

Tom Davies Square
200 Brady Street
Sudbury, Ontario P3A 5P3

August 20, 2025

PUBLIC HEARINGS

**PL-MV-2025-00106 JEAN-FRANCOIS DEMORE
 CHANTAL ROMAIN**

Ward: 12

PIN(s) 021330268, Lot 29, Plan 85-S, Part Lot 5, Concession 4, Township of McKim, 375 Laforest Avenue, Sudbury, [By-law 2010-100Z, R2-3]

For relief from Part 5, Section 5.2, subsection 5.2.3.5, Table 5.2 and Section 5.5, subsection 5.5.3 and Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the conversion of the existing legal non-conforming 12-unit multiple dwelling to 13-units providing, firstly, 0 required parking spaces, where 13 are required, secondly, no accessible parking spaces, where 1 is required, and thirdly, a minimum lot are of 57.171 sq. m per unit, where 140.0 sq. m per unit is required.

PL-MV-2025-00111 STEPHANIE MARSHALL

Ward: 2

PIN(s) 733980061, Parcel 19060 SEC SWS, Part Summer Resort Location AE 285, Part 8, Plan SR-457, together with easement over Part 1, Plan SR-457 as in LT212984, Township of Eden, 1067 Kantola Road, Lively, [By-law 2010-100Z, R1-1]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.0m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

This application was deferred from the meeting of June 25, 2025 in order to afford the owner the opportunity to address those comments received from agencies and departments.

PL-MV-2025-00074 **BROOKE HOWES**
KEN ROBINEAU

Ward: 11

REVISED

PIN(s) 735810523, Firstly: Part Lot 105, Plan M-129, being Parts 2 & 3, Plan 53R-20665; Secondly: Lot 106, Plan M-129, being Part 4, Plan 53R-20665, Part Lot 2, Concession 3, Township of McKim, 51 Downing Street, Sudbury, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.4 (a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.0m, where the maximum height of any accessory building on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0032/2016 (May 9/16) AND B0033/2016 (May 9/16)

A reminder... the next scheduled meeting is Wednesday, September 3, 2025.



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00106

APPLICATION SUMMARY

File Date: 07/16/2025

Application Type: Minor Variance

Address(es): 375 Laforest Avenue, Sudbury P3C 5H9

Applicant(s): GEOFF MCCAUSLAND

Owner(s): JEAN-FRANCOIS DEMORE AND CHANTAL ROMAIN

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

Oct 21 2014

Are you the registered owner or an authorized agent?

Authorized Agent

What is the number of dwelling units on the property?

13

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

0

What is the number of existing buildings/structures on the property?

1

If this application is approved, would any existing dwelling units be legalized?

Yes

How many dwelling units will be legalized?

1

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation

R2-3

Provide a detailed description of what is being proposed

The Property Owner seeks to legalize an existing 13th apartment in the building that was there at the time of purchase.

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

The property has been occupied since 1948 with a combination of 12 residential apartments and 1 commercial space, and 13 residential apartments. The 13 apartments appear to have been in consistent use since 1990, and the apartments have seen very low vacancy despite the reality that the property can not meet the current zoning bylaw in a variety of ways including setbacks and parking requirements. The owner seeks to legalize the 13th unit so that we can then engage consultants and contractors to ensure that the unit meets all fire and building codes, and obtain all required permits to legitimize the 13th unit.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

24.38

Lot Depth of the property

30.48

Lot Area of the property

743.22

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Single free-standing two-storey multi-residential building with 13 apartments, constructed in 1948. 2 Apartments in the basement, 5 on the first floor, and 6 on the second floor.

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Our understanding is that it has been Residential since 1990, was mixed commercial and residential from 1960 until approx. 1990 and residential from 1948-1960.

Is the use remaining the same? If no, please provide the proposed new use

Yes

Existing uses of neighbouring properties

R2-3 Residential immediately to the North, East, South and West, with Institutional lands further south and east. R3 Medium-Density residential further north.

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

Municipally owned and operated piped water system

Municipally owned and operated sanitary sewage system

Lake

Pit Privy

Individual Well

Communal Well

Individual Septic System

Communal Septic System

Other

Explain Other

PROPERTY ACCESS

Provincial highway

Right-of-way

Municipal road that is maintained seasonally

Municipal road that is maintained year-round

Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

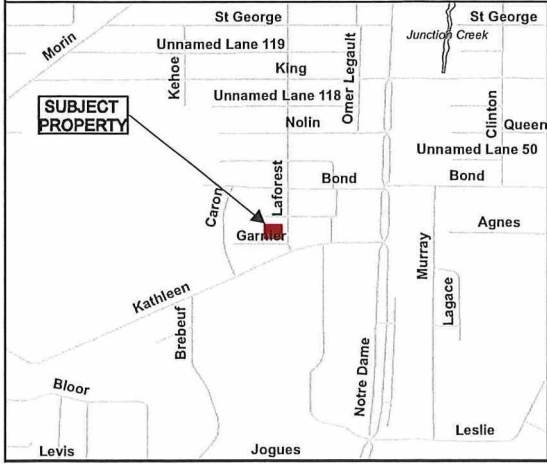
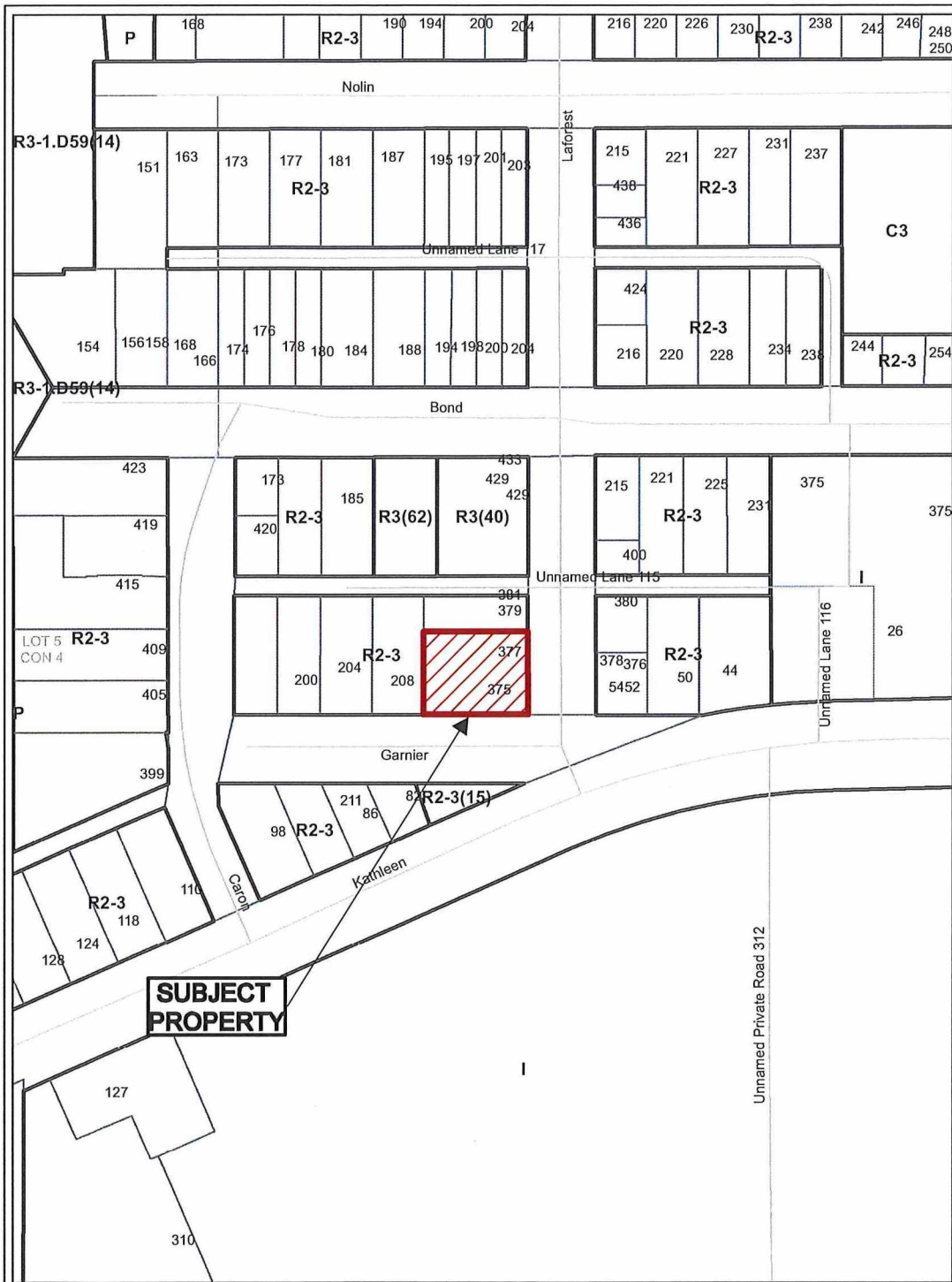
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Freestanding 2-storey 13-unit residential apartment building with full, partly daylight basement with two apartments, laundry, workshop, storage and utility, originally constructed in 1948. 2 apartments in basement, 5 apartments on main floor and 6 on upper floor.	No	405	810	2	27	23.2	9.5	2.35	2.35	0.75	0.75

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Parking Requirements for 13th unit.	1 parking space per unit = 13 Parking spaces required	0 parking provided	13
Minimum Lot Area - Table 6.4	140.0 sq. m per unit	57.171 sq. m per unit	82.829 sq. m
Accessible Parking	1	0	1



N

**Application for Minor
Variance or Permission**

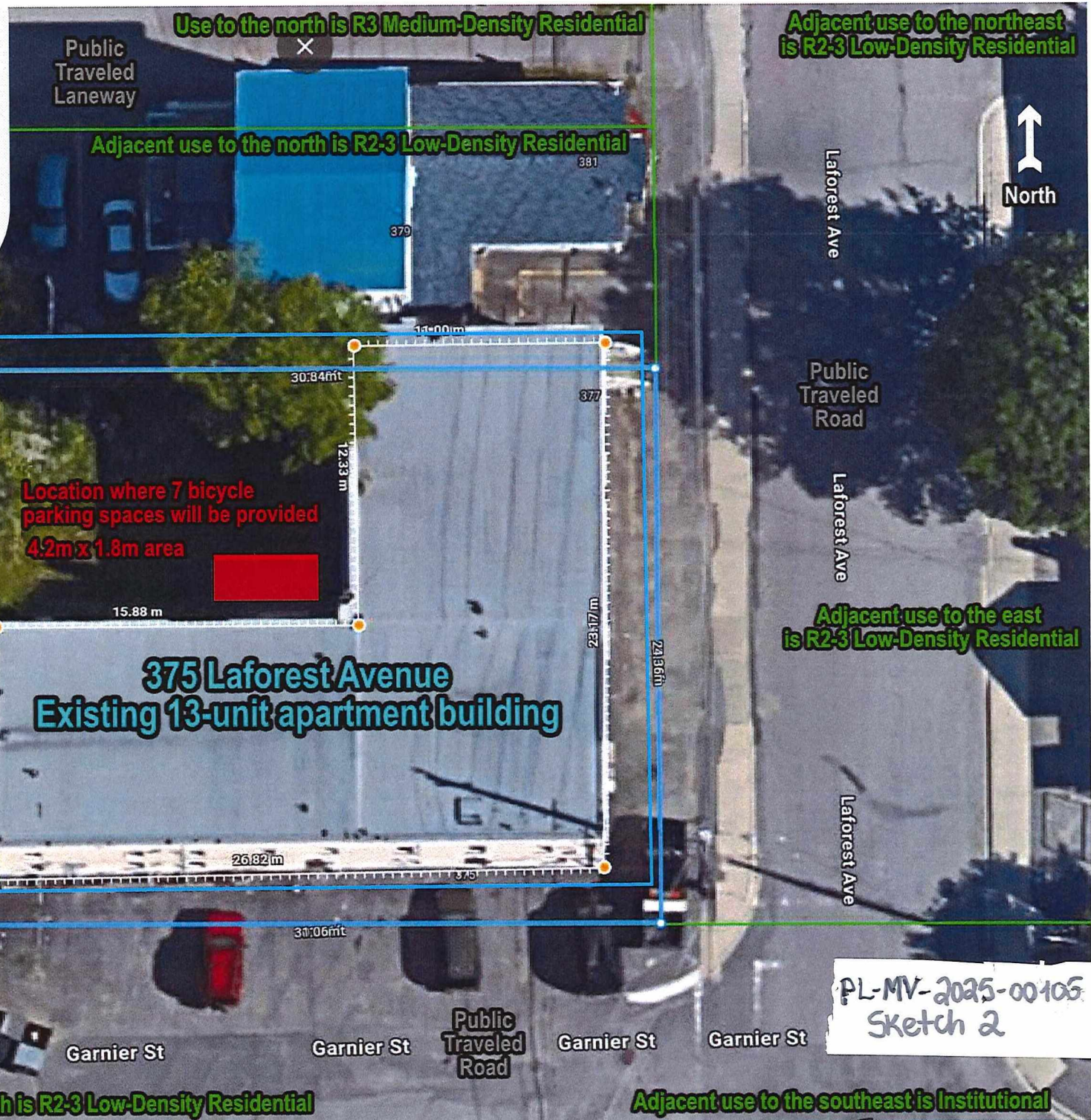
Subject Property being PIN 02133-0268,
Lot 29, Plan 85-S,
Part Lot 5, Concession 4,
Township of McKim,
375 Laforest Avenue, Sudbury,
City of Greater Sudbury

Sketch 1, NTS PL-MV-2025-00106
NDCA Date: 2025 07 18

375 Laforest Variance Application Concept Plan

Imagery and details provided by Teranet Geowarehouse.
Lot Measurement Accuracy is Low.
These lot boundaries may have been adjusted to fit within the
overall parcel fabric and should only be considered to be estimates.

- Building location to remain the same.
- Site Plan to remain the same.
- Seeking variances to recognize the 13th apartment which appears to have been occupied with the building in the present configuration since approx. 1990.





Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00111

APPLICATION SUMMARY

File Date: 07/24/2025

Application Type: Minor Variance

Address(es): 1067 Kantola Road, Lively P3Y 1H8

Applicant(s): STEPHANIE MARSHALL

Owner(s): STEPHANIE MARSHALL

PLANNING APPLICATION

Are there multiple properties associated with the application?

No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?

June 1, 2018

Are you the registered owner or an authorized agent?

Registered Owner

What is the number of dwelling units on the property?

1

What is the number of proposed new dwelling units on the property?

0

What is the number of proposed new buildings/structures on the property?

1

What is the number of existing buildings/structures on the property?

3

If this application is approved, would any existing dwelling units be legalized?

No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

No

Provide details on how the property is designated in the Source Protection Plan

Current Official Plan designation

Rural

Current Official Plan designation (additional)

Rural

Current Zoning By-law designation

R1-1

Provide a detailed description of what is being proposed

Construction of a detached garage (including on slab foundation, framing, windows, doors, roofing, eavestrough, soffit, fascia, and siding)

Provide a detailed reason why the proposal cannot comply with the Zoning By-law

Garage design includes a loft for storage. The total height of the building must exceed 5.0m in order to safely meet the engineering design by Komri Engineering and the Ontario Building Code.

Is there an eave encroachment?

No

Size of eaves

Lot Frontage of the property

27.7

Lot Depth of the property

75.7

Lot Area of the property

2023

Total width of the public road giving access to the property

20

List all buildings and structures on the property and their respective date of construction

Sauna - Unknown

Shed - Unknown

House - 1946

Septic Bed - Unknown

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.

Residential (since 1946)

Is the use remaining the same? If no, please provide the proposed new use

Yes (remaining residential)

Existing uses of neighbouring properties

Residential

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

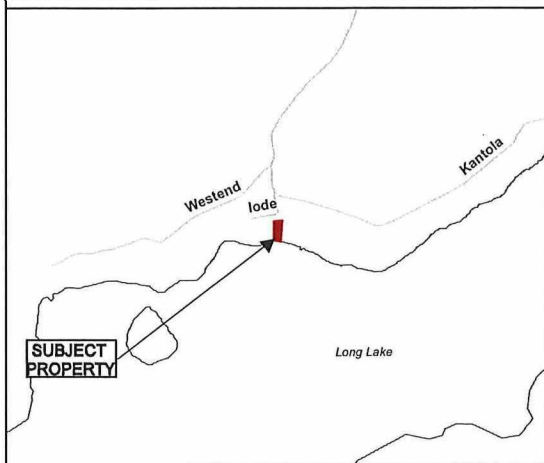
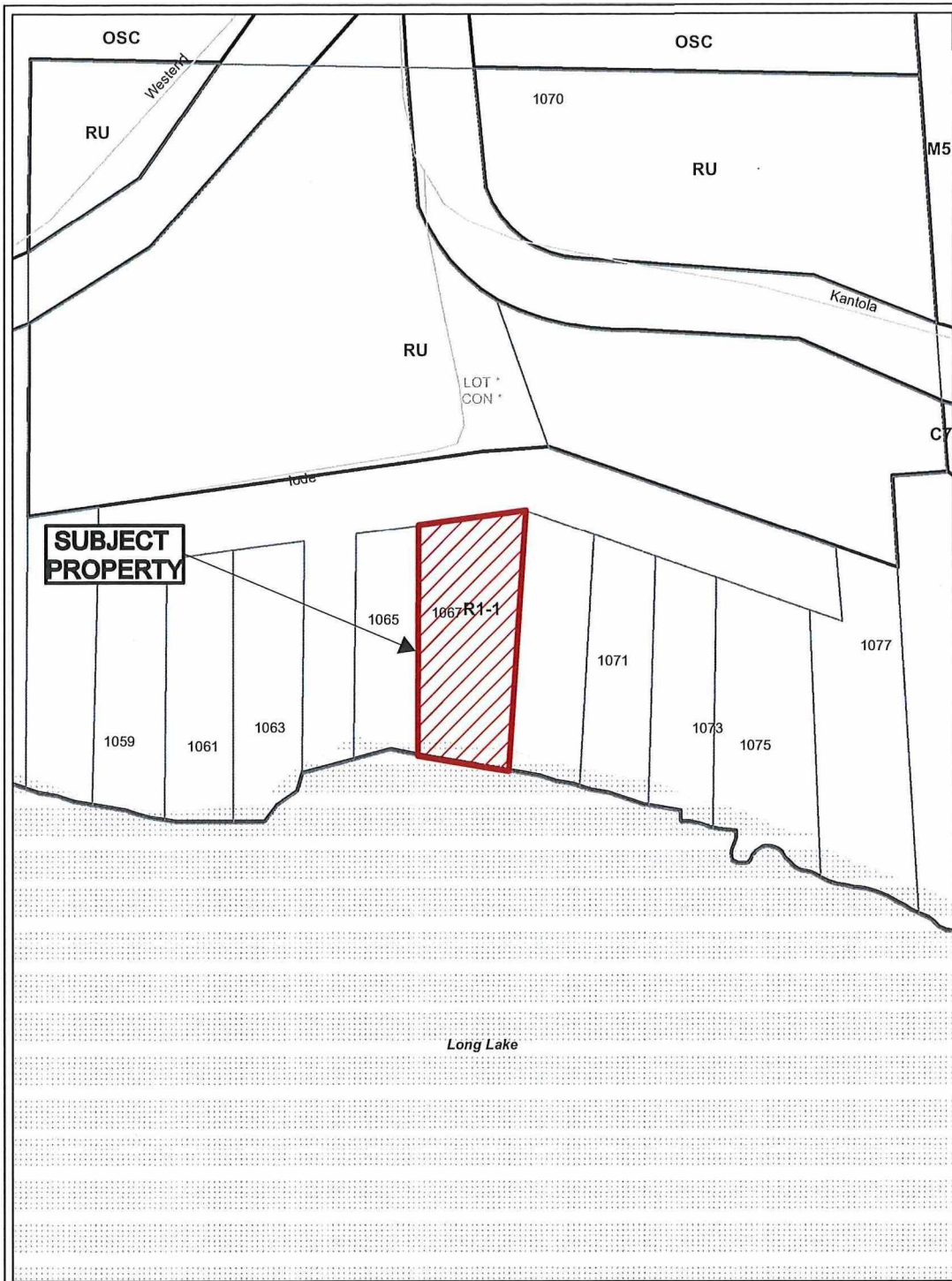
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Garage	No	83	128	1.5	9.8	8.5	8	54.1	15.1	22.9	1.4

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	134	268	2	12.4	11.2	7.3	34.1	29.8	9.7	7.4
Shed	No	8.1	8.1	1	2.7	3	3	40.6	29.7	3.5	23.8
Sauna	No	24	24	1	4.9	4.9	3.3	5.7	62.4	3.7	18.6

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Building Height	4.2.4 Height a) The maximum height of any accessory building or structure on a residential lot shall be 5.0 metres.	8m	3.0m



Application for Minor Variance or Permission



Subject Property being PIN 73398-0061,
 Parcel 19060 SEC SWS,
 Part Summer Resort Location AE 285,
 Part 8, Plan SR-457, together with easement over Part 1,
 Plan SR-457 as in LT212984,
 Township of Eden,
 1067 Kantola Road, Lively,
 City of Greater Sudbury

Sketch 1, NTS

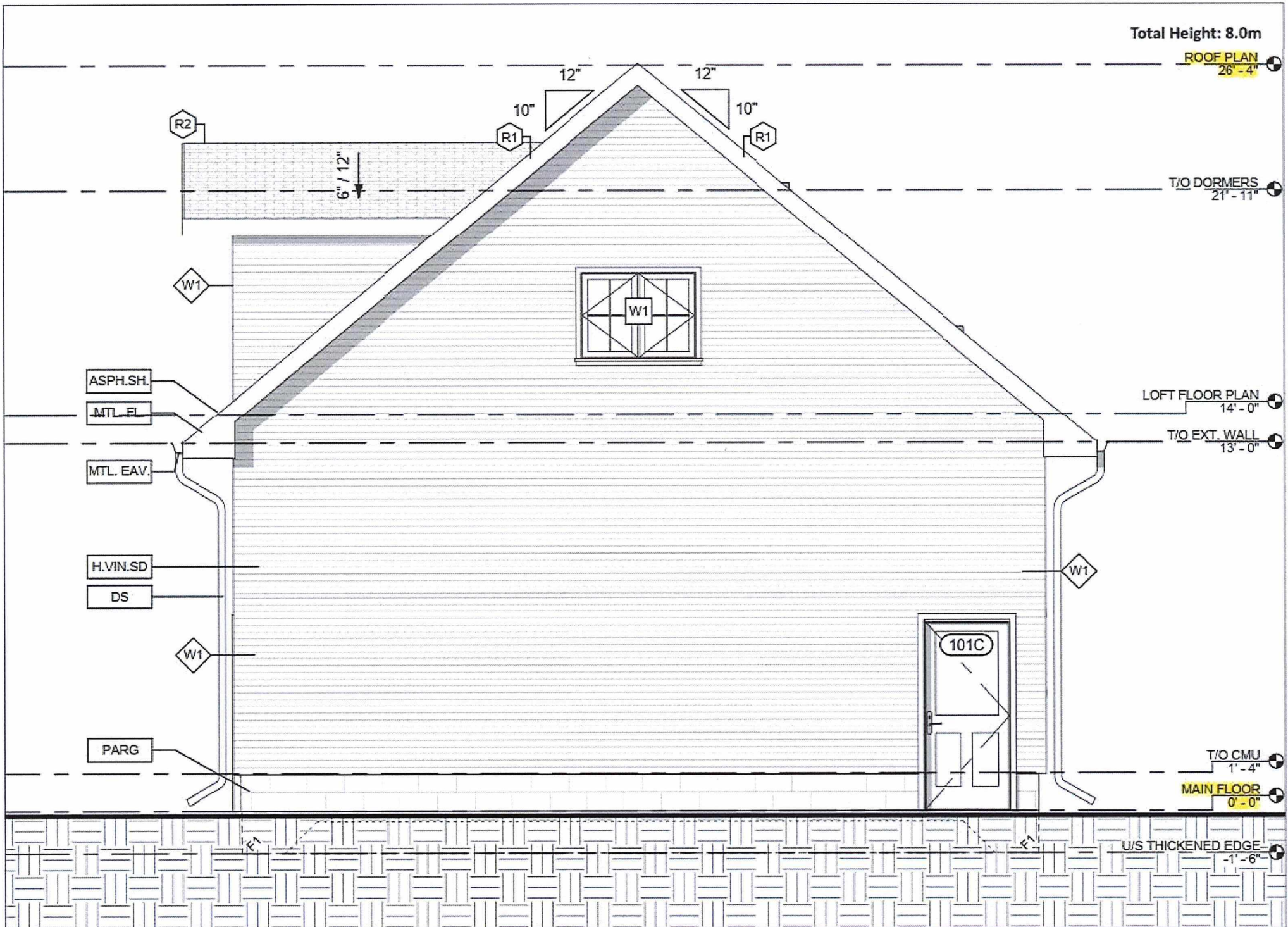
PL-MV-2025-00111

NDCA

Date: 2025 07 30

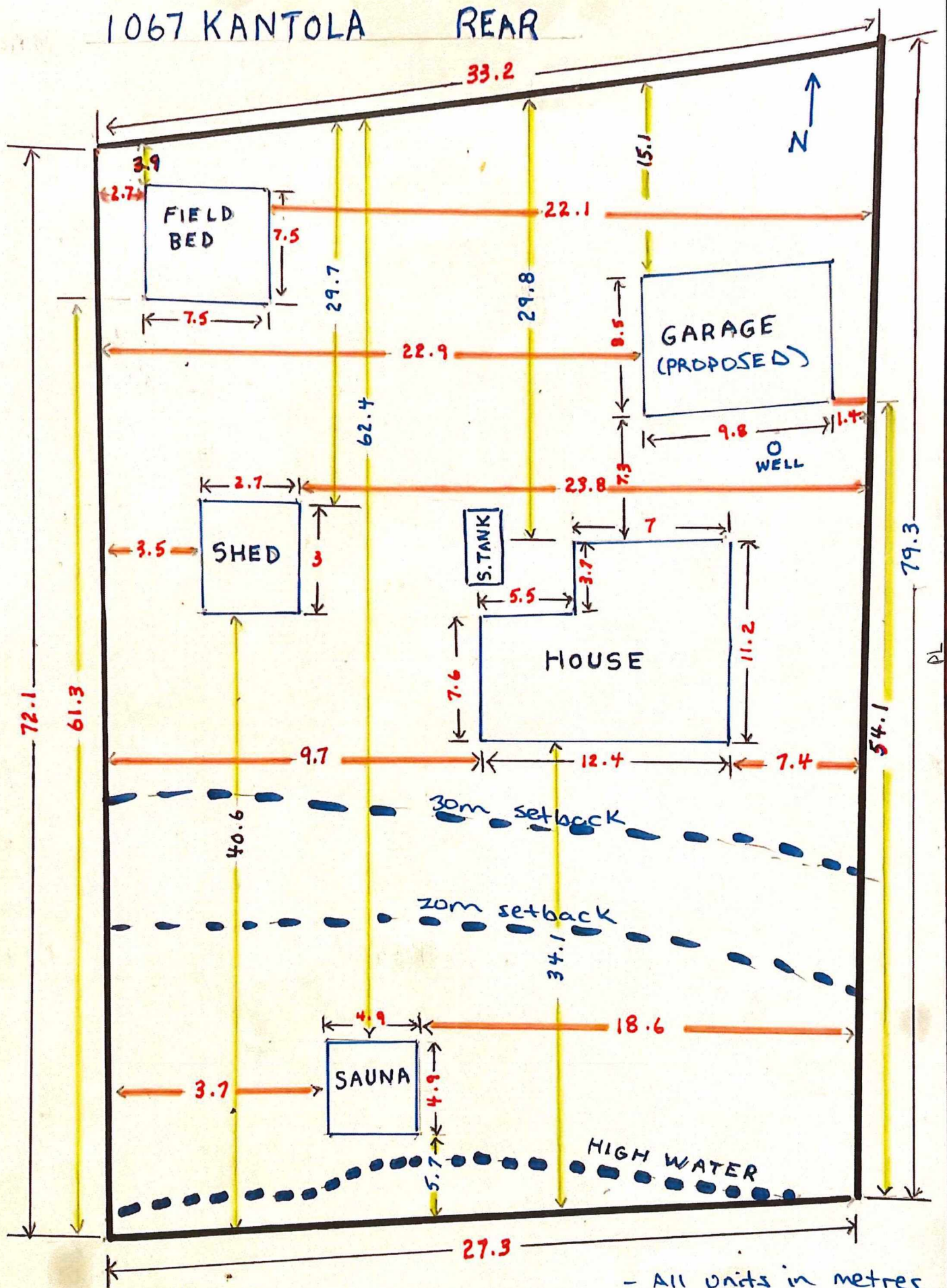
Total Height: 8.0m

ROOF PLAN
26'-4"



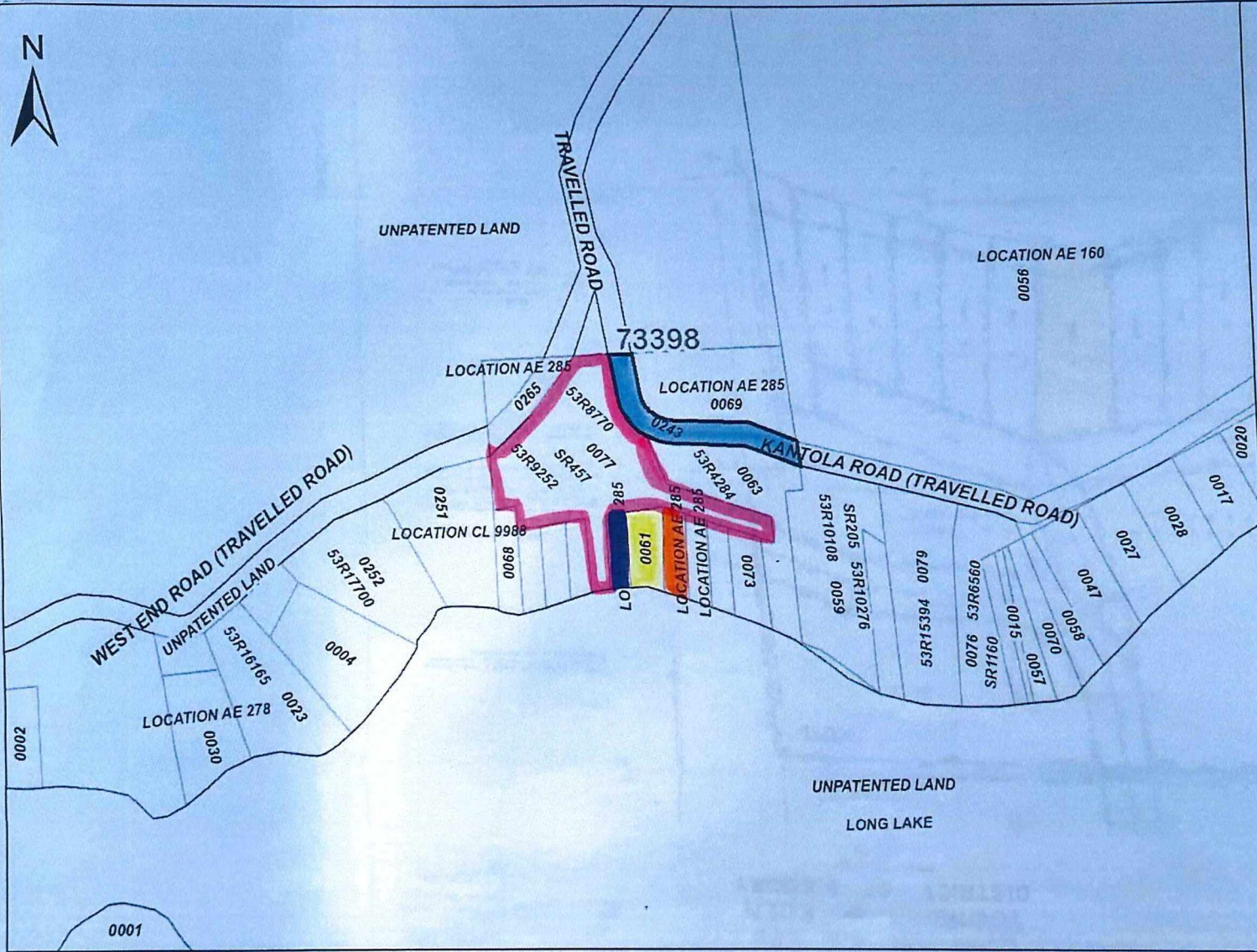
PL-MV-2025-0011 Sketch 2

1067 KANTOLA REAR



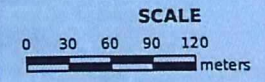
FRONT

- All units in metres
 - All surrounding land is residential



ServiceOntario

PRINTED ON 23 MAY, 2018 AT 10:25:47
FOR NTS



PROPERTY INDEX MAP SUDBURY(No. 53)

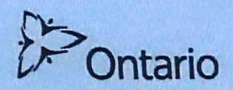
LEGEND

- FREEHOLD PROPERTY
- LEASEHOLD PROPERTY
- LIMITED INTEREST PROPERTY
- CONDOMINIUM PROPERTY
- RETIRED PIN (MAP UPDATE PENDING)
- PROPERTY NUMBER 0449
- BLOCK NUMBER 08050
- GEOGRAPHIC FABRIC
- EASEMENT

THIS IS NOT A PLAN OF SURVEY

NOTES

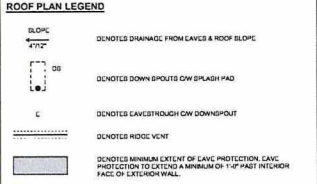
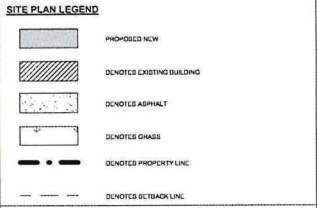
- REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT REGISTRATIONS
- THIS MAP WAS COMPILED FROM PLANS AND DOCUMENTS RECORDED IN THE LAND REGISTRATION SYSTEM AND HAS BEEN PREPARED FOR PROPERTY INDEXING PURPOSES ONLY
- FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE RECORDED PLANS AND DOCUMENTS
- ONLY MAJOR EASEMENTS ARE SHOWN
- REFERENCE PLANS UNDERLYING MORE RECENT REFERENCE PLANS ARE NOT ILLUSTRATED



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PL-MV-2025-0011 sketch 4

- GENERAL NOTES:**
- EXISTING REF OR TO DRAWING PREPARED BY BORTOLUSSI SURVEYING FOR DIMENSION INFORMATION.
 - PROVIDE 1/2" RIB REINFORCING LINE PAINTED ON ALL NEW ASPHALT.
 - ALL SIG. WALKS & PATHWAYS TO BE 6" MIN. WIDE UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

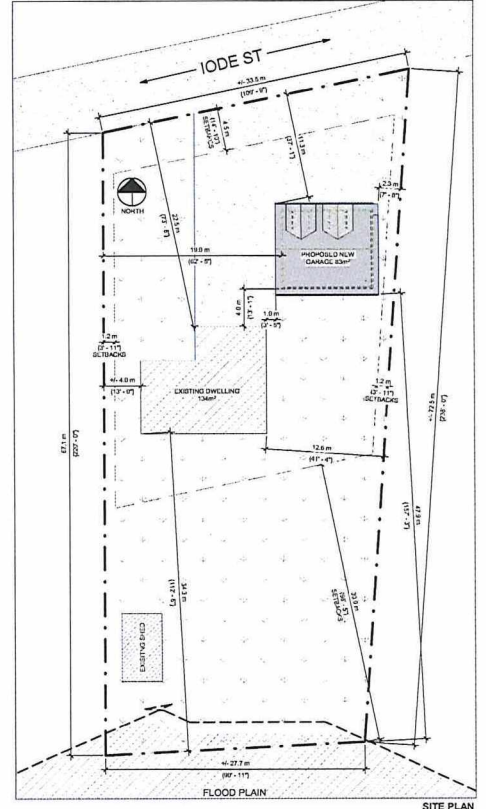
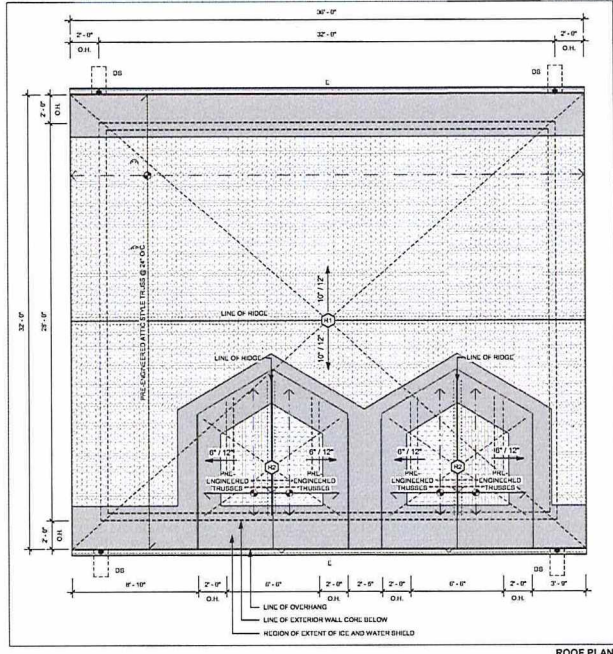


- NOTES:**
- CONTRACTOR TO SITE VERIFY EXISTING SLOPE AND DIMENSIONS PRIOR TO DEMOLISHING TRUSSES. REPORT BACK TO KOMRI ENGINEERING IF ANY DISCREPANCIES OCCUR.
 - ICE AND WATER SHIELD TO EXTEND 1/2" PAST INTERIOR FACE OF EXTERIOR WALL (TYPICAL).
 - THE MANUFACTURER'S ROOF TRUSS SUPPLIER SHALL PROVIDE MANUFACTURING SHOP TRUSSES SUITABLE TO THE DESIGN PARAMETERS PROVIDED BY KOMRI ENGINEERING AND IN ACCORDANCE WITH OGD PART 9 - 9.23.13.11 WOOD TRUSSES.

- ROOF ASSEMBLIES:**
- PER ENGINEERING ATTIC TRUSSES**
 - 25 YEAR ASPHALT SHINGLES
 - CAVE PROTECTION AROUND PERIMETER
 - CONSTRUCTION FULL PATCH
 - 1/2" R WOOD SHEATHING WITH CW TYP CLIPS
 - PRC ENGINEERED ATTIC TRUSSES @ 2'-0" OC BY OTHERS
 - FLL W BLOWN INSULATION (R-60) AND DAIT INSULATION IN CATHEDRAL NOSE (R-35)
 - 6M POLY VAPOUR BARRIER MEMBRANE - LAP & SEAL
 - CEILING AS SCHEDULED
 - DWELLING PER ENGINEERED TRUSSES**
 - 25 YEAR ASPHALT SHINGLES
 - CAVE THROUGH AROUND PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FULL PATCH
 - 1/2" R WOOD SHEATHING CW TYP CLIPS
 - PRC ENGINEERED ROOF TRUSSES BY OTHERS @ 2'-0" OC BY OTHERS
 - 6M POLY VAPOUR BARRIER MEMBRANE - LAP & SEAL
 - CEILING AS SCHEDULED

DIMENSIONS ON SITE PLAN TO BE FIELD VERIFIED BY HOME OWNER. CONTRACTOR ON SITE. SURVEY. ANY DISCREPANCIES SHALL BE REPORTED TO KOMRI ENGINEERING.

ZONE	±11.5
TOTAL PROPERTY AREA*	± 2097 m ²
PROPOSED NEW DWELLING*	± 836 m ²
EXISTING DWELLING*	± 1346 m ²
NEW TOTAL LOT COVERAGE*	± 70%
MAIN FLOOR F1*	± 893 F1*
MINIMUM LOT COVERAGE*	± 40%
MAXIMUM HEIGHT*	± 11m
MINIMUM LOT FRONTAGE*	± 50m
MINIMUM FRONT YARD*	± 5m
MINIMUM REAR YARD*	± 5m
MINIMUM SIDEYARD*	± 2m
MINIMUM CORNER SIDE YARD*	± 4.5m



GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE OGD REGULATIONS AND THE OGD REGULATIONS FOR CONSTRUCTION OF DWELLINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.
- ALL UTILITIES SHALL BE MARKED AND DEPTH SHALL BE VERIFIED PRIOR TO ANY EXCAVATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE OGD REGULATIONS AND THE OGD REGULATIONS FOR CONSTRUCTION OF DWELLINGS.

PROFESSIONAL ENGINEER

PAUL DAVIS
1067 KANTOULARD LANE, ONTARIO
PROJECT NO. K51025416

12.03.2024



KOMRI ENGINEERING

SITE PLAN & ROOF PLAN

DRAWN: CB
CHECKED: DP/IKO
SCALE: As Indicated
SHEET: 1

PL-MV-2025-00111

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch b

A02

CONSTRUCTION ASSEMBLIES

PARTITION ASSEMBLIES NOTES:

- ALL INTERIOR PARTITIONS ARE TYPE "A" UNLESS NOTED OTHERWISE.
- NEXT TO ANY DIMENSION INDICATES THAT MEASUREMENT SHOULD BE FIELD VERIFIED AND MAY HAVE TO BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS. REPORT TO KOMRI ENGINEERING AS REQUIRED IF DESIGN INTENT CANNOT BE IMPLEMENTED.
- USE WATER RESISTANT GYPSUM WALL BOARD ON ALL WET SIDES OF PARTITIONS & CONCRETE BOARD BEHIND ALL WALL MOUNTED TIE WORK.
- PROVIDE WOOD BLOCKING TO ACCOMMODATE WALL MOUNTED IN ACCESSORIES. COORDINATE LOCATIONS AS REQUIRED.
- ALL PARTITIONS TO EXTEND TO USE OF STRUCTURE UNLESS OTHERWISE NOTED. SPACES AS REQUIRED.
- ALL FLOOR ELEVATIONS ARE REFERENCED TO AND FROM GROUND FLOOR DATUM. ALL PARTITIONS TO EXTEND TO CEILING UNLESS OTHERWISE NOTED.
- ALL PARTITIONS TO HAVE 1" METAL CORNERS IN GYPSUM BOARD PARTITIONS SHALL BE FINISHED WITH CORNICE GUARDS.
- ALL DOORS SHALL BE LOCATED 4" FROM WALL FACE TO DOOR FRAME EDGE. TYPICAL UNLESS NOTED OTHERWISE.
- THE LETTER "R" NEXT TO PARTITION TAGS INDICATE PARTITIONS THAT ONLY EXTEND TO USE OF CEILING.

PARTITION ASSEMBLIES:

- TYPICAL INTERIOR WOOD STUD PARTITION**
- 1/2" GYPSUM BOARD ON BOTH SIDES OF
 - 2 x 4 SPS. NO. 1/2" INS. WOOD STUD @ 16" O.C.

LEGEND

- ROOM NAME**
- TET DENOTES ROOM NAME AND NUMBER REFERENCE.
- PA**
- DENOTES PARTITION ASSEMBLY TAG REFERENCE.
- WT**
- DENOTES WINDOW TAG REFERENCE.
- WD**
- DENOTES EXTERIOR WALL TAG REFERENCE.
- FD**
- DENOTES FLOOR DRAIN.
- D**
- DENOTES DOOR AND DOOR NUMBER.

WALL ASSEMBLIES:

- WELLING EXTERIOR WALLS**
- HORIZONTAL WPP, BRIDG BY OWNER.
 - 15" VERTICAL WOOD STRAPPING @ 16" O.C.
 - 1 1/2" RIGID INSULATION (R-7.5)
 - 2x8 SPS. NO. 1/2" INS. WOOD STUD @ 16" O.C.
 - 7/8" OSB SHEATHING
 - 2x8 SPS. NO. 1/2" INS. WOOD STUD @ 16" O.C. (DOUBLE TOP PLATE)
 - 5/8" GYPSUM BOARD
 - 1/2" GYPSUM BOARD

RCP LEGEND

- TET DENOTES ROOM NUMBER REFERENCE.
 - CL DENOTES CEILING TYPE - REFER TO CEILING SCHEDULE.
 - CLH DENOTES CEILING HEIGHT ABOVE FINISHED FLOOR.
 - DENOTES RECESSED POT LIGHTS.
 - DENOTES GYPSUM BOARD CEILING.
 - AH DENOTES ATTIC ACCESS HATCH - PRE MANUFACTURED HATCH 18" X 18" X 8" MIN. INDICATE LOCATION OF HATCH WITH OWNER AND CONFIRM WITH CONSULTANT PRIOR TO INSTALLATION.
- NOTE:**
ATTIC HATCH HAS BEEN DESIGNED TO FIT BETWEEN WOOD TRUSSES AT 800mm (2'-0") ON CENTER.

NOTES:

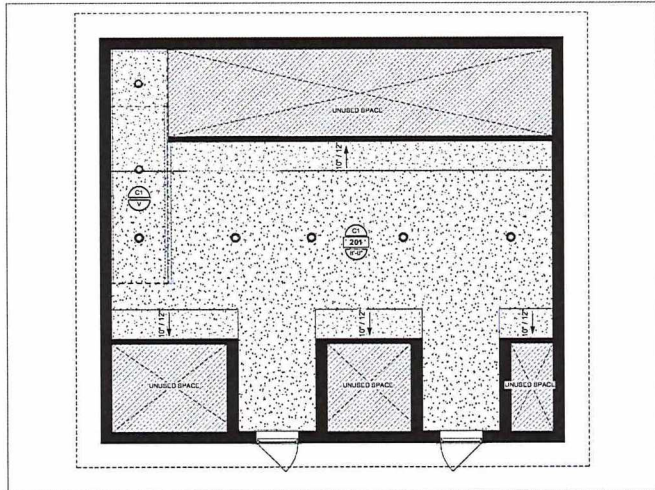
- REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- CEILING HEIGHTS ARE BASED ON THE FLOOR THEY ARE LOCATED ON. B.C. PLAN.
- ALL PENETRATIONS THROUGH ROOF ASSEMBLY THAT PUNCTURE THE VAPOUR BARRIER ARE TO BE SEALED WITH THE APPROPRIATE SEALING AND MEMBRANE. REFER TO SPECIFICATION SECTIONS 07100 (FLUENTS) AND 07110 (MEMBRANE AIR / VAPOUR BARRIERS).

CEILING ASSEMBLIES:

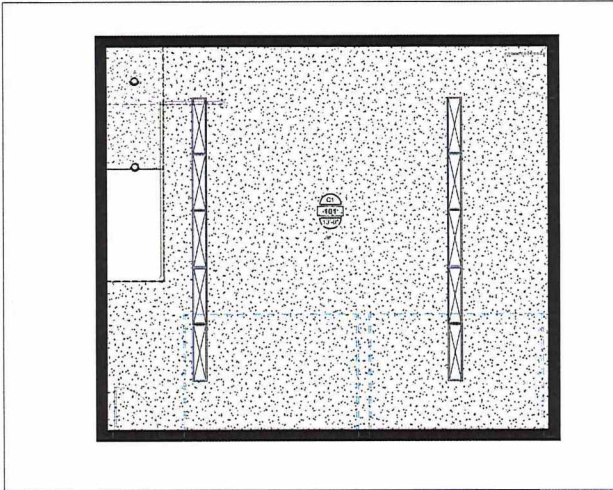
- TYPICAL GYPSUM BOARD CEILING**
- 1/2" GYPSUM BOARD
 - 1/2" RESILIENT CHAINLINK @ 16" O.C.
 - ROOM FLOOR AS SCHEDULED

CONSTRUCTION NOTES (TAGS):

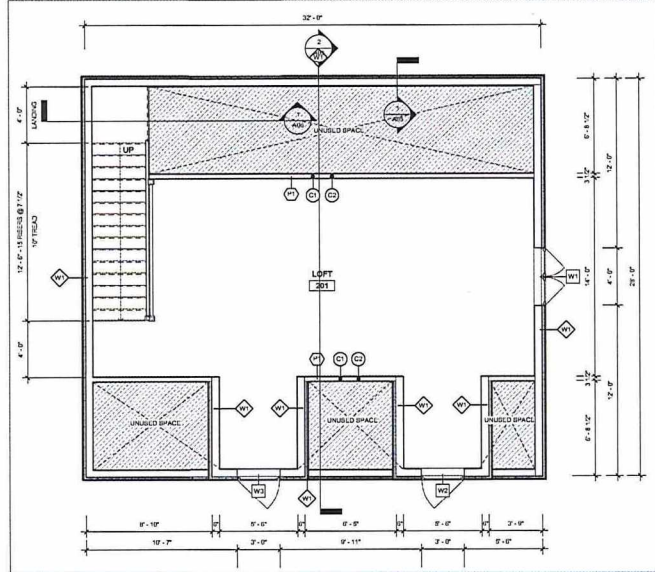
- CONTRACTOR TO PROVIDE 1/2" GYPSUM BOARD SHEATHING ON INTERIOR FACE OF WALL.
- CONTRACTOR TO FILL HOOK HATCHER WITH R-38 BATT INSULATION. CEILING AS SCHEDULED.
- CONTRACTOR TO INSTALL LEDGER BOARD. REFER TO TYP. STAIR DETAIL. (1A02)



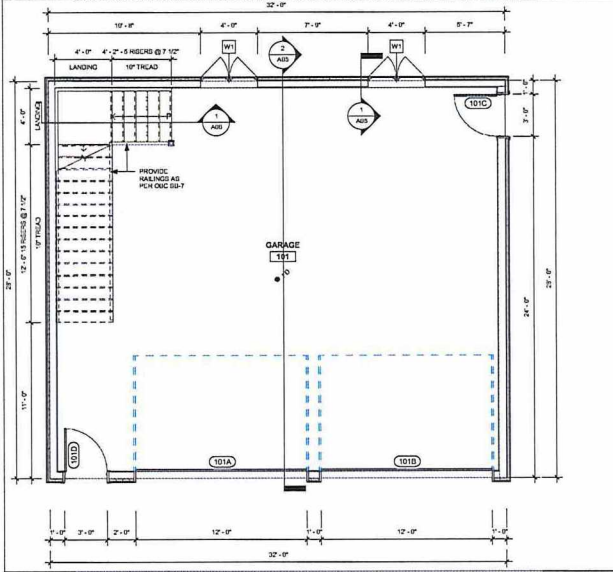
SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



MAIN FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



LOFT CONSTRUCTION FLOOR PLAN
1/4" = 1'-0"



MAIN FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

GENERAL
1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
5. THESE DRAWINGS SHALL BE THE PROPERTY OF KOMRI ENGINEERING AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF KOMRI ENGINEERING.
6. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

DESIGNER
PAUL DAVIS
1567 HANTON ROAD, LEVEL 10
PROJECT NO. KES024148
12.03.2024
APPROVED BY OWNER



PAUL DAVIS
1567 HANTON ROAD, LEVEL 10
PROJECT NO. KES024148
FLOOR PLAN & REFLECTED CEILING PLAN

DRAWN: CB
CHECKED: DPK
SCALE: As Indicated
SHEET:

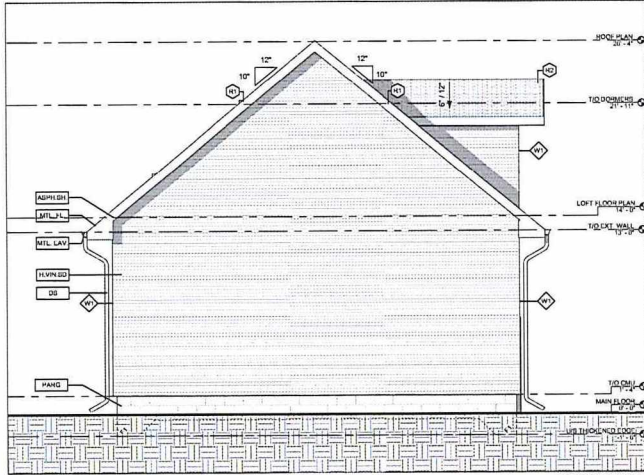
A03

PL-MV-2025-00111

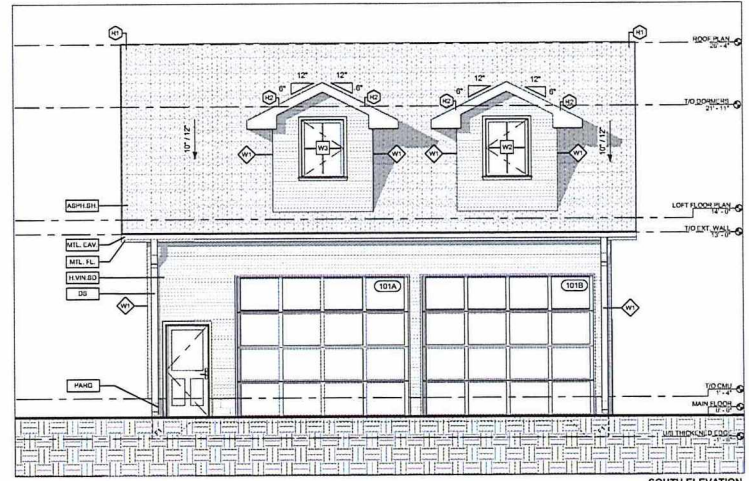
ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch 7

LEGEND	
MFL-FL	DENOTES METAL FLASHING
ASPH/SH	DENOTES 20 YEAR ASPHALT SHINGLES
HLVNBG	DENOTES HORIZONTAL VINYL SIDING BY OWNER
PANG	DENOTES PANKING
MFL-CAV	DENOTES METAL CAVSTROUGHT
DS	DENOTES METAL DOWN SPOUT
R1	ROOF IDENTIFICATION IN SCHEDULE
F1	FOUNDATION IDENTIFICATION IN SCHEDULE
W1	WALL IDENTIFICATION IN SCHEDULE
D1	DOOR IDENTIFICATION IN SCHEDULE
WT	WINDOW IDENTIFICATION IN SCHEDULE
F1	FOOTING IDENTIFICATION IN SCHEDULE
F1	POST IDENTIFICATION IN SCHEDULE



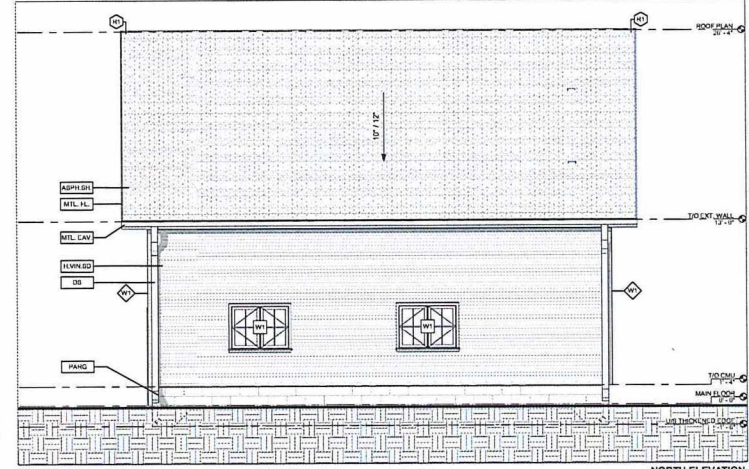
WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

GENERAL
 1. ALL WORK SHALL BE TO THE EXACT DIMENSIONS AND MATERIALS SPECIFIED IN THESE DRAWINGS UNLESS OTHERWISE NOTED.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES.
 4. THESE DRAWINGS SHALL BE THE PROPERTY OF KOMRI ENGINEERING AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF KOMRI ENGINEERING.
 5. 100% BIDDING DRAWINGS

REVISIONS
 1. REVISED FOR CONSTRUCTION
 12.03.2024
 PROJECT NO. 185021414
 REGISTERED PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO



PAUL DAVIS
 1857 HANTON RD. LEVEL 10
 PROJECT NO. 185021414
 ELEVATIONS

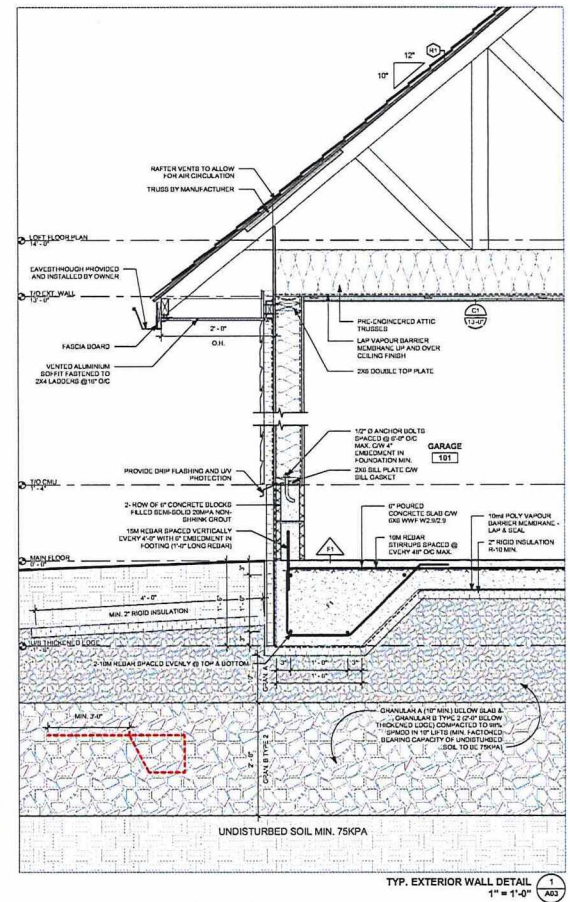
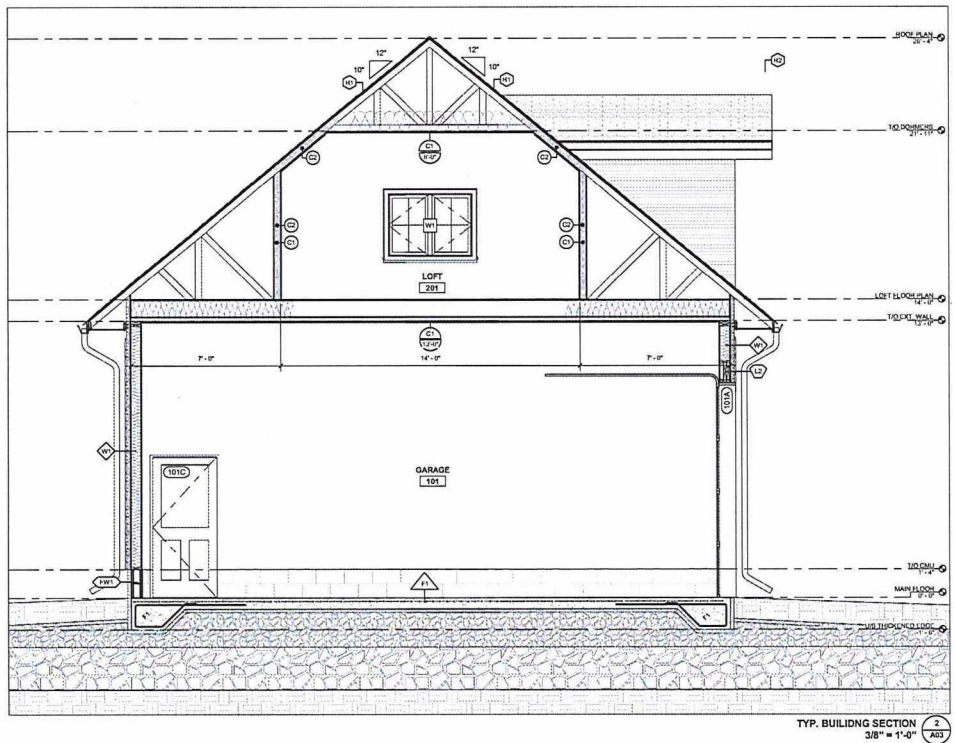
DRAWN: CB
 CHECKED: DPKO
 SCALE: 1/4" = 1'-0"
 SHEET

A04

PL-MV-2025-00111

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch 8



GENERAL
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2021 INTERNATIONAL BUILDING CODE (IBC) AS APPLICABLE.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO THE EXISTING STRUCTURE PRIOR TO CONSTRUCTION.
 3. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
 4. OWNER SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SERVICES AT ALL TIMES.

EXERCISES
 1. REGISTERED PROFESSIONAL ENGINEER
 2. REGISTERED PROFESSIONAL ARCHITECT
 3. REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 4. REGISTERED PROFESSIONAL SURVEYOR
 5. REGISTERED PROFESSIONAL CIVIL ENGINEER
 6. REGISTERED PROFESSIONAL ELECTRICAL ENGINEER
 7. REGISTERED PROFESSIONAL MECHANICAL ENGINEER
 8. REGISTERED PROFESSIONAL CHEMICAL ENGINEER
 9. REGISTERED PROFESSIONAL INDUSTRIAL ENGINEER
 10. REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER
 11. REGISTERED PROFESSIONAL AGRICULTURAL ENGINEER
 12. REGISTERED PROFESSIONAL METALLURGICAL ENGINEER
 13. REGISTERED PROFESSIONAL NUCLEAR ENGINEER
 14. REGISTERED PROFESSIONAL PETROLEUM ENGINEER
 15. REGISTERED PROFESSIONAL TRANSPORTATION ENGINEER
 16. REGISTERED PROFESSIONAL ENVIRONMENTAL ENGINEER
 17. REGISTERED PROFESSIONAL FOOD SCIENCE ENGINEER
 18. REGISTERED PROFESSIONAL TEXTILE ENGINEER
 19. REGISTERED PROFESSIONAL FIBER ENGINEER
 20. REGISTERED PROFESSIONAL LEATHER ENGINEER
 21. REGISTERED PROFESSIONAL PAPER ENGINEER
 22. REGISTERED PROFESSIONAL RUBBER ENGINEER
 23. REGISTERED PROFESSIONAL PLASTIC ENGINEER
 24. REGISTERED PROFESSIONAL GLASS ENGINEER
 25. REGISTERED PROFESSIONAL CERAMIC ENGINEER
 26. REGISTERED PROFESSIONAL METAL ENGINEER
 27. REGISTERED PROFESSIONAL WOOD ENGINEER
 28. REGISTERED PROFESSIONAL COMPOSITE ENGINEER
 29. REGISTERED PROFESSIONAL POLYMER ENGINEER
 30. REGISTERED PROFESSIONAL BIOMATERIALS ENGINEER
 31. REGISTERED PROFESSIONAL NANOTECHNOLOGY ENGINEER
 32. REGISTERED PROFESSIONAL ADDITIVE MANUFACTURING ENGINEER
 33. REGISTERED PROFESSIONAL 3D PRINTING ENGINEER
 34. REGISTERED PROFESSIONAL ROBOTICS ENGINEER
 35. REGISTERED PROFESSIONAL AUTOMATION ENGINEER
 36. REGISTERED PROFESSIONAL AI ENGINEER
 37. REGISTERED PROFESSIONAL DATA SCIENCE ENGINEER
 38. REGISTERED PROFESSIONAL SOFTWARE ENGINEER
 39. REGISTERED PROFESSIONAL SYSTEMS ENGINEER
 40. REGISTERED PROFESSIONAL NETWORK ENGINEER
 41. REGISTERED PROFESSIONAL SECURITY ENGINEER
 42. REGISTERED PROFESSIONAL OPERATIONS ENGINEER
 43. REGISTERED PROFESSIONAL PROJECT MANAGEMENT ENGINEER
 44. REGISTERED PROFESSIONAL BUSINESS DEVELOPMENT ENGINEER
 45. REGISTERED PROFESSIONAL MARKETING ENGINEER
 46. REGISTERED PROFESSIONAL SALES ENGINEER
 47. REGISTERED PROFESSIONAL CUSTOMER SERVICE ENGINEER
 48. REGISTERED PROFESSIONAL HUMAN RESOURCES ENGINEER
 49. REGISTERED PROFESSIONAL FINANCIAL ENGINEER
 50. REGISTERED PROFESSIONAL ACCOUNTING ENGINEER
 51. REGISTERED PROFESSIONAL TAX ENGINEER
 52. REGISTERED PROFESSIONAL INVESTMENT ENGINEER
 53. REGISTERED PROFESSIONAL RISK MANAGEMENT ENGINEER
 54. REGISTERED PROFESSIONAL COMPLIANCE ENGINEER
 55. REGISTERED PROFESSIONAL LEGAL ENGINEER
 56. REGISTERED PROFESSIONAL POLICY ENGINEER
 57. REGISTERED PROFESSIONAL REGULATORY ENGINEER
 58. REGISTERED PROFESSIONAL STANDARDS ENGINEER
 59. REGISTERED PROFESSIONAL QUALITY ENGINEER
 60. REGISTERED PROFESSIONAL CONTINUOUS IMPROVEMENT ENGINEER
 61. REGISTERED PROFESSIONAL INNOVATION ENGINEER
 62. REGISTERED PROFESSIONAL RESEARCH ENGINEER
 63. REGISTERED PROFESSIONAL DEVELOPMENT ENGINEER
 64. REGISTERED PROFESSIONAL TESTING ENGINEER
 65. REGISTERED PROFESSIONAL VALIDATION ENGINEER
 66. REGISTERED PROFESSIONAL VERIFICATION ENGINEER
 67. REGISTERED PROFESSIONAL CONFIDENTIALITY ENGINEER
 68. REGISTERED PROFESSIONAL INFORMATION SECURITY ENGINEER
 69. REGISTERED PROFESSIONAL PRIVACY ENGINEER
 70. REGISTERED PROFESSIONAL DATA PROTECTION ENGINEER
 71. REGISTERED PROFESSIONAL DIGITAL FORENSICS ENGINEER
 72. REGISTERED PROFESSIONAL CYBERSECURITY ENGINEER
 73. REGISTERED PROFESSIONAL CLOUD ENGINEER
 74. REGISTERED PROFESSIONAL DEVOPS ENGINEER
 75. REGISTERED PROFESSIONAL INFRASTRUCTURE ENGINEER
 76. REGISTERED PROFESSIONAL NETWORKING ENGINEER
 77. REGISTERED PROFESSIONAL SECURITY ENGINEER
 78. REGISTERED PROFESSIONAL SYSTEMS ENGINEER
 79. REGISTERED PROFESSIONAL SOFTWARE ENGINEER
 80. REGISTERED PROFESSIONAL SUPPORT ENGINEER
 81. REGISTERED PROFESSIONAL TRAINING ENGINEER
 82. REGISTERED PROFESSIONAL USER EXPERIENCE ENGINEER
 83. REGISTERED PROFESSIONAL VISUAL DESIGN ENGINEER
 84. REGISTERED PROFESSIONAL PRODUCT DESIGN ENGINEER
 85. REGISTERED PROFESSIONAL INDUSTRIAL DESIGN ENGINEER
 86. REGISTERED PROFESSIONAL USER RESEARCH ENGINEER
 87. REGISTERED PROFESSIONAL SERVICE DESIGN ENGINEER
 88. REGISTERED PROFESSIONAL SERVICE USER EXPERIENCE ENGINEER
 89. REGISTERED PROFESSIONAL SERVICE DESIGN ENGINEER
 90. REGISTERED PROFESSIONAL SERVICE USER EXPERIENCE ENGINEER



PAUL DAVIS
 1027
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MICHIGAN
 DETAILS & SECTIONS

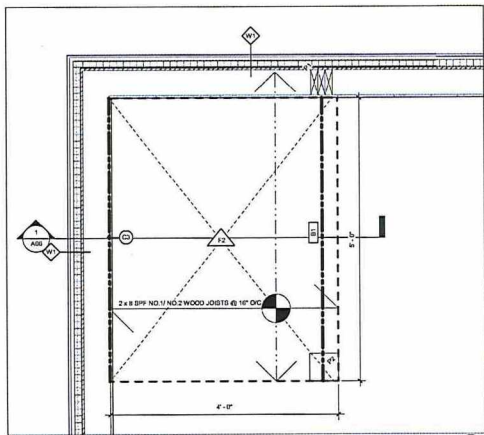
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 SCALE: As Indicated
 SHEET: 1

A05

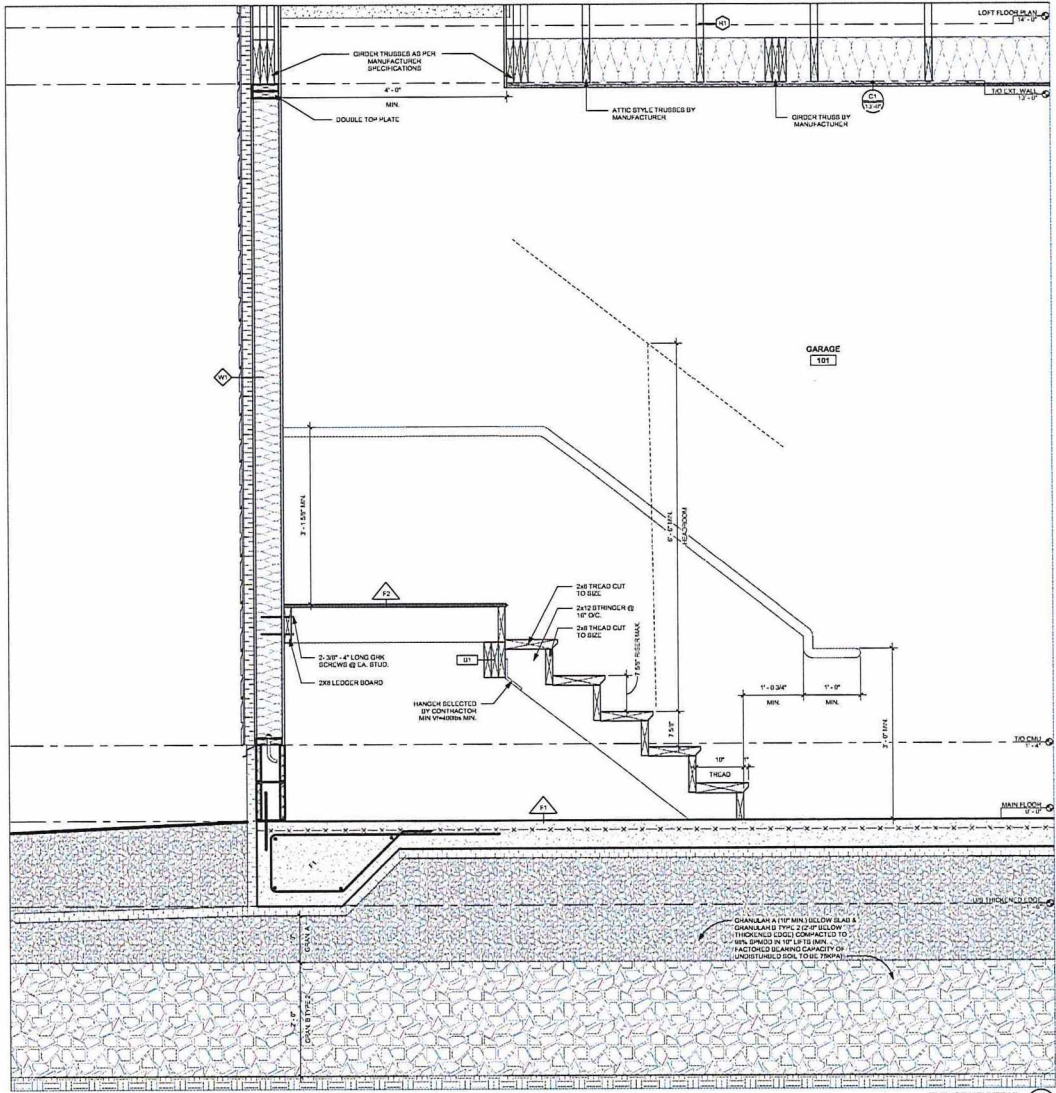
PL-MV-2025-00111

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

sketch 9



TYP. STAIR LANDING PLAN
1" = 1'-0" 2/561



TYP. STAIR DETAIL
1" = 1'-0" 1/563

PL-MV-2025-00111

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch 10

GENERAL
 1. ALL WORK SHALL BE DONE TO THE DESIGNER'S LOWEST CONTRACT PRICE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY BONDING.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.

REVISIONS
 1. ISSUED FOR CONSTRUCTION



PAUL DAVIS
 107 KANTOLA RD, LELY, OH
 PROJECT NO. K8402414

DETAILS & SECTIONS
 DRAWN: CB
 CHECKED: DPKO
 SCALE: 1" = 1'-0"
 SHEET:

A06

FOUNDATION WALL ASSEMBLIES:

- EXTERIOR BLOCK FOUNDATION WALL**
- 2-RW OF 8" BHM SOLID CONCRETE BLOCK CW 12" H AND 8" CH
 - 1" CONCRETE SLAB ON GRADE CW 3" HMM TOP & BOTTOM CONTINUOUS & 1M STIRRUPS @ 4" OC
 - VERTICAL JOINTS TO BE REINFORCED WITH 2# BARS
 - ANCHOR BOLTS TO BE 1/2" DIA. X 12" LONG WITH 1/2" DIA. WASHERS & NUTS AT ANCHOR BOLT LOCATIONS. REFER TO DETAIL.

FLOOR ASSEMBLIES:

- 1" CONCRETE GARAGE SLAB**
- FINISH AS SCHEDULED
 - 1" CONCRETE SLAB ON GRADE CW 3" HMM TOP & BOTTOM CONTINUOUS & 1M STIRRUPS @ 4" OC
 - 18# BARS @ 18" ON CENTER (BARS) INCLUDING REBAR JOINTS (TYP.)
 - 2" RIGID INSULATION (R=10) MIN. 20# PER FT²
 - COMPRESSION CAPACITY SHALL BE AS SHOWN
 - CHANGELINE AT 1/2" BELOW SLAB & CHANGELINE B TYPIC (2'-0" FINAL) AS SHOWN
- TYPICAL 2" x 8" LAMINO ASSEMBLY**
- FINISH AS SCHEDULED
 - 2 x 8 SPS NO. 11 NO. 2 WOOD JOISTS @ 16" OC CW
 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
 - BRIDGING - REFER TO STRUCTURAL
 - CEILING AS SCHEDULED
- TYPICAL 2x8 FLOOR ASSEMBLY**
- FINISH AS SCHEDULED
 - 2x8 SPS NO. 11 NO. 2 WOOD JOISTS @ 16" OC CW
 - BRIDGING - REFER TO STRUCTURAL
 - CEILING AS SCHEDULED

WALL ASSEMBLIES:

- DWELLING EXTERIOR SIDING**
- HORIZONTAL VINYL SIDING BY OWNER
 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
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 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²

ROOF ASSEMBLIES:

- PRE-ENGINEERED ATTIC TRUSSES**
- 25# FLAT ASPHALT SHINGLES
 - LAKE PROTECTION AROUND PERIMETER
 - CONSTRUCTION FELT PAPER
 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
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 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
- DWELLING PRE-ENGINEERED TRUSSES**
- 25# FLAT ASPHALT SHINGLES
 - LAKE PROTECTION AROUND PERIMETER AS PER DETAIL
 - CONSTRUCTION FELT PAPER
 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²
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 - 1/2" RIGID INSULATION (R=10) MIN. 20# PER FT²

FOOTING SCHEDULE

IDENTITY	SIZE
F1	1'-4" x 1'-4" CONTINUOUS THICKENED EDGE SLAB CW 3" HMM TOP & BOTTOM CONTINUOUS & 1M STIRRUPS @ 4" OC

LINTEL SCHEDULE

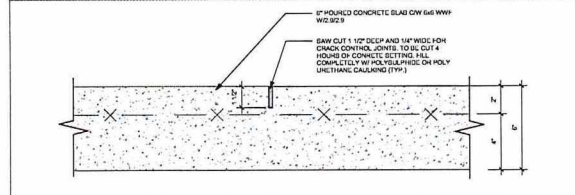
IDENTITY	SIZE
L1	3-PLY 2x8 SPS NO. 11 NO. 2
L2	3-PLY 1-3/4" x 1-3/4" x 1-3/4" 2-IC WEST FRAZER LVL OR APPROVED EQUAL

POSTICOLUMN SCHEDULE

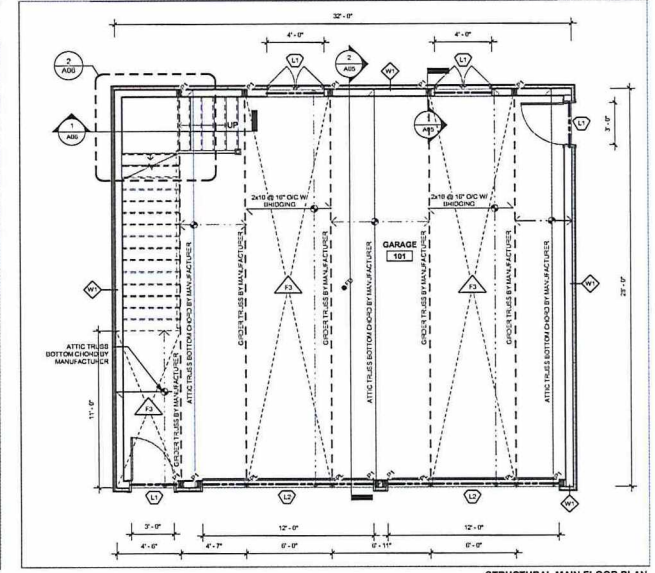
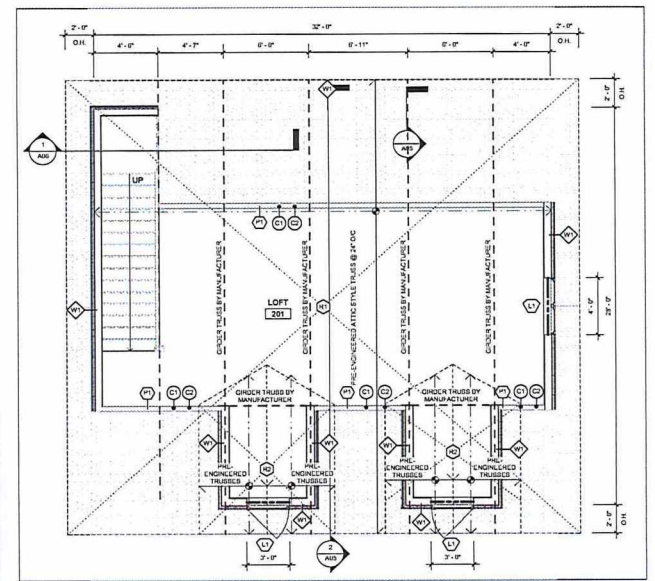
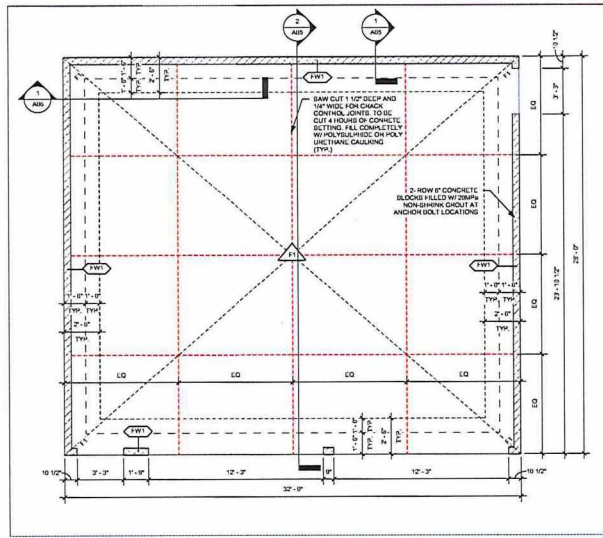
IDENTITY	SIZE
P1	3-PLY 2x8 SPS NO. 11 NO. 2

BEAM SCHEDULE

IDENTITY	SIZE
B1	3-PLY 2x8 SPS NO. 11 NO. 2



TYP. 6" SAW CUT DECK
3" = 1'-0"



PL-MV-2025-00111

ISSUED FOR CONSTRUCTION - NOVEMBER 28TH, 2024

Sketch 11

GENERAL
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED TO BE IN FEET AND INCHES.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



PAUL DAVIS
1005 KANTERLA RD, LEBANON, OH
PROJECT NO. K202414
STRUCTURAL PLANS & DETAILS

DRAWN: CB
CHECKED: DPXK
SCALE: As Indicated
SHEET

S01



Box 5000, Station A
200 Brady Street
Sudbury, Ontario P3A 5P3
(705) 671-2489 ext 4376 or 4346
(705) 673-2200 FAX

Record #: PL-MV-2025-00074

REVISED

APPLICATION SUMMARY

File Date: 06/03/2025
Application Type: Minor Variance
Address(es): 51 Downing Street, Sudbury P3B 3E7
Applicant(s): CR DESIGN
Owner(s): BROOKE HOWES AND KEN ROBINEAU

PLANNING APPLICATION

Are there multiple properties associated with the application?
No

Please describe the additional properties associated with this application

What is the date the current Owner(s) acquired the property?
01/06/2024

Are you the registered owner or an authorized agent?
Authorized Agent

What is the number of dwelling units on the property?
1

What is the number of proposed new dwelling units on the property?
1

What is the number of proposed new buildings/structures on the property?
4

What is the number of existing buildings/structures on the property?
1

If this application is approved, would any existing dwelling units be legalized?
No

How many dwelling units will be legalized?

Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

Yes

Provide details on how the property is designated in the Source Protection Plan
RAMSEY LAKE WATERSHED

Current Official Plan designation
Living Area I

Current Official Plan designation (additional)

Current Zoning By-law designation
R1-5

Provide a detailed description of what is being proposed
DEMOLISH EXISTING SFD AND CONSTRUCT A NEW TWO STOREY SFD WITH AN ATTACHED DECK AND A COVERED PORCH

Provide a detailed reason why the proposal cannot comply with the Zoning By-law
FOR THE SFD/ATTACHED DECK AND COVERED PORCH - THE OWNER WOULD LIKE TO HAVE THE NEW HOUSE LOCATED WHERE THE EXISTING HOUSE IS TO HAVE THE SAME VIEWS ETC. AND ALSO TO PROVIDE THE SAME LEVEL OF PRIVACY FROM THE NEIGHBOURS AS THE EXISTING HOUSE PROVIDES. THE SHORELINE BUFFER CLEARING ALLOWANCE OF 25% IS BEING MAINTAINED (WILL BE 10%). THE 30M HIGHWATER MARK SETBACK WOULD BE DIFFICULT TO ACHIEVE AS IT WOULD MOVE THE HOUSE TO THE FRONT NARROW PORTION OF THE LOT WHICH WOULD TAKE AWAY FROM THE ENJOYMENT OF THE PROPERTY.

FOR THE DETACHED GARAGE - THE OWNER WOULD LIKE THE CHARACTER OF THE GARAGE TO MATCH THE CHARACTER OF THE NEW HOUSE THAT IS BEING CONSTRUCTED. THEY WOULD ALSO LIKE TO HAVE ADDITIONAL STORAGE SPACE ON THE SECOND STOREY OF THE GARAGE AS THEIR PROPOSED HOUSE HAS NO BASEMENT FOR STORAGE. THEY WOULD ALSO LIKE TO MATCH THE LOOK OF THE NEIGHBOURING HOUSE THAT THEIR PARENTS OWN.

Is there an eave encroachment?
No

Size of eaves

Lot Frontage of the property
18.3

Lot Depth of the property
89

Lot Area of the property
2696

Total width of the public road giving access to the property
20

List all buildings and structures on the property and their respective date of construction
EXISTING HOUSE - 1970'S (EXACT DATE UNKNOWN)

Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.
SFD - ENTIRE LENGTH OF PROPERTY CREATION

Is the use remaining the same? If no, please provide the proposed new use
YES

Existing uses of neighbouring properties

SFD'S

Has the property ever been subject of a previous application for minor variance/permission?

No

Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?

No

Have you consulted with the Strategic and Environmental Planning department regarding this relief?

Have you consulted with Conservation Sudbury regarding this relief?

WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
NEW SFD	No	224	444	2	14	18.5	10.7	47	13	3.9	9.9
NEW REAR YARD ATTACHED DECK	No	63	63	1	16.3	3.3	0.3	65.6	8.6	3.8	25
NEW FRONT / SIDE YARD COVERED PORCH	No	52	52	1	10.6	11.9	0.3	47	18.5	9.6	7.5
NEW DETACHED GARAGE	No	112	218	2	9.1	12.2	8.0	22.9	42.5	1.8	7.3

EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
EXISTING SFD	Yes	122	200	2	13.3	10.5	6.7	54.9	12.2	5	15.3

ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
4.2.4. HEIGHT OF ACCESSORY BUILDINGS	5M	8.0M	3.0M

4.41.2.
SETBACK REQUIREMENTS FOR RESIDENTIAL
BUILDINGS
(SFD, DECK, COVERED PORCH)

30M

PREVIOUSLY GRANTED ON JUNE 25, 2025

13M - SFD	17M-SFD
8.6M - REAR	21.4M - REAR
YARD	YARD DECK
ATTACHED	11.5M -
DECK	FRONT/SIDE
18.5M -	YARD COVERED
FRONT/SIDE	PORCH
YARD COVERED	
PORCH	

4.41.3
SHORELINE BUFFER AREAS
(SFD,DECK,COVERED PORCH)

20M

PREVIOUSLY GRANTED ON JUNE 25, 2025

13M -SFD	7M -SFD
8.6M REAR	11.4M - REAR
YARD	YARD ATTACHED
ATTACHED	DECK
DECK	1.5M -
18.5M -	FRONT/SIDE
FRONT/SIDE	YARD COVERED
YARD COVERED	PORCH
PORCH	

To Whom It May Concern,

We are writing in support of our re-application for a minor variance related to the height of our proposed garage structure. Following the deferral granted at the June 25th Committee meeting, we have taken several steps to address the concerns raised by staff and committee members, and to demonstrate our commitment to a thoughtful, community-conscious development.

Revised Garage Design

We have revised the garage design to reduce the maximum height from 9.1 meters to 8.0 meters. This adjustment brings the structure in line with the maximum allowable height for an Accessory building with an Additional Dwelling Unit (ADU). While we are not currently applying for an ADU, the original two storey design was developed with future needs in mind—specifically, to accommodate aging parents in a self-contained space above the garage. This forward-looking approach reflects our desire to support multi-generational living while minimizing future disruption to the property. We understand that a minor may be required as the zoning by-law states that an ADU in an accessory structure can not be in the required front yard. When we are ready to convert the second floor into an ADU, we will address this at that time.

Neighbour Support

We have engaged directly with our abutting neighbours to share the revised plans and provide an opportunity for open discussion. All neighbours we spoke with expressed their support and willingly provided signed letters, which are included with this submission. We also created a visual mock-up (not to scale) to help illustrate the height reduction and assist in communicating the changes. While awaiting the next Committee meeting, we plan to continue outreach to neighbours across the street to further strengthen community support.

Site Context and Visibility

The proposed garage is set back approximately 75 feet (22.9 meters) from Downing Street and is located on a quiet dead-end street with only three homes beyond ours. The garage will not be visible from Howey Drive and is only minimally visible from the Picard Street–Downing Street intersection due to the setback and existing vegetation. As noted by Committee Member Costanza during the initial Committee meeting, the natural topography of the lot places the main house higher than the garage, further reducing the visual impact of the garage structure. Additionally, the exterior materials and architectural style of the garage will match the main house, contributing to a cohesive and respectful streetscape. The design also draws inspiration from the historic Barry family residence (now Financial Decisions Inc.), the residence of one of the area's first families, reinforcing its compatibility with the character of the area.

In the previous meeting there was mention about installing a fence around the garage. We don't see this changing the garage, as the relief that we are requesting is pertaining to height and installing a fence that can only be a maximum of 1.8m.

We hope this additional information demonstrates our responsiveness to feedback and our commitment to a design that is both functional for our family and respectful of the surrounding community. We appreciate your time and consideration, and we welcome any further questions or suggestions.

Sincerely,
Brooke Howes

REVISED
PL-MV-2025-00074

**SUBJECT
PROPERTY**

Minnow Lake

 Letter of Support



REVISED
PL-MW-2022-00074

Date: June 28, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

I am Rémi Desbiens Annie Lemoyne residing at 41 Downing in Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have reviewed the plans for the proposed new detached garage and believe that the variance is minor in nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information, please do not hesitate to contact me.

Sincerely,

Name: Rémi Desbiens Annie Lemoyne
Contact #: [REDACTED]

Re: PL-MV-2025-0074

Date: July 3, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

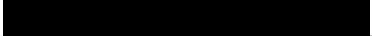
I am Aline LaCoste residing at 46 Picard St. in Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have reviewed the plans for the proposed new detached garage and believe that the variance is minor in nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information, please do not hesitate to contact me.

Sincerely,

Name: Aline LaCoste

Contact #: 

Date: JULY 3, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

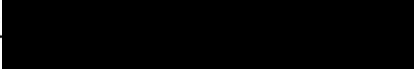
I am CLAIRE ROBINEAU residing at 61 DOWNING ST. in
Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke
Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached
garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have
reviewed the plans for the proposed new detached garage and believe that the variance is minor in
nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information,
please do not hesitate to contact me.

Sincerely,

Name: Claire Robineau

Contact #: 

Date: June 28, 2025

To the members of the City of Greater Sudbury Committee of Adjustment,

I am Artina Voz residing at 39 Downing St in Sudbury, Ontario. I am writing to express my support for the variance application submitted by Brooke Howes and Ken Robineau for their property located at 51 Downing Street.

I understand that they have requested a variance for a maximum height of 8.0m for the detached garage, where the maximum height of any accessory building on a residential lot shall be 5.0m. I have reviewed the plans for the proposed new detached garage and believe that the variance is minor in nature and will not negatively impact my property or my neighborhood.

I fully support the variance being requested by Brooke and Ken. If you require any further information, please do not hesitate to contact me.

Sincerely,

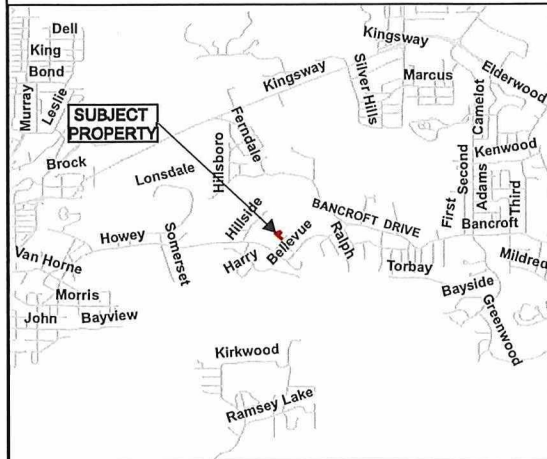
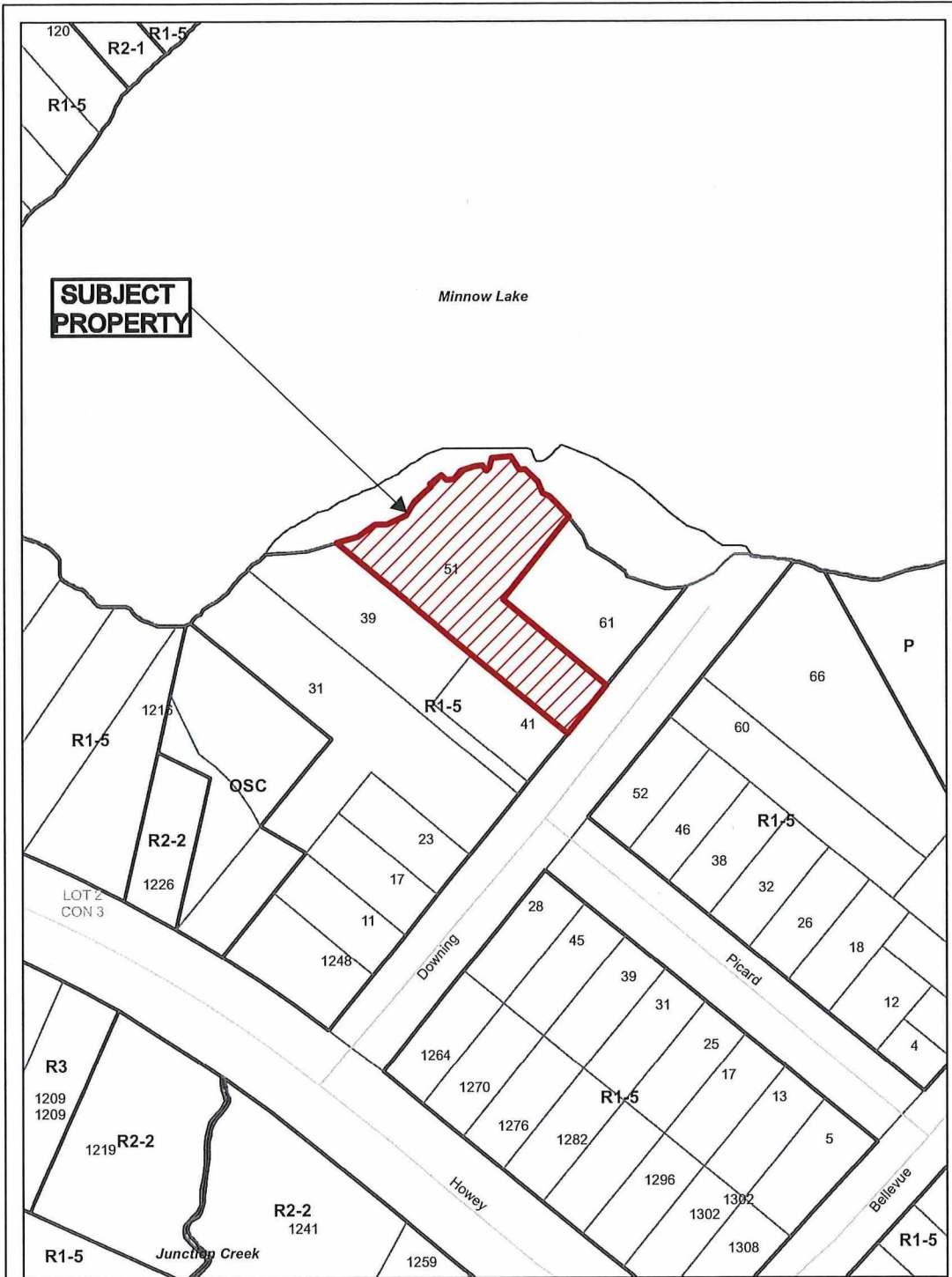


Name:

Artina Voz

Contact #:

[REDACTED]

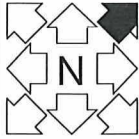


Application for Minor Variance or Permission



Subject Property being PIN 73581-0523,
 Firstly: Part Lot 105, Plan M-129, being Parts 2 & 3, Plan 53R-20665;
 Secondly: Lot 106, Plan M-129, being Part 4, Plan 53R-20665,
 Part Lot 2, Concession 3,
 Township of McKim,
 51 Downing Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA
 PL-MV-2025-00074
 Date: 2025 06 05

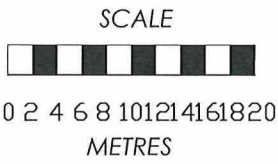
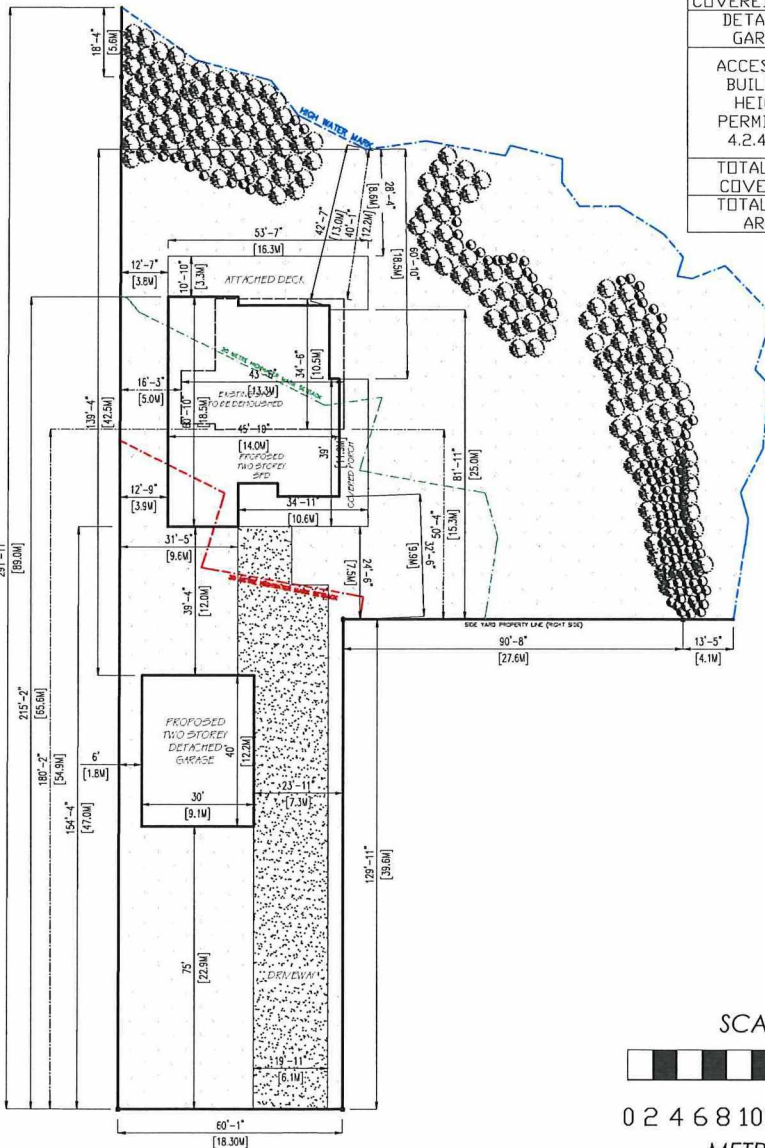


BUILDING SETBACKS

SETBACKS	FRONT (ROAD)	SIDE (LEFT)	SIDE (RIGHT)	REAR (HIGH WATER MARK)	REQUIRED SETBACK FROM HIGH WATER MARK (4.41.2)	DIFFERENCE	REQUIRED SHORELINE BUFFER (4.41.3)	DIFFERENCE
HOUSE	47 M	3.9 M	9.9 M	13 M	30 M	17 M	20 M	7 M
REAR YARD ATTACHED DECK	65.6 M	3.8 M	25 M	8.6 M	30 M	21.4 M	20 M	11.4 M
FRONT / SIDE COVERED PORCH	47 M	9.6 M	7.5 M	18.5 M	30 M	11.5 M	20 M	1.5 M
DETACHED GARAGE	22.9 M	1.8 M	7.3 M	42.5 M	30 M			
EXISTING HOUSE (TO BE DEMOLISHED)	54.9 M	5 M	15.3 M	12.2 M	N/A (PREDATES CURRENT BYLAW)			
SHORELINE BUFFER								
TOTAL SHORELINE BUFFER AREA 1,421 M ² (15,347 SQ. FT)	ATTACHED DECK 62.2M ² (672 SQ.FT)	SINGLE FAMILY DWELLING 70.2M ² (759 SQ.FT)	COVERED PORCH 4.2M ² (45 SQ.FT)	TOTAL SHORELINE BUFFER AREA CLEARED 136.6 M ² (1,475 SQ. FT) (10%)				

AREA OF STRUCTURES

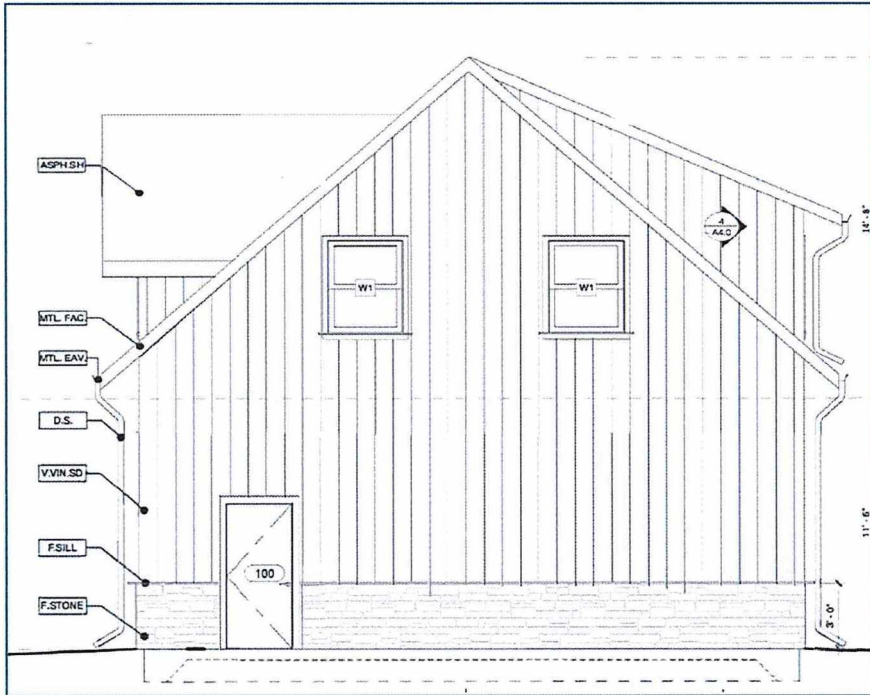
	GROUND FLOOR AREA	GROSS FLOOR AREA
EXISTING HOUSE	122 SQ. M.	200 SQ. M.
NEW SFD	224 SQ. M.	444 SQ. M.
REAR YARD DECK	63 SQ. M.	63 SQ. M.
FRONT/SIDE COVERED PORCH	52 SQ. M.	52 SQ. M.
DETACHED GARAGE	112 SQ. M.	218 SQ. M.
ACCESSORY BUILDING HEIGHT PERMITTED 4.2.4.-5M	ACCESSORY BUILDING HEIGHT PROPOSED 4.2.4.-8M	DIFFERENCE OF HEIGHT FOR DETACHED GARAGE-3M
TOTAL LOT COVERAGE	451 SQ. M. (17%)	
TOTAL LOT AREA	2,696 SQ. M.	



CR Design

PROJECT	Demo existing house and Construct SFD / Det. Garage	DATE	2025.06.01
LOCATION	51 Downing Street, Sudbury	SCALE	1:500=1"0"
TITLE	Site Plan	NO.	SP1

REVISED
PL-MU-2025-00074
sketch 2

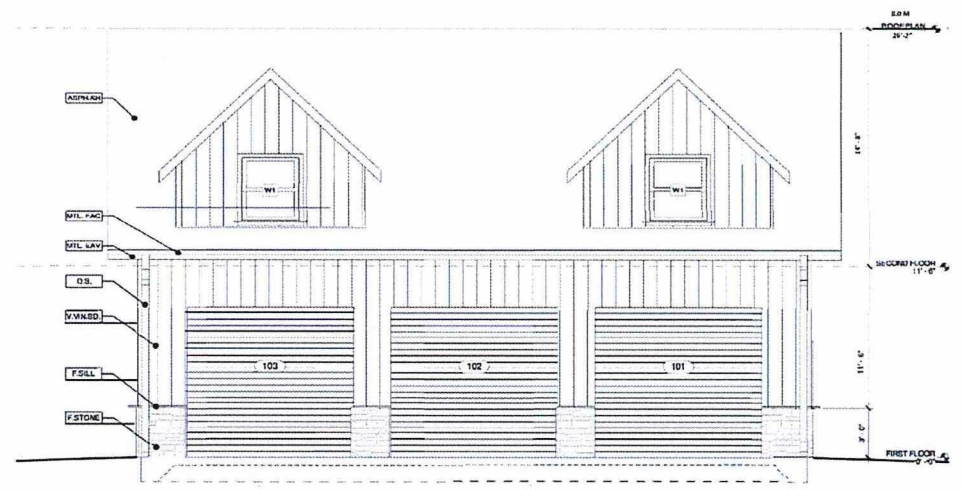
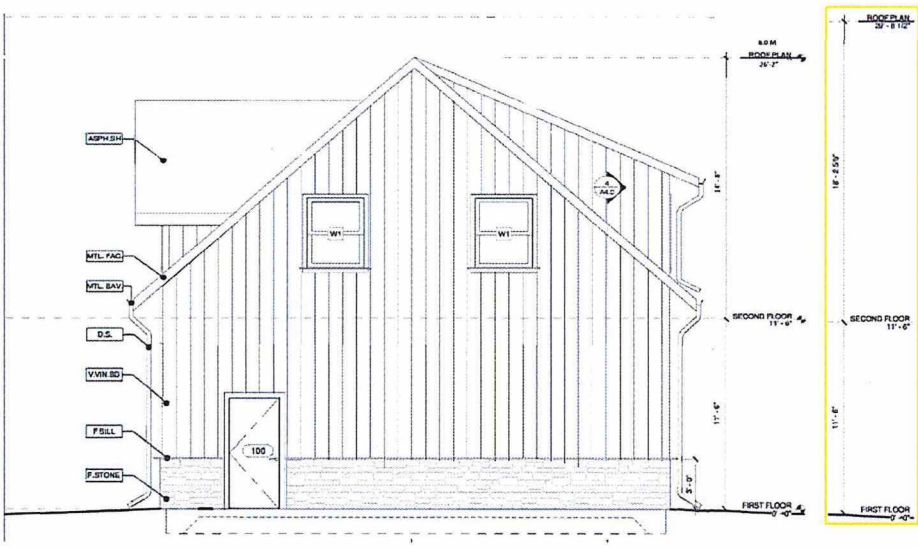


Side profile of garage



Side profile historic
Barry Family Residence

REVISED
PL-MY-2025-00074
Sketch 3



REVISED
 PL-MV-2025-00074
 Sketch 4