

Tom Davies Square
200 Brady St

Thursday, April 13, 2023

PUBLIC HEARINGS**A0020/2023****TREVOR FERA
ALISON FERA**

Ward: 11

PIN 73559-0114, Parcel 44400, Part Lot 9, Concession 2, Parts 3, 4, 7 and 8, Plan 53R-7096, together with Part 1, Plan 53R-16903 as in LT919152, Township of Neelon, 535 Moonlight Beach Road, Sudbury, [2010-100Z, R1-1(6) Low Density Residential One]

For relief from Part 4, Section 4.2, subsections 4.2.3 and 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a garage providing, firstly, an accessory lot coverage of 11%, where the total lot coverage of all accessory buildings and structures on a residential lot shall not exceed 10%, and secondly, a maximum height of 6.9m, where the maximum height of any building or structure accessory to a residential dwelling shall be 5.0m.

A0027/2023**MELISSA ARSENAULT**

Ward: 8

PIN 73566-0609, Parcel 37690 SEC SES SRO, Lot 140, Plan M-399, Part Lot 11, Concession 6, Township of Neelon, 28 Berkley Court, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage with secondary dwelling unit providing a maximum height of 7.3m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0028/2023**2313745 ONTARIO INC**

Ward: 12

PIN 02131-0055, Lot 330, Plan 18-S, Part Lot 5, Concession 4, Township of McKim, 242 Dell Street, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 6, Section 6.3, Table 6.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, in order to legalize an existing multiple dwelling as a fourplex providing a minimum lot area of 105.32 sq.m. per unit, where 140.0 sq.m. per unit is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A0002/1999 (JAN 25/99)
AND A0407/1965 (NOV 29/65).

A0029/2023

DAVID COLUSSI

Ward: 9

PIN 73472-0134, Parcel 25684 SEC SES SRO, Lot 43, Plan M-480, subject to LT123422, Lot 12, Concession 2, Township of Broder, 2728 South Shore Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 4, Section 4.2.5, Table 4.1, Section 4.25.1, Section 4.41.2 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit an addition with attached garage and two decks to the existing single detached dwelling on the subject property providing, firstly, an uncovered deck to encroach 0.13m into the required interior side yard, where uncovered decks greater than 1.2m in height may encroach 1.2 m into the required interior side yard but no closer than 1.2m to the interior side lot line, secondly, an increase in gross floor area of a legally existing building of 142.3 sq.m., where enlargement, reconstruction, repair and/or renovation shall not increase the gross floor area of a legal non-complying building located within the minimum required interior side yard setback, thirdly, providing a 29.25m high water mark setback for the two storey addition and maintaining the 26.0m highwater mark setback for the existing single detached dwelling, where no person shall erect any residential building closer than 30.0m to the high water mark of a lake or a river, fourthly, a minimum interior side yard setback of 1.13m for the two storey addition and 0.87m for the two storey covered deck with eaves encroaching 0.6m into the proposed 0.87m interior side yard setback, where 1.8m is required, and where eaves may encroach 0.6m into the required interior yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0144/1977 (MAY 30/1977)

A0030/2023

**SANDRA RAMALHO
BRIAN OICKLE**

Ward: 11

PIN 73582-0041, Parcel 11003 SEC SES, Lot 137, Plan M-131, Part Lot 3, Concession 3, Township of McKim, 249 Somerset Street, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, as amended, for approval to construct one storey addition to the existing dwelling on the subject property providing a minimum interior side yard setback of 0.823m, with eaves encroaching 0.6m into the proposed 0.823m interior side yard setback, where a minimum interior side yard setback of 1.2m is required and where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line.

A0031/2023

**ANGELE CHARBONNEAU
PAUL CHARBONNEAU**

Ward: 5

PIN 73502-0898, Part Lot 5, Concession 5, Parts 5, 10, 11, 12, 13 and 14, Plan 53R-20969, together with easement over Parts 7, 8, 10, 12, 13, 14 and 16, Plan 53R-20969, together with easement over SRO Part 2, Plan 53R-17784, and subject to easement over Parts 10, 12 and 14, Plan 53R-20969, Township of Blezard, 390 Fire Road 7, Val Caron, [2010-100Z, RS (4) (Medium Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.5m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B0096/2017 (DEC 11/17), B0095/2017 (DEC 11/17) , B0094/2017 (DEC 11/17) AND B0093/2017 (DEC 11/17)
PREVIOUSLY SUBJECT TO OPA APPLICATION 701-7/16-008 AND REZONING APPLICATION 751-7/16-009

A0032/2023

**TREVOR SYKES
KAREN SYKES**

Ward: 9

PIN 73477-0154, Parcel 16170 SEC SES, Part Lot 2, Concession 4, Part 1, Plan 53R-6381, Township of Broder, 1022 South Lane Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsection 4.41.2 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of additions on the existing single detached dwelling, providing, firstly, a high water mark setback of 25.517m, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river and secondly, providing a minimum interior side yard setback of 1.158m, where a minimum interior side yard setback of 1.2m is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A0023/1985 (JUN 10/85)

A0033/2023

**DEEPINDERJIT REENA DHATT
MICHEL GAUTHIER**

Ward: 11

PIN 73578-0148, Parcel 53M-1201-24 SEC SES, Lot 24, Plan 53M-1201, subject to LT661530, LT661531, LT661532 and LT661533, Lot 12, Concession 3, Township of Neelon, 54 Kormak Street, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of an attached garage, firstly, to permit eaves to encroach 0.76m into the required interior side yard, where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line, and secondly, a minimum front yard setback of 2.8m with eaves encroaching 0.76m into the proposed 2.8m front yard setback, where a minimum front yard setback of 6.0m is required and where eaves may encroach 1.2m into the required front yard, but not closer than 0.6m to the lot line.

A0034/2023

**TARA ALEXANDER
MARK ALEXANDER**

Ward: 9

PIN 73477-0096, Parcel 30029 SEC SES, Part Lot 4, Concession 4, as in LT201331 except LT251846, Township of Broder, 198 Birch Hill Road, Sudbury, [2010-100Z, R1-2 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsections 4.41.2, 4.41.3 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with attached garage providing, firstly, a high water mark setback of 10.76m where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river, and secondly, for the proposed single detached dwelling to be 10.76m setback from the high water mark of a lake or a river, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, APRIL 26, 2023**



Box 5000, Station 'A', 200 Binky Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4340
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

Office Use Only
705 671 0111
A 0020/2023
S.P.P. AREA
YES NO
NDCA REG. AFEA
YES NO

APPLICATION FEE: \$1,090.00 (Includes \$260.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$332.00 (Includes \$260.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal Information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipally or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application.

Registered Owner(s): Trevor Fera Alison Fera Email: [REDACTED]
Mailing Address: 535 Moonlight Branch Rd Home Phone: [REDACTED]
City: Sudbury Postal Code: P5B 3V7 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
Mailing Address: _____ Home Phone: _____
City: _____ Postal Code: _____ Business Phone: _____
Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: RMB Mortgage S
Mailing Address: PO Box 351 STNC
City: Kitchener Postal Code: N2G 3V9

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-1 (6)

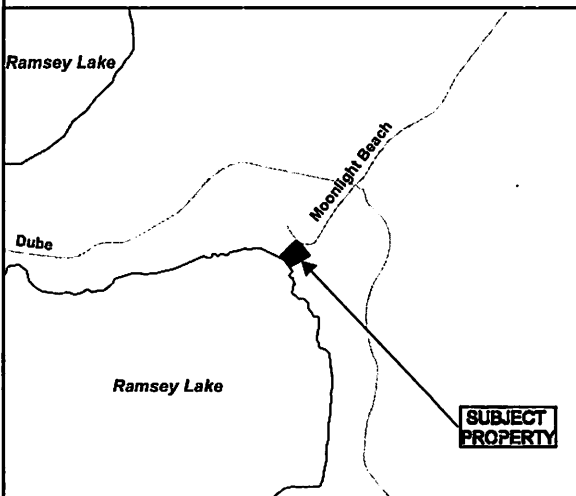
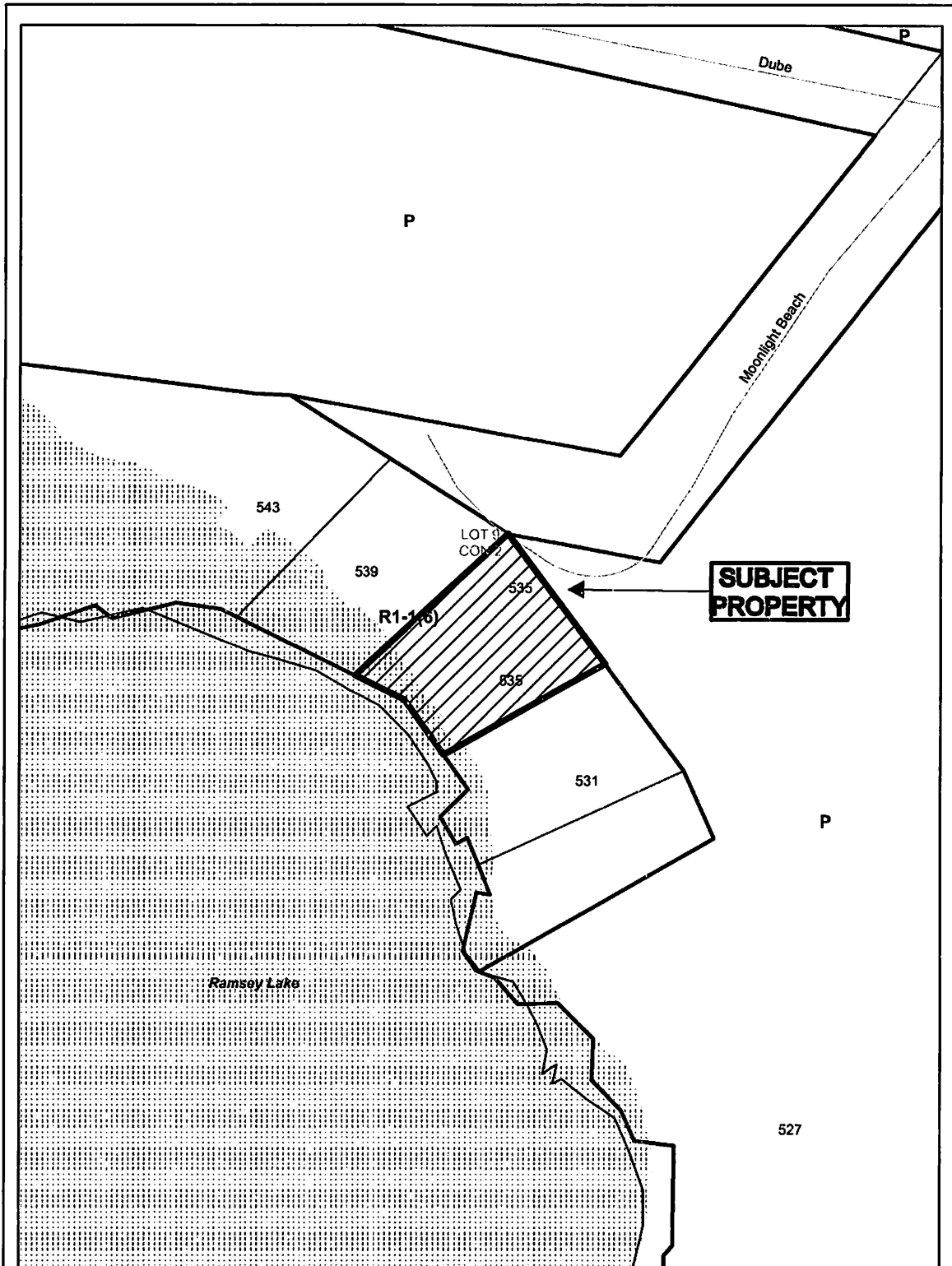
5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.


Variance To	By-law Requirement	Proposed	Difference
Garage Height	5m	6.9m	1.9m
Accessory Lot Coverage	10%	11%	1%

b) Is there an easement encroachment? Yes No If 'Yes', size of easement: _____ (m)

c) Description of Proposal: Garage will be 6.9m in height
Current garage and new garage will total
coverage. Current shed will be removed. 11%

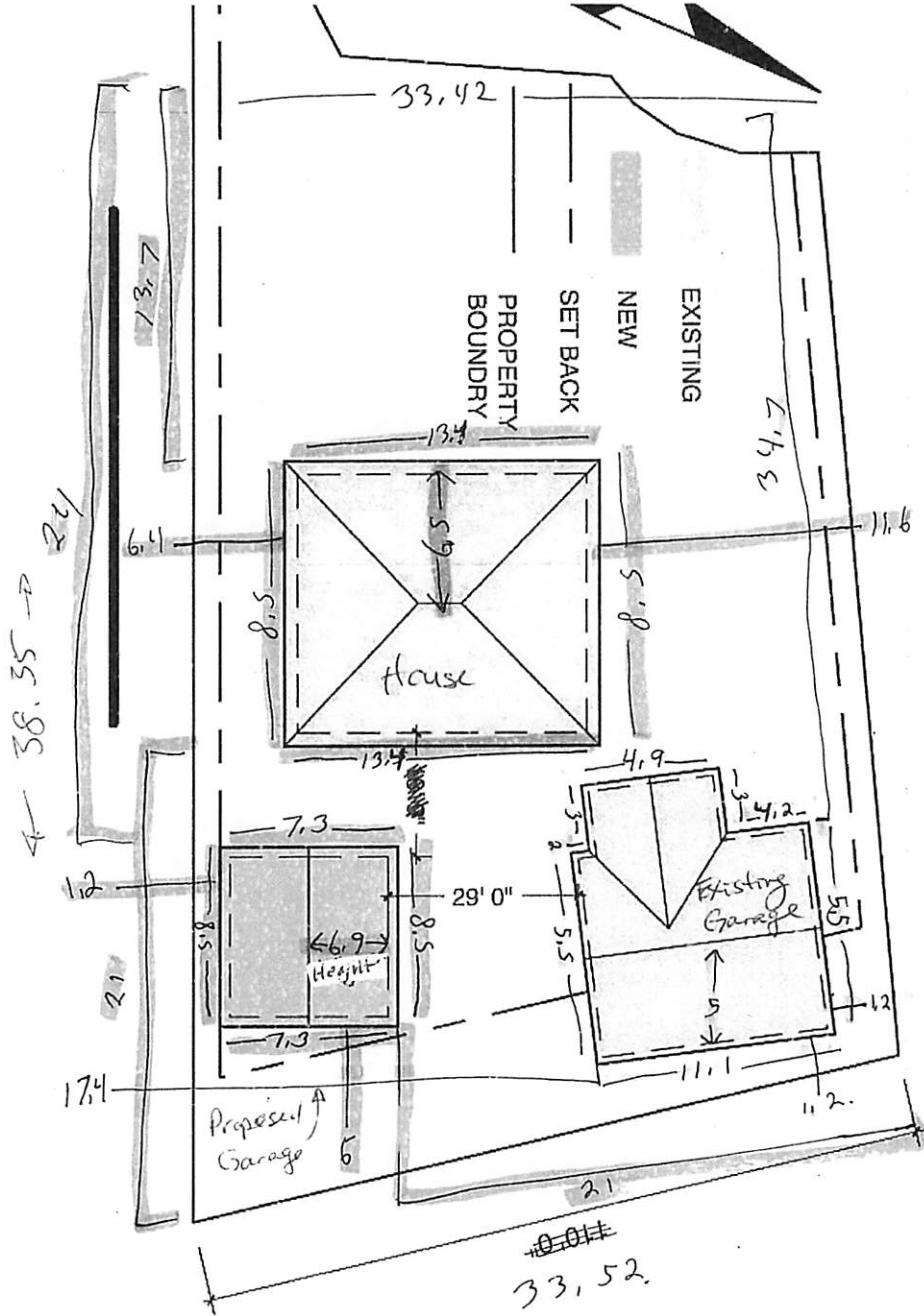
d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law.
Storage above garage.



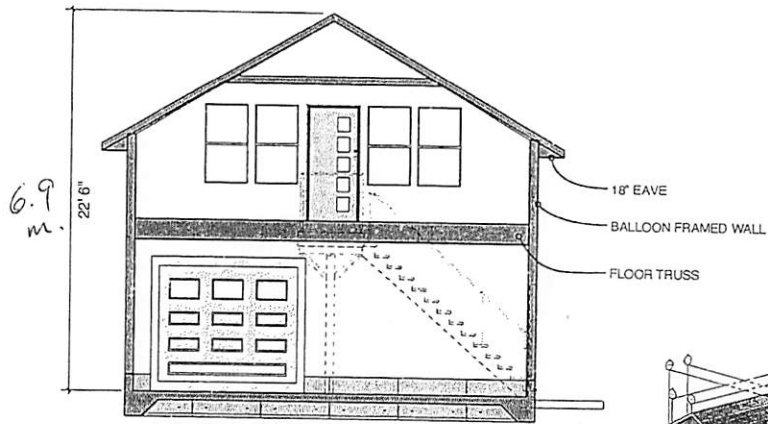
**Application for Minor
Variance or Permission** 

Subject Property,
 PIN 73559-0114, Parcel 44400,
 Part Lot 9, Concession 2,
 Parts 3, 4, 7 and 8, Plan 53R-7096,
 together with Part 1, Plan 53R-16903 as in
 LT919152, Township of Neelon,
 535 Moonlight Beach Road, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS A0020/2023
 NDCA Date: 2023 02 27



A0020/2023
Sketch 2

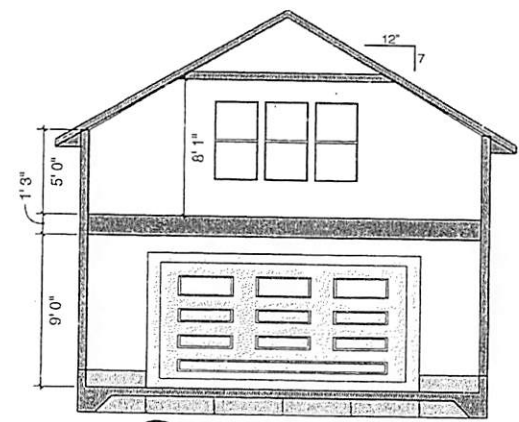
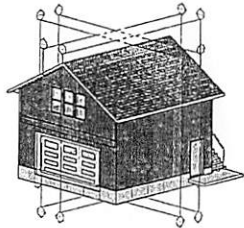


6.9
m.

22' 6"

2 SECTION
A4

18" EAVE
BALLOON FRAMED WALL
FLOOR TRUSS



1' 3"

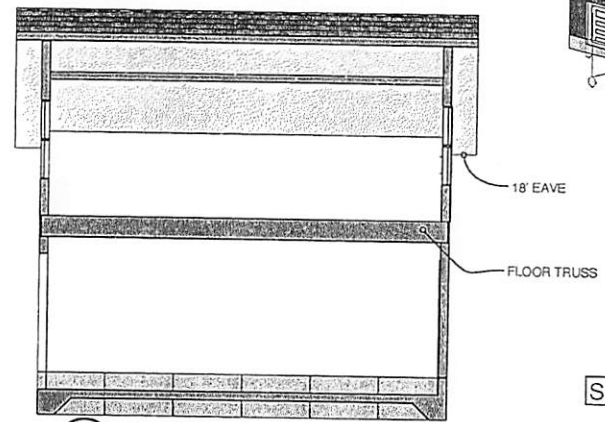
5' 0"

9' 0"

1 SECTION
A4

12" 7

8' 1"

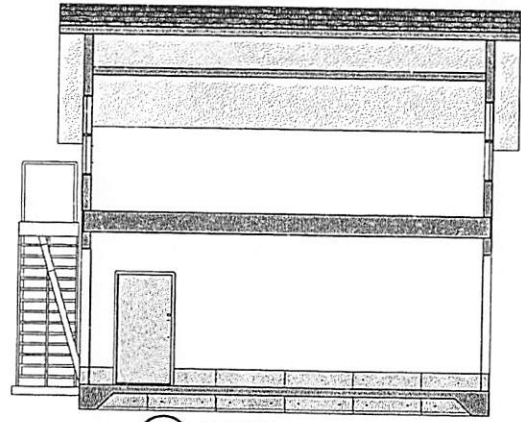


18" EAVE
FLOOR TRUSS

4 SECTION
A4

SECTION VIEW

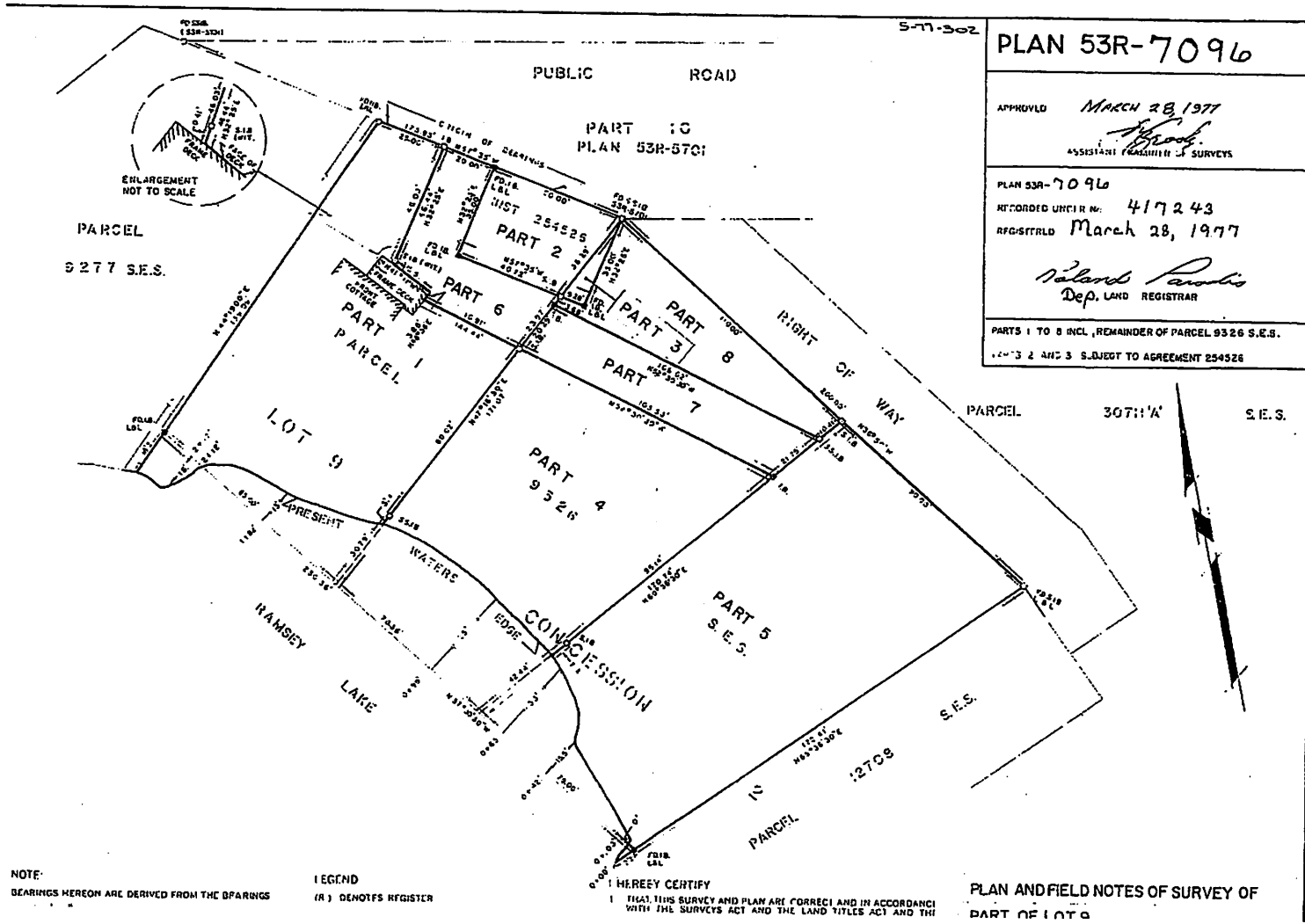
SCALE 1: 64



3 SECTION
A4

A0020/2023
Sketch 3

3



7-2974

5-77-302

PUBLIC ROAD

PART 10
PLAN 53R-5701

PART 254526
PART 2

PART 6

PART 3

PART 8

RIGHT OF WAY

PART 7

PART 4
9 5 2 R

PART 5
S. E. S.

CONCESSION

RAMSEY LAKE

RAMSEY WATERS

PART 1
PARCEL

LOT 9

PART 9

PART 1
PARCEL

307 1/2' W

S. E. S.

PARTS 1 TO 8 INCL, REMAINDER OF PARCEL 9326 S.E.S.
PARTS 2 AND 3 SUBJECT TO AGREEMENT 254526

APPROVED *MARCH 28 1977*
[Signature]
ASSISTANT REGISTRAR OF SURVEYS

PLAN 53R-7096
RECORDED UNDER NO: 417243
REGISTERED *MARCH 28, 1977*

Valand Paulis
Dep. LAND REGISTRAR

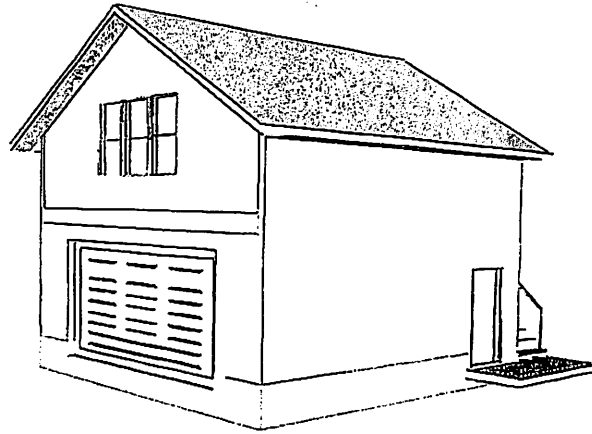
NOTE:
BEARINGS HEREON ARE DERIVED FROM THE BEARINGS

LEGEND
(R) DENOTES REGISTER

HEREBY CERTIFY
THAT THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE

PLAN AND FIELD NOTES OF SURVEY OF
PART OF LOT 9

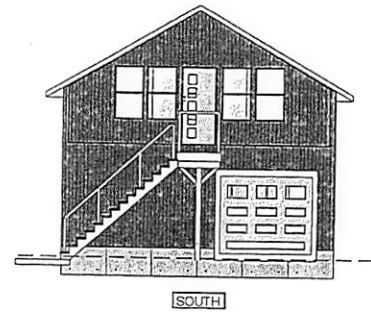
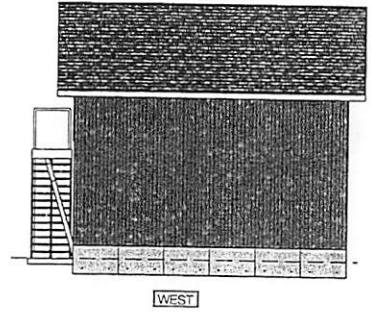
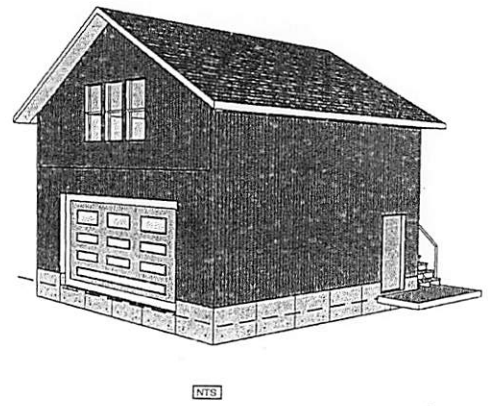
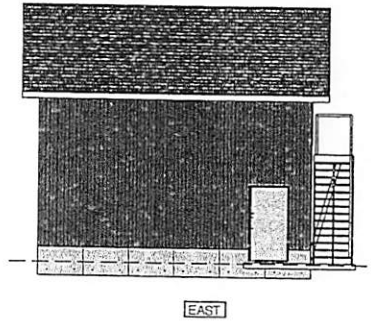
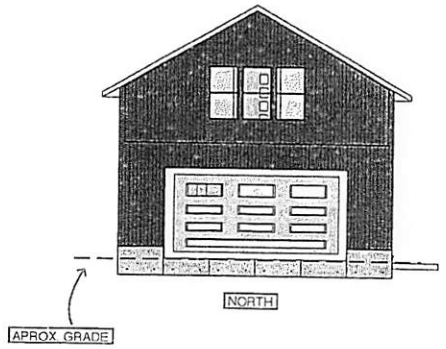
A0027/2023
Sketch 4



OWNER **TREVOR FERA**
ADDRESS **535 MOONLIGHT BEACH ROAD**
PHONE **(705) 919-6944**

PROPOSED
53.5M² (24'X 24')
ACCESSORY BUILDING

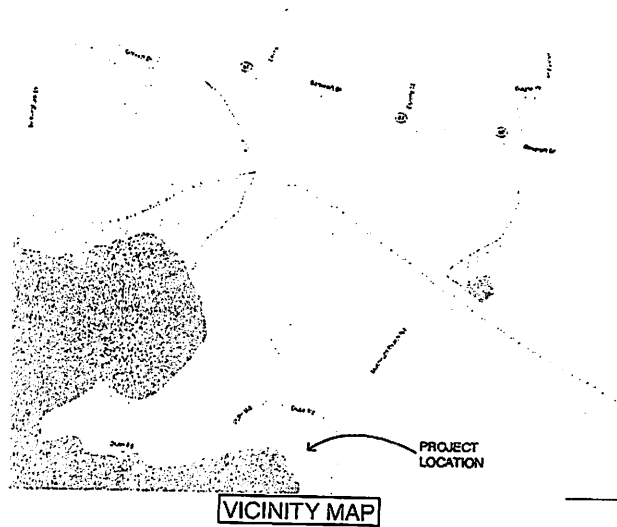
A0029/2023
Sketch 5



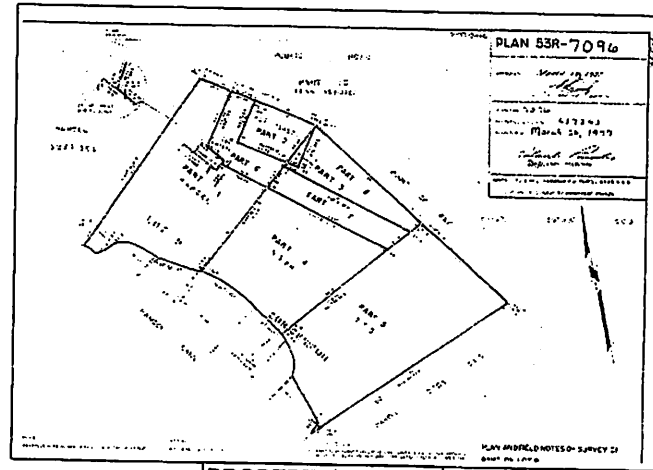
EXTERIOR ELEVATIONS

SCALE 1:96

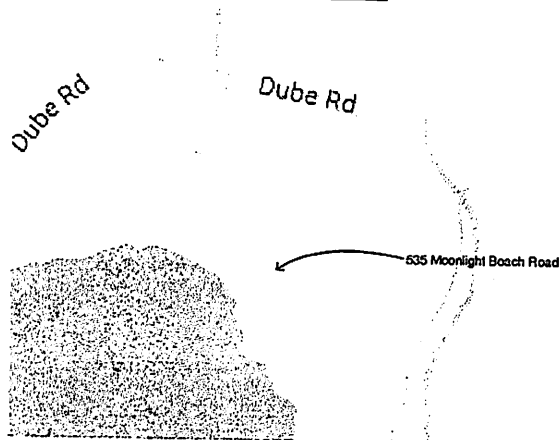
A0020/2023
Sketch 6



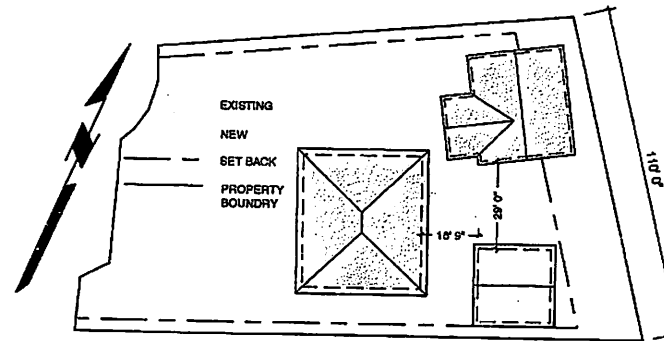
VICINITY MAP



PROPERTY SURVEY



PROJECT LOCATION



SCALE 1:360

EXISTING & PROPOSED STRUCTURES

A0020/2023
Sketch 7



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only	
20.7.01.01	
A	0021/2023
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,025.00 (includes \$245.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$312.00 (includes \$245.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT: SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Melissa Arsenault Email: _____
 Mailing Address: 28 Berkley Crt. Home Phone: _____
 Business Phone: _____
 City: Sudbury Postal Code: P3A 4B4 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Centreline Architecture Email: _____
 Mailing Address: 158 Elgin Street Home Phone: _____
 Business Phone: _____
 City: Sudbury Postal Code: P3EY1Y Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Meridian Credit Union - 970 Southdown Rd.
 Mailing Address: _____
 City: Mississauga Postal Code: L5J 2Y4

4) Current Official Plan designation: Living Area-1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
HEIGHT FOR ACCESSORY STRUCTURE	5m	7.3m	2.3m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
ADDING ADDING A NEW 2-CAR GARAGE WITH A LEGAL SECONDARY UNIT ABOVE

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
SECONDARY UNIT ABOVE GARAGE EXCEEDS HEIGHT RESTRICTION FOR ACCESSORY BUILDING.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73566-0609 Township: NEELON
 Lot No.: 140 Concession No.: _____ Parcel(s): _____
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): _____

7) Date of acquisition of subject land. Unknown

8) Dimensions of land affected.

Frontage 17.09 (m) Depth 41.48 (m) Area 707.53 (m²) Width of Street _____ (m)

Particulars of all buildings:	Existing MAIN HOUSE		Proposed GARAGE (NEW)	
Ground Floor Area:	<u>86.93</u>	(m ²)	<u>63.0</u>	(m ²)
Gross Floor Area:	<u>159.6</u>	(m ²)	<u>105.0</u>	(m ²)
No. of storeys:	<u>1.5</u>		<u>2</u>	
Width:	<u>7.91</u>	(m)	<u>8.1</u>	(m)
Length:	<u>10.99</u>	(m)	<u>7.8</u>	(m)
Height:	<u>+/- 3.6</u>	(m)	<u>7.3</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing MAIN HOUSE		Proposed GARAGE (NEW)	
Front:	<u>6.1</u>	(m)	<u>30.5</u>	(m)
Rear:	<u>26.8</u>	(m)	<u>3.2</u>	(m)
Side:	<u>3.6</u>	(m)	<u>1.4</u>	(m)
Side:	<u>2.5</u>	(m)	<u>7.8</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|--------------------------|
| Municipally owned & operated piped water system | <input checked="" type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential dwelling, single dwelling Length of time: Since construction, min.

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? Existing Single-Family Home

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: RESIDENTIAL, R1-5

A0027/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
 Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/we, Melissa Arsenaault (please print all names), the registered owner(s) of the property described as 28 Berkley Crt., Sudbury, ON P3A 4B4

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

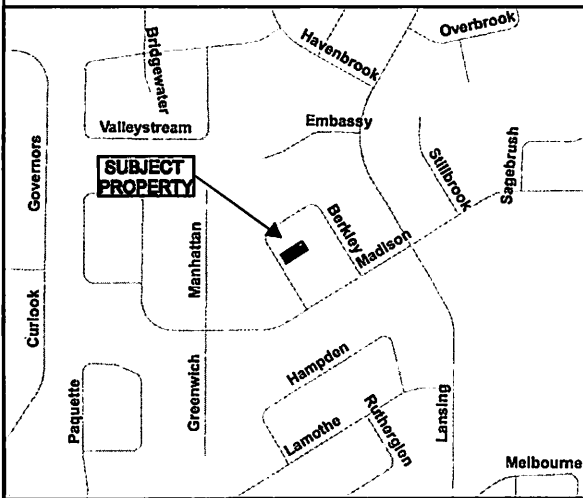
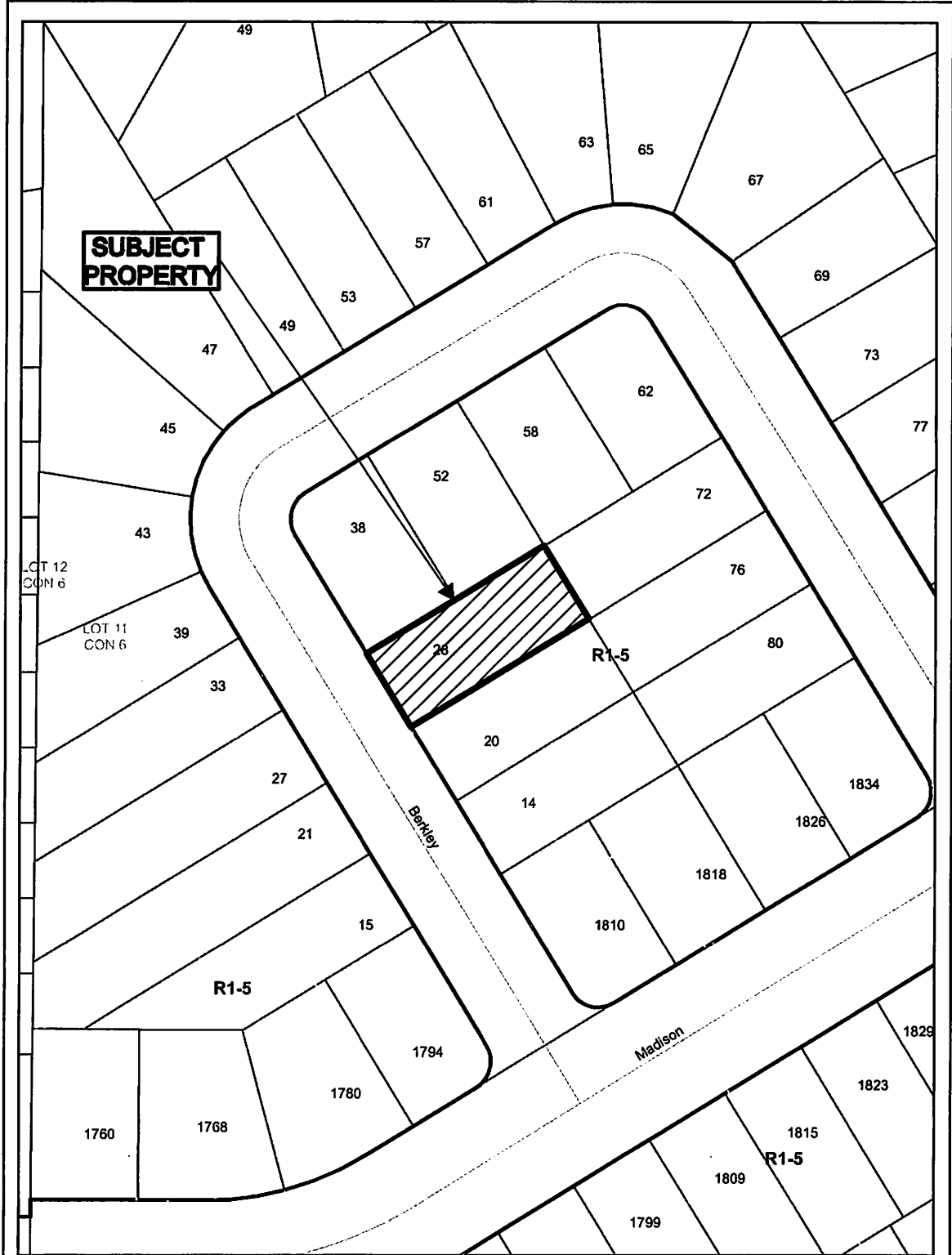
- appoint and authorize Centraline Architecture (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of February, 2023

[Signature]
(Witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Melissa Arsenaault

A00 27/2023

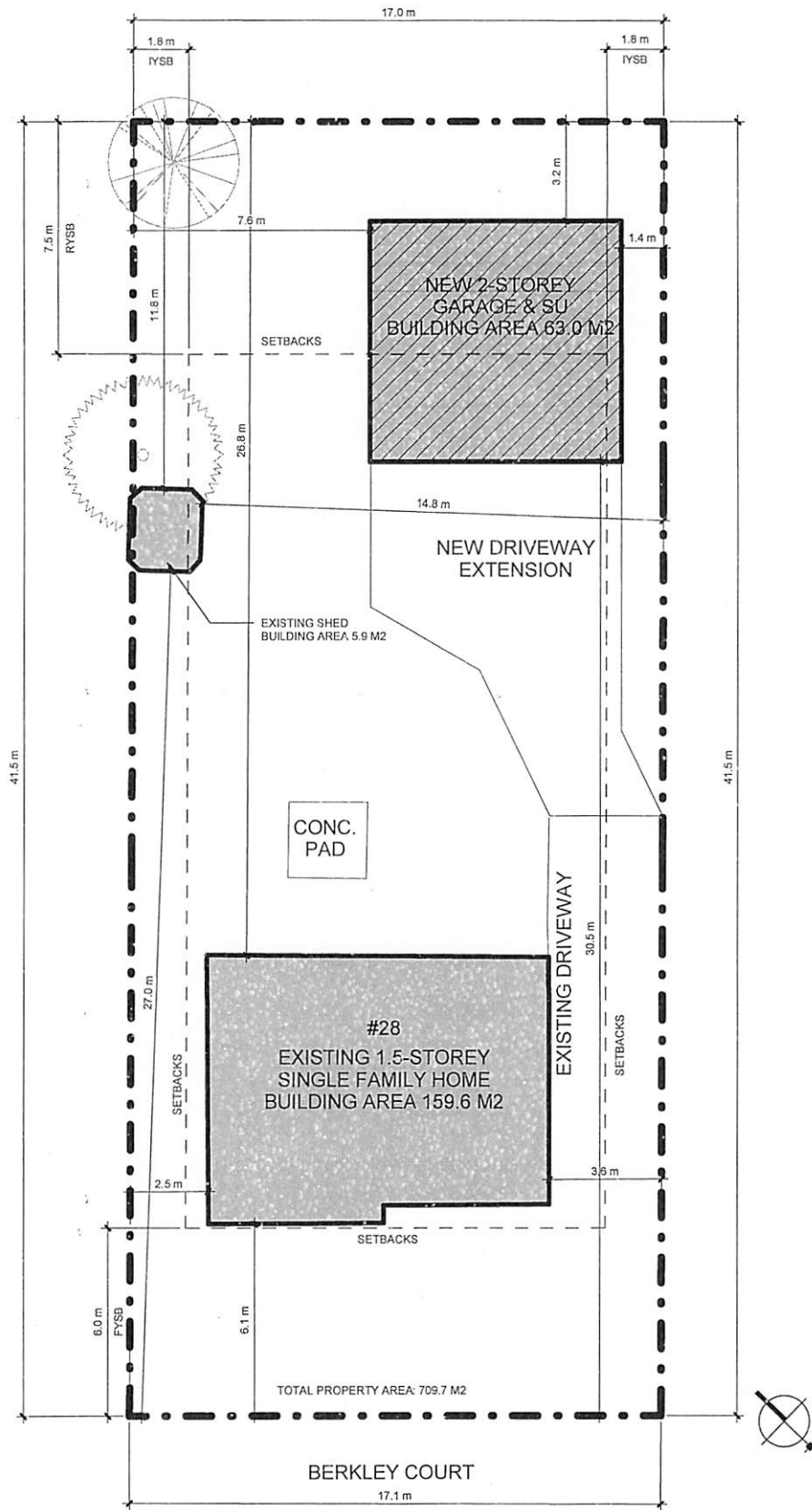


Application for Minor Variance or Permission

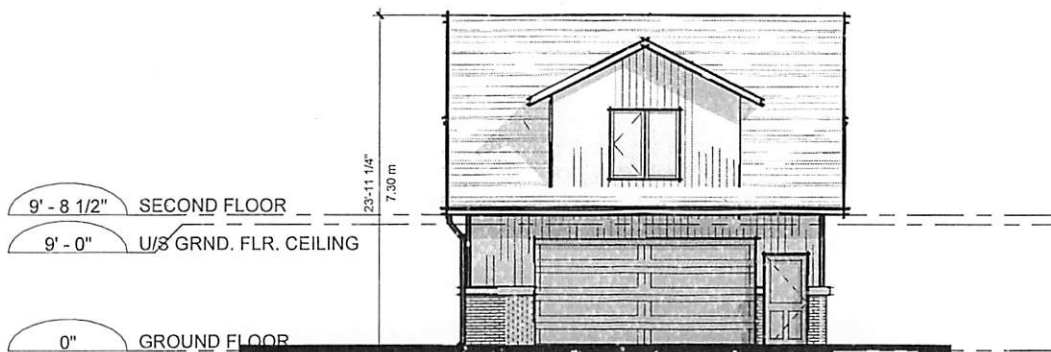
Subject Property,
 PIN 73566-0609,
 Parcel 37690 SEC SES SRO,
 Lot 140, Plan M-399,
 Part Lot 11, Concession 6,
 Township of Neelon,
 28 Berkley Court, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0027/2023
 Date: 2023 03 20



A0027/2023
 Sketch 2



FRONT
1/8" = 1'-0"

CENTRELINE
ARCHITECTURE
158 Eighth Street, Suite 101
Sudbury, ON P3E 1S7
centreforarchitecture.ca

CLIENT
Arsenault

Project No. 2022-55

PROJECT
Garage & Secondary Unit

ISSUED FOR REVIEW
ELEVATION

MARCH 1, 2023

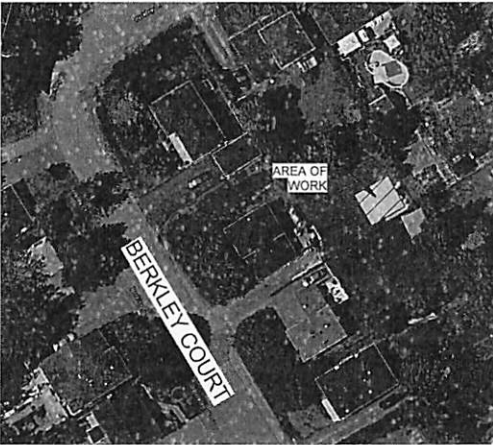
SCALE
1/8" = 1'-0"

DRAWN BY / CHECKED BY
MAS / KB

SHEET NUMBER

SD-3A

A0027/2023
Sketch 3



PROJECT:
Arsenault Garage & SU

CA Project No.: 2022-055

PREPARED DATE: February 20, 2023
ISSUED DATE: February 24, 2023

Zoning		Required		Provided		Notes
				No.		Comment
Lot Area	m2	485.0	707.2			
Lot Frontage	m	15.0	17.1			
Front Yard	m	6.0	6.0			
Rear Yard	m	7.5	7.5			Accessory bldg = 3.2m
Interior Side or Corner Side Yard	m	1.8	>1.8			Accessory bldg = 3.2m
Interior Side or Corner Side Yard	m	1.8	>1.8			
Building Area (TOTAL)	m2		159.6			
Lot Coverage and Calculation	%	40%	22.6%			
Lot Coverage Accessory Buildings (residential only)	%	10%	9.7%			Accessory bldgs = 68.8m2
Height of Building(s) (EXISTING RESIDENCE)	m	11.0	No change			
Number of Storeys (NEW GARAGE & SU)	no.		2.0			
Permitted Encroachments for Accessory Buildings	m	6.3	3.2			7.5m - 1.2m = 6.3m
Height of Accessory Building or Structure	m	5.0	7.3			VARIANCE REQUIRED
Parking Spaces, Calculation, and Dimensions	no.	2.0	2.0			
Spaces Provided within a Structure or Garage	no.		2.0			

App 27/2023
Sketch 4



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023/01/01	
A 00 28 / 2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Michael Sifontes (2313745 Ontario Inc.) Email: [REDACTED]
 Mailing Address: 3520 Ketelbey Crt. Home: [REDACTED]
 Business Phone: _____
 City: Burlington Ontario Postal Code: L7M3B4 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Centreline Architecture Email: [REDACTED]
 Mailing Address: 158 Elgin St. Home: [REDACTED]
 Suite 201 Business Phone: _____
 City: Sudbury Postal Code: P3E 3N5 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: BMO
 Mailing Address: Address: 1841 Walkers Line
 City: Burlington, ON Postal Code: L7M 0H6

- 4) Current Official Plan designation: Living Area I Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Low Density Zoning Requirements	560.0	421.3	138.7

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
Legalization of Fourth Dwelling Unit. In a R2-3 zone, a Multiple Unit Dwelling has a Minimum Lot Area requirement of 140 square meters per unit.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Total Lot Area required for 4 units would be 560 square meters. The subject property has a lot area of 421.3 square meters; therefore, a Minor Variance would be required to create the fourth unit.

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: McKim
 Lot No.: 5 Concession No.: 4 Parcel(s): _____
 Subdivision Plan No.: 185 Lot: 333 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 242 Dell

7) Date of acquisition of subject land. _____

8) Dimensions of land affected.

Frontage 12.19 (m) Depth 34.56 (m) Area 421.3 (m²) Width of Street 20 ^{+/-} (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	_____ (m ²)	_____ (m ²)
Gross Floor Area:	_____ (m ²)	_____ (m ²)
No. of storeys:	_____	_____
Width:	_____ (m)	_____ (m)
Length:	_____ (m)	_____ (m)
Height:	_____ (m)	_____ (m)

See Attached

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	_____ (m)	_____ (m)
Rear:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)
Side:	_____ (m)	_____ (m)

See Attached

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used. _____

12) Date(s) of construction of all buildings and structures on the subject land.

< 1963 _____

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential / Commercial Length of time: _____

14) Proposed use(s) of the subject property.

Same as #13 or, Residential

15) What is the number of dwelling units on the property? 3 existing, 4 proposed

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? All units are being reviewed and will be upgraded to meet current OBC requirements.

17) Existing uses of abutting properties: Residential

A0028/2023

Application For Minor Variance

242 Dell St

Sudbury, ON

9)

Particulars of All Buildings:

Existing

	House	Shed
Ground Floor Area (m ²)	147.7	7.4
Gross Floor Area (m ²)	222.5	7.4
No. of Storeys	2	1
Width (m)	6.95	2.44
Length (m)	21.83	3.05
Height (m)	7.63	3.05

Proposed

Ground Floor Area (m ²)
Gross Floor Area (m ²)
No. of Storeys
Width (m)
Length (m)
Height (m)

10)

Location of All Buildings and Structures on or Proposed For The Subject Lands (Specify Distances From Side, Rear and Front Lot Lines.)

Existing

	House	Shed
Front (m)	1.27	29.6
Rear (m)	11.46	1.91
Side (m)	4.04	0.23
Side (m)	1.2	9.67

Proposed

Front (m)
Rear (m)
Side (m)
Side (m)

A00 28/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Michael Sifontes (2313745 Ontario Inc.) (please print all names), the registered owner(s) of the property described as 242 Dell St. Sudbury, ON, P3C 2Y6 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
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- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize Centreline Architecture (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 08 day of March, 2023

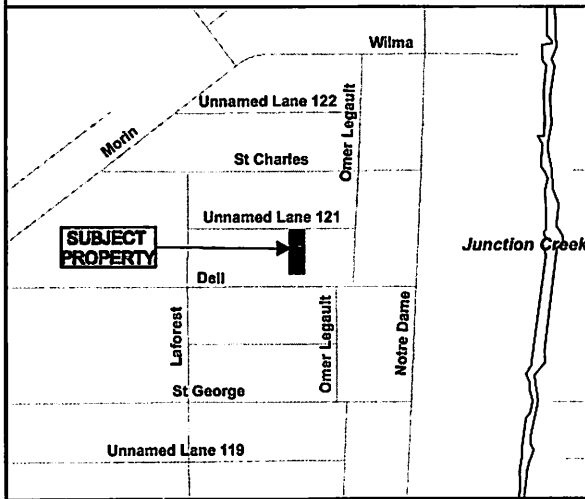
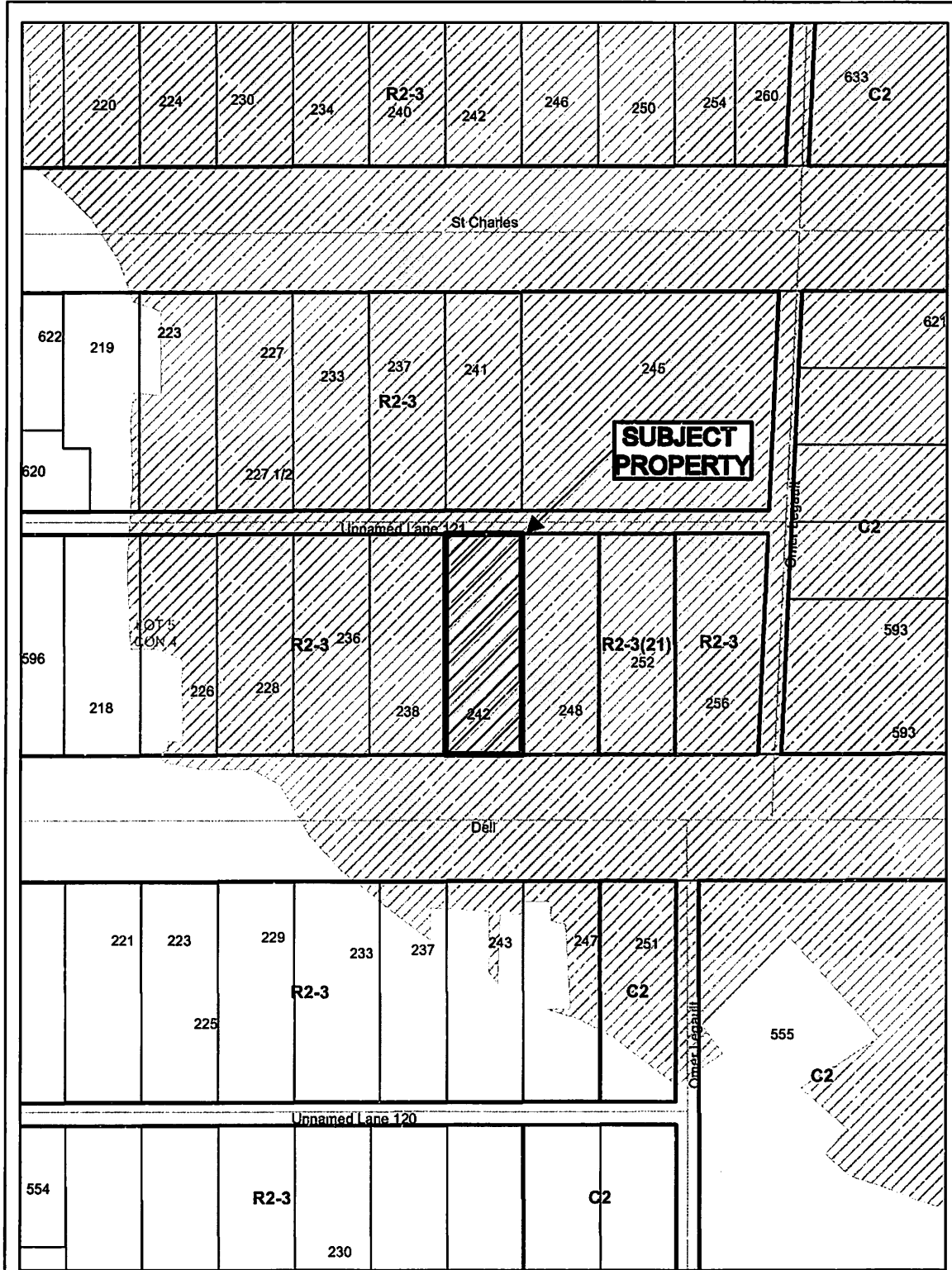
(witness) 


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Michael Sifontes

*I have authority to bind the Corporation

A0028/2023



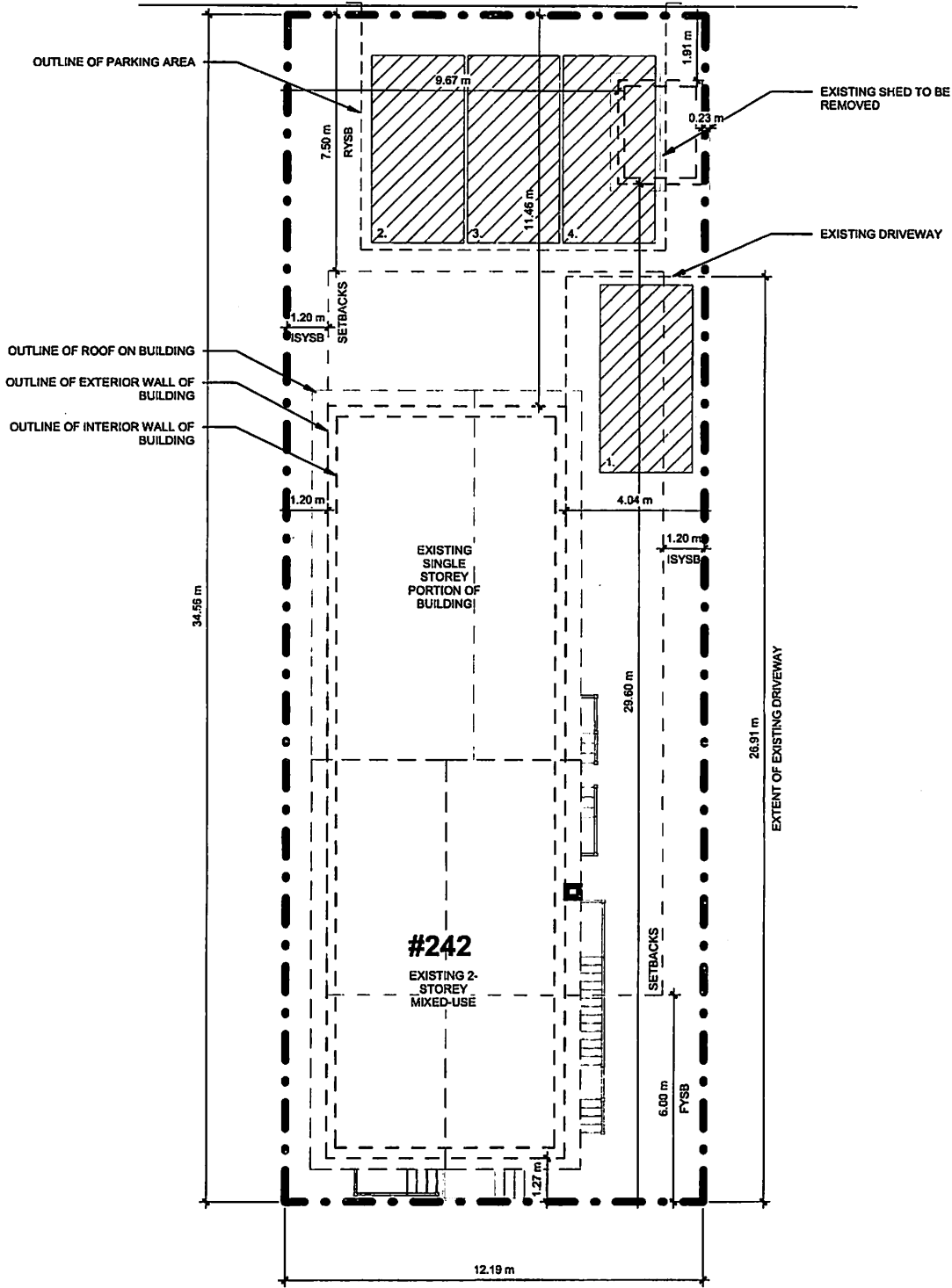
Application for Minor Variance or Permission

Subject Property,
 PIN 02131-0055,
 Lot 330, Plan 18-S,
 Part Lot 5, Concession 4,
 Township of McKim,
 242 Dell Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0028/2023
 Date: 2023 03 20

CAR ACCESSIBLE LANEWAY



DELL STREET

LOT COVERAGE

LOT AREA: 421.3 m²
 BUILDING AREA: 147.7m²
 TOTAL LOT COVERAGE 35%



A0028/2023
 Sketch 2



158 Elgin Street, Suite 101
 Sudbury, ON P3E 1S7
 centrelinearchitecture.ca

CLIENT

Project No. 2022-143

PROJECT

242 DELL STREET - NEW UNIT

ISSUED FOR PERMIT

SITE PLAN

March 7, 2023

SCALE

1" = 10'-0"

DRAWN BY / CHECKED BY
 DS / KB

SHEET NUMBER

SD-1B

Zoning	Required		Provided		Notes
	No.	Comment	No.	Comment	
Use(s) of Building(s) by Floor Area and/or Number of Residential Units					
Lot Area	m2	560	421.3		140.0 m ² per unit - VARIANCE REQUIRED
Lot Frontage	m	18	12.19		
Front Yard	m	6.0	1.27		
Rear Yard	m	7.5	11.46		
Interior Side or Corner Side Yard	m	1.2	4.04		
Interior Side or Corner Side Yard	m	1.2	1.2		
Building Area	m2		147.7		
Lot Coverage and Calculation	%	50%	35%		
Height of Building(s)	m	11.0	No Change		
Number of Storeys	no.		2		
Parking Spaces, Calculation, and Dimensions	no.	4	4		

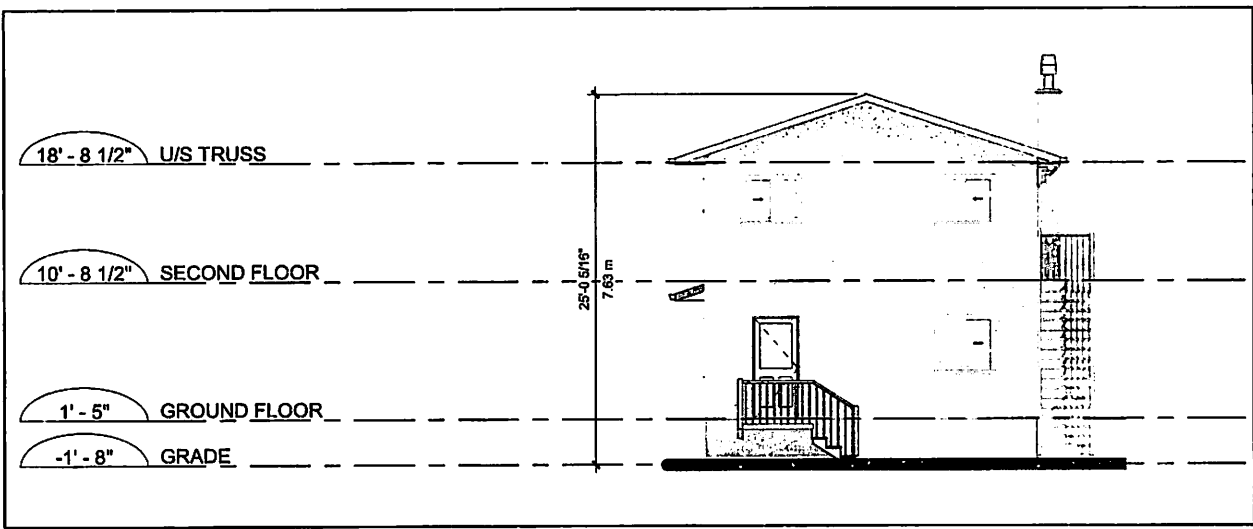


KEY PLAN



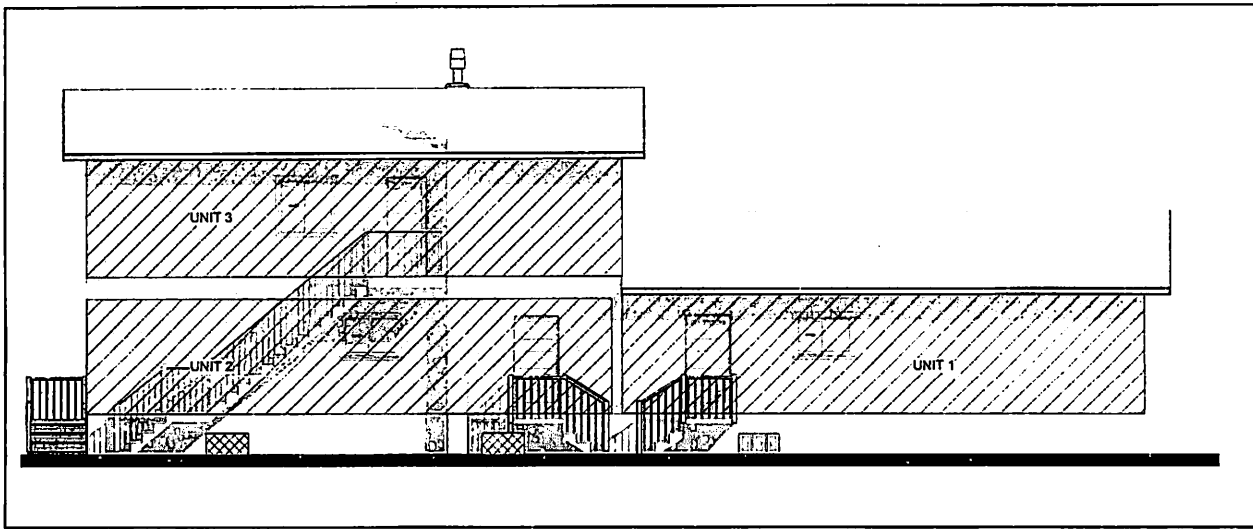
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A0028/2023
Sketch 3



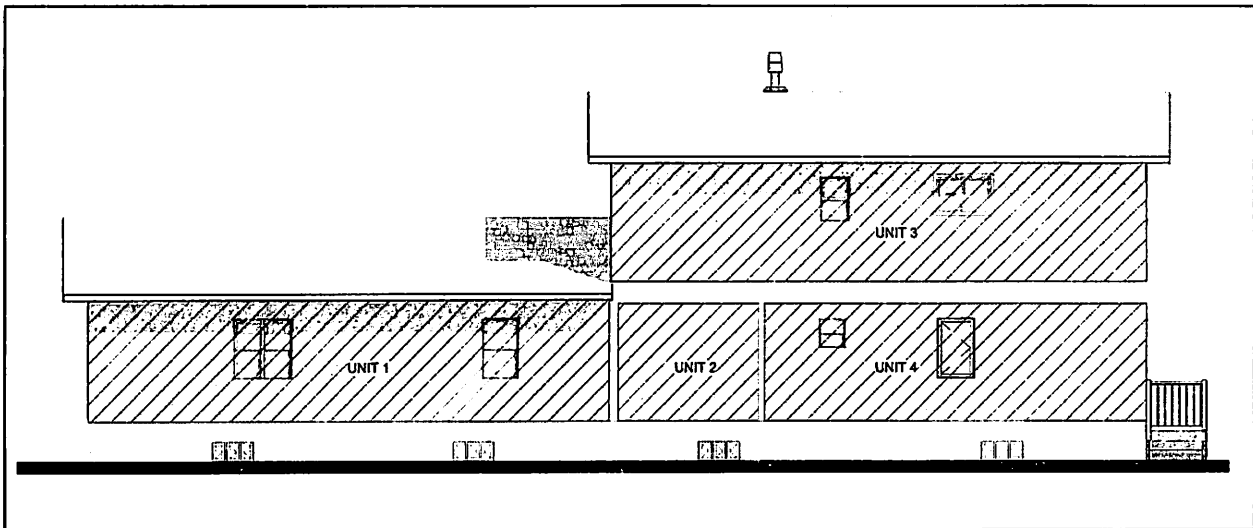
FRONT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

A0028/2023
Sketch 4



**CENTRELINE
ARCHITECTURE**

158 Elgin Street, Suite 101
Sudbury, ON P3E 1S7
central@architecture.ca

CLIENT

Project No. 2022-143

PROJECT
242 DELL STREET - NEW
UNIT

ISSUED FOR PERMIT
ELEVATIONS

March 7, 2023

SCALE
1/8" = 1'-0"

DRAWN BY / CHECKED BY
DS / KB

SHEET NUMBER

SD-1C



Greater Sudbury
www.greatersudbury.ca
Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A	0029/2023
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): DAVID COLUSSI Email: _____
Mailing Address: 2728 Southshore RD Home Phone: _____
Business Phone: _____
City: Sudbury Postal Code: P3G 1M2 Fax Phone: _____

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: ADRIANO BORTOLUSSI Email: _____
Mailing Address: 144 Elm St Home Phone: _____
Business Phone: _____
City: Sudbury Postal Code: P3C 1T7 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: RURAL Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
RELIEF FROM BYLAW 2010Z	✓ SIDEYARD 1.8	1.13	0.67
	30m SETBACK FROM HWY	26'	4'
	✓ 2ND STY DECK 1.8m	0.87	0.93
	✓ DECK @ BACK OF EXISTING HOUSE	1.07	0.13
	2ND STY DECK 30m SETBACK	29.25	0.75

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: 0.60 (m)

c) Description of Proposal: NEW 2ND STY ADDITION WOULD BE TOO CLOSE TO WESTERLY LIMIT & WITHIN 30m SETBACK FROM HWY + DECK IN BACK OF EXISTING HOUSE TOO CLOSE TO EAST LIMIT BECAUSE IT IS MORE THAN 1.2m IN HEIGHT

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
- ADDITION TO EXISTING HOUSE
- NO OTHER DIRECTION TO EXPAND - NO CLOSER TO WATER - 30m SETBACK
- NO CLOSER TO ROAD - SLOPE + BED ROCK & LIMIT OF EXISTING HOUSE

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73472-0134 Township: BRODER
 Lot No.: 12 Concession No.: 2 Parcel(s):
 Subdivision Plan No.: M-48 Lot: 43 Reference Plan No.: Part(s):
 Municipal Address or Street(s): # 2728 SOLATI STORE ROAD

7) Date of acquisition of subject land. MAY 2012

8) Dimensions of land affected.

Frontage 337 (m) Depth 83 1/2 (m) Area 2115 1/2 (m²) Width of Street 20 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>95.2 (m²)</u>	<u>237.5 (m²)</u>
Gross Floor Area:	<u>95.2 (m²)</u>	<u>237.5 (m²)</u>
No. of storeys:	<u>1</u>	<u>2. STY ON LEFT / 1 STY ON RIGHT</u>
Width:	<u>8.10 (m)</u>	<u>2.16 (m)</u>
Length:	<u>11.76 (m)</u>	<u>15.7 (m)</u>
Height:	<u>+/- 4.5 (m)</u>	<u>+/- 8 (m)</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>40.50 (m)</u>	<u>37.80 (m)</u>
Rear:	<u>27 1/2 (m)</u>	<u>27 1/2 (m)</u>
Side:	<u>1.20 (m)</u>	<u>1.20 (m)</u>
Side:	<u>14.23 (m)</u>	<u>1.13 (m)</u>

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input checked="" type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input checked="" type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

UNKNOWN +/- 50 YRS

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): RESIDENTIAL Length of time: +/- 60 YRS

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: RESIDENTIAL SINGLE FAMILY DWELLING

A0029/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, DAVID COLUSSI (please print all names), the registered owner(s) of the property described as # 2728 SOUTH SHORE ROAD in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize ADRIAN BORTOLUSSI (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

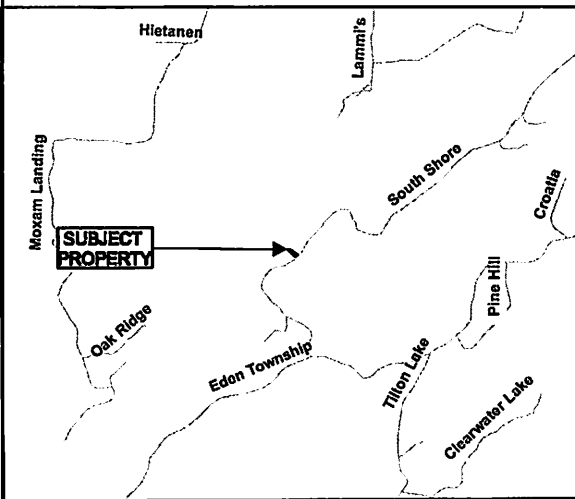
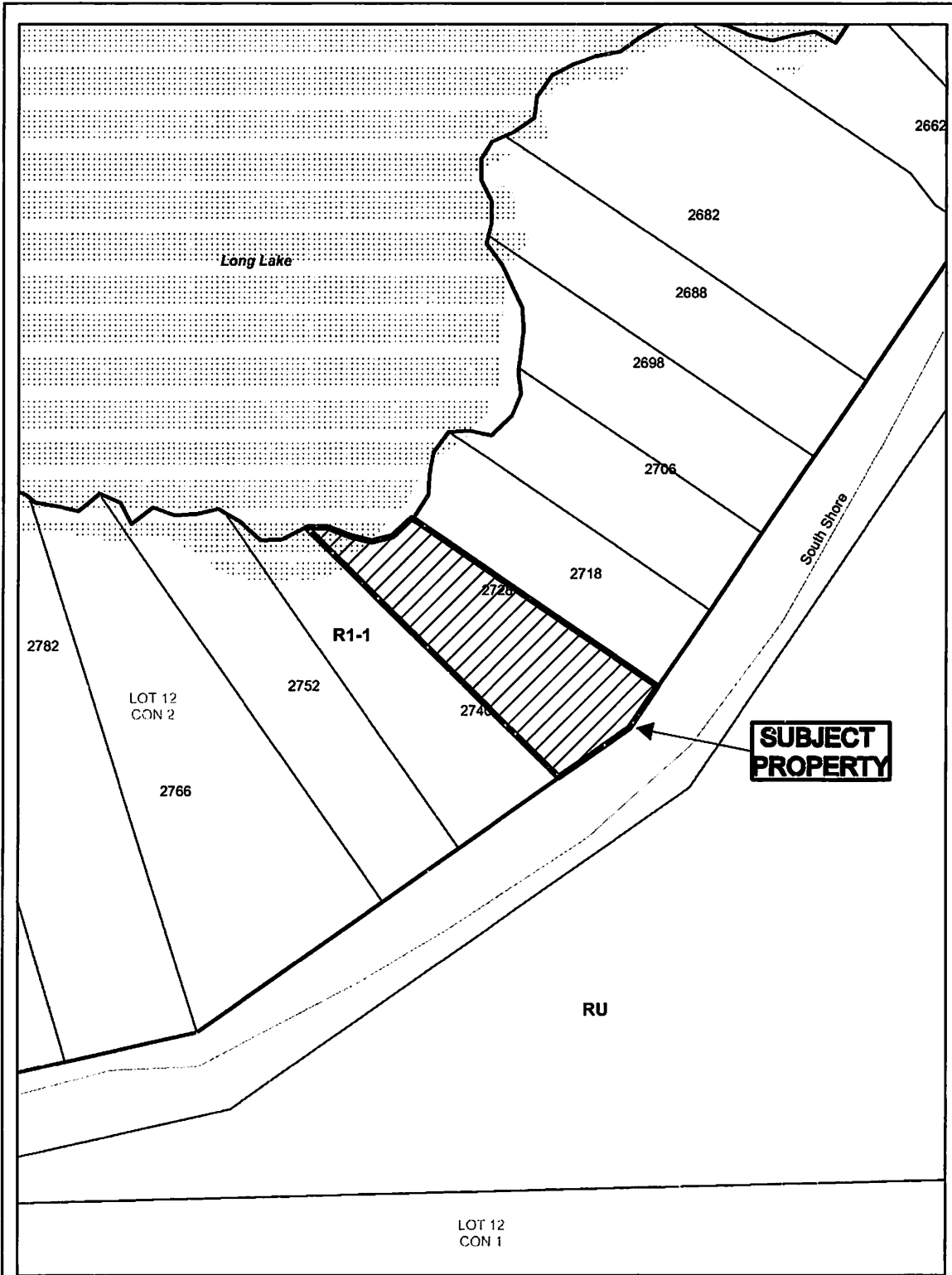
Dated this 23 day of FEBRUARY, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: DAVID COLUSSI

*I have authority to bind the Corporation

Aug 29 / 2023



Application for Minor Variance or Permission

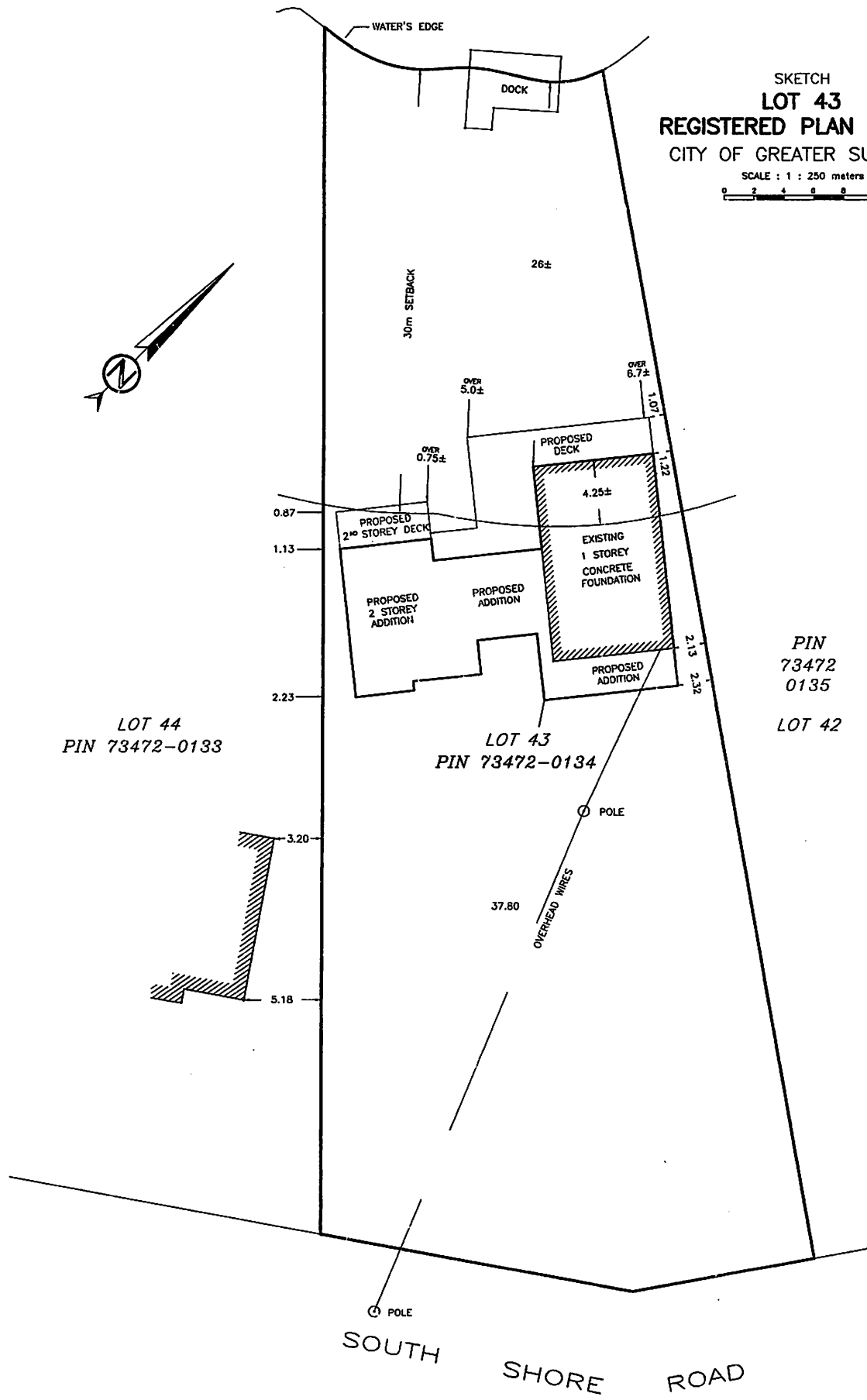
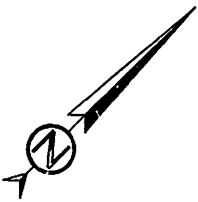
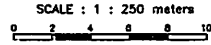
Subject Property,
 PIN 73472-0134, Parcel 25684 SEC SES SRO,
 Lot 43, Plan M-480, subject to LT123422,
 Lot 12, Concession 2, Township of Broder,
 2728 South Shore Road, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0029/2023
 Date: 2023 03 20

LONG LAKE

SKETCH
LOT 43
REGISTERED PLAN M-480
CITY OF GREATER SUDBURY



LOT 44
PIN 73472-0133

LOT 43
PIN 73472-0134

PIN
73472
0135
LOT 42

SOUTH SHORE ROAD

Aug 29 / 2023
Sketch - 2

ABBREVIATIONS:

ROOM FINISH SCHEDULE		DOOR SCHEDULE	
CT	CONCRETE FLE	HD	HOLLOW METAL
ML	WOOD	WD	WOOD
LAN	LAMINATE	PT	PAINT
SD	STYRENE BOARD	GL-1	GLASS TYPE 1
PT	PAINT		

DOOR AND FRAME FINISH SCHEDULE

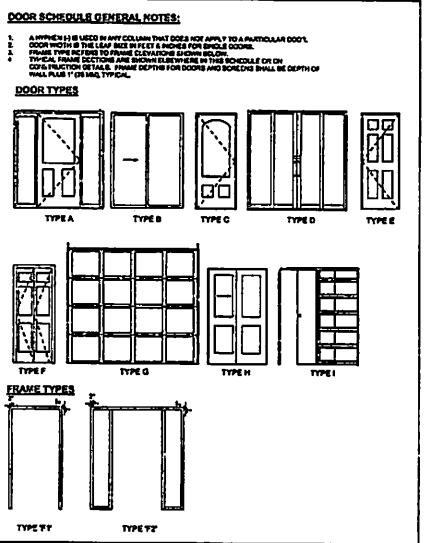
MARKER	DOOR TYPE	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME FINISH	GLASS	SPIN RAFTER COMMENTS
101A	A	2'-0"	7'-0"	HD	PT	T2	HD	PT	GL-1
101B	B	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101C	C	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101D	D	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101E	E	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101F	F	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101G	G	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101H	H	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101I	I	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101J	J	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101K	K	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101L	L	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101M	M	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101N	N	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101O	O	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101P	P	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101Q	Q	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101R	R	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101S	S	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101T	T	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101U	U	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101V	V	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101W	W	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101X	X	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101Y	Y	2'-0"	7'-0"	HD	PT	T1	HD	PT	-
101Z	Z	2'-0"	7'-0"	HD	PT	T1	HD	PT	-

ROOM FINISH SCHEDULE

MARKER	ROOM	WALL	CEILING	FLOOR	DOOR	FRAME	GLASS	SPIN RAFTER	COMMENTS
101	LOBBY	HD	HD	HD	HD	HD	PT	GL-1	
102	OFFICE	HD	HD	HD	HD	HD	PT	GL-1	
103	CONFERENCE	HD	HD	HD	HD	HD	PT	GL-1	
104	RECEPTION	HD	HD	HD	HD	HD	PT	GL-1	
105	STORAGE	HD	HD	HD	HD	HD	PT	GL-1	
106	RESTROOM	HD	HD	HD	HD	HD	PT	GL-1	
107	MEETING	HD	HD	HD	HD	HD	PT	GL-1	
108	TRAINING	HD	HD	HD	HD	HD	PT	GL-1	
109	WORKSHOP	HD	HD	HD	HD	HD	PT	GL-1	
110	LABORATORY	HD	HD	HD	HD	HD	PT	GL-1	
111	SERVER ROOM	HD	HD	HD	HD	HD	PT	GL-1	
112	UPS ROOM	HD	HD	HD	HD	HD	PT	GL-1	
113	NETWORK ROOM	HD	HD	HD	HD	HD	PT	GL-1	
114	PRINT ROOM	HD	HD	HD	HD	HD	PT	GL-1	
115	FILE ROOM	HD	HD	HD	HD	HD	PT	GL-1	
116	ARCHIVE ROOM	HD	HD	HD	HD	HD	PT	GL-1	
117	SERVER RACK	HD	HD	HD	HD	HD	PT	GL-1	
118	SERVER RACK	HD	HD	HD	HD	HD	PT	GL-1	
119	SERVER RACK	HD	HD	HD	HD	HD	PT	GL-1	
120	SERVER RACK	HD	HD	HD	HD	HD	PT	GL-1	

ROOM FINISH SCHEDULE GENERAL NOTES:

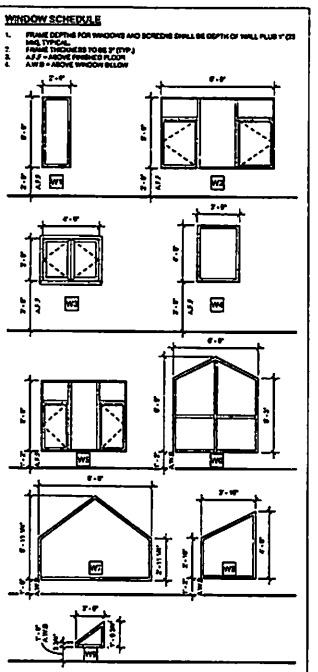
- REF TO DOOR SCHEDULE, SPECIFICATIONS, DRAWINGS AND DETAILS FOR SPECIAL CONDITIONS NOT INDICATED ON THIS SCHEDULE. FINISHES SHALL BE AS PROVIDED AS SHOWN ON THESE DOCUMENTS.
- THE COLOR INDICAL COLUMN ON THE SCHEDULE INDICATES THE MATERIAL AND THE FINISH ON IT. IF ANY, WHERE NO COLOR IS INDICATED THE FINISH INDICATED IS TO BE APPLIED TO THE UNDERSIDE OF THE STRUCTURE ABOVE, INCLUDING ALL FRAMING MEMBERS AND EXPOSED MECHANICAL AND ELECTRICAL SERVICES.
- REFER TO DRAWINGS FOR EXTENT OF ALL EXPOSED BOARD JOINTS. ALL JOINTS ARE TO RECEIVE PAINT FINISH TO MATCH SURFACE UNLESS NOTED OTHERWISE.
- ALL CALLINGS AND DETAILS TO MATCH COLOUR OF MATERIAL ON WHICH IT OCCURS UNLESS OTHERWISE SPECIFIED.
- DOOR, FINISHES AND SCHEDULES ARE TO BE FINISHED AS PER DOOR SCHEDULE AND FINISHES. WHERE NEW FLOOR FINISHES ARE CONTRACTED, REMOVE EXISTING FLOOR MATERIAL AND PREPARE SUB-FLOOR AS NECESSARY TO SET THE RELATIONSHIP OF NEW MATERIAL, LEAVE GOOD EXISTING FINISHES AS MATCHABLE, AS REQUIRED.
- REFER TO SPECIFICATIONS FOR IDENTIFICATION OF MATERIALS, FINISHES, ETC. USED IN THE ROOM FINISH AND DOOR SCHEDULES, AND TECHNICAL SPECIFICATIONS OF THE SPECIFICATION. ABBREVIATIONS MAY ALSO BE GIVEN IN THE SPECIFICATION SECTIONS WHERE THEY ARE USED.
- INSTALL NEW FLOORING PROVIDED BY OTHERS.



PRODUCT SELECTION:

ATTIC ACCESS HATCH:
LOW PROFILE ATTIC ACCESS HATCH BY ATTIC HATCH INC. OR APPROVED EQUAL.

SMOKE AND CO DETECTORS:
SMOKE DETECTORS TO BE FIRST PROTECT AND COORDINATION WITH CO DETECTION SYSTEM.
SMOKE & CO DETECTORS CONFORMING TO NFPA72 NATIONAL FIRE ALARMS & SMOKE DETECTOR CODE.
SMOKE & CO DETECTORS CONFORMING TO NFPA72 NATIONAL FIRE ALARMS & SMOKE DETECTOR CODE.
SMOKE & CO DETECTORS CONFORMING TO NFPA72 NATIONAL FIRE ALARMS & SMOKE DETECTOR CODE.
SMOKE & CO DETECTORS CONFORMING TO NFPA72 NATIONAL FIRE ALARMS & SMOKE DETECTOR CODE.



ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



KOMRI ENGINEERING

REV. NO. 01
2278 SOUTH GERRARD RD. SUITE 202, ONTARIO
PROJECT NO. 202202-001
SCHEDULES

ISSUED FOR CONSTRUCTION - JANUARY 12, 2023

A02

A0029/2023
Sketch 3

ROOF PLAN LEGEND

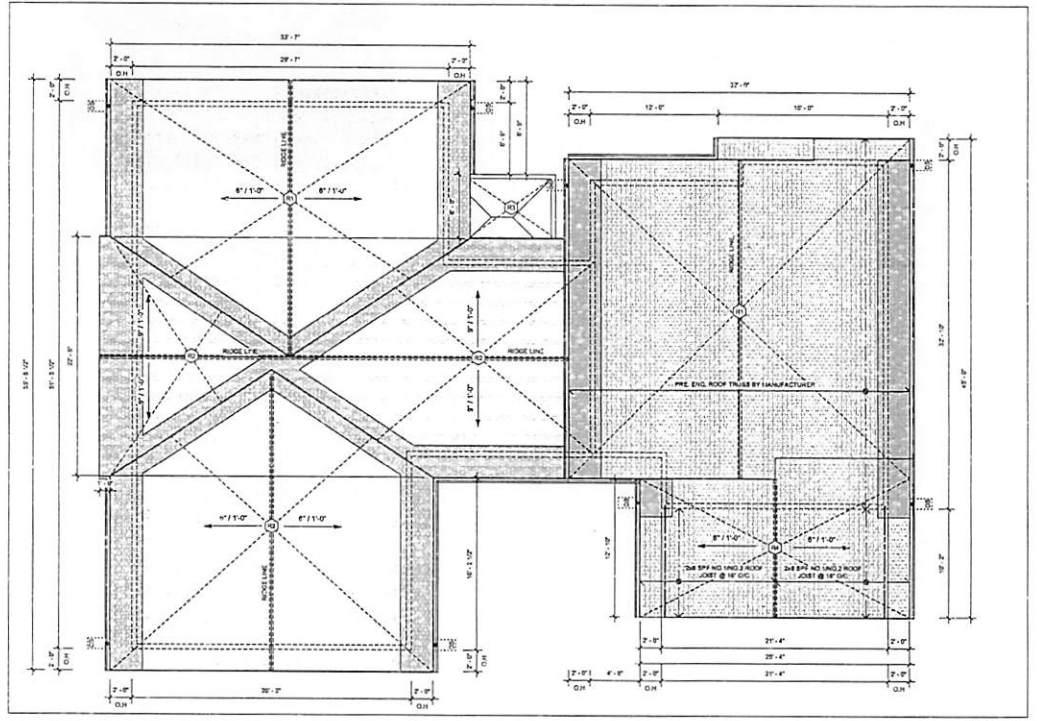
- SLOPE DENOTES DRAINAGE FROM EAVES & ROOF SLOPE
- DENOTES DOWN SPOUTS OR SPLASH PAD
- DENOTES EAVESTROUGH OR DOWNSPOUT
- DENOTES RIDGE VENT
- DENOTES MINIMAL EXTENT OF EAVE PROTECTION
EAVE PROTECTION TO EXTEND A MINIMUM OF 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL.
- DENOTES BEAM BELOW, REFER TO STRUCTURAL DWG.

NOTES:

1. CONTRACTOR TO SITE VERIFY EXISTING SLOPE AND DIMENSIONS PRIOR TO ORDERING TRUSSES. REPORT BACK TO KOMRI ENGINEERING IF ANY DISCREPANCIES OCCUR.
2. ICE AND WATER SHIELD TO EXTEND 1'-0" PAST INTERIOR FACE OF EXTERIOR WALL (TYPICAL).
3. ALL ROOF VENTS TO HAVE EAVE PROTECTION AND FLASHING.
4. THE MANUFACTURED ROOF TRUSS SUPPLIER SHALL PROVIDE MANUFACTURED ROOF TRUSSES SUITABLE TO THE DESIGN PARAMETERS PROVIDED BY KOMRI ENGINEERING AND IN ACCORDANCE WITH OGC PART 5 - 8.23.13.11 WOOD TRUSSES.

ROOF ASSEMBLIES:

- (A1) INSULATED PRE-ENGINEERED TRUSS**
 - 25 YEAR ASPHALT SHINGLES
 - EAVESTROUGH AROUND PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FILL PAPER
 - 1/2" PLYWOOD SHEATHING
 - PRE-ENGINEERED ROOF TRUSS BY OTHERS
 - BLOWN INSULATION PER OGC NOTIC - PROVIDE GATT INSULATION
 - 6ML POLY ISOPOLAR BARRIER MEMBRANE - LAP & SEAL
 - SEE OGC AS SCHEDULED
- (A2) PRE-ENGINEERED CATINERIAL TRUSS ROOF**
 - 25 YEAR ASPHALT SHINGLES
 - EAVESTROUGH AROUND PERIMETER AS PER DETAIL
 - ICE AND WATER SHIELD AROUND PERIMETER AND FLASHING AREAS
 - CONSTRUCTION FILL PAPER
 - 1/2" PLYWOOD SHEATHING ON H CLIPS
 - PRE-ENGINEERED TRUSS BY OTHERS @ 24" O.C
 - PROVIDE GATT INSULATION IN CATINERIAL CEILING (PER OGC)
 - 6ML POLY ISOPOLAR BARRIER MEMBRANE - LAP & SEAL
 - SEE OGC AS SCHEDULED
- (A3) TYPICAL FLAT ROOF ASSEMBLY**
 - 3/4" MODIFIED BITUMEN MEMBRANE ON PROTECTION BOARD ON MIN. 1/2" POLYETHYLENE INSULATION
 - 3/4" PLYWOOD SHEATHING
 - 24" PRESSURE TREATED ROOF JOISTS, SHEA FOR SLOPE AS REQUIRED
- (A4) CONVENTIONAL FRAMED ROOF ASSEMBLY**
 - 25 YEAR ASPHALT SHINGLES
 - EAVESTROUGH AROUND PERIMETER AS PER DETAIL
 - CONSTRUCTION FILL PAPER
 - 1/2" PLYWOOD SHEATHING ON H CLIPS
 - 24" SPACING PRESSURE TREATED ROOF JOISTS @ 12" O.C



ROOF PLAN
3/16" = 1'-0"

1. I AM CHANGING SOME OF THE INFORMATION ON THIS DRAWING TO REFLECT THE INFORMATION PROVIDED BY THE CLIENT. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

2. I AM CHANGING SOME OF THE INFORMATION ON THIS DRAWING TO REFLECT THE INFORMATION PROVIDED BY THE CLIENT. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.



ELV HOMES
2725 SOUTH SHORE RD. SUDBURY, ONTARIO
PROJECT NO. 2022-412
ROOF PLAN

DRAWN BY: IN
CHECKED BY: KO
SCALE: As Indicated
SHEET:

A04

ISSUED FOR CONSTRUCTION - JANUARY 12, 2023

A0029/2023
Sketch 5

RCP LEGEND

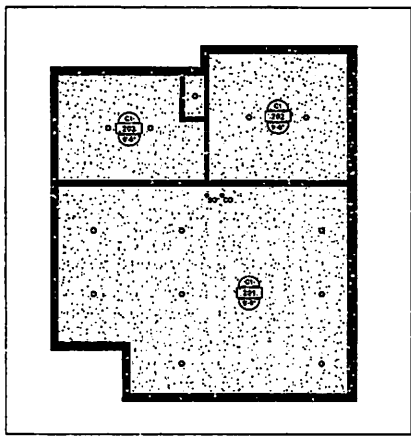
- DENOTES ROOM NUMBER REFERENCE
- DENOTES CEILING TYPE - REFER TO SCHEDULE
- DENOTES CEILING HEIGHT
- DENOTES CEILING HEIGHT W/LINE
- DENOTES SMOKE DETECTOR
- DENOTES RECESSED POT LIGHTS
- DENOTES CEILING FAN

NOTES:

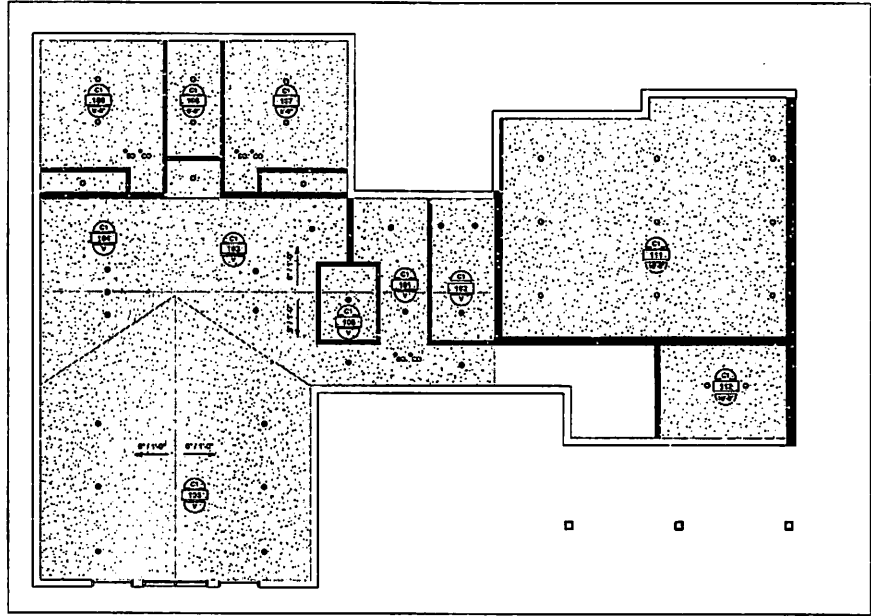
- REFER TO ROOM SCHEDULE FOR ADDITIONAL INFORMATION.
- LIGHTING FOR REPRESENTATION ONLY. COORDINATE ON-SITE WITH OWNER.

CEILING ASSEMBLY:

- TYPICAL CEILING ASSEMBLY DETAILS
- RECESSED DOWNLIGHT 6" x 6" OR 12" SQUARE BOARD MOUNTING



SECOND FLOOR CEILING PLAN
3/16" = 1'-0"



MAIN FLOOR CEILING PLAN
3/16" = 1'-0"

COMMENTS:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND THE 2018 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC) AND THE 2018 INTERNATIONAL ELECTRICAL CODE (IEC).

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SMOKE AND ALARM CODE (ISAC).

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SOUND AND VIBRATION CODE (ISVC).

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL TRANSPORTATION AND HIGHWAY BUILDING CODE (ITHBC).

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL WOOD PRESERVATION CODE (IWPC).

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ZONING AND ORDINANCE CODE (IZOC).

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL GREEN BUILDING CONSTRUCTION CODE (IGBC).

11. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL LEED GREEN BUILDING CONSTRUCTION CODE (IGBC).

12. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).

13. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).

14. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).

15. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).

PROFESSIONAL SEAL:

REGISTERED PROFESSIONAL ENGINEER
IN THE PROVINCE OF ONTARIO
NO. 12345
DATE: 12/15/2023

KOMRI ENGINEERING

PROJECT INFORMATION:

CLIENT: [REDACTED]

PROJECT: [REDACTED]

DATE: [REDACTED]

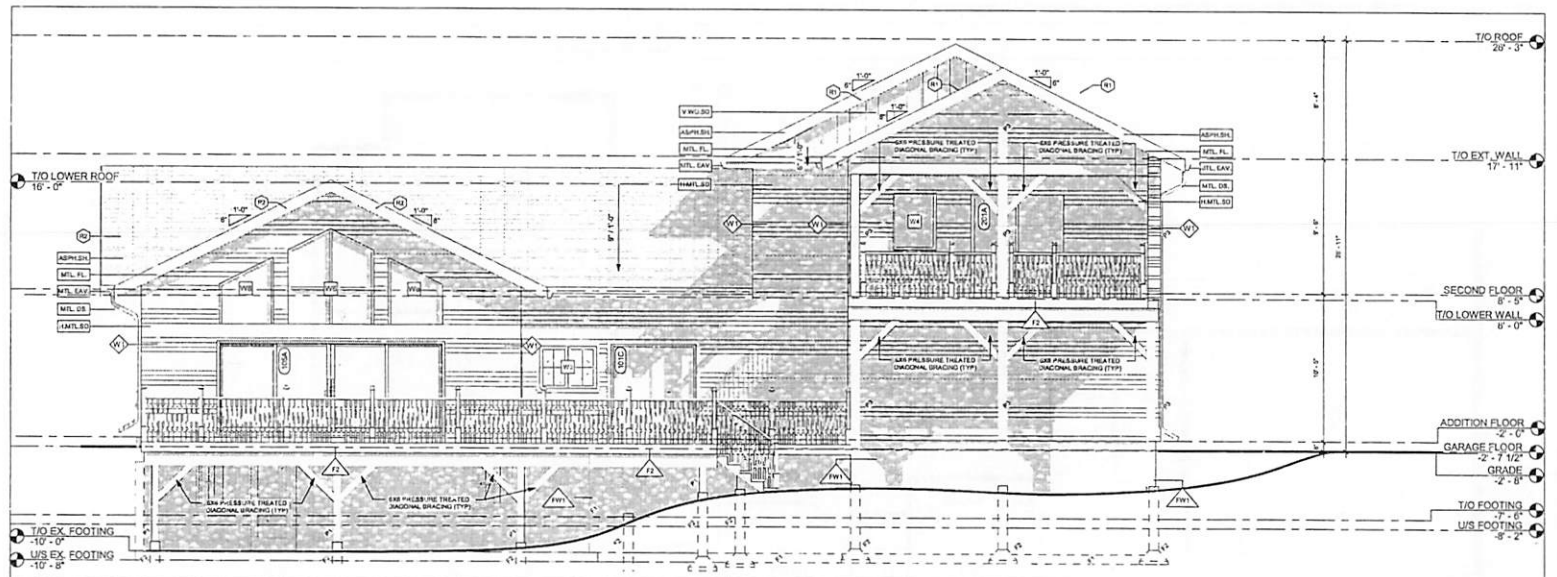
SCALE: As Indicated

ISSUED FOR CONSTRUCTION - JANUARY 12, 2023

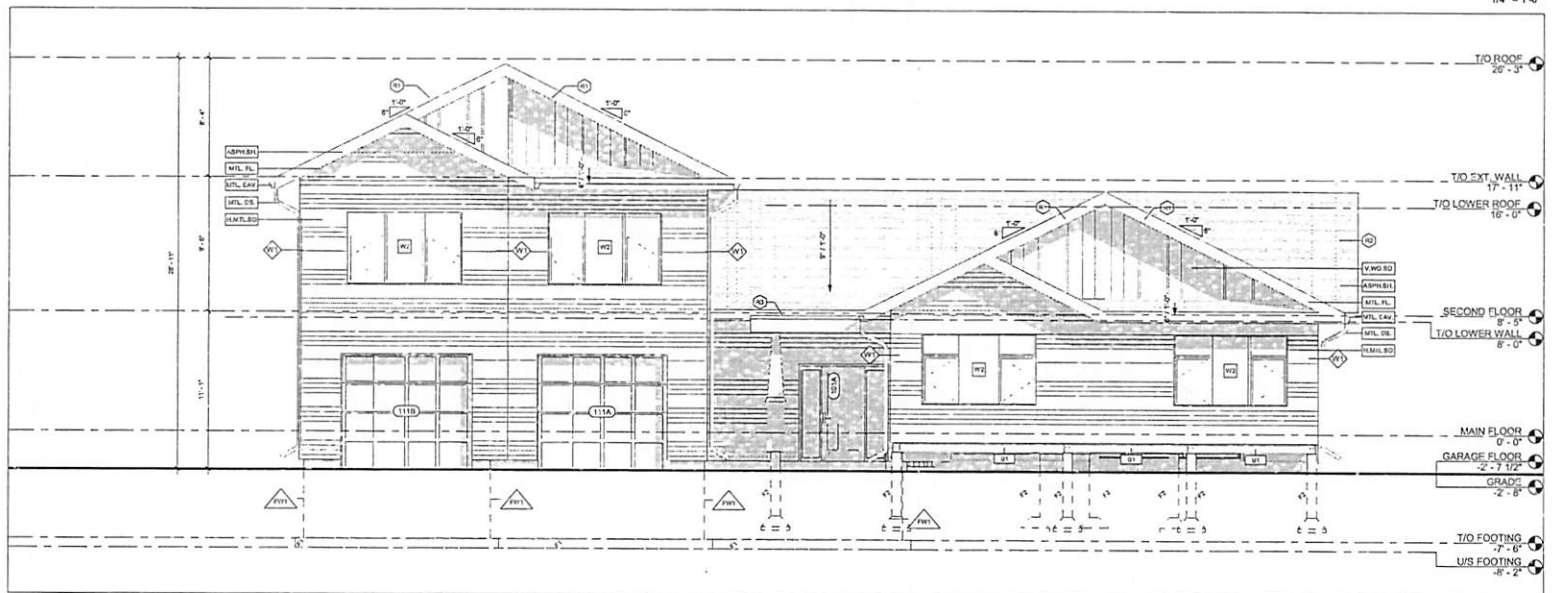
A07

A0029/2023
Sketch 9

- LEGEND**
- ASPH/SH DENOTES 25 YEAR ASPHALT SHINGLES
 - MTL FL DENOTES METAL FLASHING
 - MTL EAV DENOTES METAL EAVSTROUGHT
 - MTL DB DENOTES METAL DOWN SPOUT
 - HMTL SB DENOTES HORIZONTAL METAL SIDING
 - V.WG.BD DENOTES VERTICAL WOOD SIDING
 - F.W. FOUNDATION WALL IDENTIFICATION
 - W. WALL IDENTIFICATION IN SCHEDULE
 - F. FLOOR IDENTIFICATION IN SCHEDULE
 - R. ROOF IDENTIFICATION IN SCHEDULE
 - D. DOOR IDENTIFICATION IN SCHEDULE
 - W. WINDOW IDENTIFICATION IN SCHEDULE
 - F. FOOTING IDENTIFICATION IN SCHEDULE
 - S. BEAM IDENTIFICATION IN SCHEDULE



BACK ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

PROFESSIONAL ENGINEER
 REG. NO. 100000000
 PROJECT NO. 2022-0430
 DATE: 01/18/2023
 PROVINCE OF ONTARIO



SLV WORKS
 2728 SOUTH BRIDGE RD. SUDBURY, ONTARIO
 PROJECT NO. 2022-0430

DRAWN: DRW
 CHECKED: DRW
 SCALE: 1/4" = 1'-0"
 SHEET

A08

ISSUED FOR CONSTRUCTION - JANUARY 12, 2023

A0029/2023
 Sketch - 10

FLOOR ASSEMBLIES:

- F1.1 FLOOR SLAB**
 - FORM AS SCHEDULED
 - 1" EPS INSULATION
 - 3/4" WOOD JOISTS @ 16" OC W/ BRACING - REFER TO STRUCTURAL
 - 1 1/2" W/ EPSY FLOOR INSULATION (R=25 MIN)
 - SCAFF
- F1.2 FLOOR SLAB**
 - 1 W/ 2" FLOOR FINISH
 - 3/4" WOOD JOIST @ 16" OC W/ BRACING - REFER TO STRUCTURAL
- F1.3 FLOOR SLAB**
 - FORM AS SCHEDULED
 - 1" EPS INSULATION
 - 1 1/2" W/ EPSY FLOOR FINISH
- F1.4 FLOOR SLAB**
 - 6" CONCRETE SLAB ON GRADE ON HEATING TRAPS - REINFORCED W/ WIRE MESH AS PER TO STRUCTURAL DRAWING
 - 1" EPS INSULATION
 - 3" WOOD INSULATION OVER GRANULAR A (1" BELOW SLAB) & GRANULAR B TYPE 2 (FINAL 2")
- F1.5 FLOOR SLAB**
 - FORM AS SCHEDULED
 - 1" EPS INSULATION
 - 3/4" WOOD JOISTS @ 16" OC W/ BRACING - REFER TO STRUCTURAL

FOUNDATION WALL ASSEMBLIES:

- F1.1 EXTERIOR BLOCK CONCRETE WALL**
 - 2" EPS INSULATION FROM FINISHED GRADE DOWN TO CORNER AND OVER CONCRETE FOOTING
 - 1" EPS INSULATION FROM FINISHED GRADE TO TOP OF FOUNDATION WALL
 - 1" EPS INSULATION FROM FINISHED GRADE TO TOP OF FOUNDATION WALL
 - 1" EPS INSULATION FROM FINISHED GRADE TO TOP OF FOUNDATION WALL

BEAM SCHEDULE

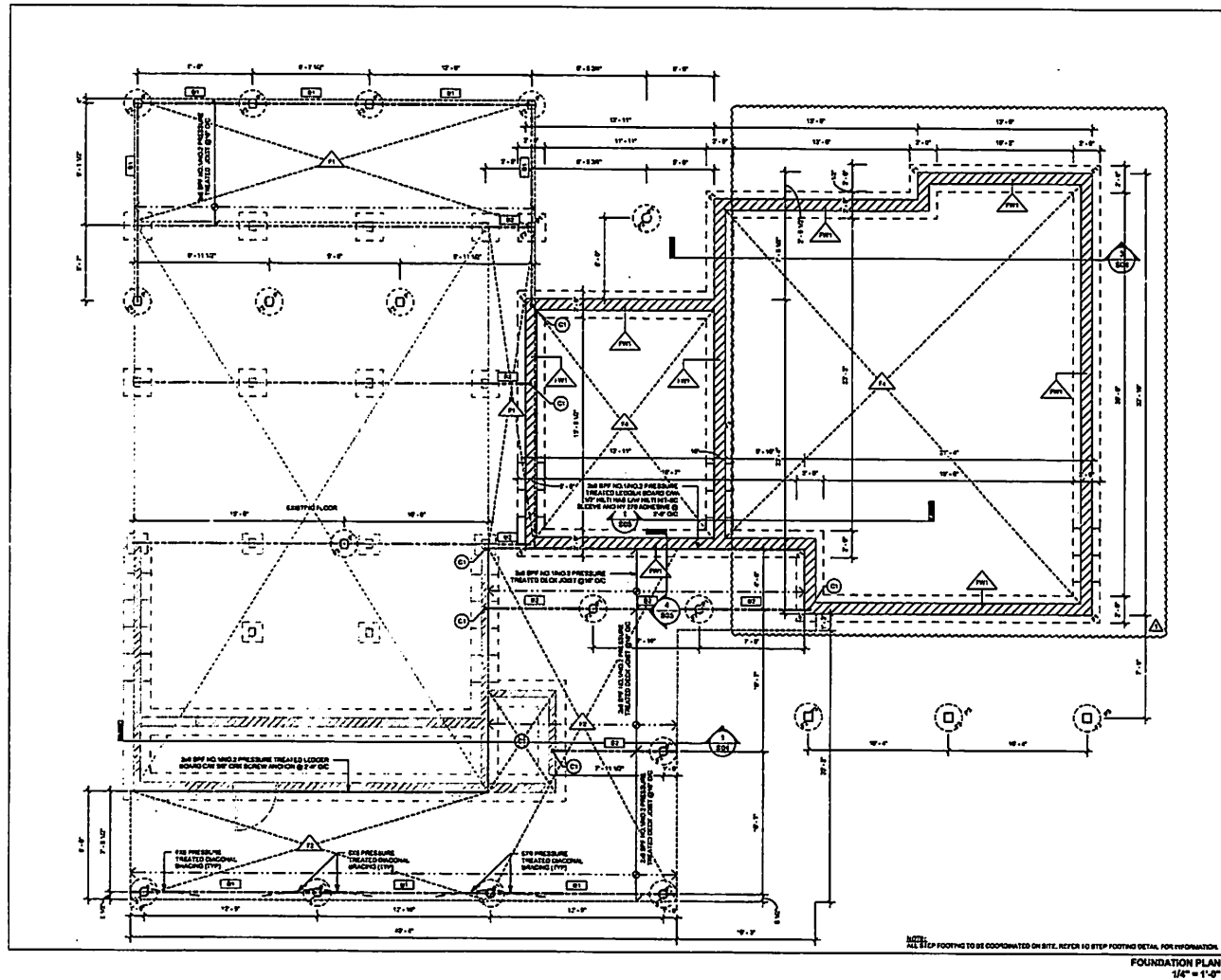
IDENTITY	SIZE
B1	6"PLY 2x12 SPP HGL UNGLD PRESURE TREATED
B2	3"PLY 2x12 SPP HGL UNGLD PRESURE TREATED
B3	W13x41 - F2300000 STEEL BEAM
B4	6"PLY 1x6P x 12 SPP UNL 2x8
B5	6"PLY 2x6 SPP HGL UNGLD PRESURE TREATED
B6	2"PLY 2x6 SPP HGL UNGLD
B7	3"PLY 2x12 SPP HGL UNGLD

POST/COLUMN SCHEDULE

IDENTITY	SIZE
P1	6x6 SPP 1.0 UNGLD PRESURE TREATED
P2	3"PLY 2x6 SPP HGL UNGLD
P3	2x6 SPP HGL UNGLD PRESURE TREATED
P4	MINER RED ANCH 2.0 MIN FACTORED CAPACITY OF 5000 LBS

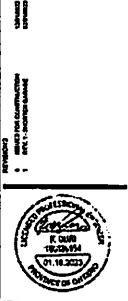
FOOTING SCHEDULE

IDENTITY	SIZE
F1	2'-0" x 2'-0" CONTIGUOUS FOOTING ON 3-1/2" SAND
F2	18" RCHTNG PEA 18" W/ 8" FOOT BASE W/ 4-1/2" VERTICAL BARS



ISSUED FOR CONSTRUCTION - JANUARY 12, 2023

1. ALL DIMENSIONS ARE TO THE EXTERIOR UNLESS OTHERWISE SPECIFIED.
 2. FOUNDATION WALLS SHALL BE CONCRETE ON A 3-1/2" SAND FILL.
 3. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.
 4. FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.
 5. FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.
 6. FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.
 7. FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.
 8. FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.
 9. FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.
 10. FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" POLYURETHANE INSULATION.

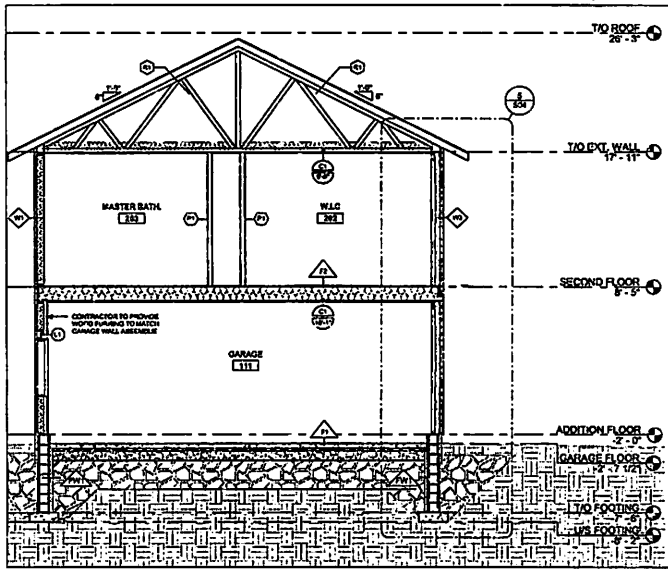


RYAN KOMRI
 2225 SOUTH SHORE RD. SUDBURY, ONTARIO
 PROJECT NO. 230000001
 FOUNDATION PLANS

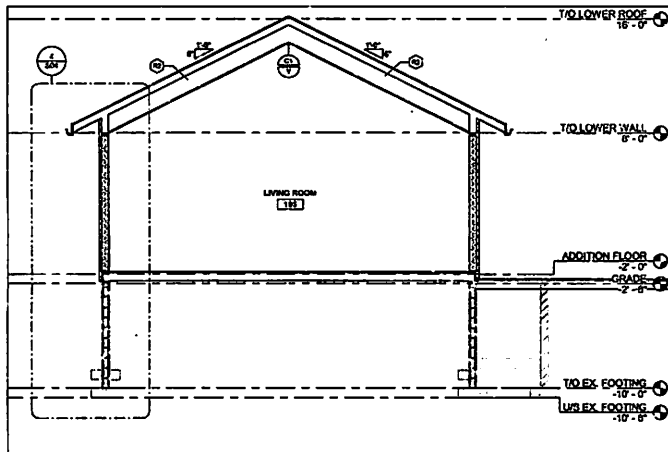
DESIGNED	BY
CHECKED	NO
SCALE	1/4" = 1'-0"
SHEET	

S01

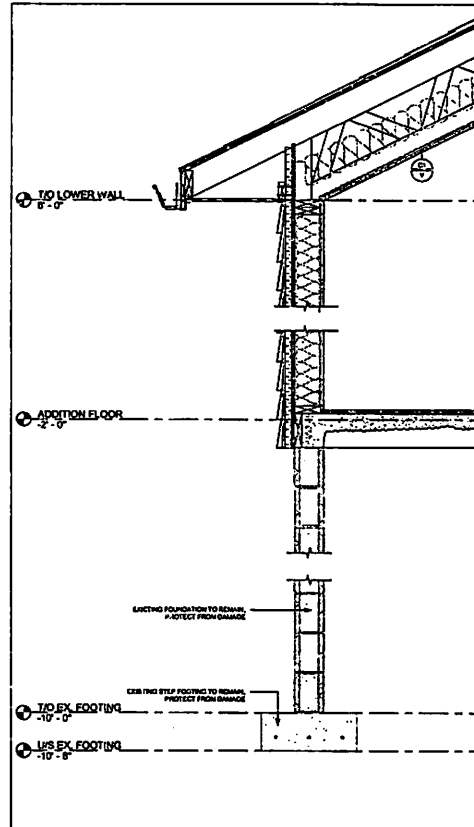
A0029/2023
 Sketch - 12



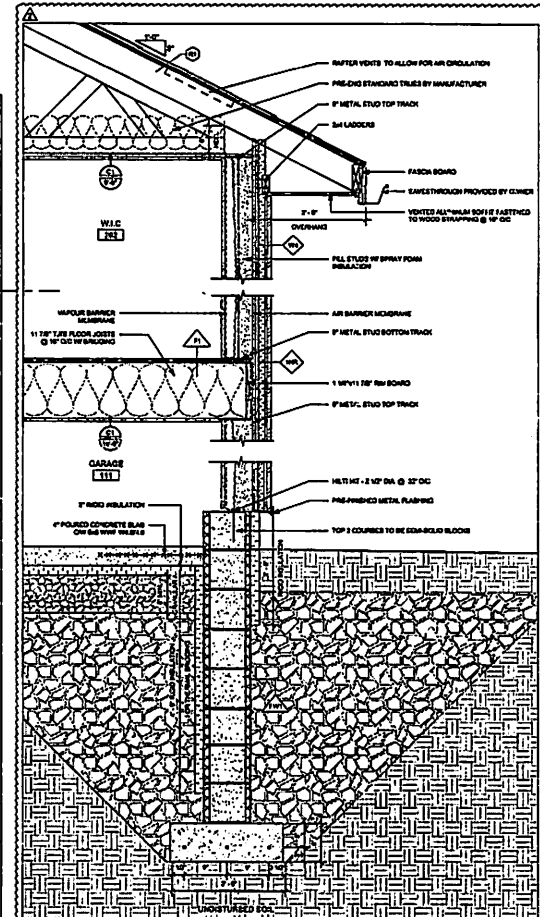
GARAGE SECTION
1/4" = 1'-0"



LIVING ROOM SECTION
1/4" = 1'-0"



LIV. WALL DETAIL
1" = 1'-0"



EXT. FIN. FLOOR WALL SECTION
1" = 1'-0"

ISSUED FOR CONSTRUCTION - JANUARY 12, 2023

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS SHALL BE CONCRETE BLOCK WITH EXTERIOR FINISH.
3. ALL ROOFING SHALL BE ASPH/FLT SHINGLES WITH 1\"/>



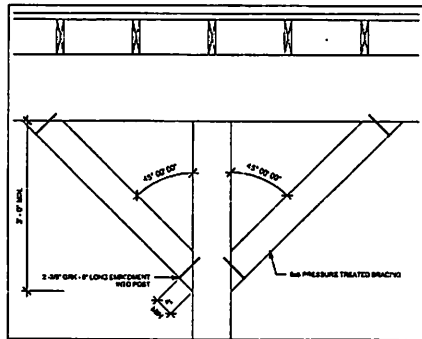
KOMRI
ENGINEERING

BY: J. KOMRI
DATE: 01.12.2023
PROJECT: 2023-001

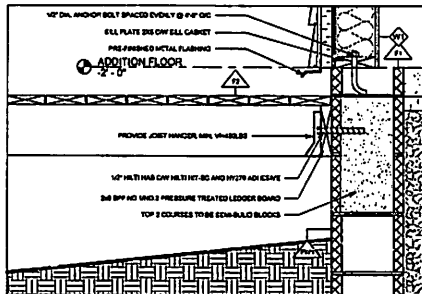
SCALE: As Indicated
SHEET

S04

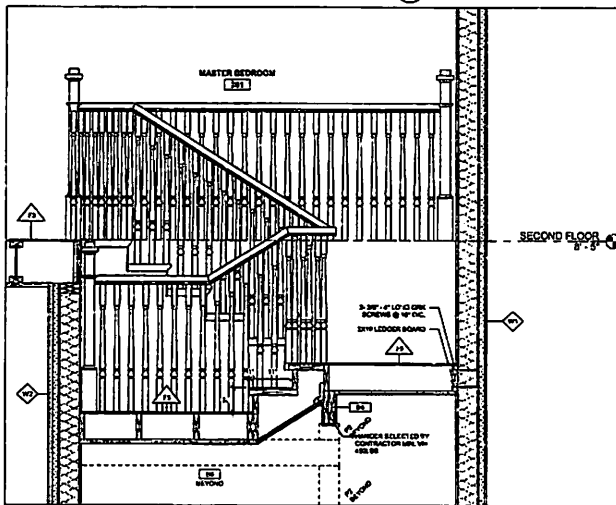
A0029/2023
Sketch - 15



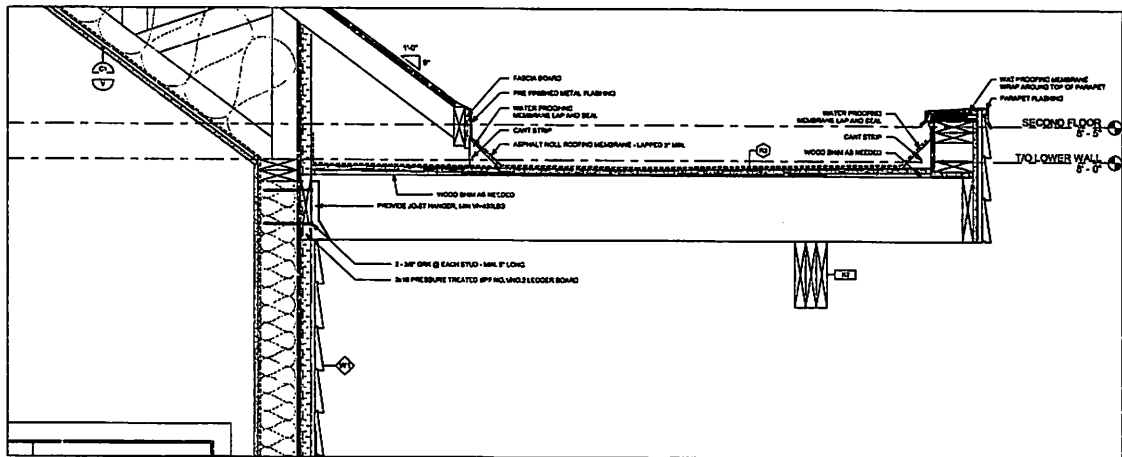
TYP. DECK BRACING DETAIL
1" = 1'-0"



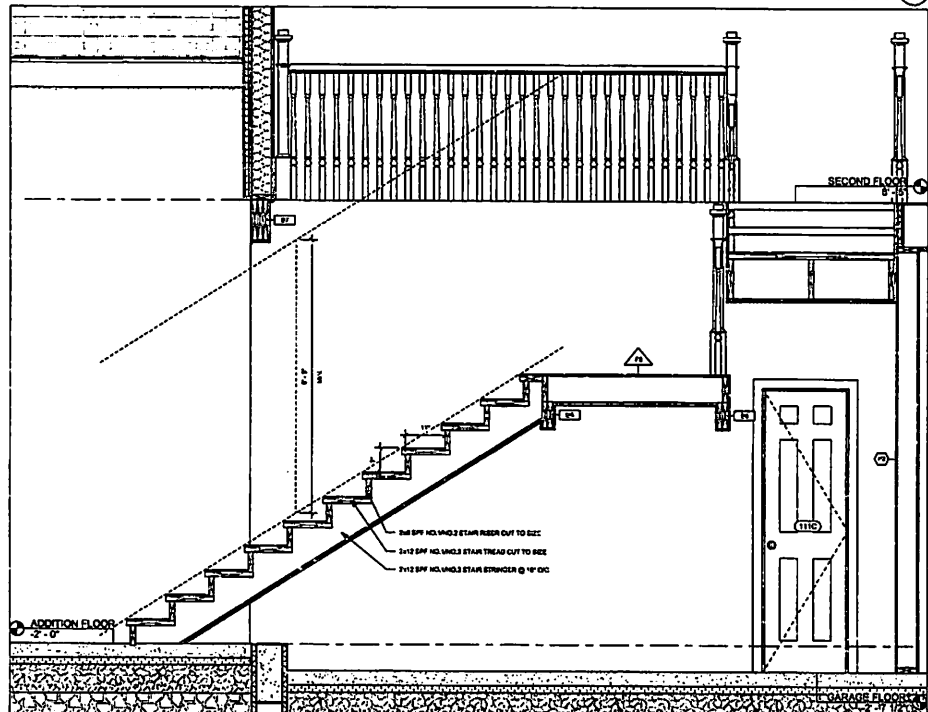
TYPICAL LEDGER BOARD DETAIL
1 1/2" = 1'-0"



STAIR SECTION 2
3/4" = 1'-0"



TYPICAL FLAT ROOF DETAIL
1 1/2" = 1'-0"



STAIR SECTION 1
3/4" = 1'-0"

COMMENTS:
1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
2. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ENGINEER.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND THE NATIONAL ELECTRICAL CODE OF CANADA (NEC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE OF CANADA (NPC) AND THE NATIONAL MECHANICAL CODE OF CANADA (NMC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND THE NATIONAL FIRE ALARMS CODE OF CANADA (NFAC).
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CANADIAN STANDARDS ASSOCIATION (NCSA) AND THE NATIONAL CANADIAN STANDARDS FOR BUILDING MATERIALS (NCSB).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CANADIAN STANDARDS FOR CONSTRUCTION (NCS).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CANADIAN STANDARDS FOR SAFETY (NCSA).



KOMRI ENGINEERING
R. KOMRI
123456789
17.18.2023
PROVINCE OF ONTARIO

S05

ISSUED FOR CONSTRUCTION - JANUARY 12, 2023

A 0029/2023
Sketch-26



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01
A 0030/2023
S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Sandra Ramalho and Brian Dichte Email: [REDACTED]
 Mailing Address: 249 Somerset Street Home Phone: [REDACTED]
 City: Sudbury Postal Code: P3B3B1 Fax Phone: _____

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A Email: _____
 Mailing Address: _____ Home Phone: _____
 City: _____ Postal Code: _____ Business Phone: _____
 Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Bank of Montreal
 Mailing Address: 1485 Lasalle Blvd. Greater Sudbury SR
 City: Sudbury Postal Code: P3A 5H7

4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Side yard Setback ^{Table 6.2}	1.2 m.	0.823M	0.377.

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: 0.6 (m)

c) Description of Proposal:
Bedroom Addition

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Location of house - other side large rock bed

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 3 Township: Mckim
 Lot No.: _____ Concession No.: 3 Parcel(s): 11003
 Subdivision Plan No.: M131 Lot: 137 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 249 Somerset Street

7) Date of acquisition of subject land. Aug 22'

8) Dimensions of land affected.

Frontage 15.24 (m) Depth 36.579(m) Area 557.418 (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	<u>79.62</u>	(m ²)	<u>Addition</u>	(m ²)
Gross Floor Area:	<u>238.86</u>	(m ²)	<u>22.3</u>	(m ²)
No. of storeys:	<u>2</u>		<u>1</u>	
Width:	<u>7.46</u>	(m)	<u>2.44</u>	(m)
Length:	<u>10.67</u>	(m)	<u>3.65</u>	(m)
Height:	<u>6.8</u>	(m)	<u>4.88</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>7.22</u>	(m)	<u>7.22</u>	(m)
Rear:	<u>13.7452</u>	(m)	<u>15.087</u>	(m)
Side:	<u>6.918</u>	(m)	<u>8.29</u>	(m)
Side:	<u>0.88392</u>	(m)	<u>0.83058</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

- | | | | |
|---|-------------------------------------|--|-------------------------------------|
| Municipally owned & operated piped water system | <input checked="" type="checkbox"/> | Provincial Highway | <input type="checkbox"/> |
| Municipally owned & operated sanitary sewage system | <input checked="" type="checkbox"/> | Municipal Road | <input type="checkbox"/> |
| Lake | <input type="checkbox"/> | Maintained Yearly | <input checked="" type="checkbox"/> |
| Individual Well | <input type="checkbox"/> | Maintained Seasonal | <input type="checkbox"/> |
| Communal Well | <input type="checkbox"/> | Right-of-way | <input type="checkbox"/> |
| Individual Septic System | <input type="checkbox"/> | Water | <input type="checkbox"/> |
| Communal Septic System | <input type="checkbox"/> | If access is by water only, provide parking and docking facilities to be used. | |
| Pit Privy | <input type="checkbox"/> | | |
| Municipal Sewers/Ditches/Swales | <input type="checkbox"/> | | |

12) Date(s) of construction of all buildings and structures on the subject land.

1960

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Single family Length of time: 1960

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property?

1

16) If this application is approved, would any existing dwelling units be legalized?

Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

A0030/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Sandra Ramalho and Brian Oickle (please print all names), the registered owner(s) of the property described as 249 Somerset Street

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

g) appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 16 Mar 23 day of _____, 20 _____

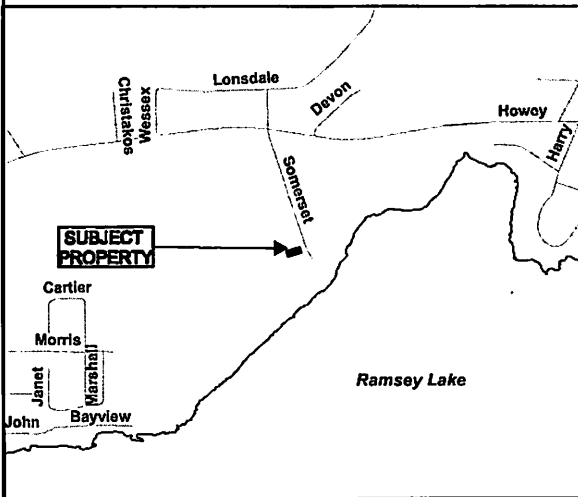
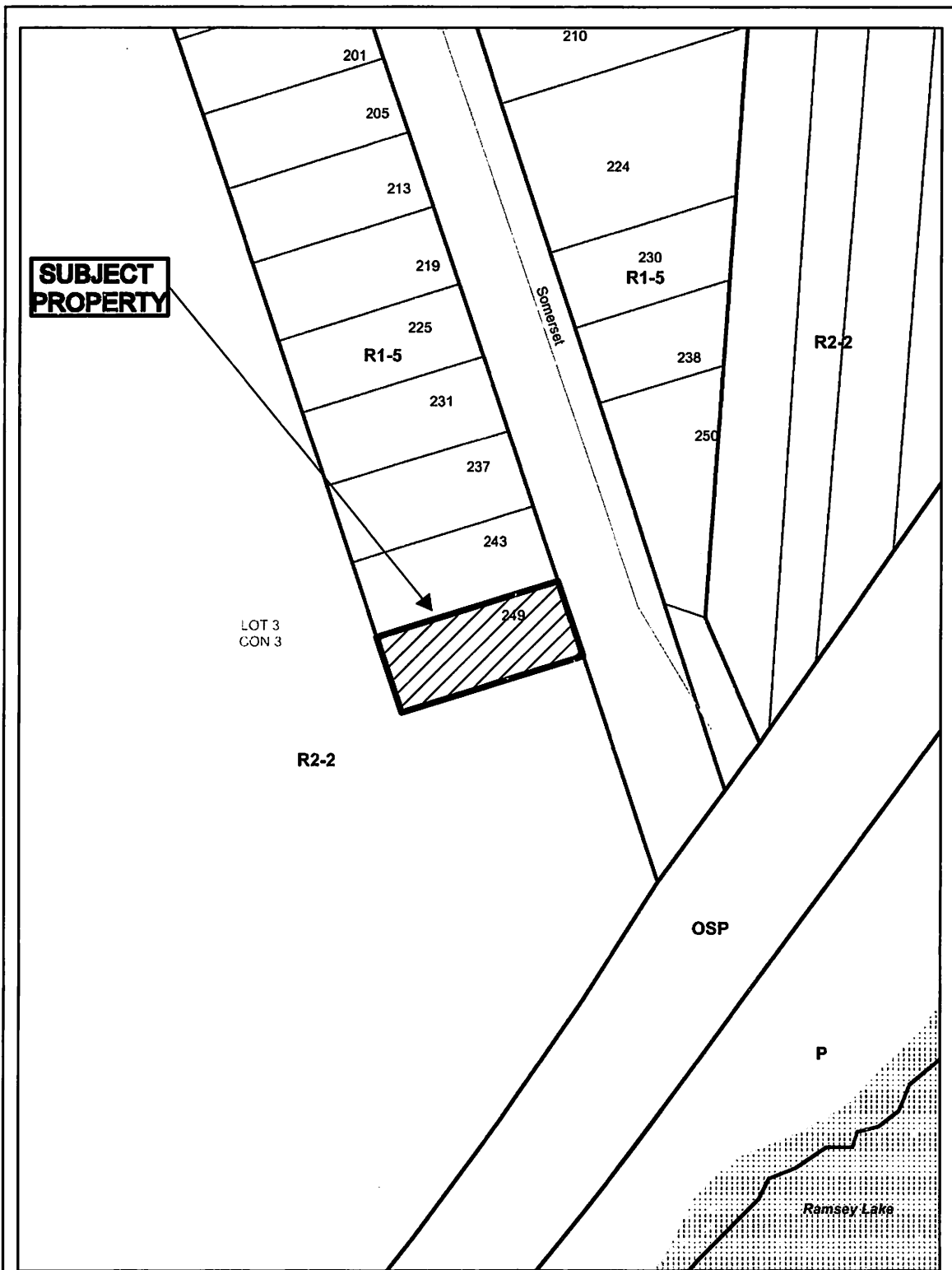
(witness) [Signature]


[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Sandra Ramalho and Brian Oickle

*I have authority to bind the Corporation

A00 30/2023



Application for Minor Variance or Permission 

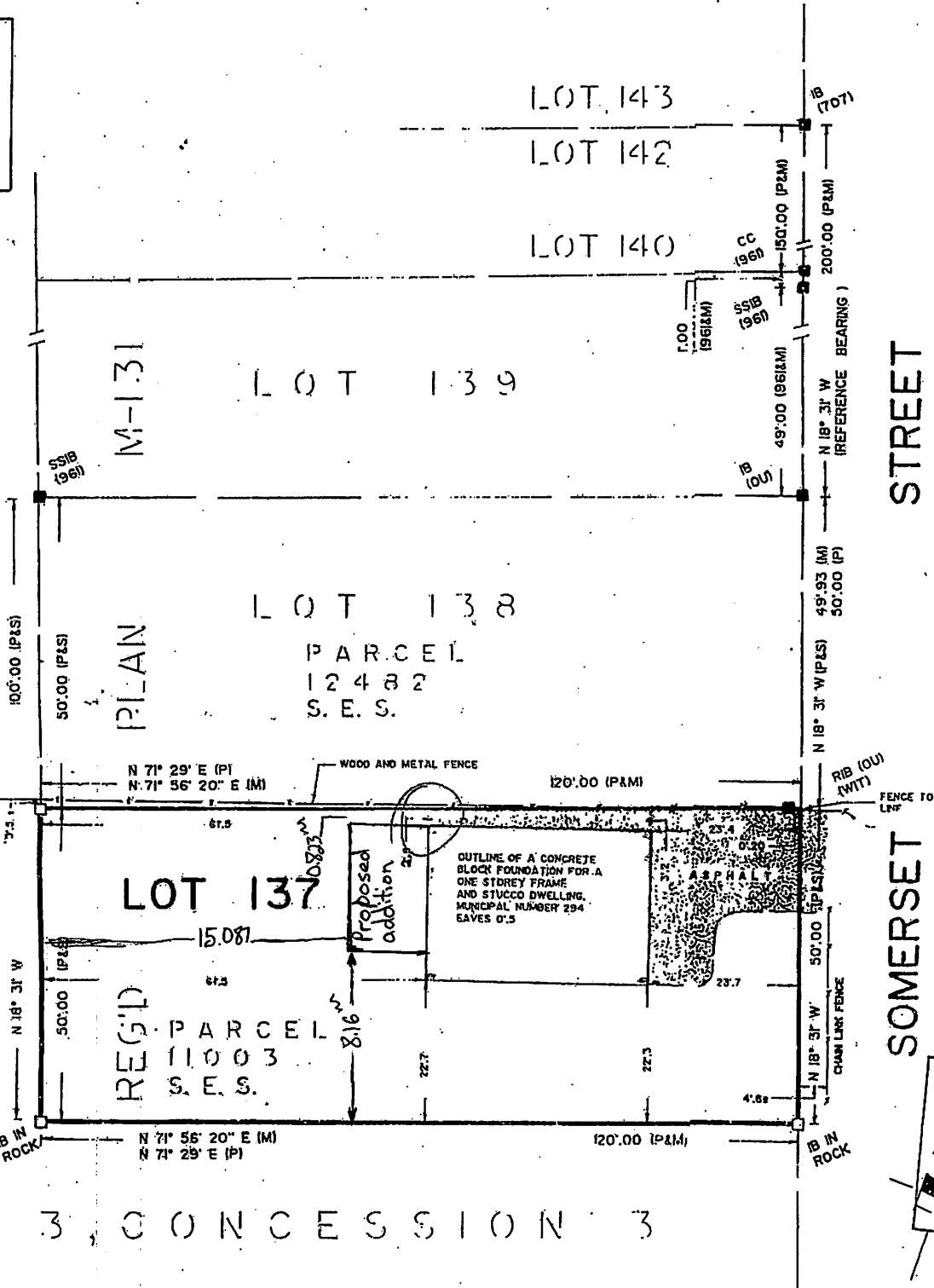
Subject Property,
 PIN 73582-0041,
 Parcel 11003 SEC SES,
 Lot 137, Plan M131,
 Part Lot 3, Concession 3,
 Township of McKim,
 249 Somerset Street, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS A0030/2023
 NDCA Date: 2023 03 23

Minor Variance

ED
191
NTROLS
ENT

PARCEL 16704 S.E.S.



T 3 CONCESSION 3

SURVEYOR'S REAL PROPERTY REPORT - P.	
DESCRIPTION OF LAND	
ALL OF LOT 137, REGISTERED PLAN M131, TOWNSHIP OF McKim, MUNICIPAL NUMBER 294 SOMERSET STREET	
ENCROACHMENTS	
THERE ARE NO ENCROACHMENTS OF OTHER BUILDINGS UPON THE SAID LANDS	
<i>Prepared July 18/21 D S Walcott</i>	

AND LTD.
SURVEYORS
STREET
ONTARIO
558 FAX 873-1051

OFFICE	CHECKED BY
WJM	D.A.S.

A0030/2023
Sketch-2

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73502-0898 Township: Blezard
 Lot No.: 6 Concession No.: 5 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R20869 Part(s): 5, 10, 11, 12, 13 & 14
 Municipal Address or Street(s): Unavailable

7) Date of acquisition of subject land. Aug 07, 2019

8) Dimensions of land affected.

Frontage ±58.50 (m) Depth ±138.92 (m) Area ±8073.60 (m²) Width of Street N/A (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	±384.91	(m ²)	±278.74	(m ²)
Gross Floor Area:	±789.82	(m ²)	±278.74	(m ²)
No. of storeys:	2		1	
Width:	±9 (IRREGULAR)	(m)	±15.25	(m)
Length:	±25 (IRREGULAR)	(m)	±18.30	(m)
Height:	±9	(m)	8.5	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	±32.30	(m)	±116.11	(m)
Rear:	±79.97	(m)	±8.42	(m)
Side:	±6.93	(m)	±6.34	(m)
Side:	±18.12	(m)	±28.03	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Unknown

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: Unknown

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: Residential

A0031/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____ or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. Intake Protection Zone 3

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, CHARBONNEAU, ANGELE; CHARBONNEAU, PAUL (please print all names), the registered owner(s) of the property described as

PART LOT 5 CONCESSION 6 DUEZARD PARTS 10, 11, 12, 13 & 14 SUBJECT TOGETHER WITH AN EASEMENT OVER PT 15 CONCESSION 6 DUEZARD TOGETHER WITH AN EASEMENT OVER PART 2 & 3 OF PART 4 AS AN ADJUTANT TOGETHER WITH AN EASEMENT OVER PART 11 & 12 OF PART 13, 13 & 14 SUBJECT AS IN S0357117 SUBJECT TO AN EASEMENT OVER PART 10, 11, 12, 13 & 14 SUBJECT TOGETHER WITH AN EASEMENT OVER PART 2 & 3 OF PART 4 IN FAVOUR OF PART 10, 11, 12, 13 & 14 SUBJECT AS IN S0357117 SUBJECT TO AN EASEMENT OVER PARTS 10, 12 & 14 SUBJECT TOGETHER WITH AN EASEMENT OVER PART 15 SUBJECT AS IN S0357117 CITY OF GREATER SUDBURY (PIN: 73157-0825)

- Collection, Use and Disclosure of Information:
a) acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
c) In accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph
e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;

f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent
g) appoint and authorize TULLOCH Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 8 day of MARCH, 2023

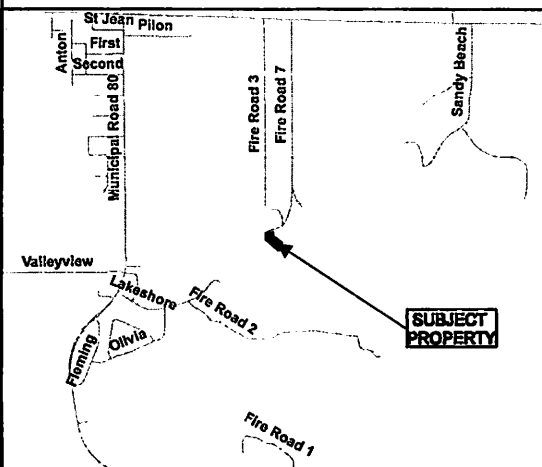
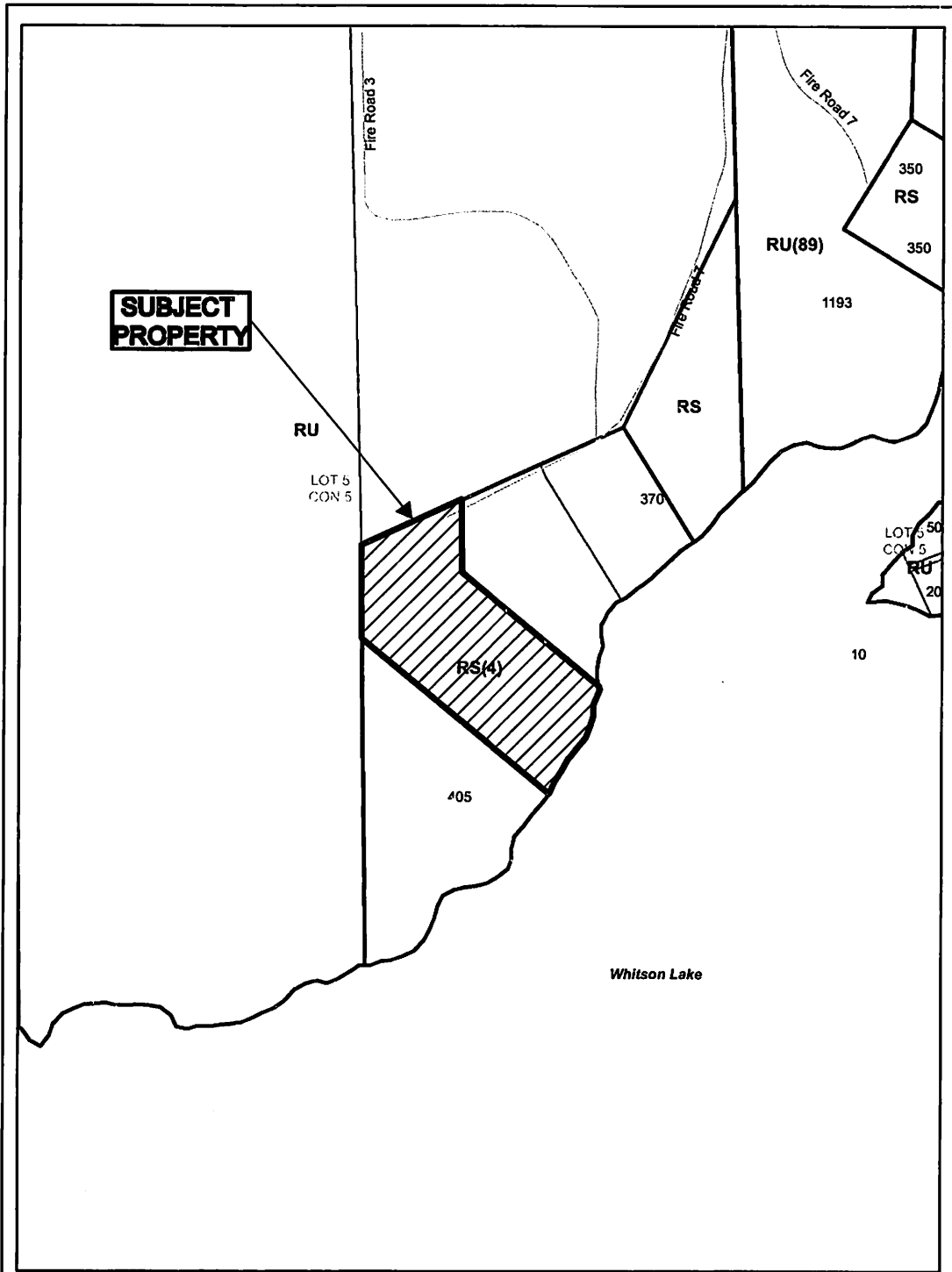
X [Signature] (witness)

X [Signature] Angele Charbonneau
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: PAUL CHARBONNEAU ANGELE CHARBONNEAU

*I have authority to bind the Corporation

A0031/2023



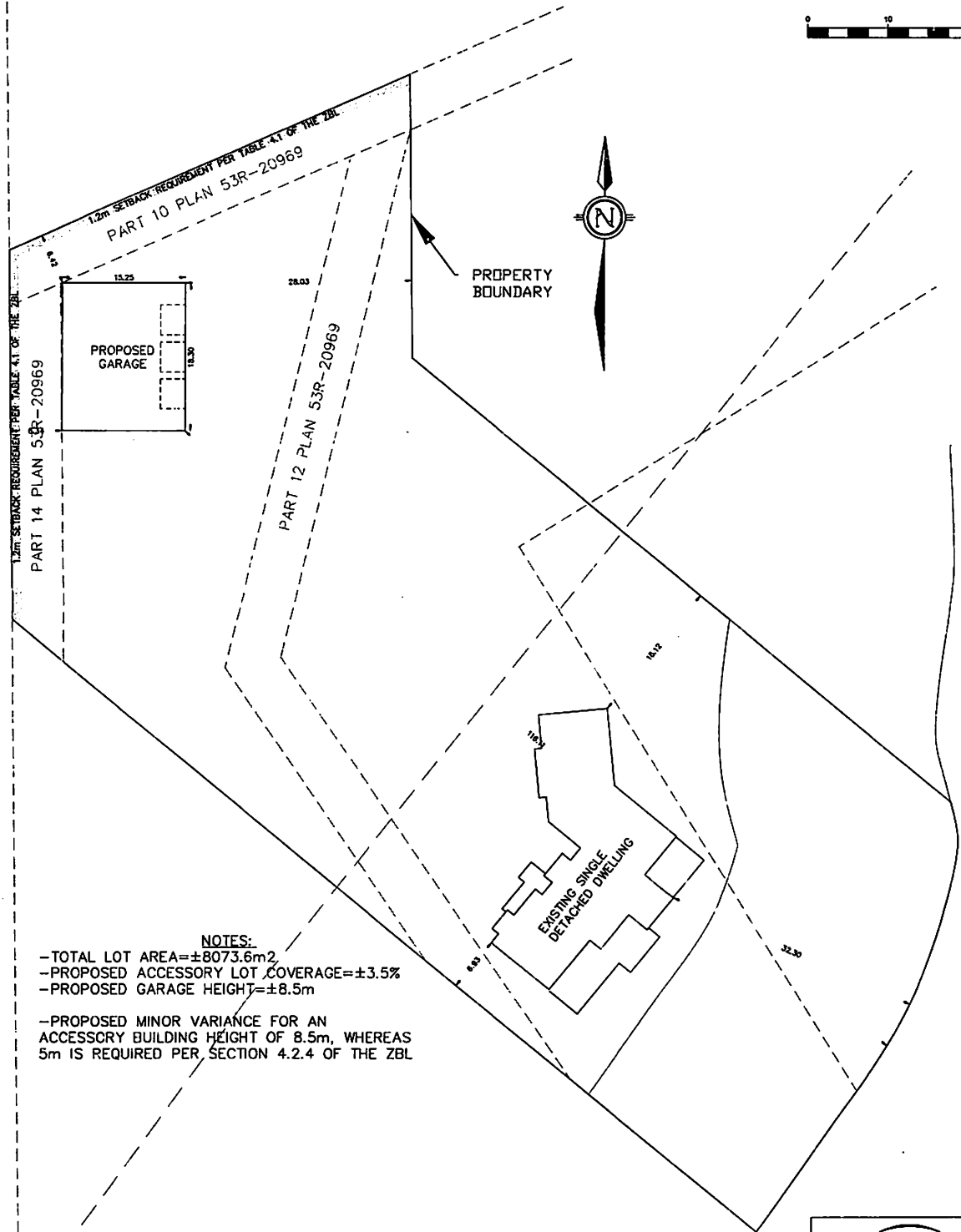
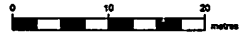
Application for Minor Variance or Permission



PIN 73502-0898, Part Lot 5, Concession 5, Parts 5, 10, 11, 12, 13 and 14, Plan 53R-20969, together with easement over Parts 7, 8, 10, 12, 13, 14 and 16, Plan 53R-20969, together with easement over SRO Part 2, Plan 53R-17784, and subject to easement over Parts 10, 12 and 14, Plan 53R-20969, Township of Blezard 390 Fire Road 7, Val Caron, City of Greater Sudbury

Sketch 1, NTS
 NDCA
 A0031/2023
 Date: 2023 03 23

CONCEPTUAL SKETCH
 PIN 73502-0898
 GEOGRAPHIC TOWNSHIP OF BLEZARD
 CITY OF GREATER SUDBURY
 2023



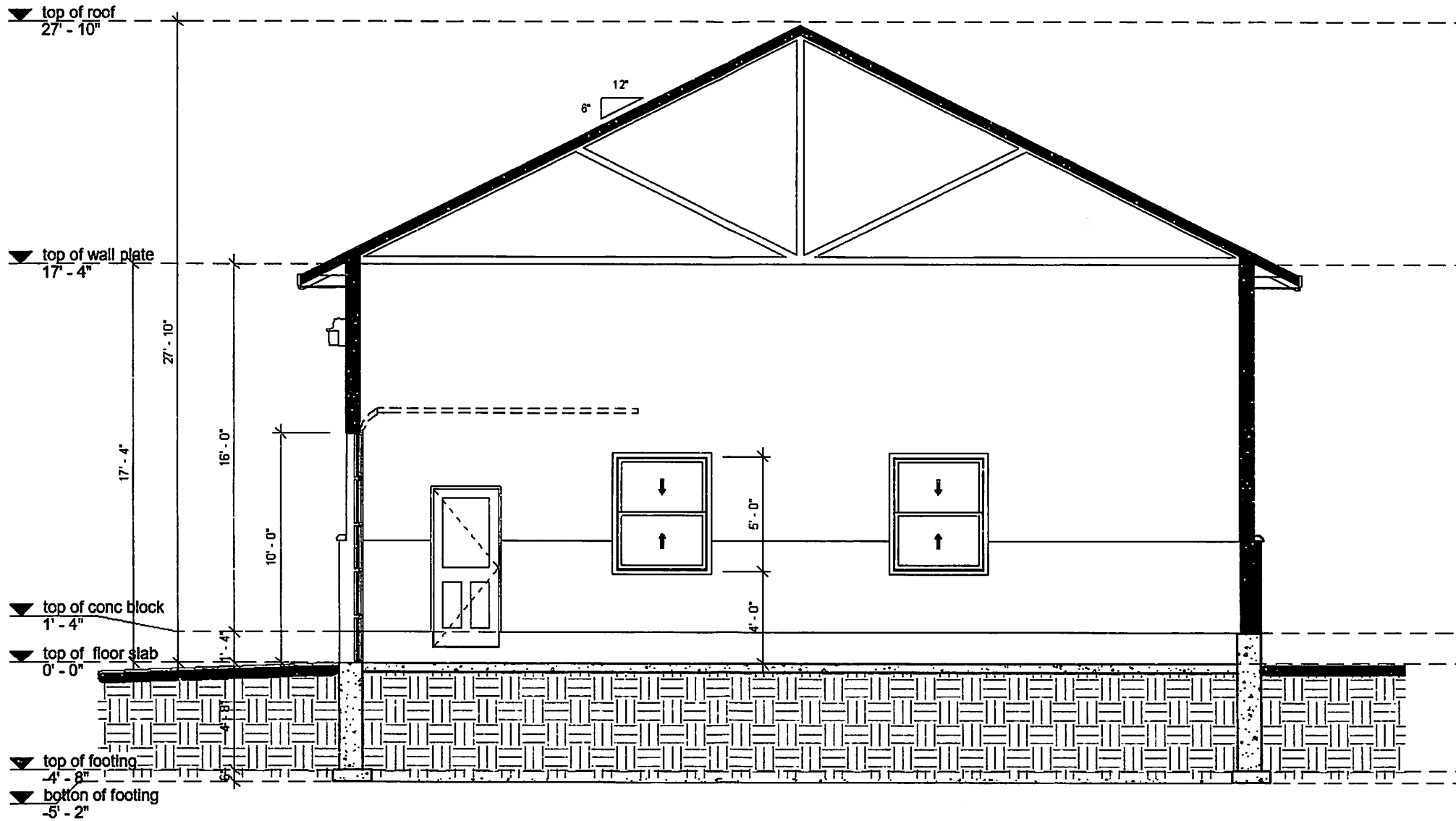
- NOTES:**
- TOTAL LOT AREA= $\pm 8073.6m^2$
 - PROPOSED ACCESSORY LOT COVERAGE= $\pm 3.5\%$
 - PROPOSED GARAGE HEIGHT= $\pm 8.5m$
 - PROPOSED MINOR VARIANCE FOR AN ACCESSORY BUILDING HEIGHT OF 8.5m, WHEREAS 5m IS REQUIRED PER SECTION 4.2.4 OF THE ZBL

CAUTION
 THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM RECEIVED PLANS AND HAVE NOT BEEN COMPARED.
 THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSES INDICATED IN THE TITLE.
 NO PERSON MAY COPY, REPRODUCE, CELESTRIATE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF TULLOCH ENGINEERING, A TULLOCH ENGINEERING, INC.

NOTE:
 INFORMATION SHOWN HAS BEEN COMPILED FROM EXISTING PLANS AND NOT FROM ACTUAL FIELD SURVEY.

TULLOCH	
1842 REGENT STREET UNIT L POB 315	SUDBURY, ONTARIO 705-871-2295
DRAWN BY: AA	FILE: 23-0656

A0031/2023
 Sketch 2



A0031/2023
Sketch 3

Application for Minor Variance – PIN 73502-0898 Site Photos



Figure 1 - Approximate Location of Proposed Garage



Figure 2 – Treed Coverage to the South of the Proposed Garage

A0031/2023
Sketch 4



Box 5000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 671-2489, Ext. 4376/4346
 Fax (705) 673-2200

Office Use Only 2023.01.01	
A 0032/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

**City of Greater Sudbury
 APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,090.00 (Includes \$260.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$332.00 (Includes \$260.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): TREVOR & TAREN SYKES Email: [REDACTED]
 Mailing Address: 1022 SOUTHGATE RD Home: [REDACTED]
 City: SUDBURY Postal Code: P3G1N6 Business: [REDACTED] Fax: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TREVOR SYKES Email: [REDACTED]
 Mailing Address: 1022 SOUTH LANE RD Home: [REDACTED]
 City: SUDBURY Postal Code: P3G1N6 Business: [REDACTED] Fax: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SCOTIABANK ALGONQUIN
 Mailing Address: 2040 ALGONQUIN ROAD
 City: SUDBURY Postal Code: P3E 4Z6

- 4) Current Official Plan designation: RURAL Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
<u>4.41.2-CA)</u>	<u>30m</u>	<u>25.517</u>	<u>4.483</u>
<u>TABLE 6.2 INTERIOR SIDE YARD</u>	<u>6.2</u>	<u>1.58</u>	<u>0.042</u>

- b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: 0.3 (m)

c) Description of Proposal: LEGALIZE ADDITION, GARAGE LOCATION OF
EXISTING BUILDING
DEMO-154 SHED 2

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
ALREADY BUILT

8) Legal Description (Include any abutting property registered under the same ownership).

PIN(s): _____ Township: BRODER
 Lot No.: 2 Concession No.: 4 Parcel(s): 16170
 Subdivision Plan No.: N/A Lot: N/A Reference Plan No.: 5326331 Part(s): 1
 Municipal Address or Street(s): 1022 SOUTHLANE RD, SUDBURY

7) Date of acquisition of subject land. June 2017

8) Dimensions of land affected.

Frontage 22.744 (m) Depth 37.652 (m) Area 870.966 (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	House	Existing Shed 1	Shed 2	House	Shed 1 Proposed	Shed 2
Ground Floor Area:	83.646	11.89	5.94 (m ²)	102.885	11.89	5.94 (m ²)
Gross Floor Area:	187.32	11.89	5.94 (m ²)	196.211	11.89	5.94 (m ²)
No. of storeys:	1	1	1	1	1	1
Width:	7.315	2.438	2.438 (m)	7.315	2.438	2.438 (m)
Length:	12.192	4.877	2.438 (m)	14.630	4.877	2.438 (m)
Height:	4.876	3.048	2.438 (m)	4.876	3.048	2.438 (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	House	Existing Shed 1	Shed 2	House	Shed 1 Proposed	Shed 2
Front:	26.517	25.908	1.832 (m)	26.97	25.908	1.832 (m)
Rear:	2.895	16.15	35.35 (m)	2.895	16.15	35.35 (m)
Side:	5.56	1.21	(m)	5.56	1.21	18.89 (m)
Side:	1.097	18.89	1.21 (m)	1.097	18.89	1.21 (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
- Municipal Road
- Maintained Yearly
- Maintained Seasonal
- Right-of-way
- Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

Disturbance 1985

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SEASONAL DWELLING Length of time: 37 YEARS

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? ONE

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: RESIDENTIAL

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): A23/85
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, TERROR SYKES KAREN SYKES (please print all names), the registered owner(s) of the property described as 1022 SOUTH LAKE RD in the City of Greater Sudbury;

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) In accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

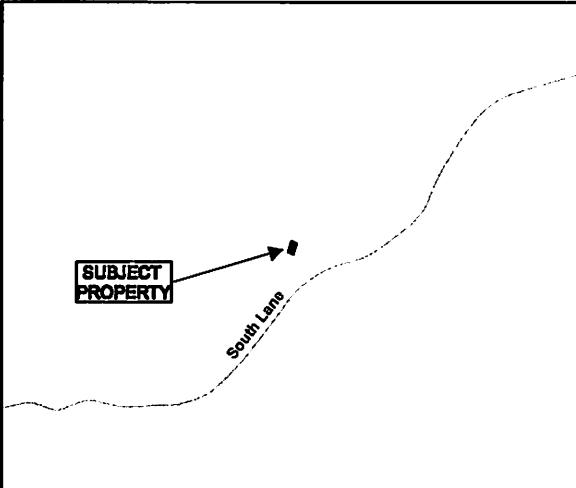
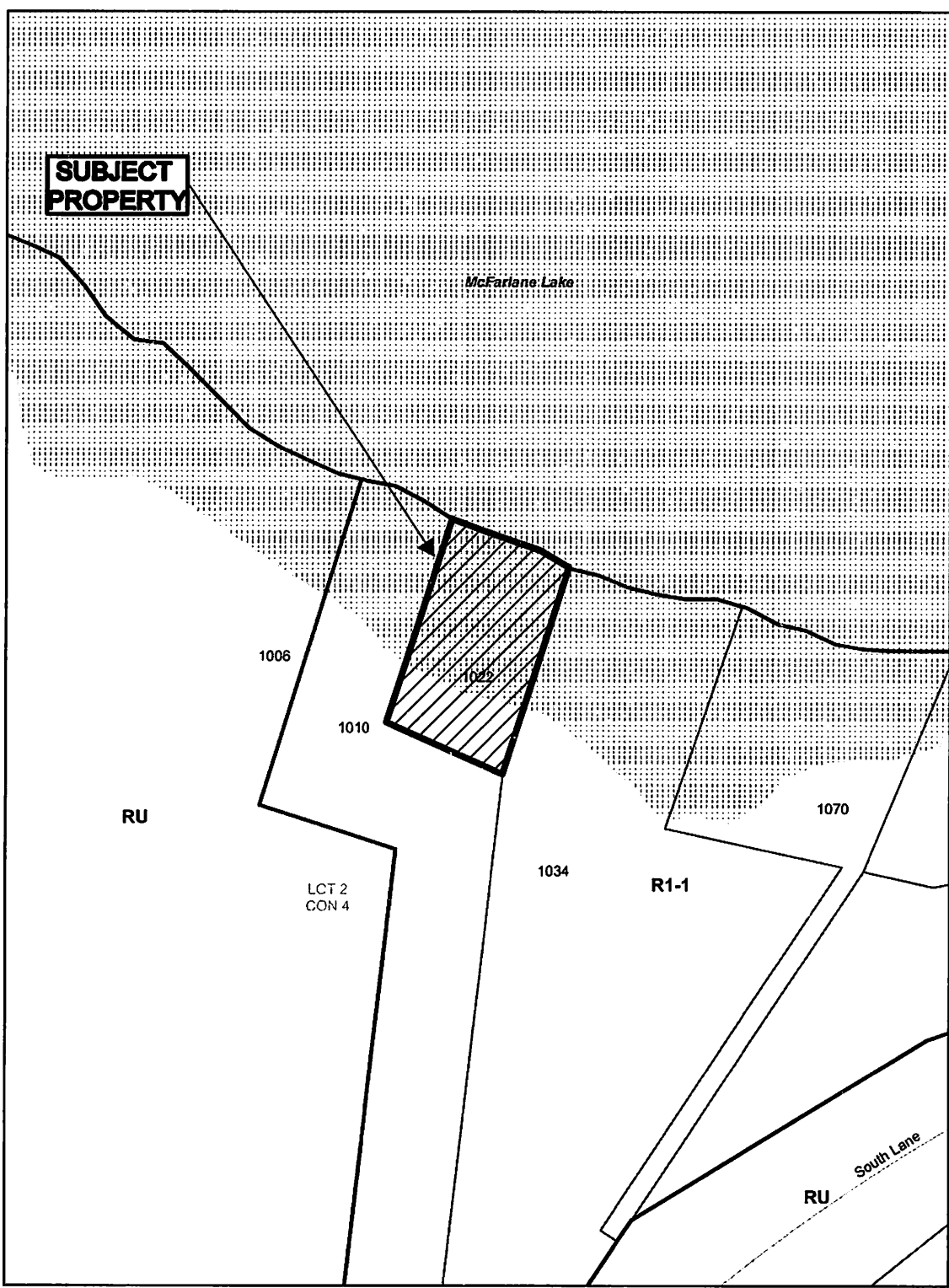
- g) appoint and authorize TERROR SYKES (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 7 day of MARCH, 2023

Witness
(witness)

TERROR SYKES
signature of Owner(s) of Signatory Officer or Authorized Agent

Print Name: TERROR SYKES KAREN SYKES



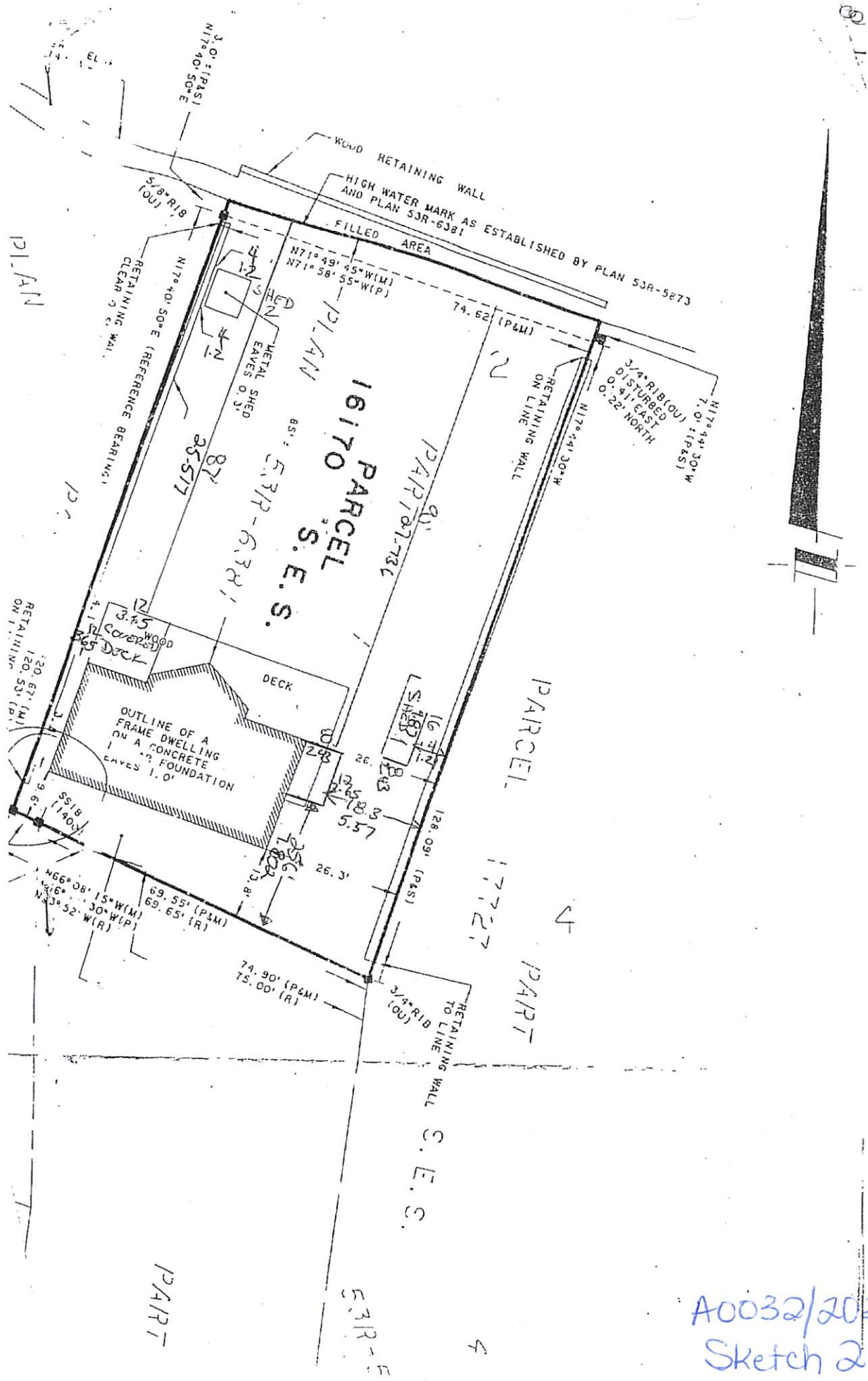
Application for Minor Variance or Permission



PIN 73477-0154,
 Parcel 16170 SEC SES,
 Part Lot 2, Concession 4,
 Part 1, Plan 53R-6381,
 Township of Broder,
 1022 South Lane Road, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0032/2023
 Date: 2023 03 24



A0032/2023
 Sketch 2



Box 6000, Station 'A', 200 Brady Street
 Sudbury ON P3A 5P3
 Tel. (705) 871-2400, Ext. 4376/4348
 Fax (705) 873-2200

Office Use Only 2021.01.01	
A 033/2023	
S.P.P. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$985.00 (Includes \$235.00 legal notice fee)
 APPLICATION FEE FOR HEDGEROWS: \$299.00 (includes \$235.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Deepinderjit Reena Dhatt & Michel Gauthier Email: [REDACTED]
 Mailing Address: 54 Kormak Home Phone: [REDACTED]
 Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3B 4H3 Fax Phone: [REDACTED]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Belonger Salah Architecture Email: [REDACTED]
 Mailing Address: [REDACTED] Home Phone: [REDACTED]
255 Larch St. Business Phone: [REDACTED]
 City: Sudbury Postal Code: P3B 1M2 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Deepinderjit Reena Dhatt & Michel Gauthier
 Mailing Address: 54 Kormak
 City: Sudbury Postal Code: P3B 1M2

4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Extend garage addition into front yard setback	6.0 metres	2.8 metres	3.2 metres

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: 0.76 metres (m)

c) Description of Proposal:
Renovation to existing residential dwelling and garage addition.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
Additional living space is required within existing dwelling, however an existing water line as some residential expansion west (rear yard). Additional living space to be added within existing garage to be converted to living space between existing driveway and new garage addition.

6) Legal Description (include any adjoining property registered under the same ownership).

PIN(s): 73578-0148 Township: Nelson Ward: 11
 Lot No.: 12 Concession No.: 3 Parcel(s):
 Subdivision Plan No.: Lot: 24, 25 Reference Plan No.: 53M-1201 Part(s):
 Municipal Address or Street(s):

7) Date of acquisition of subject land. 2017/08/11

8) Dimensions of land affected.

Frontage 20.19 (m) Depth 87.16 (m) Area 1636.69 (m²) Width of Street 9.8 (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>238 (including garage)</u> (m ²)	<u>340 (including garage addition)</u> (m ²)
Gross Floor Area:	<u>480 (including garage)</u> (m ²)	<u>683 (including garage addition)</u> (m ²)
No. of storeys:	<u>1 + basement</u>	<u>1 + basement</u>
Width:	<u>14.02</u> (m)	<u>14.38</u> (m)
Length:	<u>23.08</u> (m)	<u>35.79</u> (m)
Height:	<u>8.31</u> (m)	<u>8.31</u> (m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>15.89</u> (m)	<u>2.88</u> (m)
Rear:	<u>48.78</u> (m)	<u>48.78</u> (m)
Side:	<u>1.51 (north)</u> (m)	<u>1.21 (north)</u> (m)
Side:	<u>3.06 (south)</u> (m)	<u>3.08 (south)</u> (m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

12) Date(s) of construction of all buildings and structures on the subject land.

Spring 2003 proposed construction start for restoration and addition. Existing dwelling constructed 2003.

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): single family residential Length of time: since 2003

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? One single family dwelling.

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of adjoining properties: single family residential, both abutting to north and south

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No

If "yes", indicate the application number(s): _____
or, describe briefly: _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No

If "yes", indicate application number(s) and status of application(s): _____

20) Is the property the subject of a current application for a Plan of Subdivision under Section 61 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No

If "Yes", indicate application number(s) and status of application(s): _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes No.

If "yes", provide details on how the property is designated in the Source Protection Plan: _____
Subject property located within Ramaay Lake Intake Protection Zone 3

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

we, Deepinderjit Raena Dhatt & Michel Gauthier (please print all names), the registered owner(s) of the property described as 54 Kormak Street in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act, R.S.O. 1990, c.P.13* for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act, R.S.O. 1990, c.P.13*, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

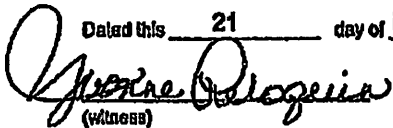
Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Bélanger Salach Architecture (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of March, 2023


(witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Deepinderjit Raena Dhatt & Michel Gauthier

*I have authority to bind the Corporation



**bélanger
salach**
architecture

255 rue Larch Street
Sudbury Ontario
Canada P3B 1M2

t (705) 675-3383
f (705) 675-3598
belangersalach.ca

A Partnership of Corporations:
Louis Bélanger Inc. Architect
Amber Salach Inc. Architect

March 21, 2023

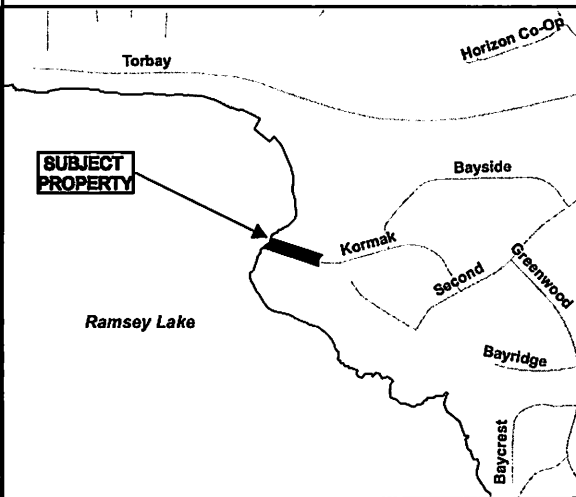
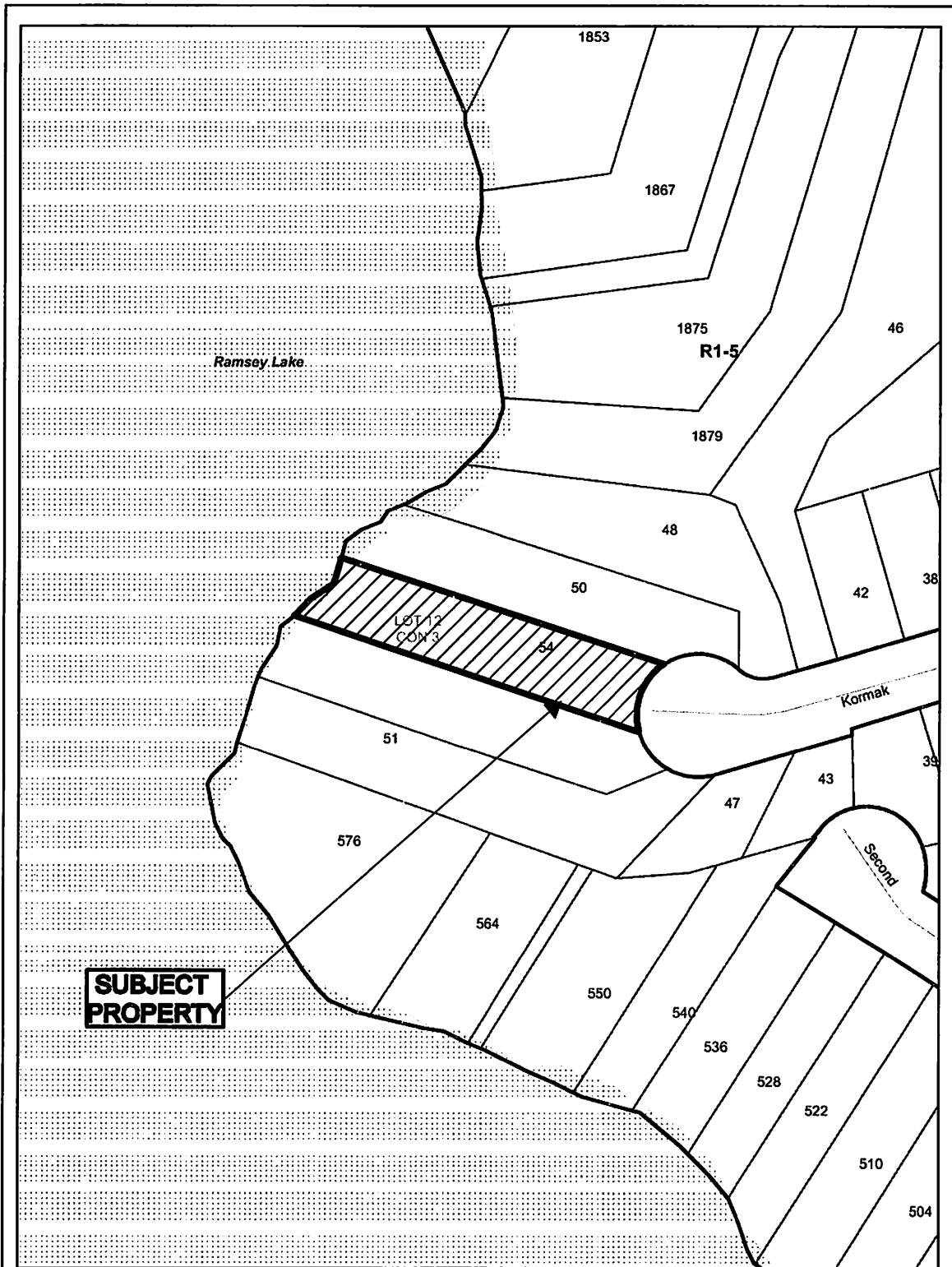
Minor Variance Application for Relief of Front Yard Setback for 54 Kormak, Sudbury ON.


To: CGS Planning Department and CGS Committee of Adjustment

The Owner is requesting relief from the 6M Front yard setback to accommodate an addition to their family home.

Design of the addition began 1.5 years ago, however when the legal and topographic survey was completed and submitted to our team, a 6M wide water easement running across the Owner's back yard was identified. After significant review, the team decided to shift the redesign towards the front of the home to avoid the water line easement in the backyard, as it was the only alternative to accommodate the required spaces.

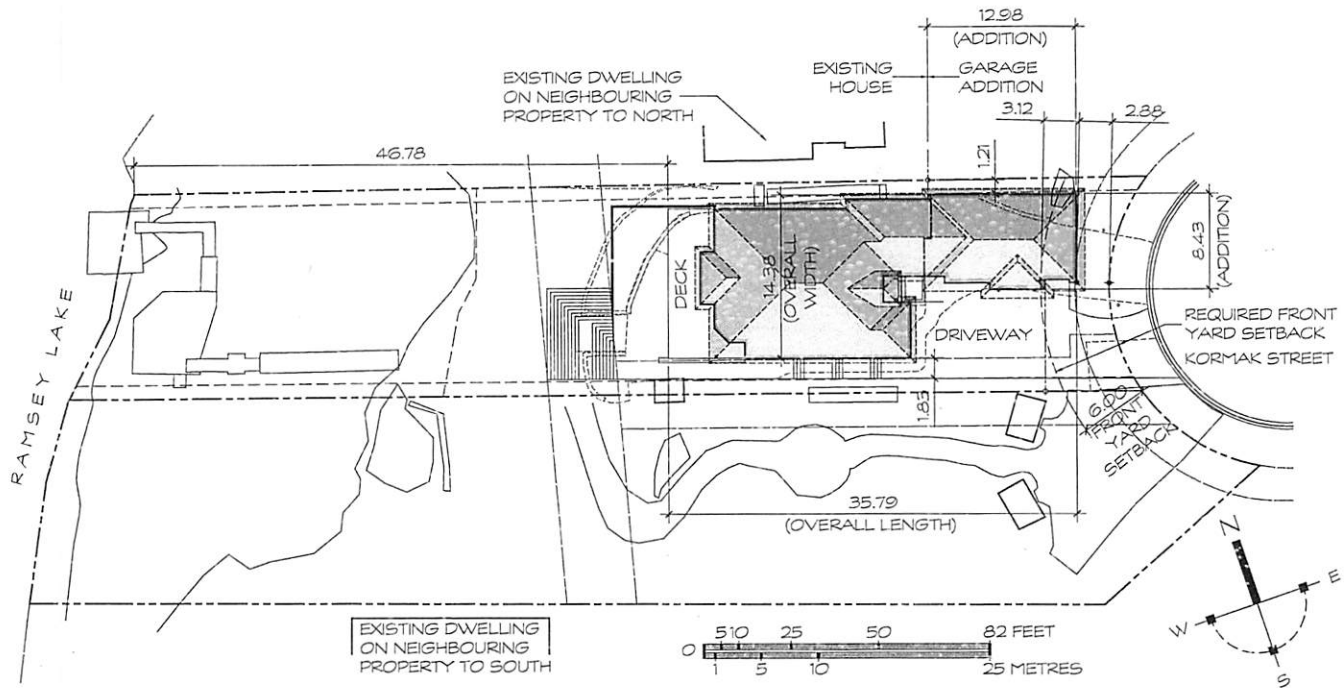
The drastic change in design towards the front of the home was undertaken because we felt that this approach did not affect any neighbouring views towards the lake and gives the opportunity to create a greater sense of street appeal in the residential neighborhood. The height of the home is not being increased, thus not creating any negative shadowing on the neighbour to the north.



Application for Minor Variance or Permission 

PIN 73578-0148,
 Parcel 53M-1201-24 SEC SES,
 Lot 24, Plan 53M-1201, subject to
 LT661530, LT661531, LT661532 and
 LT661533, Lot 12, Concession 3,
 Township of Neelon,
 54 Kormak Street, Sudbury,
 City of Greater Sudbury

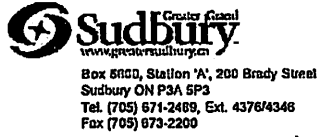
Sketch 1, NTS A0033/2023
 NDCA Date: 2023 03 24



PROPOSED SITE PLAN 1:500

SK-1

A0033/2023
Sketch 3



Office Use Only 2023.01.01	
A 0734/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

**City of Greater Sudbury
APPLICATION FOR MINOR VARIANCE**

APPLICATION FEE: \$1,090.00 (includes \$260.00 legal notice fee)
 A APPLICATION FEE FOR HEDGEROWS: \$332.00 (includes \$260.00 legal notice fee)
 CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-law, as amended.

Registered Owner(s): Tara and Mark Alexander Email: [Redacted]
 Mailing Address: 392 Main Street, RR Birch Hill Road, P3G 1K1 Home Phone: [Redacted]
 City: Sudbury, Ontario Postal Code: P3G 1K1 Fax Phone: [Redacted]

2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: Greg Bruce for Timber Block Email: [Redacted]
 Mailing Address: 1936 Commerce Park Drive Home Phone: [Redacted]
 City: Innisfil, Ontario Postal Code: L9S 4A3 Business Phone: [Redacted]
 Note: Unless otherwise requested, all communication will be sent to the agent, if any.

3) Names and mailing addresses of any mortgages, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Scotiabank
 Mailing Address: 44 King St West
 City: Toronto, Ontario Postal Code: M5H 1H1
will not be present at hearing.

4) Current Official Plan designation: Rural Current Zoning By-law designation: R1-2

5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.41.2 minimum setback to waterbody	30m	10.76m	19.24m
4.41.3 20 m shoreline buffer requirement	20m	10.76m	9.24m
4.41.4 limitation of types of structures within 20m	20m	10.76m	9.24m

b) Is there an eave encroachment? Yes No If 'Yes', size of eaves: .46 (m)

c) Description of Proposal:
To have existing front yard setback for by-law compliance to be removed and a new single family residential development of mixed use on this street lot.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
This setback is required to ensure safety of the public and to provide for the adequate lighting system that meets minimum distances for mandated for signposts from a street and adjacent structures, and property lines.

DS
GB

DS
GB

APPLICATION FOR MINOR VARIANCE PAGE 2 OF 4

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73477-0086 Township: Broder
 Lot No.: PT LT4 Concession No.: 4 Parcel(s): 30029 SES
 Subdivision Plan No.: Lot: Reference Plan No.: Part(s):
 Municipal Address or Street(s): 198 Birch Hill Road

7) Date of acquisition of subject land. December 15th, 2022

8) Dimensions of land affected.

Frontage 51.1 (m) Depth 41.6 +/- (m) Area 1124 +/- (m²) Width of Street 13.6 (m)

Particulars of all buildings:	House	Existing	Shed	House	Proposed
Ground Floor Area:	140.6	6.25m	(m ²)	174.19	(m ²)
Gross Floor Area:	140.6	6.25m	(m ²)	238.85	(m ²)
No. of storeys:	1			1.5	
Width:	18.9	2.25m	(m)	27.1 Irregular	(m)
Length:	7.8	2.25m	(m)	11.2 Irregular	(m)
Height:	4.75 +/-	2.25m	(m)	7.2m	(m)

DS
GB

9) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	10.76 (m)	10.76 (m)
Rear:	14.78 (m)	14.09 (m)
Side:	3.54 (m)	1.25 (m)
Side:	6.86 (m)	4.7 (m)

11) What types of water supply, sewage disposal and storm drainage are available?

- Municipally owned & operated piped water system
- Municipally owned & operated sanitary sewage system
- Lake
- Individual Well
- Communal Well
- Individual Septic System
- Communal Septic System
- Pit Privy
- Municipal Sewers/Ditches/Swales

What type of access to the land?

- Provincial Highway
 - Municipal Road
 - Maintained Yearly
 - Maintained Seasonal
 - Right-of-way
 - Water
- If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1989

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): single family residential Length of time: 53 yrs

14) Proposed use(s) of the subject property.

Same as #13 or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? Yes No

If "yes", how many? _____

17) Existing uses of abutting properties: single family residential/open space

APPLICATION FOR MINOR VARIANCE PAGE 3 OF 4

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes No
 If "yes", indicate the application number(s): _____
 or, describe briefly, _____
- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes No
 If "yes", indicate application number(s) and status of application(s): _____
- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes No
 If "yes", indicate application number(s) and status of application(s): _____
- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
 Yes No
 If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, Tara Alexander Mark Alexander (please print all names), the registered owner(s) of the property described as 198 Birch Hill Road in the City of Greater Sudbury;

- Collection, Use and Disclosure of Information:
- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
 - b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
 - c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
 - d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

- Authority to Enter Land and Photograph
- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
 - f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

I appoint and authorize Tara Alexander Greg Bruce (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and fully, confirm, and accept as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 9th day of March, 2023

[Signature] _____
 (Witness)

[Signature] _____
 Signature of Owner(s) or Signing Officer or Authorized Agent Tara Alexander
 Print Name: Mark Alexander
 I have authority to bind the Corporation

APPLICATION FOR MINOR VARIANCE PAGE 4 OF 4

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Tara Alexander (please print all names), the registered owner(s) or authorized agent of the property described as 198 Birch Hill Rd.

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 9th day of MARCH, 2023

[Signature] Commissioner of Oaths

Karen Elizabeth Figgis, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

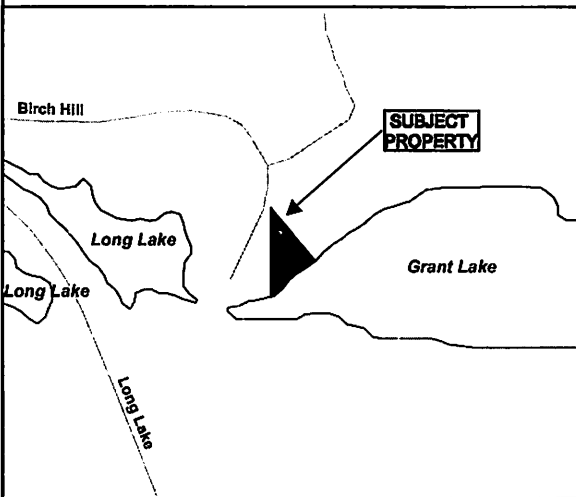
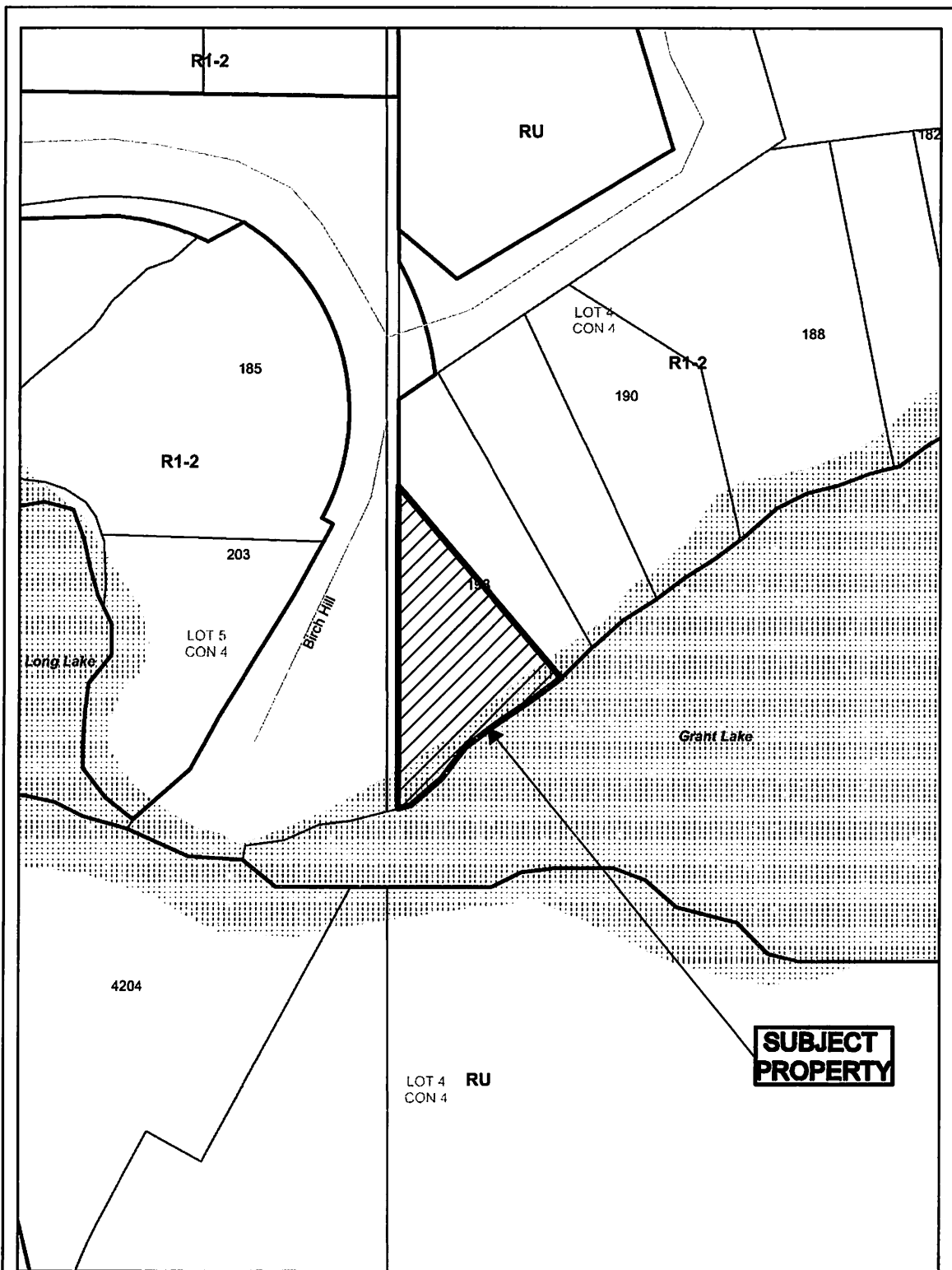
[Signature] signature of owner(s) or Signing Officer or Authorized Agent (*where a Corporation)


Print Name: Tara Alexander I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Form with fields: Date of Receipt: Mar 21/23, Hearing Date: April 13/2023, Received By: S. Pinkerton, Zoning Designation: R1-5, Resubmission: Yes/No, Previous File Number(s): None, Previous Hearing Date, Notes.



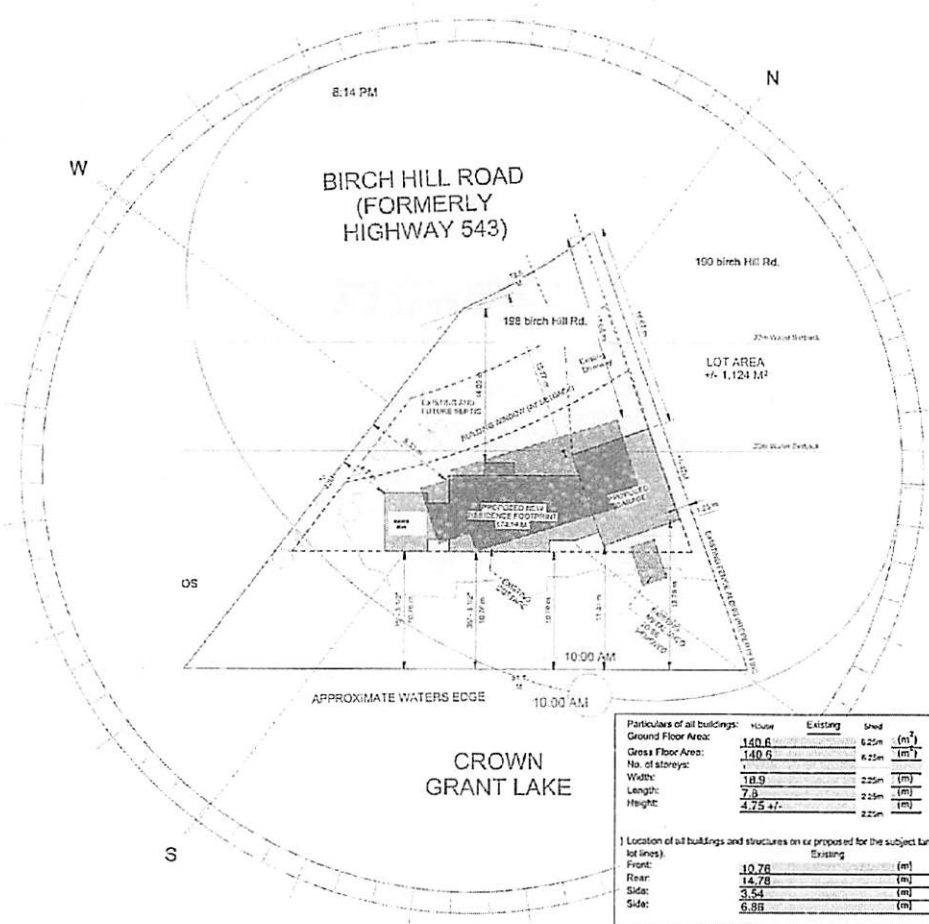
Application for Minor Variance or Permission 

PIN 73477-0096,
 Parcel 30029 SEC SES,
 Part Lot 4, Concession 4,
 as in LT201331 except LT251846,
 Township of Broder,
 198 Birch Hill Road, Sudbury,
 City of Greater Sudbury

Sketch 1, NTS A0034/2023
 NDCA Date: 2023 03 24

198 Birch Hill Road Site plan application for Minor Variance

301 (REVISED) 2018



Particulars of all buildings:	Existing		Proposed	
	House	Shed	House	Proposed
Ground Floor Area:	140.6	6.25m (m ²)	174.10	(m ²)
Gross Floor Area:	140.6	6.25m (m ²)	238.85	(m ²)
No. of storeys:	1		1	
Width:	10.9	2.25m (m)	27.1 Irregular	(m)
Length:	7.8	2.25m (m)	11.2 Irregular	(m)
Height:	4.75 +/-	2.25m (m)	7.2m	(m)

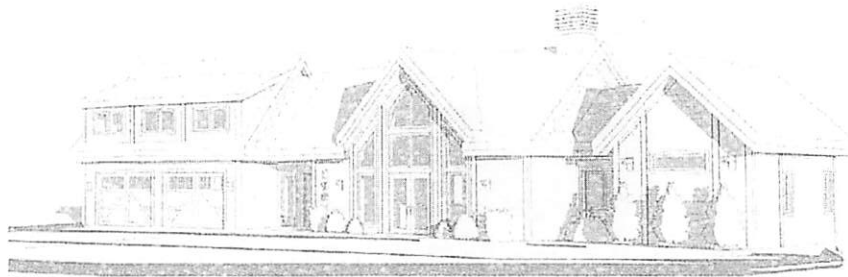
Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines):	Existing		Proposed		Required
	Existing	(m)	Proposed	(m)	
Front:	10.78	(m)	10.78	(m)	30m
Rear:	14.78	(m)	14.09	(m)	7.5m
Side:	3.54	(m)	1.25	(m)	1.2m
Side:	6.88	(m)	4.7	(m)	1.2m



ALEXANDER
C2.1

A0034/2023
Sketch - 2

NOT FOR CONSTRUCTION



TB **TIMBERBLOCK**
Engineered Homes for Better Living

ALEXANDER
CORPORATION
2018

A0034/2023
Sketch 3

12/20/24
JUST FOR CONCEPT



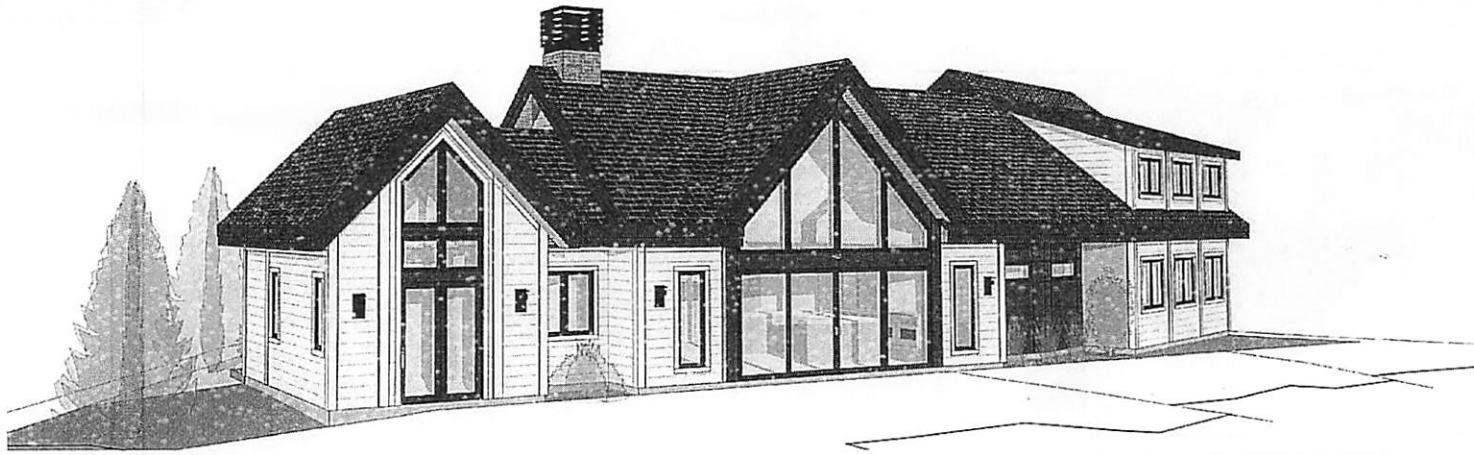
TB **TIMBERBLOCK**
Engineered Homes for Better Living

CONCEPT DESIGN
3D VIEWS - FRONT

ALEXANDER	C1.1
ELITE - 4000	1/24/24

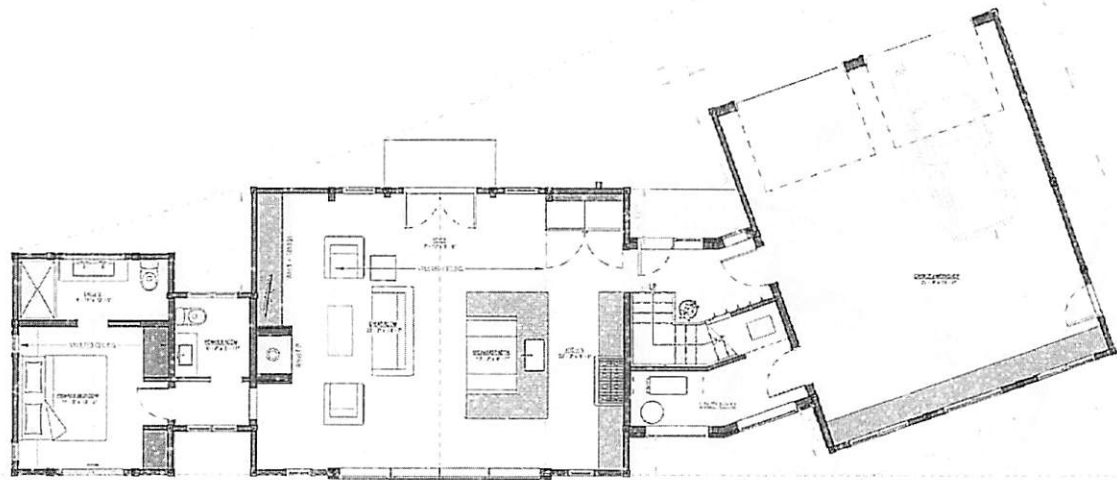
A0034/2023
Sketch-4

23/02/14
301700 CONSTRUCTION



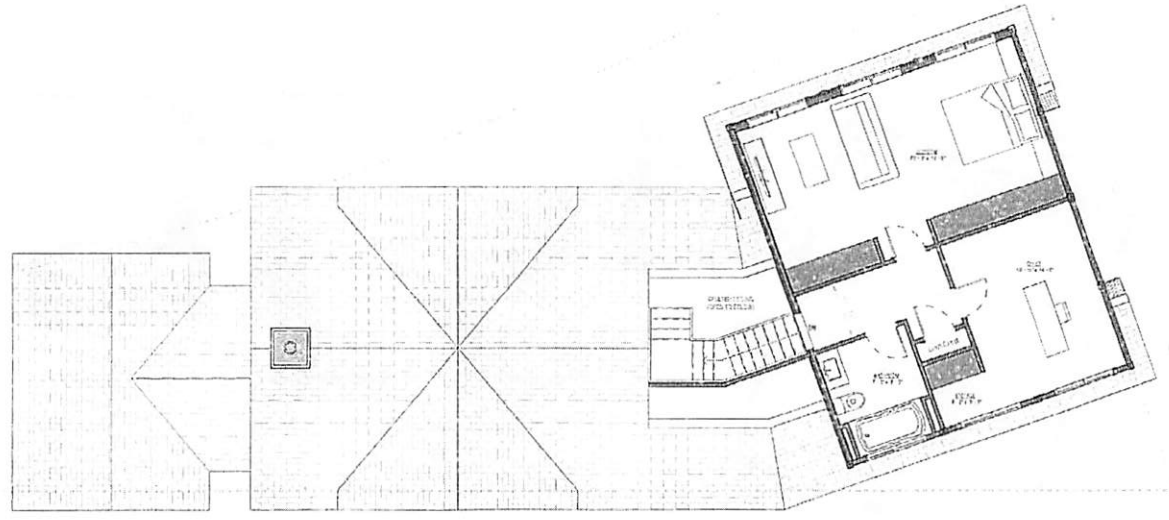
A0034/2023
Sketch-5

NOT FOR CONSTRUCTION



A0034/2023
Sketch-6

NOT FOR CONSTRUCTION



A0034/2023
Sketch-7

NOT FOR CONSTRUCTION

DOOR SCHEDULE						
NUMBER	WIDTH	HEIGHT	TYPE	OPERATION	COMMENTS	AREA
D101	21 7/16"	82 3/4"	DOUBLE DOOR	ACTIVE / PASSIVE		41.65 SF
D102	31 1/8"	82 3/4"	SINGLE DOOR			19.61 SF
D103	160"	24"	GARAGE DOOR	BY OTHERS		32 LF
D104	160"	24"	GARAGE DOOR	BY OTHERS		32 LF
D105	31 1/8"	82 3/4"	SINGLE DOOR			19.61 SF
D106	192"	84"	QUADRUPLER DOOR	CENTER SLIDING	TBD TILCO	112 SF
D107	59 1/2"	81"	DOUBLE DOOR	SLIDING		23.42 SF
						158.07 LF

WINDOW SCHEDULE						
NUMBER	WIDTH	HEIGHT	TYPE	OPERATION	COMMENTS	AREA
W101	60"	18"	SINGLE	AWAYING		7.5 SF
W102	48"	48"	DOUBLE	SINGLE CASEMENT		13.9 SF
W103	32"	52 1/4"	TRAPEZOID	FIXED		11.5 SF
W104	35 3/4"	46 1/4"	SINGLE	FIXED		11.47 SF
W105	35 3/4"	61 1/2"	TRAPEZOID	FIXED		15.25 SF
W106	35 3/4"	46 1/4"	SINGLE	FIXED		11.47 SF
W107	35 3/4"	61 1/2"	TRAPEZOID	FIXED		15.25 SF
W108	32"	72"	SINGLE	FIXED		10 SF
W109	72"	52 1/4"	TRAPEZOID	FIXED		11.6 SF
W110	20"	82 3/4"	SINGLE	FIXED		16.69 SF
W111	24"	82 3/4"	SINGLE	FIXED		13.19 SF
W112	60"	48"	DOUBLE	SINGLE CASEMENT		20 SF
W113	60"	48"	DOUBLE	SINGLE CASEMENT		20 SF
W114	60"	48"	DOUBLE	SINGLE CASEMENT		20 SF
W115	60"	18"	SINGLE	FIXED		7.5 SF
W116	60"	18"	SINGLE	FIXED		7.5 SF
W117	21"	72"	SINGLE	CASEMENT		12 SF
W118	48"	60"	TRAPEZOID	FIXED	TBD TILCO	22 SF
W119	48"	114"	TRAPEZOID	FIXED	TBD TILCO	38 SF
W120	32"	72"	SINGLE	FIXED		10 SF
W121	48"	60"	TRAPEZOID	FIXED	TBD TILCO	22 SF
W122	24"	74"	SINGLE	CASEMENT		12 SF
W123	48"	48"	DOUBLE	DOUBLE CASEMENT		16 SF
W124	28 3/4"	24"	SINGLE	FIXED		4.69 SF
W125	28 3/4"	24"	SINGLE	FIXED		4.69 SF
W126	28 3/4"	59 3/4"	TRAPEZOID	FIXED		12.34 SF
W127	28 3/4"	59 3/4"	TRAPEZOID	FIXED		12.34 SF
W128	18"	48"	SINGLE	CASEMENT		6 SF
W129	18"	48"	SINGLE	CASEMENT		6 SF
W201	60"	30"	DOUBLE	SINGLE CASEMENT		15 SF
W202	60"	30"	DOUBLE	SINGLE CASEMENT		15 SF
W203	60"	30"	DOUBLE	SINGLE CASEMENT		15 SF
W204	60"	30"	DOUBLE	SINGLE CASEMENT		15 SF
W205	60"	30"	DOUBLE	SINGLE CASEMENT		15 SF
W206	60"	30"	DOUBLE	SINGLE CASEMENT		15 SF
						333.63 SF
						572.46 LF

1. TIMBER BLOCK PANELS (WINDOW AREA REMOVED)			
PROFILE	R-VALUE	LENGTH	AREA
FLAT / FLAT	R30	160 - 3"	1553.17
2. FRAMING TAKE-OFF (MAIN FLOOR)			
TYPE	TOTAL LENGTH	HEIGHT	
2 x 4	22 - 1 7/16"	6' - 5 3/4"	
2 x 4	12' - 8 1/2"	16' - 0 3/4"	
2 x 6	6' - 4 5/16"	6' - 5 3/4"	
3. FRAMING TAKE-OFF (SECOND FLOOR)			
TYPE	TOTAL LENGTH	HEIGHT	
2 x 4	12 - 0 7/8"	6' - 4 3/8"	
4. ROOF FINISH			
SINGLE ROOF FASCI			2569.28 SF
5. FASCI TAKE-OFF			
ALUMINUM FASCI 7 1/2"		403' - 0 1/2"	
ALUMINUM FASCI 9 1/2"		514' - 0"	
6. WALL FINISHES (EXTERIOR)			
ACM PANELS			227.22 SF
TRUSS SIDING - EXTERIOR			622.27 SF
STONE VENEER			79.47 SF
7. WALL FINISHES (INTERIOR)			
GIPSUM WALL BOARD			2220.23 SF
TRUSS SIDING - INTERIOR			134 SF
8. CEILING FINISHES (FLAT)			
TRUSS CEILING			333.33 SF
9. CEILING FINISHES (WALTED)			
TRUSS CEILING			523.92 SF

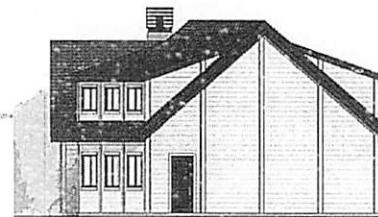
DATE:	10/20/23
PROJECT:	190 BETHLEHEM, Greater South,
OWNER:	190 BETHLEHEM, Greater South,
DESIGNER:	ALDINGER
PREPARED BY:	MARK ALEXANDER

DATE: 10/20/23
 PROJECT: 190 BETHLEHEM, Greater South,
 OWNER: 190 BETHLEHEM, Greater South,
 DESIGNER: ALDINGER
 PREPARED BY: MARK ALEXANDER

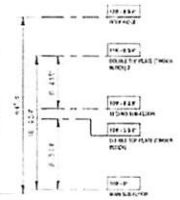
A0034/2023
 Sketch 8



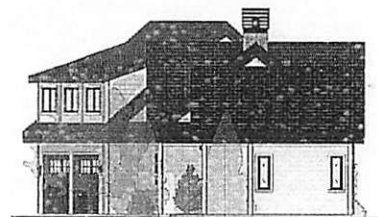
E1 North-West Elevation
 VP - VP



E2 North-East Elevation
 VP - VP



E3 South-East Elevation
 VP - VP



E4 South-West Elevation
 VP - VP

A0034/2023
 Sketch-9