

Tom Davies Square  
200 Brady Street  
Sudbury, Ontario P3A 5P3

April 15, 2026

PUBLIC HEARINGS

**PL-MV-2025-00133      DANIEL BLANCHETTE**

Ward: 5

PIN(s) 735050706, Parcel 23380 SEC SES SRO, Lot 166, Plan M-462, Part Lot 7, Concession 1, Township of Hanmer, 1700 Charles Court, Val Caron, [By-law 2010-100Z, R1-5]

For relief from Part 5, Section 5.4, subsection 5.4.3.3 ii) and vi) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a circular driveway on the subject providing, firstly, a setback of 9.0m for the main building to the street line, where the main building shall be setback at least 15.0m from the street line, and secondly, for each driveway to provide a maximum width of 5.0m at the street line, where the maximum width of each driveway at the street line shall be 4.0m.

**PL-MV-2026-00030      MIKE BOUILLON**

Ward: 2

PIN(s) 733950301, Parcel 26326 SEC SWS, Part Lot 1, Concession 6, as in LT441327, Township of Lorne, 37 Sleepy Hollow Road, Whitefish, [By-law 2010-100Z, RU]

For relief from Part 9, Section 9.2, Table 9.2, Special Provision #1 of By-law 2010-100Z, being the By-law for the City of Greater Sudbury, as amended, to permit two mobile home dwelling units, where a maximum of one mobile dwelling unit is permitted.

**PL-MV-2026-00032 TJ HEREAULT**

Ward: 4

PIN(s) 733700017, Parcel 53M1204-9 SEC SWS SRO, Lot 9, Plan 53M-1204, Part Lot 4, Concession 6, Township of Snider, 1926 Fire Route O, Azilda, [By-law 2010-100Z, SLS(2)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) and Section 4.41, subsections 4.41.2, 4.41.3 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury as amended, for the following, firstly, the construction of a detached garage providing a maximum height of 7.32m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m, secondly, permit an existing shed providing a high water mark setback of 10.97m, where no person shall erect any residential building or other accessory building or structure closer than 30.0m to the high water mark of a lake and where the only permitted structures within 20.0m of the high water mark of a lake are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops, and thirdly, the shoreline buffer to be cleared to a maximum of 344.0 sq. m (25%), where on any residential lot the shoreline buffer area is permitted to be cleared of natural vegetation to a maximum of 25%, but in no case shall exceed a maximum of 276.0 sq. m.

**PL-MV-2026-00033 APRIL DAHMER  
JORDAN DAHMER**

Ward: 2

PIN(s) 733960256, Parcel 29943 SEC SWS SRO, Part Lot 1, Concession 6, Part 1, Plan 53R-13097, Township of Louise, 0 Island Road, Whitefish, [By-law 2010-100Z, RU]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 7.4m, where the height of any building or structure accessory to a residential dwelling shall be 6.5m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0091/1978 (MAR 28/78), B0342/1979 (NOV 5/79), B0685/1989 (MAY 14/90), B0686/1989 (MAY 14/90), B0332/1990 (JUN 25/90), B0104/1998 (NOV 30/98), B0140/2008 (JUL 10/08)

**PL-MV-2026-00034      MARC ARSENEAULT  
                                 ROXANNE LEGAULT-ARSENEAULT**

Ward: 6

PIN(s) 735043247, Lot 199, Plan M-1115, Part Lot 5, Concession 2, Township of Hanmer, 1195 Wilfred Street, Hanmer, [By-law 2010-100Z, R1-5]

For relief from Part 4, Section 4.2, subsection 4.2.5, Table 4.1 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a 20.3 sq. m attached porch at the rear of the existing dwelling providing a 3.0m setback from the rear lot line with eaves encroaching an additional 0.6m into the proposed 3.0m setback, where porches may encroach 2.4 m into the required 7.5m rear yard and where eaves may encroach 1.2 m into the required 7.5m rear yard but not closer than 0.6 m to the lot line.

**PL-MV-2026-00035      PAUL CHARBONNEAU**

Ward: 4

PIN(s) 021360046, Part Lots 141 - 142, as in S89056, Plan 1-SC, Part Lot 6, Concession 4, Township of McKim, 111 Bloor Street, Sudbury, [By-law 2010-100Z, R2-3]

For permission under Section 45(2) of the Planning Act, R.S.O. 1990, c. P.13 to expand the legal non-conforming use of the existing building from 10 dwelling units to 12 dwelling units and maintain 1 parking space for 12 dwelling units where 1 parking space for 10 dwelling units currently exists.

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**This application was deferred from the meeting of May 28, 2025 in order to afford the owner the opportunity to address those comments received from agencies and departments.**

**PL-MV-2025-00056      PAULINE KOSALKA**

Ward: 10

PIN(s) 735950472, Part Lot 27, Plan M-86, except LT58741 and Part 6, Plan 53R-17868, Part Lot 6, Concession 1, Township of McKim, 78 Indian Road, Sudbury, [By-law 2010-100Z, R1-5]

**REVISED**

For relief from Part 4, Section 4.2, Table 4.1, Section 4.25, subsection 4.25.1 (a) and (b) and Section 4.41, subsections 4.41.2 and 4.41.4 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the enlargement and reconstruction of a single detached dwelling with an attached uncovered deck and porches and to permit an existing concrete shed and shed providing, firstly, the rear porch to encroach 4.3m into the required rear yard providing a 3.2m setback from the rear lot line, where a porch may encroach 2.4m into the required rear yard, secondly, high water mark setbacks of 5.4m for the single detached dwelling, 3.2m for the rear porch, 19.12m for the front porch, 6.7m for the eastern porch, 3.9m for the existing concrete shed and 14.88m for the existing shed, where no person shall erect any residential building or other accessory building or structure closer than 30.0m to the high water mark of a lake and where the only permitted structures within 20.0m of the high water mark of a lake are the permitted accessory structures set out in 4.41.2 of the Zoning By-law, boat launches, marine railways, waterlines and heat pump loops, and thirdly, for the single detached dwelling to provide a rear yard setback of 5.4m, a reduction in non-complying rear yard, an increase in lot coverage within the required rear yard, and an increase in gross floor area within the required rear yard, where a 7.5m rear yard setback is required, and where the enlargement, reconstruction, repair and/or renovation does not further reduce the existing rear yard and/or increase lot coverage and does not increase the gross floor area of the building or structure located within the applicable minimum required yard except as otherwise permitted by this By-law.

**A reminder... the next scheduled meeting is Wednesday, April 29, 2026.**



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-MV-2025-00133

## APPLICATION SUMMARY

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**File Date:** 09/11/2025

**Application Type:** Minor Variance

**Address(es):** 1700 Charles Court, Val Caron P3N 1H2

**Applicant(s):** CLAUDIA BRISSON

**Owner(s):** DANIEL BLANCHETTE

### PLANNING APPLICATION

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**What is the date the current Owner(s) acquired the property?**

2013

**Are you the registered owner or an authorized agent?**

Registered Owner

**What is the number of dwelling units on the property?**

1

**What is the number of proposed new dwelling units on the property?**

0

**What is the number of proposed new buildings/structures on the property?**

0

**What is the number of existing buildings/structures on the property?**

2

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**Current Official Plan designation**

Living Area I

**Current Official Plan designation (additional)**

**Current Zoning By-law designation**

R1-5

**Provide a detailed description of what is being proposed**

we would like to be able to keep our second entrance that we have had since moving in, in 2013. we recently had the opportunity to fix the culvert that was no longer functioning properly and was damaged. as we did so we needed gravel to support and make it look decent. not long after we received a letter stating we had a illegal second driveway. we have been trying to fix this issue / misunderstanding since that letter has been received. we were not aware that we were doing it illegally. we simply thought we were fixing something no longer working properly that was already existing for 13 year and probably more as it was already there when we purchased the house. please let us know what we need to do to fix the issue thank you

**Provide a detailed reason why the proposal cannot comply with the Zoning By-law**

the letter stated we didn't have 30m of property. i did confirm we do have more than that i believe it is 33m also most of our neighbors in the area have a second entrance or a very wide entrance and some with smaller lots than us. i believe the permit was declined saying missing information or not enough information if extra information is required we will gladly comply please let us know what we need to do to make our second entrance okay. we have built our life at our house here with the second entrance included. it would be very devastating to no longer have that access. thank you

The main reason is that we have 2 driveways . We have had 2 driveways for 13 years. We are looking to keep it and the circular driveway is the only way according to all the rules and by law. And that way there is minimal changes we need to do to the existing front yard. Only adding a connecting driveway between the 2. We're extending the entrance is digging and major equipment is required.

**Is there an eave encroachment?**

No

**Size of eaves**

**Lot Frontage of the property**

31.7

**Lot Depth of the property**

44

**Lot Area of the property**

1396.14

**Total width of the public road giving access to the property**

20

**List all buildings and structures on the property and their respective date of construction**

house was estimated built in 1960s by the inspector when we purchased the house in 2013 i assume the garage was done so around the same time

**Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.**

Residential

**Is the use remaining the same? If no, please provide the proposed new use**

yes

**Existing uses of neighbouring properties**

Residential

**Has the property ever been subject of a previous application for minor variance/permission?**

No

**Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?**

No

**Have you consulted with the Strategic and Environmental Planning department regarding this relief?**

**Have you consulted with Conservation Sudbury regarding this relief?**

**WATER SUPPLY AND SEWAGE DISPOSAL**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS**

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

**CONCURRENT APPLICATIONS**

Is the property the subject of a current application for Consent?  
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?  
No

Indicate application number(s) and application status

## PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
second entrance it was already there for 13 years simply fixing it	Yes	5									

## EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
house	No	122.5	122.5	1	16.0	8.0	3.5	9.0	27	6	11
garage	No	55.25	55.25	1	6.5	8.5	2.5	28.0	7.5	2.2	23

## ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Circular Driveway - subsection 5.4.3.3, ii)	Main Building Setback 15.0m from front lot line	9.0m from front lot line	6.0m
Circular Driveway - subsection 5.4.3.3, vi)	The maximum width of each driveway at the street line shall be 4.0m	The maximum width of each driveway at the street line shall be 5.0m	1.0m

## Statement in Support of Minor Variance – Circular Driveway

To the Members of the Committee of Adjustment,

We are requesting approval for a minor variance to allow the installation of a circular driveway at our single-family residence. Our property is a double lot with ample space to safely and appropriately accommodate this design.

We understand that our frontage of 9.2 meters falls below the 15-meter minimum requirement; however, given the size and layout of our lot, a circular driveway represents the most practical and visually suitable solution to maintain access to our existing two driveway entrances.

As a growing family, we rely on having sufficient parking and easy access to our property. Our current driveway only accommodates one car in width, which makes daily parking and maneuvering challenging. Since we moved into our home 14 years ago, we've used both driveway entrances to comfortably park and access our yard, and this setup has become an important part of our household routine. Many of our neighbours also have circular or secondary driveways, and we simply wish to continue using our property in the same way we always have — safely, responsibly, and in keeping with the established character of our neighborhood.

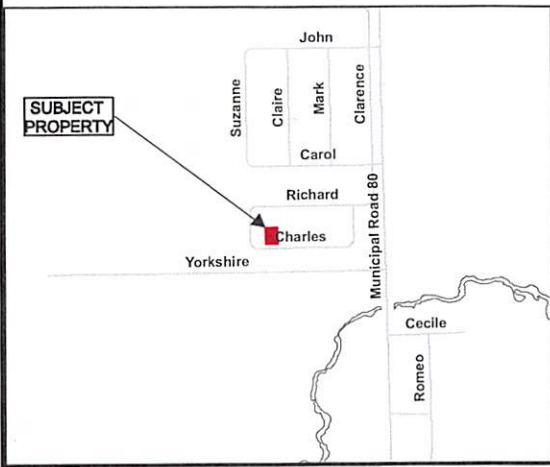
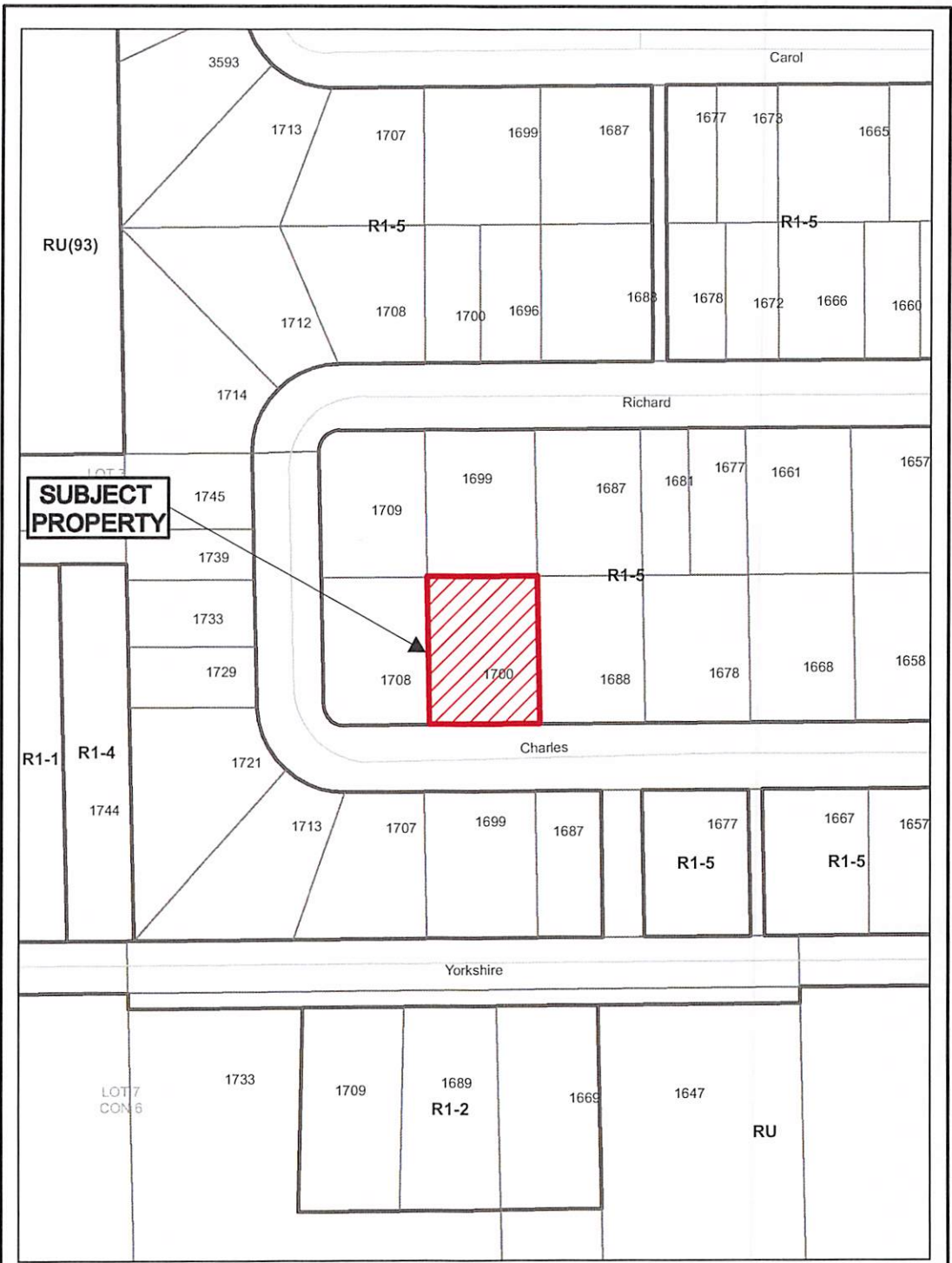
We also wish to emphasize that we will fully comply with the requirement that the first three meters from the roadway remain landscaped with grass, ensuring that the property continues to contribute positively to the neighborhood's appearance and green space.


We respectfully ask the Committee to consider our long-standing use of the second driveway, the harmony with surrounding properties, and the practical needs of our family when evaluating this minor variance request. We believe this change will have minimal impact on the area while helping us continue using our property safely and responsibly, just as we have for the past 14 years.

Thank you for your time and thoughtful consideration.

Sincerely,  
Claudia Brisson & Daniel Blanchette  
1700 Charles Court  
Val Caron, ON P3N 1H2

PL-MV-2025-00133



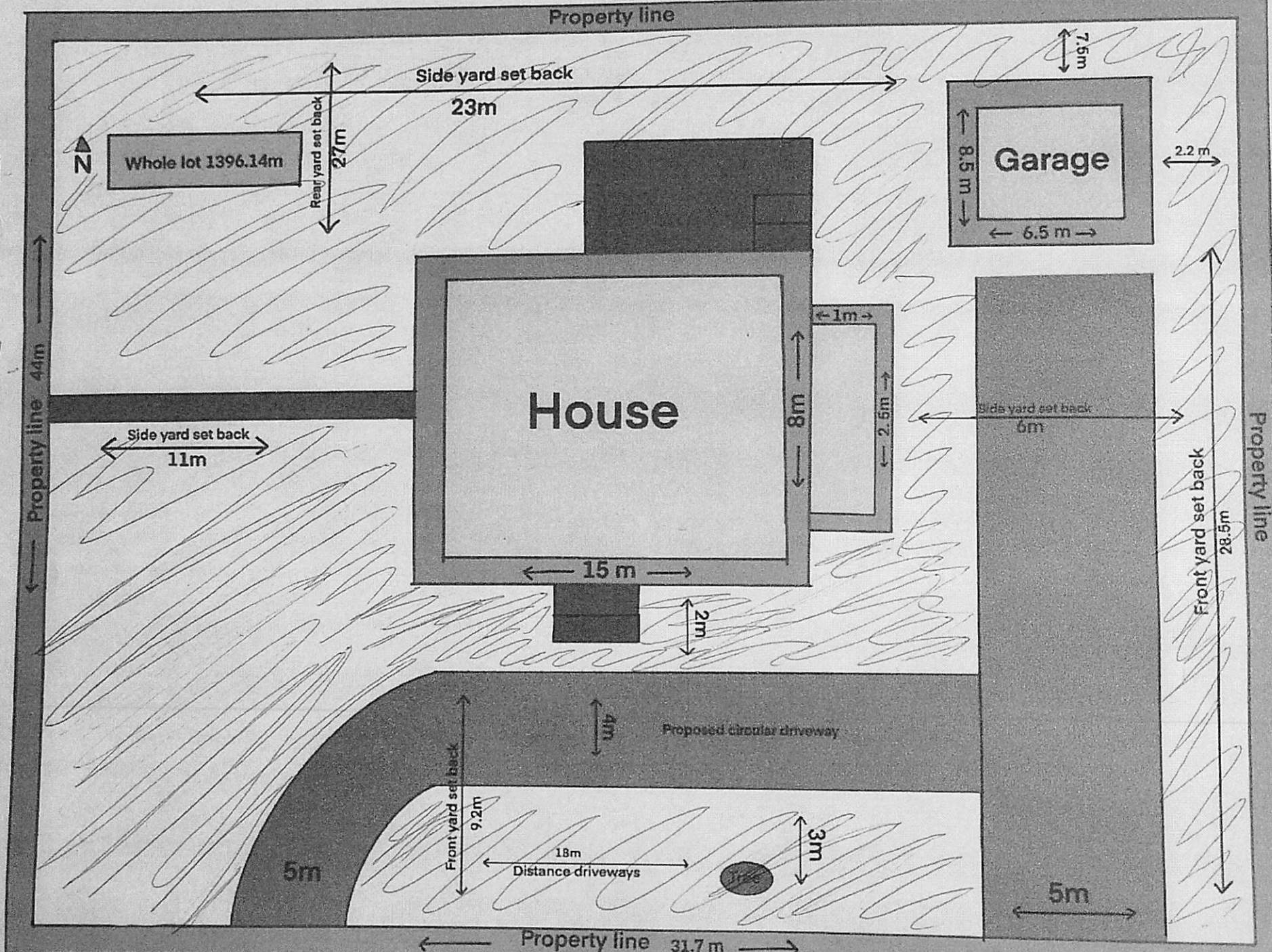
N  


**Application for Minor  
 Variance or Permission**

Subject Property being PIN 73505-0706,  
 Parcel 23380 SEC SES SRO,  
 Lot 166, Plan M-462,  
 Part Lot 7, Concession 1,  
 Township of Hanmer,  
 1700 Charles Court, Val Caron,  
 City of Greater Sudbury

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Sketch 1, NTS                      PL-MV-2025-00133  
 NDCA                                      Date: 2026 01 16



PL-MV-2025-00133 sketch 2

▨ - grass/area. frontage 60% grass

this house has 2 paved driveways  
and is down the street from my  
house



[Person icon] Aerial

1635 Richard St



6 years ago



other end of the street also has a circular driveway



Aerial

1629 Charles Ct



6 years ago



this house also has 2 driveways and is also down the street from mine



Aerial

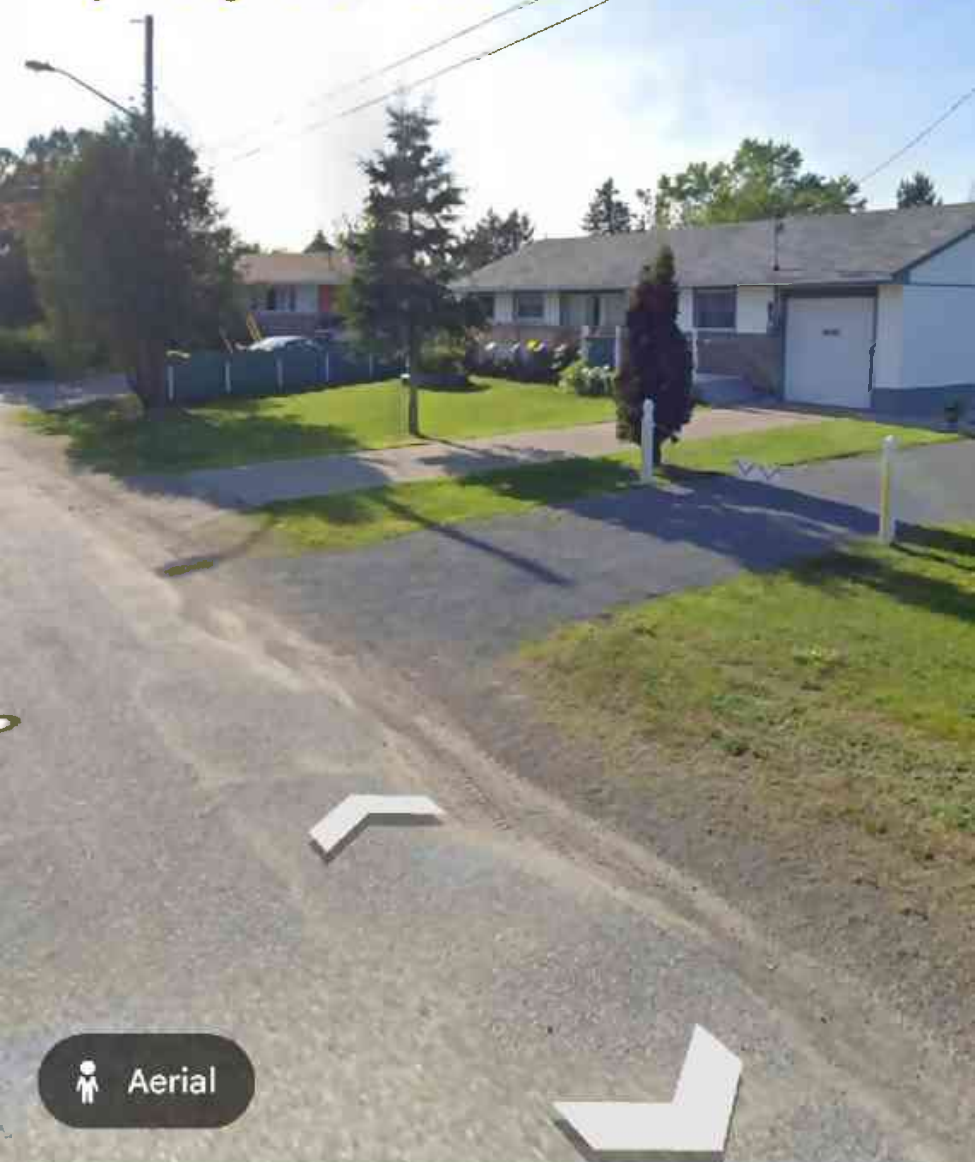
1696 Richard St




6 years ago



this house has 2 driveways this is in my neighborhood down the street



 Aerial

1700 Richard St



6 years ago





Aerial

1696 Richard St

6 years ago





this is my other next door neighbor  
this is now all paved and looks  
different but still has a circular  
driveway. also same frontage setback



Aerial

1713 Charles Ct

6 years ago





Oct 3, 2025

4:05 p.m.



my next Doors neighbors driveway is a circular driveway and we have a similar if not the same frontage Setback.



Share



Edit



Add to



Trash

PL-MV-2025-00133





this house is also on my street and also has a circular driveway.



Aerial



1636 Charles Ct

6 years ago



this house has 2 driveways and its the street over from my street



Aerial

1628 Carol St



10 years ago



PL-MV-2025-00133



PL-MV-2025-00133



PL-MV-2025-00133



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-MV-2026-00030

## APPLICATION SUMMARY

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**File Date:** 03/09/2026

**Application Type:** Minor Variance

**Address(es):** 37 Sleepy Hollow Road, Whitefish P0M 3H0

**Applicant(s):** MIKE BOUILLON

**Owner(s):** MIKE BOUILLON

### PLANNING APPLICATION

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**What is the date the current Owner(s) acquired the property?**

October 21 2025

**Are you the registered owner or an authorized agent?**

Registered Owner

**What is the number of dwelling units on the property?**

0

**What is the number of proposed new dwelling units on the property?**

2

**What is the number of proposed new buildings/structures on the property?**

2

**What is the number of existing buildings/structures on the property?**

3

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

Yes

**Provide details on how the property is designated in the Source Protection Plan**

the property is labeled as wetland under the Conservation Sudbury. I am and have been in direct contact with Conservation Sudbury since the onset of the project. They have come out and walked the property with me and I have created the property plan and restoration plan with them. They have reviewed all documents and have approved everything to date. I also have an open permit with them. I have made all required permit applications to my project.

**Current Official Plan designation**

Rural

**Current Official Plan designation (additional)**

**Current Zoning By-law designation**

RU

**Provide a detailed description of what is being proposed**

Lot is 5.5acres and is currently vacant land.

Install two mobile homes on permanent concrete foundations. One main mobile home dwelling for myself. A second mobile home dwelling for my parents who are now retired. Install a shared septic system for both dwelling units. hydro to both dwellings

**Provide a detailed reason why the proposal cannot comply with the Zoning By-law by-law section 9.2**

this by-law sections limits the number of mobile homes on one lot to one. I would like to install two mobile homes.

This is my story for why I am making this request:

On October 21, 2025, my parents and I purchased a 5.5-acre vacant property located at 37 Sleepy Hollow Rd., Whitefish. Our intention from the outset was to live together on the property, either within the same dwelling or in two separate dwelling units.

In early November, I contacted the City of Greater Sudbury Building Services Department to inquire about the possibility of constructing two dwelling units on the property. During that discussion, I was informed that development fees are currently waived for the construction of two dwellings on one lot in order to promote residential development. I also requested information regarding the certification and approval requirements for installing mobile homes.

I had a detailed and productive conversation with David Rocca, during which I explained my plan to install two used mobile homes on the property. Before proceeding with any purchase, I specifically wanted confirmation that the existing CSA certifications would be acceptable and that the general plan would be compliant. Following that discussion, I received confirmation that the proposal appeared acceptable, specifically in regards to the multiple used mobile homes being installed on the lot.

In late December 2025, after receiving this confirmation, my parents and I proceeded with the purchase of the two mobile homes. The units have since been paid for in full and ownership has been transferred into our names.

In early March 2026, I resubmitted the required documentation incorporating the requested modifications. At that time, it was brought to my attention that only one mobile home is permitted on a property zoned RU. This came as a surprise with the prior understanding that two mobile homes would be acceptable.

Given the circumstances described above, I am respectfully requesting consideration for a minor variance to permit the installation of two mobile homes on the property: one to serve as my primary residence and the second as a secondary dwelling unit for my parents. The by-law provision in question is Section 9.2.

Thank you for your time and consideration. I would be happy to provide any additional information required to support this request.

**Is there an eave encroachment?**

No

**Size of eaves**

**Lot Frontage of the property**

185

**Lot Depth of the property**

172

**Lot Area of the property**

21934

**Total width of the public road giving access to the property**

12

**List all buildings and structures on the property and their respective date of construction**

no permanent dwellings currently on the property.

there are two sheds and a storage seacan

**Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.**

property is currently vacant land. and is rural

**Is the use remaining the same? If no, please provide the proposed new use**

property to remain as Rural. but we will now live there

**Existing uses of neighbouring properties**

Zoned Rural, one neighbor, he lives in a house

**Has the property ever been subject of a previous application for minor variance/permission?**

No

**Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?**

No

**Have you consulted with the Strategic and Environmental Planning department regarding this relief?**

**Have you consulted with Conservation Sudbury regarding this relief?**

**WATER SUPPLY AND SEWAGE DISPOSAL**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS**

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

**CONCURRENT APPLICATIONS**

Is the property the subject of a current application for Consent?  
No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?  
No

Indicate application number(s) and application status

## PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Mobile Home 68x12	No	75	75	1	3.65	20.73	5	15	113	49	81
Mobile Home 14x64	No	83.25	83.25	1	4.27	19.5	5	30	98	49	88

## EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Shed 1	Yes	9	9	1	3	3	3	32	131	111	34
Shed 2	Yes	9	9	1	3	3	3	39	78	50	106
Storage Container	Yes	28.8	28.8	1	2.4	12	2.4	29	119	96	41

## ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Zoning By-Law 2010-100Z 9.1. I would like to install two mobile homes on my vacant land. one for me, and one for my parents.	SPECIAL PROVISIONS FOR TABLES 9.1 AND 9.2 (By-laws 2014-235Z, 2023-61Z, 2025-181Z) 1. Maximum number of dwelling units permitted on a lot – 1.  11. Up to three dwelling units are permitted, provided that at least one of the additional dwelling units is located within or attached to the main building, and the other is located no further than 30 metres from the main building at its closest. The additional dwelling unit may be in the form of a mobile home dwelling.	Two mobile dwelling units	1

## Wetland Delineation and Restoration Plan

37 Sleepy Hollow Rd, Whitefish ON

Prepared by: Amber H Dyck

Date: January 2026

### *Delineations of wetland and buffer zone*

The wetland was delineated using Garmin GPS waypoints (using Fenix 5x) and integrating scaled Google Earth imaging into AutoCAD. Conservation Sudbury personnel Sarah Wood assisted with assessing and delineating the wetland from upland areas. During a field visit, the property was walked, and vegetation types, soil cores and water table observations were made. Field notes from Sarah Wood were combined with further detailed observations by Amber Dyck to delineate the wetland borders. In order to set wetland boundary waypoints, we identified the vegetation, looked for evidence of highwater table, and while with Sarah, used soil core samples looking for mottling and gley colours (evidence of anaerobic conditions). Wherever bullrushes or cattails were identified, it was included in the wetland area, as these are obligate wetland species. High water areas were used to hydraulically connect the wetland area when obligate vegetation wasn't present. Along the southern extent, where the wetland transitions to swamp, the vegetation shifted to black spruce dominant, with moss ground cover. Here, swamp conditions were recognized by the high water table (standing water in low areas) and the presence of black spruce.

Once the wetland boundary GPS waypoints were established, Google Earth imaging with AutoCAD overlay was used to visualize on the map and the properly scaled 12m buffer boundary around the wetland.

To simply describe the property, there is a central wetland band (dominated by cattails and rushes) that runs through the middle of the property from approximately North to South, which is hydraulically connected to the large wetland complex (dominated by black spruce - "swamp") starting at the south side of the property (between 10-40m from the south property border).

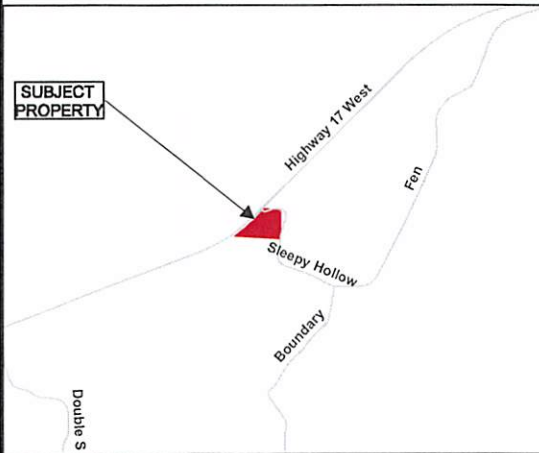
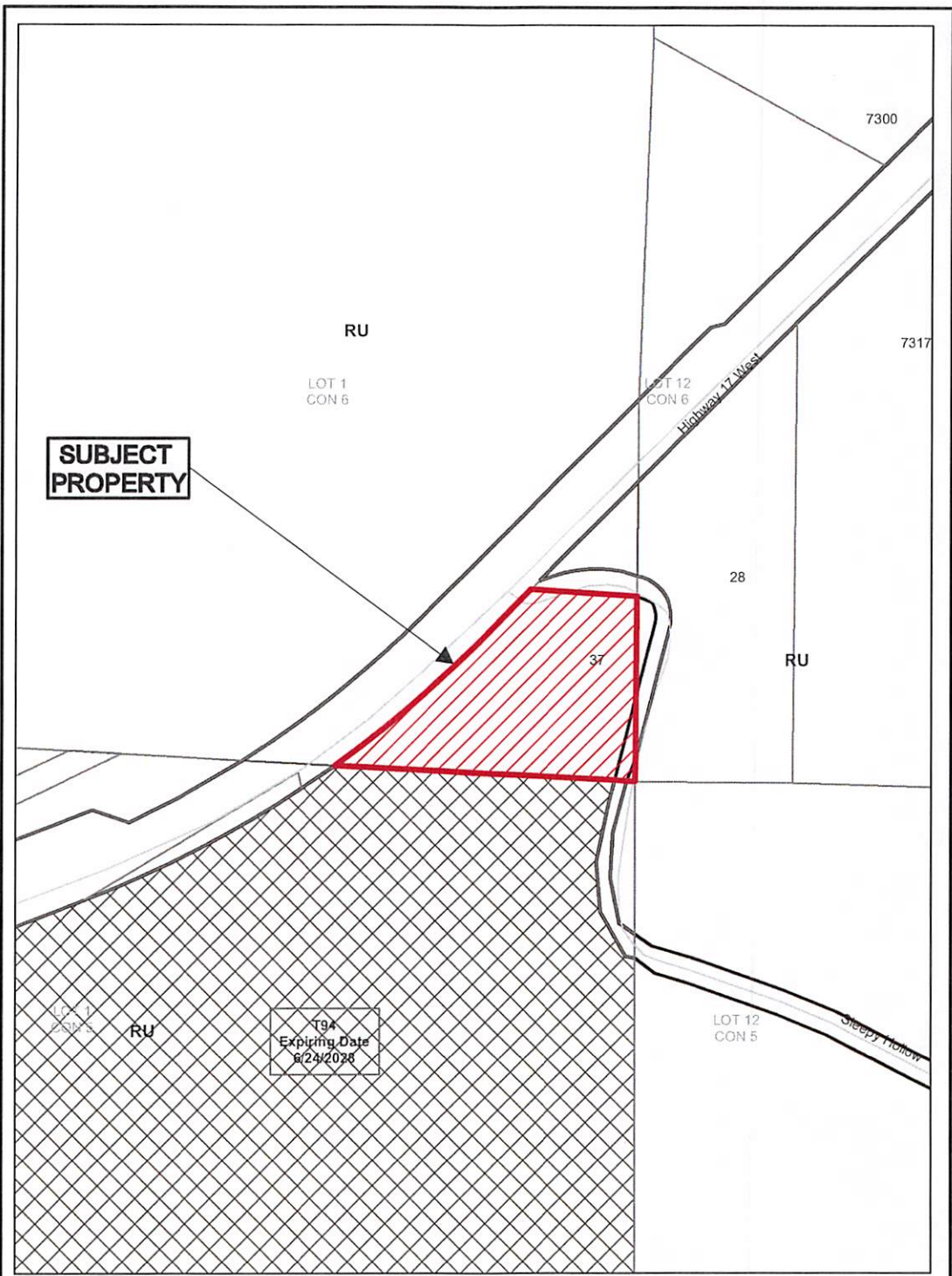
### *Restoration Plan*

Wetland forest cover will be re-established within the delineated wetland and the 12m buffer area surrounding it, to remediate areas where vegetation was disturbed (grubbed) in the fall of 2025. We will plant a variety of wetland trees and shrubs to speed and direct the restoration process. In the 12m buffer area around the central band wetland, in order to fortify tree cover,

we will plant 35 seedlings (a mix of weeping willows and eastern white cedars). It is anticipated that these trees will reach a mature canopy cover of 122 m<sup>2</sup> with a diameter of 12.5m, 30 are required to cover the buffer area, plus 5 for replacement of any that fail to grow. The goal is to reach a minimum of 80% tree cover in the buffer area, recognizing it will take years to reach mature tree cover. In addition to the overstory tree cover, we will plant native facultative wetland shrubs and berries in the buffer area to accelerate and diversify vegetation cover. These species will include: elderberry, highbush cranberry, red osier-dogwood, gooseberry, serviceberry, black currant and nannyberry. These species were identified as native and suitable facultative wetland species for Zone 4b.

Along the south-west side of the property, where brush and black spruce were removed from the swamp, regrowth of natural vegetation will be prioritized, and 4 weeping willow trees will be planted. Successful regeneration of the natural vegetation will include surveying the regrowth from the native seedbank, identifying black spruce and speckled alder saplings, and ensuring no further disturbance occurs. Successful regeneration will be achieved when vegetation covers 50-70% again.

The pond will be filled over several seasons using clean fill as it becomes available, within 5 years. We will use a "clean fill wanted" sign along the highway and at our driveway. To prevent overland erosion and sedimentation in the swamp during pond-filling, a row of straw bales will be used to create a sediment trap and will be placed along the pond edge that borders the wetland.



**Application for Minor Variance or Permission**



Subject Property being PIN 73395-0301, Parcel 26326 SEC SWS, Part Lot 1, Concession 6, as in LT441327, Township of Lorne, 37 Sleepy Hollow Road, Whitefish, City of Greater Sudbury

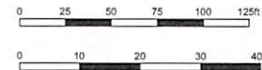
Sketch 1, NTS  
NDCA

PL-MV-2026-00030  
Date: 2026 03 20



**NOTES:**

1. THIS DRAWING TO BE REVIEWED IN CONJUNCTION WITH THE RESTORATION PLAN.



**37 SLEEPY HOLLOW RD  
PROPOSED SITE PLAN**

ADDRESS:  
37 SLEEPY HOLLOW RD,  
WHITEFISH, ON P0M 3E0

ROLL NUMBER:  
120 007 03200 0000

LEGAL DESCRIPTION:  
LORNE CON 6 PT LOT 1 PCL 26326

DESIGN BY:  
MIKE P BOUILLON

PAPER SIZE: A1  
REVISION: A  
DATE: NOV 25 2025

PL-MV-2026-00030 sketch 2



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-MV-2026-00032

## APPLICATION SUMMARY

---

**File Date:** 03/11/2026

**Application Type:** Minor Variance

**Address(es):** 1926 Fire Route O, Azilda P0M 1B0

**Applicant(s):** CR DESIGN

**Owner(s):** TJ HEREAULT

### PLANNING APPLICATION

**Are there multiple properties associated with the application?**  
No

**Please describe the additional properties associated with this application**

**What is the date the current Owner(s) acquired the property?**  
04/29/2014

**Are you the registered owner or an authorized agent?**  
Authorized Agent

**What is the number of dwelling units on the property?**  
1

**What is the number of proposed new dwelling units on the property?**  
0

**What is the number of proposed new buildings/structures on the property?**  
1

**What is the number of existing buildings/structures on the property?**  
3

**If this application is approved, would any existing dwelling units be legalized?**  
No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**Current Official Plan designation**

Rural

**Current Official Plan designation (additional)**

**Current Zoning By-law designation**

SLS(2)

**Provide a detailed description of what is being proposed**

CONSTRUCT A DETACHED GARAGE AND LEGALIZE SETBACKS OF AN EXISTING SHED AND 20M SHORELINE BUFFER AREA LARGER THAN PERMITTED

**Provide a detailed reason why the proposal cannot comply with the Zoning By-law**

PLEASE SEE JUSTIFICATION LETTER ATTACHED

**Is there an eave encroachment?**

No

**Size of eaves**

**Lot Frontage of the property**

71

**Lot Depth of the property**

190.89

**Lot Area of the property**

9631.53

**Total width of the public road giving access to the property**

0

**List all buildings and structures on the property and their respective date of construction**

SEASONAL DWELLING AND DECK -2017      SHED AND SAUNA - 2019

**Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.**

SEASONAL RESIDENTIAL - 2017

**Is the use remaining the same? If no, please provide the proposed new use**

YES

**Existing uses of neighbouring properties**

SEASONAL DWELLINGS

**Has the property ever been subject of a previous application for minor variance/permission?**

No

**Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?**

Yes

**Have you consulted with the Strategic and Environmental Planning department regarding this relief?**

No

Have you consulted with Conservation Sudbury regarding this relief?

No

**WATER SUPPLY AND SEWAGE DISPOSAL**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS**

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

"Access is primarily via a private right-of-way (Fire Route O). For the purposes of water access, public docking and parking are available at the Whitewater Lake Public Boat Launch."

Estimate the distance of these facilities from the retained land and nearest public road by water

2.5KM

## CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

## PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m <sup>2</sup> )	Proposed Gross Floor Area (m <sup>2</sup> )	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
PROPOSED DETACHED GARAGE	No	223.8	223.8	1	18.3	12.23	7.32	57.27	92.84	4.76	28.83

## EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m <sup>2</sup> )	Existing Gross Floor Area (m <sup>2</sup> )	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
SEASONAL DWELLING	No	234	468	1	14.71	21.96	8	34.46	114.54	19.6	20.74
ATTACHED DECK	No	62.79	62.79	1	14.67	4.28	3	30.38	137.14	27.25	20.74
SAUNA	No	25.9	25.9	1	5.49	4.72	3	9.46	158.31	29.77	30.19
SHED	No	7.6	7.6	1	3.05	2.5	3	10.97	157.57	20.92	41.49

## ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
ACCESSORY STRUCTURE HEIGHT (PROPOSED DETACHED GARAGE) - 4.2.4.(A)	5M	7.32M	2.32M
SETBACK OF ACCESSORY STRUCTURE (EXISTING SHED)	30M (FROM SHORELINE)	10.97M	19.03M
SETBACK OF ACCESSORY STRUCTURE (EXISTING SHED)	20M (SHORELINE BUFFER)	PERMIT - 10.97M	9.03M
20M SHORELINE BUFFER (NATURAL VEGETATION) - 4.41.3.(a).(i)	25% max. clearing / 276m <sup>2</sup> area	24.5% / 344m <sup>2</sup>	68m <sup>2</sup>

## **Minor Variance Application –**

**Planning Justification Letter Subject Property:** 1926 Fire Route O, Azilda (Whitewater Lake) **Zoning:** SLS (Seasonal Limited Service)

### **Overview of Proposal**

The subject property is a seasonal residential lot on Whitewater Lake. The owner is seeking to construct a detached garage and legalize an existing shed and shoreline condition. This proposal represents a functional improvement to consolidate seasonal equipment storage into a single, high-quality structure while rectifying site conditions to align with the City's zoning bylaw.

### **Variance 1: Accessory Structure Height & Scale (Proposed Garage)**

Relief is requested from **Section 4.2.4(a)** to permit a detached garage height of **7.32m (24')**, where **5.0m** is permitted. The requested height and the **40' x 60'** footprint are necessitated by the owner's specific storage requirements. The structure is designed to house a recreational vehicle (RV) measuring nearly 14 feet in height, alongside two boats and associated marine equipment. To accommodate the RV, the design utilizes 16-foot overhead doors, requiring additional structural height for the door headers and roof trusses.

By housing the RV and both boats inside a single garage, the owner is eliminating the need for outdoor tarped storage or multiple smaller sheds, resulting in a cleaner site aesthetic. The garage is situated further from the side lot line (**4.76m**) than the **3.0m** requirement. Located over **57m** from the high water mark, the structure is tucked well back from the lake and will not negatively impact lake views or create adverse shadowing.

### **Variance 2: Shoreline Setback (Existing Shed)**

Relief is requested from **Section 4.41.2** to permit an existing shed to remain at a setback of **10.97m** from the high water mark, where **30.0m** is required. Additionally, relief is requested from **Section 4.41.3** to permit this structure within the **20.0m shoreline buffer**.

The shed was constructed under the honest but mistaken belief that because of the size, it did not need a building permit / did not have to comply with zoning bylaw regulations. And at the time it was constructed, the setback requirements were different than they are now. With a modest footprint of only **7.6m<sup>2</sup>**, the shed's physical impact is negligible. It is used for the storage of water accessories. The owner is committed to maintaining the structure in its current footprint without further expansion.

### **Variance 3: Shoreline Buffer Clearing & Compliance (Section 4.41.3.a)**

The owner requests a variance to permit a cleared shoreline buffer area of **344m<sup>2</sup>**, exceeding the maximum cap of **276m<sup>2</sup>**. While the cleared area exceeds the square-meter threshold, it remains at **24.5%** of the lot area—staying under the 25% maximum proportional limit generally permitted for residential lots.

The clearing consists of existing gravel and maintained areas used for safe access to the dwelling and lake. A lot of the gravel has natural vegetation that is growing in around it and the owner will continue to let it grow naturally. The owner was previously unaware of the specific "natural state" requirements for the 20m buffer under the updated Shoreline Development By-law. By submitting this application, the owner is seeking to regularize the current state of the property. The owner is prepared to work with staff to ensure the remaining buffer area is protected and to rectify any historical clearing through a commitment to maintaining the current balance of functional use and shoreline protection.

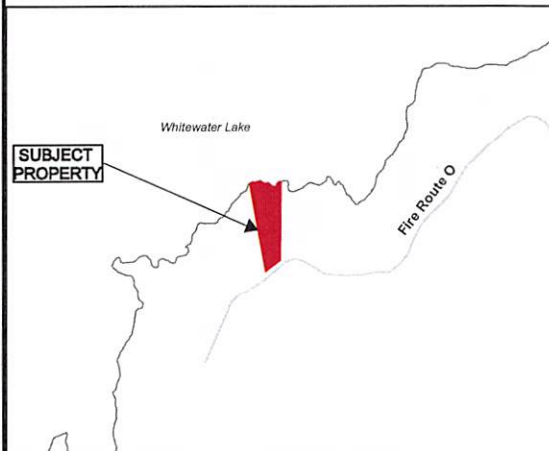
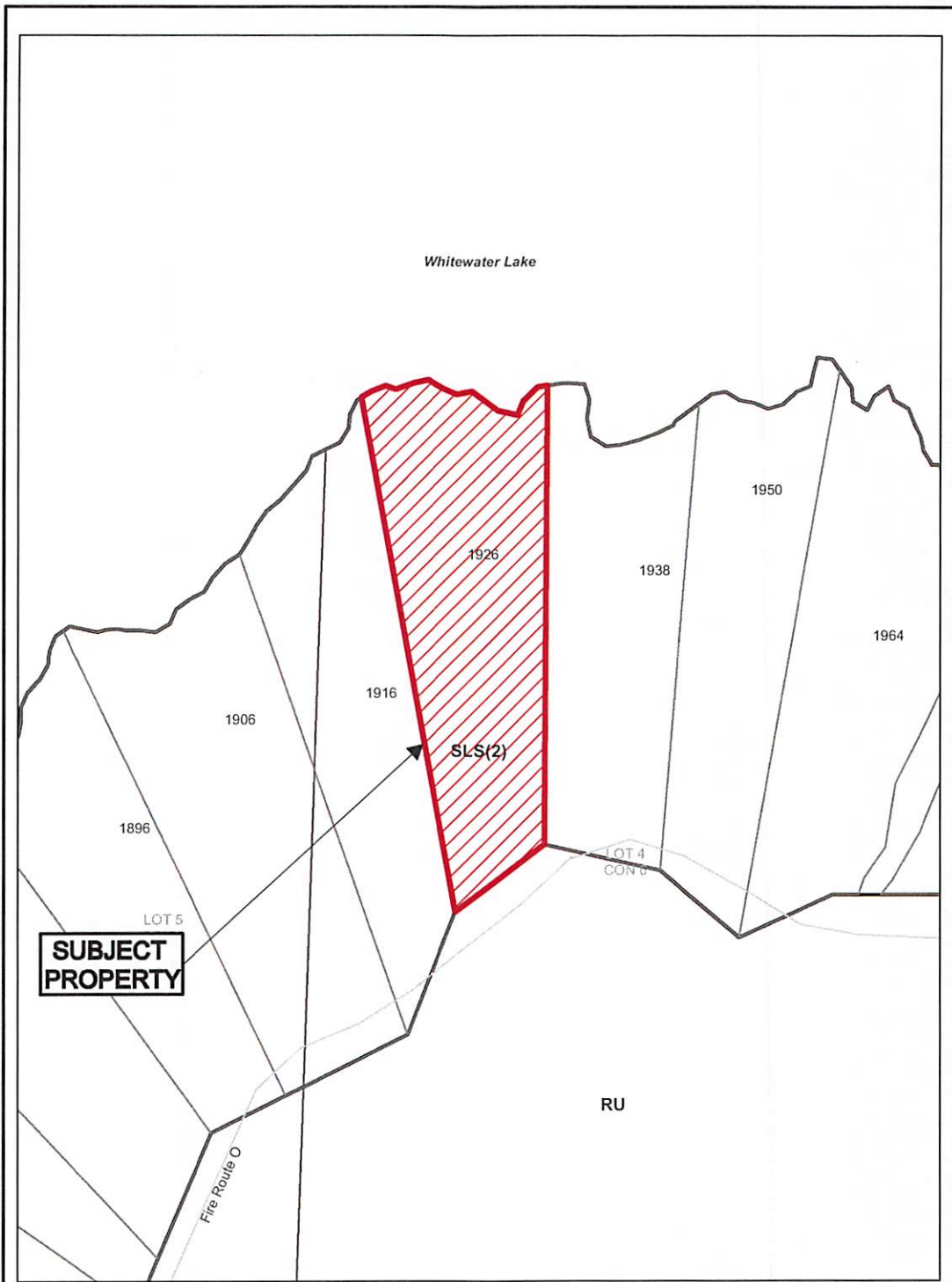
### **Conclusion**

In our opinion, these requests satisfy the four tests under the *Planning Act*. The variances are minor in nature, represent a desirable development of the land by consolidating storage, and maintain the general intent of the City of Greater Sudbury's Zoning By-law and Official Plan. The owner's willingness to bring these items into compliance through the proper planning process demonstrates a commitment to the long-term stewardship of Whitewater Lake.

Respectfully submitted,

Rohit Walia

C.R. Design



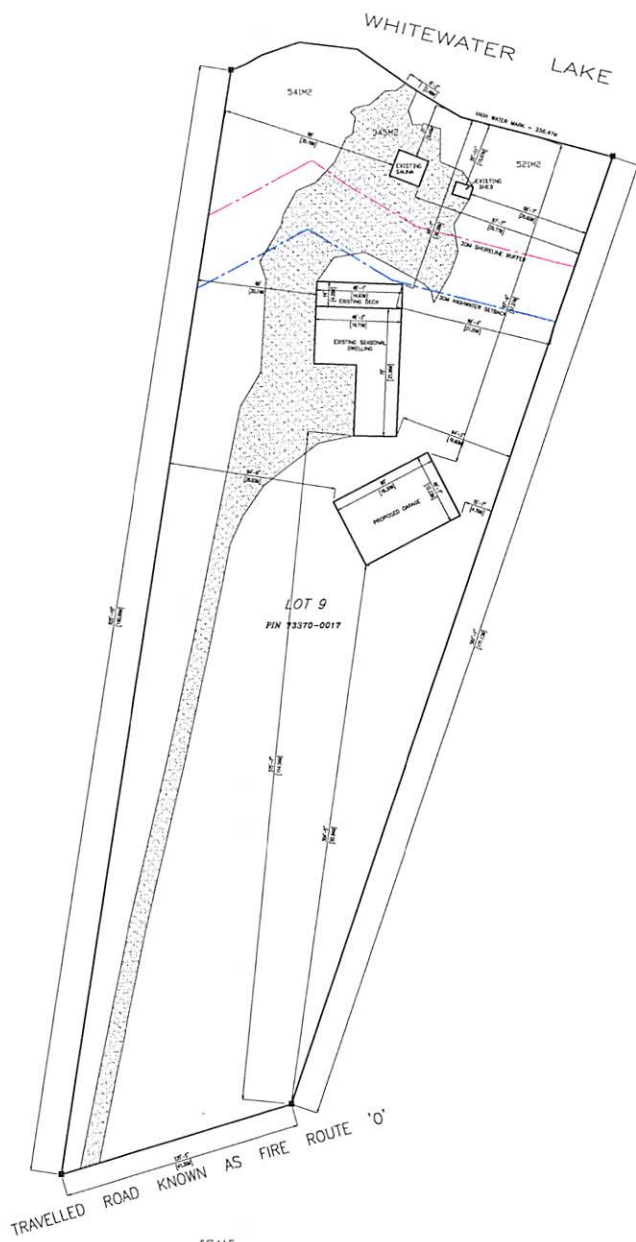
**Application for Minor  
Variance or Permission**



Subject Property being PIN 73370-0017,  
Parcel 53M1204-9 SEC SWS SRO,  
Lot 9, Plan 53M-1204,  
Part Lot 4, Concession 6,  
Township of Snider,  
1926 Fire Route O, Azilda,  
City of Greater Sudbury

Sketch 1, NTS  
NDCA

PL-MV-2026-00032  
Date: 2026 03 17



LOT COVERAGE			
	LENGTH	WIDTH	AREA
EXISTING SEASONAL DWELLING	21.96M	14.71M	234M <sup>2</sup>
EXISTING ATTACHED DECK (SEASONAL DWELLING)	4.20M	14.67M	62.79M <sup>2</sup>
EXISTING SAUNA	4.72M	5.49M	25.9M <sup>2</sup>
EXISTING SHED	2.5M	3.05M	7.6M <sup>2</sup>
PROPOSED GARAGE	12.23M	18.3M	223.8M <sup>2</sup>
TOTAL LOT AREA			9631.53M <sup>2</sup>
TOTAL LOT COVERAGE			491.3M <sup>2</sup> (5%)

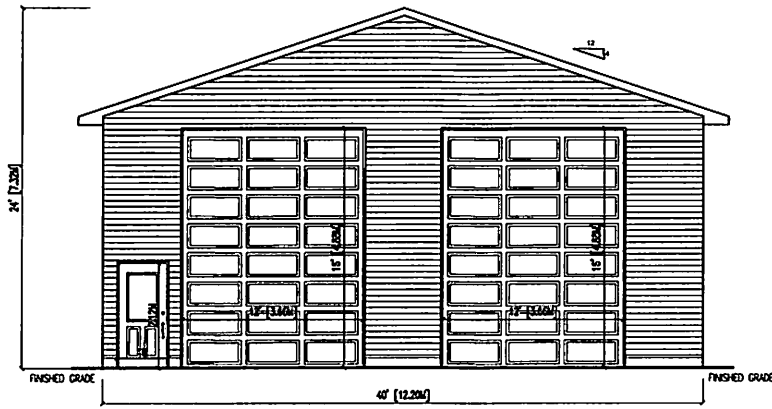
SETBACKS				
	FRONT (SHORE LINE)	REAR (FIRE ROUTE 'O')	RIGHT SIDE	LEFT SIDE
EXISTING SEASONAL DWELLING	34.46M	114.54M	19.6M	20.74M
ATTACHED DECK (SEASONAL DWELLING)	30.38M	137.14M	27.25M	20.74M
EXISTING SAUNA	9.46M	158.31M	29.77M	30.19M
EXISTING SHED	10.97M	157.57M	20.92M	41.49M
PROPOSED GARAGE	57.27M	92.84M	4.76M	28.83M

VARIANCES REQUIRED			
ZONING - S.L.S	REQUIRED	PROPOSED	DIFFERENCE
ACCESSORY STRUCTURE HEIGHT (PROPOSED DETACHED GARAGE) 4.2-4(C)	5M	7.32M	2.32M
SETBACK OF ACCESSORY STRUCTURE (EXISTING SHED)	30M	10.97M	19.03M
SETBACK OF ACCESSORY STRUCTURE (EXISTING SHED) 4.4L4	20M	10.97M	10.03M
20M SHORELINE BUFFER (NATURAL VEGETATION) - 4.41.3(G1,G)	25% MAX CLEARING / 276M <sup>2</sup>	24.5% / 344M <sup>2</sup>	68M <sup>2</sup>

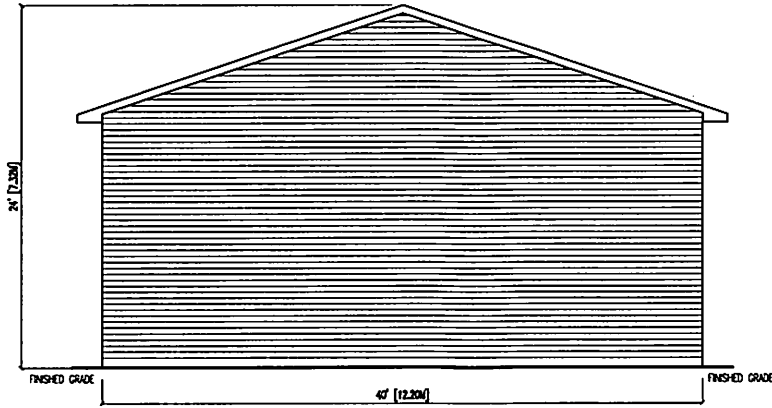


PROJECT	1926 FIRE ROUTE O, AZILDA	DATE	2026-03-25
CLIENT	PP	SCALE	1/16"=1'-0"
TITLE	Variances for Existing Structures / New Garage	DATE	2026-03-25
DESIGNER	PP	SCALE	1/16"=1'-0"

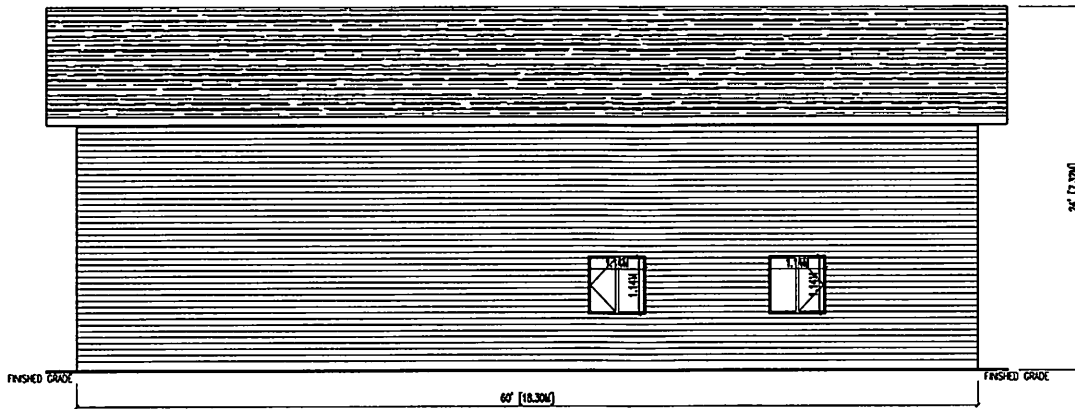
PL-MV-2026-00032 Sketch 2



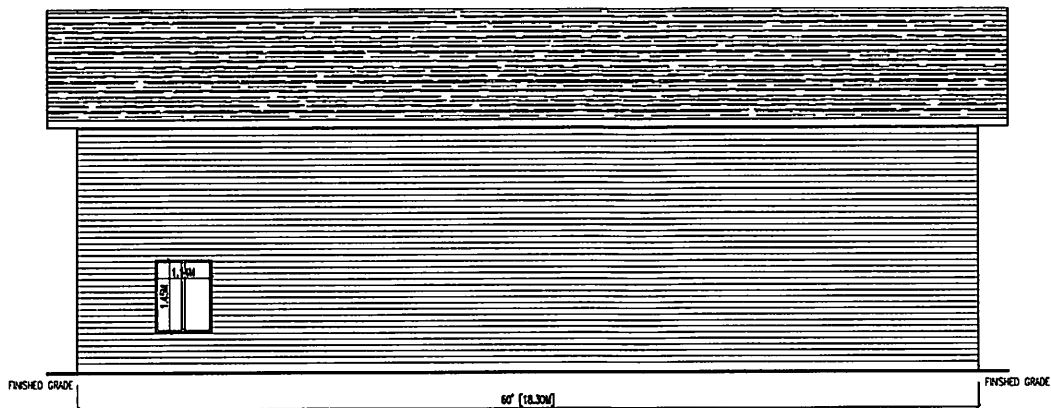
SOUTH ELEVATION (REAR)



NORTH ELEVATION  
(FRONT - LAKE SIDE)



WEST ELEVATION (LEFT)



EAST ELEVATION (RIGHT)

		DATE	
		SCALE	
DETACHED GARAGE		PROJECT	PP
1928 FIRE ROUTE O, AZALDA		DATE	
Plot Plan		DATE	



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-MV-2026-00033

## APPLICATION SUMMARY

---

**File Date:** 03/11/2026

**Application Type:** Minor Variance

**Address(es):** 0 Island Road, Whitefish, ON

**Applicant(s):** APRIL DAHMER

**Owner(s):** APRIL DAHMER AND JORDAN DAHMER

### PLANNING APPLICATION

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**What is the date the current Owner(s) acquired the property?**

June 3, 2021

**Are you the registered owner or an authorized agent?**

Registered Owner

**What is the number of dwelling units on the property?**

0

**What is the number of proposed new dwelling units on the property?**

1

**What is the number of proposed new buildings/structures on the property?**

2

**What is the number of existing buildings/structures on the property?**

0

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**Current Official Plan designation**

Rural

**Current Official Plan designation (additional)**

**Current Zoning By-law designation**

N/A

**Provide a detailed description of what is being proposed**

Construction of new single family dwelling and accessory building (detached garage).

**Provide a detailed reason why the proposal cannot comply with the Zoning By-law**

Proposed accessory building (detached garage) exceeds the permitted building height under the city's current bylaws.

**Is there an eave encroachment?**

No

**Size of eaves**

**Lot Frontage of the property**

92.66

**Lot Depth of the property**

212.2

**Lot Area of the property**

19829.6

**Total width of the public road giving access to the property**

10.0

**List all buildings and structures on the property and their respective date of construction**

No current buildings are constructed on the property

**Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.**

Vacant property

**Is the use remaining the same? If no, please provide the proposed new use**

Proposed single family dwelling.

**Existing uses of neighbouring properties**

Residential

**Has the property ever been subject of a previous application for minor variance/permission?**

No

**Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?**

No

**Have you consulted with the Strategic and Environmental Planning department regarding this relief?**

**Have you consulted with Conservation Sudbury regarding this relief?**

**WATER SUPPLY AND SEWAGE DISPOSAL**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS**

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

## CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

## PROPOSED BUILDING/STRUCTURE

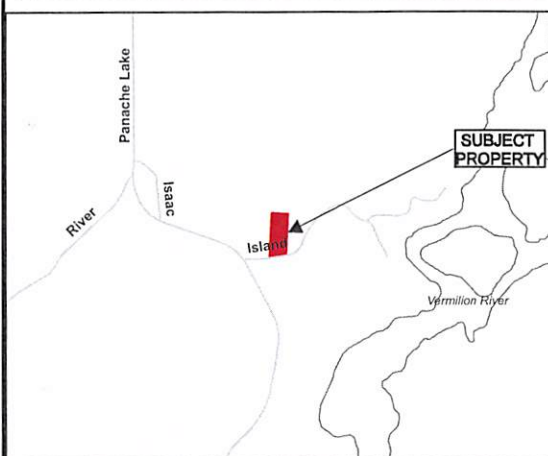
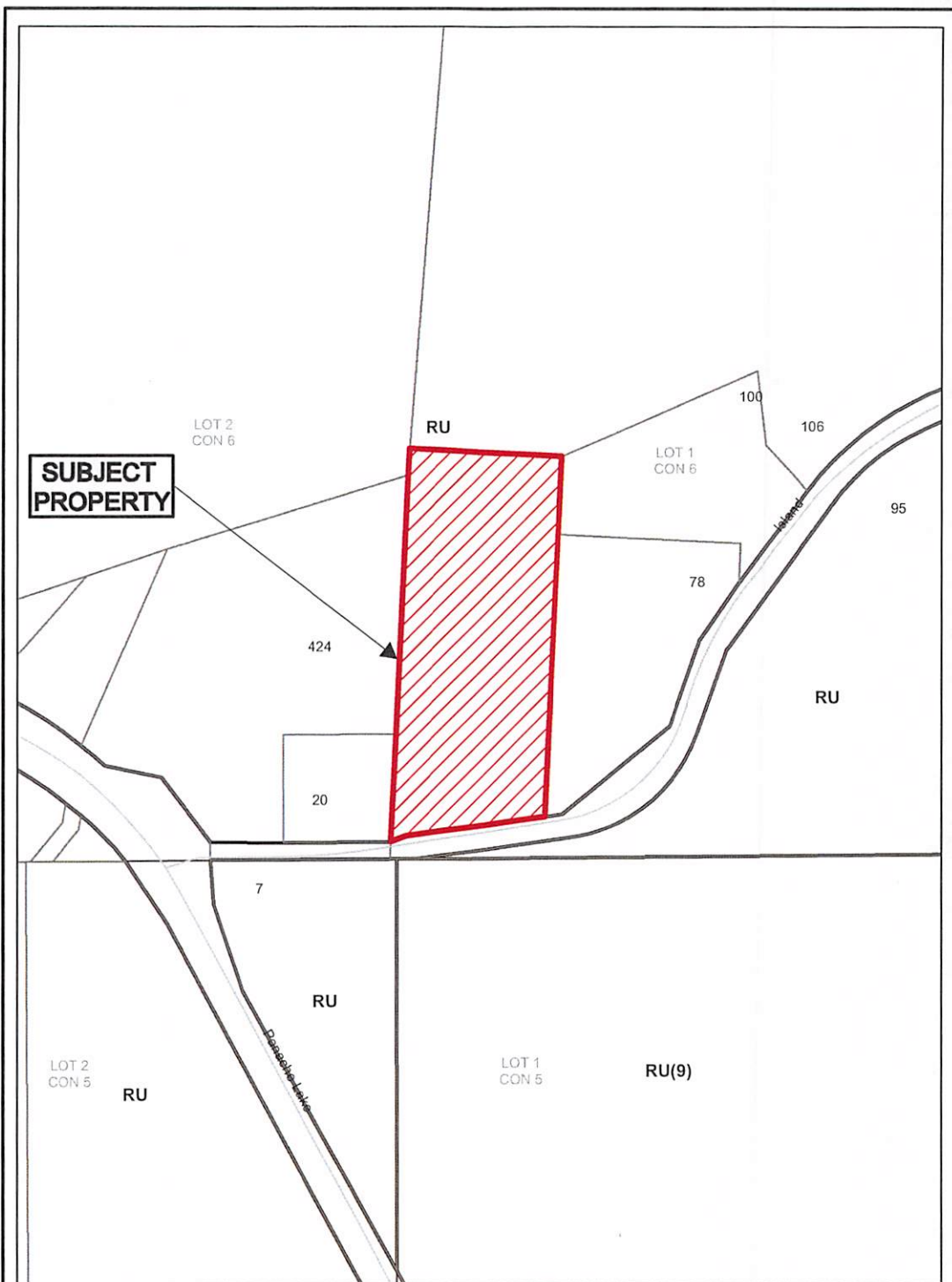
Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Accessory building (detached garage)	No	120	120	1	13.2	12.5	7.4	42.4	162.2	33.1	44.9
Single Family Dwelling w/attached covered deck	No	122	122	1	16.8	11.8	6.4	65.5	140	45.1	24.1

## EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
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## ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
height - accessory building (detached garage)	6.5	7.4	0.9



**Application for Minor Variance or Permission**



Subject Property being PIN 73396-0256,  
 Parcel 29943 SEC SWS SRO,  
 Part Lot 1, Concession 6,  
 Part 1, Plan 53R-13097,  
 Township of Louise,  
 Island Road, Whitefish,  
 City of Greater Sudbury

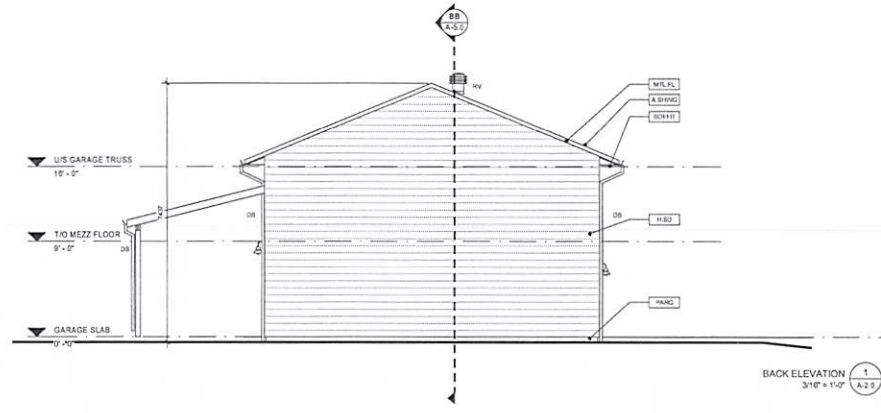
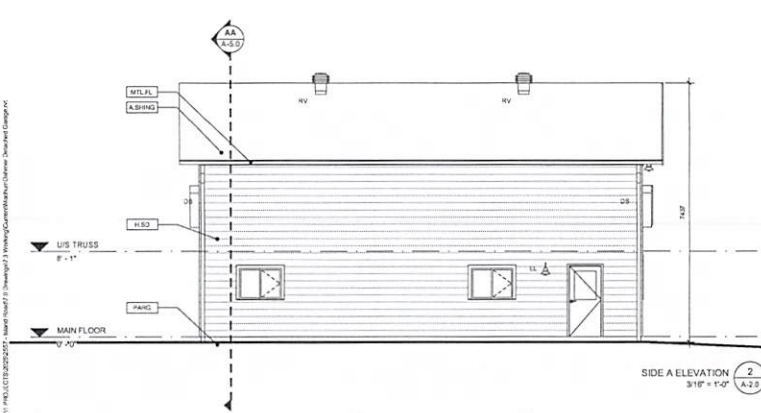
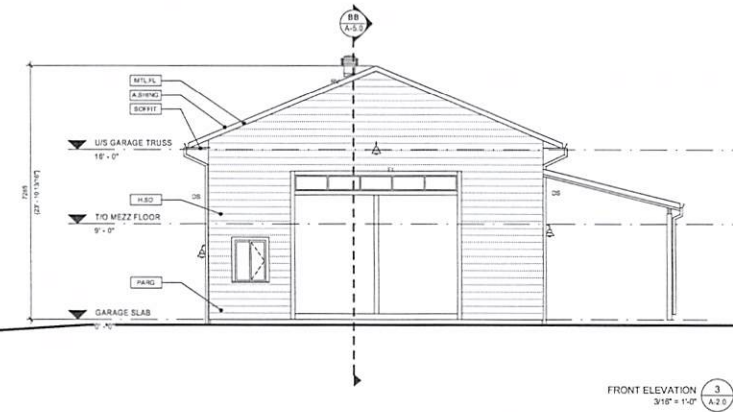
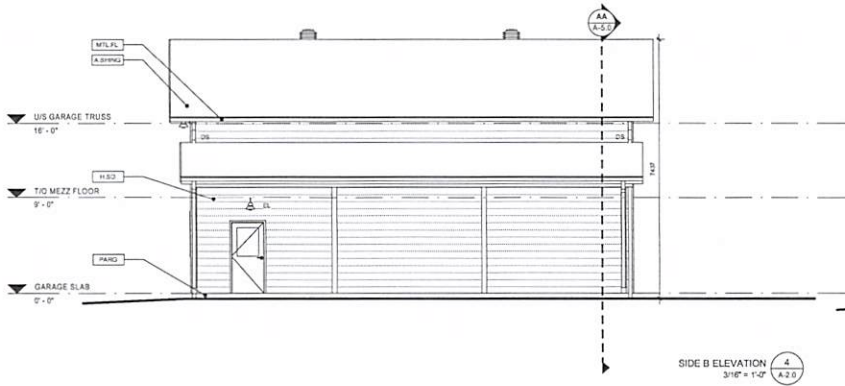
Sketch 1, NTS  
 NDCA

PL-MV-2026-00033  
 Date: 2026 03 18



**ELEVATION LEGEND**

- H.S.D.** DENOTES HORIZONTAL VINYL SIDING
- P.A.N.G.** DENOTES CEMENTitious PANELING
- A.S.H.I.N.G.** DENOTES ASPHALT ROOF SHINGLES
- S.O.K.I.T.** DENOTES PRE-FINISHED ALUM. SOFFIT
- M.T.L.F.L.** DENOTES PRE-FINISHED METAL FLASHING
- R.V.** DENOTES ROOF VENT
- D.S.** DENOTES DOWN SPOUT OR SPLASH PAD - REFER TO SPEC
- L.L.** DENOTES LIGHT FIXTURE LOCATION TO BE COORDINATED WITH OWNER ON SITE. FIXTURE TO BE SELECTED BY OWNER

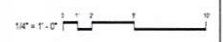


CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO ARCHITECTS BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN SEALED.

No.	Revision / Version:	Date:
1	ISSUED FOR PERMIT & CONSTRUCTION	2024.03.08



**3RDLINE.STUDIO**  
 288 CEDAR STREET  
 SUITE 101, ONYX BLDG  
 9755 A.W. ZIMMER

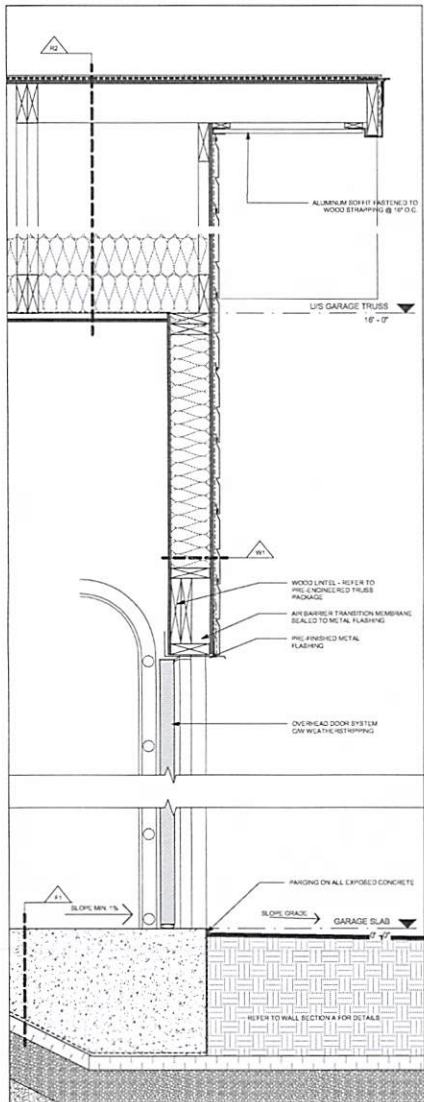
**ISLAND ROAD ACCESSORY BUILDING**  
 LOUISE CON 6 PT LOT 1 RP 53R-13097 PART 1 PCL 29943

ELEVATIONS

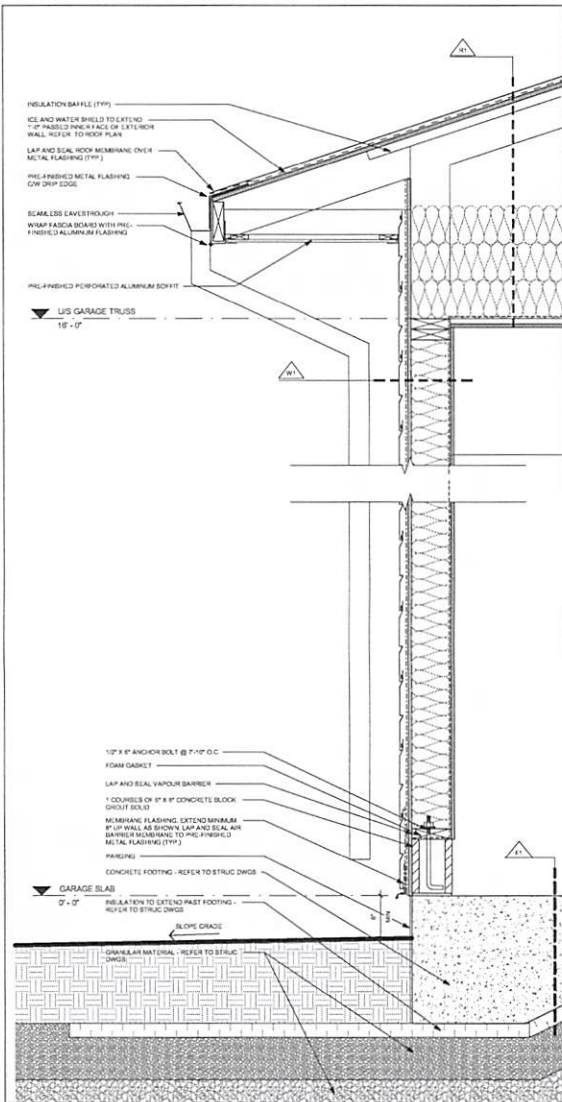
Date: 2024.03.08  
 Scale: As Indicated  
 Drawn By: J.M. Checked By: J.M.  
 Project No: 29943  
 Drawing No: Elev - 1

**A-4.0**

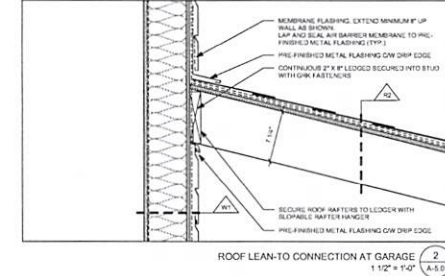
*PL-MV-2026-00033 sketch 3*



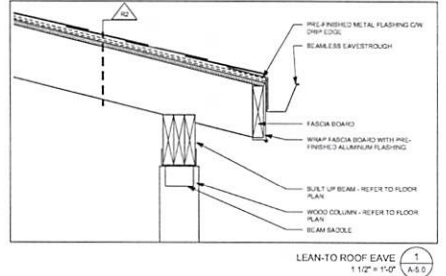
WALL SECTION B  
1 1/2" x 1'-0" A-5.0



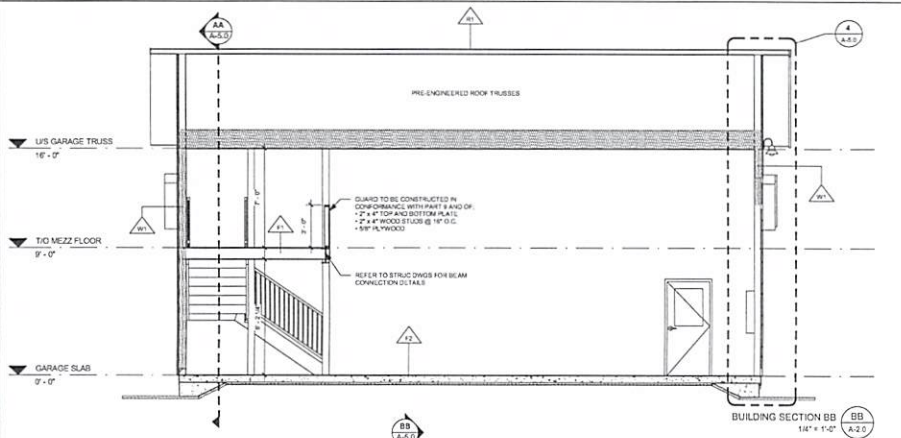
WALL SECTION A  
1 1/2" x 1'-0" A-5.0



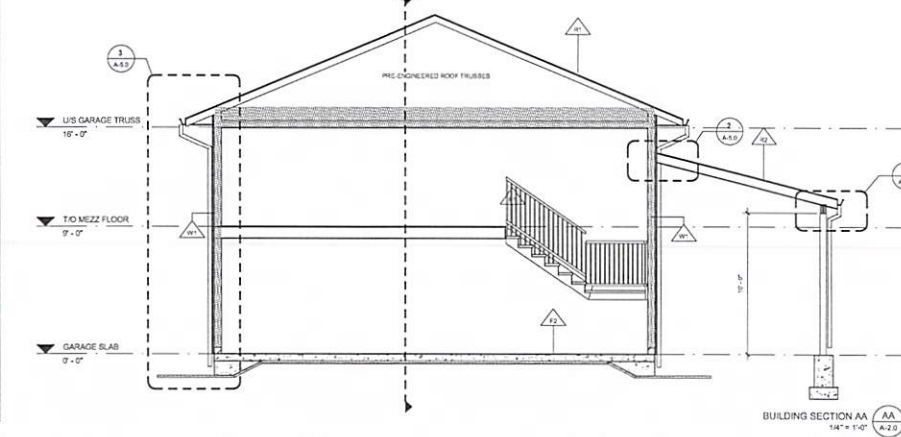
ROOF LEAN-TO CONNECTION AT GARAGE  
1 1/2" x 1'-0" A-5.0



LEAN-TO ROOF EAWE  
1 1/2" x 1'-0" A-5.0



BUILDING SECTION BB  
14' x 1'-0" A-2.0



BUILDING SECTION AA  
14' x 1'-0" A-2.0

PRINTED 2024-03-28 09:11 AM  
DRAWINGS ARE NOT TO BE SEALED  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO ARCHITECTS BEFORE PROCEEDING WITH THE WORK.  
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT.  
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No.	Revision / Version:	Date:
1	ISSUED FOR PERMIT & CONSTRUCTION	2024 03 28



**3RDLINE.STUDIO**  
288 CEDAR STREET  
SUITE 101, ONTARIO PLACE  
TORONTO, ONT. M5G 1R2

ISLAND ROAD ACCESSORY BUILDING  
LOUISE CON 6 PT LOT 1 RP 53R-13097 PART 1 PCL 29943  
BUILDING SECTIONS & DETAILS

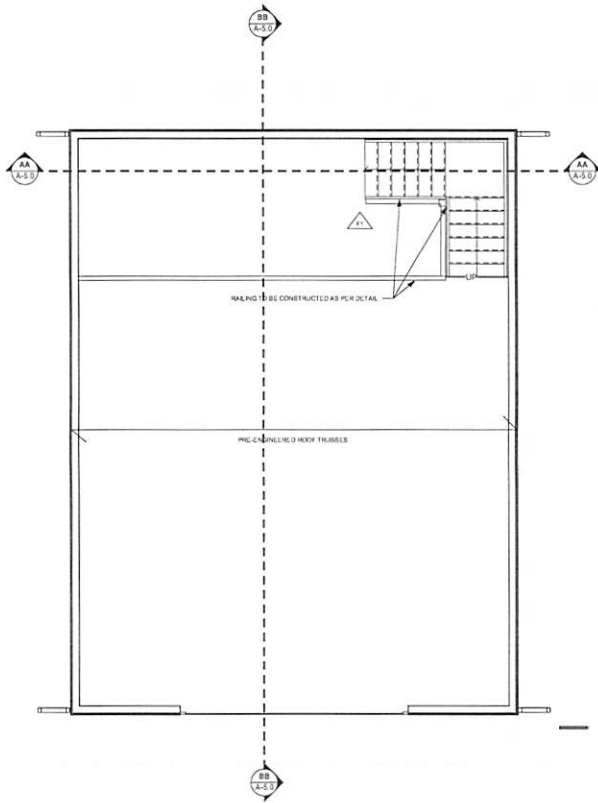
Date: 2024 03 28  
Scale: As indicated  
Drawn By: AAD, Charlene B/Charlene  
Checked By: 2024  
Drawing No.: 1  
Sheet: 1

A-5.0

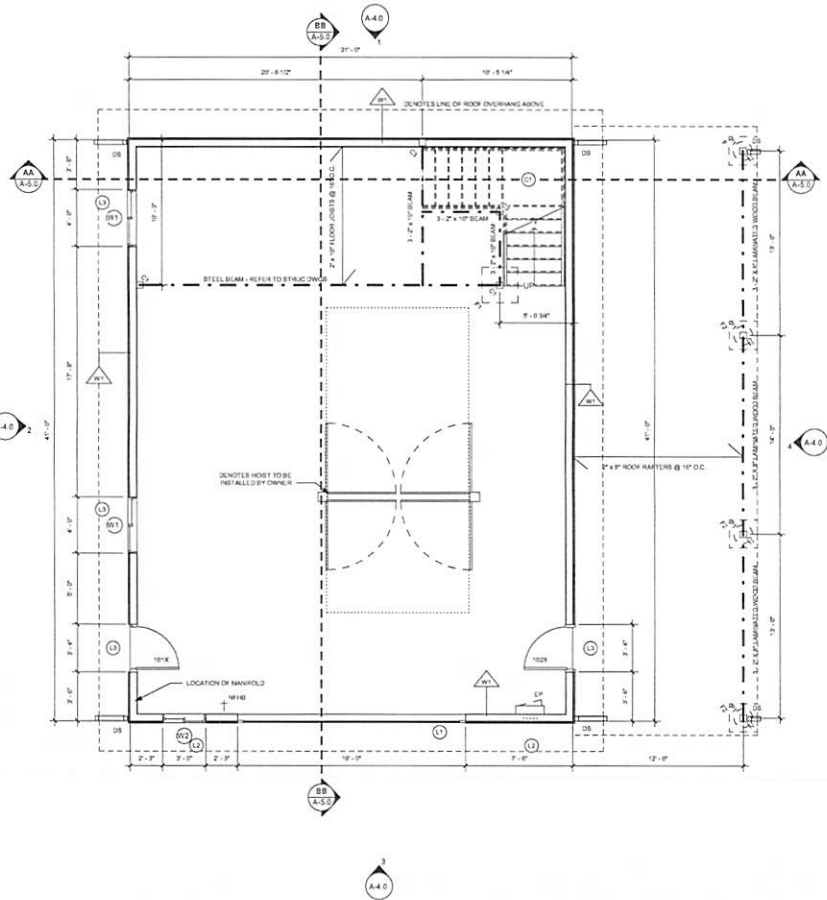
PL-MV-2026-00033  
Sketch 4



C:\P\PROJECTS\2024\1 - Island Road\21 - 2.dwg (2) 3/19/24 10:45:00 AM 1/10/24 10:45:00 AM 1/10/24 10:45:00 AM



TO MEZZ FLOOR PLAN  
1/8" = 1'-0"



GARAGE FLOOR PLAN  
1/8" = 1'-0"

**FOUNDATION/FLOOR PLAN LEGEND**

- ROOM NAME: DENOTES ROOM NAME AND NUMBER REFERENCE
- WALL TAG: DENOTES WALL ASSEMBLY TAG REFERENCE
- EXTERIOR WALL: DENOTES EXTERIOR WALL - REFER TO ASSEMBLY TYPES
- DOOR TAG: DENOTES DOOR TAG
- WINDOW TAG: DENOTES WINDOW TAG - REFER TO DOOR SCHEDULE
- NON-FREEZE HOSE BIB: DENOTES NON-FREEZE HOSE BIB
- ELECTRICAL PANEL: DENOTES ELECTRICAL PANEL
- DOWN BRULETS: DENOTES DOWN BRULETS TO WALKER TILES - WALKER TILES TO DRAIN AWAY FROM FOUNDATION

**GENERAL NOTES:**

1. ALL PARTITIONS ARE TO EXTEND TO JOIST OF STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS TO BE TAKEN FROM EXTERIOR FACE OF STUD IN EXTERIOR WALLS AND CENTERLINE OF STUD FOR INTERIOR PARTITIONS.
3. WOOD FRAMING MEMBERS THAT ARE NOT IN DIRECT CONTACT WITH CONCRETE AT OR BELOW GRADE LEVEL SHALL HAVE A POLY DAMPENING MEMBRANE.
4. SURFACE DRAINAGE MUST BE DIRECTED AWAY FROM THE BUILDING.
5. COORDINATE ALL LIGHTING WITH OWNER ON SITE.

**STRUCTURAL NOTES:**

- ① PRE-ENGINEERED LINTEL
- ② 2" x 4"
- ③ 2" x 6"
- ④ HSB COLUMN - REFER TO STRUCTURE
- ⑤ 6" x 6" PT WOOD POST
- ⑥ 6" x 6" WOOD POST
- ⑦ DENOTES 1/2" DIA PIER WITH REINFORCING AS PER O&B PART 8
- ⑧ DENOTES FOOTING - REFER TO STRUCTURE
- ⑨ DENOTES 2" x 4" x 24" x 16" FOOTING WITH REINFORCING AS PER O&B PART 8

**CONSTRUCTION NOTES:**

- ① INTERIOR PARTIAL RAILING & GUARDS TO BE CONSTRUCTED IN CONFORMANCE WITH THE SPECIFICATIONS REFERRED TO BY OWNER.

DRAWINGS ARE NOT TO BE SCALED  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO ARCHITECTS BEFORE PROCEEDING WITH THE WORK.  
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT.  
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No.	Revision / Version:	Date:
1	ISSUED FOR PERMIT & CONSTRUCTION	2024 03 09



**3RDLINE.STUDIO**  
288 CEDAR STREET  
SCARBOROUGH, ONTARIO M1B 4K7  
972.674.2300

ISLAND ROAD ACCESSORY BUILDING  
LOUISE CON 6 PT LOT 1 RP 53R-13097 PART 1 PCL 29943  
FLOOR PLANS

Date: 2024 03 09  
Scale: 1/8" = 1'-0"  
Drawn By: AM Checked By: [Signature]  
Project No: 2024  
Drawing No: Rev: 1

A-2.0

PL-MV-2026-00033  
Sketch 6





Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-MV-2026-00034

## APPLICATION SUMMARY

---

**File Date:** 03/19/2026

**Application Type:** Minor Variance

**Address(es):** 1195 Wilfred Street, Hanmer P3P 1S2

**Applicant(s):** MARC ARSENEAULT

**Owner(s):** MARC ARSENEAULT AND ROXANNE LEGAULT-ARSENEAULT

### PLANNING APPLICATION

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**What is the date the current Owner(s) acquired the property?**

June 10, 2025

**Are you the registered owner or an authorized agent?**

Registered Owner

**What is the number of dwelling units on the property?**

1

**What is the number of proposed new dwelling units on the property?**

0

**What is the number of proposed new buildings/structures on the property?**

1

**What is the number of existing buildings/structures on the property?**

1

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

1

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**Current Official Plan designation**

Living Area I

**Current Official Plan designation (additional)**

Living Area I

**Current Zoning By-law designation**

R1-5

**Provide a detailed description of what is being proposed**

A covered porch 4.6m X 4.6m that would be attached to the rear of the house.

**Provide a detailed reason why the proposal cannot comply with the Zoning By-law**

The house is already 7.6m from the rear lot line leaving no room to build anything in the back yard and the covered porch would be attached to the back of the house.

**Is there an eave encroachment?**

Yes

**Size of eaves**

0.6

**Lot Frontage of the property**

20.1

**Lot Depth of the property**

30.9

**Lot Area of the property**

973.78

**Total width of the public road giving access to the property**

20

**List all buildings and structures on the property and their respective date of construction**

Single family dwelling Built in 2025 and I received the final inspection on January 20, 2026

**Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.**

Residential

**Is the use remaining the same? If no, please provide the proposed new use**

Yes

**Existing uses of neighbouring properties**

Residential

**Has the property ever been subject of a previous application for minor variance/permission?**

No

**Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?**

No

**Have you consulted with the Strategic and Environmental Planning department regarding this relief?**

Yes

Have you consulted with Conservation Sudbury regarding this relief?

No

**WATER SUPPLY AND SEWAGE DISPOSAL**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS**

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

## CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

## PROPOSED BUILDING/STRUCTURE

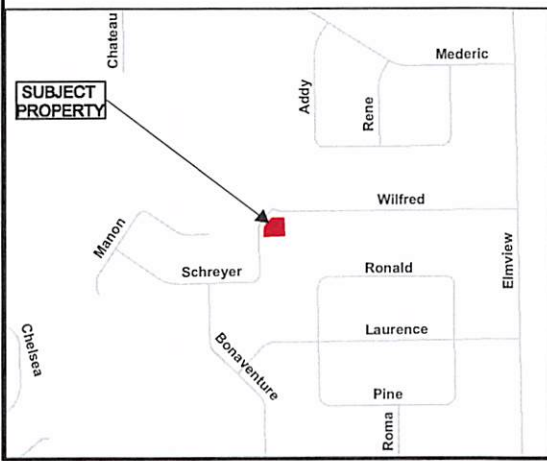
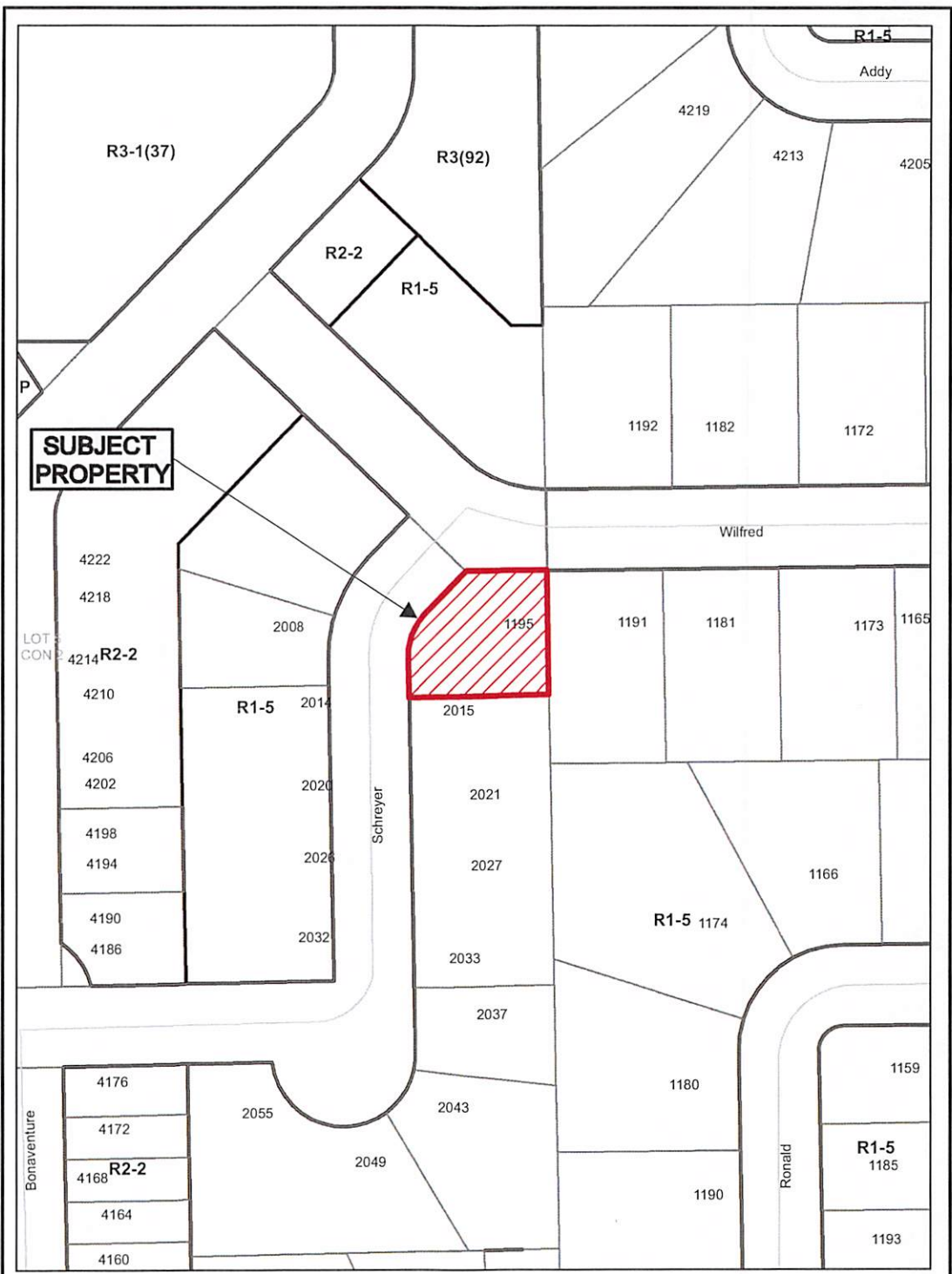
Building Description	Same As Existing	Proposed Ground Floor Area (m <sup>2</sup> )	Proposed Gross Floor Area (m <sup>2</sup> )	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
Covered porch at the back of the house	No	20.25	20.25	1	4.5	4.5	5	22	3.1	14.6	15.8

## EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m <sup>2</sup> )	Existing Gross Floor Area (m <sup>2</sup> )	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	No	257	257	1	18.4	14.47	6	9	7.6	4.57	5.4

## ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Porch Rear yard set back	May encroach 2.4 m into the required 7.5m rear yard.	3m encroachment, 3.1m setback from rear lot line	0.7m



**Application for Minor  
Variance or Permission**

N  
↑

Subject Property being PIN 73504-3247,  
Lot 199, Plan M-1115,  
Part Lot 5, Concession 2,  
Township of Hanmer,  
1195 Wilfred Street, Hanmer,  
City of Greater Sudbury

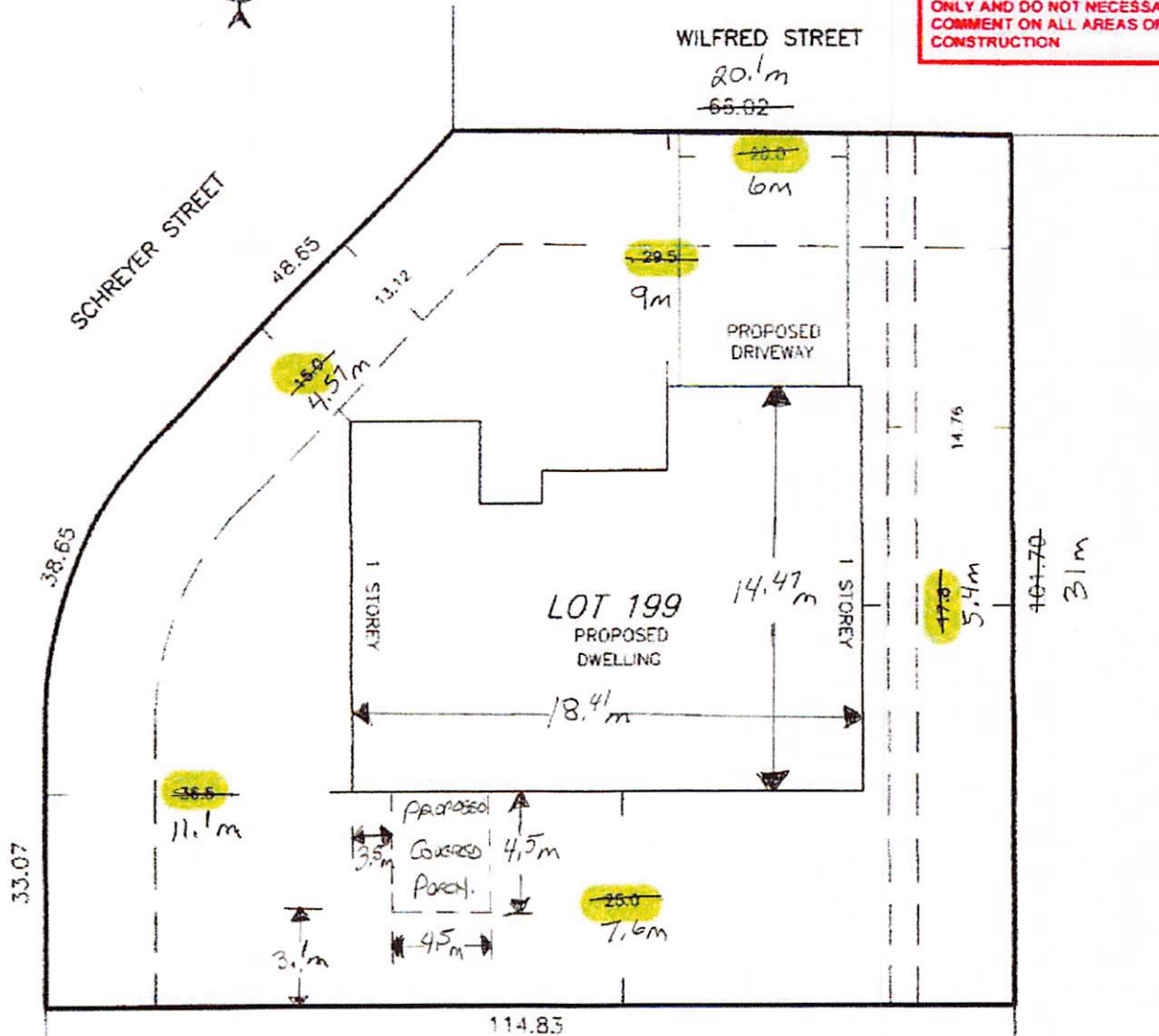
Sketch 1, NTS                      PL-MV-2026-00034  
NDCA                                      Date: 2026 03 26

PLOT PLAN  
**LOT 199**  
**REGISTERED PLAN 53M-1115**  
 SCHREYER STREET

SCALE : 1 INCH = 20 FEET



**NOTE:**  
 IT IS THE CONTRACTOR'S/OWNER'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTIONS CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION



**CITY OF GREATER SUDBURY BUILDING SERVICES**

THESE DRAWINGS /PLANS /SKETCHES HAVE BEEN REVIEWED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT

DATE 04/29/2025

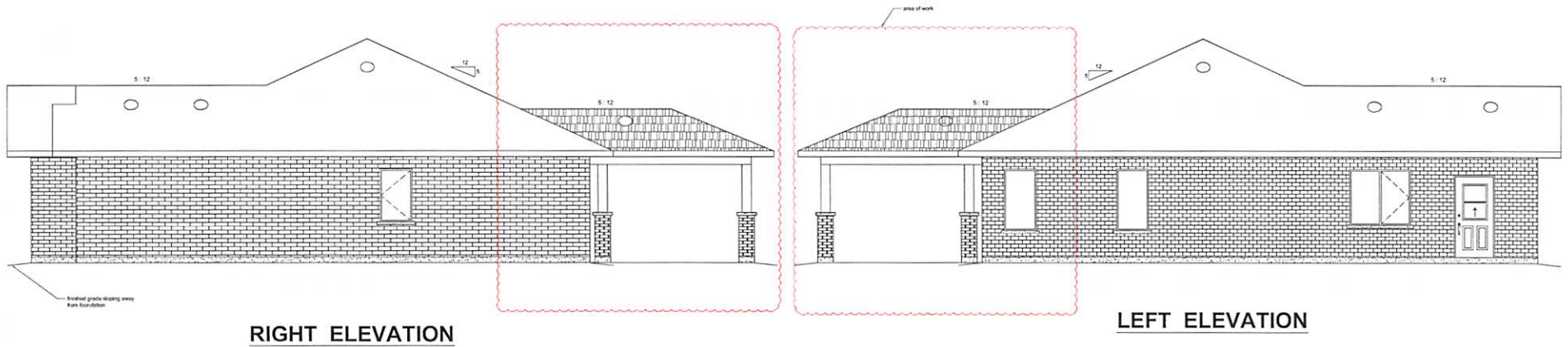
PERMIT BP-NEW-2025-00350

SIGNED M. Campbell

PLMV-2026-00034  
 Sketch 2

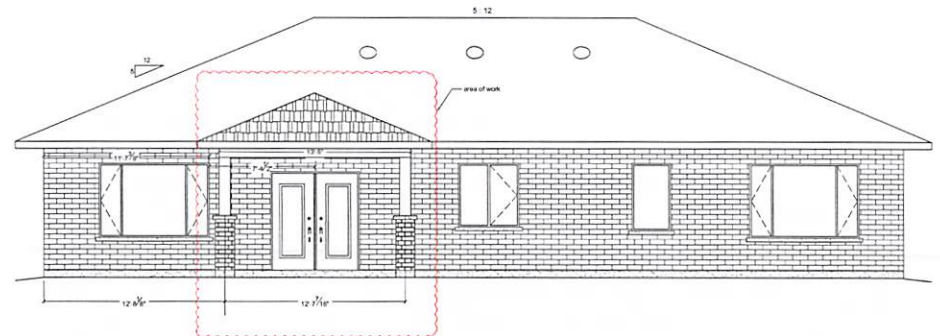
This document and design is the sole Copyright property of the Designer, Michael Pilon, and contains confidential and proprietary information that should be approved, in whole or in part without written authorization from Michael Pilon. The client receiving this design acknowledges that he has paid for a One Time Licensing Agreement only, and it is prohibited from making this plan or any other occasion unless first obtaining written consent from the Designer above, and that a Royalty must be paid to the Designer above for subsequent uses.

**NOTE:**  
It is the responsibility of the Contractor to verify that all construction is to strictly conform to the latest edition of the Ontario Building Code, and that any changes to this design to be approved by the Designer and the Chief Building Official prior to its change and that no construction is permitted to commence without first obtaining the approval of the Chief Building Official.



**RIGHT ELEVATION**

**LEFT ELEVATION**



**REAR ELEVATION**

**NOTE:**  
Certification of this design is based on soil bearing capacity having a minimum 75 kpa. The Designer does not assume any responsibility for the design unless the building is constructed on soils having a minimum 75 kpa bearing capacity. It is the responsibility of the owner, contractor and the local building authority having jurisdiction to ascertain that the specified soil bearing capacity exist at the time of construction.

**\*\* General construction notes and details are provided for information purposes only, and do not represent an all inclusive building code nor an all inclusive method of construction, nor a complete listing of materials and it is the responsibility of the contractor, home owner and principal authority to ensure that the construction strictly conforms to the latest edition of the Ontario Building Code and that construction and preparation of material is performed and undertaken by competent, knowledgeable and professional individuals.**

Proposed rear covered porch  
attached to an existing SFD  
prepared for Marc Arsenault  
Lot 199 Shreyer Street

Date: March 25, 2026

SCALE  $\frac{1}{4}'' = 1'-0''$

Greater Sudbury, Ontario  
**MICHAEL PILON DESIGNS**

I, Michael Pilon, review and take responsibility for this design. I am qualified and the design firm is registered in the appropriate classes and categories as set out in the Ontario Building Code.  
INDIVIDUAL B.C.I.N. # 36131 FIRM B.C.I.N. # 100421

signature: *Michael Pilon*

Date: March 25, 2026

705-918-0358

PL-MV-2026-00034  
Sketch 3



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-MV-2026-00035

## APPLICATION SUMMARY

---

**File Date:** 03/24/2026

**Application Type:** Minor Variance

**Address(es):** 111 Bloor Street, Sudbury P3C 2K8

**Applicant(s):** TULLOCH

**Owner(s):** PAUL CHARBONNEAU

### PLANNING APPLICATION

**Are there multiple properties associated with the application?**  
No

**Please describe the additional properties associated with this application**

**What is the date the current Owner(s) acquired the property?**  
2006

**Are you the registered owner or an authorized agent?**  
Authorized Agent

**What is the number of dwelling units on the property?**  
10

**What is the number of proposed new dwelling units on the property?**  
2

**What is the number of proposed new buildings/structures on the property?**  
0

**What is the number of existing buildings/structures on the property?**  
1

**If this application is approved, would any existing dwelling units be legalized?**  
No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**Current Official Plan designation**

Living Area I

**Current Official Plan designation (additional)**

**Current Zoning By-law designation**

R2-3

**Provide a detailed description of what is being proposed**

See attached cover letter

**Provide a detailed reason why the proposal cannot comply with the Zoning By-law**

See attached cover letter

**Is there an eave encroachment?**

No

**Size of eaves**

**Lot Frontage of the property**

12.19

**Lot Depth of the property**

30.48

**Lot Area of the property**

371.61

**Total width of the public road giving access to the property**

20

**List all buildings and structures on the property and their respective date of construction**

10-unit multiple dwelling, pre 1946

**Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.**

Residential, pre 1946

**Is the use remaining the same? If no, please provide the proposed new use**

Yes

**Existing uses of neighbouring properties**

Residential

**Has the property ever been subject of a previous application for minor variance/permission?**

No

**Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?**

No

**Have you consulted with the Strategic and Environmental Planning department regarding this relief?**

**Have you consulted with Conservation Sudbury regarding this relief?**

**WATER SUPPLY AND SEWAGE DISPOSAL**

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

**PROPERTY ACCESS**

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

## CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

## PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
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## EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
Multiple Dwelling	No	217.18	651.54	2	10.32	21.04	6	3.81	5.52	0.65	0.97

## ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
Expand the legal non-conforming use of the existing lot to increase the number of dwelling units within the existing building from 10 to 12 units and maintain the current parking standard	N/A	12 dwelling units	2 dwelling units



Planners | Surveyors | Biologists | Engineers

March 24, 2026  
File No. 260800

#### Committee of Adjustment

Tom Davies Square – City of Greater Sudbury  
200 Brady Street  
Sudbury, ON  
P3A 5P3

Re: Minor Variance – 111 Bloor Street – PT LTS 141, 142 AS IN S89056 PLAN 1SC  
CITY OF SUDBURY [PIN 02136-0046]

Dear Committee of Adjustment,

TULLOCH has been retained by the current owner of 111 Bloor Street (PIN 02136-0046) in Sudbury to obtain a minor variance to facilitate the development of two (2) additional dwelling units in the basement of an existing 10-unit multiple dwelling located on the subject property. Please find attached in Pronto the following information for your consideration in addition to this Cover Letter:

- GeoWarehouse Property Report;
- Concept Plan; and
- Historical Imagery of Subject Property in 1946.

The subject property is zoned R2-3 (Low Density Residential Two) in the *City of Greater Sudbury Zoning By-Law 2010-100Z* and designated 'Living Area 1' per **Schedule 1b** of the *City of Greater Sudbury Official Plan* (OP). The property is also located within the City's Settlement Area and Built Boundary per **Schedule 3** of the OP.

The subject property benefits from four (4) GOVA Transit Routes; Routes 24, 26, & 27 (bus stops within 400 metres of property) which connect the Donovan area to the downtown transit hub, and Route 11 (bus stop within 50 metres of property on College Street) which directly connects the property to College Boreal, Cambrian College, as well as the downtown transit hub. Route 11, being the primary route servicing the property runs every 15 minutes on weekdays and every hour on weekends, while the other available routes listed above run every 30 minutes to one (1) hour on weekdays.

The application proposes the following under *Section 45(2)* of the *Planning Act*:

- Expand the legal non-conforming use of the existing lot to increase the number of dwelling units within the existing building from 10 to 12 units and maintain the current parking standard.

With respect to accessible parking, 1 space is currently available on the property. Table 5.1 of the zoning by-law does not require any accessible parking spaces where only 1-9 standard spaces are provided. Given that only 1 parking space is provided/proposed, no accessible parking spaces are required.

Section 45(2) of the *Planning Act* states:

**Other powers**

(2) In addition to its powers under subsection (1), the committee, upon any such application,

(a) where any land, building or structure, on the day the by-law was passed, was lawfully used for a purpose prohibited by the by-law, may permit,

(i) the enlargement or extension of the building or structure, if the use that was made of the building or structure on the day the by-law was passed, or a use permitted under subclause

(ii) continued until the date of the application to the committee, but no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the by-law was passed, or

(iii) the use of such land, building or structure for a purpose that, in the opinion of the committee, is similar to the purpose for which it was used on the day the by-law was passed or is more compatible with the uses permitted by the by-law than the purpose for which it was used on the day the by-law was passed, if the use for a purpose prohibited by the by-law or another use for a purpose previously permitted by the committee continued until the date of the application to the committee; or

(b) where the uses of land, buildings or structures permitted in the by-law are defined in general terms, may permit the use of any land, building or structure for any purpose that, in the opinion of the committee, conforms with the uses permitted in the by-law. R.S.O. 1990, c. P.13, s. 45 (2)

Based on historical imagery, the multiple dwelling existed with the current parking layout as early as 1946. Therefore, the multiple dwelling and parking standard of 1 space for 10 dwelling units is legal non-conforming. The historical imagery referenced herein is attached to this submission in Pronto.

Unlike Section 45(1) of the *Planning Act*, which prescribes a clear set of tests, Section 45(2) does not clearly state which tests must be met for permission to expand a non-conforming use. However, the tests used to review Section 45(2) applications have been established through the decision of the *Supreme Court of Canada in Saint-Romuald (Ville) v. Olivier, 2001, SCC 57, 2001 Carswell Que 2013*, OMB case *Asgharzadeh, Re, 2010 Carswell Ont 4047* and more recently, Ontario Land Tribunal (OLT) case *Fraser v. Rideau Lakes (Township), 2020*. As a result, applications applied for under Section 45(2) of the *Planning Act*, must be evaluated on the basis of the following 2 tests:

1. Whether the application is desirable for appropriate development of the subject property; and

2. Whether the application will result in undue adverse impacts on the surrounding properties and neighborhood.

Further, *Fraser v. Rideau Lakes (Township), 2020*, case also established that for variations applied for under *Section 45(2)* of the *Planning Act*, the intent and purpose of the Official Plan is not a relevant consideration. Nevertheless, Official Plan policies are referenced in the following planning analysis.

#### *IS THE APPLICATION DESIRABLE FOR THE APPROPRIATE DEVELOPMENT OF THE PROPERTY?*

It is the author's opinion that the additional 2 dwelling units with the retention of the existing parking standard is desirable for the appropriate development of the property given that:

- The proposed development represents a more efficient use of the property by converting vacant unused space within the existing building into 2 additional dwelling units.
- The development of 2 additional dwelling units in the basement of an existing multiple dwelling is considered residential intensification and is consistent with the housing objectives discussed in **Section 2.2** of the PPS. The application would facilitate the development of additional purpose built rental units, which are identified as a core housing need in the *City of Greater Sudbury Housing Supply Strategy, 2024*; represents residential intensification that makes more efficient use of the property, municipal sewer and water infrastructure and supports the use of active transportation infrastructure; and supports the use of nearby public transit routes within 500 metres of the subject property (nearest bus stop located approximately 50 metres from property) (**Section 2.2.1 b) c) & d)** of the PPS).
- This area is characterized by a mixture of dwelling types on small lots, often with limited parking. While the zoning by-law only permits 4 dwelling units, **Section 3.2.1.7** of the OP states that *more units and/or alternative development standards may be considered to achieve the goals of this Plan*. The objectives of the City's Living Area policies are outlined in **Section 3.1** and address meeting Greater Sudbury's housing needs, encouraging a mix of residential uses, ensuring that a sufficient supply of designated and serviceable land is available to meet existing and future needs, ensure that communities permit a variety of complementary and compatible uses, including community facilities, small-scale commercial uses and open space areas, focus residential development in areas that have sufficient infrastructure and provide a balance between the natural environment and urban development.
- The proposed development aligns with the above noted objectives given the additional dwelling units would be purpose-built rental which is identified as a core housing need in the *City of Greater Sudbury Housing Supply Strategy, 2024*; the proposal would contribute to a further mix of residential uses in an area that is already characterized by a mixture of dwelling types; the subject property is serviceable by existing municipal sewer and water infrastructure; the property benefits from nearby complimentary uses such as the commercial corridor on Kathleen Street from Frood Road to College Street which contains a range of small-scale commercial uses (within 300 metres of property), and Lansdowne School and Sudbury Secondary School which both contain open space areas (within 500 metres of property); and

the proposal would not disrupt the natural environment as the additional units can be introduced without any external alterations to the existing building or property.

- The current density on the subject property is +/-270 units/hectare. Per **Section 3.2.1.2** the OP, low density housing forms, including small apartment buildings no more than five storeys in height are permitted for medium density developments generally with a net density of up to 90 units/hectare. The additional 2 dwelling units would increase the net density to +/-324 units/hectares. This represents a marginal increase in density and as noted above, **Section 3.2.1.7** of the OP outlines that more units may be considered to achieve the goals of this plan. The proposed density increase is appropriate as it aligns with the objectives of the Living Area I policies and can be supported by existing public transit and active transportation infrastructure.
- Additional parking for the proposed units can not be provided and function adequately given the configuration of the existing building and lot. Therefore, this *Section 45(2)* application is required to retain the existing parking standard for the proposed units.

#### **WILL THE APPLICATION RESULT IN UNDUE ADVERSE IMPACTS ON THE SURROUNDING PROPERTIES AND NEIGHBOURHOOD?**

It is the author's opinion that the addition of 2 dwelling units with the retention of the existing parking standard will not result in any adverse impacts on the surrounding properties and neighbourhood, given that:

- The proposed additional units do not require any exterior alterations or changes to the size and massing of the existing building; therefore, the application would not result in undue adverse impacts on surrounding properties with respect to the sizing and massing of the existing building.
- The application would enable intensification of the subject property in a manner that is compatible with the existing character and uses in the surrounding neighbourhood. The property is situated within a mixed-use area with a mixture of dwelling types and built forms, and lot configurations are more compact compared to other urban areas throughout the City.
- There is no expected impact on traffic given the marginal increase in density, and considering the property would maintain its existing parking standard.
- On-street parking for visitors is permitted along Bloor Street for a maximum duration of 4 hours. Parking is prohibited in small sections of this area near intersections and driveway entrances. The City can enforce on-street parking in prohibited areas through municipal by-law enforcement.

Given the analysis provided herein, the addition of 2 dwelling units and retention of the existing parking standard represents appropriate and desirable residential intensification on the property and within the City's Built Boundary. The proposed development makes efficient use of the existing built space and municipal infrastructure, and aligns with Provincial and local policies and objectives. In addition, given the property's compatibility with the existing neighbourhood, proximity to public transit and active transportation infrastructure, absence of exterior alterations, and the negligible anticipated impact on

traffic, it is the author's opinion that the application would not result in any undue adverse impacts on the surrounding properties and neighbourhood.

Respectfully submitted,

Prepared By:



Brandon Cormier  
Planner

Reviewed By:

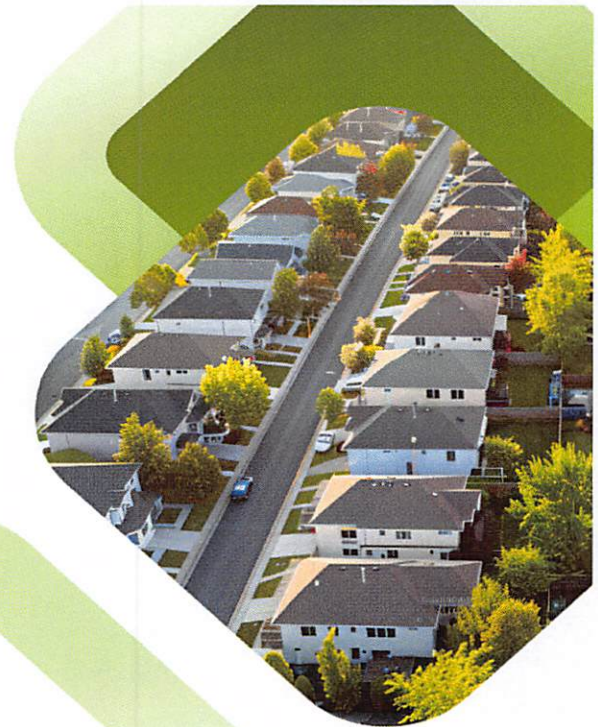


Aaron Ariganello, BURP  
Land Use Planner

**111 BLOOR ST  
SUDBURY**

PIN 021360046

# GeoWarehouse Property Report



## Property Details

GeoWarehouse Address:

111 BLOOR ST

SUDBURY

P3C2K8

PIN: 021360046

Land Registry Office: SUDBURY (53)

Land Registry Status: Active

Registration Type: Certified (Land Titles)

Ownership Type: Freehold



## Ownership

Owner Name:

CHARBONNEAU, PAUL

## Legal Description

PT LTS 141, 142 AS IN S89056 PLAN 1SC CITY OF SUDBURY

### Lot Size

Area: 370.0 sq.m

Perimeter: 85.0 m

Measurements: 30.35m x 12.21m x 30.4m x 12.21m

**Lot Measurement Accuracy: LOW**

These lot boundaries may have been adjusted to fit within the overall parcel fabric and should only be considered to be estimates.



### Sales History

Sale Date	Sale Amount	Type	Party To	Notes
Jun 02, 2006	[REDACTED]	Transfer	CHARBONNEAU, PAUL;	
Jan 31, 1986	[REDACTED]	Transfer	GAGNON, MARCEL GERALD;	

## Terms and Conditions

**Reports Not the Official Record.** Reports, other than the Parcel Register, obtained through Geowarehouse are not the official government record and will not necessarily reflect the current status of interests in land.

**Currency of Information.** Data contained in the Geowarehouse reports are not maintained real-time. Data contained in reports, other than the Parcel Register, may be out of date ten business days or more from data contained in POLARIS.

**Coverage.** Data, information and other products and services accessed through the Land Registry Information Services are limited to land registry offices in the areas identified on the coverage map.

**Completeness of the Sales History Report.** Some Sales History Reports may be incomplete due to the amount of data collected during POLARIS title automation. Subject properties may also show nominal consideration or sales price (e.g. \$2) in cases such as transfers between spouses or in tax exempt transfers.

**Demographic Information.** Demographic Information is obtained from Environics Analytics. Environics Analytics acquires and distributes Statistics Canada files in accordance with the Government of Canada's Open Data Policy. No information on any individual or household was made available to Environics Analytics by Statistics Canada. PRIZM and selected PRIZMC2 nicknames are registered trademarks of The Nielsen Company (U.S.) and are used with permission.

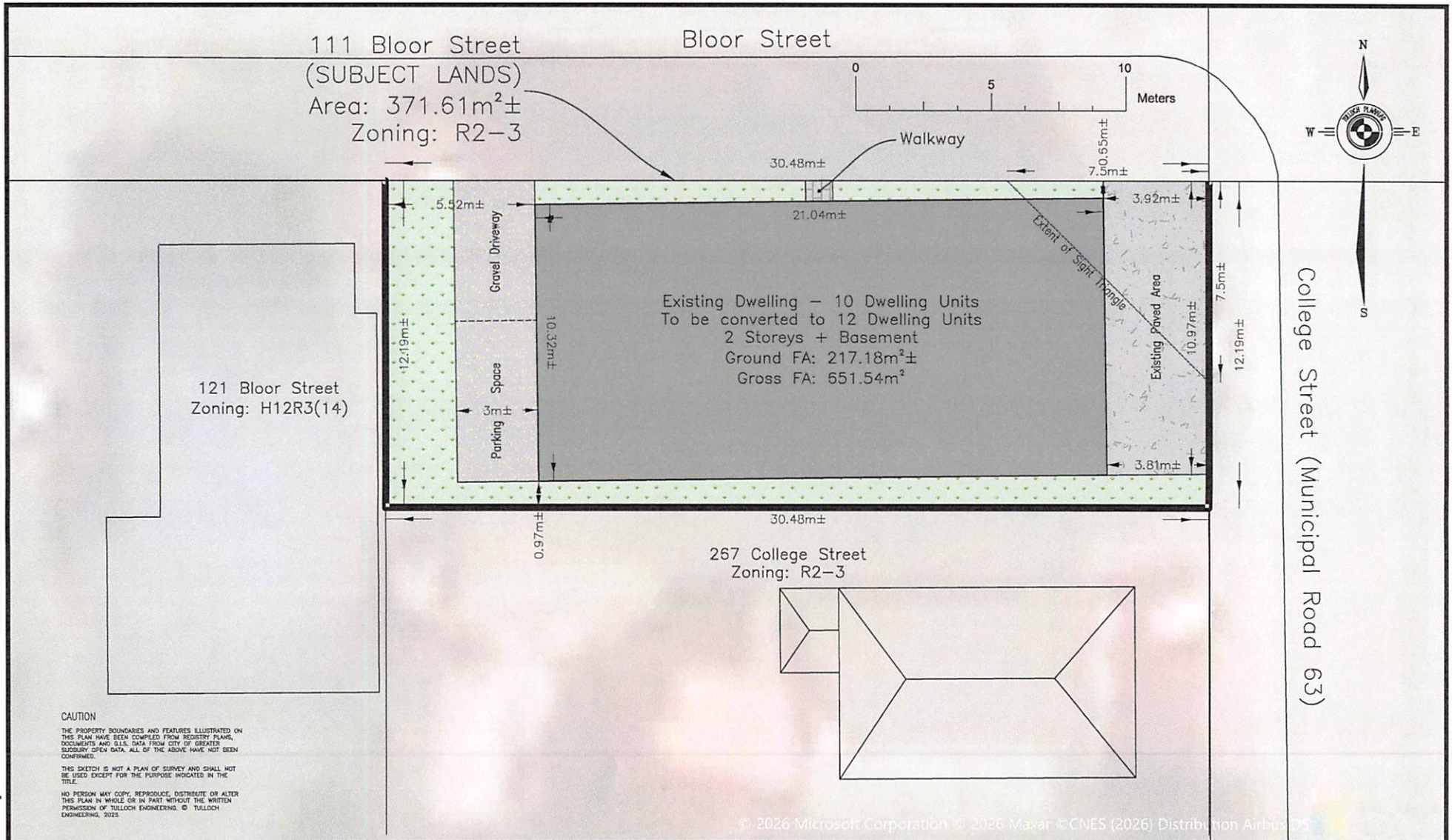
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The Property Information Services, reports and information are provided "as is" and your use is subject to the applicable Legal Terms and Conditions. Some information obtained from the Land Registry Information Services is not the official government record and will not reflect the current status of interests in land. Use of personal information contained herein shall relate directly to the purpose for which the data appears in land registry records and is subject to all applicable privacy legislation in respect of personal information. Such information shall not be used for marketing to a named individual.

Parcel Mapping shown on the site was compiled using plans and documents recorded in the Land Registry System and has been prepared for property indexing purposes only. It is not a Plan of Survey. For actual dimensions of property boundaries, see recorded plans and documents.







**CAUTION**  
 THE PROPERTY BOUNDARIES AND FEATURES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM SURVEY PLANS, DOCUMENTS AND G.L.S. DATA FROM CITY OF GREATER SUDBURY OPEN DATA. ALL OF THE ABOVE HAVE NOT BEEN CONFIRMED.  
 THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.  
 NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF TULLOCH ENGINEERING © TULLOCH ENGINEERING, 2025.

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T: 705-522-6303

131 FIELDING ROAD  
 LIVELY, ONTARIO  
 P3Y 1L7

PROJECT:

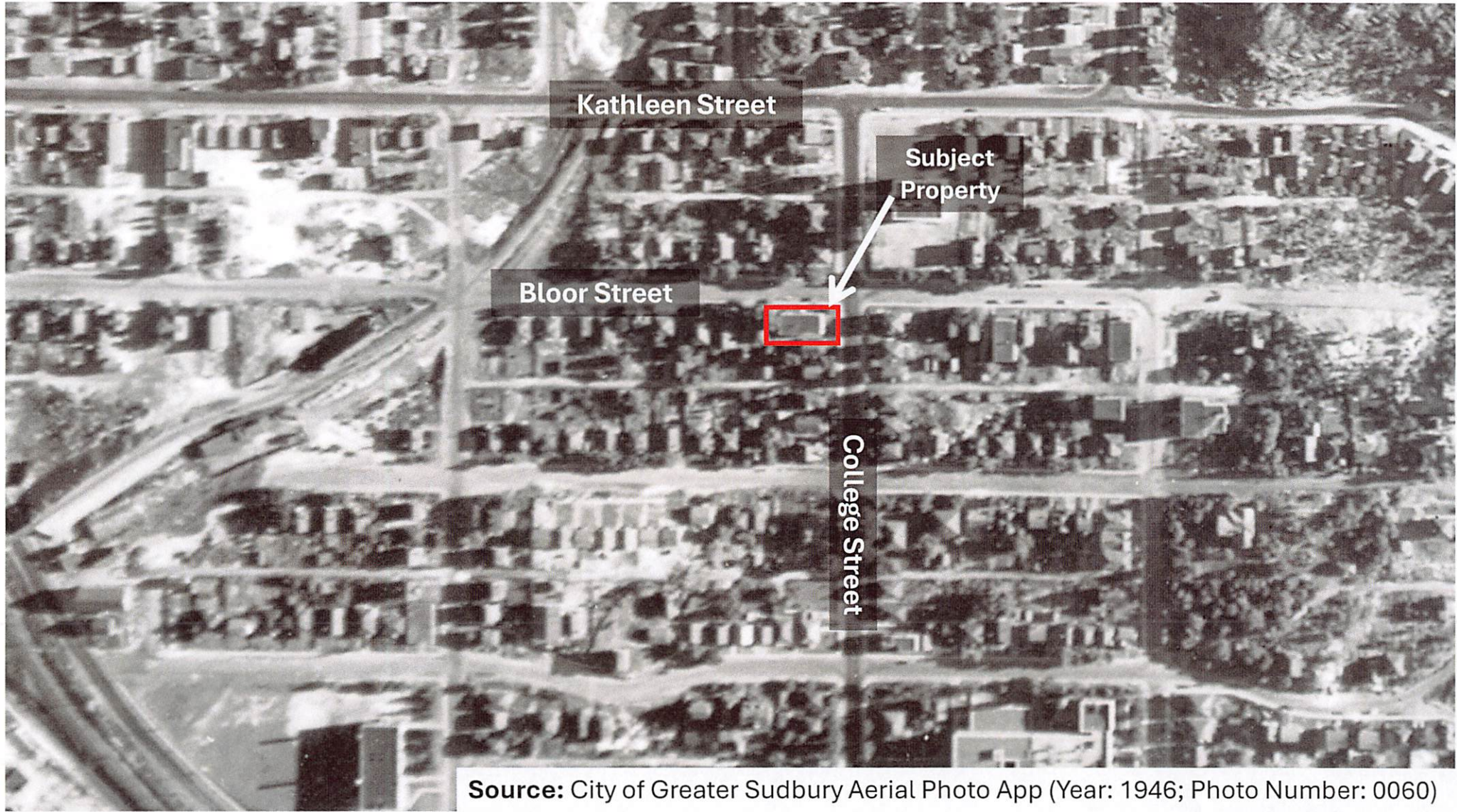
**111 Bloor Street, Sudbury**  
**Part of Lots 141 & 142, Plan 1SC as in S89056**

DRAWING:

**Existing Conditions Sketch**

No.	DATE	BY	ISSUES / REVISIONS
DRAWN BY: MDJ		CHECKED BY: BC	PROJECT No.: 26-0800
SCALE: 1:200		DATE: March 24, 2026	

PL-MV-2026-00039 sketch 2



**Source:** City of Greater Sudbury Aerial Photo App (Year: 1946; Photo Number: 0060)

PL-MV-2026-00035  
Sketch 3



Box 5000, Station A  
200 Brady Street  
Sudbury, Ontario P3A 5P3  
(705) 671-2489 ext 4376 or 4346  
(705) 673-2200 FAX

Record #: PL-MV-2025-00056

## APPLICATION SUMMARY

---

**File Date:** 04/23/2025

**Application Type:** Minor Variance

**Address(es):** 78 Indian Road, Sudbury P3E 2M6

**Applicant(s):** LUKASZ NOWEK

**Owner(s):** PAULINE KOSALKA

### PLANNING APPLICATION

**Are there multiple properties associated with the application?**

No

**Please describe the additional properties associated with this application**

**What is the date the current Owner(s) acquired the property?**

May 2024

**Are you the registered owner or an authorized agent?**

Authorized Agent

**What is the number of dwelling units on the property?**

1

**What is the number of proposed new dwelling units on the property?**

0

**What is the number of proposed new buildings/structures on the property?**

2

**What is the number of existing buildings/structures on the property?**

2

**If this application is approved, would any existing dwelling units be legalized?**

No

**How many dwelling units will be legalized?**

**Is this property located within an area subject to the Greater Sudbury Source Protection Plan?**

No

**Provide details on how the property is designated in the Source Protection Plan**

**Current Official Plan designation**

Living Area I

**Current Official Plan designation (additional)**

**Current Zoning By-law designation**

R1-5

**Provide a detailed description of what is being proposed**

Build new home 5.4m within high water mark, increased gross floor area in required rear yard, deck in rear encroaching required rear yard

**Provide a detailed reason why the proposal cannot comply with the Zoning By-law**

Building where existing home is, which is to be demo'd.

**Is there an eave encroachment?**

Yes

**Size of eaves**

0.2

**Lot Frontage of the property**

3.7

**Lot Depth of the property**

56

**Lot Area of the property**

1773

**Total width of the public road giving access to the property**

20

**List all buildings and structures on the property and their respective date of construction**

House: 1984

Shed: 1984

Concrete Shed: unknown

**Existing use(s) of the subject property and length of time it/they have continued, ex. Residential, Commercial, Institutional, Park, etc.**

Residential

**Is the use remaining the same? If no, please provide the proposed new use**

Same

**Existing uses of neighbouring properties**

Residential

**Has the property ever been subject of a previous application for minor variance/permission?**

No

**Do you require zoning relief from Section 4.41 (Waterbodies – Water Frontage, Setbacks and Buffers)?**

Yes

**Have you consulted with the Strategic and Environmental Planning department regarding this relief?**

Yes

Have you consulted with Conservation Sudbury regarding this relief?

Yes

### WATER SUPPLY AND SEWAGE DISPOSAL

- Municipally owned and operated piped water system
- Municipally owned and operated sanitary sewage system
- Lake
- Pit Privy
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Other
- Explain Other

### PROPERTY ACCESS

- Provincial highway
- Right-of-way
- Municipal road that is maintained seasonally
- Municipal road that is maintained year-round
- Water

Indicate the parking and docking facilities to be used if via water

Estimate the distance of these facilities from the retained land and nearest public road by water

## CONCURRENT APPLICATIONS

Is the property the subject of a current application for Consent?

No

Indicate the application number(s) and status of the application(s)

Is the property the subject of a current application for a Plan of Subdivision?

No

Indicate application number(s) and application status

## PROPOSED BUILDING/STRUCTURE

Building Description	Same As Existing	Proposed Ground Floor Area (m2)	Proposed Gross Floor Area (m2)	Proposed Number of Storeys	Proposed Width (m)	Proposed Length (m)	Proposed Height (m)	Proposed Front Yard Setback (m)	Proposed Rear Yard Setback (m)	Proposed Side Yard Setback (m)	Proposed Side Yard Setback Other (m)
House	No	103.7	207.4	2	8.12	12.64	10.1	32.5	5.4	13.54	17.23
Rear Porch	No	19.64	19.64	1	8.12	2.4	5.69	45.14	3.2	17.02	27.97
Front Porch	No	11.75	11.75	1	8.12	1.52	0.36	30.86	19.12	13.2	16.36
Eastern Porch	No	5.34	5.34	1	1.37	3.9	0.914	43.74	4.8	23.80	23.41
Detached Garage	No	65.28	65.28	1	5.1	12.8	5	14.6	30	12.1	1.2
Lower Deck	No	15	15	1	3.05	4.88	0.2	50.1	2.1	25.42	28.68

## EXISTING BUILDING/STRUCTURE

Building Description	To Be Demolished	Existing Ground Floor Area (m2)	Existing Gross Floor Area (m2)	Existing Number of Storeys	Existing Width (m)	Existing Length (m)	Existing Height (m)	Existing Front Yard Setback (m)	Existing Rear Yard Setback (m)	Existing Side Yard Setback (m)	Existing Side Yard Setback Other (m)
House	Yes	81	162	2	7	11.6	7.9	33.5	5.8	14.87	18.39
Concrete block shed	No	18.13	18.13	1	3.7	4.9	3	47.5	3.7	26.54	22.83
Shed	No	8.36	8.36	1	2.43	3.35	2.1	40.0	14.88	35.53	1.88

## ZONING BY-LAW RELIEF

Variance To	By-law Requirement	Proposed (m)	Difference (m)
High water setback for house Section 4.41, subsection 4.41.2	30m	5.4m	24.6m
Shoreline buffer for house Section 4.41, subsection 4.41.4	20m	5.4m	14.6m
Concrete shed in HWM Section 4.41, subsection 4.41.2	30m	3.9m	26.1m

Concrete shed in shoreline buffer Section 4.41, subsection 4.41.4	20.0m	3.9m	16.1
Shed in HWM Section 4.41, subsection 4.41.2	30m	14.88m	15.12m
Shed in HWM Section 4.41, subsection 4.41.4	20m	14.88m	5.12m
Rear Porch in HWM Section 4.41, subsection 4.41.2	30m	3.2m	26.8m
Rear Porch in HWM Section 4.41, subsection 4.41.4	20m	3.2m	16.8m
Front Porch in HWM Section 4.41, subsection 4.41.2	30m	19.12m	10.88m
Front Porch in HWM Section 4.41, subsection 4.41.4	20m	19.12	0.88m
Eastern Porch in HWM Section 4.41, subsection 4.41.2	30m	6.7m	23.3m
Eastern Porch in HWM Section 4.41, subsection 4.41.4	20m	6.7m	13.3m
Rear Porch Section 4.2, subsection 4.2.5, Table 4.1	Encroach 2.4m into required 7.5m rear yard	Encroach 4.3m into required rear yard, providing a 3.2m setback from rear lot line	1.9m
Reduced Rear Yard and increase in Lot Coverage Part 4, Section 4.25, subsection 4.25.1 a)	Existing: 5.8m / 5%	5.4m / 8%	0.4m / 3%
Increase in Gross Floor Area within rear yard Part 4, Section 4.25, subsection 4.25.1 b)	Existing: 5.8m / 103.6 sq. m	5.4m / 81.0 sq m	0.4m / 22.6 sq. m

# PLANNING JUSTIFICATION STATEMENT

## Minor Variance Application – Section 45(1), Planning Act

**Project:** Proposed Single Family Residential House

**Municipal Address:** 78 Indian Rd. Sudbury, Ontario P3E 2M6

**Applicant:** Pauline Kosalka

**Date:** March 4 2026

---

## Purpose

This statement is submitted in support of a Minor Variance application pursuant to Section 45(1) of the Planning Act.

As confirmed by the accompanying Geotechnical Engineering Letter prepared by a licensed Professional Engineer, the subject property is significantly constrained by shallow bedrock conditions. The requested relief is directly necessitated by these inherent geological limitations.

The application must therefore be evaluated against the Four Tests under the Planning Act.

---

## Evaluation of the Four Tests

### 1. The Variance is Minor

“Minor” is not defined strictly by numerical value, but by impact.

The requested relief:

- Does not alter the permitted residential use;
- Does not introduce additional density;
- Does not increase building height beyond zoning intent;
- Does not result in adverse overlook, shadowing, or massing impacts;
- Maintains the established residential character of the area.

The variance is minor in planning impact. It adjusts siting within a constrained envelope but does not fundamentally change the built form relationship to the neighbourhood.

There is no evidence of negative planning consequence.

---

## **2. The Variance is Desirable for the Appropriate Development of the Land**

The Planning Act requires consideration of whether the proposal represents appropriate development of the land.

The geotechnical investigation confirms:

- Bedrock is encountered at or near surface across most of the property;
- Overburden soils are thin and discontinuous;
- Only one discrete portion of the lot allows practical excavation to frost depth without excessive rock removal or blasting.

Strict adherence to zoning setbacks would require significant mechanical rock breaking and/or blasting operations. This would:

- Cause unnecessary environmental disturbance;
- Create avoidable construction impacts;
- Impose disproportionate cost relative to low-rise residential development;
- Potentially affect neighbouring properties.

The requested relief allows development in the only technically feasible and responsible location on the lot.

It represents rational, site-responsive planning and avoids excessive site alteration.

The variance is therefore not only desirable — it is necessary to enable appropriate development of the land.

---

## **3. The General Intent and Purpose of the Zoning By-law is Maintained**

The intent of the Zoning By-law is to:

- Regulate built form;
- Maintain appropriate setbacks and spatial relationships;
- Protect neighbourhood character;
- Ensure orderly development.

The proposal:

- Maintains the permitted residential use;
- Preserves overall scale and massing consistent with surrounding dwellings;
- Respects adjacent properties;

- Does not undermine the planned character of the area.

The requested relief is technical and site-driven. It does not represent overdevelopment or intensification beyond zoning intent.

The spirit and purpose of the Zoning By-law are fully maintained.

---

## **4. The General Intent and Purpose of the Official Plan is Maintained**

The Official Plan promotes:

- Compatible residential development;
- Efficient use of land within settlement areas;
- Safe and suitable building conditions;
- Minimization of environmental disruption.

The proposal aligns with these objectives by:

- Enabling residential use as contemplated by the Plan;
- Locating development in the only geotechnically suitable portion of the site;
- Avoiding excessive blasting and site alteration;
- Supporting responsible and context-sensitive development.

Refusing the variance would not advance planning policy objectives. Instead, it would compel disproportionate site disturbance without planning benefit.

The general intent and purpose of the Official Plan are therefore maintained.

---

## **Physical Hardship – Not Self-Created**

The need for the variance arises directly from natural subsurface conditions unique to this property.

The shallow bedrock constraint:

- Is pre-existing;
- Is beyond the control of the owner;
- Materially limits the buildable envelope.

This is a textbook example of physical hardship attributable to site conditions and not to design preference or overdevelopment.

---

# Conclusion

The application satisfies all Four Tests under Section 45(1) of the Planning Act:

- ✓ The variance is minor in impact.
- ✓ The variance is desirable and necessary for appropriate development.
- ✓ The general intent and purpose of the Zoning By-law is maintained.
- ✓ The general intent and purpose of the Official Plan is maintained.

The requested relief is directly necessitated by inherent geological constraints and represents reasonable, responsible, and appropriate development of the land.

Approval is respectfully requested.

Lukasz Nowek | Architectural Technologist | 



## GEOTECHNICAL ENGINEERING LETTER

(Ontario Building Code & Minor Variance Support)

**To:** Planning - Building Department – City of Sudbury

**Project:** Proposed Residential Construction

**Municipal Address:** 78 Indian Rd, Sudbury, Ontario P3E 2M6

**Bldg Permit No.** Minor Variance PL-MV-2025-00056

**Client:** Pauline Kosalka

**Date:** March 4 2026

**Prepared By:**

Nisar Ahmad, P.Eng.

Licence No.

## Purpose

This letter has been prepared in general accordance with the **Ontario Building Code (Division C, 1.2.2.1 and applicable Parts 4 and 9)** to assess subsurface conditions and provide professional opinion in support of a Minor Variance application.

---

## Site Conditions

A site investigation and review was undertaken at the subject property.

The site is characterized by:

- Bedrock encountered at or near surface across the majority of the property;
- Thin and discontinuous overburden soils;
- Multiple exposed and sub-cropping rock areas;
- Limited zones where excavation to frost depth can be achieved without significant rock removal.

Across most of the property, conventional foundation construction would require extensive mechanical rock breaking and/or blasting.

**REVISED**

PL-MV-2025-00056



---

## Foundation Feasibility & Hardship

Only one discrete portion of the property contains sufficient overburden depth to permit practical excavation and construction of conventional foundations in compliance with OBC frost protection requirements (OBC 9.12).

Relocating the proposed dwelling to conform strictly with zoning setbacks would necessitate substantial rock excavation and associated disturbance. In our professional opinion, this would be disproportionate to typical low-rise residential construction and is not considered reasonable or practical.

The need to position the dwelling in the proposed location arises directly from inherent geological constraints unique to this property and not from design preference. The shallow bedrock condition materially limits buildable area and represents a legitimate physical hardship.

---

## Professional Opinion

It is our opinion that:

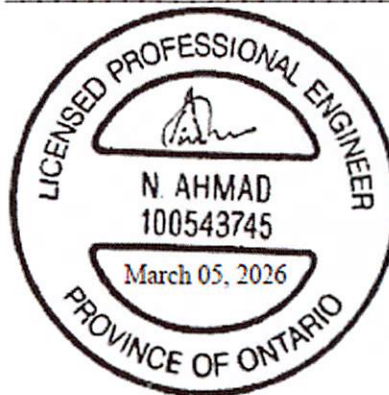
1. The property is significantly constrained by shallow bedrock conditions.
2. The existing and proposed building location is the only technically feasible and reasonable area suitable for foundation construction.
3. The requested Minor Variance is necessitated by existing natural site conditions and is not self-created.

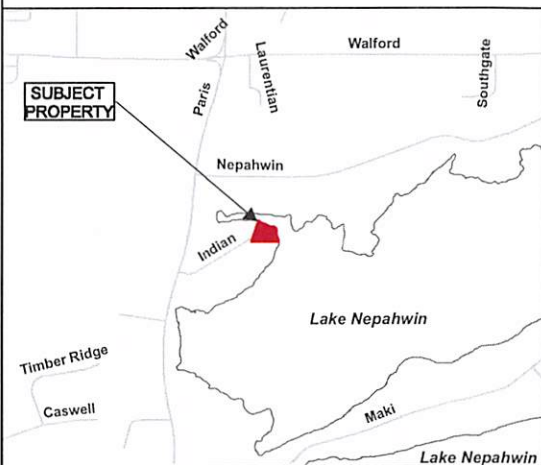
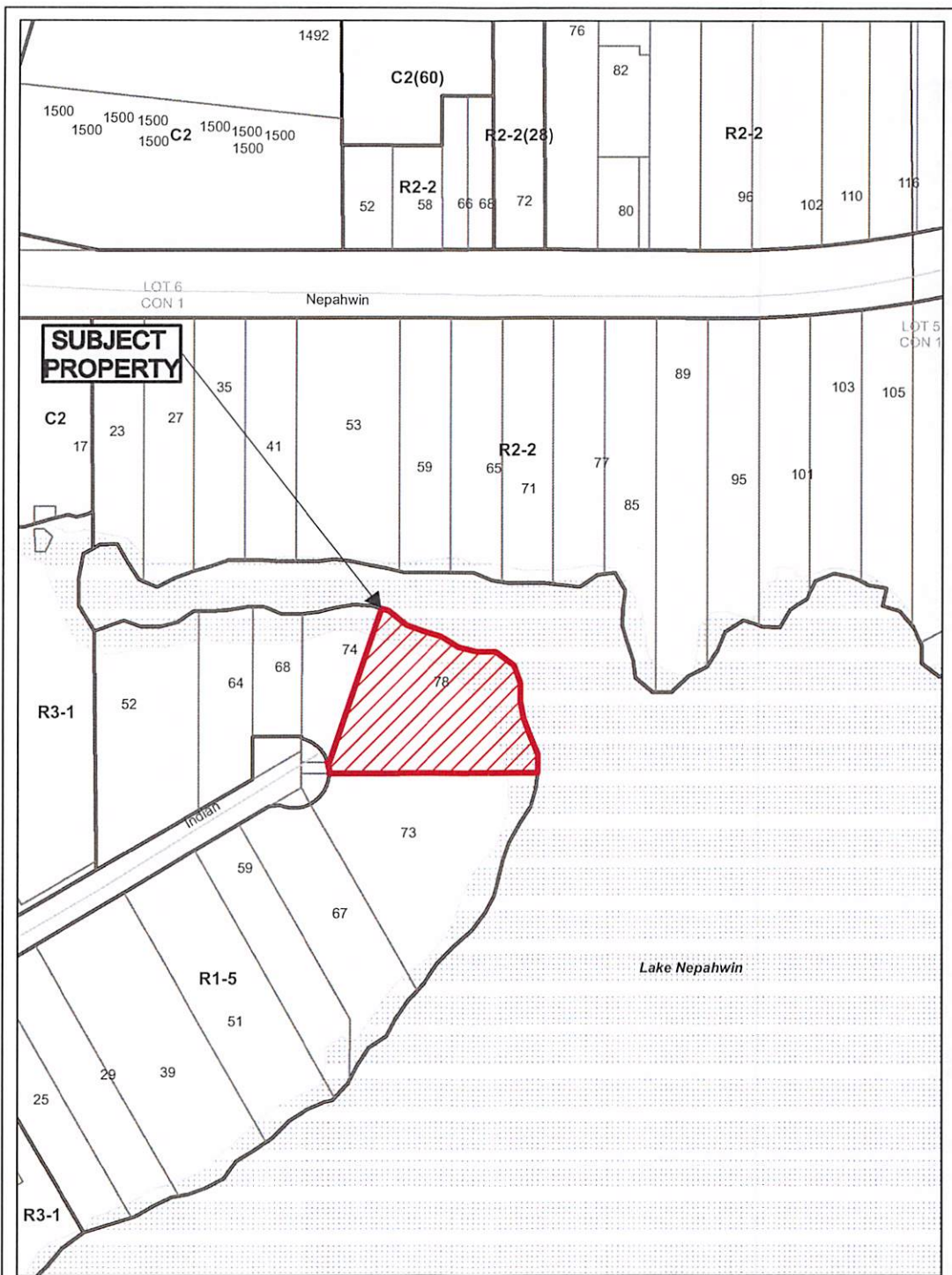
---

This letter is respectfully submitted to the City of Sudbury Planning and in support of the Minor Variance application before the Authority Having Jurisdiction and the Committee of Adjustment.

---

Nisar Ahmad, Professional Engineer \_\_\_\_\_





### Application for Minor Variance or Permission

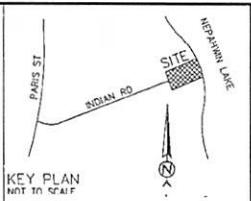
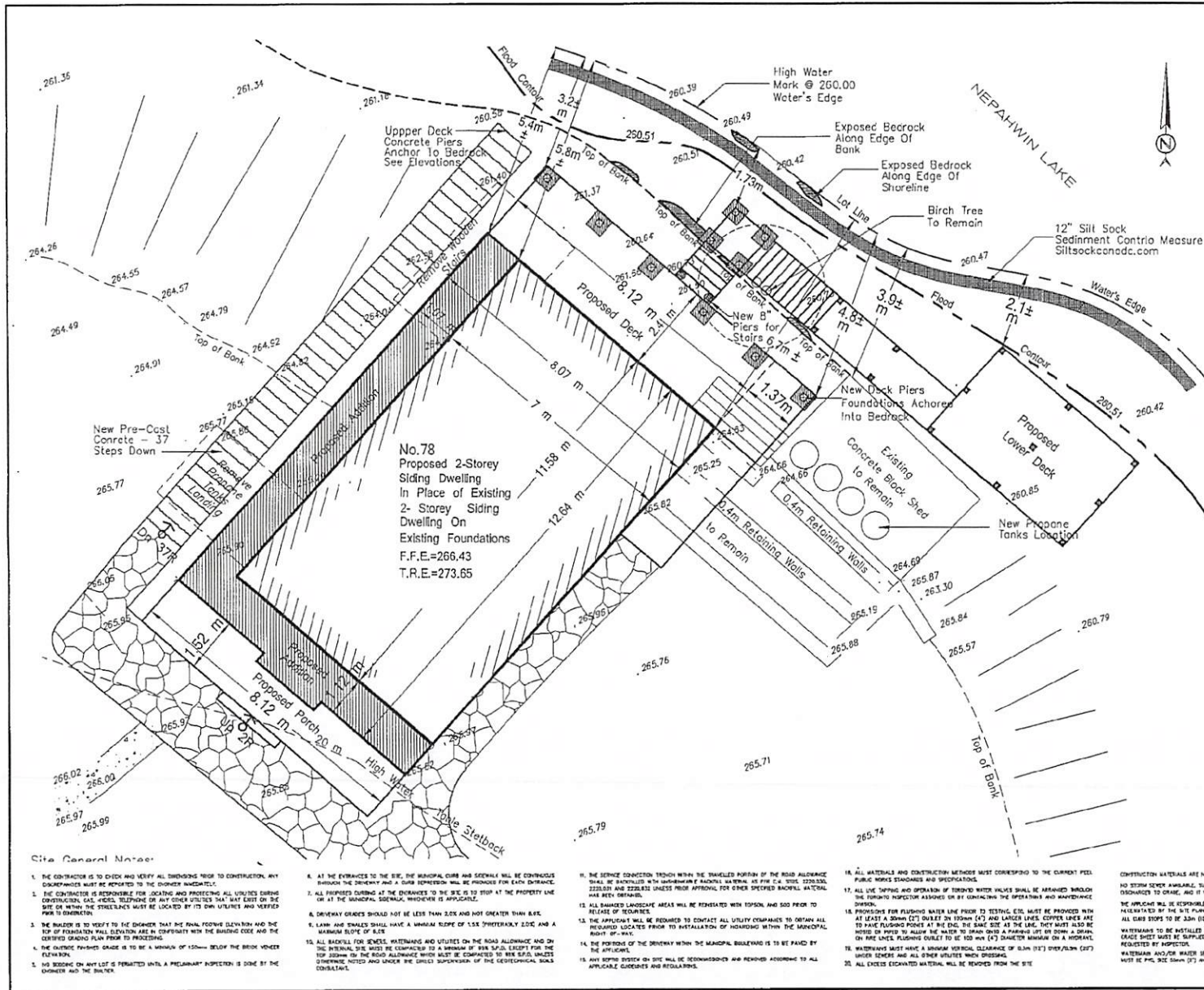


Subject Property being PIN 73595-0472, Part Lot 27, Plan M-86, except LT58741 and Part 6, Plan 53R-17868, Township of McKim, 78 Indian Road, Sudbury, City of Greater Sudbury

Sketch 1, NTS  
NDCA

PL-MV-2025-00056  
Date: 2025 04 30





**SITE PLAN**  
**PROPOSED 2 STOREY**  
**SINGLE FAMILY DWELLING**  
 & DETACHED GARAGE  
 OWNER : PAULINE KOSALKA  
 OWNER : TADEUSZ KOSALKA

Established Grade 265.53  
 Finished First Floor Elevation 266.43

GRADE 1	265.50
GRADE 2	264.82
GRADE 3	261.40
GRADE 4	261.65
GRADE 5	264.03
GRADE 6	265.06
GRADE 7	265.37
GRADE 8	265.89

SW of ELEVATIONS 2116.83  
 AVERAGE GRADE ELEVATION 265.53

**DESCRIPTION:**  
 PN 1785-5475, BEING PART OF LOT 27,  
 REGISTERED PLAN N-85 KNOWN AS 878 INDIAN ROAD

**REGISTERED EASEMENTS AND/OR RIGHTS-CF-WAY:**  
 SHOVE EASEMENT LT22019 - WHOLE PARCEL - MCC

**BEARING NOTE:**  
 BEARINGS ARE ASTROGNOMIC AND ARE REFERRED TO PART OF THE SOUTHERLY LIMIT OF LOT 27, REGISTERED PLAN M-86 HAVING A BEARING OF EAST

**SITE SERVICES NOTE**  
 THE USER OF THE PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES OR ONTARIO/NECAL FOR LOCATES AND ALL UTILITIES DISCONNECT PRIOR TO THE COMMENCEMENT OF THE CONSTRUCTION WORKS

REVISIONS	
No.	DATE
1	April 17 2025
2	May 12 2025
3	May 13 2025
4	May 23 2025
5	May 23 2025
6	August 6 2025
7	August 16 2025
8	August 24 2025
9	September 7 2025
10	September 8 2025
11	Dec 2 2025
12	Jan 1 2026
13	Jan 23 2026

LUKASZ NOWEK - ARCHITECTURAL TECHNOLOGIST

423 LOLITA GARDENS, MISSISSAUGA, ONTARIO

**PROJECT NAME/ADDRESS**  
 78 INDIAN RD  
 SUDBURY, ONTARIO  
 P3E 2M6

Dwg. Title: **SITE PLAN**

Scale: 1:75 Dwg. No. A-1.2

Date: MARCH 2025

**Site General Notes:**

1. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE OWNER IMMEDIATELY.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. CALL, HOURS, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREET/ALLEY MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
3. THE OWNER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FINISH ELEVATION AND THE TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMANCE WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
4. THE FINISH FINISH GRADE IS TO BE A MINIMUM OF 150mm BELOW THE BROOK YOUNGER ELEVATION.
5. NO WORKING ON ANY LOT IS PERMITTED UNTIL A PRELIMINARY INSPECTION IS DONE BY THE OWNER AND THE ENGINEER.

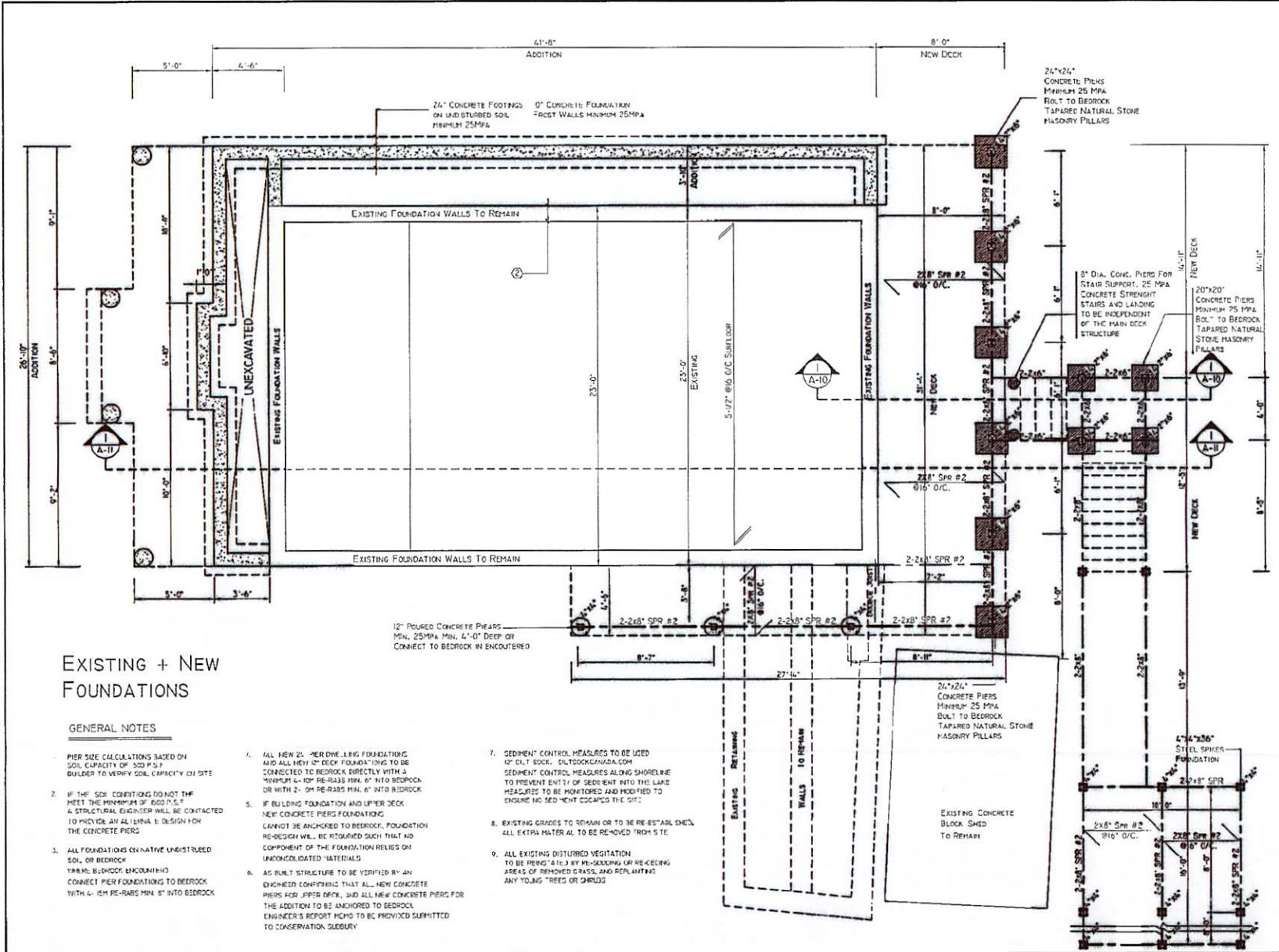
6. AT THE ENTRANCES TO THE SITE, THE MANHOLE CURBS AND SIDEWALKS WILL BE CONTIGUOUS THROUGH THE DRIVEWAY AND A CURB TOLERANCE WILL BE PROVIDED FOR EACH ENTRANCE.
7. ALL PROPOSED CURBS AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MANHOLE SIDEWALK, WHICHEVER IS APPLICABLE.
8. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
9. LAWN AND GRASSES SHALL HAVE A MINIMUM SLOPE OF 1.5% (TYPICALLY 2.0% AND A MAXIMUM SLOPE OF 8.0%.
10. ALL BACKFILL FOR GENEL, RETAINING WALLS AND UTILITIES ON THE ROAD ALLOWANCE AND ON THE INTERNAL SITE MUST BE COMPACTED TO A MINIMUM OF 95% S.F.A. EXCEPT FOR THE TOP 100mm OF THE ROAD ALLOWANCE WHICH MUST BE COMPACTED TO 98% S.F.A. UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT.

11. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNCOMPACTED SAND/GRASS MIX PER C.E. CODE 1220.030, 1220.031 AND 1220.032 UNLESS PRIOR APPROVAL FOR OTHER SPECIFIED BACKFILL MATERIAL HAS BEEN OBTAINED.
12. THE EMPLOYER WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO INSTALLATION OF HOUSING WITHIN THE MUNICIPAL RIGHT OF WAY.
13. ALL SANITIZED LANDSCAPE AREAS WILL BE REVEGETATED WITH TOPSOIL AND SOO PRIOR TO RELEASE OF REQUIRE.
14. THE EMPLOYER WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO INSTALLATION OF HOUSING WITHIN THE MUNICIPAL RIGHT OF WAY.
15. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY IS TO BE PAVED BY THE APPLICABLE.
16. ANY EXISTING SIDEWALK ON SITE WILL BE RECONSTRUCTED AND REFINISHED ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.

17. ALL LIVE TAPPING AND OPERATION OF TRENCH WATER VALVES SHALL BE ARRANGED THROUGH THE TOWN/INSPECTION DIVISION OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
18. PROVISIONS FOR FLOODING WATER LINE FROM TO TESTING EXIST. MUST BE PROVIDED WITH AT LEAST A 300mm (12") DUCTILE IRON BROW (4") AND LARGER LINES. COVER LINES ARE TO HAVE FLOODING POINTS AT THE END OF THE SAME SITE AS THE LINE. THEY MUST ALSO BE NOTED ON PLOTS TO ALLOW THE WATER TO BRAN OVER A PARALLEL LOT OR DOWN A DRAIN ON THE LINE. FLOODING OUTLET TO BE 100 mm (4") DIAMETER MINIMUM ON A HORIZONTAL.
19. WATERWAYS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.30m (12") OVERHANG (2FT) UNDER EGRESS AND ALL OTHER UTILITIES WHICH CROSSING.
20. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.

CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION  
 NO STORED EXCESS MATERIALS SHALL BE PROVIDED, WHICH WILL BE DISCHARGED TO CURB, AND IT WILL BE SELF-CLEANED WITHIN THE SITE.  
 THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY DISCONNECTIONS NECESSARY BY THE SITE PLAN.  
 ALL CURB SLOPE TO BE 30% (3%) OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.  
 WATERWAYS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SUPPLY. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHICH REQUESTED BY INSPECTOR.  
 WATERMAIN AND/OR WATER SERVICE MATERIALS 150mm (6") OR LARGER MUST BE PVC, SIZE 150mm (6") AND BULKHEAD MUST BE SELF-COVER AFTER 9-10-14.

**REVISED**  
 PL-MV-2025-00056  
 Sketch 3



Notes

Engineers' Seal

Revisions		Date
4		Oct 9 2025
5		Oct 28 2025
6		Nov 18 2025
7		Nov 22 2025
8		Nov 29 2025
9		Jan 1 2026
10		Jan 23 2026

Consultant/Contractor

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Drawn By

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Client(s) - Owner(s)

PAULINE KOSALKA  
TADEUSZ KOSALKA

Project Address

78 INDIAN RD  
SUDBURY, ONTARIO  
P3E 2M6

Drawing

CONCRETE PIERS +  
FOUNDATION PLAN

Scale 3/16" = 1'-0"

Date MARCH 2025

Dwg. No. **A-2**

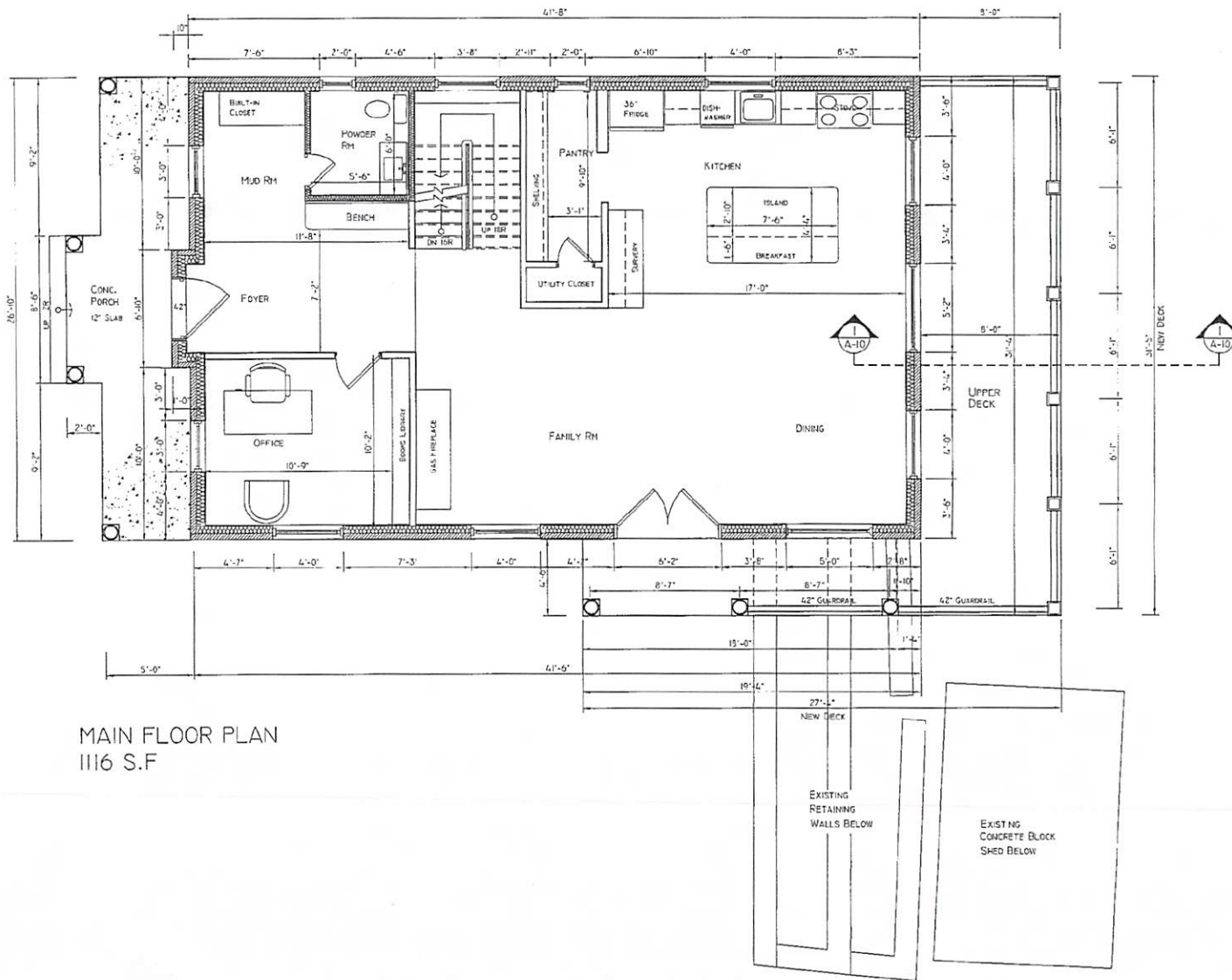
**EXISTING + NEW FOUNDATIONS**

**GENERAL NOTES**

- PIER SIZE CALCULATIONS BASED ON SOIL CAPACITY OF 500 P.S.F. BUILDER TO VERIFY SOIL CAPACITY ON SITE
- IF THE SOIL CONDITIONS DO NOT MET THE MINIMUM OF 600 P.S.F. A STRUCTURAL ENGINEER WILL BE CONTACTED TO PROVIDE AN ALTERNATE DESIGN FOR THE CONCRETE PIERS
- ALL FOUNDATIONS ON NATIVE UNDISTURBED SOIL OR BEDROCK
- IF FOUNDATION ENCOUNTERING UNCONSOLIDATED MATERIALS
- CONNECT PIER FOUNDATIONS TO BEDROCK WITH 4-15M RE-BARS MIN. 8" INTO BEDROCK
- ALL NEW 24" PER DWG. LONG FOUNDATIONS AND ALL NEW 4" DEEP FOUNDATIONS TO BE CONNECTED TO BEDROCK DIRECTLY WITH A MINIMUM 4-10# RE-BARS MIN. 6" INTO BEDROCK OR WITH 2-0M RE-BARS MIN. 6" INTO BEDROCK
- IF BUILDING FOUNDATION AND UPPER DECK NEW CONCRETE PIERS FOUNDATIONS CANNOT BE ANCHORED TO BEDROCK, FOUNDATION RE-DESIGN WILL BE REQUIRED SUCH THAT NO COMPONENT OF THE FOUNDATION RELIES ON UNCONSOLIDATED MATERIALS
- AS BUILT STRUCTURE TO BE VERIFIED BY AN ENGINEER CONFIRMING THAT ALL NEW CONCRETE PIERS FOR UPPER DECK, AND ALL NEW CONCRETE PIERS FOR THE ADDITION TO BE ANCHORED TO BEDROCK. ENGINEER'S REPORT MUST BE PROVIDED SUBMITTED TO CONSERVATION SUDBURY
- SEDIMENT CONTROL MEASURES TO BE USED 6" D.I.T. SOCK. [WWW.TORONTOCANADA.COM](http://WWW.TORONTOCANADA.COM) SEDIMENT CONTROL MEASURES ALONG SHORELINE TO PREVENT ENTRY OF SEDIMENT INTO THE LAKE MEASURES TO BE MONITORED AND MODIFIED TO ENSURE NO SEDIMENT ESCAPES THE SITE
- EXISTING GRADES TO REMAIN OR TO BE RE-ESTABLISHED. ALL EXTRA MATERIAL TO BE REMOVED FROM SITE
- ALL EXISTING DISTURBED VEGETATION TO BE REINSTALLED BY RE-SEEDING OR RE-CREATING AREAS OF REMOVED GRASS, AND REPLANTING ANY YOUNG TREES OR SHRUBS

**REVISED**  
PL-MV-2025-00056  
Sketch 4





MAIN FLOOR PLAN  
1116 S.F

NOTES

ENGINEER'S SEAL

No	REVISIONS	DATE
4		Oct 9 2025
5		Oct 28 2025
6		Nov 13 2025
7		Nov 14 2025
8		Nov 18 2025
9		Nov 22 2025
10		Dec 16 2025

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CLIENT(S)

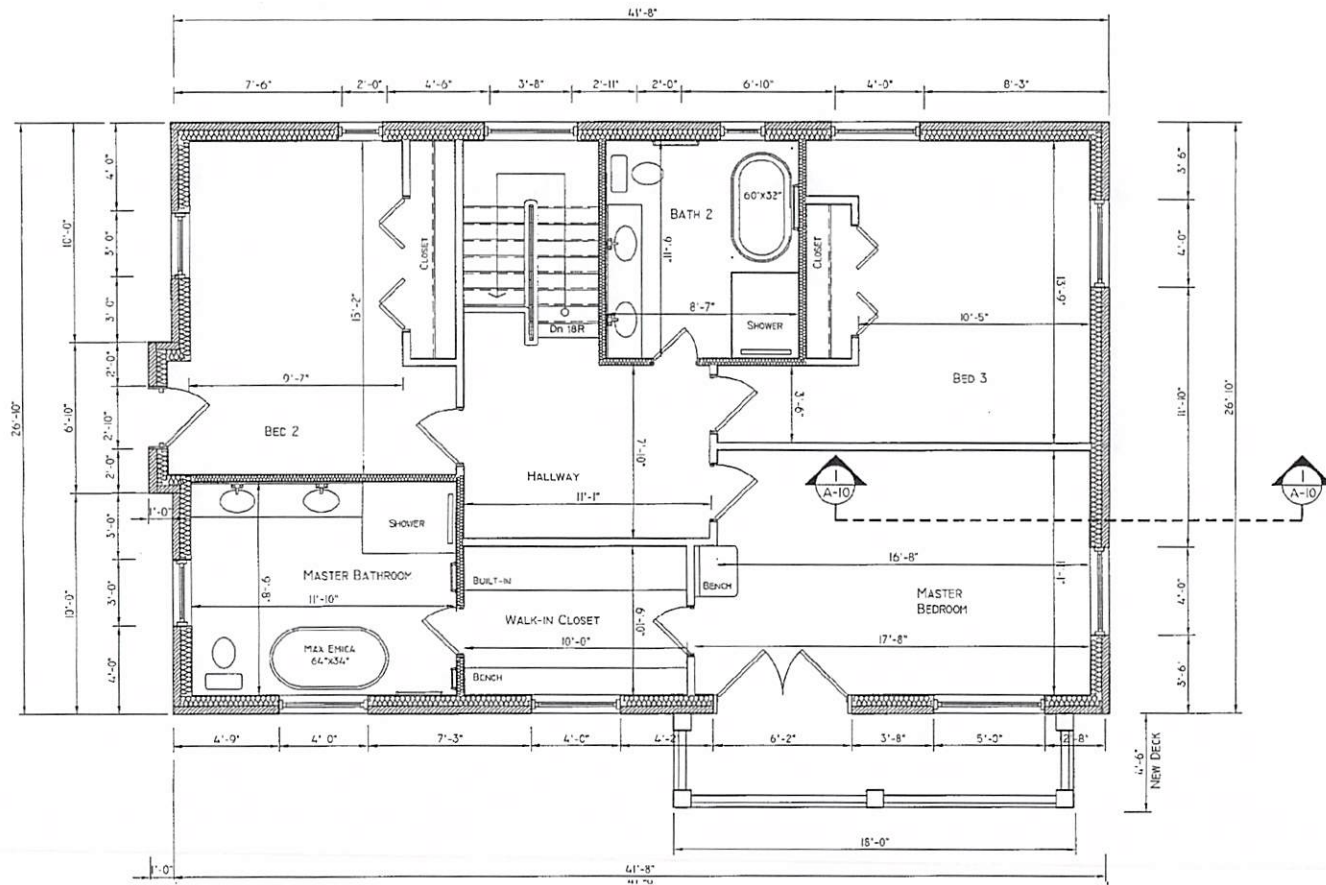
PAULINE KOSALKA  
TADEUSZ KOSALKA

Project Address

78 Indian Rd  
Sudbury, Ontario  
P3E 2M6

MAIN FLOOR PLAN

3/16" = 1'-0" <sup>Proj. No.</sup>  
Jan 2025 **A-4**



SECOND FLOOR PLAN  
1116 S.F

NOTES

ENGINEER'S SEAL

REVISIONS	DATE
4	Oct 9 2025
5	Oct 28 2025
6	Nov 11 2025
7	Nov 14 2025
8	Nov 18 2025
9	Nov 22 2025
10	Dec 16 2025

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CLIENT(S)

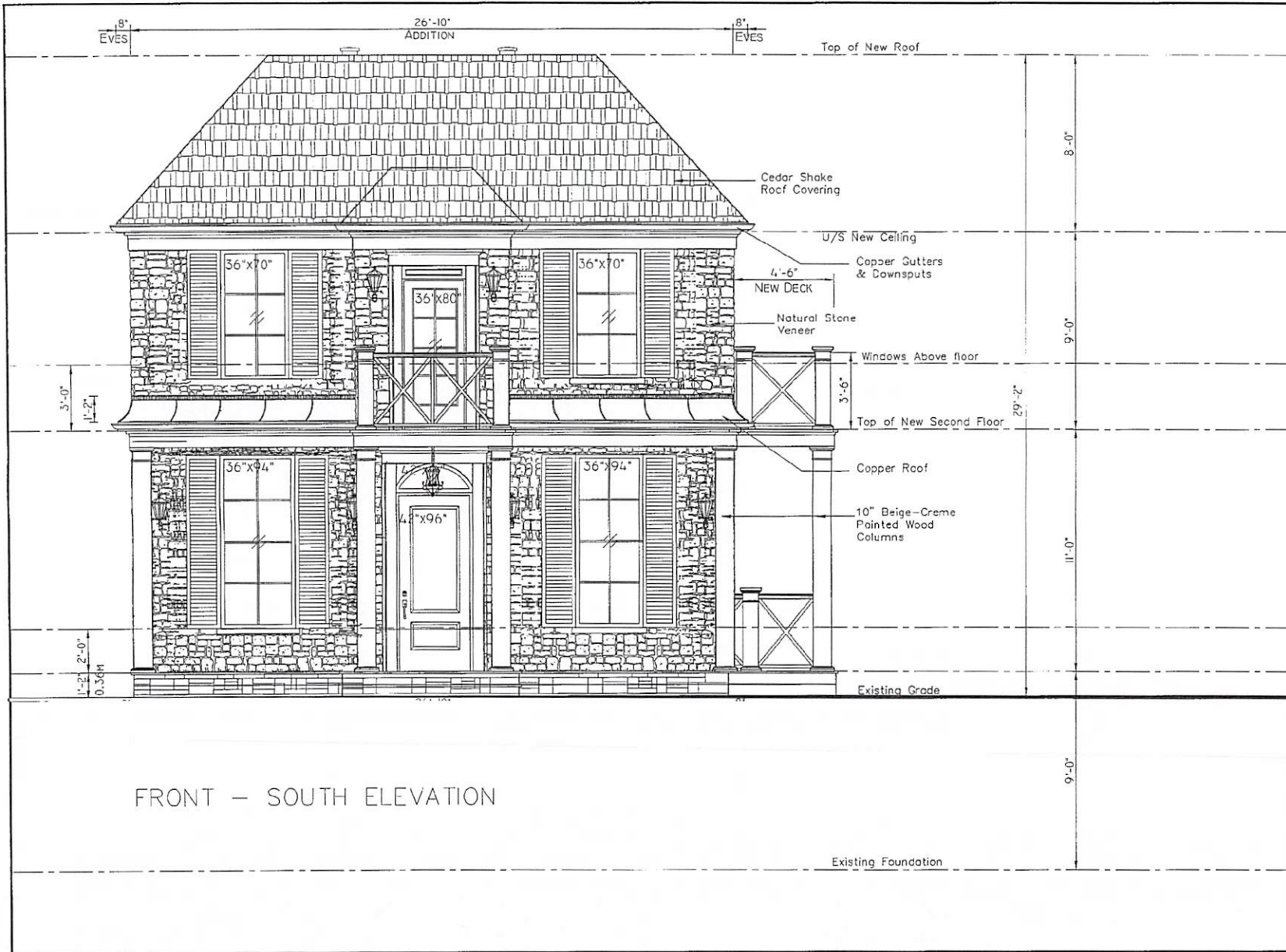
PAULINE KOSALKA  
TADEUSZ KOSALKA

Project Address

78 Indian Rd  
Sudbury, Ontario  
P3E 2M6

SECOND FLOOR PLAN

3/16" = 1'-0" Dwg. No.  
Jan 2025 A-5



FRONT – SOUTH ELEVATION

NOTES

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ENGINEER'S SEAL

REVISIONS		DATE
5	Oct 23 2025	
6	Nov 11 2025	
7	Nov 14 2025	
8	Nov 13 2025	
9	Nov 22 2025	
10	Dec 15 2025	
11	Jan 18 2026	

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CLIENT(S)

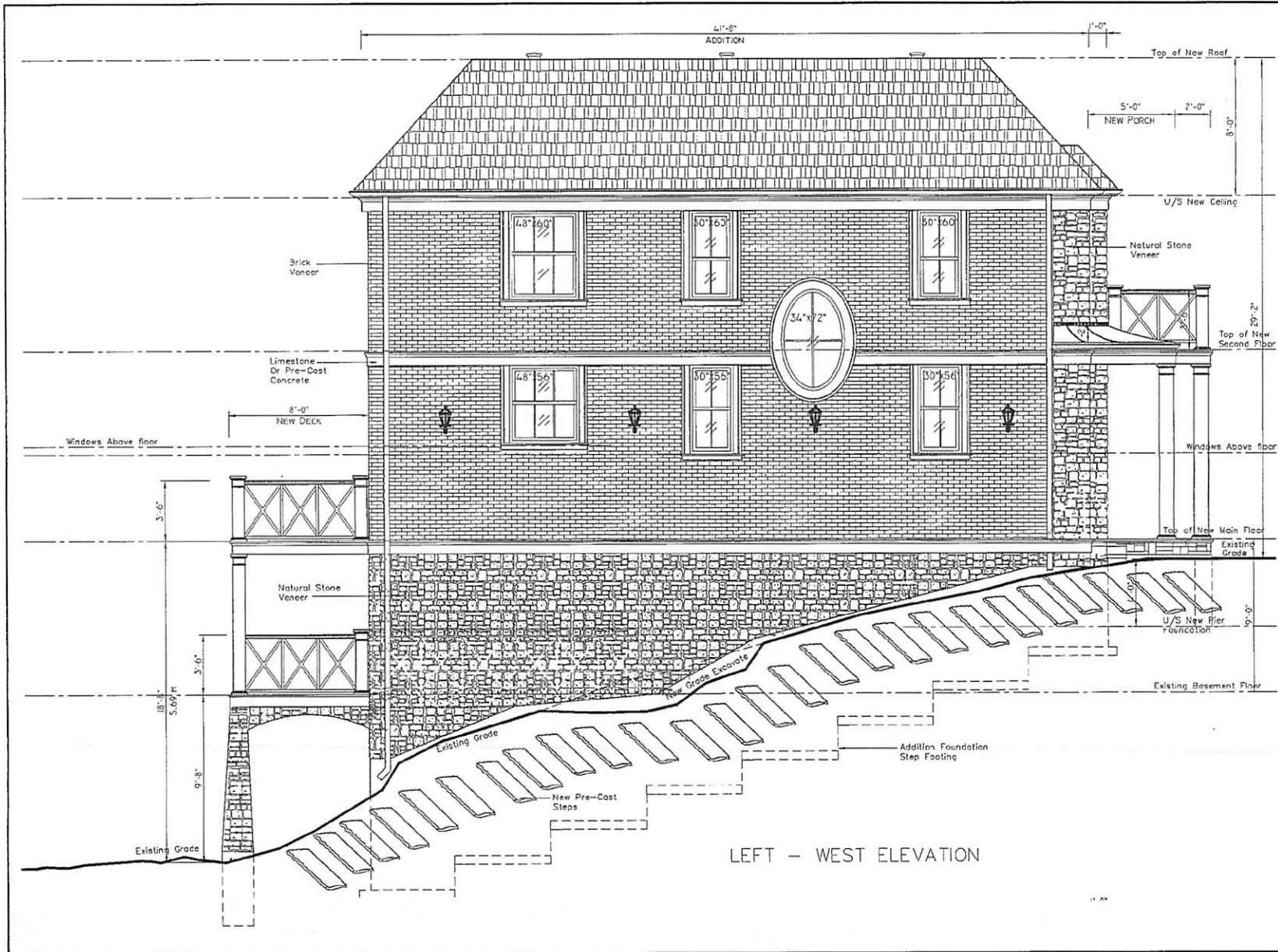
PAULINE KOSALKA  
TADEUSZ KOSALKA

Project Address

78 Indian Rd  
Sudbury, Ontario  
P3E 2M6

FRONT – SOUTH ELEVATION

1/4" = 1'-0"	Dwg. No.
Jan 2025	A-6



NOTES

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ENGINEER'S SEAL

NO.	DATE
4	Oct 9 2025
5	Oct 28 2025
6	Nov 11 2025
7	Nov 18 2025
8	Jan 18 2026

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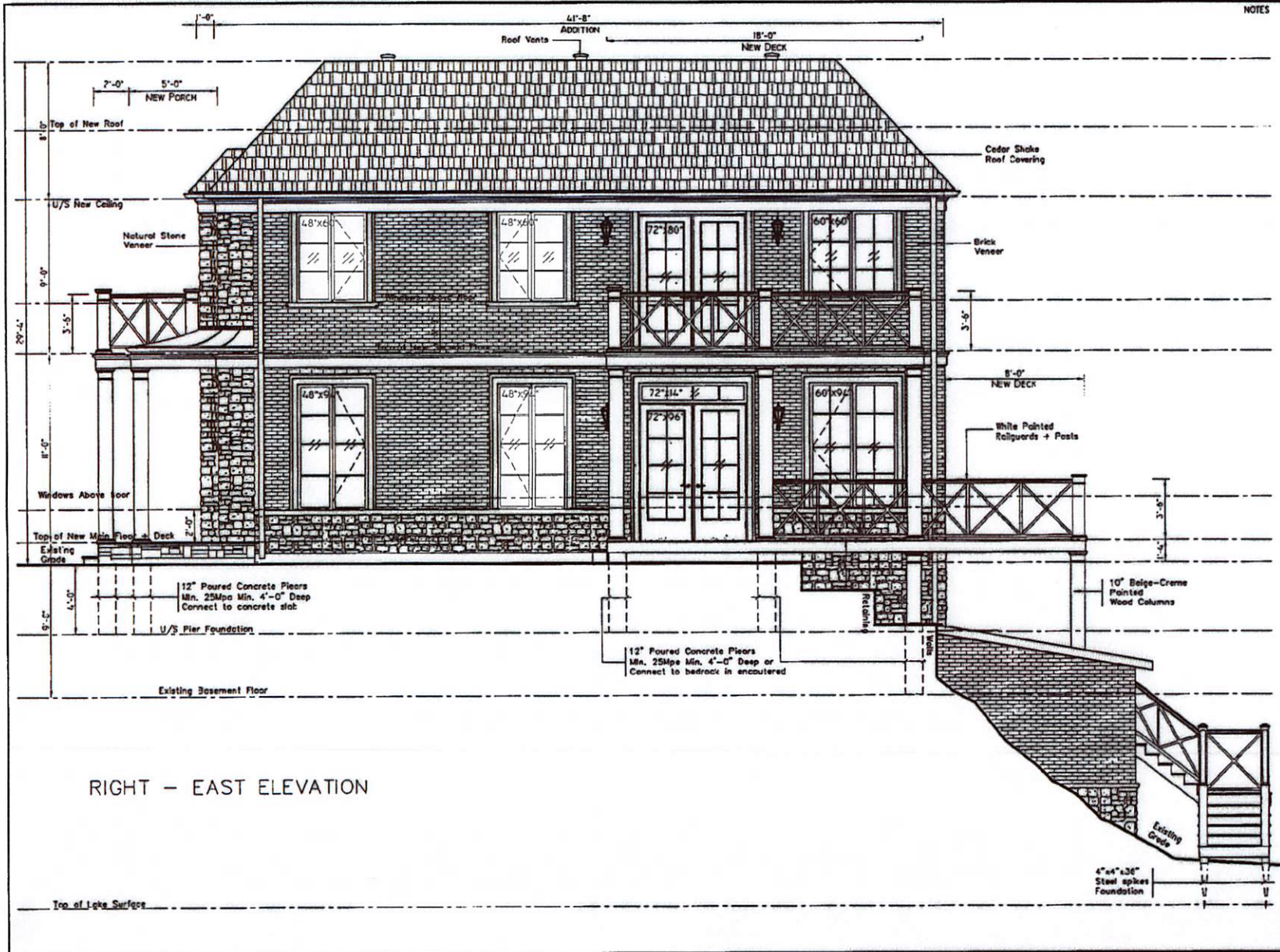
CLIENT(S)  
PAULINE KOSALKA  
TADEUSZ KOSALKA

Project Address  
78 Indian Rd  
Sudbury, Ontario  
P3E 2M6

LEFT - WEST ELEVATION  
EAST ELEVATION

3/16" = 1'-0" Dwg. No.  
Jan 2025 A-7

**REVISED**  
PL-MV-2025-00056  
Sketch 9



NOTES

ENGINEER'S SEAL

DATE	
REVISIONS	
4	Oct 9 2025
5	Oct 28 2025
6	Nov 11 2025
7	Nov 18 2025
8	Nov 22 2025

CONSULTANT/CONTRACTOR  
Lukasz Nowek

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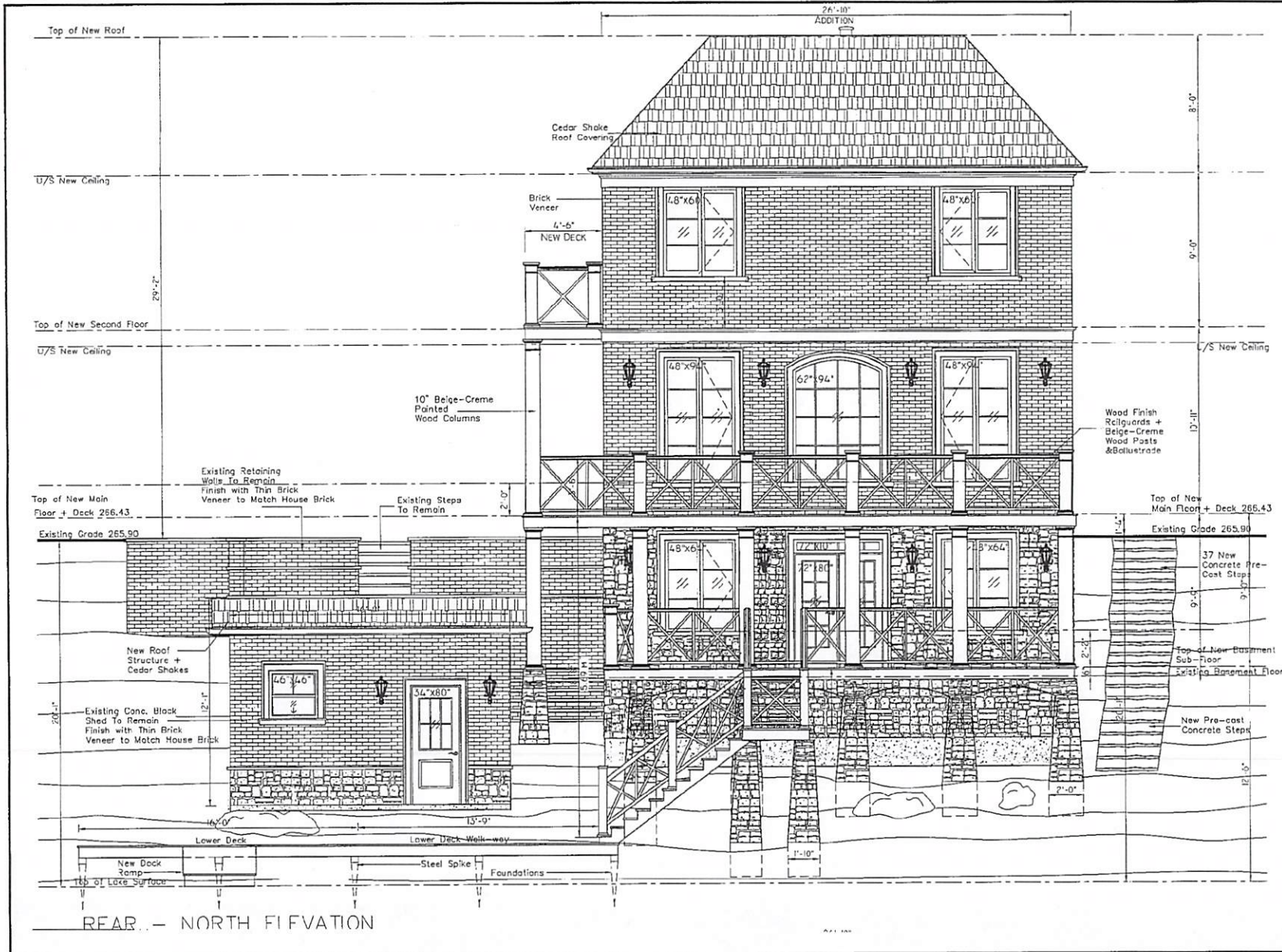
CLIENT(S)  
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TADEUSZ KOSALKA

Project Address  
78 Indian Rd  
Sudbury, Ontario  
P3E 2M6

RIGHT - WEST ELEVATION

3/16" = 1'-0" Dep. No.  
Jan 2025 A-8

REVISED  
PL-MV-2025-00056  
Sketch 10



Notes

Engineers' Seal

Revisions	
No.	Date
4	Oct 9 2025
5	Oct 28 2025
6	Nov 11 2025
7	Nov 15 2025
8	Nov 22 2025
9	Nov 28 2025
10	Dec 2 2025
11	Dec 15 2025
12	Jan 19 2028
13	Jan 23 2028

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TADEUSZ KOSALKA

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Sudbury, Ontario  
P3E 2M6

Drawing

REAR -  
NORTH ELEVATION

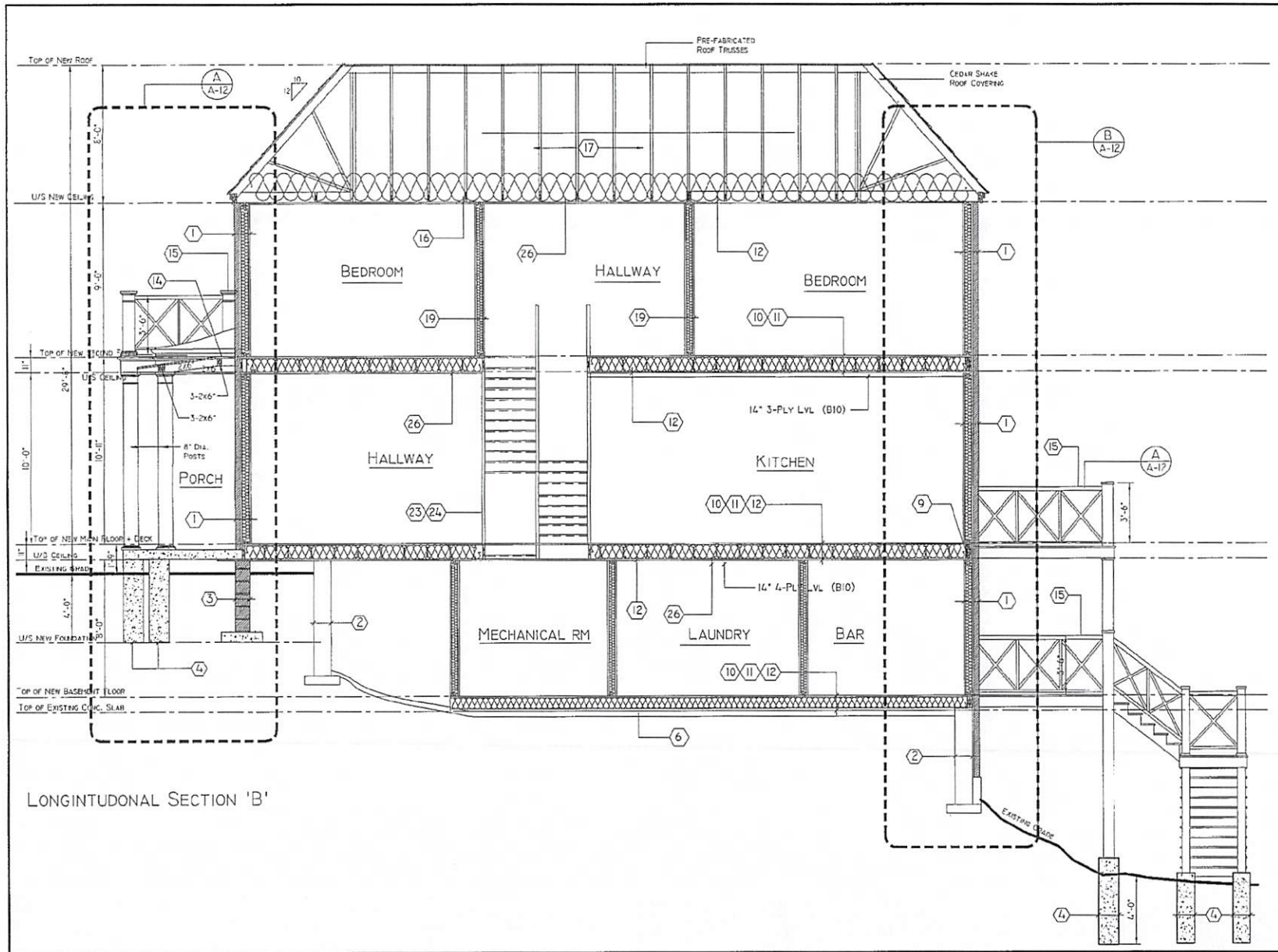
Scale 3/16" = 1'-0" Dwg No. A-9  
Date Jan 2025

REVISED

PL-MV-2025-00056

Sketch 11





Notes

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Engineers' Seal

---

Revisions	
No.	Date
1	Jan 23 2025

---

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PAULINA KOSALKA  
 TADEUSZ KOSALKA

---

Project Address

78 INDIAN RD  
 SUDBURY, ONTARIO  
 P3E 2M6

---

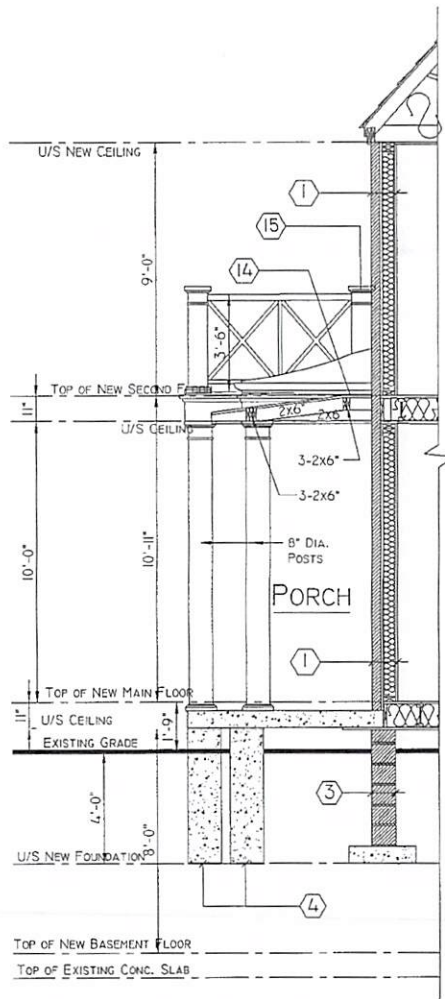
Drawing

RIGHT -  
 EAST ELEVATION

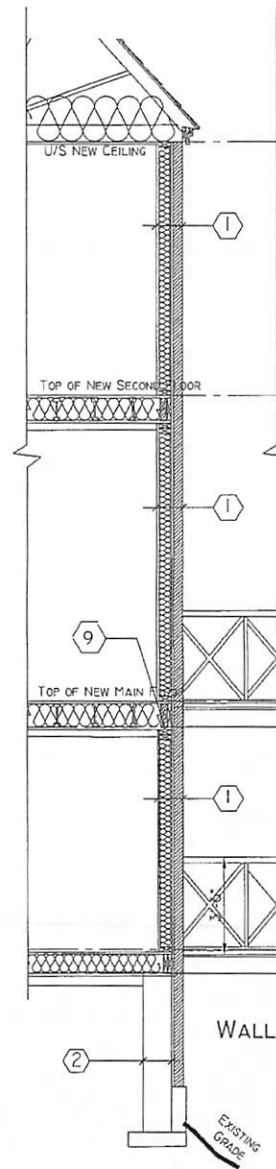
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Scale	3/16" = 1'-0"	Dwg. No.	A-11
Date	MARCH 2025		

**REVISED**  
 PL-MV-2025-00056  
 Sketch 13



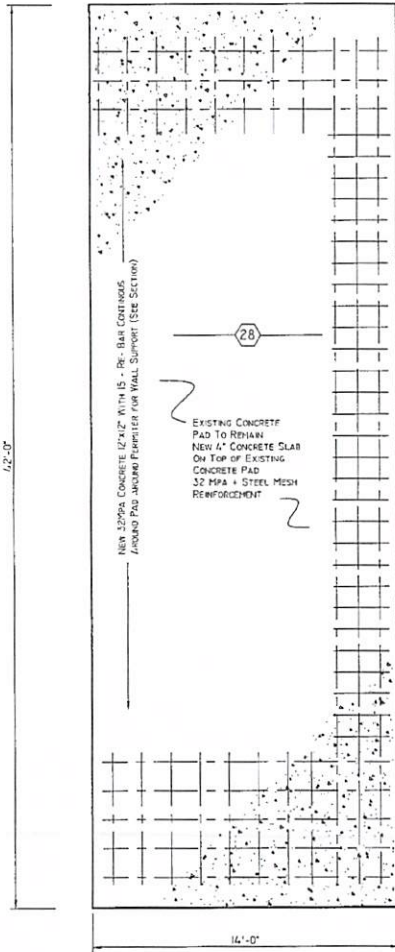
WALL SECTION 'A'



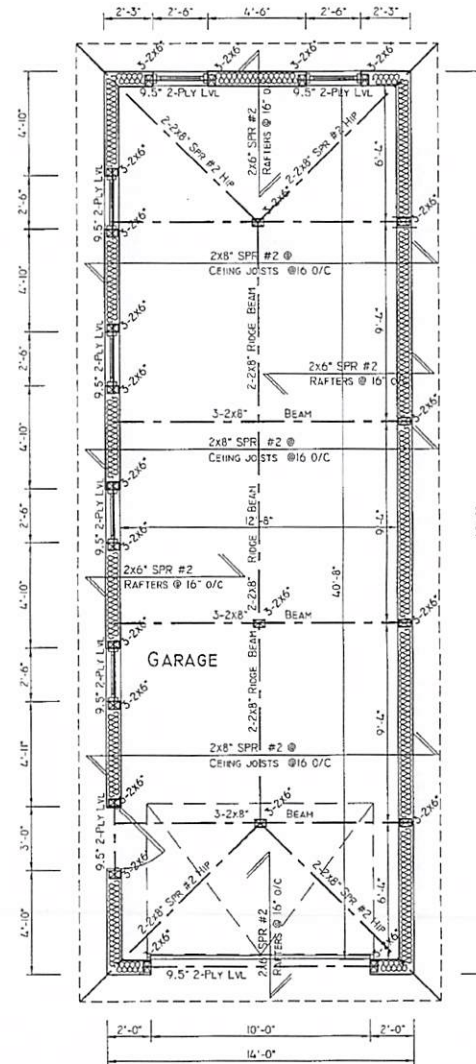
WALL SECTION 'B'

NOTES	
ENGINEER'S SEAL	
Revisions	
No.	Date
1	Jan 23 2026
Consultant/Contractor	
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Project Address	
78 INDIAN RD SUDBURY, ONTARIO P3E 2M6	
Drawing	
WALL SECTIONS	
Date	1/4" = 1'-0"
Scale	MARCH 2025
Dep. No. A-12	

**REVISED**  
 PL-MV-2025-00056  
 Sketch 14



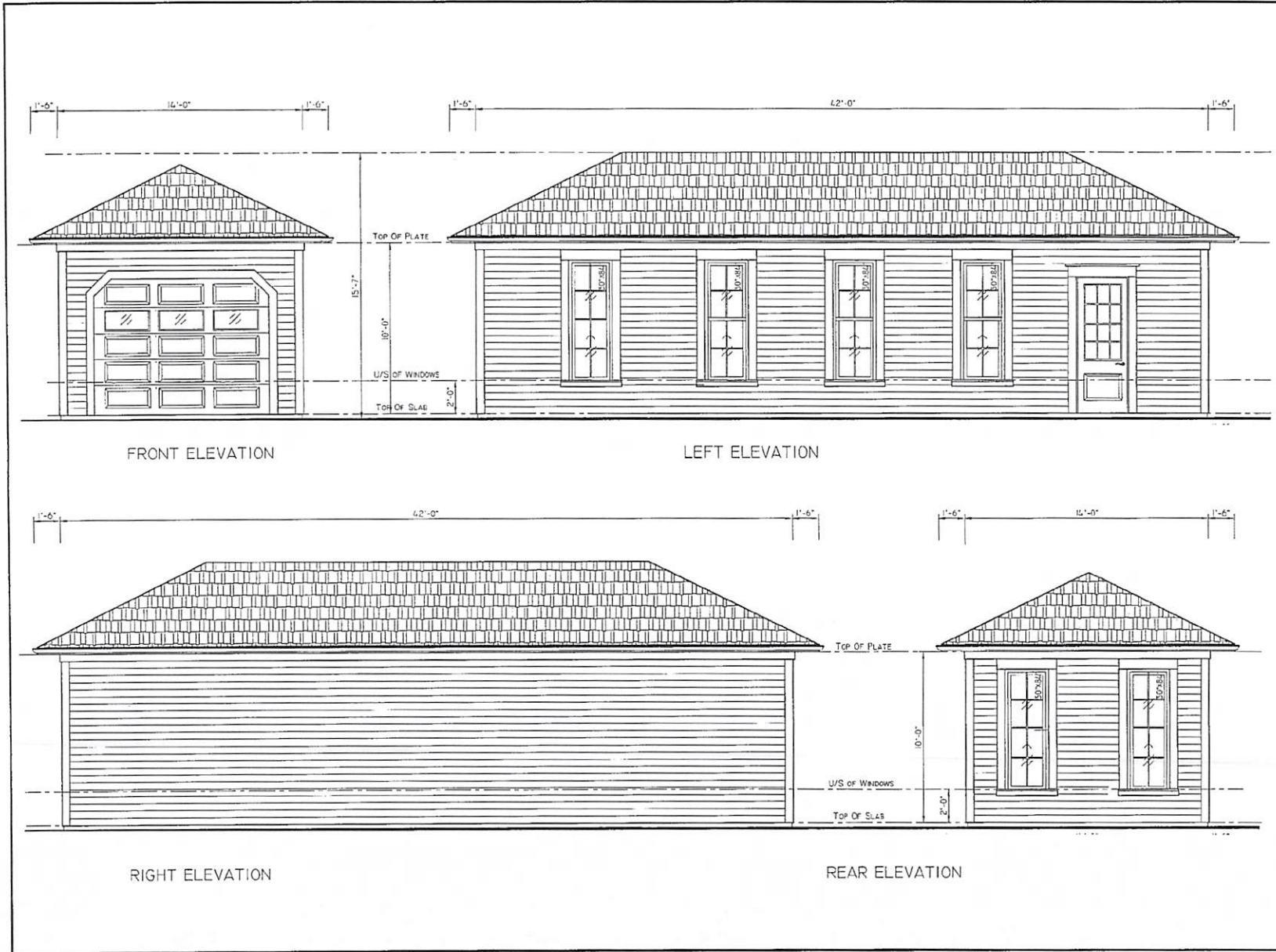
FOUNDATION PLAN



GARAGE PLAN

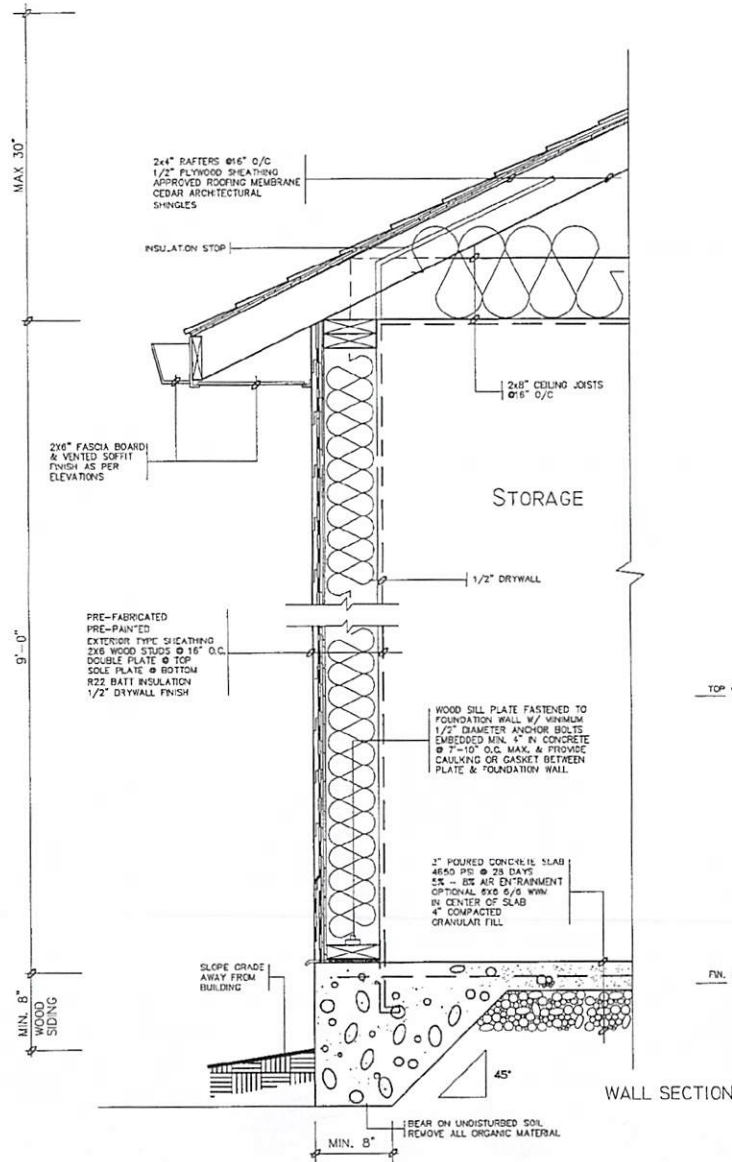
NOTES	
ENGINEER'S SEAL	
Revisions	
No.	Date
Consultant/Contractor	
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Drawn By	
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Project Address	
78 INDIAN RD SUDBURY, ONTARIO P3E 2M6	
Drawing	
GARAGE PLAN	
Date	Dwg. No.
3/16" = 1'-0"	A-13
Scale	MARCH 2025

**REVISED**  
 PL-MV-2025-00056  
 Sketch 15



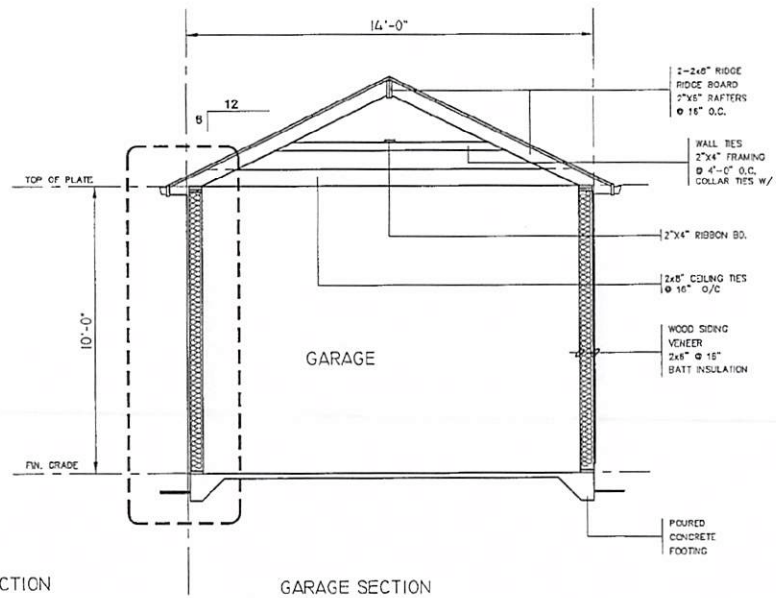
Notes	
Engineers' Seal	
Revisions	
No.	Date
Consultant/Contractor	
LUKASZ NOWEK	
Drawn By	
Lukasz Nowek Architectural Technologist ████████████████████ 420 Lolita Gardens Mississauga, Ont, L5A 2B1	
Client(s) - Owner(s)	
PAULINA KOSALKA TADEUSZ KOSALKA	
Project Address	
78 INDIAN RD SUDBURY, ONTARIO P3E 2M6	
Drawing	
GARAGE ELEVATIONS	
Scale	Dwg. No.
3/16" = 1'-0"	A-14
Date	
MARCH 2025	

**REVISED**  
 PL-MV-2025-00056  
 Sketch 10



### GENERAL NOTES

1. ALL LUMBER TO BE NO. 1&2 SPRUCE OR BETTER
2. ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE
3. ROOF LOAD DESIGN 21 LB./SQ. FT. OR 31 LB./SQ. FT.
4. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.
5. IF GARAGE WALL IS LESS THAN 2'-0" TO THE PROPERTY LINE PROVIDE 5/8" TYPE "X" DRYWALL INTERIOR SHEATHING. NO WINDOWS ARE PERMITTED IN GARAGE WALLS LESS THAN 3'-11" FROM PROPERTY LINE.
6. FOR ONE STOREY WOOD FRAME DETACHED GARAGES LESS THAN 538 SQ. FT. AN ALTERNATE FOOTING MAY BE USED, SEE DETAIL SHEET G12
7. GARAGE SLAB SHALL BE 4650 PSI CONCRETE W/ 5% - 8% AIR ENTRAINMENT SLOPED TO DRAIN TO THE OUTSIDE.
8. ROOF SHEATHING SHALL BE MIN. 5/8" PLYWOOD FOR FLAT ROOF 1/2" PLYWOOD SHEATHING FOR SLOPED ROOF



Notes

Engineers' Seal

Revisions

No.	Date

Consultant/Contractor

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TADEUSZ KOSALKA

Project Address

78 INDIAN RD  
SUDBURY, ONTARIO  
P3E 2M6

Drawing

GARAGE  
SECTIONS

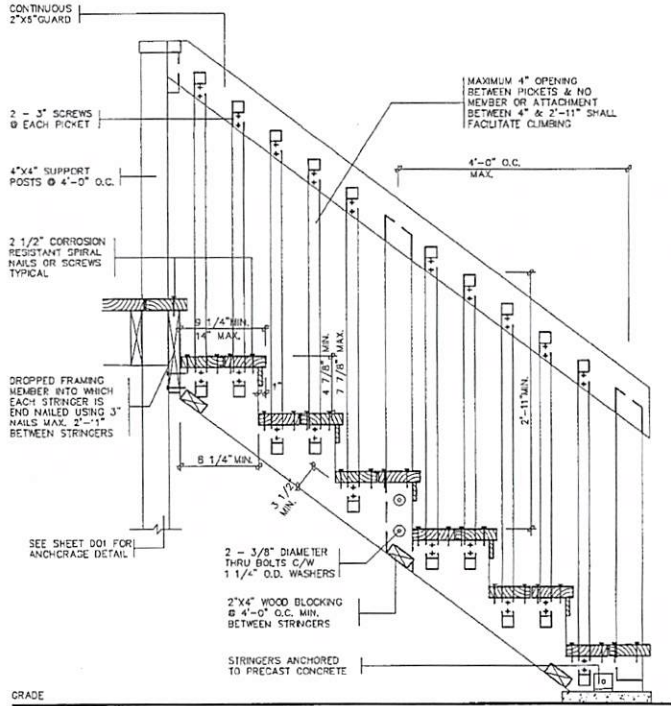
Scale 3/16" = 1'-0"

Dwg. No.

Date MARCH 2025

A-15

REVISED  
PL-MV-2025-00056  
Sketch 17



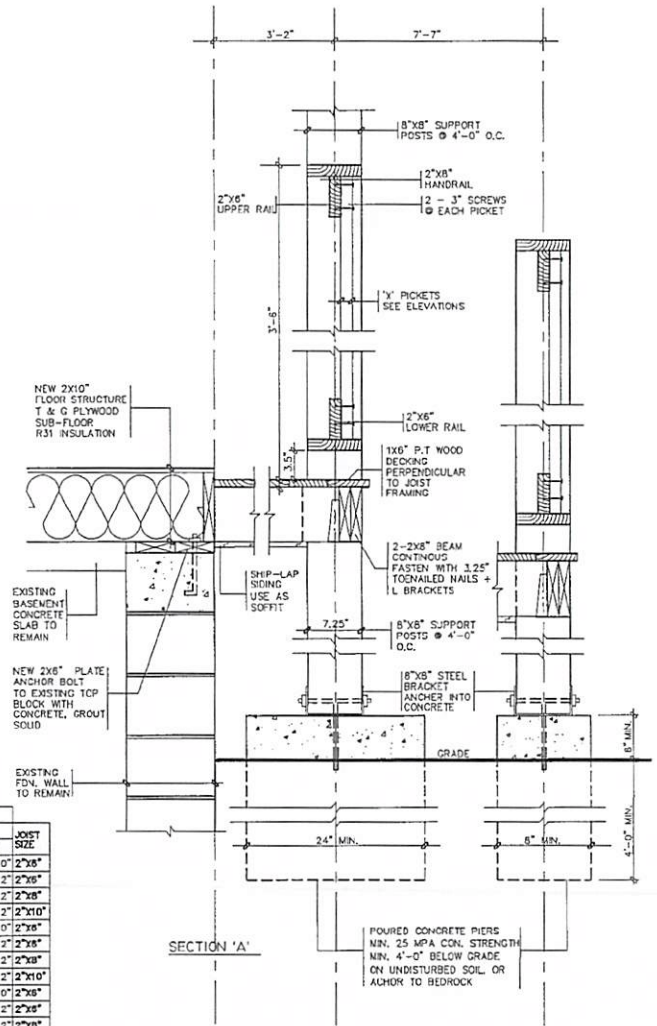
SECTION 'B'

GENERAL NOTES

1. SITE PLAN OR SURVEY IS REQUIRED SHOWING ALL LOT LINES & DIMENSIONS SIZE & LOCATION OF ALL EXISTING BUILDINGS, LOCATION & SIZE OF DECK
2. LUMBER NO. 2 SPF OR BETTER, WOOD POSTS MIN. 4x4 (SOLID), USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS.
3. ALL NEW 24"x24" PIER NEW DECK FOUNDATIONS AND ALL NEW 12" DIA. DECK FOUNDATIONS TO BE CONNECTED TO THE BEDROCK DIRECTLY WITH A MINIMUM 4-10M RE-BARS MIN. 6" INTO BEDROCK OR WITH 2-15M RE-BARS MIN. 6" INTO BEDROCK
4. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL, THE BEARING CAPACITY OF THE SOIL SHALL BE DETERMINED PRIOR TO CONSTRUCTION
5. IF NEW DECK PIER FOUNDATIONS CANNOT BE ANCHORED TO BEDROCK, FOUNDATION RE-DESIGN WILL BE REQUIRED WILL BE REQUIRED SUCH AS NO COMPONENT SUCH THAT NO COMPONENT OF THE FOUNDATION RELIES ON CRACKS/OLDATED BEDROCK
6. AS-BUILT STRUCTURE TO BE VERIFIED BY AN ENGINEER CONFIRMING THAT ALL THE CONCRETE PIERS FOR THE DECK TO BE ANCHORED. ENGINEER'S REPORT - MEMO TO BE PROVIDED - SUBMITTED TO CONSERVATION AUTHORITY

JOIST SPAN	PIER SPACING				PIER SPACING				JOIST SIZE
	4'	6'	8'	10'	4'	6'	8'	10'	
8"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
10"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
12"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
14"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
16"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
18"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
20"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
22"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"
24"	8"	10"	12"	14"	2/2"x6"	2/2"x6"	2/2"x8"	2/2"x10"	2"x8"

5. PROVIDE A HANDRAIL 31"-38" HIGH ON STAIRS IF MORE THAN THREE RISERS, PROVIDE A GUARD ON BOTH SIDES IN ACCORDANCE W/ THE DETAIL ABOVE, WHERE THE STAIR EXCEEDS 8 RISERS.



SECTION 'A'

Notes

Engineers' Seal

Revisions	
No	Date
1	Jan 23 2026

Consultant/Contractor

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Architectural Technologist

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Mississauga, Ont, L5A 2B1

Client(s) - Owner(s)

PAULINA KOSALKA  
TADEUSZ KOSALKA

Project Address

78 INDIAN RD  
SUDBURY, ONTARIO  
P3E 2M6

Drawing

**DECK SECTIONS**

Scale N.T.S. Dwg. No. A-16

Date MARCH 2025

# CONSTRUCTION SPECIFICATIONS

All construction shall conform to the current Ontario Building Code (O.B.C.) and other applicable codes and authorities having jurisdiction including including the Health and Safety Act of Ontario. All dimensions except Site Plan given in Imperial.

## 1 SIDING VENEER WALL

- 3.5" Brick and Stone Veneer  
Brick Straps 4"-3" O/C  
Brick Straps 16" -24" O/C
- Min. 7/16" Plywood (12 mm) Sheathing
- 2"x6" Wood Studs @ 16" O.C.
- R 22 (RSI 3.87) Spray - Foam Insulation in Continuous Contact w/ Exterior Sheathing  
Install Per-Manufacturer's Specifications (Certified Installer)
- Continuous Air / Vapour Barrier
- 1/2" (12mm) Interior Drywall Finish
- Double Flute @ Top
- Side Sill @ Bottom
- Connect to Pan Wall w/ 1/2" Anchor bolts  
Min 6" Long

## 2 EXISTING FOUNDATION WALLS

- 12" Existing Foundation Walls to Remain  
Connect Existing Foundation Walls  
To New Foundation Walls  
Where Existing and New Foundation Walls  
Connect. Connect with R10M Re-Bar 24" O/C

## 3 FROST FOUNDATION WALLS

- 10" 250 (mm) Paired Concrete Fdn. Wall
- 25Mpa Concrete Strength Or
- 10" 250 (mm) Concrete Block Fdn. Wall  
Fill With Mortar
- On Min. 6"x24" Concrete Footing Min. 25 Mpa
- On Undisturbed Soil or Compacted Gravel
- Consult Structural Engineer If Unstable Soil Found
- Foundation wall to extend minimum 5' 7/8"

## 4 PIER FOUNDATIONS

- ALL NEW 24"24" FOUNDATION AND 6" DIA. DECK FOUNDATIONS  
TO BE CONNECTED TO THE BEDROCK DIRECTLY WITH A MINIMUM  
4-10# RE-BARS INTO MIN. 6" INTO BEDROCK OR 2-15M RE-BAR  
6" INTO THE BEDROCK.
- IN NEW DECK CONCRETE PIER FOUNDATIONS CANNOT BE  
ANCHORED TO BEDROCK, FOUNDATION RE-DESIGN WILL BE  
REQUIRED SUCH THAT NO COMPONENT OF THE FOUNDATION  
RELIES ON UNCONSOLIDATED MATERIALS
- AS-BUILT STRUCTURE TO BE VERIFIED BY AN ENGINEER
- NEW DECK FOUNDATIONS TO BE VERIFIED BY AN ENGINEER
- AN ENGINEER'S MEMO-REPORT TO BE PROVIDED TO  
CONSERVATION SUBURBY

## 5 GRADE

- Slope Grade Away From  
Building Face

## 6 BASEMENT CONCRETE SLAB

- Casting Concrete Slab To Remain  
New 9.5" 1-joint Floor on Top 5/8" Plywood Sub-Floor  
with R-31 Batt Insulation  
R-31 Spray-Foam Insulation at Floor Overhang  
Install Per-Manufacturer's  
Specifications (Certified Installer)

## 7 BASEMENT FLOOR DRAIN

- A floor drain shall be installed in the basement,  
and connected to the sanitary sewer or septic system  
Min. 3" drain pipe w/ 1/8" per foot slope

## 8 SILL PLATES

- 2"x6" (39mmx40mm) Sill Plate Fastened  
To Foundation Wall  
Min. 1/2" (12mm) Dia. Anchor Bolts
- Embed Min. 4" in Concrete  
@ 6"-9" O/C. Max. & Provide  
Caulking or Gasket Between Plate  
& Foundation Wall

## 9 LEVELING OF SILL PLATES

- Sill plates shall be leveled by setting them on a full  
fill bed of mortar, or laid directly on the foundation  
where the top of the foundation is level.
- Level to be adjusted by tightening or loosening the  
nuts on the anchor bolts & wood shims.  
Foundation shall be sealed in with non-shrink grout

## 10 FLOOR CONSTRUCTION

- 3/4" (19mm) O.S.B Board or Equivalent Subfloor  
Glued and Nailed to
- 2.5" Joists @ 16" O/C or Equivalent  
Bracing as Shown on Plan

## 11 FLOOR INSULATION

- Continuous Hoarder Joist With  
R 22 (3.52 R.S.I) Spray- Sound Insulation  
Spray Insulation - Wall Pocket

## 12 CEILING CONSTRUCTION

- Handframed Ceiling Structure (See Framing Plans)
- 1/2" (12mm) Interior Drywall Finish  
Continuous Air / Vapour Barrier  
w/ Minimum R50 Insulation

## 13 ROOF CONSTRUCTION & ROOFING

- Cedar Shake Shingles or Composite Roofing System  
Install According to Manufacturer's Specifications
- Min. 1/2" O.S.B or Plywood
- Handframed Roof Structure (See Framing Plans)
- Fasteners for Roofing Shall Be Corrosion Resistant  
Roofing Nails Shall Penetrate Through at least 1/2"  
into the Sheeting
- Every Asphalt Shingle Shall Be Fastened With At  
Least 4 Nails
- Eave Protection Shall Extend 2'-11" Up the Roof  
Slope From the Edge, And at 11-3/4" From  
the Inside Face of the Exterior Wall, and Shall  
Consist of Type III or Type S Roll Roofing Laid  
With Minimum 4" Head and Laps Cemented  
together Or Glass Fibre or Polyester Fibre Coated  
Rose Sheela, or Self-Sealing Composite  
Membranes Consist of Modified Bituminous  
Coated Material.
- Open Valleys Shall Be Flashed With 2 Layers of  
Roll Roofing With Exterior Walls and 5/8" Wide
- Flashing Shall Be Provided At The Intersection of  
Shingle Roof With Exterior Walls
- Sheet Metal Flashing Shall Consist of Not Less Than  
1/16" Sheet Lead, 0.013" Galvanized Steel, 0.0318"  
Copper, 0.0016" Zinc, Or 0.0019" Aluminum

## 14 FLAT ROOF/BALCONY

- Finish P.T Decking - Permitted
- 3/4" x 2" STRIPS - Perpendicular  
NO RUBBERSEAL EPDM FLAT ROOFING SYSTEM  
Or Equivalent
- 5/8" T&G O.S.B SHEATING
- 2x8" SPRK JOISTS @ 16" O/C over Conc. Patch

## 15 BALCONY GUARDRAILS

- Wood Guardrail System
- 3'-0" high at Balconies 30" Above Ground
- 3'-6" high at Balconies 5'-11" Above Ground

## 16 ATTIC ACCESS

- Provide Attic Access  
Min. 20" x28" W/Insulation  
& Weather Stripping

## 17 ROOF VENTILATION

- 1:300 Of The Insulated Ceiling  
Area Uniformly Distributed
- Roof Vents Shall Be Uniformly Distributed And  
Designed To Prevent The Entry Of Rain, Snow Or

## 18 OVERHANG CONSTRUCTION

- Prefinished Aluminum Fascia  
Eaves trough & Rain Water Leaders  
To Match Existing Finishes, Provide  
Drip Edge At Fascia & Vented Soffit  
Extend Downspouts To Ground Level

## 19 INTERIOR STUD PARTITION

- 2"x4" Wood Studs @ 16" O.C.
- Single Top Plate, Single Bottom Plate
- Sound - Batt Insulation

## 20 INTERIOR STUD PARTITION

- 2"x6" Wood Studs @ 16" O.C.
- Single Top Plate, Single Bottom Plate
- Sound - Batt Insulation

## 21 BATHROOM PARTITIONS

- All Etbroom Partitions To Be Finished  
With Greenboard in Bathrooms
- All Shower Areas To Be Finished  
With An Approved Waterproof Board
- SoundProof Insulation in All Bathroom Partitions

## 22 HALF WALLS

- Double Wall 3/8" High  
2" X 4" Wood Studs @ 15" O.C.
- Double Top Plate, Single Bottom Plate
- 1/2" Drywall Finish Both Side Of

## 23 STAIRS

- Maximum Rise 7 7/8"
- Minimum Rise 4 7/8"
- Minimum Run 8 1/4"
- Minimum Tread 9 1/4"
- Minimum Head Room 6' 5"
- Minimum Width 2' 10" <sup>5 7/8" at</sup> <sub>7 7/8"</sub>
- Curved stairs shall have a min. run of 7 7/8"  
any point and a minimum average run of
- Winders which converge to a point in steps shall  
turn through an angle of no more than  
no less than 30° for more than 45° per landing. Sets  
of winders must be separated by 3' 11"  
run of the stair
- A landing minimum 2' 1" in length is required  
at the top of any stair leading to the principal  
entrance to a dwelling, and other entrances with  
more than 3 risers
- Exterior concrete stairs with more than  
require foundations

## 24 HANDRAILS AND GUARDS

- A handrail is required for interior stairs  
containing more than 2 risers and exterior stairs  
containing more than 3 risers
- Guards are required around every accessible  
surface which is more than 23 5/8" above the  
adjacent level
- Interior and exterior guards min. 2' 11" high.  
Exterior guards shall be 3' 5" high where height  
above adjacent surface exceeds 5' 11"
- Guards shall have no openings greater than  
and no member between 4" and 2' 11" that will  
facilitate climbing

## MECHANICAL VENTILATION

## 25

- Provide Min. 1 Air Change  
Per Hour in Rooms Specified  
To Be Mechanically Vented
- 80 Cfm For Bath Primary Vents

## 26 SMOKE ALARMS, C.O DETECTORS, STROBES

- At least one smoke alarm shall be installed on or  
near the ceiling or each floor and basement level  
2' 11" or more above an adjacent level
- Smoke alarms shall be interconnected and  
located such that one is within 16' 5" of every  
bedroom door and no more than 45' 3" travel  
distance from any point on a floor
- A carbon monoxide detector shall be installed on  
or near the ceiling in every room containing a  
solid fuel burning fireplace or stove
- Smoke Alarms and C.O detectors to be fitted with  
approved Strobe Lights for the hearing impaired.
- Smoke Alarms and C.O detector combos to be fitted  
approved Strobe Lights for the hearing impaired.

## 27 WEATHERPROOFING

- Ducts Passing Through Unheated Space Shall Be  
Made Airtight With Tape or Sealant And Insulated  
With Minimum R12 Insulation
- Caulking Shall Be Provided for all Exterior Doors  
And Windows Between The Frame and Exterior  
Cladding
- Weatherstripping Shall Be Provided on All Doors  
And Access Hatches To The Exterior, Except Doors  
From a Garage To the Exterior
- Exterior Wall, Ceiling and Floors Shall be  
Constructed So As to Provide a Continuous Barrier  
To The Passage of Water Vapour From The Interior  
And To The Leakage of Air From The Exterior

## 28 GARAGE CONCRETE SLAB

- 4" (100mm) Paired Concrete Slab
- 32Mpa Conc. Strength 5-8% Air Entrapment
- 6" (150mm) Crushed Stone Below

WOOD LINTELS	
(L1)	3-2x10 SPRUCE
(L2)	1-11.88" LVL 2.0E
(L3)	2-11.88" LVL 2.0E
(L4)	3-11.88" LVL 2.0E

NOTES.

REVISIONS (S)

NO.	DATE
1	JAN 23 2026
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STAMP (S)

OWNER (S)

PROJECT NAME/ADDRESS

DESIGN BY:

LUKASZ NOMEK - ARCHITECTURAL TECHNOLOGIST  
420 LOUTA GARDENS, MISSISSAUGA, ONTARIO

DWG. TITLE:

CONSTRUCTION  
SPECIFICATIONS

SCALE: N.T.S

DRWG. NO.

DATE: MARCH 2025

A-17

REVISED

PL-MV-2025-00056

Sketch 19

**GENERAL NOTES**

All construction shall conform to the current Ontario Building Code (O.B.C.) and other applicable codes and authorities having jurisdiction including including the Health and Safety Act of Ontario. All dimensions except Site Plan given in Imperial

**SOIL REPORT**

- Soil bearing capacity to be confirmed by Contractor prior to construction

**EXCAVATION AND BACKFILL**

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material
- If termites are known to exist, all slumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

**CONCRETE**

- Unless specified elsewhere the compressive strength of unreinforced concrete shall not be less than 20 Mpa (2900 psi) after 28 days
- CARAGE, CARPORTS and exterior slabs and exterior flat work including footing shall not be less than 32Mpa (4650 psi) with 5 to 8 percent air-entrainment 100mm 4" thick on 4" on 100mm 4" course, clean granular material
- Concrete slabs in attached or built-in garages shall be sloped to drain liquids to the exterior outdoors.
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support
- Provide hand-braking material between concrete floor slab and flashing or foundation wall
- Where dampproofing is not provided the concrete used for floors-on-ground shall have a compressive strength of not less than 25 Mpa (3600 psi) after 28 days

**FOOTINGS**

- All footing shall rest on undisturbed soil, or compacted granular fill with bearing pressure of 120 Kpa (2500 psi) or greater for buildings of wood frame and masonry construction (see soil report where applicable)
- Minimum 20 Mpa (2900 psi) after 28 days
- Minimum 1.2m 48" below finished grade, adjust to site conditions if deeper footing required for frost protection

**FOOTING SIZE**

- Footing sizes according to current O.B.C. adjusted, and engineered to site conditions, building type and size.

Floors Supported	Supporting Ext. Wall	Supporting Int. Wall	Column Area
1	9 7/8"	9 7/8"	4.3 ft <sup>2</sup>
2	13 3/4"	13 3/4"	8.1 ft <sup>2</sup>
3	17 3/4"	19 3/4"	10.9 ft <sup>2</sup>

- Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry
- The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness

**STEP FOOTINGS**

- Vertical Rise  
23 5/8" Max. for firm soils  
15 3/4" Max. for sand or gravel  
Horizontal Run = 23 5/8" Min.

**PIER FOUNDATIONS**

- ALL NEW 24"24" FOUNDATION AND 4" DIA. DECK FOUNDATIONS TO BE CONNECTED TO THE BEDROCK DIRECTLY WITH A MINIMUM 4-12M RE-BARS INTO MIN. 6" INTO BEDROCK OR 2-15M RE-BAR 5" INTO THE BEDROCK
- IN NEW DECK CONCRETE PIER FOUNDATIONS CANNOT BE ANCHORED TO BEDROCK, FOUNDATION RE-DESIGN WILL BE REQUIRED SUCH THAT NO COMPONENT OF THE FOUNDATION RELIES ON UNCONSOLIDATED MATERIALS
- AS-BUILT STRUCTURE TO BE VERIFIED BY AN ENGINEER
- NEW DECK FOUNDATIONS TO BE VERIFIED BY AN ENGINEER
- AN ENGINEER'S MEMO-REPORT TO BE PROVIDED TO CONSERVATION SUBURBY

**FOUNDATION WALLS**

- Exterior foundation wall shall extend minimum 6" above finished ground level
- Typical 8" poured concrete foundation walls 20Mpa that are lathery supported at the top having a height of 8'-0" -9'-0" will have a maximum finished ground height of 7'-6"
- Walls 10'-12" poured concrete 20Mpa that are lathery supported at the top having a height of 8'-0" -9'-0" will have a maximum finished ground height of 8'-6"
- Any wall that are not typical and not covered by current O.B.C. shall be designed by a structural engineer
- Foundation walls shall be braced or have the floor joists installed before backfilling

**FLASHING**

- Flashing shall be installed in masonry and masonry veneer walls, beneath painted masonry window sills, over the back and top of parapet walls, over the heads of glass block panels, beneath weep holes, and over the heads of window and door openings in exterior walls when the vertical distance between the top of a window or door frame and the bottom edge of the eave exceeds one-quarter of the horizontal eave overhang

any moisture that accumulates in the air space will be directed to the exterior of the building.

- Joints in flashing shall be made watertight.
- DOWNSPOUTS**  
Throughwall flashing shall be provided in a masonry veneer wall such that where downspouts are provided and are not connected to a sewer, extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

**SURFACE DRAINAGE**

The building shall be located or the building site graded so that water will not accumulate at or near the building and will not adversely affect adjacent properties.

**LINTELS AND ARCHES**

- Masonry over openings shall be supported by steel, reinforced concrete lintels or masonry arches designed to support the imposed loads.
- Steel angle lintels supporting masonry above openings shall conform to Table 9.20.5.2.A.
- Steel angle lintels supporting masonry veneer above openings shall conform to Table 9.20.5.2.B.
- Steel lintels shall, have even and level bearing and shall have not less than have even and level bearing and shall have not less than 150 mm of length of bearing at end supports, and bear on masonry, concrete or steel
- Steel angle lintels supporting masonry shall be primed or painted or otherwise protected from corrosion.
- Steel beams supporting masonry veneer and wood stud walls above above openings shall conform to Table 9.20.5.2.C.
- Steel beams described in shall be supported at each end by a steel column, and have a minimum 5 mm plate welded to the flange to support masonry veneer.

**STRENGTH AND RIGIDITY OF STRUCTURAL MEMBERS**

All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.

**WOOD FRAME CONSTRUCTION**

- All Engineered Wood Framing & Trusses According To Approved Manufacturer's Specifications
- All framing lumber to be no.1 and no.2 spf unless noted otherwise maximum moisture content 19% at the time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6mil polyethylene
- Joists to have min. 1-1/2" (38mm) end bearing Beams to have min. 3-1/2" (89mm) end bearing
- Double studs at openings
- All Wood Posts To Be Piked with Blocking Between subfloor and basement walls minimum same size or larger than post
- Double rim joists which support lintels in ext. walls
- Double header joists around floor openings When they are between 3'-11" and 10'-6"
- Double trimmer joists when header joists length is between 2'-7" and 5'-7"
- Double joists under parallel partitions
- Beams to be placed under loadbearing wall when wall is parallel to floor joists beam may be a max 24" from a loadbearing wall when that wall is perpendicular to floor joists
- All Built-Up Beams Assembled With 3-1/4" Spiral Nails @ 6" O/C
- Metal hangers to be used for joists and beams when they frame into sides of beams, trimmers and headers
- All Metal Connectors Simpson or Equivalent For Joist And Beam Installation
- Floor joists supporting roof loads shall not be cantilevered more than 16" beyond supports for 2x6"
- Floor joists supporting roof loads shall not be cantilevered more than 24" beyond supports for 2x4" or larger
- Double Jack Posts at All Openings Triple Jack Post: at All Openings at High Walls
- All High Walls 2x6" Studs @12" O.C 2x6" Blocking @ 4'-0" O.C

**NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS**

- Holes in floor, roof and ceiling members to be the maximum 1/4 x actual depth of member and not less than 2" from edges
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2 actual depth from the edge of bearing and not greater than 1/3 joist depth
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" non-load bearing
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design
- All bedrooms to have a minimum 5% minimum unobstructed glass area.

**WOOD MEMBER CONNECTIONS**

- Use Simpson or Equivalent Metal Connectors for all Wood Member Connections
- Use 3.25" Galvanized Spiral Nails + Wood 1-Joists & Truss Manufacturer's Recommended Fasteners

**EGRESS**

- Travel from a floor level to an exit or egress door shall be limited to one floor except: where that floor level has access to a balcony or
- Where that floor level has a window providing an unobstructed opening of not less than 3'-3" (1.0m) IN height 21 5/8" (550mm) in width such window shall be located so that the sill is not more than 3'-3" (1.0m) above floor and 23'-0" (7.0m) Above adjacent ground level

**WOOD BEAM AND COLUMN ASSEMBLY**

- 3 Rows of Common Nails (15d) Various Lengths Depending On Column Or Beam
- WOOD BEAMS TO FDN. WALL CONNECTIONS**  
Toe Nail to Sill Plate W/ 3.25" Galvanized Nails @ 8"(200mm) O/C - Staggered Min. 2" (50mm) From Edge Min. 4 Nails On Each Side

**PROTECTION FROM DAMPNESS**

- Wood framing members that are not pressure-treated with a wood preservative and that are supported on concrete in contact with the ground or fill shall be separated from the concrete by not less than 0.05 mm polyethylene film or Type S roof roofing. Dampproofing material is not required where the wood member is at least 150 mm 6" above the ground.

**COLUMNS, BEAMS & LINTELS**

- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2" in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads

**WALL SHEATHING**

- All wall sheathing to be 7/16" OSB or Plywood unless specified otherwise
- Wall sheathing to be fastened to exterior 2x6" stud walls with 3-1/4" spiral construction nails @ 12" O/C
- Exterior walls and gable ends shall be sheathed when the or if the exterior cladding requires solid backing.

- All wall sheathing shall conform to Table 9.23.16.2.A, or exterior cladding requires intermediate fastening between supports Table 9.23.16.2.B. Current!

**JOIST INSTALLATION**

- Joist To Sit on Top of Perimeter Sill Plate & 2x6" Plate Mounted to Top of Beam
- Fasten 2x6" Plate to Top Flange with 2" Concrete/Steel Nails @ 8" O/C Staggered, Minimum 2" from Edge

**FLOORS STRUCTURE**

- Joists to have minimum 1 1/2" of end bearing
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7' 10" o.c
- Header joists between 3' 11and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations
- Trimmer joists shall be doubled when supported header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7"
- 2x2 cross bridging required not more than 5' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Joists located under parallel non-loadbearing partitions shall be doubled

**STUD WALL REINFORCEMENT**

- Reinforce The Studs in All Shower & Bath/Tub and Toilet Locations Locations To 12" O/C To Permit Future Installation of a Grab Bar

**MAIN DOOR**

- Main Door To Be Operable From Inside W/O Key Provide a viewert with viewing angle of not less than a 100 deg. unless glazing is provided in door or side light if present

**ROOF SHEATHING**

- All roof sheathing to be 1/2" S.P.F Plywood + 1/2" H clips unless specified otherwise
- Panel type sheathing shall be applied so that the joints perpendicular to the roof ridge are staggered
- A gap not less than 2mm shall be left between Plywood panels

NOTES.

**REVISIONS (S)**

NO.	DATE
1	Jan 23 2026
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**STAMP (S)**

OWNER (S)

PROJECT NAME/ADDRESS

Drawn by:  
LUKASZ NOMEK - ARCHITECTURAL TECHNOLOGIST  
420 LOUITA GARDENS, MISSISSAUGA, ONTARIO

DWG. TITLE.

**GENERAL NOTES**

SCALE: N.T.S

DATE: MARCH 2025

Dwg. No.  
**A-18**

**REVISED**

PL-MV-2025-00056

Sketch 



