

Tom Davies Square
200 Brady St

Thursday, February 15, 2024

PUBLIC HEARINGS

A0006/2024

**CAROLE FRAPPIER
MICHAEL MCDOWELL**

Ward: 11

PIN 73576 0041, Parcel 46521 SEC SES, Survey Plan 53R-9959 Part(s) 1, 2, and 3, Lot Part 10, Concession 3, Township of Neelon, 2403 Navanod Road, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.41, subsections 4.41.2 and 4.41.4 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the enclosure of a portion of the existing deck providing, firstly, a high water mark setback of 11.9m, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river, and secondly, to permit the portion of enclosed deck to be 11.9m setback from the high water mark of a lake, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3.

A0007/2024

**KIMBERLY DEAN
DONALD DEAN**

Ward: 9

PIN 73472 0119, Parcel 27859 SEC SES, Survey Plan 53R-21437 Part(s) 2, Lot Part 9, Concession 2, Township of Broder, 6179 Tilton Lake Road, Sudbury, [2010-100Z, R1-1 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit a detached garage providing a maximum height of 7.5m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m.

A0008/2024

2439088 ONTARIO INC.

Ward: 1

PIN 73586 1414, Survey Plan 53R-20253 Part(s) 1, Lot(s) 80, 81, 82, 83, and 84, Subdivision 29-SB, Lot 7, Concession 3, Township of McKim, 80 Brodie Avenue, Sudbury, [2010-100Z, C2(102) (General Commercial)]

For relief from Part 11, Section 2, subsection 2, paragraph (www), clause i) a) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit the conversion of a commercial unit to a residential dwelling on the main floor of the existing multiple dwelling, providing a maximum of 19 dwelling units, where only 18 dwelling units are permitted.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF SEPTEMBER 27, 2023 TO IN ORDER TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0102/2023

**ADAM FIELD
ANDRIA FIELD**

"REVISED"

Ward: 2

PIN 73381 0546, Parcel 28481 SEC SWS, Surveys Plan 53R-10947 Part(s) 3 & Plan 53R-12572 Part(s) 2, Lot Part 1, Concession 3, Township of Graham, 83 Simon Lake Drive, Naughton, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, Table 4.1 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit firstly, the addition to the existing single detached dwelling providing a minimum interior side yard setback of 1.2m with eaves encroaching 0.6m into the proposed 1.2m interior side yard setback, where a minimum interior side yard setback of 1.8m is required and where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B321/89 (12 JUN 89)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
THURSDAY, FEBRUARY 29, 2024**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2024 01 01
A 0006/2024
S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): MICHAEL McDOWELL / CAROLE FRAPPIER Email: [REDACTED]
Mailing Address: 2403 NAVANON RD Home: [REDACTED]
Business Phone: [REDACTED]
City: SUDBURY Postal Code: P3B 1Y4 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: ADRIAN BORTOLUSSI Email: [REDACTED]
Mailing Address: 144 ELM ST Home: [REDACTED]
Business Phone: [REDACTED]
City: SUDBURY Postal Code: P3C 1T7 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: SUDBURY CREDIT UNION
Mailing Address: 1048 BARRYDOWN RD
City: SUDBURY Postal Code: P3A 3V3

- 4) Current Official Plan designation: LIVING AREA 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
BYLAW 2010-100Z	30 m SETBACK FROM HIGH WATER MARK	11.90 m	17.90 m
BYLAW 2010-100Z	SHOBBLE STRUCTURES 20 m SETBACK FROM HIGH WATER MARK	11.90 m	8.1 m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

c) Description of Proposal:
PART OF COVERED DECK TO BE ENCLOSED

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
EXISTING
NEW SETBACK OF 30 m FROM HIGH WATER MARK

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73576-0041 Township: NEEDON
 Lot No.: 10 Concession No.: 3 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 532-9959 Part(s): 1, 2, 3
 Municipal Address or Street(s): 2403 WANAPOD RD

7) Date of acquisition of subject land. 2000

8) Dimensions of land affected.

Frontage 15.85 (m) Depth 46.78 (m) Area 741 7/8 (m²) Width of Street 20.17 (m)

9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	<u>107</u>	(m ²)	<u>113</u>	(m ²)
Gross Floor Area:	<u>214</u>	(m ²)	<u>220</u>	(m ²)
No. of storeys:	<u>2</u>		<u>2</u>	
Width:	<u>9.92</u>	(m)	<u>9.92</u>	(m)
Length:	<u>12.2</u>	(m)	<u>14.52</u>	(m)
Height:	<u>6 1/2</u>	(m)	<u>6 1/2</u>	(m)

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	<u>6.1</u>	(m)	<u>6.1</u>	(m)
Rear:	<u>14.4</u>	(m)	<u>11.9</u>	(m)
Side:	<u>1.83</u>	(m)	<u>1.83</u>	(m)
Side:	<u>1.25</u>	(m)	<u>1.25</u>	(m)

11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

1983

13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): SINGLE FAMILY DWELLING Length of time: 40 YRS

14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

15) What is the number of dwelling units on the property? 1

16) If this application is approved, would any existing dwelling units be legalized? ☐ Yes ☒ No

If "yes", how many? _____

17) Existing uses of abutting properties: RESIDENTIAL

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APPLICATION FOR MINOR VARIANCE**PAGE 3 OF 4**

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Michael McDowell and Carole Frappier (please print all names), the registered owner(s) of the property described as 2403 NANTWOD RD

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Bortolussi Surveying (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 12th day of January, 20 24

[Signature]
(witness)


DocuSigned by:
Michael McDowell Carole Frappier
788F13EA28A045E... 333C98F262604EC...
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: Michael McDowell Carole Frappier


*I have authority to bind the Corporation

A0006/2024

INVE, ADRIANO BORTOLUSSI (please print all names),
the registered owner(s) or authorized agent of the property described as

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.


Commissioner of Oaths

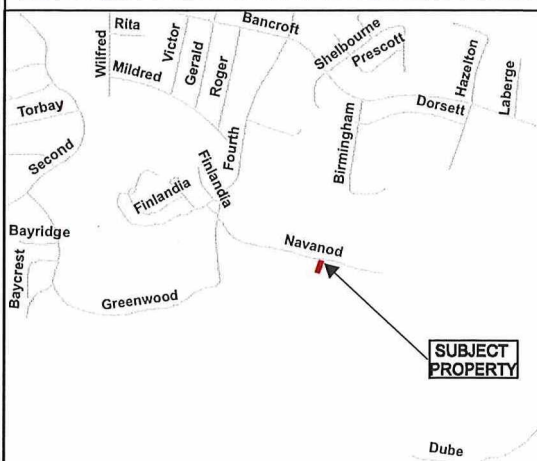
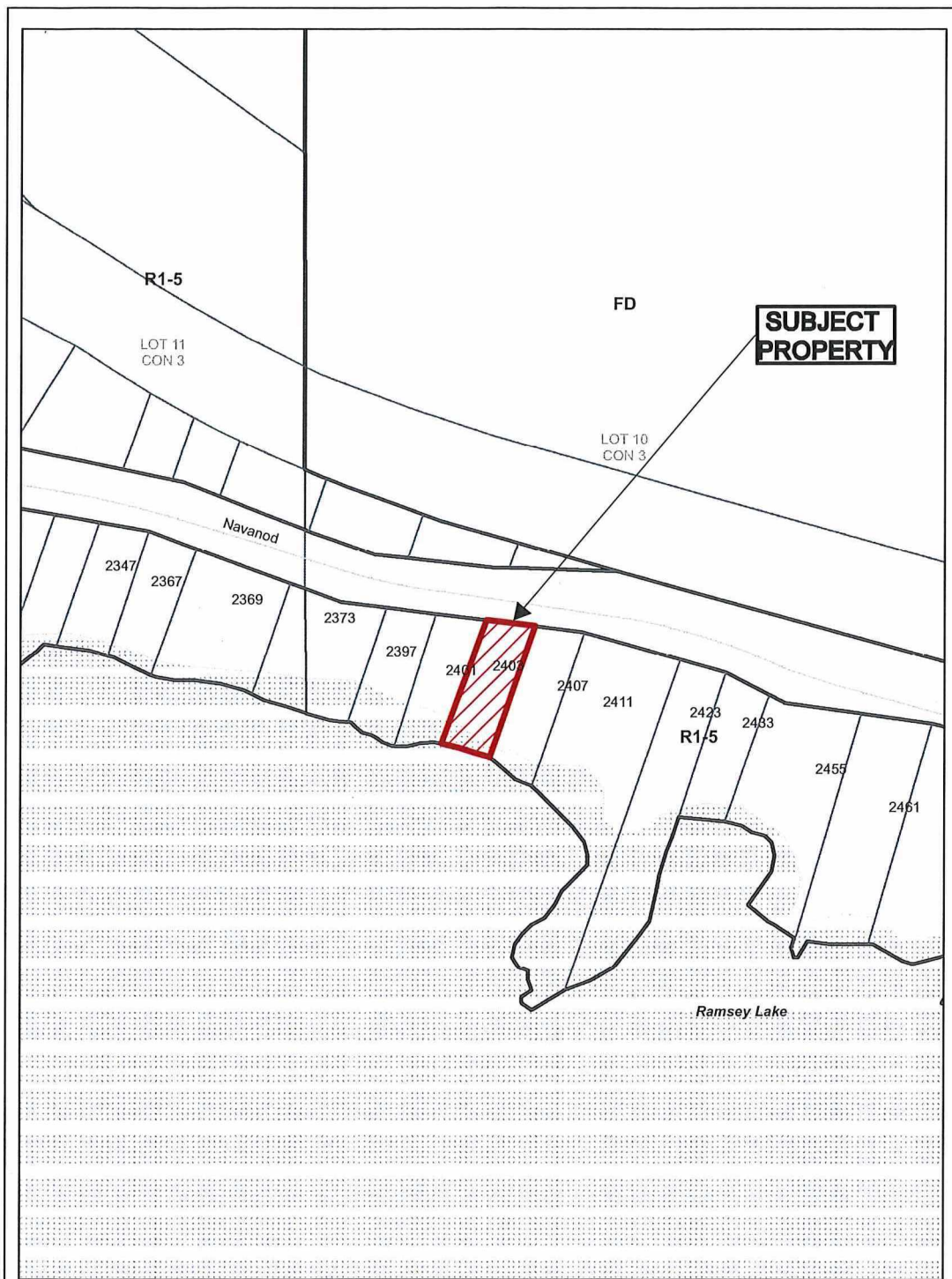

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: ADRIAN BORTOLUSSI
*I have authority to bind the Corporation

FOR OFFICE USE ONLY

Date of Receipt: Jan 15/24	Hearing Date: Feb 15/24	Received By: S. Pinkerton
Zoning Designation: R1-5	Resubmission: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Previous File Number(s): None		
Previous Hearing Date:		
Notes:		

A0006/2024



Application for Minor Variance or Permission



Subject Property being PIN 73576-0041,
Parcel 46521 SEC SES,
Part Lot 10, Concession 3,
Parts 1, 2, and 3 on Plan 53R-9959 subject to
easement LT526250, Township of Neelon,
2403 Navanod Road, Sudbury,
City of Greater Sudbury

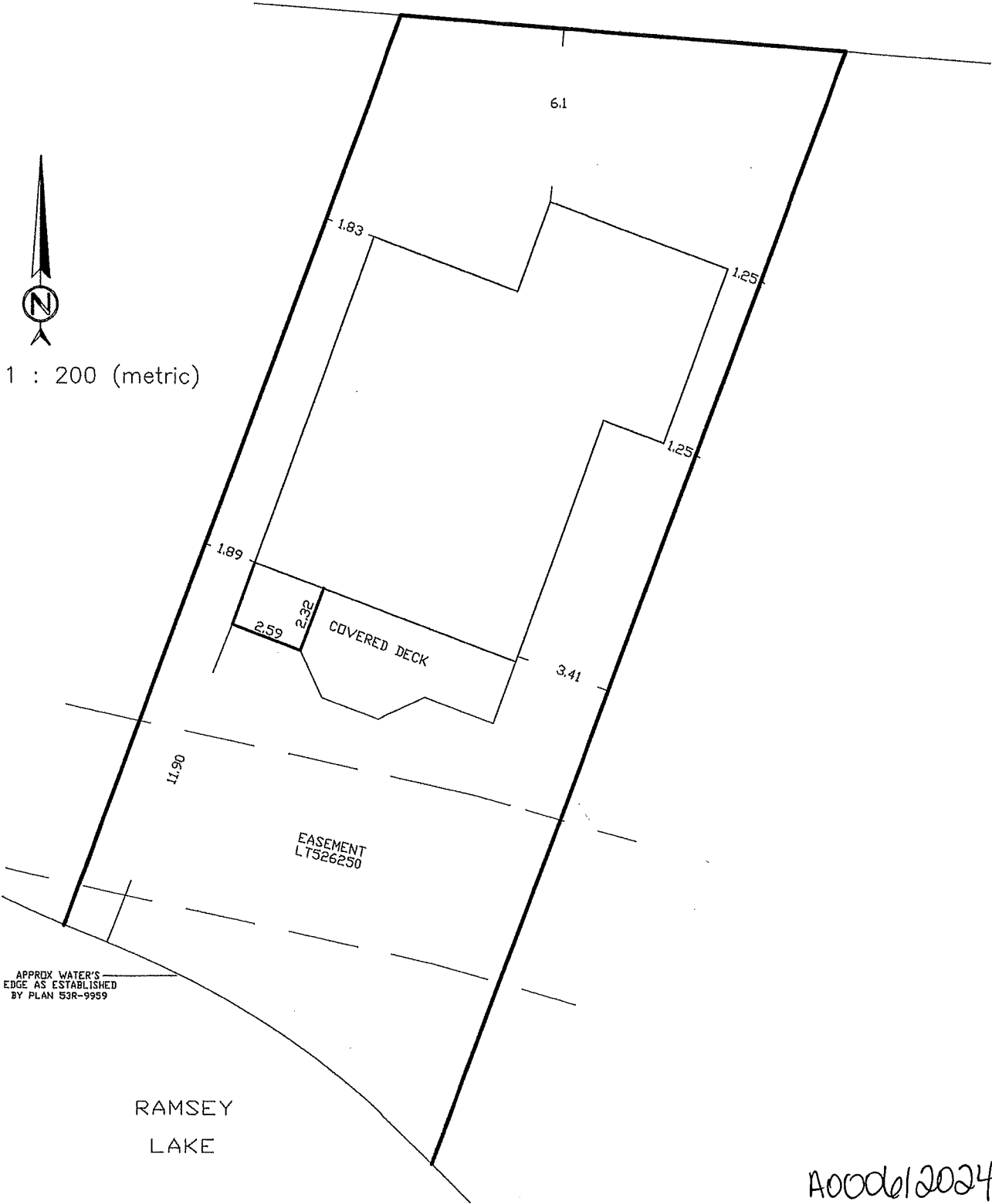
Sketch 1, NTS
NDCA

A0006/2024
Date: 2024 01 23

NAVANOD ROAD



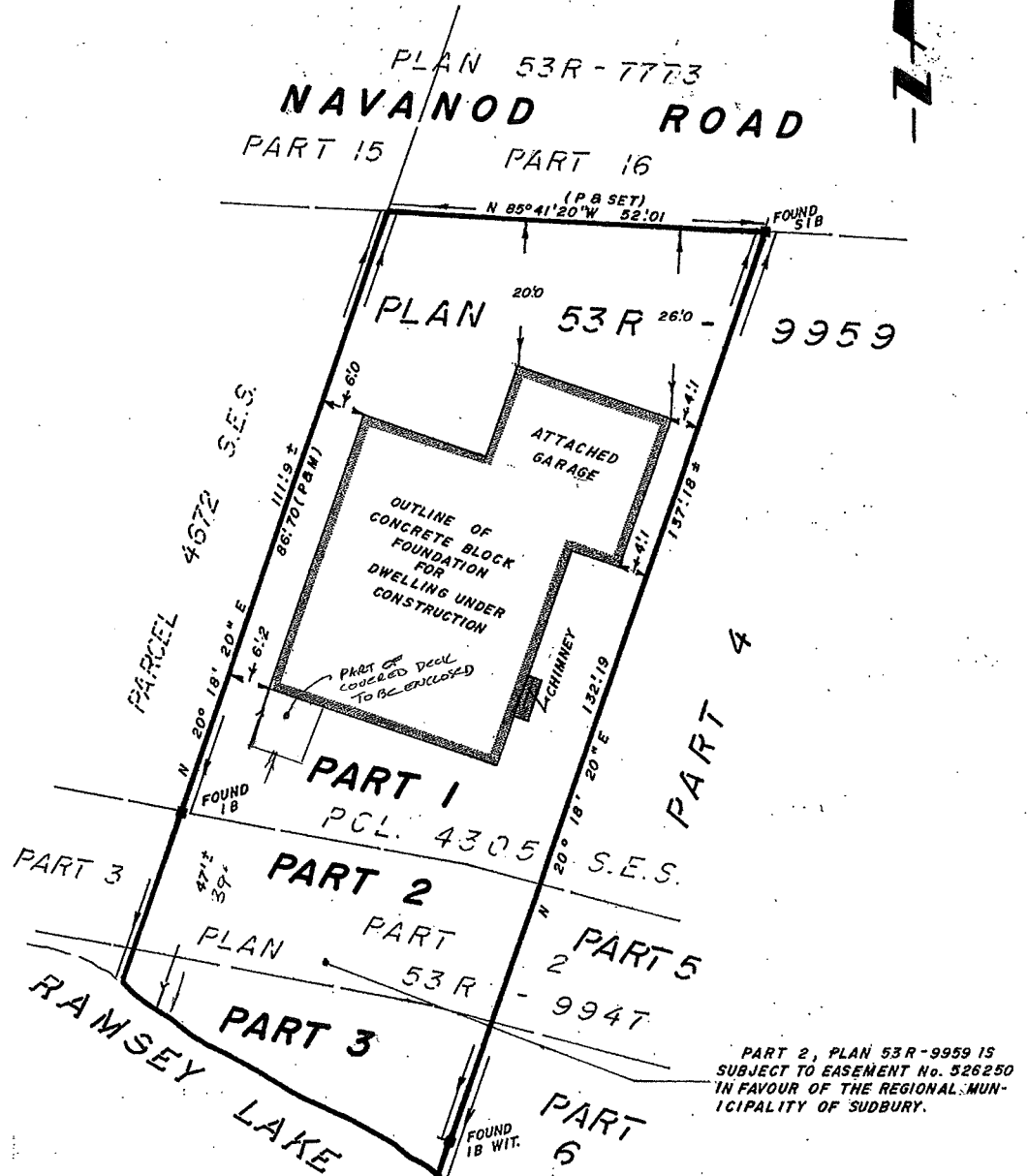
SCALE : 1 : 200 (metric)



A0006/2024
Sketch 2

PLAN OF BUILDING LOCATION ON
PARTS 1, 2 & 3 PLAN 53R-9959 BEING PART OF
LOT 10, CONCESSION 3

TOWNSHIP OF NEELON, CITY OF SUDBURY
REGIONAL MUNICIPALITY OF SUDBURY
DISTRICT OF SUDBURY
SCALE: 1 INCH = 20 FEET.



LEGEND

- SIB. DENOTES 1"X1"X48" LONG IRON BAR
- IB DENOTES 5/8"X5/8"X24" LONG IRON BAR
- (P) DENOTES PLAN 53R-9959
- (M) DENOTES MEASURED

NOTE.

THIS CERTIFICATE IS NOT
VALID UNLESS SEALED.

D. S. DORLAND LTD.,
290 LARCH STREET
SUDBURY, ONTARIO. 2858 JK

NOTE

ALL BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE DERIVED FROM THE EASTERLY LIMIT OF PARTS 1, 2 & 3 ASSUMED TO BE N 20°18'20"E IN ACCORDANCE WITH PLAN 53R-9959 OF RECORD IN THE LAND REGISTRY OFFICE AT SUDBURY.

THERE ARE NO ENCROACHMENTS OR OTHER BUILDINGS UPON PARTS 1, 2, AND 3, PLAN 53R-9959.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON SEPT. 8, 1983.

SEPTEMBER 13, 1983.

D. S. DORLAND
ONTARIO LAND SURVEYOR

A0006/2024
Sketch 3



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2024.01.01
A0007/2024
S.P.P. AREA YES _____ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO _____

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Kimberly Dean, Donald Dean Email: [REDACTED]
Mailing Address: 6179 Lohi Lake Rd Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury Postal Code: P3G 1L3 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: Kimberly Dean Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
6179 Lohi Lake Rd Business Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Desjardins
Mailing Address: 40 Elm St, Suite 166
City: Sudbury Postal Code: P3C 1S8

- 4) Current Official Plan designation: rural Current Zoning By-law designation: R1-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Garage 4.2.4(a)	5m	7.5m	+2.5m (7.5m height)

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

~~Changing second floor addition to not attach it to existing garage.~~

Original garage design would be attached to home. No longer constructing construction. Therefore garage is detached from home.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

We purchased the house with the existing garage in 2021

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):		Township: Broder	
Lot No.: 9	Concession No.: 2	Parcel(s): 27859	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 6179 Lohi Lake Rd			

- 7) Date of acquisition of subject land. August 20, 2021

- 8) Dimensions of land affected.

Frontage 45 (m) Depth 86.87 (m) Area 3909.15 (m²) Width of Street 44.7 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	See attached (m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	See attached drawing (m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☒
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☒
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

House & old garage : roughly 1967. Garage: 2007-2000? Unknown. The rest: unknown

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residence Length of time: ~1967 - present

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property? one

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: permanent residences

A0007/2024

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Kimberly Dean and Donald Dean (please print all names), the registered owner(s) of the property described as 6179 Lohi Lake Road
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Kimberly Dean (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of January, 2024

Alicia Tkachuk

(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Donald Dean

Kimberly Dean

*I have authority to bind the Corporation

A000712024

FOR Kim:

[Signature]


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Kimberly Dean and Donald Dean (please print all names),
the registered owner(s) or authorized agent of the property described as 6179 Lohi Lake Road


in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 23 day of JANUARY, 20 24


Commissioner of Oaths

Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits In and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury,


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Kimberly Dean
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Jan 25/24 Hearing Date: Feb 15/24 Received By: S. Pinkerton
Zoning Designation: R1-1 Resubmission: ☐ Yes ☒ No
Previous File Number(s): None
Previous Hearing Date:
Notes:

A000712024

Particulars of all buildings

House	Existing	Proposed
Ground Floor Area:	113 m ²	113 m ²
Gross Floor Area:	113 m ²	193 m ²
No. of stories:	1	2
Width:	13.4 m	13.4 m
Length:	8.8 m	8.8 m
Height:	4.4 m	7.1 m

Garage	Existing	Proposed
Ground Floor Area:	74 m ²	no change
Gross Floor Area:	111 74 m ²	
No. of stories:	2	
Width:	8.6 m	
Length:	8.6 m	
Height:	7.5 m	

Old Garage	Existing	Proposed
Ground Floor Area:	8.5 m ²	no change
Gross Floor Area:	8.5 m ²	
No. of stories:	1	
Width:	5.5 m	
Length:	7 m	
Height:	3.3 m	

Shed 1	Existing	Proposed
Ground Floor Area:	10.8 m ²	no change
Gross Floor Area:	10.8 m ²	
No. of stories:	1	
Width:	3.6 m	
Length:	3 m	
Height:	2.4 m	

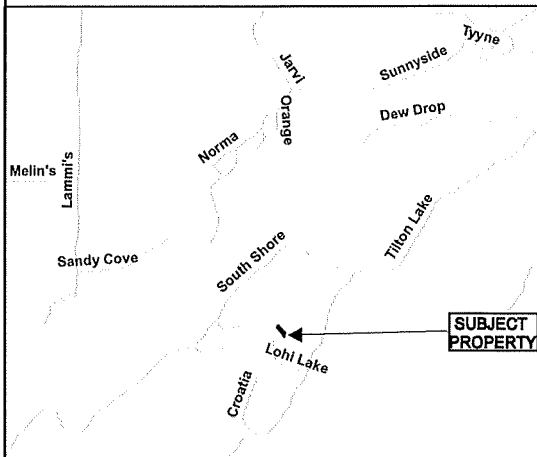
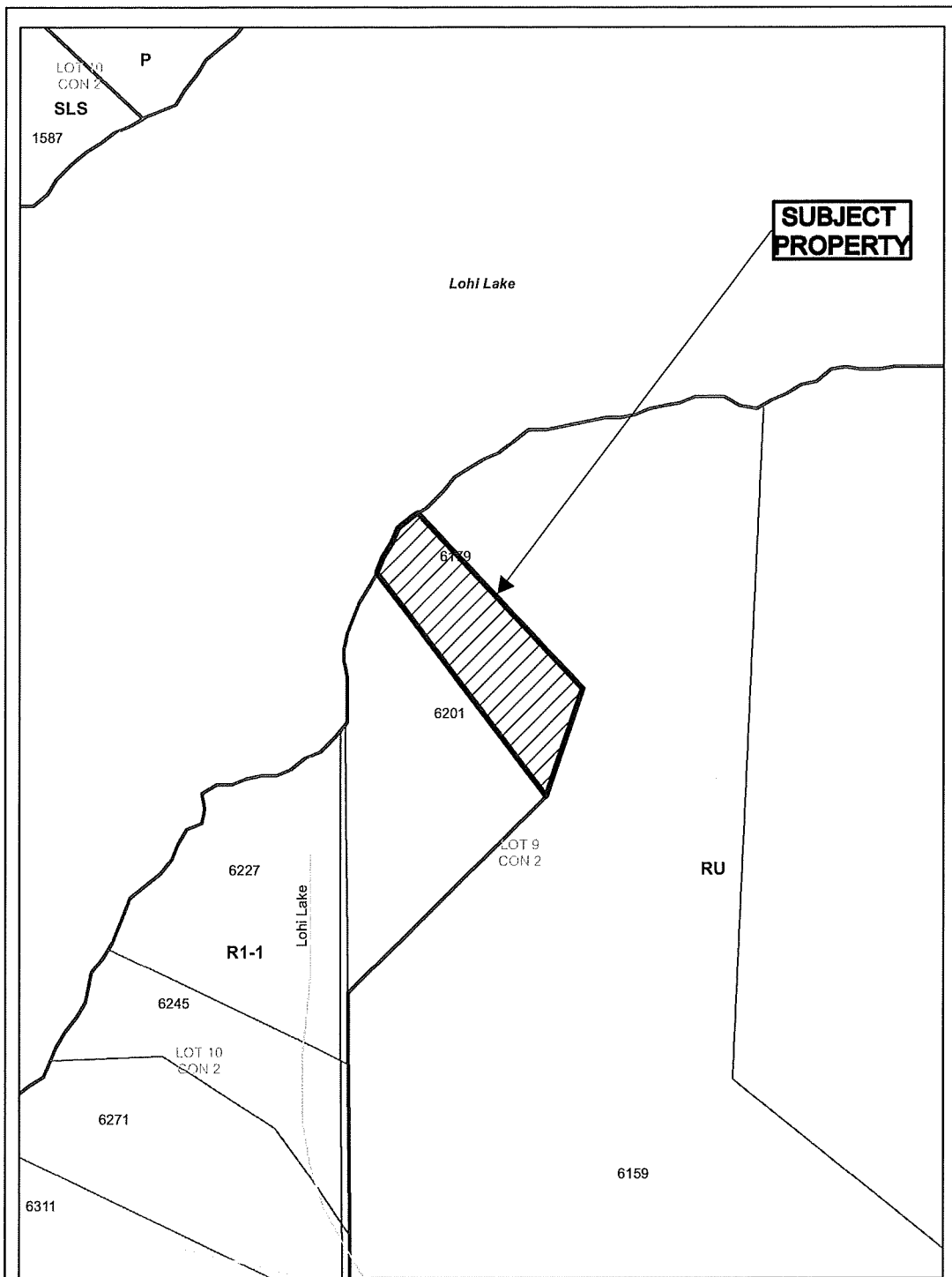
Shed 2	Existing	Proposed
Ground Floor Area:	13 m ²	no change
Gross Floor Area:	13 m ²	
No. of stories:	1	
Width:	3.6 m	
Length:	3.6 m	
Height:	3 m	

Woodshed	Existing	Proposed
Ground Floor Area:	6.4 m ²	
Gross Floor Area:	6.4 m ²	
No. of stories:	1	
Width:	2 m	
Length:	3.2 m	
Height:	3 m	

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Location of all buildings		
House	Existing	Proposed
Front	61.03 m	no change
Rear	17.04 m	
Side	28.8 m	
Side	2.72 m	
Garage	Existing	Proposed
Front	56.08 m	no change
Rear	33.4 m	
Side	34.2 m	
Side	2.2 m	
Old Garage	Existing	Proposed
Front	71.07 m	no change
Rear	8.8 m	
Side	14.3 m	
Side	25.2 m	
Shed 1	Existing	Proposed
Front	38.5 m	no change
Rear	44.77 m	
Side	1.1 m	
Side	40.7 m	
Shed 2	Existing	Proposed
Front	24.4 m	no change
Rear	35.6 m	
Side	58.87 m	
Side	5.8 m	
Woodshed	Existing	Proposed
Front	29.9 m	no change
Rear	54.97 m	
Side	0.3 m	
Side	41.5 m	

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Application for Minor Variance or Permission

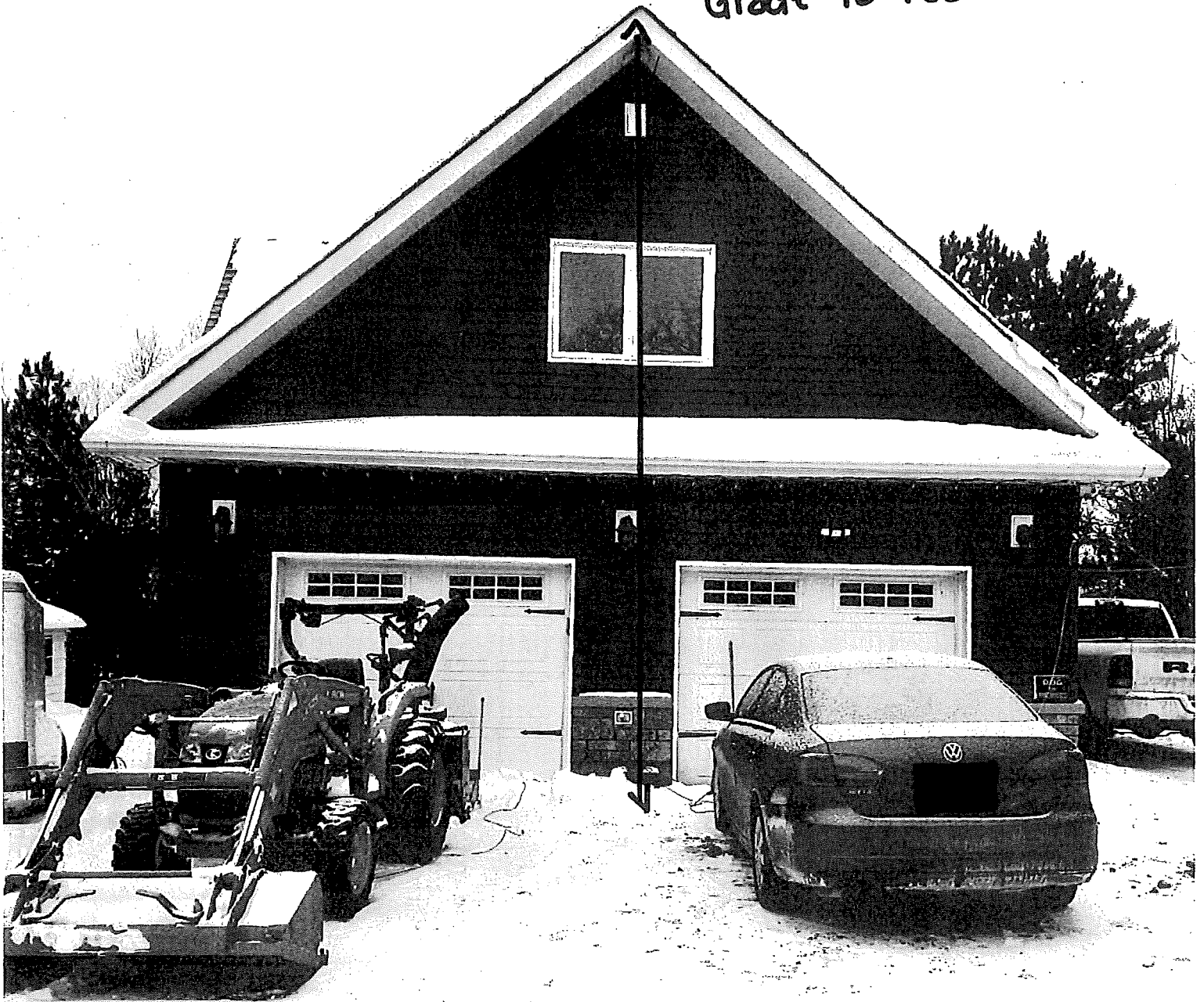


Subject Property PIN 73472-0119,
Parcel 27859 SEC SES,
Part Lot 9, Concession 2,
Part 2 on Plan 53R-21437, Township of Broder,
6179 Tilton Lake Road, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0007/2024
Date: 2024 01 29

Grade to Peak $\approx 7.5\text{m}$



A0007/2024
sketch 3



A000712024
Sketch 4



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2024.01.01
A0008/2024
S.P.P. AREA
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,360.00 (includes \$320.00 legal notice fee)

APPLICATION FEE FOR HEDGEROWS: \$409.00 (includes \$320.00 legal notice fee)

CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): 2439088 Ontario Inc. c/o Andrea DeMarco Email: [REDACTED]

Mailing Address: 378 Whittaker St. Home [REDACTED]

Busin [REDACTED]

City: Sudbury

Postal Code: P3C 3X9

Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Geoff McCausland Email: [REDACTED]

Mailing Address: 128 Pine Street Unit #300 Home [REDACTED]

80 Brodie Avenue, City of Greater Sudbury Busin [REDACTED]

City: Sudbury

Postal Code: P3C 1X3

Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Northern Credit Union Limited

Mailing Address: 280 McNaab Street

City: Sault Ste. Marie

Postal Code: P6B 1Y6

- 4) Current Official Plan designation: Mixed-Use Commercial Current Zoning By-law designation: C2(102)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Permit more residential units	2010-100Z	19	+1
	(C2 (102))		

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Current C2(102) zoning permits 18 apts & limited commercial uses. Minor variance to increase # of apts permitted from 18 to 19 (a 5.56% increase) & provide flexibility to respond to market.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Limited to 18 apartments AND commercial, but seeking to convert vacant commercial unit. This change will not impact other zoning standards and will reduce net min. parking required.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735861414 Township: McKim
 Lot No.: Concession No.: Parcel(s):
 Subdivision Plan No.: 29SB Lot: 80-84 Reference Plan No.: 53R20253 Part(s): 1
 Municipal Address or Street(s): 80 Brodie Avenue, City of Greater Sudbury

- 7) Date of acquisition of subject land. Feb.27 2020

- 8) Dimensions of land affected.

Frontage 33.5 (m) Depth 57 (m) Area 1921 (m²) Width of Street 20 (m)

- 9) Particulars of all buildings:

	Existing		Proposed	
Ground Floor Area:	472.5 (m ²)		472.5 (m ²)	
Gross Floor Area:	1418 (m ²)		1418 (m ²)	
No. of storeys:	3		3	
Width:	26 (m)		26 (m)	
Length:	19 (m)		19 (m)	
Height:	10.5 (m)		10.5 (m)	

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing		Proposed	
Front:	19.26 (m)		19.26 (m)	
Rear:	19.26 (m)		19.26 (m)	
Side:	2.64 (m)		2.64 (m)	
Side:	4.69 (m)		4.69 (m)	

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☒

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

43 years

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Mixed-Use Commercial/Residential Length of time: 43 years

- 14) Proposed use(s) of the subject property.

Same as #13 or,

- 15) What is the number of dwelling units on the property? 18

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: S-City Parkland, E-R2-2 Residential, W-R2-2, N-R2-2 & C1

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- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Andrea DeMarco & Greg Stitt (2439088 Ontario Inc.) (please print all names), the registered owner(s) of the property described as 80 Brodie Avenue, Sudbury, ON
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Geoff McCausland (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 22nd day of January, 2024

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Andrea DeMarco

*I have authority to bind the Corporation

A0008/2024

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Geoff McCusland (please print all names),
the registered owner(s) or authorized agent of the property described as 80 Brodie Avenue

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 22 day of Jan., 20 24

Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name:

*I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Jan 22/24 Hearing Date: Feb 15/24 Received By: S. Pinkerton

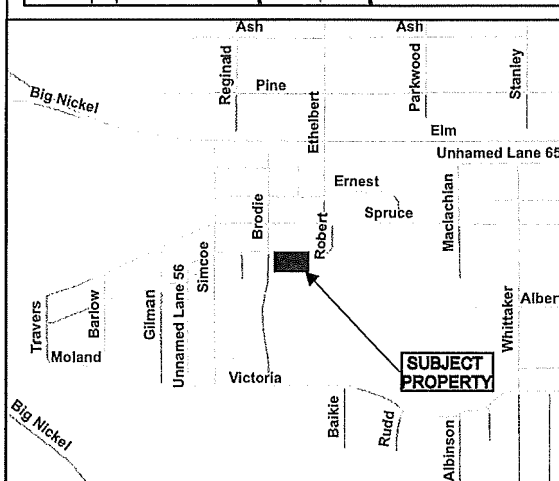
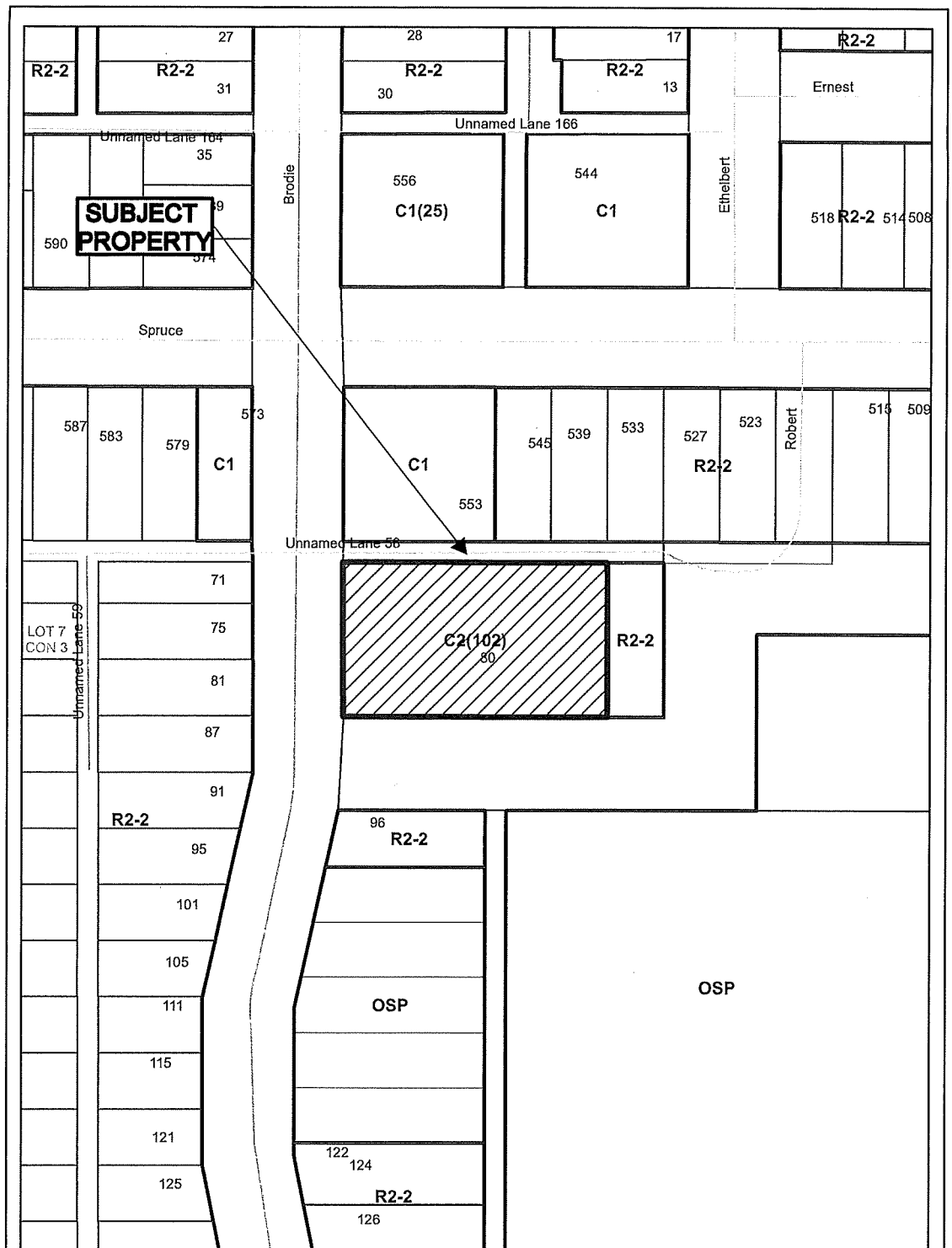
Zoning Designation: C2(402) Resubmission: ☐ Yes ☒ No

Previous File Number(s): None

Previous Hearing Date:

Notes:

10008/2024



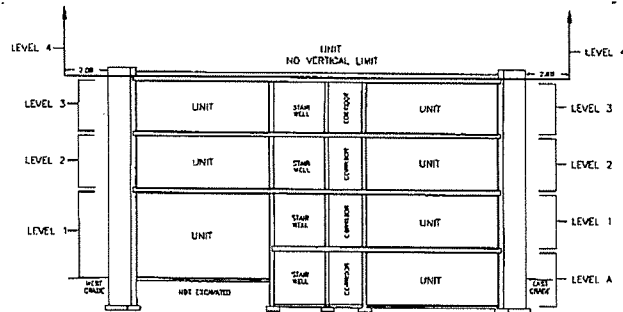
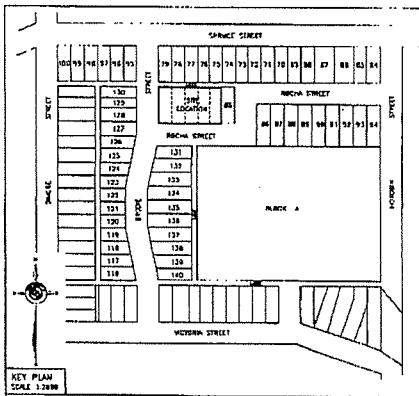
Application for Minor Variance or Permission



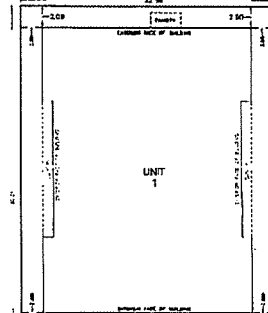
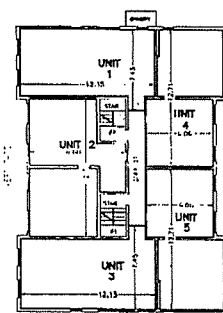
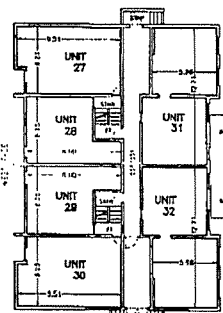
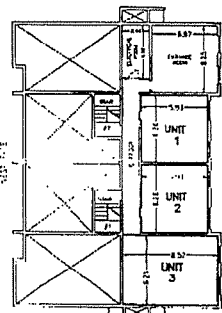
Subject Property PIN 73586-1414,
Lots 80, 81, 82, 83, and 84 on Plan 29-SB,
Part 1 on Plan 53R-20253, Lot 7, Concession 3,
Township of McKim, 80 Brodie Avenue, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0008/2024
Date: 2024 01 29

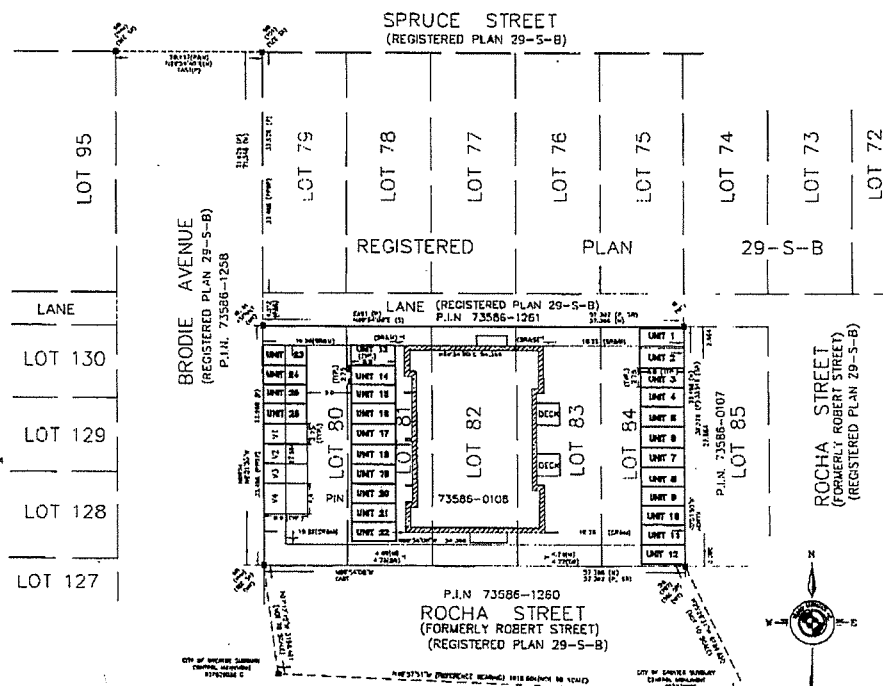


REPRESENTATIVE SECTION SHOWING THE RELATIONSHIP OF LEVELS
SCALE 1:100



TULLOCH
1943 REGENT STREET
UNIT 1, P.O. BOX 293
VICTORIA, B.C. V8N 2Y2
TEL: 252-1212
FAX: 252-1213

NOTES:
1. THIS PLAN IS A DRAFT AND IS NOT TO BE USED FOR CONSTRUCTION.
2. THE CITY OF VICTORIA HAS REVIEWED THIS PLAN AND HAS NO OBJECTION TO ITS SUBMISSION.
3. THE CITY OF VICTORIA HAS REVIEWED THIS PLAN AND HAS NO OBJECTION TO ITS SUBMISSION.
4. THE CITY OF VICTORIA HAS REVIEWED THIS PLAN AND HAS NO OBJECTION TO ITS SUBMISSION.



DRAFT PLAN OF CONDOMINIUM ON
ALL OF
LOTS 80, 81, 82, 83 & 84
REGISTERED PLAN 29-S-B
GEOGRAPHIC TOWNSHIP OF McKIM
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY
TOWNSHIP OF SUDBURY
2015

SCALE 1:300

LEGEND

10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
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REVISED January 2024



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

Office Use Only 2023.01.01	
A 0102/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Adam Field and Andria Field	Email: [REDACTED]
Mailing Address: PO Box 326	Home Phone: [REDACTED]
83 Simon Lake Road	Business Phone: [REDACTED]
City: Naughton	Postal Code: P0M 2M0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Adam Field	Email: [REDACTED]
Mailing Address: 500 King Street North Suite 500-MA P.O. Box 161	Home Phone: [REDACTED]
83 Simon Lake Road, Naughton	Business Phone: [REDACTED]
City: [REDACTED]	Postal Code: [REDACTED] Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Manulife Bank	
Mailing Address: 500 King Street North Suite 500-MA P.O. Box 1602 STN	
City: Waterloo	Postal Code: N2J 4C6

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
see attached table			

- b) Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: 0.6096 (m)

- c) Description of Proposal:

An addition to the existing house that will be closer to the lake by 3.048m than the existing backside of the house. The addition will be 2 stories in height and the plans have a proposal to be at 1.22m from the lot line on the east side of the house.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

size of the addition is set and any smaller will create unusable space and then can't be built.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s):		Township: Graham	
Lot No.: 28481	Concession No.: 3	Parcel(s):	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 83 Simon Lake Road, Naughton			

- 7) Date of acquisition of subject land. July 2022

- 8) Dimensions of land affected.

Frontage 31.62 (m) Depth 60.96 (m) Area 1927.56 (m²) Width of Street 6.52 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	see attached table 9) (m ²)	see attached table 9) (m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	see attached table 10) (m)	see attached table 10) (m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

house - 1986, garage 1994, gazebo - 2023,

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 37 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or,

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☐ No

If "yes", how many?

- 17) Existing uses of abutting properties: residential properties

A0102/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Adam Field and Andria Field (please print all names), the registered owner(s) of the property described as 83 Simon Lake Road, Naughton
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

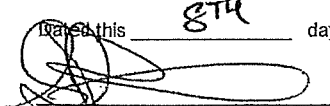
- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

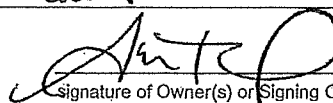
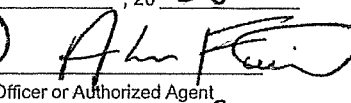
Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Adam Field (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 8th day of August, 20 23

(witness)
SCOTT POIRIER

 
Signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Adam Field Andria Field

*I have authority to bind the Corporation

A0102/2023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Adam and Andrija Field (please print all names),
the registered owner(s) or authorized agent of the property described as 83 Simon Lake Road

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 8th day of August, 1928

~~Commissioner of Oaths~~

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: ADAM FIELD
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Aug 14/23 Hearing Date: Aug 30/23 Received By: S. Pinkerton
Zoning Designation: R1-5 Resubmission: ☐ Yes ☒ No
Previous File Number(s): See below
Previous Hearing Date: _____
Notes: B0321/1989 (Jun 12/89)
Resubmitted: Sept 7/23
Resubmitted:

Table Section 5)

Section	Variance to	By-Law Requirement	Proposed	Difference
Table 6.2	Distance from Lot Line- Addition	1.828	1.22	0.608

A0102/2023

Table 9)

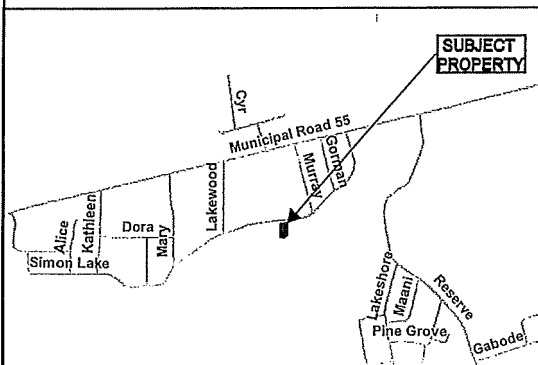
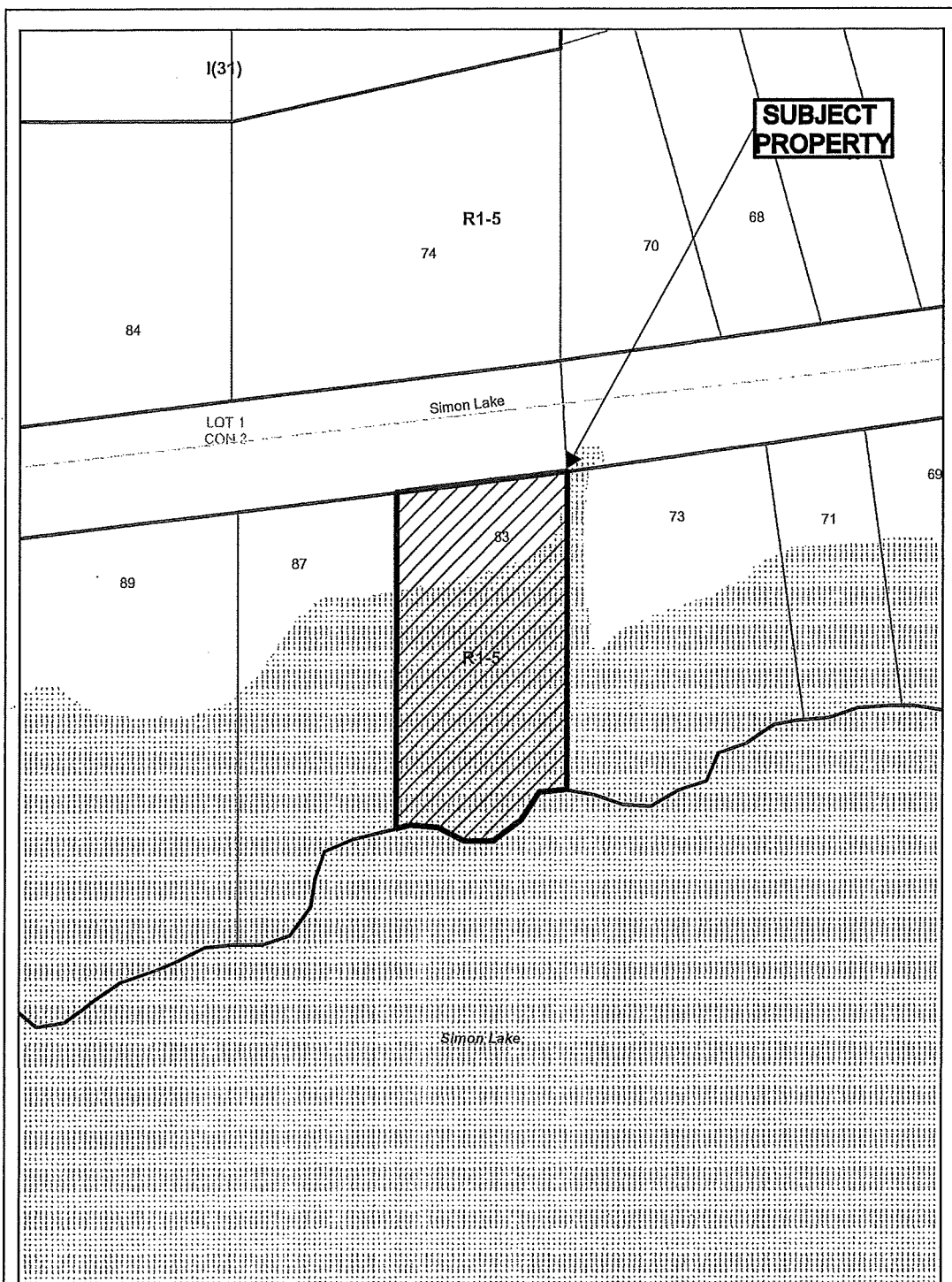
Particulars of all buildings	Exisitng					Proposed
	Ex. House	Gazeebo			Garage	House+Addition
Ground Floor Area	102.19	28.9			53.064	154.22
Gross Floor Area	102.19	28.9			53.064	206.24
No. of Stories	1	1			1	2
Width	7.62	3.66			6.7	10.67
Length	13.41	7.92			7.92	18.29
Height	5.49	3.96			4.57	6.858

A0102/2023

Table 10)

Building Location	Exisitng				Proposed		
	Ex. House	Gazeebo		Garage	Addition		Front Porch
Front	7.74	48.46		6.096	7.74		6.63
Rear	40.54	7.62		45.72	37.49		54.86
Side	6.197	3.05		2.4	1.22		23.26
Side	2.438	25.903		23.51	2.4		7.99

A0102/2023



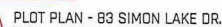
Application for Minor Variance or Permission



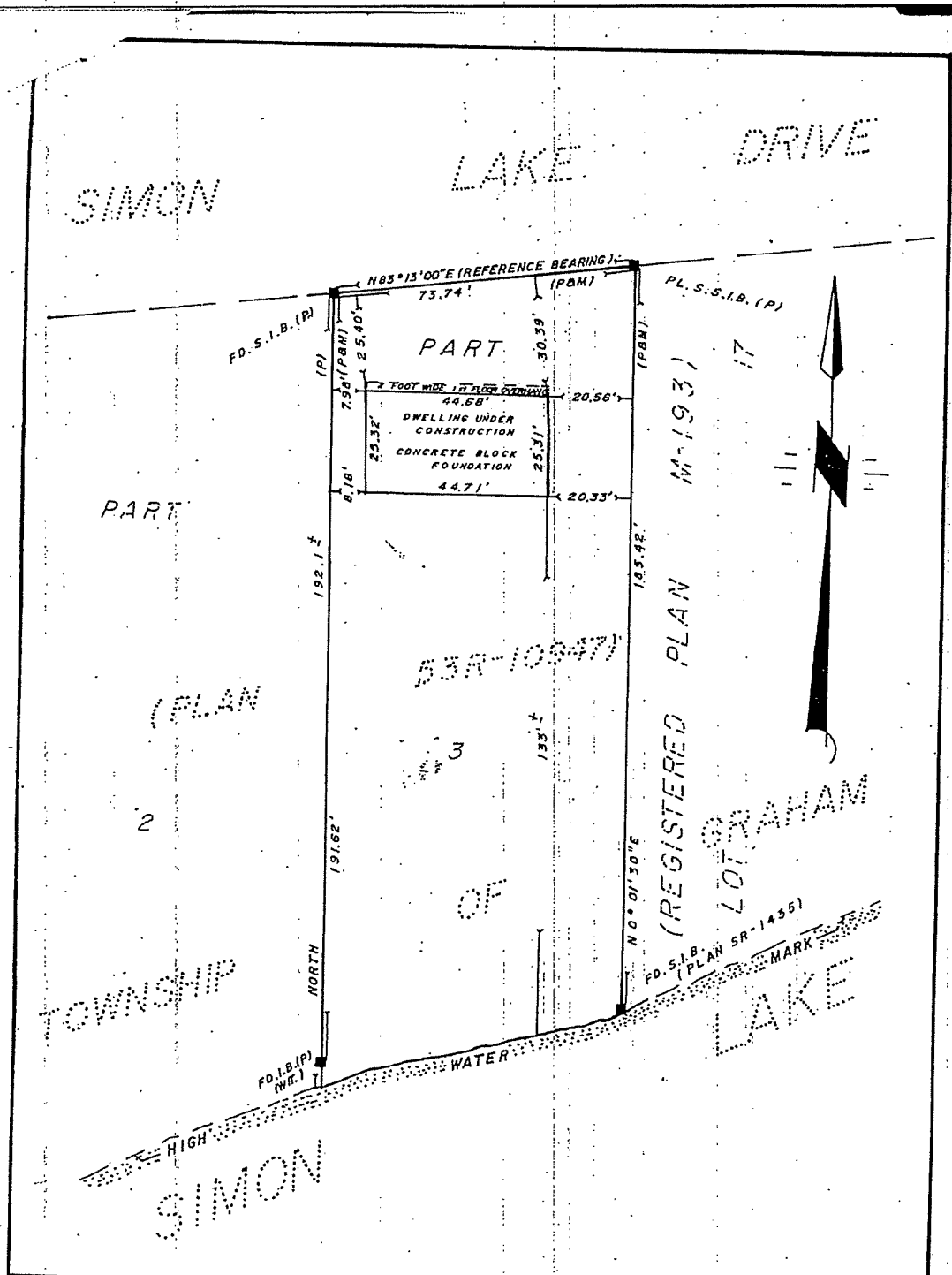
Subject Property PIN 73381-0546,
Parcel 28481 SEC SWS, Part Lot 1, Concession 3,
Part 3, Plan 53R-10947 and Part 2, Plan 53R-12572,
Township of Graham, 83 Simon Lake Drive, Naughton,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0102/2023
Date: 2023 08 14



A0102/2023
REVISED
January 2024
Sketch 2



BUILDING LOCATION SURVEY OF PART 3 - PLAN 53R-10947 BEING PART OF LOT 1-CONCESSION 3 TOWNSHIP OF GRAHAM TOWN OF WALDEN REGIONAL MUNICIPALITY OF SUDBURY DISTRICT OF SUDBURY		LEGEND SIB DENOTES STANDARD IRON BAR SIBB DENOTES SHORT STANDARD IRON BAR IB DENOTES IRON BAR FD DENOTES FOUND PL DENOTES PLANTED WIT DENOTES WITNESS PROP DENOTES PROPORTIONED M DENOTES MEASURED S DENOTES SET C DENOTES CALCULATED R DENOTES REGISTERED WS DENOTES WOOD STAKE FN DENOTES FIELD NOTES BY P DENOTES PLAN 53R-10947 P1 DENOTES PLAN P2 DENOTES PLAN	SURVEYOR'S CERTIFICATE I CERTIFY THAT THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 8 TH DAY OF OCTOBER, 1986. NOVEMBER 19 TH 1986
NOTE BEARINGS ARE ASTRONOMIC AND ARE DERIVED FROM THE BEARING OF N83°13'00"E FOR THE SOUTHERLY LIMIT OF SIMON LAKE DRIVE AS SHOWN ON PLAN 53R-10947 RECORDED IN THE LAND REGISTRY OFFICE AT SUDBURY.		NOTE © 1986 THIS PLAN IS NOT VALID UNLESS SIGNED AND SEALED	
SCALE: 1" = 30' DRAWN BY [REDACTED] CHECKED BY [REDACTED]		JOB No. 86-135	



A010212023
 sketch 3

23-0437

WALL ASSEMBLY LEGEND		
*REFER TO PLANS AND SECTIONS FOR THE LOCATION OF THE WALL ASSEMBLIES. ADDITIONAL DETAILS PROVIDED WITHIN PROJECT DRAWING PACKAGE IF ANY WALLS NOT LISTED		
TAG	DESCRIPTION	NOTES
W1		2 X 4 EXTERIOR WALLS
W2		2 X 6 EXTERIOR WALLS NON-FIRE RATED NOSH R-24 + 25 CL
W3		2 X 6 INTERIOR WALLS
W4		2 X 6 EXTERIOR WALLS NOSH R-24 + 25 CL
F1		FLOORING ASSEMBLY

DOOR SCHEDULE & LINTEL DETAILS		
DOOR SCHEDULE	2 X 6 1 1/2" BEARING	NOSH
NOTES	EXTERIOR FRENCH DOORS ONLY FORCED ENTRY PROTECTION	INTERIOR HOLLOW CORE DOOR
TAG	1	2

*REFER TO PROPOSED MAIN FLOOR PLAN FOR THE LOCATION OF DOORS. DOOR SIZES MAY BE ADJUSTED TO ACCOMMODATE OWNER'S PREFERENCE PROVIDED THEY MEET OBC VIBL REQUIREMENTS

GENERAL NOTES

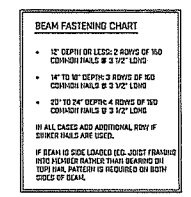
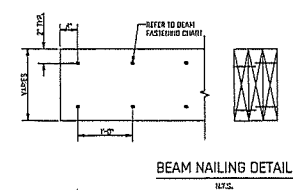
- ANY REFERENCE DIMENSIONS SHOWN ON THE DRAWING ARE NOT TO BE USED FOR CONSTRUCTION.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND FABRICATION.
- ALL WORK, FABRICATION AND CONNECTIONS SHALL BE IN CONFORMANCE WITH THE OBC AND APPLICABLE CSA STANDARDS. WHERE THE DRAWING DEVIATES FROM THE OBC AND APPLICABLE STANDARDS, THE MORE STRINGENT SHALL GOVERN. ALL SPECIFIED AND PROPRIETARY PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
- IF ANY MODIFICATIONS ARE REQUIRED WHICH DO NOT FOLLOW THE DRAWING INSTRUCTIONS CONTACT ENGINEER FOR APPROVAL PRIOR TO PROCEEDING WITH THESE CHANGES.
- ELECTRICAL AND MECHANICAL ARE NOT INCLUDED WITH THIS DRAWING. PROPER E.S.A. INSPECTIONS ARE TO BE COMPLETED, AND ALL WORK TO COMPLY WITH O.B.C. (LATEST EDITION).
- CONTRACTOR SHALL ENSURE ELECTRIC SMOKE AND CO DETECTOR W/VISUAL COMPONENT.
- ATTIC ACCESS HATCH SHALL BE PROVIDED. HATCH SHALL BE 20"X20" WITH WEATHER STRIPPING & BACKED WITH R21 INSULATION.
- ANY WOOD IN CONTACT WITH CONCRETE OR THE GROUND SHALL BE PRESERVE TREATED. ALL TIMBER SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH CSA SPECIFICATION OBC-M "WOOD PRESERVATION", AS PER CATEGORY UC31 REQUIREMENTS FOR SPECIES AND PRESERVATION TYPE. SHOULD UNTREATED WOOD BE USED, THE WOOD SHALL BE SEPARATED FROM THE CONCRETE BY A 2 MIL POLYETHYLENE FILM, #50 OR OTHER DAMPROOFING MATERIAL.
- CLEAN & MAKE GOOD ALL TRADES TO MATCH NEW AND EXISTING FINISHES, INCLUDING ANY DAMAGE CAUSED BY CONSTRUCTION.
- SHOULD AT ANY TIME ANY DETAILS CONTAINED WITHIN THIS DRAWING PACKAGE ARE NOT UNDERSTOOD FULLY, CONTACT ENGINEER FOR GUIDANCE AND/OR CLARIFICATION.
- IT IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER TO CONTACT THE ENGINEER FOR INSPECTION AND TO NOTIFY THE ENGINEER WHEN THE PROJECT IS READY FOR INSPECTIONS PRIOR TO COMPLETION. CONTACT THE ENGINEER AND BUILDING OFFICIAL FOR THE APPROPRIATE INSPECTION INTERVALS TO SUIT THE CONSTRUCTION.

FRAMED CONSTRUCTION NOTES:

- ALL FRAMING LUMBER SHALL BE GRADE NO. 1/2 SPF UNDO.
- JOISTS TO HAVE A MINIMUM 1-1/2" END BEARING. BEAMS TO HAVE A MINIMUM 3-1/2" END BEARING.
- DOUBLE STUDS TO BE AT ALL OPENINGS. DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN EXT WALLS, AND DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" AND 10'-6".
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" AND 5'-7".
- DOUBLE JOISTS TO BE PLACED UNDER PARALLEL PARTITIONS.
- BEAMS TO BE PLACED UNDER LOAD BEARING WALLS WHEN WALL IS PARALLEL TO FLOOR JOISTS.
- BEAM MAY BE A MAX 24" FROM A LOAD BEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS.
- METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY ARE FRAMING INTO THE SIDE OF BEAMS, TRIMMERS AND HEADERS.
- WALLS REQUIRE BLOCKING AT THEIR MIDSPAN, STAGGER BLOCKING UP AND DOWN TO PERMIT OPTIMAL NAILING.
- BUILT-UP BEAMS SHALL BE CONSTRUCTED PER OBC REQUIREMENTS. REFER TO OBC CL. 9.23.9 FOR REFERENCE.

PRE-ENG ROOF TRUSS REQUIREMENT:

- TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- CONNECTIONS TO BE DESIGNED BY TRUSS MANUFACTURER.
- BRACING REQUIREMENTS TO SUIT APPLICABLE LOADING AND DESIGNED BY TRUSS ENGINEER.
- TRUSS PACKAGE TO BE SHARED WITH, AND APPROVED BY, SHIELD CONSULTING ENGINEERS LTD PRIOR TO CONSTRUCTION.



FOUNDATION NOTES:

- IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE APPROPRIATE WATER CONTROL/DE-WATERING METHODS ON THE WORKSITE AS REQUIRED DURING THE PROJECT.
- CONTACT ENGINEER ONCE REBAR/REINFORCEMENT AND FORMS ARE IN PLACE FOR FINAL INSPECTION PRIOR TO PLACING CONCRETE.
- FOR ADDITIONAL DETAILS REGARDING ANCHORAGE OF STRUCTURE TO FOUNDATION REFER TO CLAUSE 9.23.6 OF THE ONTARIO BUILDING CODE. OWNER SHALL CONSIDER J-BOLTS, POST INSTALLED ANCHORS, OR MUDDILL ANCHORS FOR ANCHORING SILL PLATE TO CONCRETE. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE A36 OR BETTER. CONSTRUCTOR SHALL ENSURE ALL PROPER LOCATES ARE PERFORMED PRIOR TO CONSTRUCTION.
- CO-ORDINATE ALL WORK WITH OWNER, AND SHOULD ANY SUBSTITUTIONS BE REQUIRED CONSULT AND SEEK APPROVAL IN WRITING FROM OWNER PRIOR TO PROCEEDING WITH THE WORK.
- MIN ALLOWABLE BEARING PRESSURE OF 1000psi (TO BE CONFIRMED BY OWNER/OTHERS). IT IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER TO RENDER THE SERVICES OF A GEOTECHNICAL ENGINEER AS REQUIRED TO SATISFY THE SOIL AND DRAINAGE REQUIREMENTS OF THIS DRAWING, AND/OR TO SATISFY THE REQUIREMENTS OF LOCAL BUILDING OFFICIALS. THE GEOTECHNICAL ENGINEER SHALL ALSO PROVIDE RECOMMENDATIONS TO THE FILL AND SOIL SHOWN IN THIS DRAWING BASED ON THEIR INVESTIGATION.
- A SOILS CONSULTANT SHALL APPROVE ON SITE THE ASSIGNED SAFE NET BEARING PRESSURE FOR EACH FOOTING, IF THE SAFE NET BEARING PRESSURE FOR DESIGN IS NOT APPROVED, THE FOUNDATION DETAILS WILL BE ADJUSTED BY THE ENGINEER ACCORDING TO SITE CONDITIONS.
- SPECIFIED INSULATION TO BE APPROVED BY QUALIFIED GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE LOCAL SOIL CONDITIONS.
- IF SOIL SOFTENING OCCURS BEFORE CONCRETE FOOTING CAN BE POURED, OR AS REQUIRED BY THE SOILS REPORT, CONSTRUCT FOOTINGS ON A LEVEL 2" THICK SKIM SLAB OF 2000psi MINIMUM 28 DAY STRENGTH. PLACE IMMEDIATELY AFTER COMPLETION OF EXCAVATION.
- LOCATE FOOTING ELEVATIONS AS REQUIRED TO ACCOMMODATE BURIED ELECTRICAL OR MECHANICAL SERVICES AND PROTECT EXISTING AND ADJACENT FOOTINGS FROM BEING UNDERMINED AND OVERLOADED BY LIMITING THE SLOPE OF THE LINE BETWEEN THE ADJACENT FOOTING ELEVATIONS TO A 7 IN 10 MAXIMUM SLOPE WITH A MAXIMUM RISE OF 2'-0".
- USE EXCAVATED MATERIALS AS BACKFILL ONLY AS APPROVED BY SOILS CONSULTANT.
- PROTECT ALL STRUCTURAL STEEL EXPOSED TO EARTH WITH AT LEAST 2" OF CONCRETE COVER UNLESS NOTED OTHERWISE ON DRAWINGS.

CONCRETE NOTES:

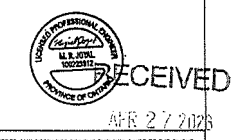
- ALL CONCRETE MATERIALS, WORK, DESIGN, AND TESTING SHALL CONFORM WITH CSA A23.2V22 (LATEST EDITIONS).
- FORMWORK SHALL BE TIGHT, STRONG, LEVEL, AND BRACED ACCORDINGLY TO MAINTAIN SHAPE AND POSITION THROUGHOUT THE POUR. ONLY NEW MATERIAL SHALL BE UTILIZED FOR FORMWORK.
- THE MINIMUM COMPRESSIVE STRENGTH SHALL BE 32 MPa AT 28 DAYS WITH AN EXPOSURE CLASS C-1 (CSA A23.1), AND AIR CONTENT BETWEEN 5% TO 8%. A SLUMP OF 3" (4" - 3/4") IS TO BE ACHIEVED WITH A MAX AGGREGATE SIZE, CRUSHED STONE OF 3/4". A TYPICAL DISCHARGE TEMPERATURE OF 15°C TO 25°C IS REQUIRED. A CLASS A FLOOR FINISH (CSA A23.1) SHALL BE APPLIED WHERE REQUIRED.
- ALL 10M BARS SHALL BE SPLICED WITH A MINIMUM OVERLAP OF 15". ALL 10M BARS SHALL BE SPLICED WITH A MINIMUM OVERLAP OF 22". LAP SPLICE TO EQUAL CLASS B TENSION LAP PER CSA-A23.1.
- DEFORMED BARS OF NEW BILLET STEEL SHALL CONFORM TO CAN/CSA G30.18 (GRADE 400).
- WET CURE SLAB FOR A MIN OF 7 DAYS.

WINDOW SCHEDULE & LINTEL DETAILS		
DOOR SCHEDULE	2 X 6 1 1/2" BEARING	2 X 6 1 1/2" BEARING
TAG	1	2

*LOCATION OF WINDOW AND HEIGHT OF WINDOW MAY BE ALTERED TO THE OWNER'S PREFERENCE. HOWEVER SHOULD THE WIDTH OF WINDOW CHANGE CONTACT ENGINEER TO ENSURE APPROPRIATE LINTEL IS INSTALLED.

REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUED FOR CONSTRUCTION	M.J.	M.J.	2023-02-16

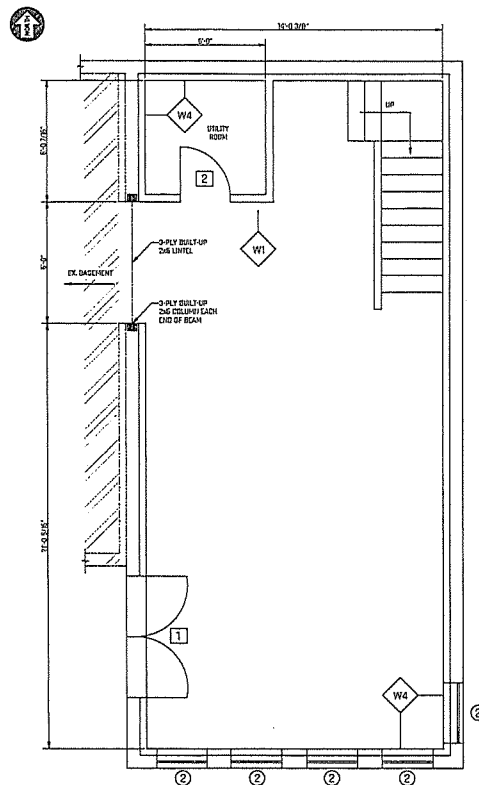
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		DATE 83 SIMON LAKE DR., NAUGHTON						
		PROJECT DESCRIPTION HOUSE ADDITION						
		QUANTITY DESCRIPTION GENERAL NOTES						
DRAWN BY M. JUTAL	DATE DRAWN 2023-02-16	CHECKED BY K. MAY	DATE CHECKED 2023-02-16	APPROVED BY M. JUTAL	DATE APPROVED 2023-02-16	SCALE N.T.S.	DRAWING NUMBER 2243-A4	REVISION 0



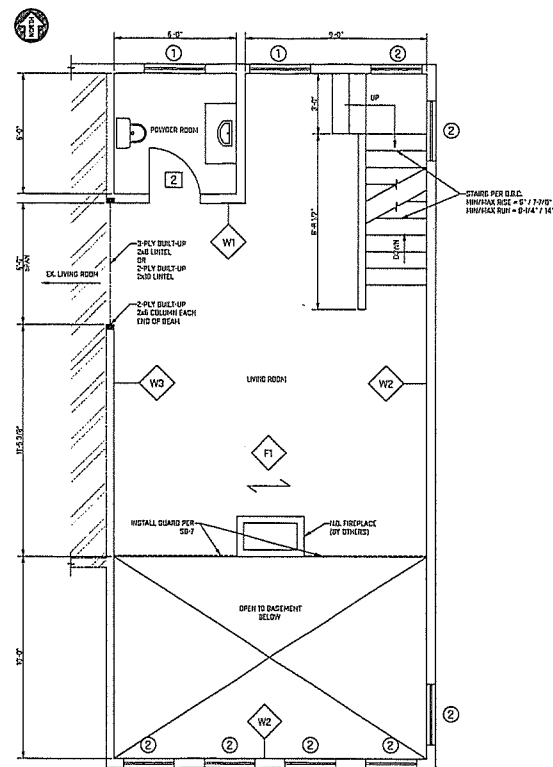
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As of 02/20/2023
Sketch 4

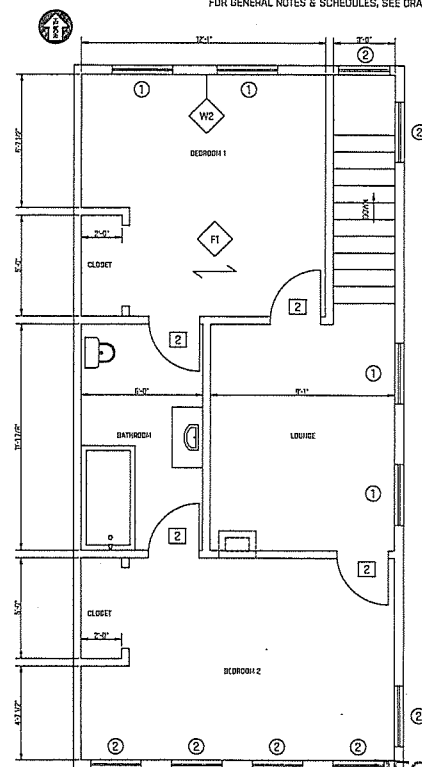
FOR GENERAL NOTES & SCHEDULES, SEE DRAWING 2243-A4



PLAN VIEW - ADDITION BASEMENT



PLAN VIEW - ADDITION MAIN FLOOR



PLAN VIEW - ADDITION SECOND FLOOR

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[illegible]

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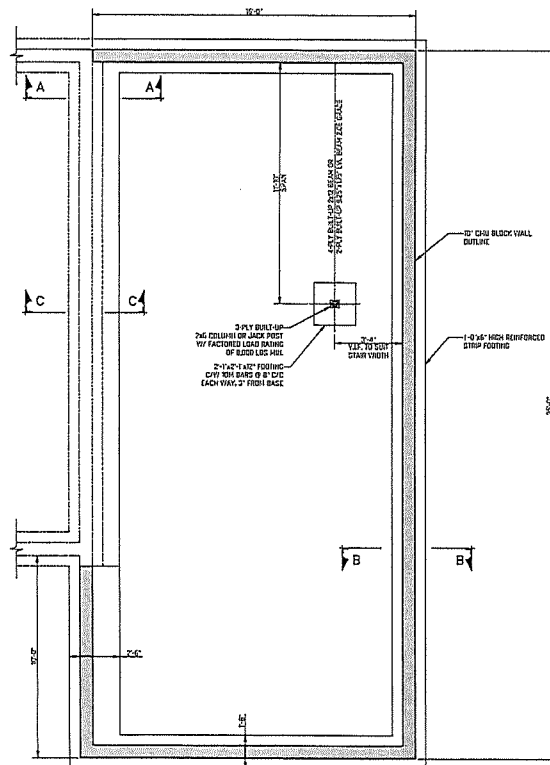
CUSTOMER NAME	ADAM FIELD
CITY	83 SIMON LAKE DR., NAUGHTON
PROJECT DESCRIPTION	HOUSE ADDITION
DRAWING DESCRIPTION	PLAN VIEWS

DRAWN BY M. JOYAL		DATE DRAWN 2023-01-23	CHECKED BY K. MAY	DATE CHECKED 2022-02-14	APPROVED BY M. JOYAL	DATE APPROVED 2023-03-15	SCALE 3/8"=1'-0"	DRAWING NUMBER 2243-A1	REVISION 0
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3/8"=1'-0" 2243-A1 0

A0102/2023
Sketch 5

FOR GENERAL NOTES & SCHEDULES, SEE DRAWING 2243-A2



The diagram illustrates a cross-section of a foundation repair. Key components and labels include:

- EXISTING FOUNDATION**: The original structure on the left.
- NEW FOUNDATION**: The repaired or new structure on the right.
- 1/2" DRIFTEL**: A layer of gravel or similar material.
- 1/2" HD NEW & EX. BLOCKS**: Heavy-duty blocks used in the repair.
- EACH COURSE OF BLOCK SHALL BE DOWELED & CORE FILLED WITH EPS NON-EXPANSIVE GROUT**: A note describing the internal structure and filling.
- 1/2" HD NEW & EX. DRIFTEL**: Another layer of gravel or similar material.
- 1/2" HD NEW & EX. DRIFTEL EX. FOOTINGS**: A layer of gravel or similar material around the existing footings.
- ADHESIVE BONDING MORTAR**: A material used to bond the blocks.
- HTT HP-200 ADHESIVE GROUT**: A specific type of adhesive grout.
- 1/2" EX. SLAB**: The existing concrete slab.
- 1'-6"** and **5'-0"**: Dimensions indicating the width of the repair area.
- UNDISTURBED NATIVE SOIL**: The soil beneath the foundation.

[illegible][illegible]

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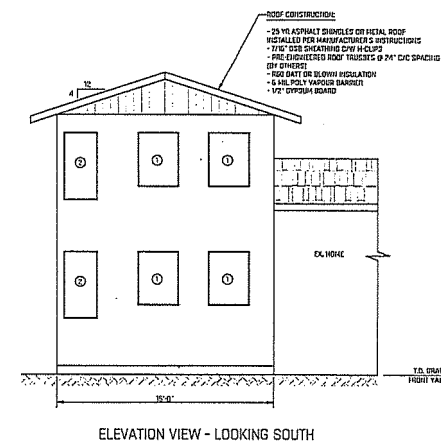
REFERENCE DRAWING NO	REF DWG REV	REFERENCE DRAWING TITLE	REVISION	REVISION DESCRIPTION	REV BY	APP'D BY	DATE
			0	ISSUED FOR CONSTRUCTION	M.L.	M.L.	2023-03



DRAWN BY M. JOYAL	DATE DRAWN 2023-01-23	CHECKED BY K. MAY	DATE CHECKED 2023-02-14	APPROVED BY M. JOYAL	DATE APPROVED 2023-03-16	SCALE 3/8"=1'-0"	DRAWING NUMBER 2243-E1	REVISION 0
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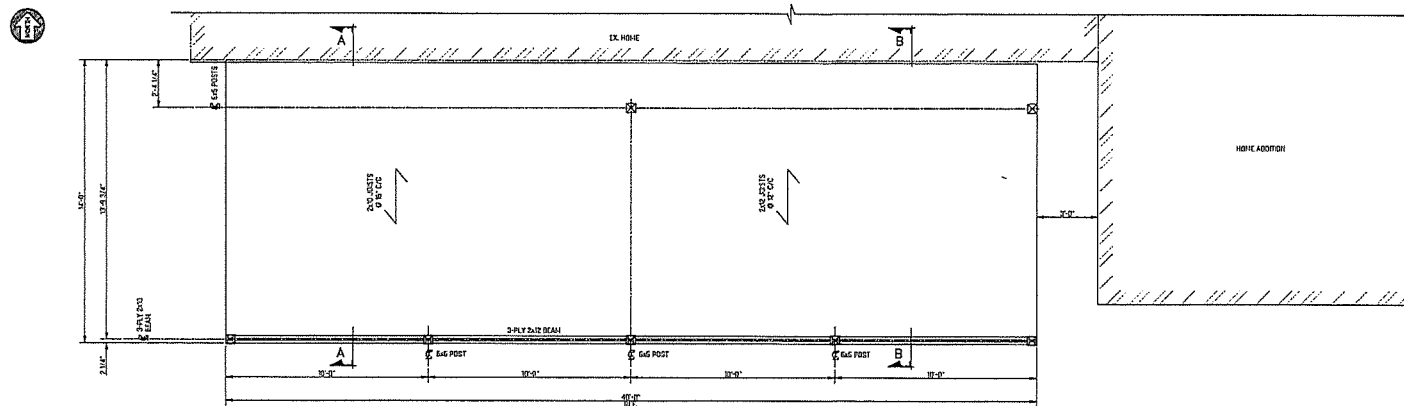
A0102/2023
Sketch 6

FOR GENERAL NOTES & SCHEDULES, SEE DRAWING 2243-A2

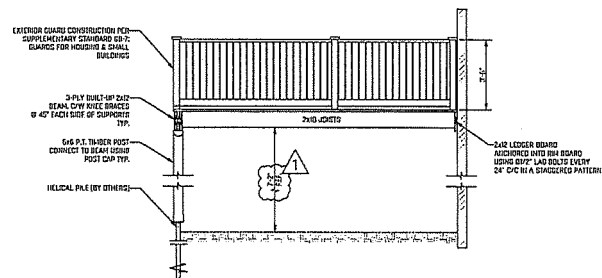


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Sketch 7

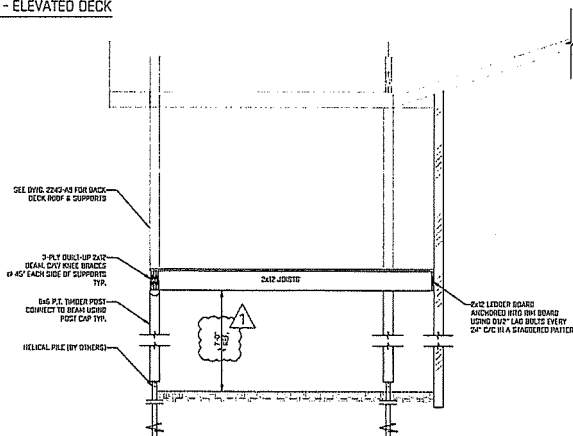
FOR GENERAL NOTES & SCHEDULES, SEE DRAWING 2243-A4



PLAN VIEW - ELEVATED DECK



SECTION A-A



SECTION 8-B



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			0	ISSUED FOR CONSTRUCTION	M.J.	M.J.	2023-03-10
			1	ADDED ELEVATION TO UNDERBITE OF DECK	M.J.	M.J.	2023-04-20
			-				



CLIENT NAME				
ADAM FIELD				
SITE				
63 SIMON LAKE DR., NAUGHTON				
PROJECT DESCRIPTION				
HOUSE ADDITION				
DRAWING DESCRIPTION				
REAR DECK PLAN VIEW & SECTION				
APPROVED BY	DATE APPROVED	SCALE	DRAWING NUMBER	REVISION
M. JOYAL	2023-03-16	3/8"=1'-0"	2243-A2	1

AO102/2023
Sketch 8

