) (Medium Density Residential)]

For relief from Part 6, Section 6.3, Table 6.5 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to approve lands subject of a future consent application to permit a semi-detached dwelling to provide a maximum lot coverage of 44%, where a maximum of 40% is permitted.

ALSO PREVIOUSLY SUBJECT TO CONSENT APPLICATION B55/24 (26 AUG 24) AND CONCURRENT MINOR VARIANCE APPLICATION A110/24

**A REMINDER... THE NEXT SCHEDULED MEETING IS  
THURSDAY, DECEMBER 19, 2024**



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel. (705) 671-2489, Ext. 4376/4346  
 Fax (705) 673-2200

Office Use Only 2024.01.01	
A0101/2024	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

**City of Greater Sudbury**

**APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)  
 APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)  
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the *Planning Act*, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the *Planning Act* R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Jennifer Jocko & Brad Lefebvre      Email: [Redacted]  
 Mailing Address: 3978 Ristimaki Road      Home Phone: [Redacted]  
 City: Sudbury      Postal Code:      Business Phone: [Redacted]  
 Fax Phone: [Redacted]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Bélanger Salach Architecture      Email: [Redacted]  
 Mailing Address: 255 Larch Street      Home Phone: [Redacted]  
 City: Sudbury      Postal Code: P3B 1M2      Business Phone: [Redacted]  
 Fax Phone: [Redacted]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Current Official Plan designation: Rural      Current Zoning By-law designation: RU

- 4) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.10.3. c) ii)	<30m separation	97m	67m

- b) Is there an eave encroachment?       Yes       No      If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal:

To maintain both the existing one storey house and the new one storey house on the property. The existing one storey house is intended to be used as a secondary dwelling (In-law suite or guest house).

- 5) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The Zoning By-law states that a secondary dwelling be no more than 30m from the primary dwelling, though this proposal would see maintaining the existing house as a secondary dwelling unit which is 97m from the new primary dwelling.

6) Legal Description (include any abutting property registered under the same ownership).

Pin(s):	Township:		
Lot No.:	Concession No.:	Parcel(s):	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s): 2
Municipal Address or Street(s): 3978 Ristimaki Road			

7) Date of acquisition of subject land: June 15, 2023

8) Dimensions of land affected.

Frontage ±656 (m) Depth ±386 (m) Area ±25,625 (m<sup>2</sup>) Width of Street 6.5 (m)

9) Particulars of all buildings and structures (if more room is needed, please fill out Schedule A, attached):

	Existing		Proposed	
Type of Building/Structure:	Secondary Dwelling		Primary Dwelling	
Ground Floor Area:	167	(m <sup>2</sup> )	587	(m <sup>2</sup> )
Gross Floor Area:	167	(m <sup>2</sup> )	587	(m <sup>2</sup> )
No. of storeys:	1 storey		1 storey	
Width:	13.0	(m)	33.0	(m)
Length:	14.0	(m)	16.5	(m)
Height:	6.0	(m)	6.0	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines). If more room is needed, please fill out Schedule B, attached.

	Existing		Proposed	
Type of Building/Structure:	Secondary Dwelling		Primary Dwelling	
Front:	18	(m)	100	(m)
Rear:	330	(m)	205	(m)
Side:	77	(m)	149	(m)
Side:	537	(m)	480	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                  |  |                                  |
|---|----------------------------------|--|----------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="radio"/> | Provincial Highway   | <input type="radio"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="radio"/> | Municipal Road   | <input type="radio"/>            |
| Lake  | <input type="radio"/>            | Maintained Yearly  | <input checked="" type="radio"/> |
| Individual Well                                     | <input type="radio"/>            | Maintained Seasonal  | <input type="radio"/>            |
| Communal Well                                       | <input type="radio"/>            | Right-of-way   | <input type="radio"/>            |
| Individual Septic System                            | <input type="radio"/>            | Water  | <input type="radio"/>            |
| Communal Septic System                              | <input type="radio"/>            | If access is by water only, provide parking and docking facilities to be used. |                                  |
| Pit Privy   | <input type="radio"/>            |  |                                  |
| Municipal Sewers/Ditches/Swales                     | <input checked="" type="radio"/> |  |                                  |

12) Date(s) of construction of all buildings and structures on the subject land, July 24, 2023

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time:

14) Proposed use(s) of the subject property.

Same as #13  or, \_\_\_\_\_

15) What is the number of dwelling units on the property? 2

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Residential

*Approved 2024*

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the *Planning Act*, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the *Planning Act*, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If 'Yes', indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Jennifer Jocko and Brad Lefebvre (please print all names), the registered owner(s) of the property described as 3978 Ristimaki Road, Sudbury ON

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Bélanger Salach Architecture/Louis Bélanger (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 27 day of September, 2024.

[Signature]  
(witness)

J. Jocko B. Lefebvre  
signature of Owner(s) or Signing Officer of Authorized Agent

Print Name: Jennifer Jocko & Brad Lefebvre  
\*I have authority to bind the Corporation

AC101/2024

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Belanger Salach Architecture (please print all names), the registered owner(s) or authorized agent of the property described as 3978 Ristimaki Road, Sudbury ON in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 26 day of September, 2024

Signature of Tracy Sylvie Rochon, Commissioner of Oaths, a Commissionner, etc., Province of Ontario, for Bélanger Salach Architecture. Expires June 10, 2025.

Signature of Louis Bélanger, signature of Owner(s) or Signing Officer or Authorized Agent (\*where a Corporation) Print Name: Louis Bélanger \*I have authority to bind the Corporation

\* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Form with fields: Date of Receipt: Nov. 6/24, Hearing Date: December 4/24, Received By: N. Lewis, Zoning Designation: RU, Resubmission: O Yes X No, Previous File Number(s): none, Previous Hearing Date: Notes:

Handwritten text: A0101/2024

## Schedule A

(Additional Building/Structure Dimensions)

9. Particulars of all buildings/structures:

	Existing	Proposed
Type of Building/Structure: <u>Shed A</u>		
Ground Floor Area: <u>23</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
Gross Floor Area: <u>28</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
No. of storeys: <u>1</u>		
Width: <u>4.4</u>	<u>(m)</u>	<u>(m)</u>
Length: <u>6.4</u>	<u>(m)</u>	<u>(m)</u>
Height: <u>2.7</u>	<u>(m)</u>	<u>(m)</u>

	Existing	Proposed
Type of Building/Structure: <u>Shed B</u>		
Ground Floor Area: <u>23</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
Gross Floor Area: <u>28</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
No. of storeys: <u>1</u>		
Width: <u>5.0</u>	<u>(m)</u>	<u>(m)</u>
Length: <u>5.6</u>	<u>(m)</u>	<u>(m)</u>
Height: <u>3.6</u>	<u>(m)</u>	<u>(m)</u>

	Existing	Proposed
Type of Building/Structure: <u>Shed C</u>		
Ground Floor Area: <u>39</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
Gross Floor Area: <u>39</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
No. of storeys: <u>1</u>		
Width: <u>6.4</u>	<u>(m)</u>	<u>(m)</u>
Length: <u>7.2</u>	<u>(m)</u>	<u>(m)</u>
Height: <u>2.7</u>	<u>(m)</u>	<u>(m)</u>

	Existing	Proposed
Type of Building/Structure: <u>Garage</u>		
Ground Floor Area: <u>149</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
Gross Floor Area: <u>149</u>	<u>(m<sup>2</sup>)</u>	<u>(m<sup>2</sup>)</u>
No. of storeys: <u>1</u>		
Width: <u>9.5</u>	<u>(m)</u>	<u>(m)</u>
Length: <u>15.6</u>	<u>(m)</u>	<u>(m)</u>
Height: <u>6.3</u>	<u>(m)</u>	<u>(m)</u>

A0101/2024

## Schedule B

(Additional Building/Structure Setbacks)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

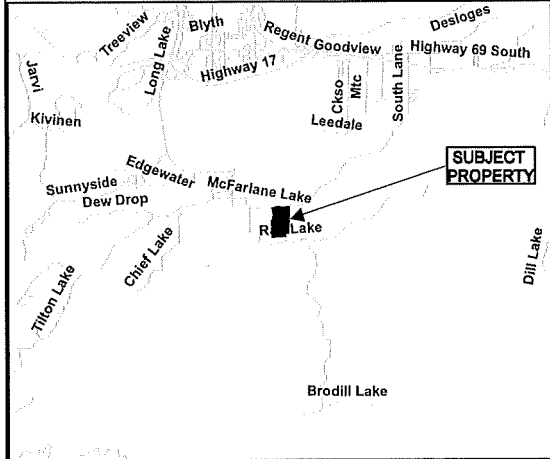
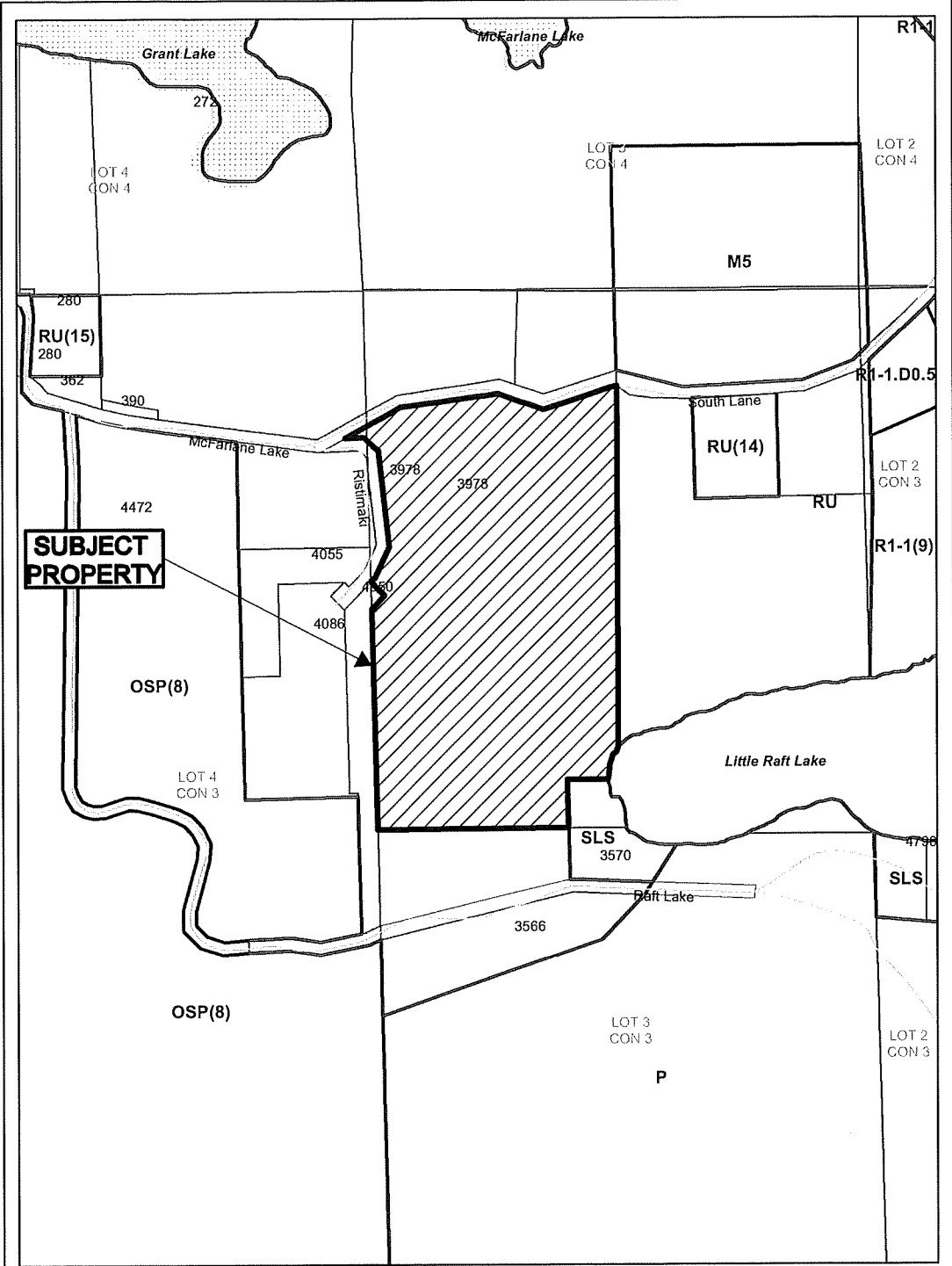
	Existing	Proposed
Type of Building/Structure: <u>Shed A</u>		
Front: <u>30</u>	<u>(m)</u>	<u>(m)</u>
Rear: <u>32</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>62</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>572</u>	<u>(m)</u>	<u>(m)</u>

	Existing	Proposed
Type of Building/Structure: <u>Shed B</u>		
Front: <u>34</u>	<u>(m)</u>	<u>(m)</u>
Rear: <u>326</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>69</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>567</u>	<u>(m)</u>	<u>(m)</u>

	Existing	Proposed
Type of Building/Structure: <u>Shed C</u>		
Front: <u>62</u>	<u>(m)</u>	<u>(m)</u>
Rear: <u>293</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>104</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>536</u>	<u>(m)</u>	<u>(m)</u>

	Existing	Proposed
Type of Building/Structure: <u>Garage</u>		
Front: <u>100</u>	<u>(m)</u>	<u>(m)</u>
Rear: <u>241</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>163</u>	<u>(m)</u>	<u>(m)</u>
Side: <u>480</u>	<u>(m)</u>	<u>(m)</u>

*AC101/2024*

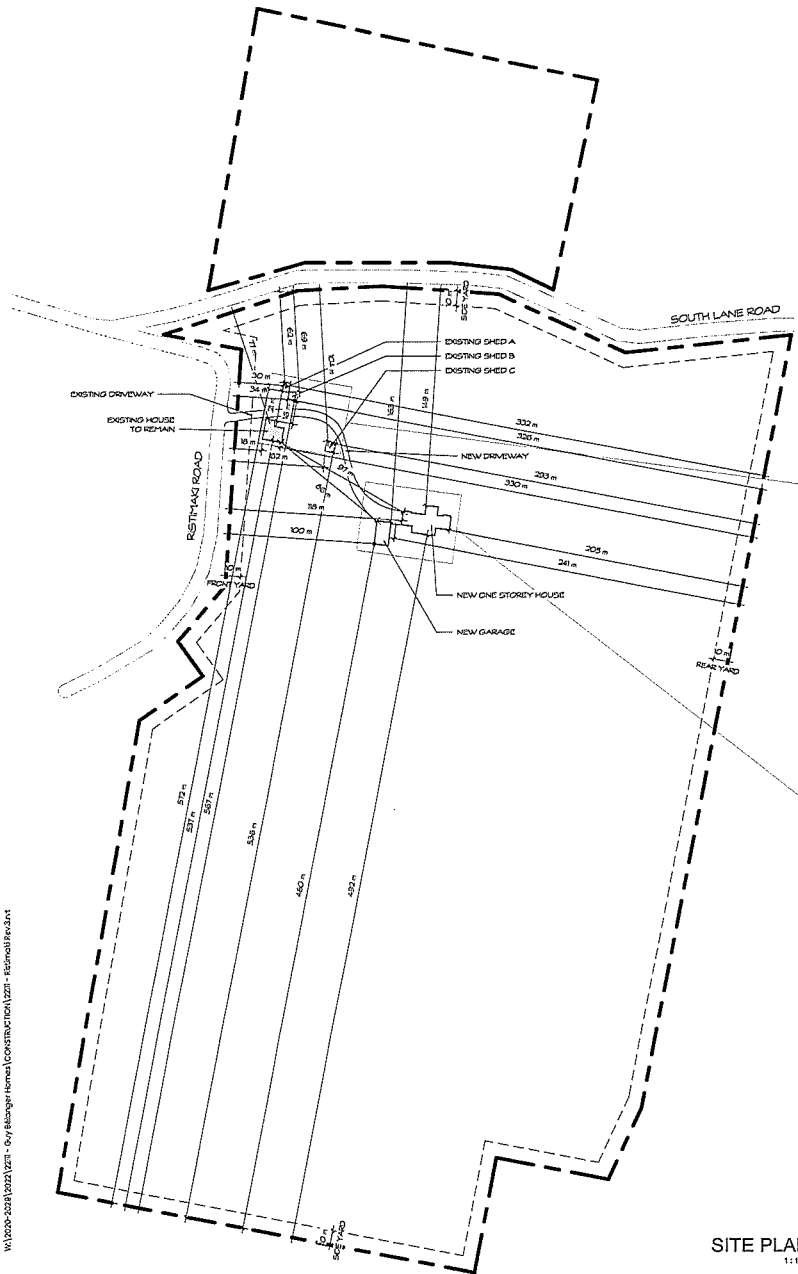


Application for Minor  
Variance or Permission N  
↑

Subject Property being PIN 73477-0308,  
Parts 2 and 6 on Plan 53R-21845,  
Part Lots 3 and 4, Concession 3,  
Township of Broder,  
3978 Ristimaki Road, Sudbury,  
City of Greater Sudbury

Sketch 1, NTS A0101/2024  
NDCA Date: 2024 10 21

Approved  
Sketch 2



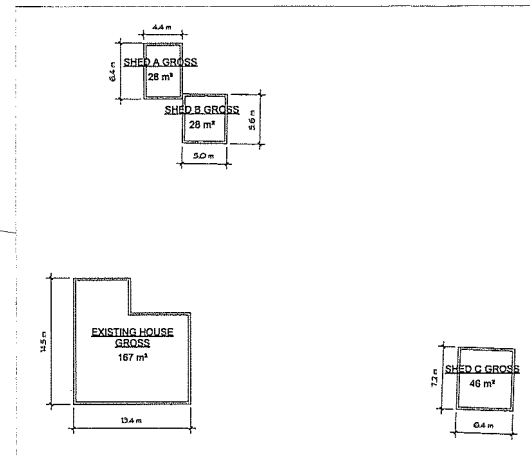
SITE PLAN  
1:1500

**SITE DATA**

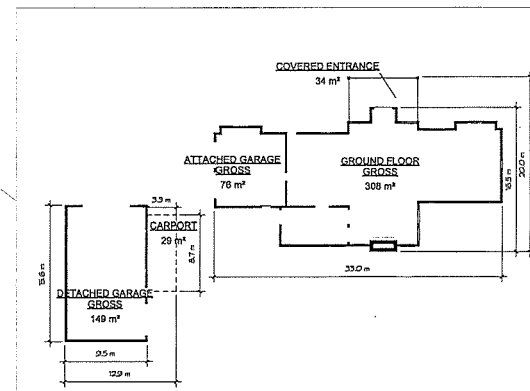
GEORGIAN TOWNSHIP OF BRIDGE  
CITY OF GREATER SUDBURY

ZONING R1 RESIDENTIAL

USE OF BUILDING	PROPOSED	EXISTING	PERMITTED	TOTAL
OFFICE DEVELOPMENT	25,025 sqm, of total site	132 sqm	438 sqm	27,600 sqm
BUILDING COVERAGE	<10.0%	0.0%	1.0%	2.2%
GROSS FLOOR AREA	N/A	132 sqm	438 sqm	570 sqm
BUILDING HEIGHT	<10.0 m	1 storey (5m)	1 storey (5m)	
FRONT YARD SETBACK	10.0 m	10 m	10 m	
SIDE YARD SETBACK	10.0 m	7.1 m / 237 m	14.0 m / 480 m	
REAR YARD SETBACK	10.0 m	3.0 m	2.0 m	
BUILDING SEPARATION	> 3.0 m		0.0 m	



GROSS BUILDING EXISTING AREA PLAN  
1:200



GROSS BUILDING AREA PLAN  
1:200



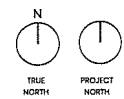
RISTIMAKI ROAD  
RESIDENCE

3978 Ristimaki Rd,  
Sudbury, ON

Issued to Reflect  
Existing House

**REVISONS**

- 1 Issued for Construction 03-29-20 23
- 2 Revision 1 05-17-2023 3
- 4 Revision 2 08-08-20 23
- 5 Issued to Reflect Existing House 08-19-2023 4
- 6 Re-issued to Reflect Existing House 11-06-2023 4



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PROJECT NO. 2311  
DRAWN BY JS  
CHECKED BY TK

SCALE As Indicated

Site Plan

**A-1.0**



Box 5000, Station 'A', 200 Brady Street  
 Sudbury ON P3A 5P3  
 Tel (705) 671-2489, Ext 4376/4346  
 Fax (705) 673-2200

Office Use Only  
 2020.01.01  
 A 2020/01/01  
 SFP AREA  
 YES \_\_\_ NO   
 NDCA REG A REA  
 YES \_\_\_ NO

**City of Greater Sudbury**

**APPLICATION FOR MINOR VARIANCE**

APPLI CATION FEE : \$1,300.00 (includes \$320.00 legal notice fee)  
 APPLI CATION FEE FOR HEDGEROWS: \$409.00 (includes \$20.00 legal notice fee)  
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- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the *Planning Act* R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): 1074086 Ont. Inc. Email: [REDACTED]  
 Mailing Address: 265 Elm Street Home Phone: [REDACTED]  
 City: Greater Sudbury Postal Code: P3C 1V5 Business Phone: [REDACTED]  
 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Roch Bealr architect/architecte Email: [REDACTED]  
 Mailing Address: 10 Greenway Drive Home Phone: [REDACTED]  
 City: Greater Sudbury Postal Code: P3L 0A6 Business Phone: [REDACTED]  
 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Current Official Plan designation: Downtown Current Zoning By-law designation: C4-1

- 4) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
rear yard (wanting to match existing)	7.5 m	6.405 m	1.095 m
parking	7	4	3
* increased area of encroachment	(basement & g.f. 16.16 m <sup>2</sup> )	25.49 m <sup>2</sup> each, s.f. 5.18 m <sup>2</sup> , total 16.16 m <sup>2</sup> )	

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: .302 (m)

- c) Description of Proposal:

Wanting to increase the dental clinic size and in order to do so, we needed to relocate the existing two story attached apartment at the rear of the property entirely to the second floor.

- 5) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Existing site size and condition limit additional parking on site and the proposed expansion setbacks does not allow us to build up to the present building rear yard setback of 6.405 m

\* the total gross area of the addition within the setback is 16.16 m<sup>2</sup>. With a depth encroachment of 1.095 m and a width of 5.015 m for both the basement and ground floor for 5.49 m<sup>2</sup> per floor and a depth of 1.095 m x a width of 4.73 m for the second floor for 5.18 m<sup>2</sup> the total gross floor encroachment in setback requirement is (5.49 m<sup>2</sup> (b.f.) + 5.49 m<sup>2</sup> (g.f.) + 5.18 m<sup>2</sup> (s.f.) = 16.16 m<sup>2</sup>)

6) Legal Description (include any abutting property registered under the same ownership)

PHN(s) 73565 0856 #256 Township  
 Lot No. Concession No. Parcel(s)  
 Subdivision Plan No. Lot Reference Plan No. Parcel  
 Municipal Address (or Streets) 258 Elm Street  
 265

7) Date of acquisition of subject land 1987

8) Dimensions of land affected  
 Frontage 13.76 (m) Depth 36.57 (m) Area 487.0 (m<sup>2</sup>) Width of Street 20.11 (m)

9) Particulars of all buildings and structures (if more room is needed, please fill out Schedule A, attached):

	Existing	Proposed
Type of Building/Structure:	2 storey wood frame	2 storey wood framed
Ground Floor Area:	133.4 (m <sup>2</sup> )	208.0 (m <sup>2</sup> )
Gross Floor Area:	366.7 (m <sup>2</sup> )	440.6 (m <sup>2</sup> )
No. of storeys:	2	2
Width:	37.8 (m)	37.8 (m)
Length:	22.52 (m)	22.52 (m)
Height:	6.5 (m)	7.56 (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines). If more room is needed, please fill out Schedule B, attached.

	Existing	Proposed
Type of Building/Structure:	only building on site	only building on site
Front:	7.650 (m)	7.650 (m)
Rear:	6.405 (m)	6.405 (m)
Side:	3.7 1.128 (m)	3.7 1.128 (m)
Side:	3.7 1.128 (m)	3.7 1.128 (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land. 1947

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s) dental clinic and (1) single bedroom apartment length of time At least till Nov 2nd/1989 or

14) Proposed use(s) of the subject property

Same as #13 or same

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many?

17) Existing uses of abutting properties: C4 (1)

A0109/2024

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s) \_\_\_\_\_ or, describe briefly \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s) \_\_\_\_\_

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): \_\_\_\_\_

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, 1074086 Ont. Inc. (please print all names), the registered owner(s) of the property described as 265 Elm St.

In the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize Roch Belair architect/architecte (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 12 day of Nov 2024

Roch Belair Halthe Demore  
(witness) Halle Demore

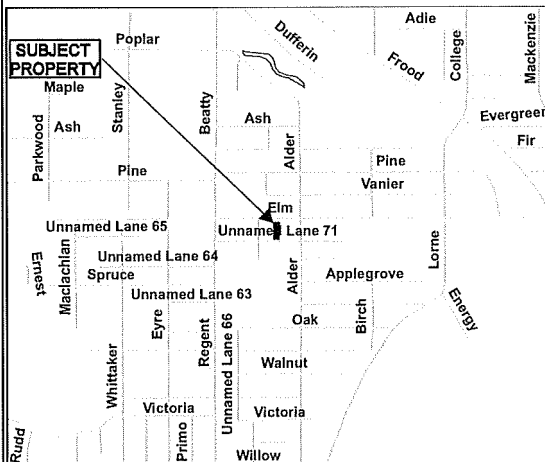
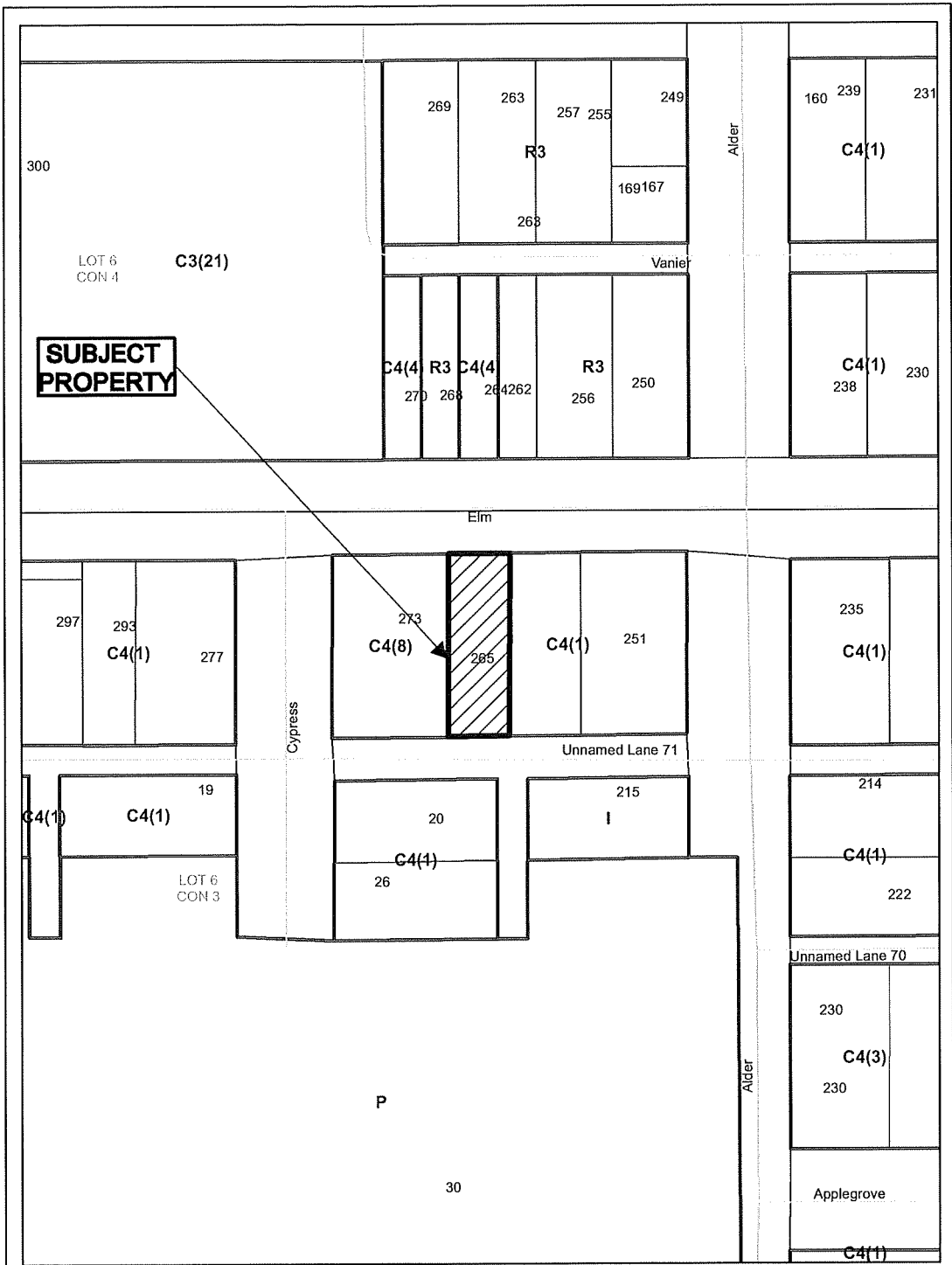
[Signature]  
signature of (owner(s)) or Signing Officer or Authorized Agent

Print Name Roch Belair architect/architecte  
I have authority to bind the Corporation

Charles Trostler

AD109/2024





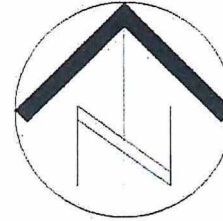
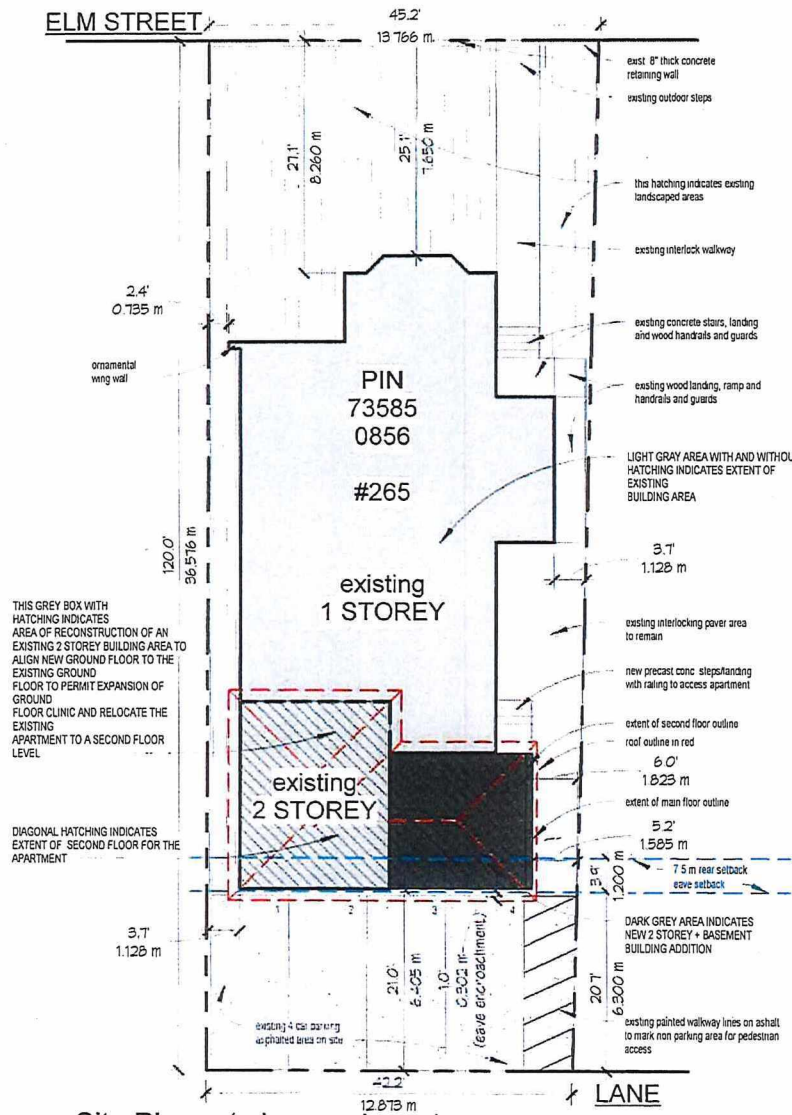
### Application for Minor Variance or Permission



Subject Property being PIN 73585-0856,  
 Part Lots 16-17, Plan 31SA as in S108497,  
 Part Lot 6, Concession 3,  
 Township of McKim,  
 265 Elm Street, Sudbury,  
 City of Greater Sudbury

Sketch 1, NTS  
 NDCA

A0109/2024  
 Date: 2024 11 19



### SITE STATISTICS

Zoning	C4-1
Uses of Building	Dental Clinic (group D) One Unit Res. (group C)
Lot Area	487.0 m <sup>2</sup>
Front Yard	7.65 m
Rear Yard	6.405 m
Interior Side Yards	1.127 m
Building Area	183.4 m <sup>2</sup> (existing) 24.6 m <sup>2</sup> (proposed add.) 208.0 m <sup>2</sup> (total)
Gross (exist.) Fl. Area	366.7 m <sup>2</sup>
Gross (new) Fl. Area	440.6 m <sup>2</sup>
Lot Coverage (exist.)	183.4 m <sup>2</sup> / 487.0 m <sup>2</sup> = 37.5 %
Lot Coverage (new)	208.0 m <sup>2</sup> / 487.0 m <sup>2</sup> = 42.7 %
Permitted Coverage	50 %
Height of Building	7.56 m
Number of Storeys	2
Landscaped Open Space	178 m <sup>2</sup>
Paved Area	78.6 m <sup>2</sup>
Parking Spaces	4 existing on site + on street parking
Parking Spaces Req'd	6 for clinic + 1 for apartment

PLEASE NOTE ALL DIMENSIONS ARE SHOWN IN BOTH IMPERIAL AND METRIC WITH THE IMPERIAL ON TOP AND THE METRIC EQUIVALENT AT THE BOTTOM OF EACH DIMENSION SHOWN AS PER THE PREVIOUS DRAWING

## Trottier Dental Clinic Addition & Renos

265 Elm  
Sudbury  
Ontario

### ARCHITECT

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10 Greenway Drive, Garson ON, P3L0A6

A0109/2024  
sketch 2

① Site Plan (minor variance)  
1 : 200

A-SP1

127 Courington



Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

Office Use Only	
2024.01.01	
A 01/10/2024	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
-----	
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

### City of Greater Sudbury

## APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)  
APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)  
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the *Planning Act*, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the *Planning Act* R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Timestone Corp	Email:	
Mailing Address: 1730 Regent St	Home Phone:	
	Business Phone:	
City: Sudbury	Postal Code: P3E 6J3	Fax:

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent:	Email:	
Mailing Address:	Home Phone:	
	Business Phone:	
City:	Postal Code:	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R3(66)

4) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Lot coverage %	40	44.5	4.5%

b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

c) Description of Proposal:

To allow a semi detached home to be built on site with a lot coverage over the the currently allowed maximum

5) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The floor plan will be compromised if we try to reduce the square footage any more. A majority of the coverage in excess of 40% includes a large front entry porch.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: NEELON  
 Lot No.: 10 Concession No.: 3 Parcel(s): \_\_\_\_\_  
 Subdivision Plan No.: m-1003 Lot: 95,96 Reference Plan No.: 53R-22079 Part(s): 17-25  
 Municipal Address or Street(s): 127 Covington

7) Date of acquisition of subject land: 2012

8) Dimensions of land affected. 345.89m  
 Frontage 22.71 (m) <sup>(11.348)</sup> Depth 30.48 (m) Area ~~882.2~~ (m<sup>2</sup>) Width of Street standard (m)

9) Particulars of all buildings and structures (if more room is needed, please fill out Schedule A, attached):

	Existing	Proposed
Type of Building/Structure:	<u>none currently vacant</u>	<u>Semi Detached</u>
Ground Floor Area:	<u>(m<sup>2</sup>) 153.2</u>	<u>(m<sup>2</sup>)</u>
Gross Floor Area:	<u>(m<sup>2</sup>) 153.2</u>	<u>(m<sup>2</sup>)</u>
No. of storeys:	<u>1</u>	
Width:	<u>(m) 9.54</u>	<u>(m)</u>
Length:	<u>(m) 16.07</u>	<u>(m)</u>
Height:	<u>(m) 6.57m</u>	<u>(m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines). If more room is needed, please fill out Schedule B, attached.

	Existing	Proposed
Type of Building/Structure:	<u>none currently vacant</u>	<u>Semi detached</u>
Front:	<u>(m) 6.00</u>	<u>(m)</u>
Rear:	<u>(m) 8.41</u>	<u>(m)</u>
Side:	<u>(m) 1.21</u>	<u>(m)</u>
Side:	<u>(m) N/A - Semi detached</u>	<u>(m)</u>

11) What types of water supply, sewage disposal and storm drainage are available? What type of access to the land?

- |   |                                  |  |                                  |
|---|----------------------------------|--|----------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="radio"/> | Provincial Highway   | <input type="radio"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="radio"/> | Municipal Road   | <input type="radio"/>            |
| Lake  | <input type="radio"/>            | Maintained Yearly  | <input checked="" type="radio"/> |
| Individual Well                                     | <input type="radio"/>            | Maintained Seasonal  | <input type="radio"/>            |
| Communal Well                                       | <input type="radio"/>            | Right-of-way   | <input type="radio"/>            |
| Individual Septic System                            | <input type="radio"/>            | Water  | <input type="radio"/>            |
| Communal Septic System                              | <input type="radio"/>            | if access is by water only, provide parking and docking facilities to be used. |                                  |
| Pit Privy   | <input type="radio"/>            |  |                                  |
| Municipal Sewers/Ditches/Swales                     | <input type="radio"/>            |  |                                  |

12) Date(s) of construction of all buildings and structures on the subject land. \_\_\_\_\_

13) Existing use(s) of the subject property and length of time it / they have continued.  
Use(s): vacant Length of time: 10+ years

14) Proposed use(s) of the subject property.  
Same as #13  or, Semi detached home

15) What is the number of dwelling units on the property? 0

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No  
If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Semi detached homes

*Handwritten signature: A0110/2024*

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): B0055/2024 - approved consent

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): M-1003 registered

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Timestone Corp (please print all names), the registered owner(s) of the property described as lot 96 Covington

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 15 day of Nov, 2024.

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Jill 2024

\*I have authority to bind the Corporation

Nov 10/2024



## Schedule A

(Additional Building/Structure Dimensions)

9. Particulars of all buildings/structures:

	Existing	Proposed
Type of Building/Structure:	_____	_____
Ground Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
Gross Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
No. of storeys:	_____	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

	Existing	Proposed
Type of Building/Structure:	_____	_____
Ground Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
Gross Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
No. of storeys:	_____	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

	Existing	Proposed
Type of Building/Structure:	_____	_____
Ground Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
Gross Floor Area:	_____ (m <sup>2</sup> )	_____ (m <sup>2</sup> )
No. of storeys:	_____	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

AO/10/2024

## Schedule B

(Additional Building/Structure Setbacks)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

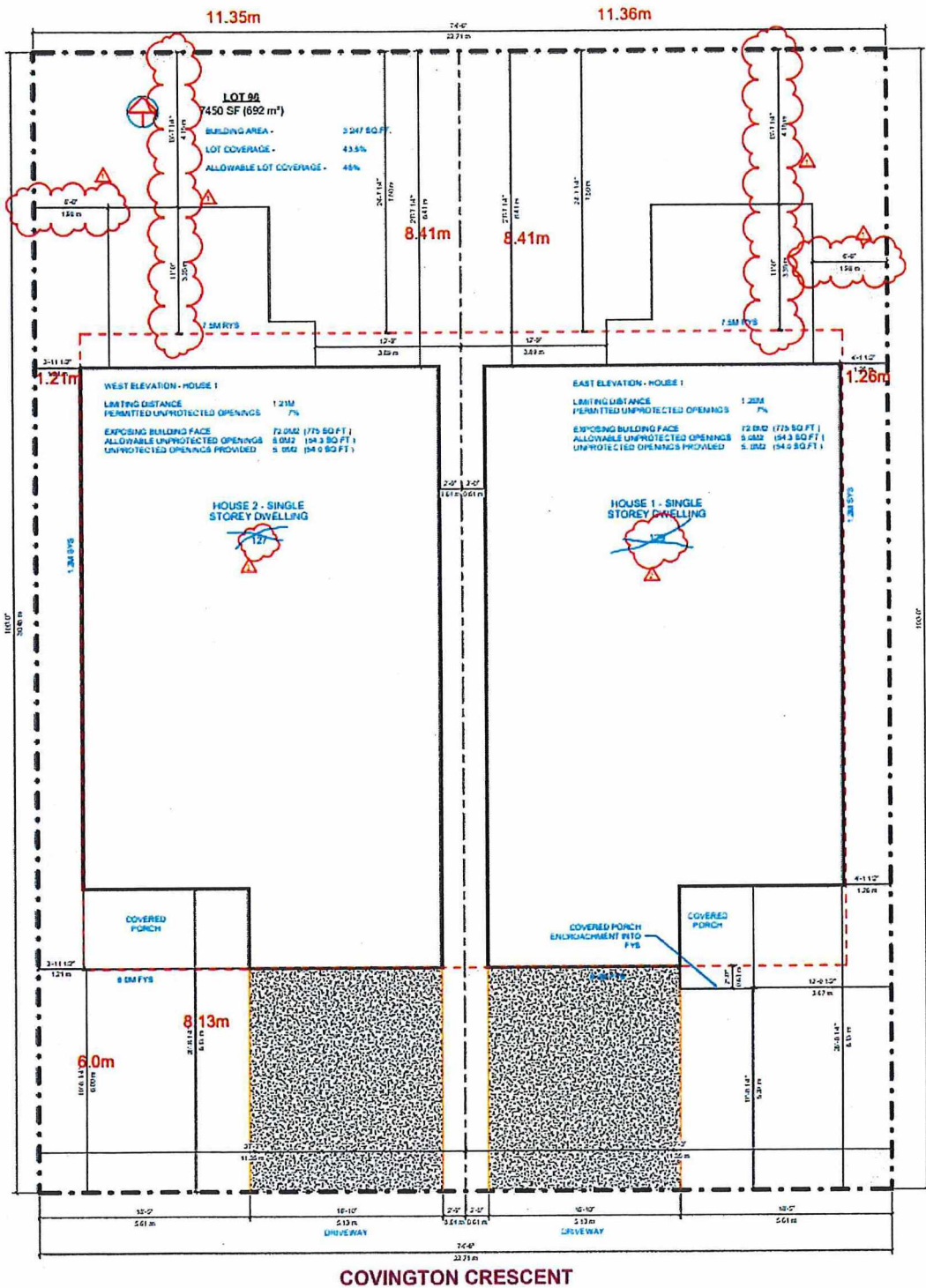
	Existing	Proposed
Type of Building/Structure:	_____	_____
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

	Existing	Proposed
Type of Building/Structure:	_____	_____
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

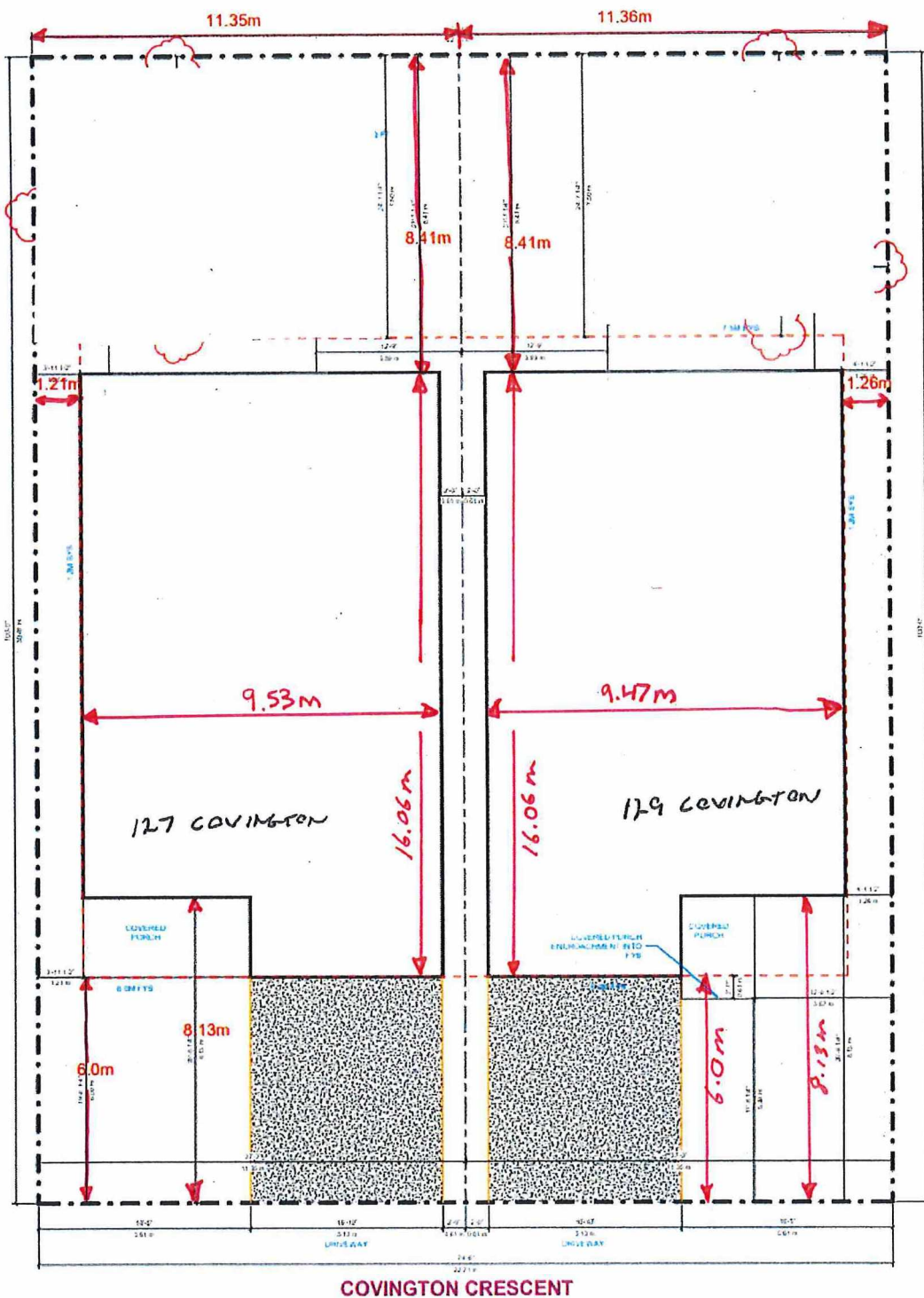
	Existing	Proposed
Type of Building/Structure:	_____	_____
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

10/10/2024





AC110/2024  
Sketch 2



A0110/2024  
Sketch 3



H-Home Design  
147 Park Drive  
Aurora, Ontario  
L4G 1N7

Design and Construction of  
Residential Developments and  
Commercial Buildings and  
Structures. All drawings are  
prepared in accordance with  
the Ontario Building Code and  
approved by the City of Aurora.

The Client certifies that the information  
provided in this drawing is true and  
correct to the best of their knowledge  
and belief.

© 2023, H-Home Design Inc.

PROJECT STATUS

ISSUED FOR CONSTRUCTION

ISSUED DATE

October 28, 2024

CERTIFICATION

The undersigned has examined and  
certifies that the drawings and  
specifications are in accordance  
with the Ontario Building Code and  
approved by the City of Aurora.

DATE

October 28, 2024

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October 28, 2024

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October 28, 2024

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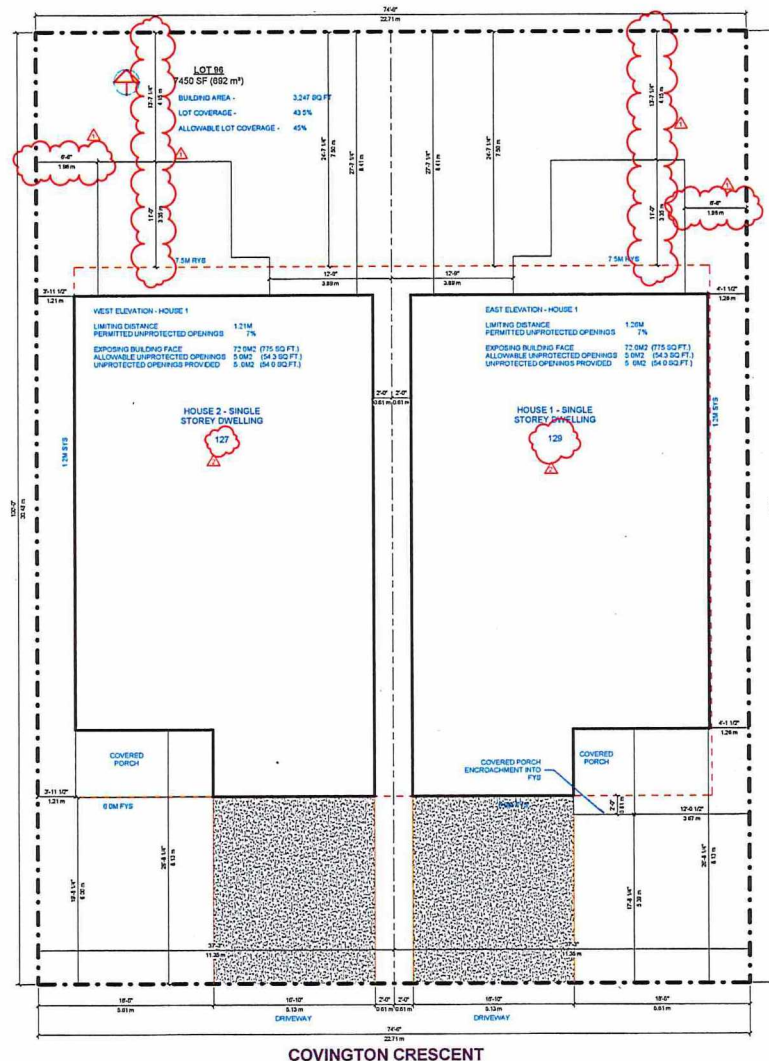
DATE

October 28, 2024

DATE

October 28, 2024

DATE



NOTE:  
THIS DRAWING IS FOR REFERENCE ONLY. CONTRACTOR/OWNER IS  
RESPONSIBLE TO ENSURE ALL ZONING REQUIREMENTS ARE MET PRIOR TO  
CONSTRUCTION.  
RECOMMEND LEGAL SURVEYOR TO PLOT EXACT LOCATION PRIOR TO  
CONSTRUCTION.

SITE REFERENCE PLAN  
3/16" = 1'-0"

PROJECT ADDRESS

Covington Cres. Sudbury,  
Ontario

CLIENT

ZULICH  
homes

PROJECT TYPE

LOT 86 COVINGTON LINK  
HOMES

PROJECT NUMBER

PHASE NO. 2024025 LOT 86

SCALE

3/16" = 1'-0"

CONTENTS

SITE REFERENCE  
PLAN

SHEET NUMBER

A002

A010/2024  
Sketch 4



10700 S. 20th St.  
 Suite 100  
 Omaha, NE 68134  
 (402) 426-1111

**DISCLAIMER AND LIMITATION OF LIABILITY:**  
 The Engineer and Architect are not responsible for the accuracy of the information provided by the client or for the consequences of any action taken based on the information provided. The Engineer and Architect are not responsible for the accuracy of the information provided by the client or for the consequences of any action taken based on the information provided.

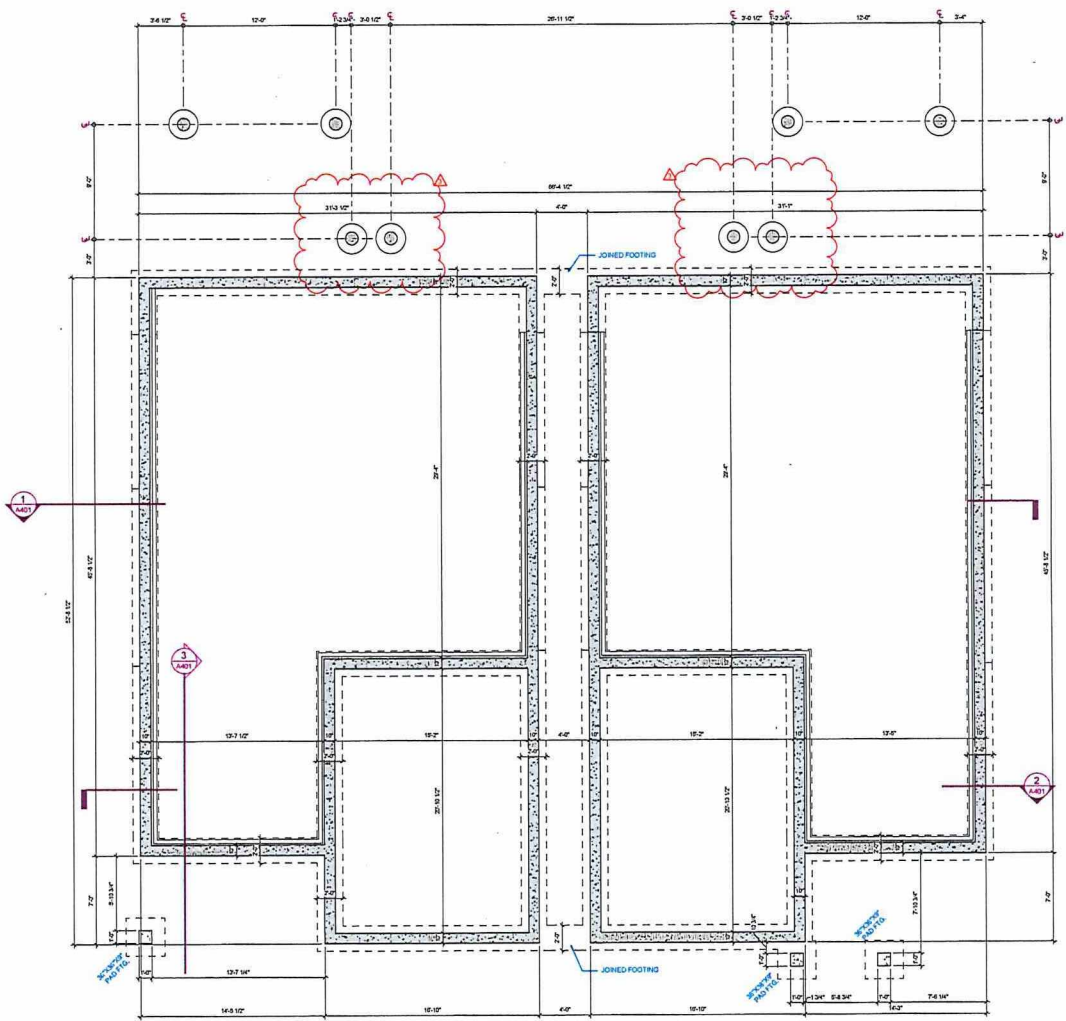
PROJECT STATUS  
 ISSUED FOR CONSTRUCTION

ISSUED DATE  
 October 28, 2024

CERTIFICATION  
 The undersigned has reviewed and hereby certifies that the design and construction of this project complies with the applicable provisions of the Uniform Building Code, as amended, and the applicable provisions of the International Building Code, as amended, and the applicable provisions of the International Residential Code, as amended.

By Design: *[Signature]* 10/28/24  
 ARCHITECT  
 October 28, 2024  
 DATE

BY: *[Signature]* 10/28/24  
 PROJECT



REVISIONS

PROJECT ADDRESS  
 Covington Creek, Sutherland,  
 Oregon

CLIENT  
**ZULICH**  
*homes*

PROJECT TYPE  
 LOT 96 COVINGTON LINK  
 HOMES

PROJECT NUMBER  
 Project No. 202403-LOT 96

SCALE  
 1/4" = 1'-0"

CONTENTS  
 FOUNDATION PLANS

SHEET NUMBER  
**A101**

FOUNDATION PLAN - HOUSE 1 & 2  
 1/4" = 1'-0"

*AO 10/2024  
 sketch 5*





NOTE  
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO  
CYCLING MATERIALS & COMMENCEMENT OF  
CONSTRUCTION

**FRAMING NOTES**

1. ALL JOISTS TO HAVE BRIDGING AS PER O.B.C
2. ALL LVL MEMBERS TO BE MAILED TOGETHER WITH NOT LESS THAN 3" NAIL HEADS IN A DOUBLE ROW SPACE NOT MORE THAN 12" MAX. (O.C.) @ 22" C22

CONTRACTOR TO FOLLOW LABEL TABLES OVER EACH OPENING TO DIVERSE PROPER VIBRATION WITHIN THE WALL ASSEMBLY. A TYPICAL SIZE FOR ALL WINDOWS IS NOT RECOMMENDED TO ACHIEVE OPTIMAL THERMAL PERFORMANCE FOR ENERGY ASSEMBLIES

LABEL SPANS ARE AS FOLLOWS

ROOF AND CEILING ONLY (48 MAX)

2-2x4	30" MAX
2-2x6	36" MAX
2-2x8	42" MAX
2-2x10	48" MAX
2-2x12	54" MAX

ROOF AND CEILING ONLY (24 MAX - SUPPORTING GABLE)

2-2x4	18" MAX
2-2x6	24" MAX
2-2x8	30" MAX
2-2x10	36" MAX
2-2x12	42" MAX

ROOF CEILING AND 1 STOREY ONLY

2-2x4	30" MAX
2-2x6	36" MAX
2-2x8	42" MAX
2-2x10	48" MAX
2-2x12	54" MAX

LOOSE STEEL LATER FOR MASONRY SPANS  
(UNLESS NOTED OTHERWISE)

**EXTENDING WALLS**

SPAN	FOR BRICK	FOR STONE
3'-11"	L-3x7 3/4" 5/8"	L-5x 3/4" 5/8"
4'-11"	L-3x7 3/4" 5/8"	L-5x 3/4" 5/8"
5'-11"	L-4x 3/4" 5/8"	L-5x 5/8"
7'-10"	L-4x 3/4" 5/8"	L-5x 5/8"
8'-10"	L-5x 3/4" 3/8"	L-5x 5/8"
7'-10"	L-5x 4x 3/8"	L-5x 5/8"

3. FOOTING LEGEND - TO BE USED WITH P1 POSTS ONLY  
REFER TO ENGINEERING DOCUMENTATION FROM UFS CONNECTORS BY MITK CANADA  
FOOTING TO BEAM ON SOIL WITH MIN. 75 kPa  
CONC. SHALL BE NORMAL PORTLAND CEMENT TYPE 10R OR TYPE 50 AS REQD.  
SLUMP = 7" MIN. (MINIMUM) @ 3% MAX. AGGREGATE 3/4" MAX. COMPRESSIVE  
STRENGTH OF 20MPa AT 28 DAYS

Maximum Spans for Steel Beams Supporting Floors - Table 9.23.4.3  
Supported Joist Length (m) = Half the sum of post spans on both sides of the beam

One Storey Support

Section	2.4	3.0	3.6	4.2	4.8	5.4	6.0
W19x 22	8.5	12	15	18	21	24	27
W20x 21	8.5	12	15	18	21	24	27
W20x 27	7.3	10	13	16	19	22	25
W20x 31	7.8	11	14	17	20	23	26
W20x 42	8.1	12	15	18	21	24	27
W20x 58	9.2	13	16	19	22	25	28
W20x 82	10.0	14	17	20	23	26	29
W20x 99	10.8	15	18	21	24	27	30
W21x 31	10.4	14	17	20	23	26	29
W21x 39	11.4	15	18	21	24	27	30

Two Storey Support

Section	2.4	3.0	3.6	4.2	4.8	5.4	6.0
W19x 23	4.9	6.4	7.9	9.4	10.9	12.4	13.9
W20x 21	5.6	7.1	8.6	10.1	11.6	13.1	14.6
W20x 27	5.4	6.9	8.4	9.9	11.4	12.9	14.4
W20x 31	6.6	8.1	9.6	11.1	12.6	14.1	15.6
W20x 42	6.8	8.3	9.8	11.3	12.8	14.3	15.8
W20x 58	8.2	9.7	11.2	12.7	14.2	15.7	17.2
W20x 82	8.8	10.3	11.8	13.3	14.8	16.3	17.8
W21x 31	8.7	10.2	11.7	13.2	14.7	16.2	17.7
W21x 39	10.0	11.5	13.0	14.5	16.0	17.5	19.0

ALL BEAM SUPPORTS SHALL HAVE NOT LESS THAN 3" BEARING

**FOOTING SCHEDULE**

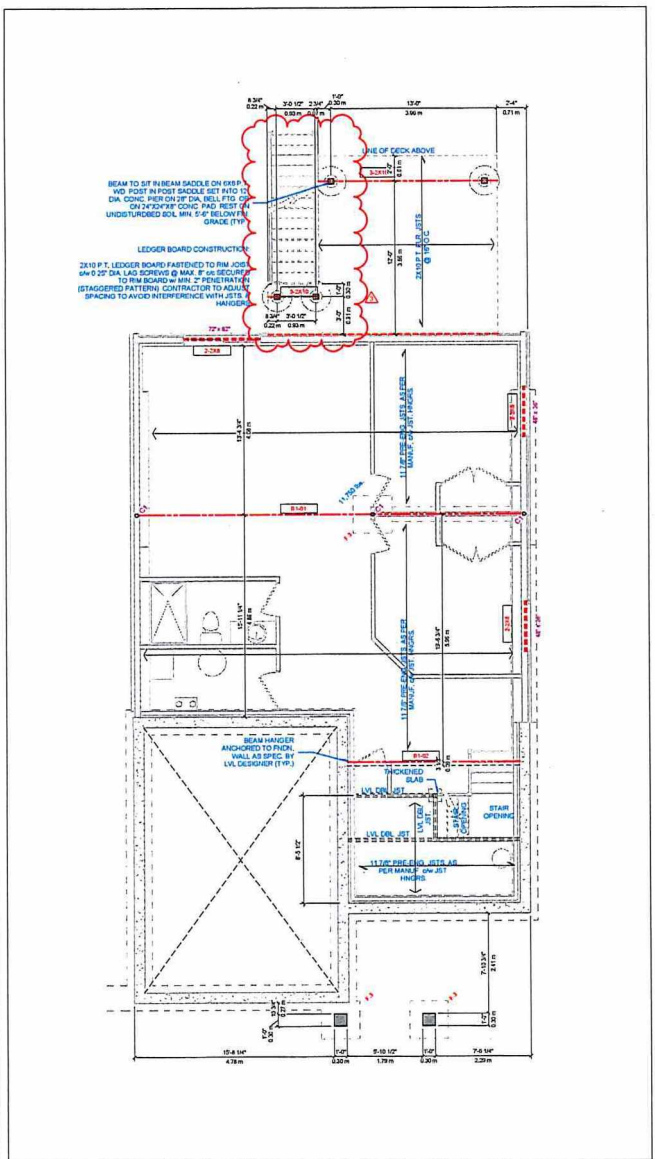
ID	WIDTH	LENGTH	REINFORCEMENT	QTY
F3	1'-0"	1'-0"	12x10x12 FACTORIES WITH 5" DIA @ 10" SP (1x10) IN	1

**COLUMN SCHEDULE**

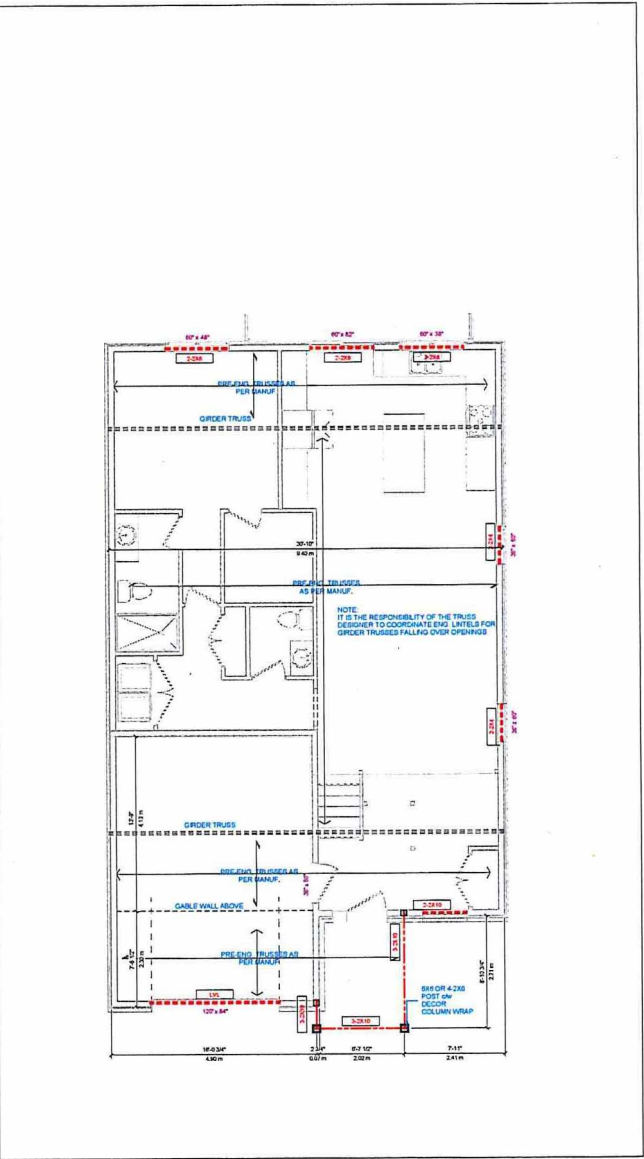
NO.	DESCRIPTION
C1	TELE POST - USP ADJUSTABLE SUPPORT COLUMNS @ TYP SERIES BY MITK

**BEAM SCHEDULE**

ITEM	DESCRIPTION	Comments
B-206	ROCKWELL STEEL BEAM - EXPOSED	
B1-03	11.75" PRE-CAST LVL BEAM - FLUSH	FLUSH BEAM ON JOIST HANGERS
B1-01	ROCKWELL STEEL BEAM - EXPOSED	
B1-02	11.75" PRE-CAST LVL BEAM - FLUSH	FLUSH BEAM ON JOIST HANGERS



BASEMENT FLOOR - FRAMING PLAN - HOUSE 1  
1/4" = 1'-0"



GROUND FLOOR - FRAMING PLAN - HOUSE 1  
1/4" = 1'-0"



Project Status  
ISSUED FOR CONSTRUCTION  
October 28, 2024

Project Address  
Convinton Cres. Sudbury, Ontario

Client  
ZULICH homes

Project Type  
LOT 64 COVINGTON LINK HOMES

Project Number  
Prep'd No. 2024-029-LOT 64

Scale  
1/4" = 1'-0"

Contents  
HOUSE 1 FRAMING PLANS

Sheet Number  
A201

AO 10/2024  
Sketch 8

NOTE  
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS & COMMENCEMENT OF CONSTRUCTION

**FRAMING NOTES**

1. ALL JOISTS TO HAVE BRIDGES AS PER O.B.C.
2. ALL LATENT MEMBERS TO BE NAILED TOGETHER WITH NOT LESS THAN 3 1/4" NAILS IN A DOUBLE ROW SPACE NOT MORE THAN 17 3/4" APART (OBC 8.23.12.3)

CONTRACTOR TO FOLLOW LATENT TAILS OVER EACH OPENING TO ENSURE PROPER INSULATION WITHIN THE WALL ASSEMBLY. A TYPICAL SIZE FOR ALL WINDOWS IS NOT RECOMMENDED TO ACHIEVE OPTIMAL THERMAL PERFORMANCE FOR ENERGY ASSISTANCE.

LATENT SPANS ARE AS FOLLOWS:

ROOF AND CEILING ONLY (4x MAX)	
2.5x4	30" MAX
2.5x6	50" MAX
2.5x8	75" MAX
2.5x10	80" MAX
2.5x12	100" MAX
ROOF AND CEILING ONLY (6x MAX - SUPPORTING GABLE)	
2.5x4	30" MAX
2.5x6	120" MAX
2.5x8	160" MAX
2.5x10	200" MAX
2.5x12	240" MAX
ROOF CEILING AND INTERIOR ONLY	
2.5x4	30" MAX
2.5x6	60" MAX
2.5x8	60" MAX
2.5x10	78" MAX
2.5x12	60" MAX

LOOSE STEEL LATER FOR MASSIVE SPANS (UNLESS NOTED OTHERWISE)

**EXTERIOR WALLS**

SPAN	FOR BRICK	FOR STONE
3'-11"	L-310x 310x 1/4"	L-310x 310x 5/16"
4'-11"	L-310x 310x 5/16"	L-310x 310x 5/16"
5'-11"	L-310x 310x 5/16"	L-310x 310x 5/16"
6'-11"	L-310x 310x 5/16"	L-310x 310x 5/16"
7'-10"	L-310x 310x 5/16"	L-310x 310x 5/16"
8'-10"	L-310x 310x 3/8"	L-310x 310x 3/8"
7'-10"	L-310x 310x 3/8"	L-310x 310x 1/2"

3. ROOFING LEGEND - TO BE USED WITH P-POSTS ONLY. REFER TO ENGINEER DOCUMENTATION FROM UPS CONNECTORS BY MITEK CANADA FOOTING TO BE ON SOL WITH MIN 75 PSI CONC. SHALL BE NORMAL PORTLAND CEMENT TYPE 10 OR TYPE 50 AS RECD. SLEEF IN 2" AIR EXCEEDING 4" MAX AGGREGATE 3/4" AND MIN COMPRESSIVE STRENGTH OF 20MPA AT 28 DAYS.

Maximum Spans for Steel Beams Supporting Floors - Table 9.23.4.3  
Supported Jamb Length (m) - Half the sum of post spans on both sides of the beam

Section	2.4	3.0	3.6	4.2	4.8	5.4	6.0
One Storey Supported							
W150x22	5.5	5.2	4.9	4.6	4.3	4.0	3.7
W200x21	6.5	6.0	5.6	5.2	4.8	4.4	4.0
W250x21	7.5	6.9	6.5	6.1	5.7	5.3	4.9
W300x21	8.5	7.8	7.4	7.0	6.6	6.2	5.8
W350x21	9.5	8.7	8.3	7.9	7.5	7.1	6.7
W400x21	10.5	9.6	9.2	8.8	8.4	8.0	7.6
W450x21	11.5	10.4	10.0	9.6	9.2	8.8	8.4
W500x21	12.5	11.3	10.9	10.5	10.1	9.7	9.3
W550x21	13.5	12.2	11.8	11.4	11.0	10.6	10.2
W600x21	14.5	13.1	12.7	12.3	11.9	11.5	11.1
Two Storey Supported							
W150x22	4.6	4.4	4.1	3.8	3.5	3.4	3.2
W200x21	5.6	5.1	4.8	4.3	4.1	3.8	3.7
W250x21	6.4	5.9	5.6	5.2	4.9	4.7	4.4
W300x21	6.9	6.5	6.2	5.8	5.4	5.1	4.9
W350x21	7.4	6.9	6.6	6.2	5.8	5.5	5.2
W400x21	7.9	7.4	7.1	6.7	6.3	6.0	5.7
W450x21	8.4	7.8	7.5	7.1	6.7	6.4	6.1
W500x21	8.9	8.2	7.9	7.5	7.1	6.8	6.5
W550x21	9.4	8.6	8.3	7.9	7.5	7.2	6.9
W600x21	9.9	9.0	8.7	8.3	7.9	7.6	7.3
W650x21	10.4	9.5	9.2	8.8	8.4	8.1	7.8

ALL BEAM SUPPORTS SHALL HAVE NOT LESS THAN 3 1/2" BEARING

**FOOTING SCHEDULE**

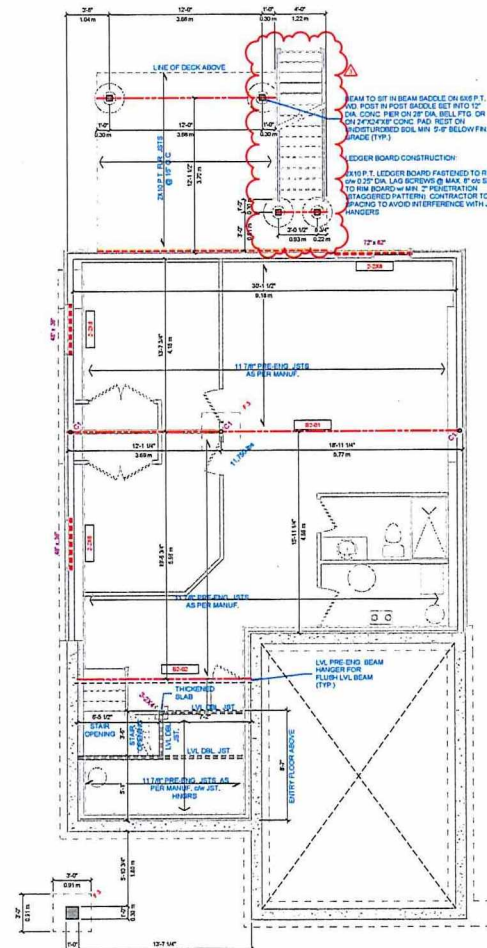
ID	WIDTH	LENGTH	REINFORCING	QTY
F3	2'-0"	3'-0"	80% CONCR PAD FOOTING WITH 3-T6 @ 15" SW (14 100 lbs)	1

**COLUMN SCHEDULE**

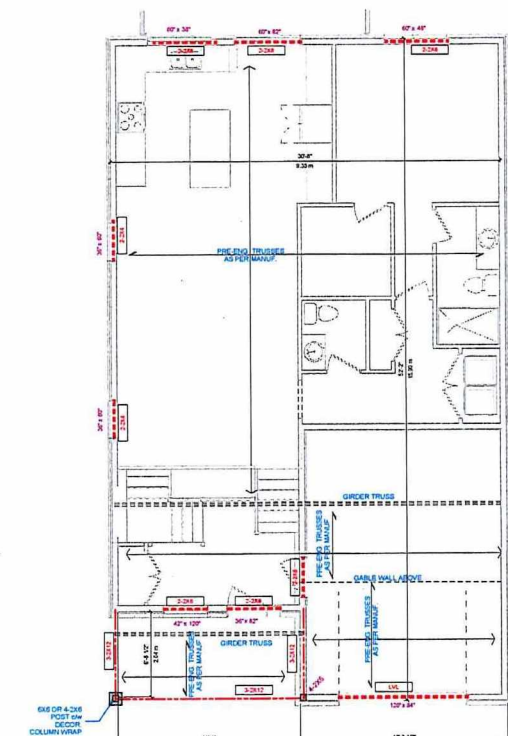
ID	DESCRIPTION
C1	16x16 PIST - USP ADJUSTABLE SUPPORT COLUMNS 20' T2AP BARRIER 8x16x16

**BEAM SCHEDULE**

ITEM	DESCRIPTION	Comments
B236	WORKCAST STEEL BEAM - 1200P	
B237	117W PINE-ENG LVL BEAM - FLUSH	FLUSH BEAM @ 20' HANGERS
B238	WORKCAST STEEL BEAM - 1200P	
B239	117W PINE-ENG LVL BEAM - FLUSH	FLUSH BEAM @ 20' HANGERS



BASEMENT FLOOR - FRAMING PLAN - HOUSE 2  
1/4" = 1'-0"



GROUND FLOOR - FRAMING PLAN - HOUSE 2  
1/4" = 1'-0"



147 Jones Drive  
Unit 10  
London, Ontario  
N6C 2Y7  
Canada

Design and Construction of  
residential structures in accordance with the Ontario Building Code. The use of our services is subject to the terms and conditions of our standard contract of engagement. For more information, please contact us at 519-835-0000.

The General Contractor is responsible for ensuring that all framing is installed in accordance with the Ontario Building Code and all applicable laws, regulations, and standards. The Contractor shall be responsible for obtaining all necessary permits and ensuring that all work is done in accordance with the approved plans.

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PROJECT STATUS  
SCHEDULE FOR CONSTRUCTION  
ISSUED DATE  
October 29, 2024

CERTIFICATION  
The undersigned has prepared and sealed these drawings in accordance with the Ontario Building Code and the provisions of the Ontario Building Act. I am a duly Licensed Professional Engineer in the Province of Ontario.

Dr. John Smith  
Professional Engineer  
October 29, 2024  
0416  
127 Jones Drive  
London, Ontario  
N6C 2Y7

REVISIONS

PROJECT ADDRESS  
Covington Cres. Eubank, Ontario



PROJECT TYPE  
LOT 98 COVINGTON LINK HOMES

PROJECT NUMBER  
Project No. 202403-01-06

SCALE  
1/4" = 1'-0"

COUNTIES  
HOUSE 2 FRAMING PLANS

SHEET NUMBER  
A202

As of 10/20/24  
Sketch 9



1000 Lakeshore Blvd. E. #100  
Aurora, ON M1G 5G7  
Tel: 416-291-1111  
www.home-design.ca

Design and Specification of  
Architectural Drawings and Details.  
This set of drawings is prepared for the  
purpose of providing a visual representation  
of the proposed construction and is not  
intended to be used for any other purpose.  
The Client is responsible for obtaining all  
necessary permits and approvals from the  
relevant authorities. The Designer and  
Architect assume no liability for any  
errors or omissions in the drawings or  
specifications, or for any consequences  
arising therefrom.

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Home Design Inc.

PROJECT STATUS  
ISSUED FOR CONSTRUCTION

ISSUED DATE  
October 20, 2024

CERTIFICATION  
The undersigned has reviewed and been  
satisfied that the drawings and specifications  
are in accordance with the requirements  
of the Ontario Building Code as a  
Professional Engineer.

Dr. John Doe  
P. Eng.  
October 20, 2024  
DATE

1000 Lakeshore Blvd. E.  
Aurora, Ontario  
M1G 5G7

REVISIONS

NO. DESCRIPTION

1. 10/20/24

PROJECT ADDRESS  
Concession Cross, Sudbury,  
Ontario

CLIENT  
**ZULICH**  
homes

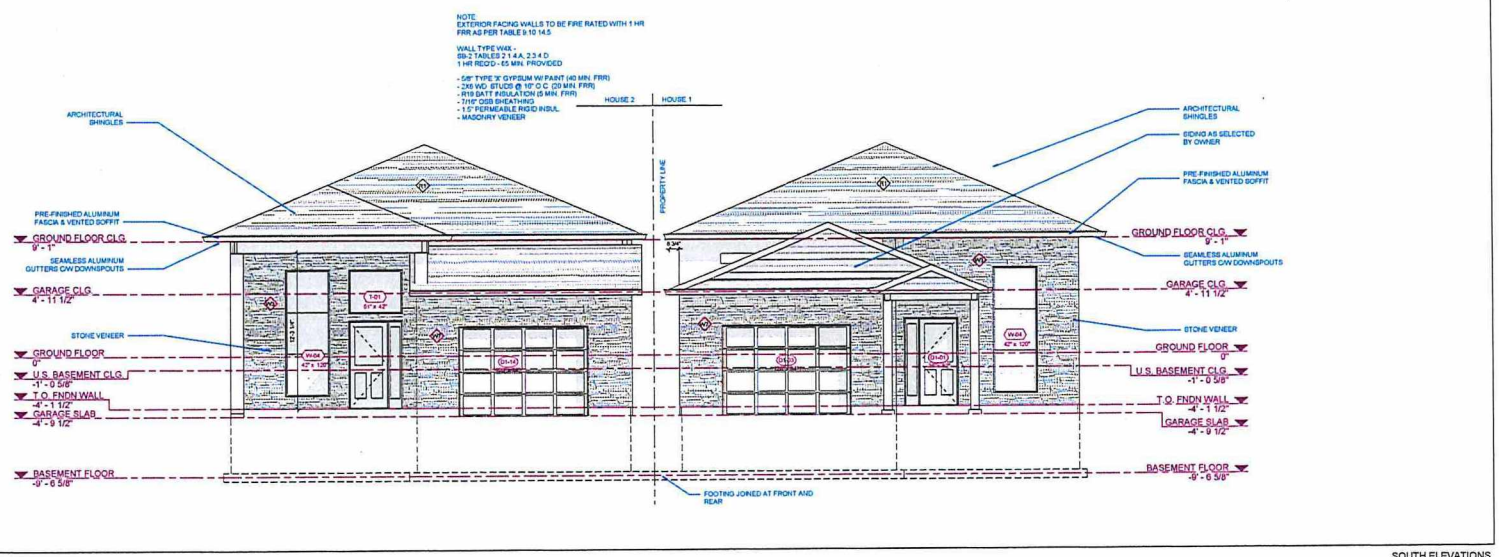
PROJECT TYPE  
LOT 96 COVINGTON LINK  
HOMES

PROJECT NUMBER  
Project No. 2024028/LOT 96

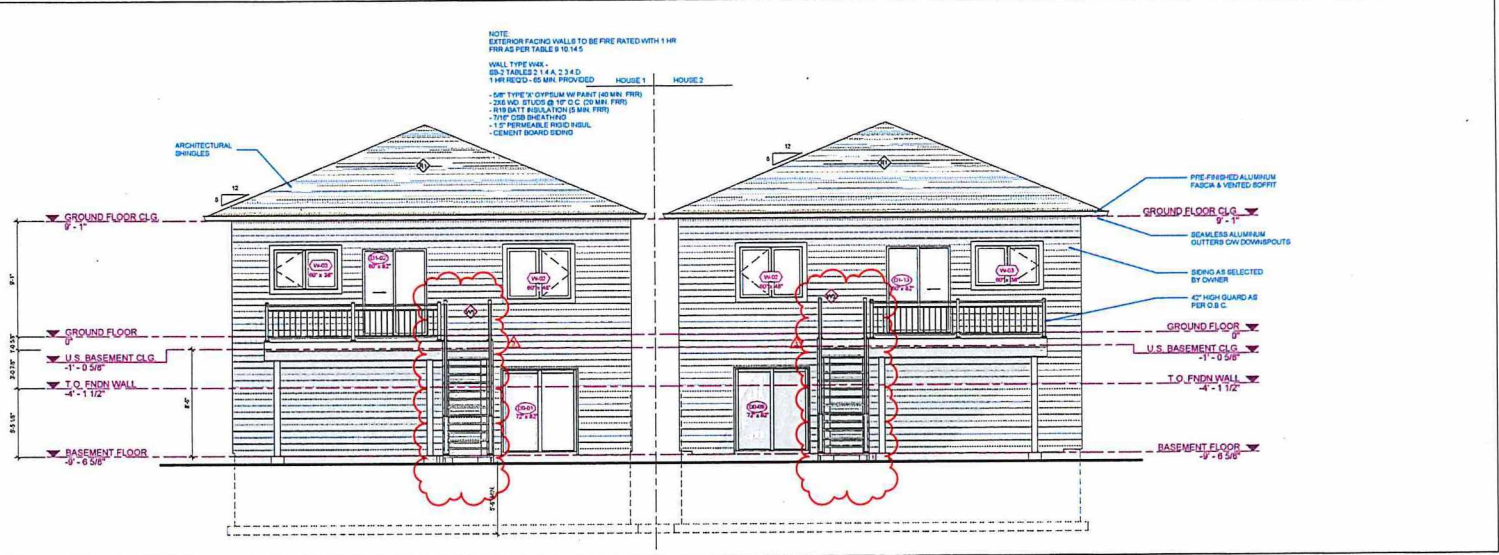
SCALE  
1/8" = 1'-0"

CONTENTS  
NORTH & SOUTH  
ELEVATIONS

SHEET NUMBER  
**A301**



SOUTH ELEVATIONS  
1/4" = 1'-0"



NORTH ELEVATIONS  
1/4" = 1'-0"

A0110/2024  
Sketch 10



300 Lakeshore Blvd. W. Suite 1000  
Oakville, ON L7L 1A1  
Canada

Disclaimer: All elevations and sections are based on the information provided by the client. The client is responsible for the accuracy of the information provided. The design is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The design is not to be used for construction without the approval of the relevant authorities. © 2024, H2 Home Design Inc.

PROJECT STATUS  
ISSUED FOR CONSTRUCTION

ISSUED DATE  
October 23, 2024

CERTIFICATION  
The undersigned hereby certifies that the information provided in this drawing and the information contained in the accompanying documents is true and correct to the best of my knowledge and belief.

SA Design: [Signature] 3113  
Scale: 1/8" = 1'-0" 3/16"

DATE  
October 23, 2024

DATE: [Signature] 10/23  
Page: 8/8

REVISIONS  
1. [Signature] 10/23

PROJECT ADDRESS  
Covington Circle, Sudbury,  
Ontario

CLIENT  
**ZULICH**  
homes

PROJECT TYPE  
LOT 66 COVINGTON LINK  
HOME

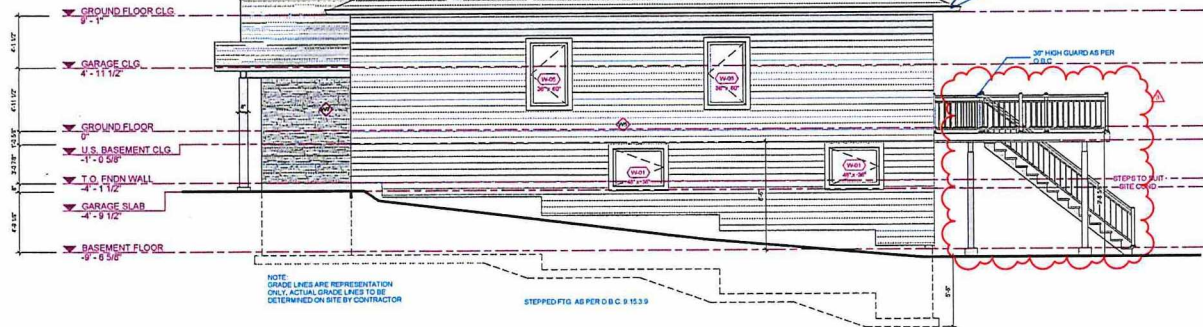
PROJECT NUMBER  
Project No. 2024029-LOT 66

SCALE  
1/8" = 1'-0"

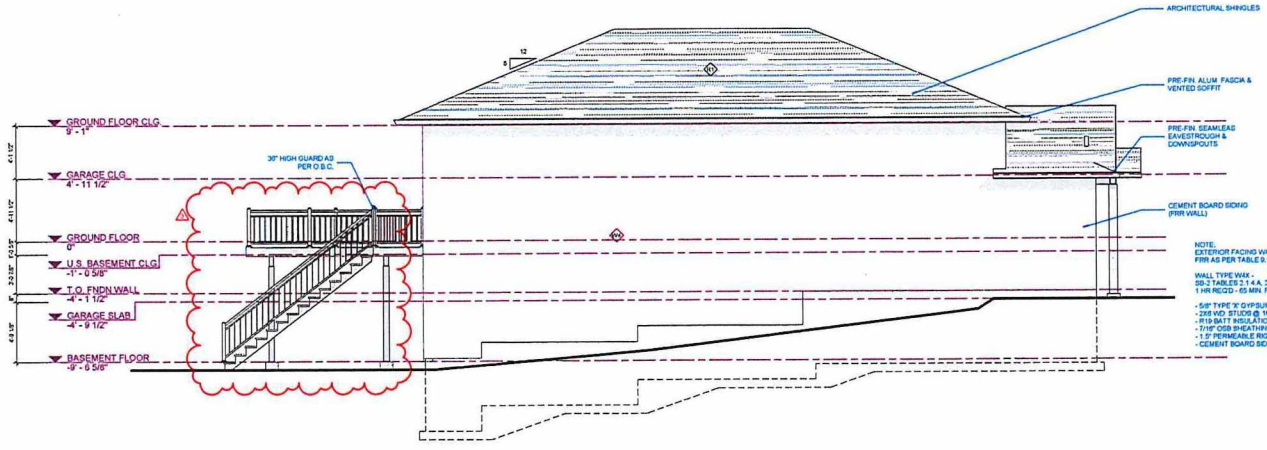
CONTENTS  
HOUSE 1 ELEVATIONS

SHEET NUMBER  
**A302**

EAST ELEVATION - HOUSE 1  
LIMITED DISTANCE  
PERMITTED UNPROTECTED OPENINGS 1.20M  
7%  
EXPOSING BUILDING FACE  
ALLOWABLE UNPROTECTED OPENINGS 5.0M2 (54.332 SQ FT.)  
UNPROTECTED OPENINGS PROVIDED 5.0M2 (54.332 SQ FT.)



EAST ELEVATION - HOUSE 1  
1/8" = 1'-0"



WEST ELEVATION - HOUSE 1  
1/8" = 1'-0"

10/10/2024  
Sketch 11



100 Main Street  
P.O. Box 100  
Lewiston, ME 04240

Drawings and Specifications are the property of H.D. Home Design. They may not be used for any other project without the written permission of H.D. Home Design.

This General Contract is a representation of the project. Any changes and/or modifications must be made in writing and signed by both parties. It is the responsibility of the contractor to verify all dimensions and materials are as specified.

© 2024 H.D. Home Design, Inc.

PROJECT STATUS

ISSUED FOR CONSTRUCTION

ISSUED DATE

October 25, 2024

CERTIFICATION

This drawing has been prepared and issued in accordance with the rules and regulations of the State of Maine as set forth in the State Building Code as it is amended.

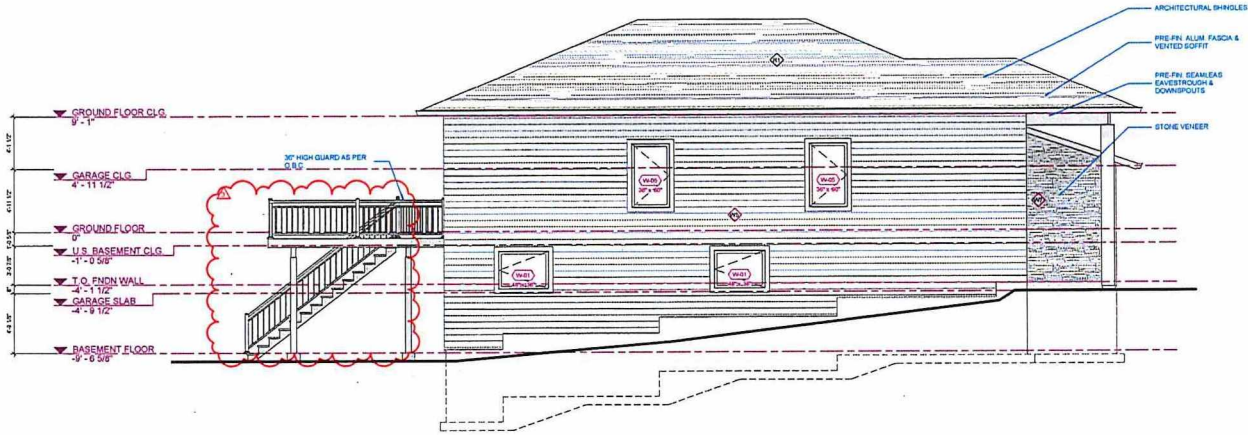
DATE

October 25, 2024

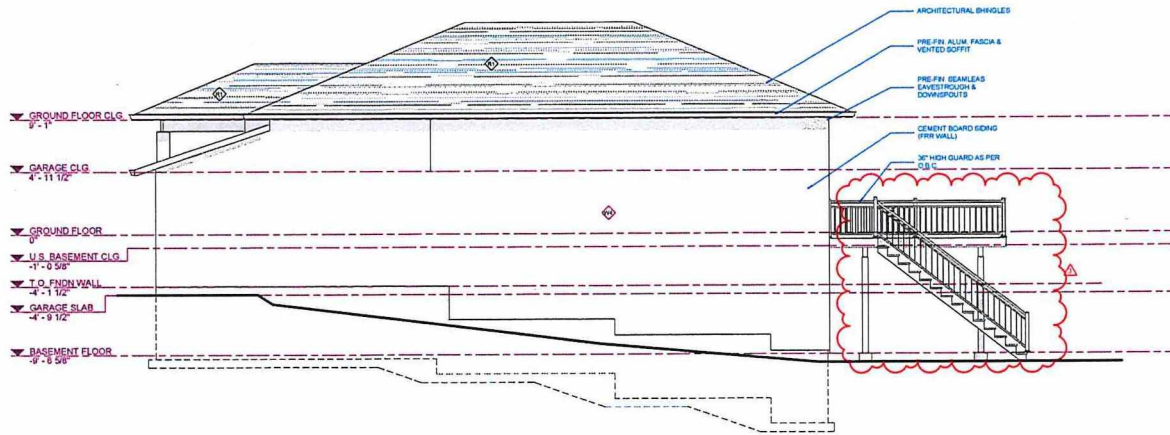
DATE

10/25/2024

10/25/24



WEST ELEVATION - HOUSE 2  
1/4" = 1'-0"



EAST ELEVATION - HOUSE 2  
1/4" = 1'-0"

REVISIONS

DATE

PROJECT ADDRESS

Clayton Circle, Salsbury, Maine

CLIENT

ZULICH homes

PROJECT TYPE

LOT 66 COVINGTON LINK HOMES

PROJECT NUMBER

Project No. 202402 LOT 66

SCALE

1/4" = 1'-0"

CONTENTS

HOUSE 2 ELEVATIONS

SHEET NUMBER

A303

10/10/2024  
Sketch 12

129 Covington



Box 5000, Station 'A', 200 Brady Street  
Sudbury ON P3A 5P3  
Tel. (705) 671-2489, Ext. 4376/4346  
Fax (705) 673-2200

Office Use Only	
2024.01.01	
A 0111/2024	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
-----	
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

### City of Greater Sudbury

## APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)  
APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)  
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the *Planning Act*, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

**PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.**

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the *Planning Act* R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Timestone Corp	Email: [REDACTED]
Mailing Address: 1730 Regent St	Home Phone: _____
	Business Phone: _____
City: Sudbury	Postal Code: P3E 6J3
	Fax: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____	Email: _____
Mailing Address: _____	Home Phone: _____
	Business Phone: _____
City: _____	Postal Code: _____
	Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R3(66)

- 4) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Lot coverage %	40	44	4%

- b) Is there an eave encroachment?  Yes  No If 'Yes', size of eaves: \_\_\_\_\_ (m)

- c) Description of Proposal:

To allow a semi detached home to be built on site with a lot coverage over the the currently allowed maximum

- 5) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The floor plan will be compromised if we try to reduce the square footage any more. A majority of the coverage in excess of 40% includes a large front entry porch.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): \_\_\_\_\_ Township: NEELON  
 Lot No.: 10 Concession No.: 3 Parcel(s): \_\_\_\_\_  
 Subdivision Plan No.: m-1003 Lot: 95,96 Reference Plan No.: 53R-22079 Part(s): 26-31  
 Municipal Address or Street(s): 133 Covington

7) Date of acquisition of subject land: 2012

8) Dimensions of land affected.

Frontage: 22.22 (13.6m) (m) Depth: 30.48 (m) Area: 692.2 (m<sup>2</sup>) Width of Street: standard (m)

9) Particulars of all buildings and structures (if more room is needed, please fill out Schedule A, attached):

	Existing	Proposed
Type of Building/Structure:	<u>none</u> currently Vacant	<u>Semi Detached</u>
Ground Floor Area:	<u>(m<sup>2</sup>) 149.60</u>	<u>(m<sup>2</sup>)</u>
Gross Floor Area:	<u>(m<sup>2</sup>) 149.60</u>	<u>(m<sup>2</sup>)</u>
No. of storeys:	<u>1</u>	
Width:	<u>(m) 9.54</u>	<u>(m)</u>
Length:	<u>(m) 16.07</u>	<u>(m)</u>
Height:	<u>(m) 6.57</u>	<u>(m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines). If more room is needed, please fill out Schedule B, attached.

	Existing	Proposed
Type of Building/Structure:	<u>none</u> currently Vacant	<u>Semi detached</u>
Front:	<u>(m) 6.00</u>	<u>(m)</u>
Rear:	<u>(m) 8.41</u>	<u>(m)</u>
Side:	<u>(m) 1.26</u>	<u>(m)</u>
Side:	<u>(m) N/A - Semi detached</u>	<u>(m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- |   |                                  |  |                                  |
|---|----------------------------------|--|----------------------------------|
| Municipally owned & operated piped water system     | <input checked="" type="radio"/> | Provincial Highway   | <input type="radio"/>            |
| Municipally owned & operated sanitary sewage system | <input checked="" type="radio"/> | Municipal Road   | <input type="radio"/>            |
| Lake  | <input type="radio"/>            | Maintained Yearly  | <input checked="" type="radio"/> |
| Individual Well                                     | <input type="radio"/>            | Maintained Seasonal  | <input type="radio"/>            |
| Communal Well                                       | <input type="radio"/>            | Right-of-way   | <input type="radio"/>            |
| Individual Septic System                            | <input type="radio"/>            | Water  | <input type="radio"/>            |
| Communal Septic System                              | <input type="radio"/>            | If access is by water only, provide parking and docking facilities to be used. | <input type="radio"/>            |
| Pit Privy   | <input type="radio"/>            |  |                                  |
| Municipal Sewers/Ditches/Swales                     | <input type="radio"/>            |  |                                  |

12) Date(s) of construction of all buildings and structures on the subject land. \_\_\_\_\_

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant Length of time: 10+ years

14) Proposed use(s) of the subject property.

Same as #13  or, Semi detached home

15) What is the number of dwelling units on the property? 0

16) If this application is approved, would any existing dwelling units be legalized?  Yes  No

If "yes", how many? \_\_\_\_\_

17) Existing uses of abutting properties: Semi detached homes

*ROU/1/2024*

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission?  Yes  No

If "yes", indicate the application number(s): \_\_\_\_\_ or, describe briefly, \_\_\_\_\_

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13?  Yes  No

If "yes", indicate application number(s) and status of application(s): B0055/2024 - approved consent

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors?  Yes  No

If "Yes", indicate application number(s) and status of application(s): M-1003 registered

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?  Yes  No

If "yes", provide details on how the property is designated in the Source Protection Plan. \_\_\_\_\_

**PART A: OWNER ACKNOWLEDGEMENT AND CONSENT**

I/We, Timestone Corp (please print all names), the registered owner(s) of the property described as lot 96 Covington

in the City of Greater Sudbury:

**Collection, Use and Disclosure of Information:**

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

**Authority to Enter Land and Photograph**

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

**Appointment of Authorized Agent**

g) appoint and authorize \_\_\_\_\_ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 15 day of April, 2024

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Jordan Zolnik

\*I have authority to bind the Corporation

A011/2024



## Schedule A

(Additional Building/Structure Dimensions)

9. Particulars of all buildings/structures:

	Existing	Proposed
Type of Building/Structure:		
Ground Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
Gross Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

	Existing	Proposed
Type of Building/Structure:		
Ground Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
Gross Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

	Existing	Proposed
Type of Building/Structure:		
Ground Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
Gross Floor Area:	(m <sup>2</sup> )	(m <sup>2</sup> )
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

April 2024

## Schedule B

(Additional Building/Structure Setbacks)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Type of Building/Structure:	_____	_____
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

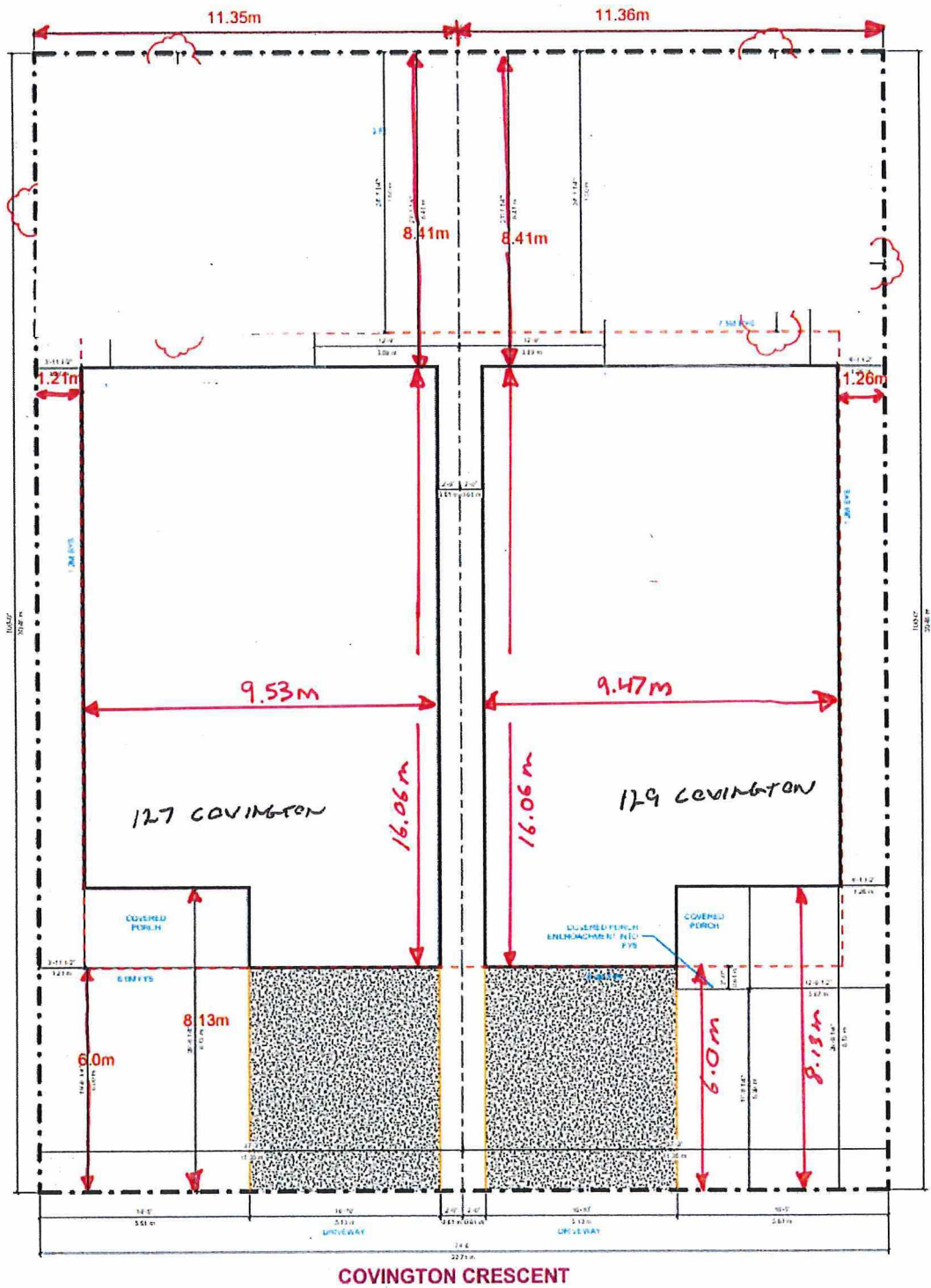
	Existing	Proposed
Type of Building/Structure:	_____	_____
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

	Existing	Proposed
Type of Building/Structure:	_____	_____
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

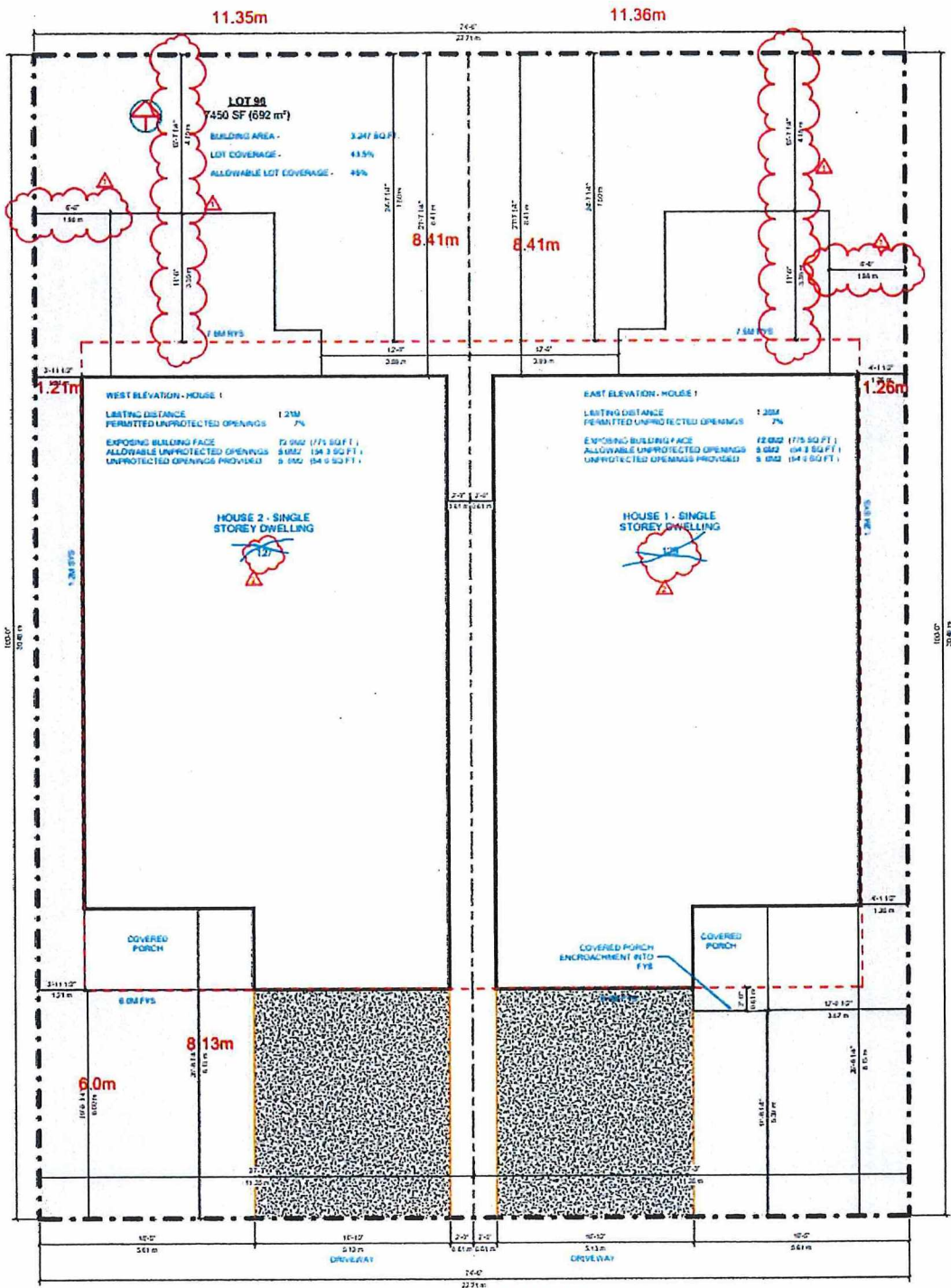
A0111/2024







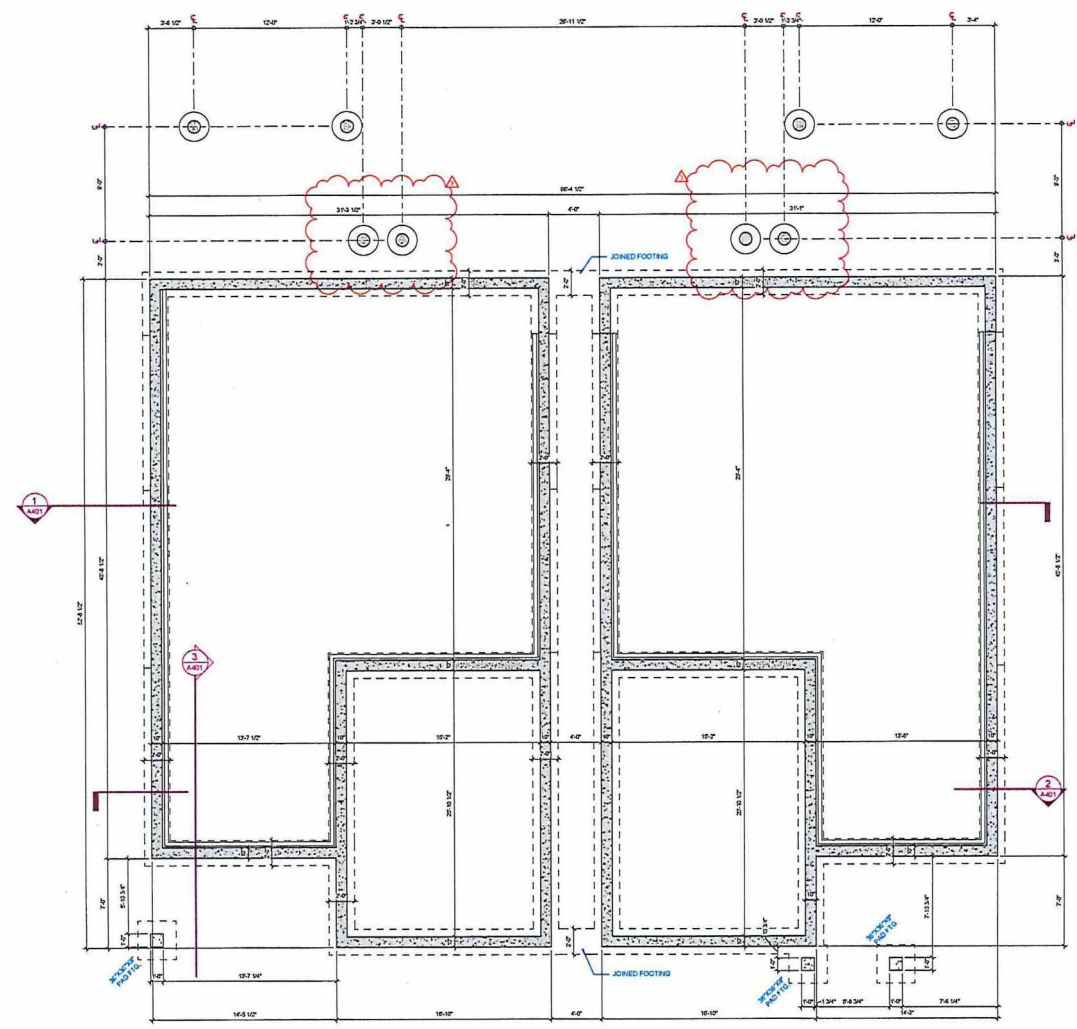
A0111/2024  
 Sketch 3



NOV/2024  
 sketch4



AO1112024  
Sketch 6



Contractor shall manufacture and install all materials of quality and workmanship to meet the requirements of the Ontario Building Code and the Ontario Fire Code. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities. The Contractor shall be responsible for the safety of the construction and shall maintain all safety protocols throughout the project.

PROJECT STATUS  
ISSUED FOR CONSTRUCTION

ISSUED DATE  
October 23, 2024

CERTIFICATION  
This certification is issued for the purpose of certifying the design of the foundation system. The design is based on the information provided to the Designer and is subject to the Ontario Building Code and the Ontario Fire Code. The Designer is not responsible for the construction of the foundation system.

DESIGNER  
D. H. Design  
11111  
11111  
11111

REVISIONS

PROJECT ADDRESS  
Covington Cross, Sudbury, Ontario



PROJECT TYPE  
LOT 66 COVINGTON LINK HOMES

PROJECT NUMBER  
Project No. 2024-029-LOT 66

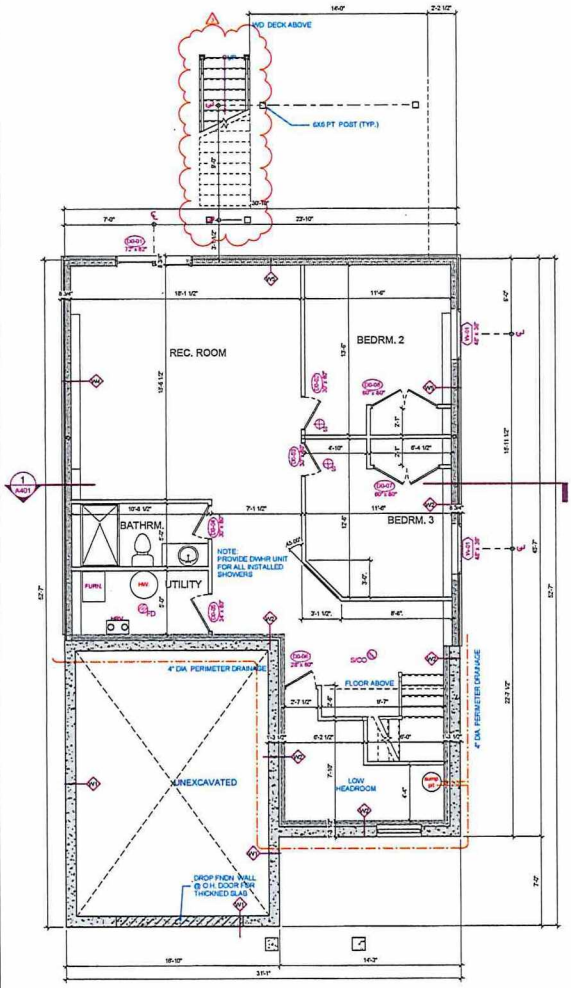
SCALE  
1/4" = 1'-0"

CONTENTS  
FOUNDATION PLANS

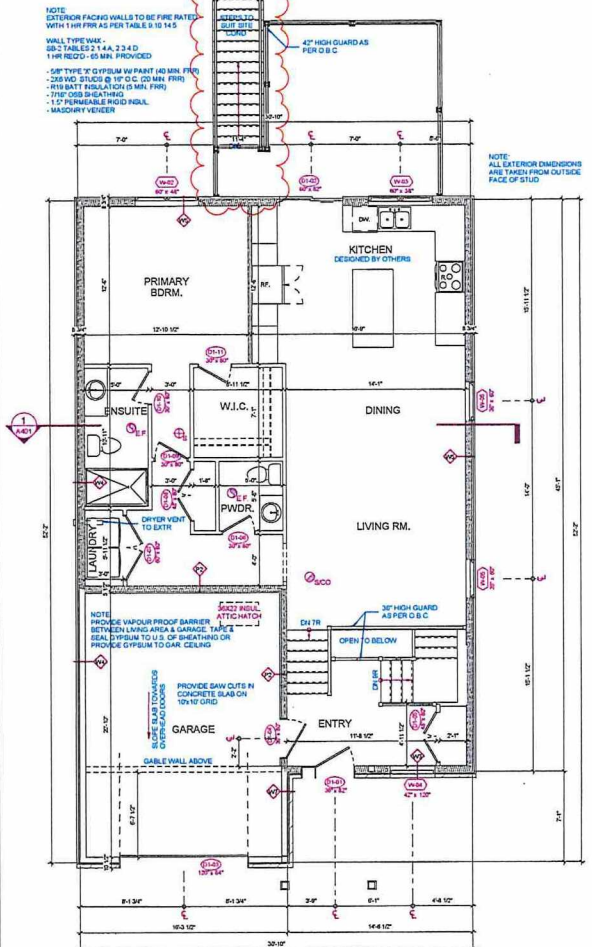
SHEET NUMBER  
A101

10/11/2024  
Sketch 7

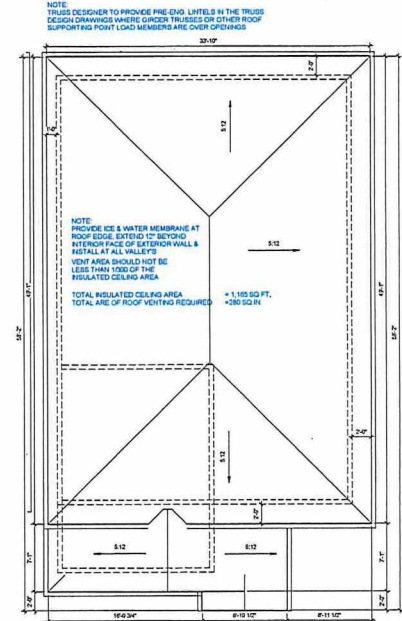
NOTE:  
CONTRACTOR TO VERIFY ALL DIMENSIONS, MATERIALS ON THE PLANS PRIOR TO ORDERING ALL MATERIALS & COMMENCEMENT OF CONSTRUCTION. SHALL DISCREPANCIES BE FOUND CONTACT DESIGNER FOR CLARIFICATION



BASEMENT PLAN - HOUSE 1  
1/4" = 1'-0"



GROUND FLOOR - HOUSE 1  
1/4" = 1'-0"



ROOF PLAN - HOUSE 1  
3/16" = 1'-0"



Design and construction of a building is a complex task and we are pleased to be a part of your project. We will work closely with you to ensure that your vision is realized. The design team will be responsible for providing the design and construction documents. We will be responsible for providing the design and construction documents. We will be responsible for providing the design and construction documents.

PROJECT STATUS  
ISSUED FOR CONSTRUCTION  
ISSUED DATE  
October 29, 2024  
CERTIFICATION  
The undersigned hereby certifies that the design and construction documents were prepared by the undersigned or under the direct supervision and control of the undersigned and that the undersigned is a duly licensed professional engineer in the State of Ontario, Canada.  
October 29, 2024  
DATE  
10/29/2024  
10/29/2024

REVISIONS

PROJECT ADDRESS  
Covington Crk. Sudbury, Ontario

CLIENT  
ZULICH homes

PROJECT TYPE  
LOT 66 COVINGTON LINK HOMES

PROJECT NUMBER  
Project No. 2024029 LOT 66

SCALE  
As Indicated

CONTENTS  
HOUSE 1 - FLOOR PLANS

SHEET NUMBER  
A102



10/11/2024  
Sketch 9

NOTE:  
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS & COMMENCEMENT OF CONSTRUCTION

**FRAMING NOTES**

- ALL JOISTS TO HAVE BRIDGING AS PER O.B.C.
- ALL LINTEL MEMBERS TO BE HANGED TOGETHER WITH NOT LESS THAN 3 1/4" HALS IN A DOUBLE ROW SPACE NOT MORE THAN 17 3/4" APART (O.C.G 23.12.2)

CONTRACTOR TO FOLLOW LINTEL TABLES OVER EACH OPENING TO ENSURE PROPER INSULATION WITHIN THE WALL ASSEMBLY. A TYPICAL ONE FOR ALL WINDOWS IS NOT RECOMMENDED TO AVOID OPTIMAL THERMAL PERFORMANCE FOR EXTERIOR WALLS.

LINTEL SPANS ARE AS FOLLOWS

ROOF AND CEILING ONLY (6 BM MAX)

2-224	30" MAX
2-226	36" MAX
2-228	42" MAX
2-230	48" MAX
2-232	54" MAX

ROOF AND CEILING ONLY (8 BM MAX - SUPPORTING CABLE)

2-224	30" MAX
2-226	36" MAX
2-228	42" MAX
2-230	48" MAX
2-232	54" MAX

ROOF, CEILING AND 1 STOREY ONLY

2-224	30" MAX
2-226	36" MAX
2-228	42" MAX
2-230	48" MAX
2-232	54" MAX

LOOK STEEL LINTEL OVER MASSIVE SPANS (REFERS TO OTHER NOTES)

**EXTERIOR WALLS**

SPAN	FOR BRICK	FOR STONE
3'-11"	L-312x 312x 5/16"	L-5x 312x 5/16"
4'-11"	L-312x 312x 5/16"	L-312x 312x 5/16"
5'-11"	L-4x 312x 5/16"	L-5x 27x 5/16"
6'-11"	L-4x 312x 5/16"	L-5x 27x 5/16"
7'-10"	L-5x 312x 5/16"	L-5x 27x 5/16"
8'-10"	L-5x 312x 5/16"	L-5x 27x 5/16"
7'-10"	L-5x 4x 3/8"	L-5x 27x 1/2"

- FOOTING LEGS - TO BE USED WITH P 1 POSTS ONLY  
REFER TO UNRENDERED DOCUMENTATION FROM UPS CONNECTORS BY MITEK CANADA  
FOOTING TO BE ON 600mm DEPTH WITH MIN. 75 MM DIA. CONC. PER ON 20" DIA. BELL FIG. OF UNDISTURBED SOIL MIN. 5" BELOW FLOOR GRADE (TYP)

Maximum Spans for Steel Beams Supporting Floors - Table 9-23.4.3  
Suspended Load Limits (kN) - Half the span of post spans on both sides of the beam

Section	24	30	36	42	48	54	60
One Storey Supported							
W100x 22	55	92	49	48	45	45	43
W100x 21	65	82	59	57	54	51	49
W100x 17	73	69	65	63	61	59	56
W100x 15	78	74	71	69	66	64	62
W100x 14	81	76	73	70	68	65	63
W100x 13	82	87	83	80	77	75	73
W100x 10	94	90	86	84	81	79	76
W100x 11	84	88	84	81	78	76	74
W100x 10	114	107	102	98	95	92	89
Section	24	30	36	42	48	54	60
Two Storeys Supported							
W150x 32	49	44	41	38	35	34	32
W150x 31	56	51	48	45	41	39	37
W150x 27	64	61	58	55	49	47	44
W150x 26	69	65	62	59	54	51	49
W150x 24	68	61	58	55	49	46	44
W150x 23	63	72	70	67	61	58	55
W150x 20	83	83	78	72	68	64	61
W150x 17	78	78	72	67	62	59	56
W150x 16	93	85	79	74	70	67	64

ALL BEAM SUPPORTS SHALL HAVE NOT LESS THAN 3 1/4" BEARING

**FOOTING SCHEDULE**

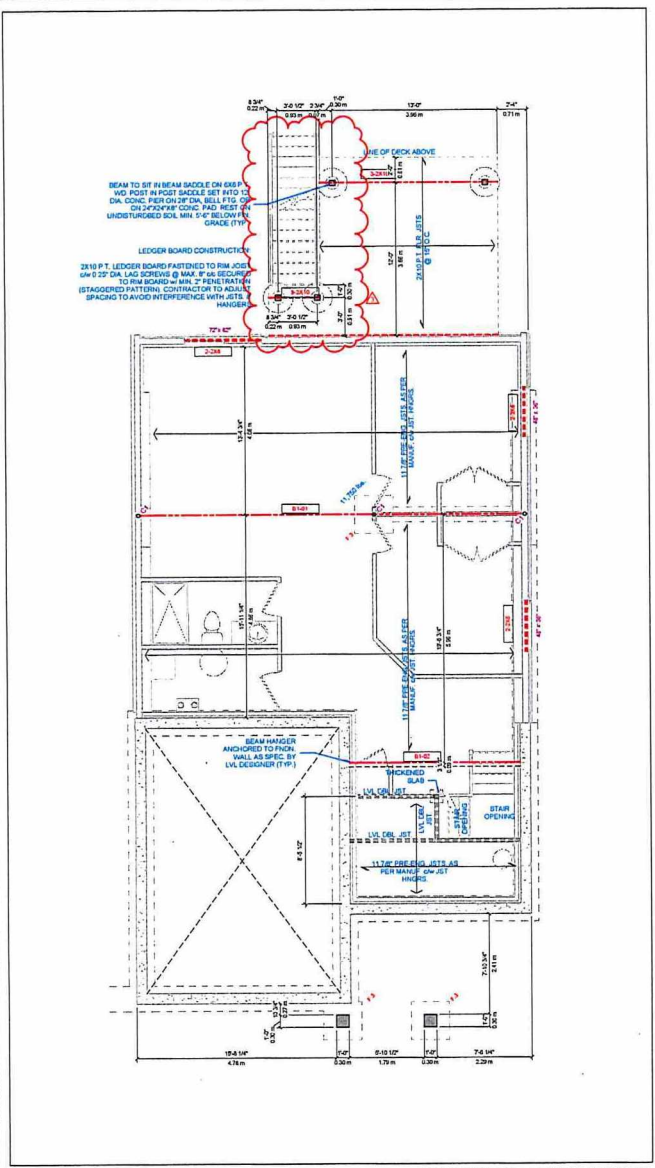
NO.	WIDTH	LENGTH	REINFORCING	QTY
F3	3'-0"	17'-0"	300x300 PAD FOOTING WITH 2 BARS @ 18" DIA (14.100 BARS MAX)	5

**COLUMN SCHEDULE**

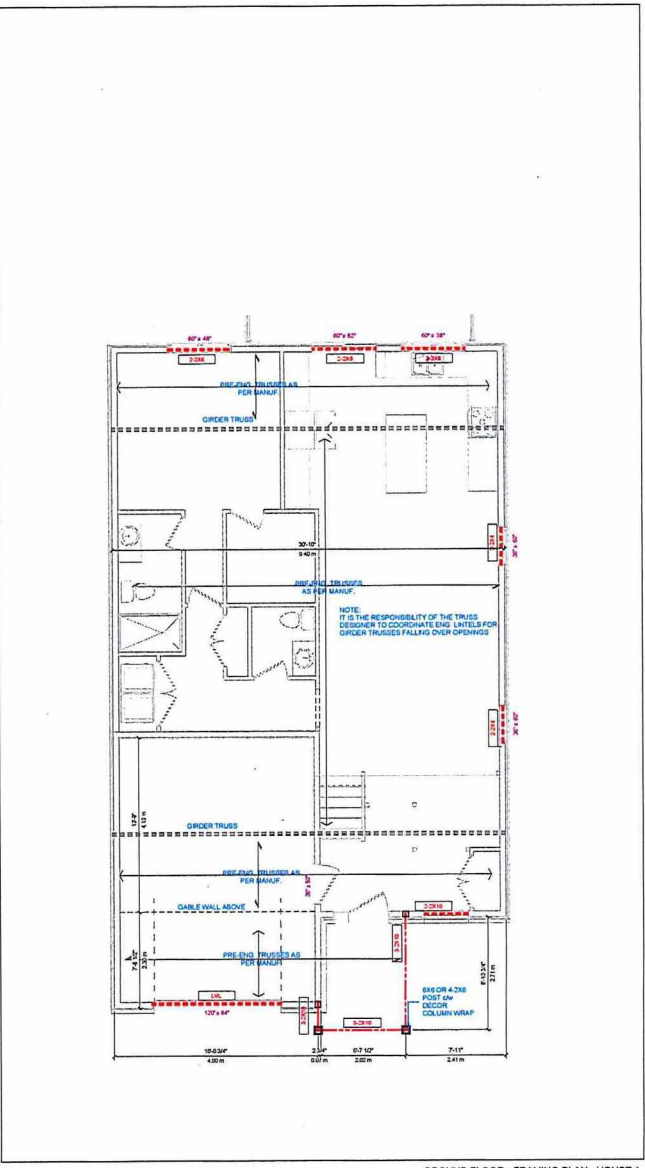
NO.	DESCRIPTION
C1	FREE POST - USE ADJUSTABLE SUPPORT COLUMNS JP 12" SERIES BY MITEK

**BEAM SCHEDULE**

ITEM	DESCRIPTION	Comments
2-224	WOODKIT STEEL BEAM - DROPPED	
11-01	11/8" PRECAST CC BEAM - FLUSH	FLUSH BEAM ON JOIST HANGERS
11-02	WOODKIT STEEL BEAM - DROPPED	
11-03	11/8" PRECAST CC BEAM - FLUSH	FLUSH BEAM ON JOIST HANGERS



BASEMENT FLOOR - FRAMING PLAN - HOUSE 1  
1/4" = 1'-0"



GROUND FLOOR - FRAMING PLAN - HOUSE 1  
1/4" = 1'-0"



Insurance and indemnification are provided for the professional services rendered by the Engineer and Architect. The Engineer and Architect are not responsible for the design and construction of the project. The Client is responsible for the design and construction of the project. The Client is responsible for the design and construction of the project.

PROJECT STATUS  
ISSUED FOR CONSTRUCTION  
October 29, 2024

CERTIFICATION  
The Engineer and Architect certify that the design and construction of the project complies with the applicable codes and standards.

DATE  
October 29, 2024

REVISIONS

PROJECT ADDRESS  
Covington Cross, Suburb, Ontario

CLIENT  
ZULICH homes

PROJECT TYPE  
LOT 99 COVINGTON LINK PHASE 2

PROJECT NUMBER  
PHASE NO. 2024-02-101 MS

SCALE  
1/4" = 1'-0"

CONTENTS  
HOUSE 1 FRAMING PLAN

SHEET NUMBER  
A201

A011/2024  
Sketch 10

NOTE  
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS & COMMENCEMENT OF CONSTRUCTION

**FRAMING NOTES**

- ALL JOISTS TO HAVE BRIDGING AS PER O.B.C.
- ALL LINTEL NUMBERS TO BE NAILED TOGETHER WITH NOT LESS THAN 3/4" NAILS IN A DOUBLE ROW (SPACE NOT MORE THAN 17.34" APART (CBC 9.23.12.2))

CONTRACTOR TO FOLLOW LINTEL TABLES OVER EACH OPENING TO ENSURE PROPER VIBRATION WITHIN THE WALL ASSEMBLY. A TYPICAL LINTEL FOR ALL WINDOWS IS NOT RECOMMENDED TO ACHIEVE OPTIMAL THERMAL PERFORMANCE FOR LEDGER ASSEMBLY.

LINTEL SPANS ARE AS FOLLOWS:

ROOF AND CEILING ONLY (4 8M MAX)	
2-204	30" MAX
2-226	36" MAX
2-258	42" MAX
2-3210	80" MAX
2-2X12	100" MAX

ROOF AND CEILING ONLY (2 8M MAX - SUPPORTING GABLE)	
2-204	30" MAX
2-226	36" MAX
2-258	42" MAX
2-3X10	210" MAX
2-2X12	240" MAX

ROOF, CEILING AND 1 STOREY ONLY	
2-204	30" MAX
2-226	36" MAX
2-258	42" MAX
2-2X10	74" MAX
2-2X12	80" MAX

LOGIC LINTEL LINTEL FOR MASSWYRE SPANS (UNLESS NOTED OTHERWISE)

**EXTERIOR WALLS**

SPAN	FOR BRICK	FOR STONE
3'-11"	L-3102x 2102x 14"	L-2x 2x 2x 2x 5/8"
4'-11"	L-3102x 2102x 5/8"	L-3102x 2102x 5/8"
5'-11"	L-4x 3102x 5/8"	L-2x 2x 2x 5/8"
6'-11"	L-4x 3102x 5/8"	L-2x 2x 2x 5/8"
7'-10"	L-5x 3102x 5/8"	L-2x 2x 2x 5/8"
8'-10"	L-5x 3102x 5/8"	L-2x 2x 2x 5/8"
7'-10"	L-5x 4x 3x 5/8"	L-2x 2x 2x 5/8"

- FOOTING LEGEND - TO BE USED WITH P.I. POSTS ONLY  
REFER TO ENGINEER'S DOCUMENTATION FROM UFS CONNECTORS BY MITEC CANADA  
FOOTING TO BEAR ON SOIL WITH MIN. 75 kPa  
CONC. SHALL BE NORMAL PORTLAND CEMENT, TYPE 10 OR TYPE 80 AS REQD.  
SLUMP = 1.7" AIR ENTRAINED 4.7%, MAX. AGGREGATE 3/4" AND MAX. COMPRESSIVE STRENGTH OF 30MPa AT 28 DAYS

Maximum Spans for Steel Beams Supporting Floors Table S-23.4.3

Supported span length (ft) = half the sum of span lengths on both sides of the beam

Section 24 30 36 42 48 54 60

One Storey Supported

W150 x 22 55 52 49 48 46 45 43

W200 x 47 65 62 59 58 56 55 53

W200 x 73 74 71 69 68 66 65 63

W200 x 81 76 73 70 69 67 66 64

W250 x 35 82 81 80 79 78 77 75 73

W250 x 50 94 93 92 91 90 89 87 85

W310 x 31 104 98 94 89 84 80 76

W310 x 38 114 107 102 98 92 88

Section 24 30 36 42 48 54 60

Two Storeys Supported

W150 x 22 49 44 41 38 35 34 32

W200 x 47 59 51 48 43 41 38 37

W200 x 73 64 61 58 53 49 47 44

W200 x 81 69 65 62 58 54 51 49

W250 x 24 69 61 58 52 49 46 44

W250 x 35 77 73 69 65 61 58 55

W300 x 39 88 83 78 72 68 64 61

W310 x 31 87 78 72 67 62 58 55

W310 x 38 100 93 85 79 74 70 67

ALL BEAM SUPPORTS SHALL HAVE NOT LESS THAN 3 1/2" BRIDGING

**FOOTING SCHEDULE**

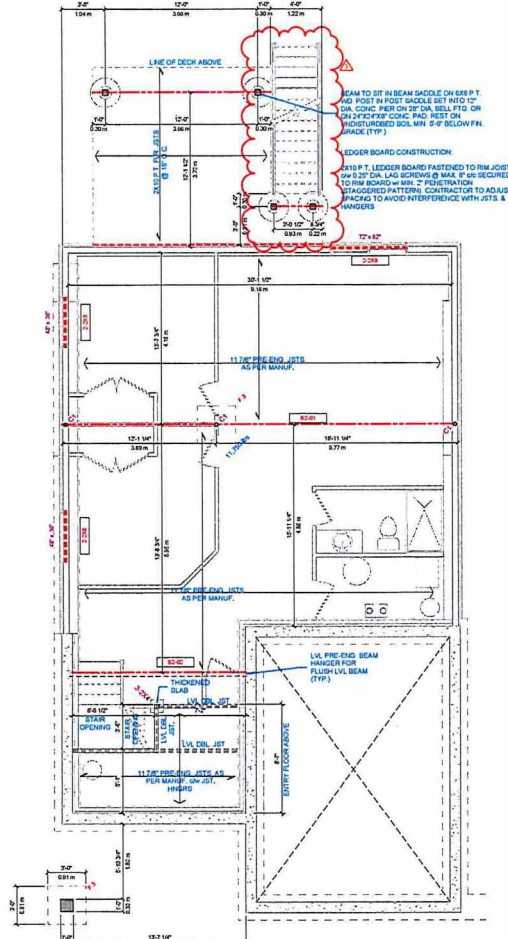
NO.	WIDTH	LENGTH	REINFORCING	QTY
F3	2'-0"	17'-0"	30"x30"x3" PAD FOOTING WITH 15M @ 15.0" SW (1x 100) 8M	5

**COLUMN SCHEDULE**

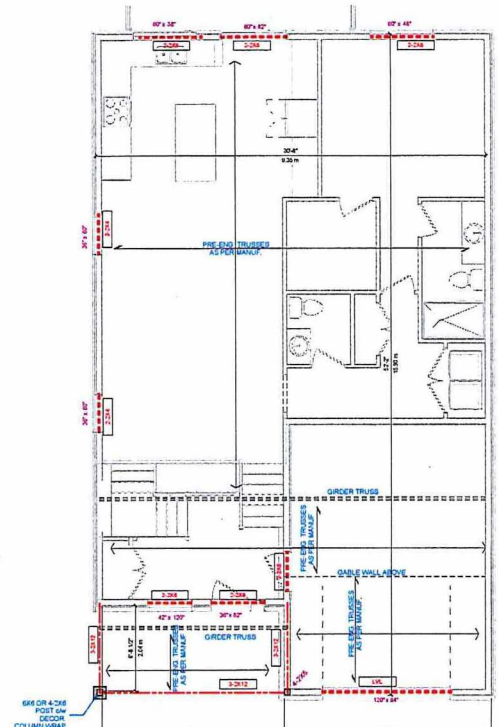
NO.	DESCRIPTION
C1	HELY POST - USP ADJUSTABLE SUPPORT COLUMN 2" 10.3" SERIES BY MIVAC

**BEAM SCHEDULE**

ITEM	DESCRIPTION	Comments
F3-20	WOODST STEEL BEAM - CROPPED	
U1-01	11.75" PRECAST LVL BEAM - FLUSH	FLUSH BEAM ON JOIST TRAVELERS
U1-02	WOODST STEEL BEAM - CROPPED	
U1-03	11.75" PRECAST LVL BEAM - FLUSH	FLUSH BEAM ON JOIST TRAVELERS



BASEMENT FLOOR - FRAMING PLAN - HOUSE 2  
1/4" = 1'-0"



NOTE: IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO COORDINATE THE LINTELS FOR GIRDERS TRUSSES FALLING OVER OPENINGS

GROUND FLOOR - FRAMING PLAN - HOUSE 2  
1/4" = 1'-0"



Owner and Client to be responsible for the accuracy of the information provided to the Designer. The Designer shall not be responsible for the accuracy of the information provided to the Owner and Client. The Designer shall not be responsible for the accuracy of the information provided to the Owner and Client.

PROJECT STATUS  
ISSUED FOR CONSTRUCTION

REVISED DATE  
October 28, 2024

CERTIFICATION  
The undersigned has prepared and taken responsibility for the preparation and content of the drawings and specifications herein.

DATE  
October 28, 2024

REVISIONS

PROJECT ADDRESS  
Covington Creek, Sudbury, Ontario



PROJECT TYPE  
LOT 56 COVINGTON LINK HOMES

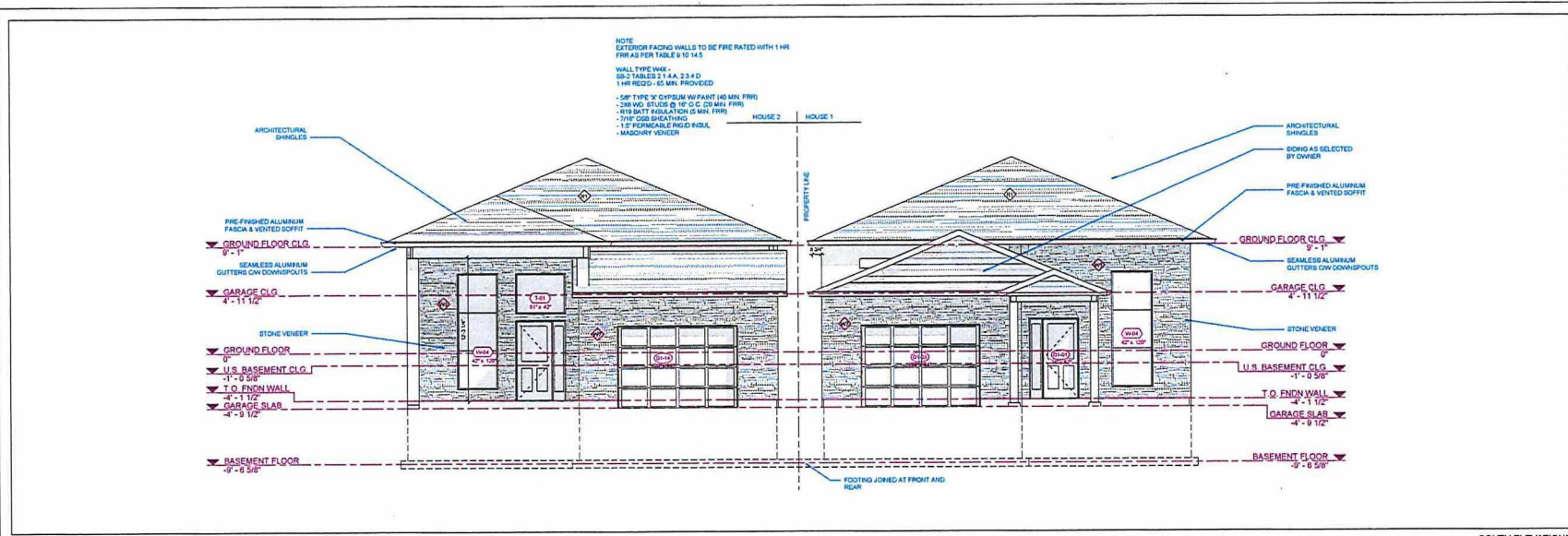
PROJECT NUMBER  
Project No. 2024-024-LD116

SCALE  
1/4" = 1'-0"

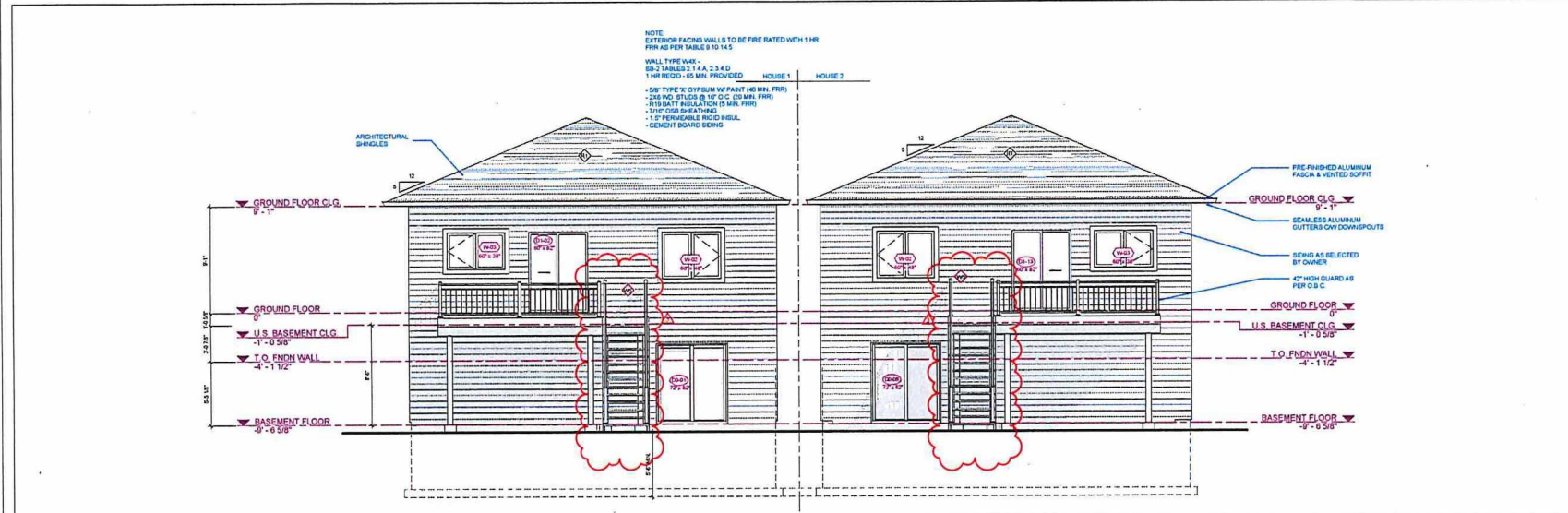
DATE  
HOUSE 2 FRAMING PLANS

PROJECT NUMBER  
A202

AO111/2024  
Sketch 11



SOUTH ELEVATIONS  
1/4" = 1'-0"



NORTH ELEVATIONS  
1/4" = 1'-0"

**JPH HOME DESIGN**  
107 South State  
Cincinnati, OH 45219  
(513) 263-1111

Design and construction of  
residential projects are our  
specialty. We provide a full range  
of services from conceptual design  
through construction administration.  
We are committed to providing  
exceptional service and quality  
workmanship for every project.

**PROJECT ADDRESS**  
ISSUED FOR CONSTRUCTION

**PROJECT NUMBER**  
ISSUED DATE

**CERTIFICATION**  
The undersigned hereby certifies that  
the drawings and specifications  
are true and correct to the best  
of his knowledge and belief.

**DATE**  
October 29, 2024

**DATE**  
October 29, 2024

**DATE**  
October 29, 2024

**REVISIONS**

**PROJECT ADDRESS**  
Covington Drive, Suburb,  
Ohio

**CLIENT**  
**ZULICH**  
homes

**PROJECT TYPE**  
LOT 86 COVINGTON LINK  
HOMES

**PROJECT NUMBER**  
Project No. 2024029-LOT 86

**SCALE**  
1/4" = 1'-0"

**COMMENTS**  
NORTH & SOUTH  
ELEVATIONS

**DRAWN BY**  
**A301**

10/11/2024  
 sketch 12



Design and Construction in accordance with the International Building Code (IBC) and other applicable codes and standards. The design is based on the information provided by the client. The design is subject to change without notice. The design is not intended to be used for any other purpose. © 2024 HP Home Design Inc.

PROJECT STATUS  
 ISSUED FOR CONSTRUCTION

ISSUED DATE  
 October 29, 2024

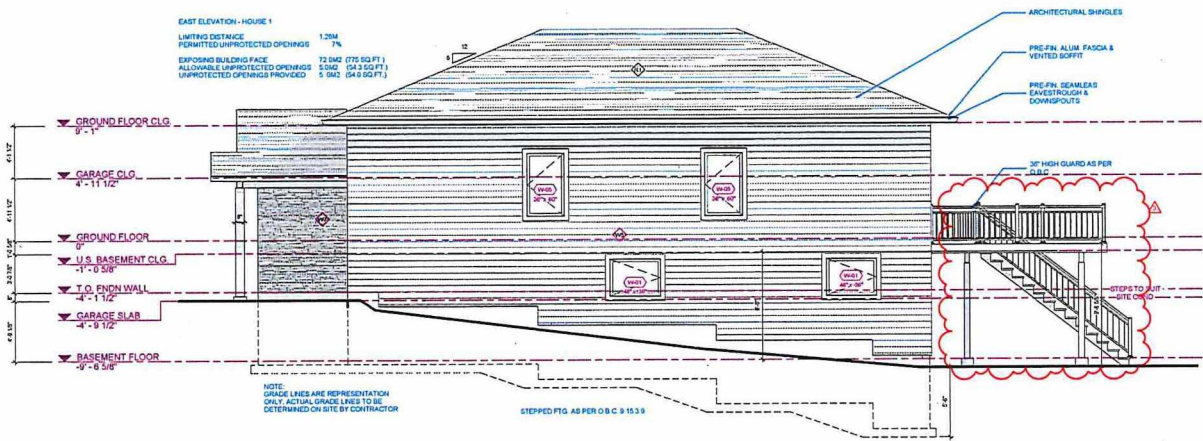
CERTIFICATION  
 The undersigned hereby certifies that the design is in accordance with the International Building Code (IBC) and other applicable codes and standards. The design is based on the information provided by the client. The design is subject to change without notice. © 2024 HP Home Design Inc.

DATE  
 October 29, 2024

DATE  
 10/29/24

DATE  
 10/29/24

REVISIONS



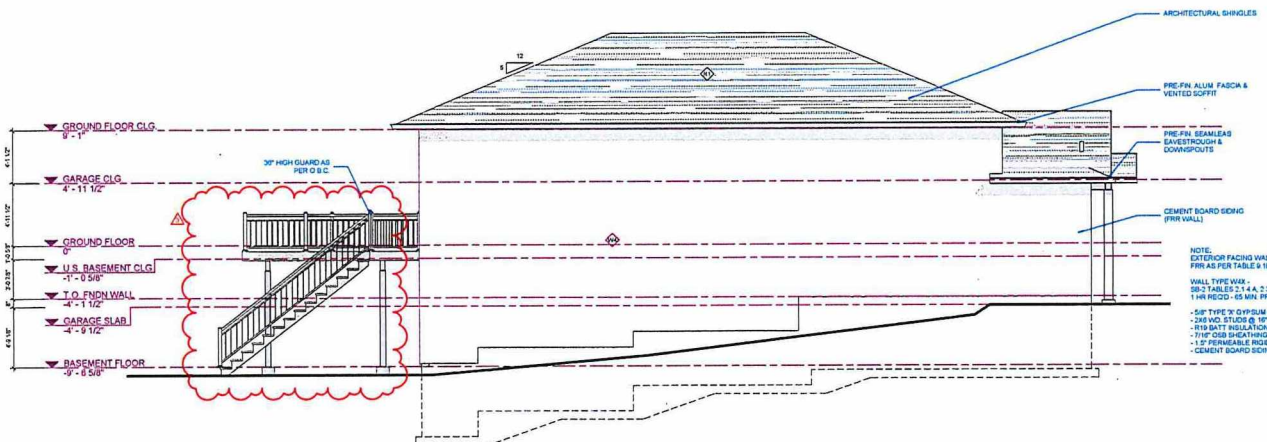
EAST ELEVATION - HOUSE 1  
 LIMITING DISTANCE PERMITTED UNPROTECTED OPENINGS 1.25M  
 EXPOSING BUILDING FACE 72 DM2 (775 SQ FT)  
 ALLOWABLE UNPROTECTED OPENINGS 5 DM2 (54 SQ FT)  
 UNPROTECTED OPENINGS PROVIDED 5 DM2 (54 SQ FT)

GROUND FLOOR CLG 0'-0"  
 GARAGE CLG 4'-11 1/2"  
 GROUND FLOOR 0"  
 U.S. BASEMENT CLG -1'-0 5/8"  
 T.O. FNDN WALL 4'-1 1/2"  
 GARAGE SLAB 4'-9 1/2"  
 BASEMENT FLOOR -9'-8 5/8"

NOTE: GRADE LINES ARE REPRESENTATION ONLY. ACTUAL GRADE LINES TO BE DETERMINED ON SITE BY CONTRACTOR

STEPPED FTG. AS PER O.B.C. 153.9

EAST ELEVATION - HOUSE 1  
 1/4" = 1'-0"



NOTE: EXTERIOR FINISH WALLS TO BE FIRE RATED WITH 1 HR FIRE AS PER TABLE 6.10.14.5  
 WALL TYPE W-6 - SB-2 TABLE 2-4.4, 2.3.4 D  
 1 HR REQD - 60 MIN PROVIDED  
 - 5/8" TYPE 'X' GYPSUM W/FANET (40 MIN FRR)  
 - 2X8 WD STUDS @ 16" O.C. (30 MIN FRR)  
 - 110 BATT INSULATION (5 MIN FRR)  
 - 1/2" OSB SHEATHING  
 - 1/2" PENETRABLE INSUL  
 - CEMENT BOARD SIDING

GROUND FLOOR CLG 0'-0"  
 GARAGE CLG 4'-11 1/2"  
 GROUND FLOOR 0"  
 U.S. BASEMENT CLG -1'-0 5/8"  
 T.O. FNDN WALL 4'-1 1/2"  
 GARAGE SLAB 4'-9 1/2"  
 BASEMENT FLOOR -9'-8 5/8"

WEST ELEVATION - HOUSE 1  
 1/4" = 1'-0"

PROJECT ADDRESS  
 Covington Circle, Suburbay, Orem, UT



PROJECT TYPE  
 LOT 66 COVINGTON LINK PHASE 2

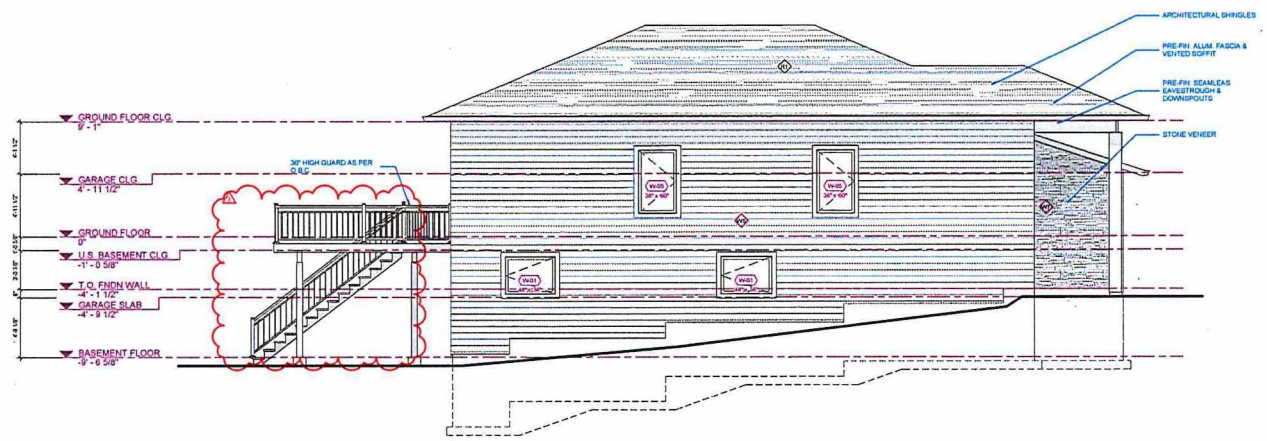
PROJECT NUMBER  
 Project No. 2024029-LOT 66

SCALE  
 1/4" = 1'-0"

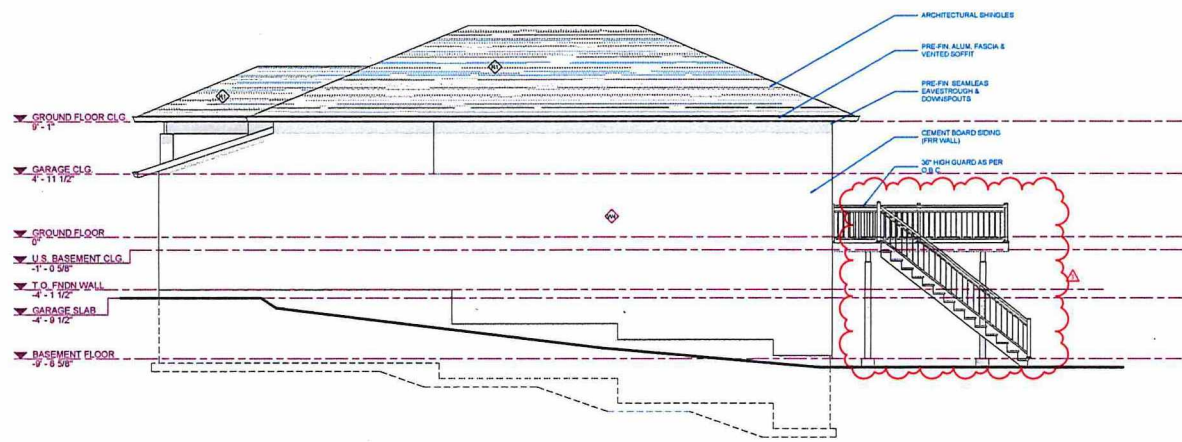
DATE  
 HOUSE 1 ELEVATIONS

PROJECT NUMBER  
 A302

ADD 11/2024  
Sketch 13



WEST ELEVATION - HOUSE 2  
1/4" = 1'-0"



EAST ELEVATION - HOUSE 2  
1/4" = 1'-0"



Drawings are prepared and issued on the basis of the information provided to the Architect. The Architect is not responsible for the accuracy of the information provided to the Architect. The Architect is not responsible for the accuracy of the information provided to the Architect. The Architect is not responsible for the accuracy of the information provided to the Architect.

PROJECT STATUS  
ISSUED FOR CONSTRUCTION

ISSUED DATE  
October 28, 2024

CERTIFICATION  
The undersigned has reviewed and has been responsible for the design and has been issued in the Province of Ontario as a Professional Engineer in the Province of Ontario.

DATE  
October 28, 2024

BY  
[Signature]

PROFESSIONAL ENGINEER  
No. 10133

REVISIONS

PROJECT ADDRESS  
Convington Cross, Sudbury, Ontario

CLIENT  
ZULICH homes

PROJECT TYPE  
LOT 86 CONINGTON LINK HOMES

PROJECT NUMBER  
Project No. 2024-029-Lot 86

SCALE  
1/4" = 1'-0"

CONTENTS  
HOUSE 2 ELEVATIONS

SHEET NUMBER  
A303