

Tom Davies Square
200 Brady St

Thursday, August 17, 2023

PUBLIC HEARINGS

A0092/2023

PAUL LOISELLE

Ward: 3

PIN 73368 0330 SRO, Survey Plan 53R-21130 Part(s) 1, Lot Part 12, Concession 6, Township of Creighton - Davies, 1445 Vermilion Lake Road, Chelmsford, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) and Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to construct a single detached dwelling and detached garage providing, firstly, a maximum height of 8.38m for the detached garage with loft, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m and secondly, a minimum interior side yard setback of 6.0m from the western lot line for the single detached dwelling and 6.0m from the eastern lot line for the detached garage, where 10.0m is required.

A0093/2023

**CYNTHIA WINN
JASON MCKENZIE**

Ward: 10

PIN 73585 1180, Lot(s) 295 and 296, Subdivision M-95, Lot 6, Concession 3, Township of McKim, 178 Kingsmount Boulevard, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.4 a) and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing firstly, a maximum height of 6.7m, where the maximum height of any accessory building or structure on a residential lot shall be 5.0m and secondly, a minimum corner yard setback of 1.57m, where a minimum 4.5m setback is required.

A0094/2023

SADDIA RAHMANYAR

Ward: 5

PIN 73500 0428, Parcel 631, Part Lot 11, Concession 6, except Parts 1, 2, and 3, on Plan 53R-12429, Parts 1 and 2 on Plan 53R-15421, Part 13 on Plan 53R-17482, Parts 1 and 2 on Plan 53R-17961, subject to LT195464, Township of Blezard, 2884 Main Street, Blezard Valley, [2010-100Z, A (Agricultural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) and Section 4.2.10.3 (c)(i) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage with secondary dwelling unit providing firstly, a maximum height of 10.0m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m and secondly, the secondary dwelling unit having a net floor area of 111.4 sq.m. being 54 percent of the gross floor area of the primary dwelling on the lot, where the maximum allowable net floor area of 45 percent is permitted.

PREVIOUSLY SUBJECT TO MINOR VARIANCE AND CONSENT APPLICATIONS A125/05 (30 JAN 06), B171/05 (30 JAN 06), B172/05 (30 JAN 06), B97/95 (15 MAY 95), AND B98/95 (15 MAY 95)

A0095/2023

**CLAUDIO CORSI
JOANNE SERVANT**

Ward: 4

PIN 73347 1971, Survey Plan 53R-21487 Part(s) 2, Lot Part 10, Concession 1, Township of Rayside, 0 Bishop Road, Azilda, [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.4 b) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a detached garage providing a maximum height of 8.3m, where the maximum height of any building or structure accessory to a residential dwelling shall be 6.5m.

PREVIOUSLY SUBJECT TO CONSENT APPLICATIONS B3/21 (15 FEB 21), B4/21 (15 FEB 21), AND B5/21 (15 FEB 21)

A0096/2023

**MIKE FAUGHT
ROSANNA FAUGHT**

Ward: 10

PIN 73590 0344, Parcel 25043 SEC SES SRO, Lot(s) 64, Subdivision M-487 SRO, Township of McKim, 90 Windsor Crescent, Sudbury, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 4, Section 4.2, subsection 4.2.3, Table 4.1 and subsection 4.2.11 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to install a pool, pool enclosure and pool house providing firstly, a pool enclosure in the front yard, maintaining a front yard setback of 0.0m and consisting of a fence with a maximum height of 2.0m, where fences higher than 1.0 m are not permitted within the required front yard, secondly, an interior side yard setback of 1.0m for a pool house containing pumping equipment, where no pumping equipment shall be located closer than 1.5m to any side lot line and accessory buildings and structures greater than 2.5m in height shall be no closer than 1.2m from the side lot line, and thirdly, a front yard setback of 1.0m for the pool and 2.0m for the pool house, where a minimum front yard setback of 6.0m is required.

A0097/2023

**ISIBHAKHOME AJUEZE
PETER AJUEZE**

Ward: 10

PINs 73581 0205 & 73581 0218, Parcels 2484 & 23825 SEC SES, Lot(s) 10 and Part Lot 11, Subdivision M-38, Lot 2, Concession 3, Township of McKim, 491 Kirkwood Drive, Sudbury, [2010-100Z, R1-3 Low Density Residential One]

For relief from Part 4, Section 4.2, Table 4.1 and Section 4.41, subsection 4.41.2 and Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with attached deck and retaining walls providing, firstly, a minimum interior side yard setback of 0.0m for the western retaining wall and the eastern retaining wall, where accessory structures 2.5m and less in height shall be no closer than 0.6m from the side lot line, secondly, a front yard setback of 0.0m for the western retaining wall, where accessory structures 2.5m and less in height are not permitted to encroach into the required front yard setback of 6.0m, and thirdly, a high water mark setback of 20.0m, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river.

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF JUNE 22, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0068/2023

**DANIEL LEGAULT
MICHELE LEGAULT**

"REVISED"

Ward: 6

PIN 73504 1921, Parcel 26178 SEC SES SRO, Lot(s) 50, Plan M-537, subject to LT118794 and LT157498, Lot 5, Concession 2, Township of Hanmer, 1076 Jeanne D'Arc Street, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a single detached dwelling with attached garage on lands to be severed subject of a Consent Application B0118/2022, providing a minimum rear yard setback of 5.76m, where a minimum 7.5m setback is required.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B118/22 (30 JAN 23)

THIS APPLICATION WAS DEFERRED PRIOR TO THE MEETING OF JULY 19, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0075/2023

**MELISSA ALKHOURY
NICOLA ALKHOURY**

"REVISED"

Ward: 7

PIN 73495 1318, Part Lot 12, Plan M-50, being Part 1, Plan 53R-21061, Lot Part 5, Concession 2, Township of Garson, 170 Birch Street, Garson, [2010-100Z, C2(112) (General Commercial)]

For relief from Part 4, Section 4.15, subsection 4.15.1 (e), Part 7, Section 7.3, Table 7.3 and Part 11, Section 2, subsection 2, paragraph (ggggg), clause (i) (b), and (e) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a four-plex providing firstly, a 1.6m wide landscaped open space adjacent to the full length of the lot line abutting Birch Street, where a 3.0m wide landscaped area adjacent to the full length of the lot line shall be required abutting all public roads having a width greater than 10.0m, secondly, a minimum lot area of 611 sq.m., where the minimum lot area required is 617 sq.m., thirdly, a rear yard setback of 1.6m, where a minimum rear yard setback of 7.5m is permitted, and fourthly, a maximum residential density of 65.6 dwelling units per hectare, where a maximum residential density of 65 dwelling units per hectare is permitted.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B71/17 (10 OCT 17) AND REZONING APPLICATION 751-3/18-01 AND OPA 701-3/18-02

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF JULY 19, 2023 TO AFFORD THE OWNER THE OPPORTUNITY TO ADDRESS THOSE COMMENTS RECEIVED FROM AGENCIES AND DEPARTMENTS.

A0081/2023

**DOMINIQUE LALANDE
JENNIFER EDWARDS**

"REVISED"

Ward: 6

PINs 73504 3172 and 73504 3173, SRO, Part Lot 4, Concession 1, Part 1 on Plan SR-1672, Parts 1, 2 and 3 on Plan 53R-21589, Township of Hanmer, 841 Dominion Drive, Hanmer [2010-100Z, RU (Rural)]

For relief from Part 4, Section 4.2, subsection 4.2.10.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to facilitate the construction of a secondary dwelling unit providing a 45.3m setback from the primary dwelling, where a secondary dwelling unit in an "RU", Rural zone shall be located no more than 30.0m from the primary dwelling.

PREVIOUSLY SUBJECT TO CONSENT APPLICATION B66/2021 (02 AUG 2021)

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, AUGUST 30, 2023**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01
A0092/2023
S.P.P. AREA YES _____ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO _____

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended

Registered Owner(s): Paul Loisel Email: [REDACTED]
Mailing Address: 1-3028 Emerald Cr. Home Phone: [REDACTED]
City: Chelmsford Postal Code: P0M 1L0 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
Mailing Address: _____ Home Phone: _____
City: _____ Postal Code: _____ Business Phone: _____
Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges, or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Lise Gosselin
Mailing Address: 1381 Vermillion Lake Rd
City: Chelmsford Postal Code: P0M 1L0

- 4) Current Official Plan designation: Municipal Reserve Current Zoning By-law designation: RU

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

	Variance To	By-law Requirement	Proposed	Difference
Garage	Height Variance	6.50 m	8.38 m	1.88 m
House	Side lot clearance	10 m	6 m	4 m
Garage	Side lot clearance	10 m	6 m	4 m

- b) Is there an eave encroachment? Yes ☐ No ☒ If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: To build house 6m from side lot and build garage 6m from lot line. The height of the garage.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The height of the garage to accommodate a loft
The house and garage needs to be so i can put my field bed in front of house and garage

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73368-0330 LT Township: Creighton - Davies
 Lot No.: 12 Concession No.: 6 Parcel(s):
 Subdivision Plan No.: 53R21130 Lot: 12 Reference Plan No.: Part(s): 2/1
 Municipal Address or Street(s): 1445 Vermillion Lake Road Chelmsford

- 7) Date of acquisition of subject land.
- June 15/21

- 8) Dimensions of land affected.

Frontage 46.802 (m) Depth 417.843 (m) Area (m²) Width of Street 30.480 (m)

- 9) Particulars of all buildings:

	Existing	Garage Proposed	House
Ground Floor Area:	(m ²)	<u>83.612</u>	<u>111.42</u>
Gross Floor Area:	(m ²)	<u>52.955</u>	<u>111.42</u>
No. of storeys:		<u>1 1/2</u>	<u>1</u>
Width:	(m)	<u>9.144</u>	<u>9.14</u>
Length:	(m)	<u>9.144</u>	<u>12.19</u>
Height:	(m)	<u>8.382</u>	<u>6.09</u>

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Garage Proposed	
Front:	(m)	<u>189</u>	(m) <u>207.3</u>
Rear:	(m)	<u>203.43</u>	(m) <u>185.44</u>
Side:	(m)	<u>6</u>	(m) <u>19.86</u>
Side:	(m)	<u>6</u>	(m) <u>19.86</u>

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system
 Municipally owned & operated sanitary sewage system
 Lake
 Individual Well ☒
 Communal Well
 Individual Septic System ☒
 Communal Septic System
 Pit Privy
 Municipal Sewers/Ditches/Swales

What type of access to the land?

☐ Provincial Highway
☒ Municipal Road
 Maintained Yearly ☒
 Maintained Seasonal
 Right-of-way
 Water
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

Proposed - Vacant Land

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Land Length of time: Vacant

- 14) Proposed use(s) of the subject property.

Same as #13 or, residential

- 15) What is the number of dwelling units on the property?
- currently zero

- 16) If this application is approved, would any existing dwelling units be legalized?

Yes

No ☒

If "yes", how many?

residential both sides

- 17) Existing uses of abutting properties:

residential both sides

A0092/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Paul Loiseille (please print all names), the registered owner(s) of the property described as 53 R21130, LOT 12, CONC. 6
1445 Vermillion Lake Road, Chelmsford
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18 day of July, 2023

Eith Moroz
(witness)

Paul Loiseille
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Paul Loiseille

*I have authority to bind the Corporation

A0092/2023


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

IN We, Paul Corsette (please print all names),
the registered owner(s) or authorized agent of the property described as

1445 Vermillion Lake Road
in the City of Greater Sudbury:


solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 18 day of July, 20 23



Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy Clerk for the City of Greater Sudbury.


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Paul Loiscelle
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: July 18/23 Hearing Date: Aug 17/23 Received By: S. Pinkerton

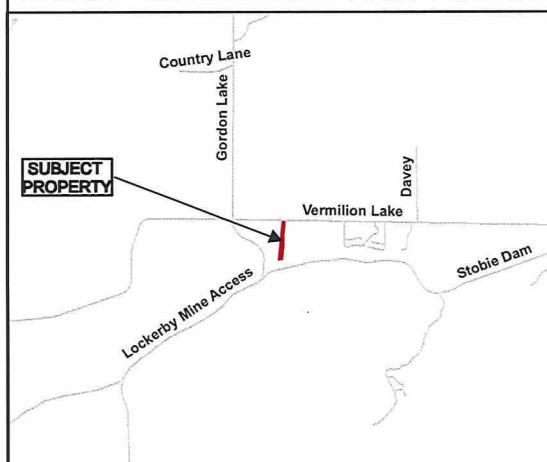
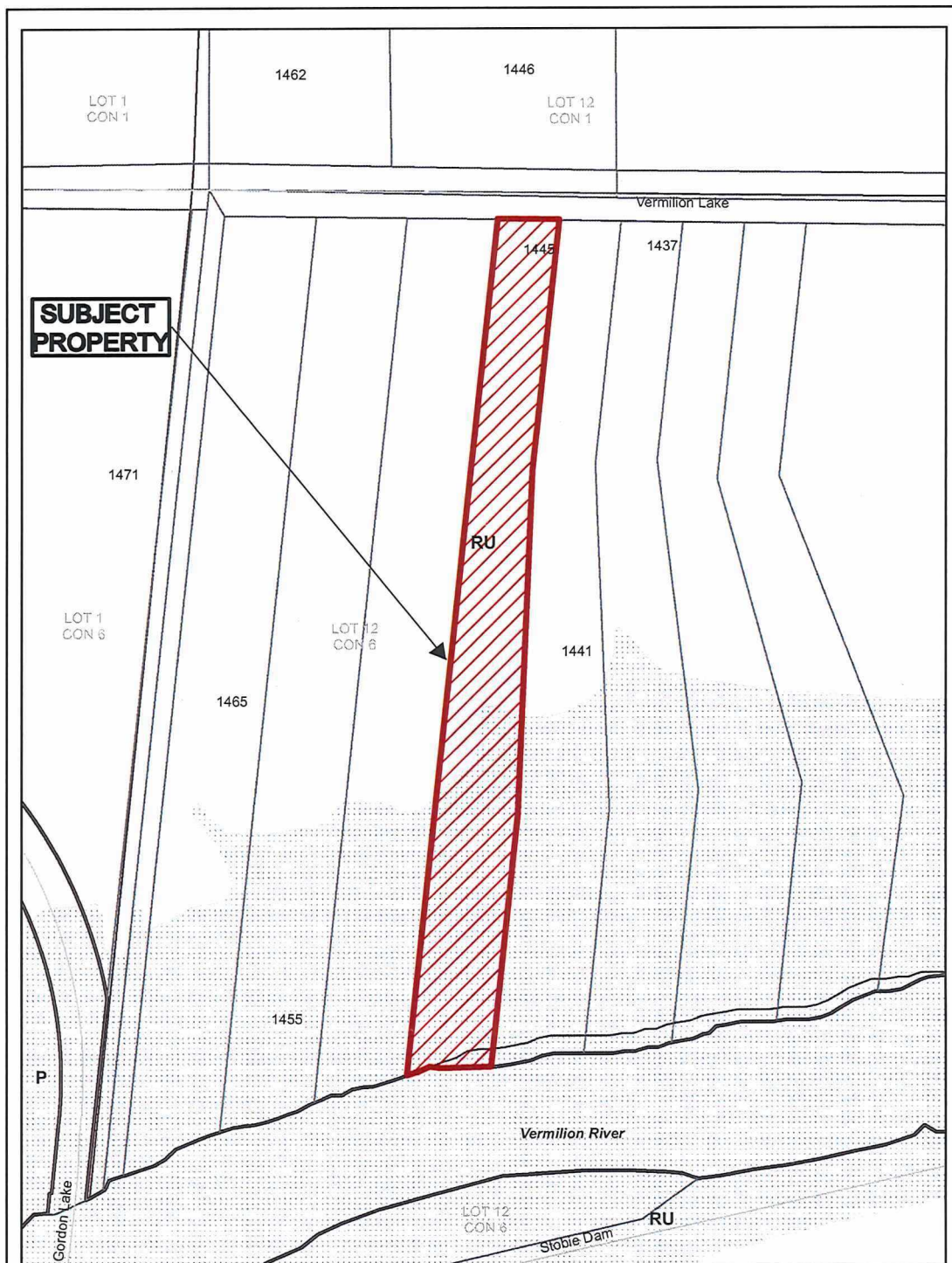
Zoning Designation: BV Resubmission: Yes ☒ No

Previous File Number(s): None

Previous Hearing Date:

Notes:

A0092/2073



Application for Minor Variance or Permission

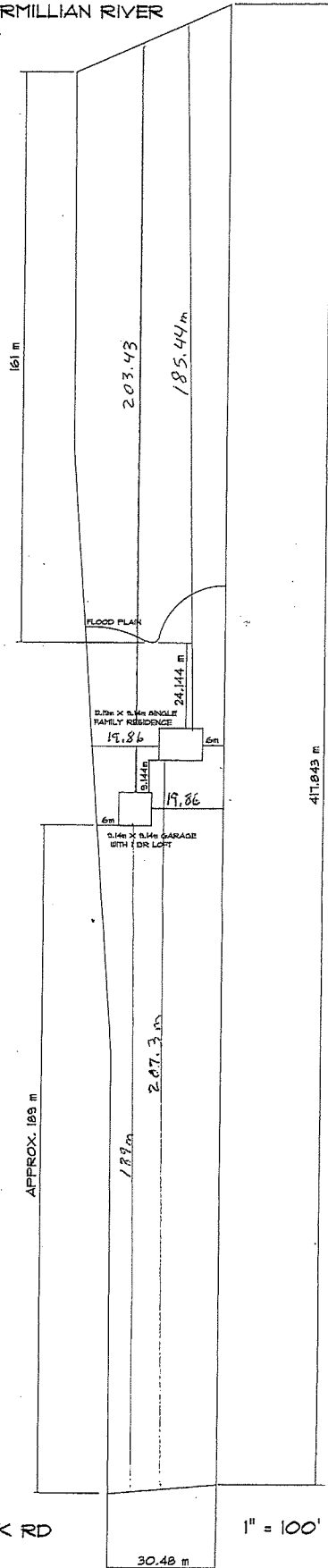


Subject Property being
PIN 73368-0330, SRO,
Part Lot 12, Concession 6,
Part 1 on Plan 53R-21130,
Township of Creighton-Davies,
1445 Vermilion Lake Road, Chelmsford,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0092/2023
Date: 2023 07 27

VERMILLIAN RIVER



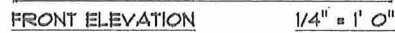
1445 VERMILLIAN LK RD

1" = 100'

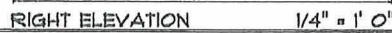
6 METRE SIDELOT CLEARANCE

PART 1 - 53R - 21130
LOT 12 - CONCESSION 86
GEOGRAPHIC TOWNSHIP OF CEIGHTON

A009212023
Sketch 2



NOTE: data on every aspect of sick leave experienced is far beyond the scope of this study. A lot of changes have been made to the law in the past 10 years, and it is not possible to make a complete list of all the changes. For more information, see the Code of Laws, 2000, 2001, and 2002.



STREET VIEW



1/4" = 1' 0"

DISPOSE BLACK WATERS
 1. If you have an automatic sump pump, place the sump pump in the basement of your house. The sump pump will automatically pump the water out of the house. If you have a manual sump pump, you will need to pump the water out of the house manually. If you have a sump pump, you should check it regularly to make sure it is working properly. If you do not have a sump pump, you will need to pump the water out of the house manually. If you have a sump pump, you should check it regularly to make sure it is working properly. If you do not have a sump pump, you will need to pump the water out of the house manually.

A0092/2023
Sketch 3



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Cynthia Winn & Jason Mckenzie Email: [REDACTED]
Mailing Address: 178 Kingsmount Blvd Home Phone: [REDACTED]
Business Phone: [REDACTED]
City: Sudbury Postal Code: P3E 1K9 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: The General Dave Ricard Email: [REDACTED]
Mailing Address: 79 Durham St. Home Phone: [REDACTED]
178 Kingsmount Blvd Sudbury On Business Phone: [REDACTED]
City: Greater Sudbury Postal Code: P3G 1C8 Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: BMO Bank of Montreal Ont lending
Mailing Address: 79 Durham St.
City: Sudbury ON Postal Code: P3E 3M5

- 4) Current Official Plan designation: Living area 1 Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
By-laws 2012-176Z, 2018-180Z corner side yard	4.5m	1.57m	2.93m
4.2.4 Height	5m	6.7m	1.7m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

To construct a 24'x30' detached garage. The subject property abuts an unopened rd along the south west side of property. Resulting in increased side yard requirement of 4.5m. Seeking relief to reduce the side yard requirement of 4.5 meters to 1.57m. The unopened road has a frontage of 40m where typically a road allowance of 60m is required. The unopened rd does not meet this requirements.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Current placement of house on property does not allow construction of a 24' wide garage within the required setbacks. Location of garage has been placed 6 feet away from existing house to allow for a walk way back yard. Rear of property consist of bedrock and would become cost prohibitive to locate in rear yard.

011-11-11-11
A009312023
S.P.P. AREA
YES _____ NO ☒
NDCA REG. AREA
YES _____ NO ☒

2217 South Lane Rd,
Sudbury ON P3G 1C8

See Attached
page for
larger text

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Mckim
 Lot No.: lot 6 Concession No.: Con 6 Parcel(s): PCL 7973 PCL20635
 Subdivision Plan No.: _____ Lot: 295&296 Reference Plan No.: M95 Part(s): _____
 Municipal Address or Street(s): 178 Kingsmount Blvd Sudbury On

- 7) Date of acquisition of subject land.
- September 2021

- 8) Dimensions of land affected.

Frontage 68.9 (m) Depth 36.52 (m) Area 891.9 (m²) Width of Street 10.4 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>144.9</u> (m ²)	<u>Garage 67</u> (m ²)
Gross Floor Area:	<u>253.5</u> (m ²)	<u>Garage 67</u> (m ²)
No. of storeys:	<u>1.5</u>	<u>1</u>
Width:	<u>10.9</u> (m)	<u>7.32</u> (m)
Length:	<u>13.7</u> (m)	<u>9.15</u> (m)
Height:	<u>7.1</u> (m)	<u>6.7</u> (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>8.5</u> (m)	<u>6.53</u> (m)
Rear:	<u>14.23</u> (m)	<u>20.84</u> (m)
Side:	<u>10.73</u> (m)	<u>1.57</u> (m)
Side:	<u>1.27</u> (m)	<u>15.5</u> (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

House built in the 1940's

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): residential dwelling unit Length of time: Approximately 80 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, same as #13

Same as #13

- 15) What is the number of dwelling units on the property?
- 1 dwelling unit

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- residential

A0093/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): none known
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, Jason McKenzie and Cynthia Winn (please print all names), the registered owner(s) of the property described as 178 Kingsmount Blvd Sudbury, ON
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize The General Dave Ricard (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 12th day of July, 20 23

C. Ricard
(witness)

Cynthia Winn
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Cynthia Winn Jason McKenzie

*I have authority to bind the Corporation

A0093/2023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

!We. The General Dave Ricard

____ (please print all names),

the registered owner(s) or authorized agent of the property described as 178 Kingsmount Blvd Sudbury ON

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Noted this 21st day of July . 20 73

Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: Wade
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: July 21/23 Hearing Date: August 17/23 Received By: S. Pinkerton

Zoning Designation: R1-5 Resubmission: ☐ Yes ☒ No

Previous File Number(s): none

Previous Hearing Date:

Notes:

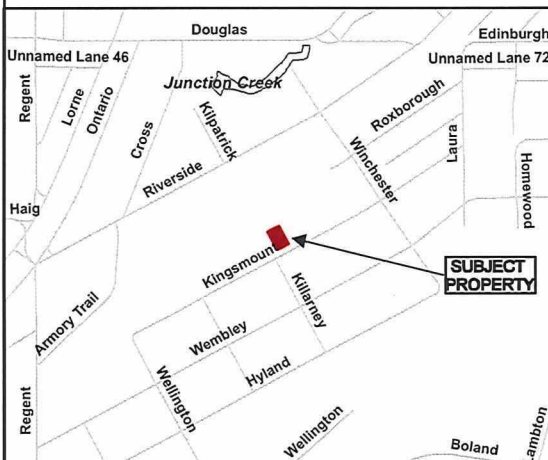
A0093/2023

Answers to questions 5 C&D

C) Description of proposal: To construct a 24'x30' detached garage. The subject property abuts an unopened rd along the south west side of property. Resulting in increased side yard requirement of 4.5m. We are seeking relief to reduce the side yard requirement of 4.5 meters to 1.57m. The unopened road triggering this application has a frontage of 12.2 where typically a road allowance of 20m is required. The unopened rd does not meet general requirements and will likely never be opened. Furthermore, the abutting neighbour house at municipal address 190 Kingsmount Blvd is approximately 3.9m away front the property line, measuring from the dwelling unit to the unopened road boundary. See attached photo.

d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: Current placement of house on property does not allow construction of a 24 wide garage within the required setbacks. Location of garage has been placed 6 feet away from existing house to allow for a walk way back yard. Rear of property consist of bedrock and would become cost prohibitive to locate in rear yard.

A0093/2023



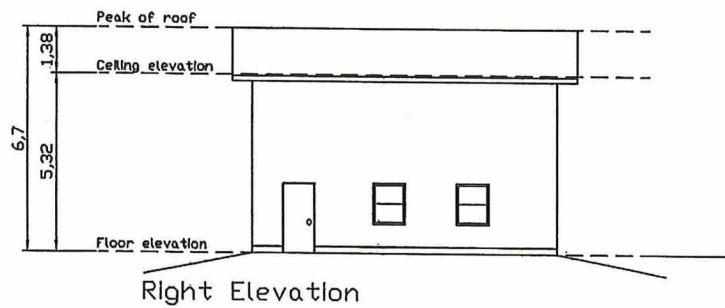
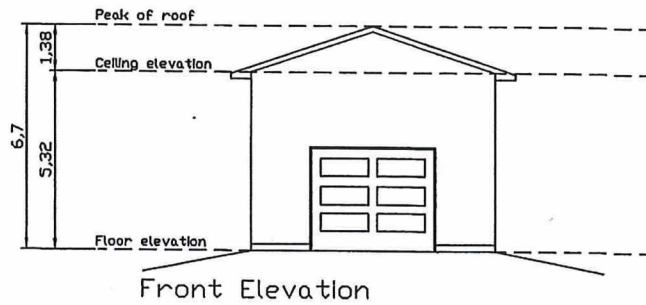
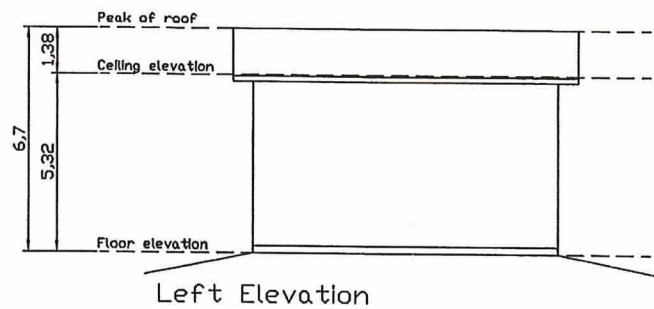
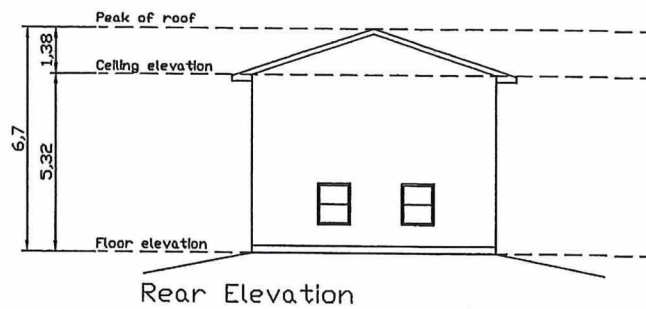
Application for Minor Variance or Permission



Subject Property being
PIN 73585-1180,
Lots 295 and 296, Plan M-95,
Lot 6, Concession 3,
Township of McKim,
178 Kingsmount Blvd, Sudbury,
City of Greater Sudbury

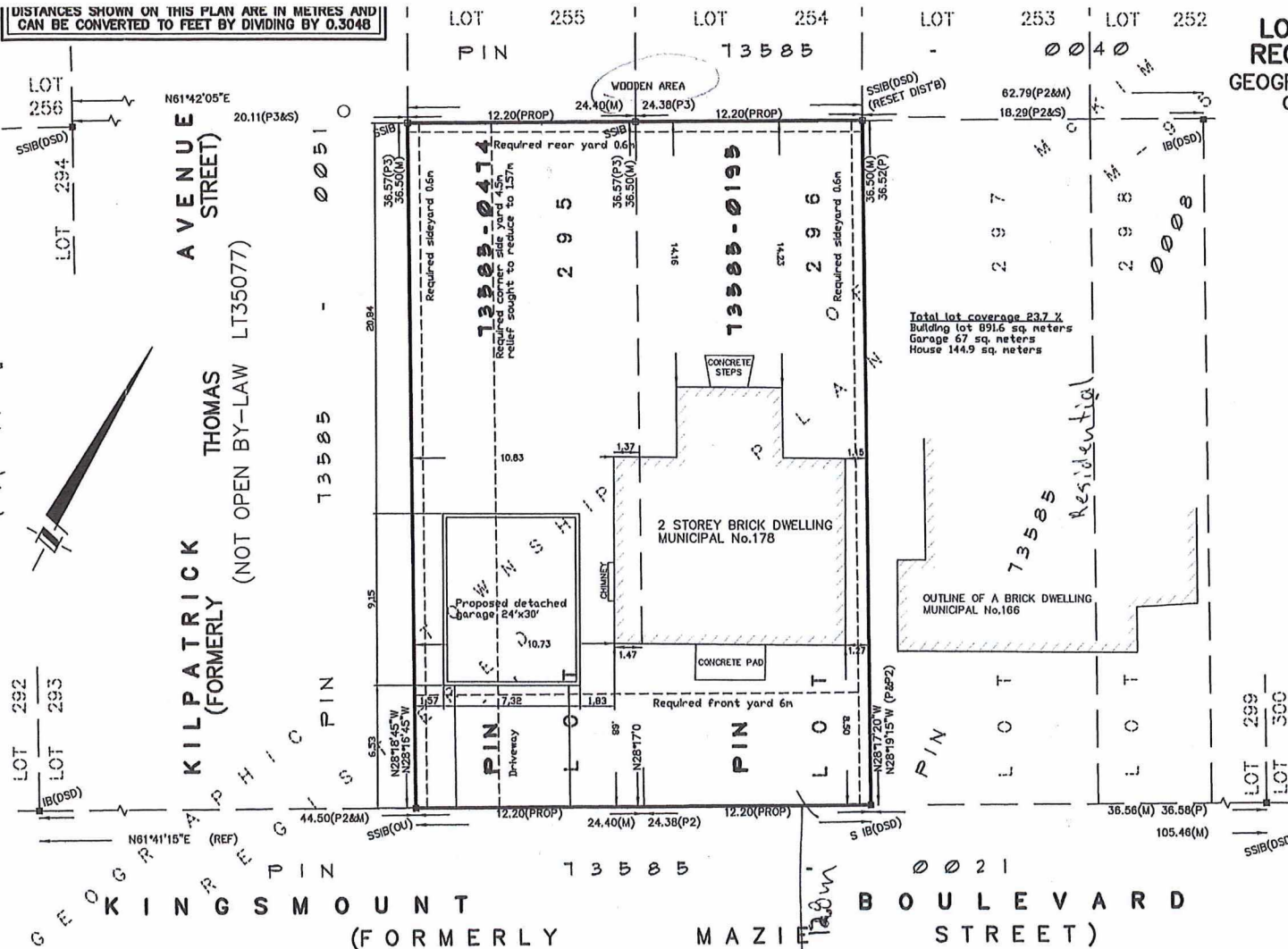
Sketch 1, NTS
NDCA

A0093/2023
Date: 2023 07 27



A0093/2023
Sketch 2

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



**LOT 295 AND LOT 296
REGISTERED PLAN M-95
GEOGRAPHIC TOWNSHIP OF McKIM
CITY OF GREATER SUDBURY
DISTRICT OF SUDBURY**

SCALE 1:150
0 1 2 3 4 5 METRES

D.S. DORLAND LIMITED
ONTARIO LAND SURVEYORS

LEGEND

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT PLANTED
- DENOTES NOT TO SCALE
- DENOTES STANDARD IRON BAR
- DENOTES SHORT STANDARD IRON BAR
- DENOTES IRON BAR
- DENOTES ROCK BAR
- DENOTES ROCK PLUG
- DENOTES DISTURBED MONUMENT
- DENOTES WITNESS MONUMENT
- DENOTES ORIGIN UNKNOWN
- DENOTES PROPERTY IDENTIFICATION NUMBER
- DENOTES LAND TILES
- DENOTES NO EVIDENCE FOUND
- DENOTES MEASURED
- DENOTES REGISTERED
- DENOTES SET
- DENOTES PLAN OF SURVEY FILE No.17472, DATE JANUARY 7, 2018 BY D.S.DORLAND LIMITED, O.L.S.
- DENOTES PLAN OF SURVEY FILE No.10381, DATE JULY 18, 1992 BY D.S.DORLAND LIMITED, O.L.S.
- DENOTES REGISTERED PLAN M-95
- DENOTES CALCULATED FROM PLAN P
- DENOTES D.S. DORLAND LIMITED, O.L.S.
- DENOTES REFERENCE BEARING
- DENOTES BELL POLE
- DENOTES WOOD FENCE

NOTE

ALL BEARINGS AND COORDINATES SHOWN HEREON ARE UTM GRID DERIVED FROM REAL TIME NETWORK OBSERVATIONS, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (61° WEST LONGITUDE), NAD 83 (CSRS) (V04/2002). REAL TIME NETWORK OBSERVATIONS HAVE BEEN CONFIRMED THROUGH VARIOUS MEASUREMENTS TO CITY OF GREATER SUDBURY CONTROL MONUMENTS IN THE AREA OF THE SURVEY.

FOR BEARING COMPARISONS, A ROTATION OF 0°02'45" COUNTER-CLOCKWISE WAS APPLIED TO ASTRONOMIC BEARINGS ON PLAN P2 AND P3.

DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999565.

THIS PLAN IS NOT VALID UNLESS SEALED AND IS PREPARED FOR JASON MCKENZIE AND DYNIA WINN ALL OTHERS CONNECTED WITH THIS TRANSACTION AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF D.S. DORLAND LTD.

© D.S. DORLAND LTD., 2022

D.S. DORLAND LIMITED
ONTARIO LAND SURVEYORS
GEOMATICS PROFESSIONALS

208 LARCH STREET
SUDBURY, ONTARIO, P3B 1H1
WWW.DSDORLANDLIMITED.CA

PREPARED BY: EB
CHECKED: SJZ/AD
DATE: SEPTEMBER 23, 2022

SCALE: 1:150 METRIC
CAD FILE: 18531 SAP.dwg
PS TAB: 3APR



SURVEYOR'S REAL PROPERTY REPORT - PART 2) REPORT SUMMARY

DESCRIPTION OF LAND	PROPERTY FEATURES
THE SUBJECT LANDS ALL LOT 295, REGISTERED PLAN M-95, GEOGRAPHIC TOWNSHIP OF McKIM.	THE HOUSE MUNICIPAL No.178 APPURTENANT TO LOT 295, REGISTERED PLAN M-95 EXTENDS ON TO LOT 295, REGISTERED PLAN M-95 AS SHOWN HEREON.
THE SUBJECT LANDS ALL LOT 296, REGISTERED PLAN M-95, GEOGRAPHIC TOWNSHIP OF McKIM.	
REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY	COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
THERE ARE NO EASEMENTS AND/OR RIGHTS-OF-WAY REGISTERED ON TITLE AS OF AUGUST 11, 2022.	NOT CERTIFIED BY THIS REPORT.
	ADDITIONAL REMARKS
	PH 73585-0474 IS SUBJECT TO THE RESERVATIONS SET OUT IN THE CROWN GRANT FOR THE PARENT PARCEL.
	PH 73585-0195 IS SUBJECT TO THE RESERVATIONS SET OUT IN THE CROWN GRANT FOR THE PARENT PARCEL.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1.) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.

2.) THE SURVEY WAS COMPLETED

FOR COMMENT

NOVEMBER 8, 2022

SUDBURY, ONTARIO

J.H. DORLAND
ONTARIO LAND SURVEYOR

A0093/2023
sketch 3



A0093/2023
sketch 4



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01
A 009412023
S.P.P. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Saddia Rahmanyar	Email: [REDACTED]
Mailing Address: 132-2 Dunsheath Way	Home Phone: [REDACTED]
	Business Phone:
City: Markham	Postal Code: ON
	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Kristin Beites	Email: [REDACTED]
Mailing Address: 151 JOHN STREET	Home Phone: [REDACTED]
2884 Main Street, Blezard Valley	Business Phone:
City: Sudbury, Ontario	Postal Code: P3E 1P5
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Saddia Rahmanyar — HELOC Mortgage with TD Bank
Mailing Address: 45 Overlea Blvd
City: Toronto, ON
Postal Code: M4H 1C3

- 4) Current Official Plan designation: Agricul. Reserve & Living Area 2 Current Zoning By-law designation: Agricultural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Height of accessory structure	6.5m	10m	3.5m
Floor area of Accessory Dwelling Unit	1006 sq ft	1200 sq ft	194 sq ft
	93.4 m ²	111.4 m ²	18 m ²

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Proposing to build a garage with a secondary dwelling unit above.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The garage will be used to store miscellaneous farm vehicles/ equipment, with the potential for boat storage, therefore the height relief is being requested. We are requesting 1200 sq ft for the accessory dwelling unit, to provide 2 bedrooms + den. This represents 54% of the Primary Unit's GFA, rather than the allowable 45%

111.4 m²

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: Bleazard
 Lot No.: 11 Concession No.: 06 Parcel(s): _____
 Subdivision Plan No.: _____ Lot: _____ Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 2884 Main Street, Bleazard Valley

- 7) Date of acquisition of subject land.
- August 31 2020

- 8) Dimensions of land affected.

Frontage 82.1 (m) Depth 1,437 (m) Area 278792 (m²) Width of Street 20m (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>157.8</u> (m ²)	<u>Garage: 297.3</u> (m ²)
Gross Floor Area:	<u>207.8</u> (m ²)	<u>ADU: 111.4</u> (m ²)
No. of storeys:	<u>1 + basement + garage</u>	<u>2 (Garage + ADU)</u>
Width:	<u>9.2</u> (m)	<u>12.2 GARAGE; 9.1 ADU</u> (m)
Length:	<u>17</u> (m)	<u>24.4 GARAGE; 12.2 ADU</u> (m)
Height:	<u>approx 6.5</u> (m)	<u>10m</u> (m)

**Note these dimensions are for the Main Dwelling Unit, please refer to the plan for existing shed dimensions*

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>35</u> (m)	<u>35</u> (m)
Rear:	<u>>1300</u> (m)	<u>>1300</u> (m)
Side:	<u>43.1</u> (m)	<u>21.7</u> (m)
Side:	<u>21.9</u> (m)	<u>48.3</u> (m)

**Note these distances are for the Main Dwelling Unit, please refer to the plan for existing shed distances*

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input checked="" type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

1964

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): farm with one farmhouse Length of time: 60 YEARS

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, _____

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- Agricultural with dwelling units

A0094/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990, c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, SADDIA RAHMANYAR (please print all names), the registered owner(s) of the property described as 2884 Main Street, Blezard Valley

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Kristin Beites (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 21 day of July, 2023

Ali
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Saddia Rahmanyar

*I have authority to bind the Corporation

A0094/2023

I/We, KRISTIN BEITES (please print all names),
the registered owner(s) or authorized agent of the property described as 2889 MAIN STREET, BLEZARD VALLEY

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 21 day of July, 2025

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

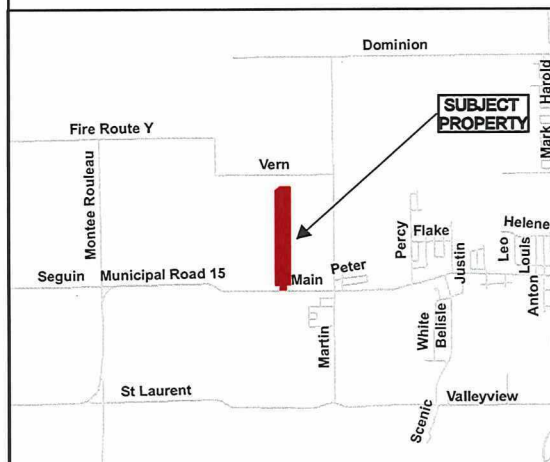
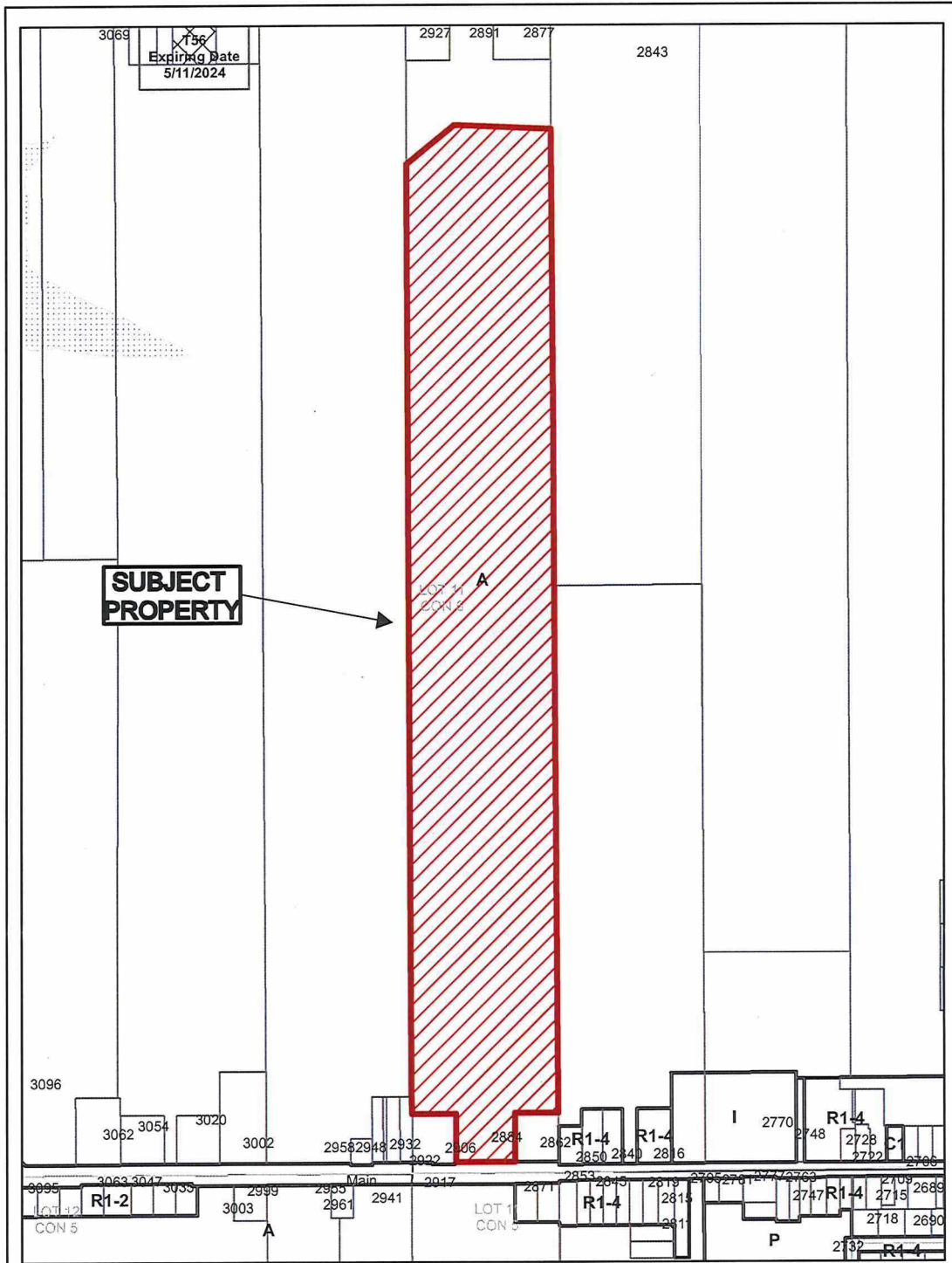
Print Name: KRISTIN BEITES
*I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: July 26/23 Hearing Date: August 17, 2023 Received By: S. Pinkerton
Zoning Designation: A Resubmission: ☐ Yes ☒ No
Previous File Number(s): B171/05 + B172/05 A125/05 B97/95 + B98/95
Previous Hearing Date: (30 Jan 06) (30 Jan 06) (15 May 95)
Notes:

A0094/2023



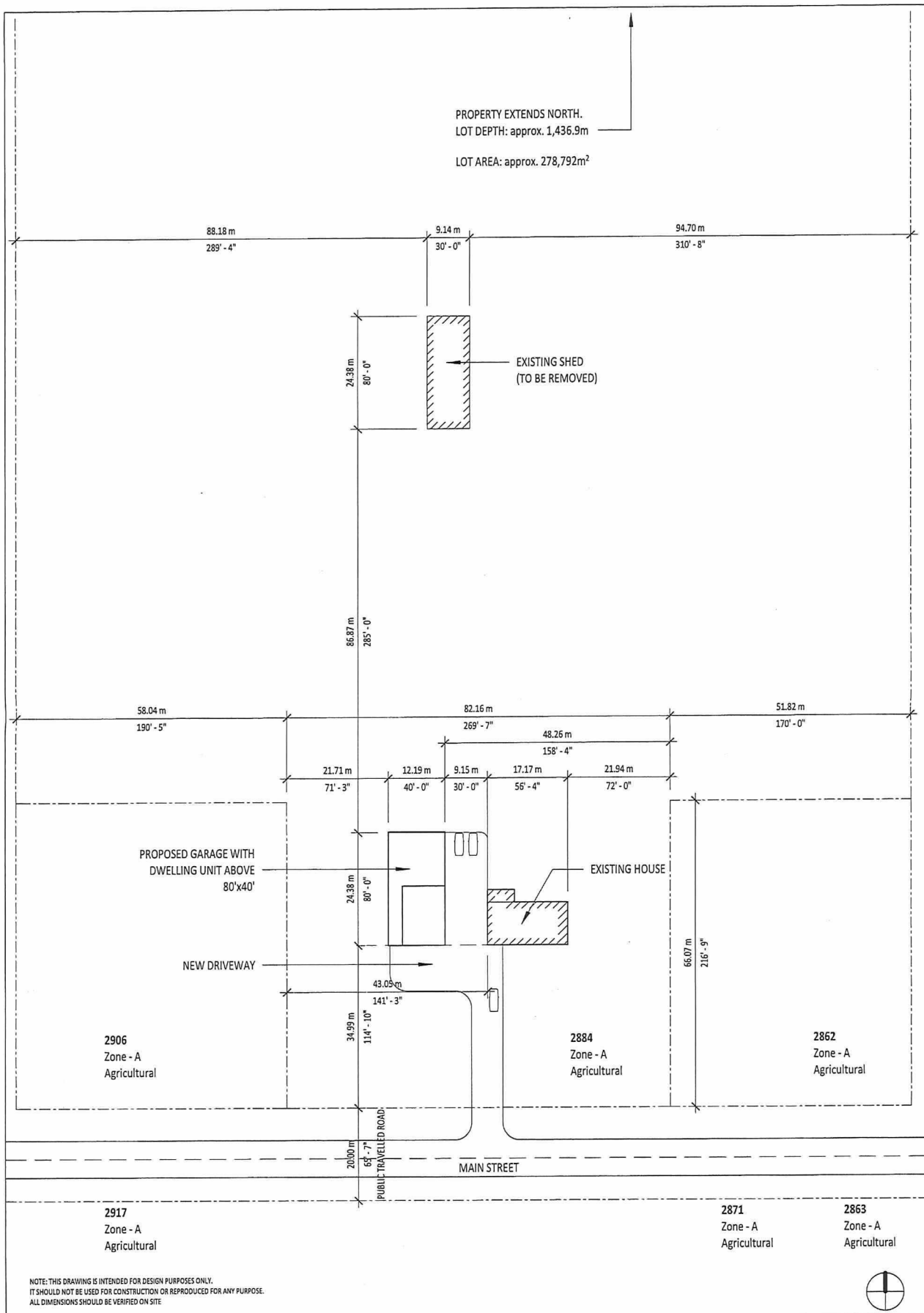
Application for Minor Variance or Permission



Subject Property being
 PIN 73500-0428, Parcel 631,
 Part Lot 11, Concession 6, except
 Parts 1, 2, and 3, on Plan 53R-12429, Parts 1 and 2 on
 Plan 53R-15421, Part 13 on Plan 53R-17482,
 Parts 1 and 2 on Plan 53R-17961, subject to LT195464,
 Township of Blezard, 2884 Main Street, Blezard Valley,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

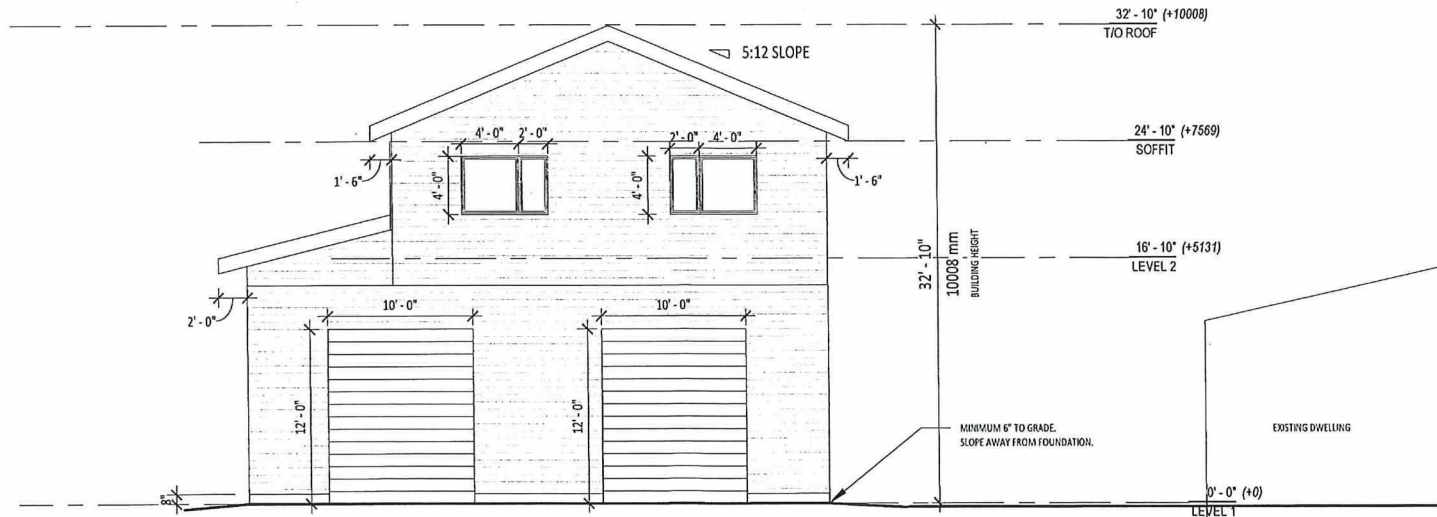
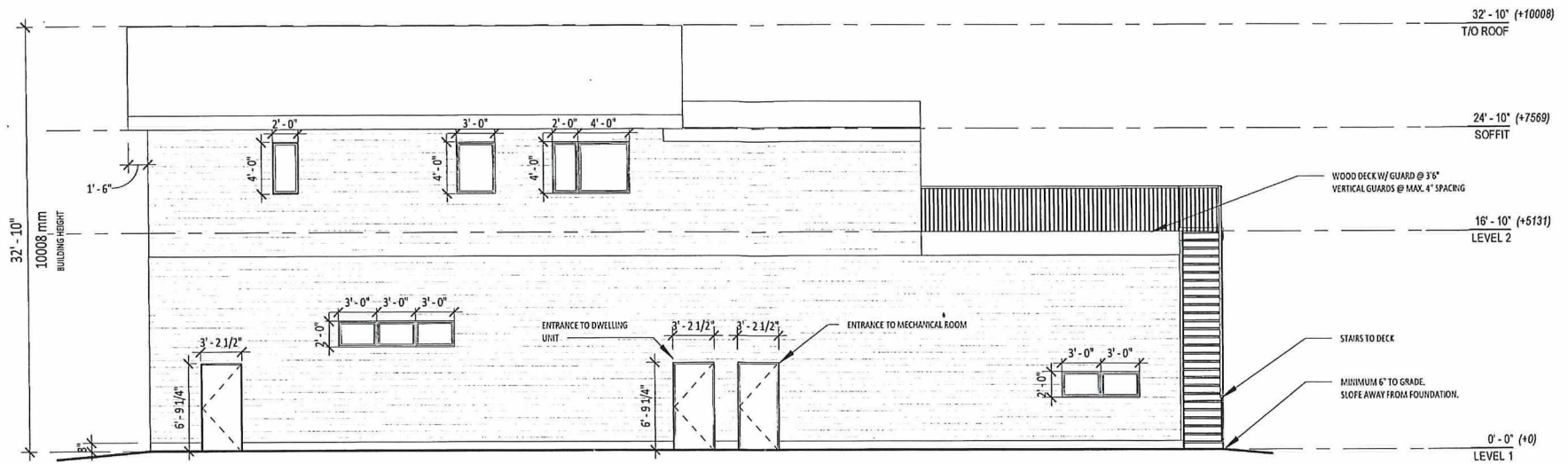
A0094/2023
 Date: 2023 07 31



A0094/2023
Sketch 2

MAIN STREET GARAGE
2884 MAIN STREET
BLEZARD VALLEY, ONTARIO
P0M 1E0

VARIANCE OVERALL SITE PLAN



NOTE: THIS DRAWING IS INTENDED FOR DESIGN PURPOSES ONLY.
IT SHOULD NOT BE USED FOR CONSTRUCTION OR REPRODUCED FOR ANY
PURPOSE. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE

MAIN STREET GARAGE

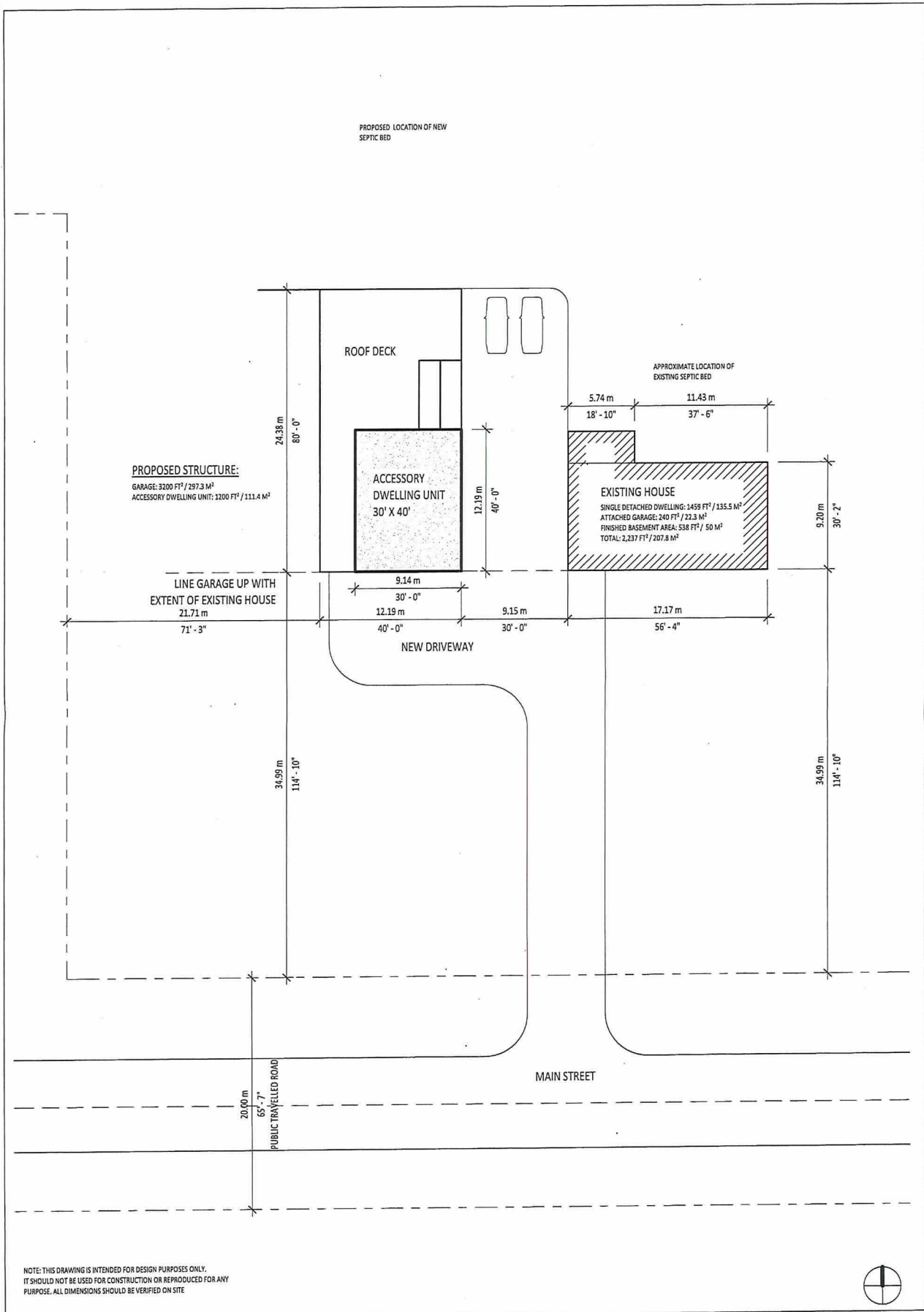
studio kimiis

V3_VARIANCE - EAST & SOUTH ELEVATION

1 : 100

07/10/23

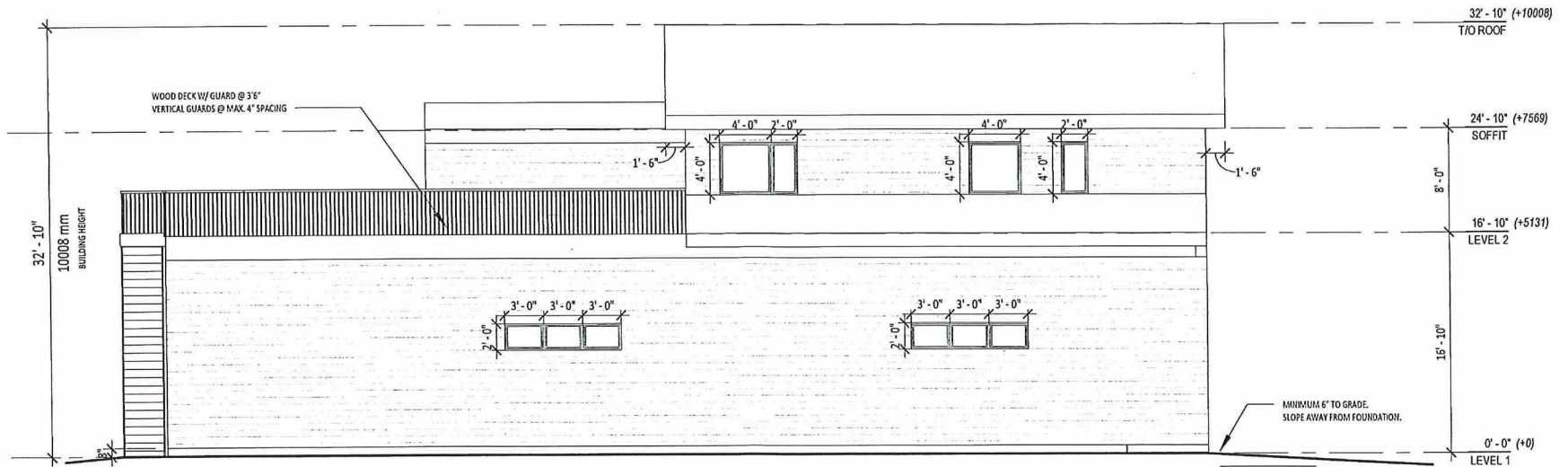
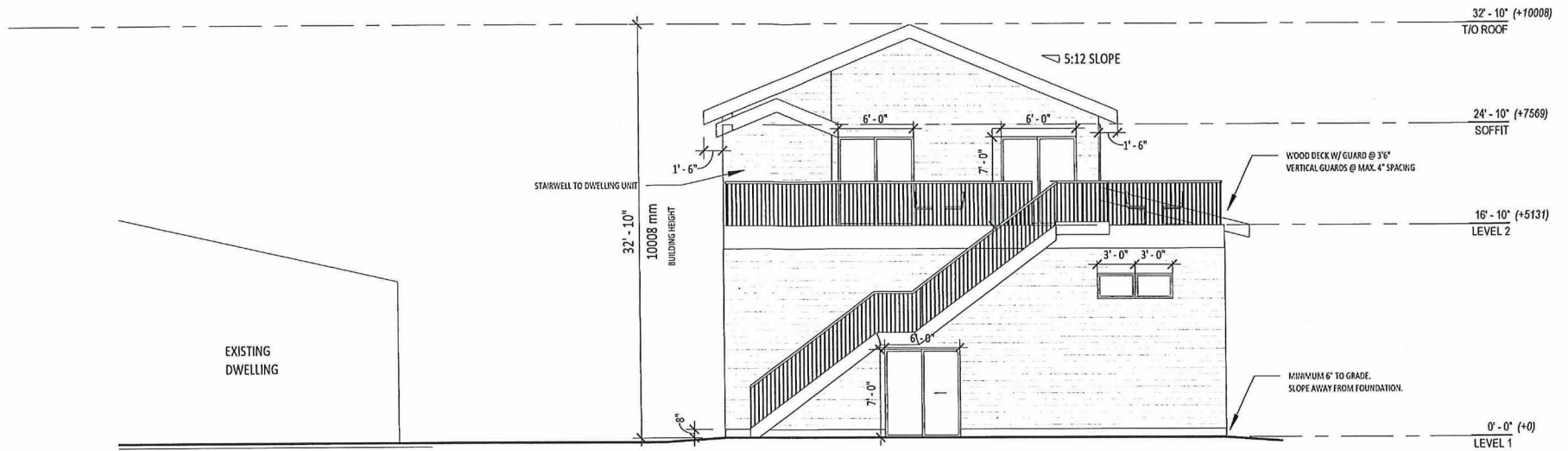
A0094/2023
sketch 3



Approved 2023
 sketch 4

MAIN STREET GARAGE
 2884 MAIN STREET
 BLEZARD VALLEY, ONTARIO
 POM 1E0

VARIANCE SITE PLAN - ZOOM IN



NOTE: THIS DRAWING IS INTENDED FOR DESIGN PURPOSES ONLY.
IT SHOULD NOT BE USED FOR CONSTRUCTION OR REPRODUCED FOR ANY
PURPOSE. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE

MAIN STREET GARAGE

studio kimiis

V4_VARIANCE - NORTH & WEST ELEVATION

1 : 100

07/10/23

A0094/2023
Sketch 5



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01
A 0095/2023
S.P.P. AREA YES ___ NO <input checked="" type="checkbox"/>
NDCA REG. AREA YES <input checked="" type="checkbox"/> NO ___

\$320

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Claudio Corri, Joanne Servant Email: [REDACTED]
Mailing Address: 800 Notre Dame St W Home Phone: [REDACTED]
City: Azilda Postal Code: P0M1B0 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A Email: [REDACTED]
Mailing Address: [REDACTED] Home Phone: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED] Business Phone: [REDACTED]
Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Rural II Current Zoning By-law designation: RU

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Maximum Garage Height	6.5 m	8.3 m	1.8 m
H.2.4(b) Height			

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Increase maximum garage height to 8.3 m

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: To accommodate internal architectural details of garage roof structure.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73347-0188 Township: Rayside
 Lot No.: 10 Concession No.: 1 Parcel(s):
 Subdivision Plan No.: Lot: Reference Plan No.: 53R2178 Part(s): 2
 Municipal Address or Street(s): Bishop Road

- 7) Date of acquisition of subject land.

June 6, 2023

- 8) Dimensions of land affected.

Frontage 101.35 (m) Depth 1283.3 (m) Area 130062 m² Width of Street (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	<u>111.5</u> (m ²)	<u>135</u> (m ²)
Gross Floor Area:	<u>111.5</u> (m ²)	<u>72</u> (m ²)
No. of storeys:	<u>1.5</u>	<u>2</u>
Width:	<u>9.14</u> (m)	<u>12.2</u> (m)
Length:	<u>12.2</u> (m)	<u>12.2</u> (m)
Height:	<u>8.3</u> (m)	<u>6.2</u> (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>55.5</u> (m)	<u>38m</u> (m)
Rear:	<u>1170</u> (m)	<u>1200</u> (m)
Side:	<u>50</u> (m)	<u>41.5</u> (m)
Side:	<u>41.5</u> (m)	<u>50</u> (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☐
 Lake ☐
 Individual Well ☒
 Communal Well ☐
 Individual Septic System ☒
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

August 2023

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant

Length of time: —

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, Single Family Dwelling

- 15) What is the number of dwelling units on the property?

1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? —

- 17) Existing uses of abutting properties:

Vacant

ACC095/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Claudio Corsi and Joanne Servant (please print all names), the registered owner(s) of the property described as 0 Bishop
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize _____ (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24 day of July, 20 23

(witness) [Signature]

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Claudio Corsi Joanne Servant

*I have authority to bind the Corporation

A0095/2023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION


I/We, Claudio Corsi and Joanne Servant (please print all names),
the registered owner(s) or authorized agent of the property described as:

O Bishop

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 2d day of July, 2023


Commissioner of Oaths

Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

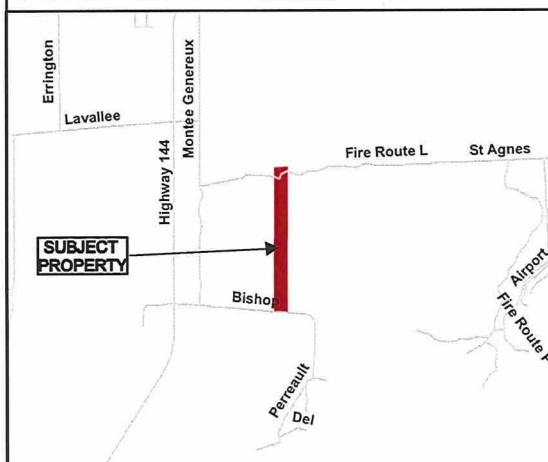
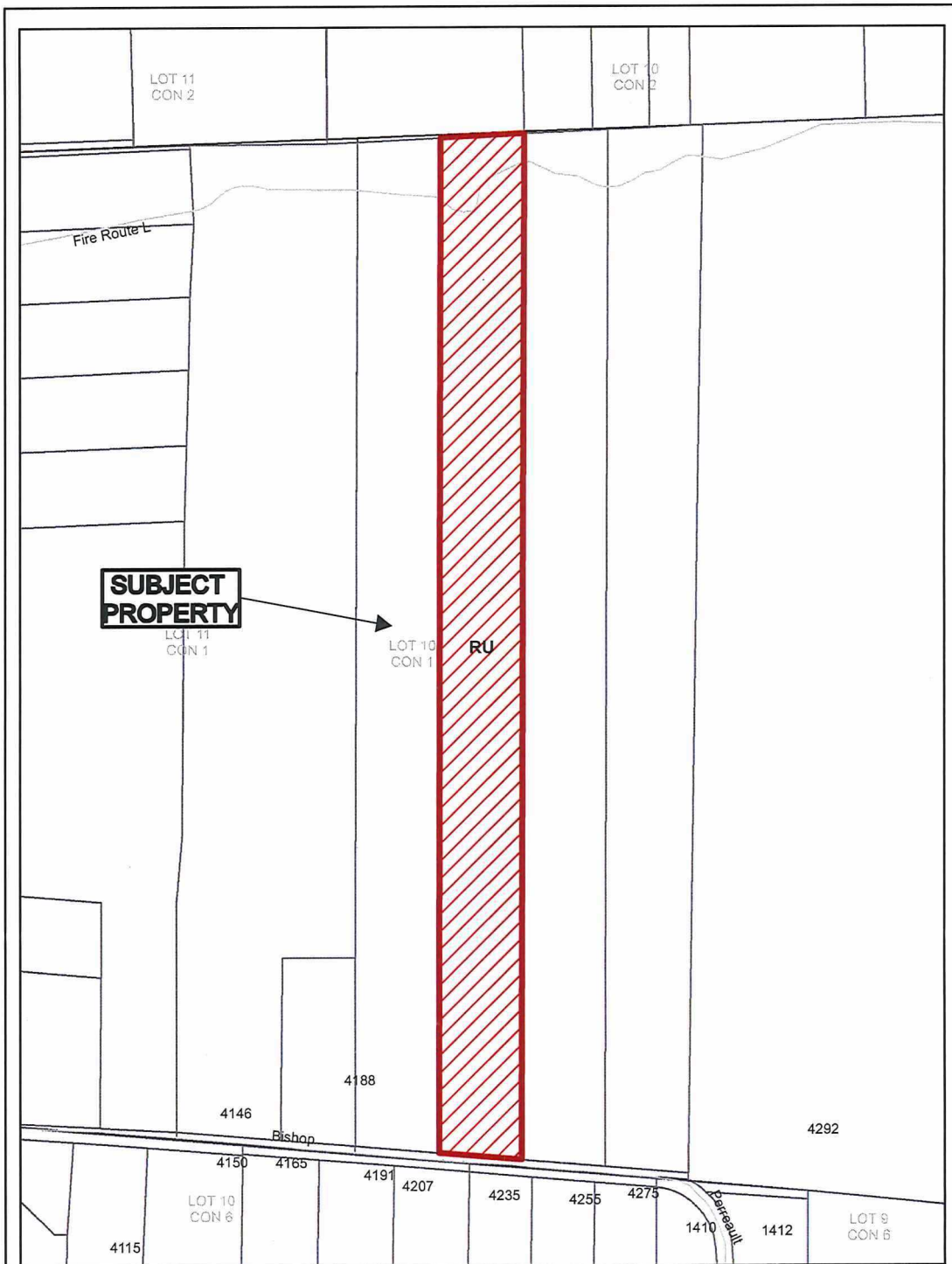
Print Name: Charles Corsi Janne Servat
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: July 24/23 Hearing Date: Aug 17/23 Received By: S. Pinkerton
Zoning Designation: RV Resubmission: ☐ Yes ☒ No
Previous File Number(s): B3/21 to B5/21
Previous Hearing Date: (15 Feb 21)
Notes:

A009517023



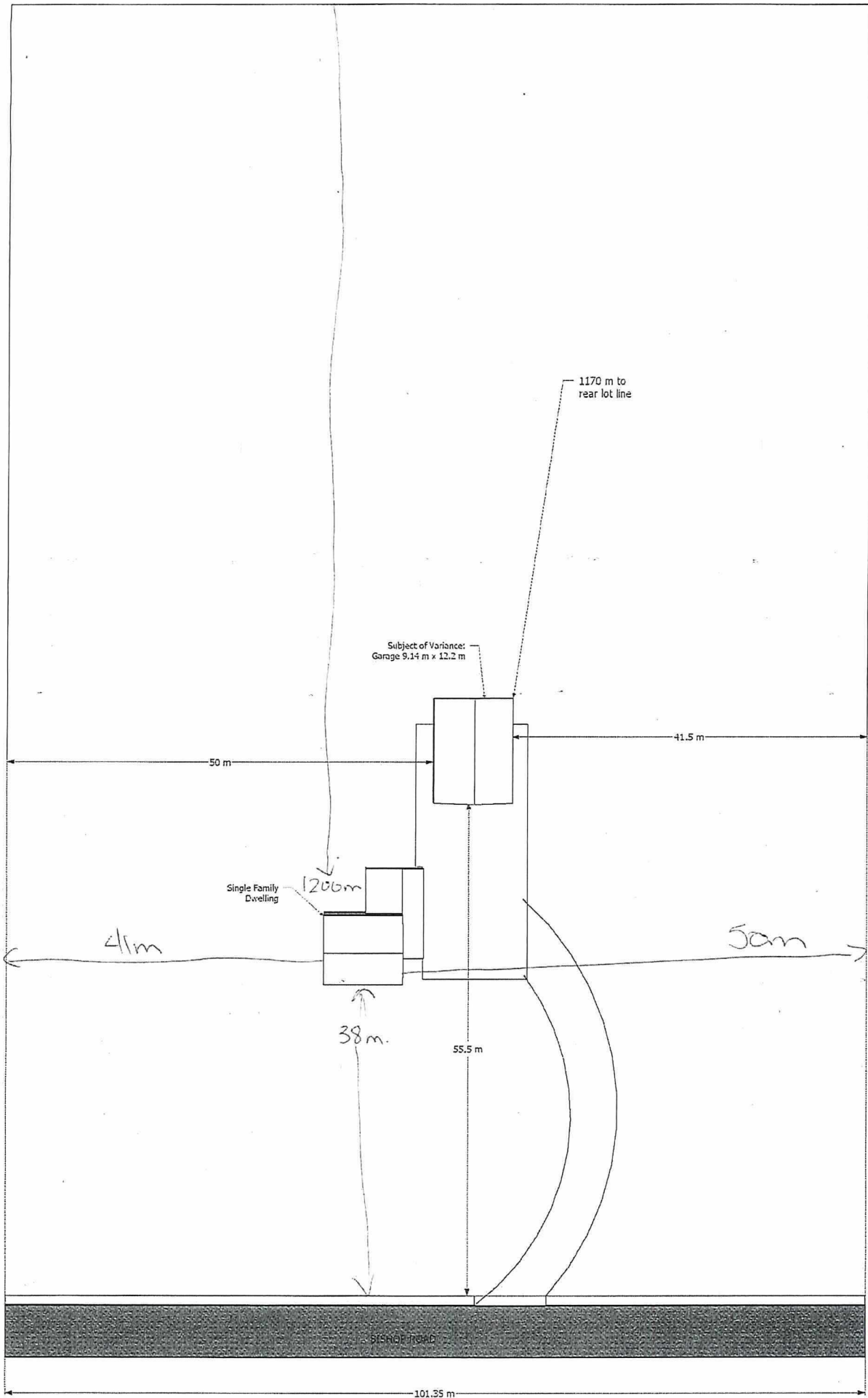
Application for Minor Variance or Permission



Subject Property being
PIN 73347-1971,
Part Lot 10, Concession 1,
Part 2 on Plan 53R-21487,
Township of Rayside,
0 Bishop Road, Azilda,
City of Greater Sudbury

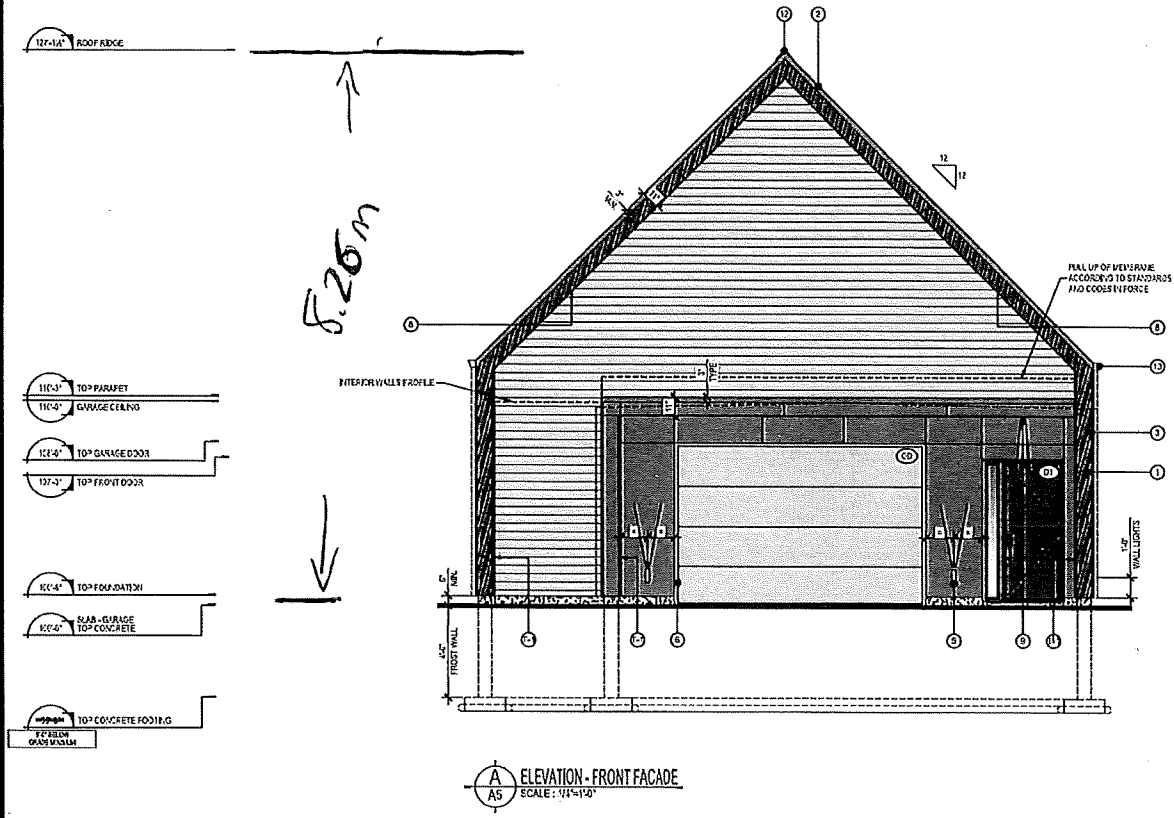
Sketch 1, NTS
NDCA

A0095/2023
Date: 2023 07 31



A0095/2023
Sketch 2

NOTES:
1. ALL DIMENSIONS TO BE MAINTAINED
2. SEE DETAIL 2.10



ELEVATION - FRONT FACADE
SCALE: 1/4" = 1'-0"

EXTERNAL CLADDING LEGEND

	CLADDING - TYPE M-1 METAL CLADDING COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARD
	CLADDING - TYPE T-1 TIMBER CLADDING COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARD
	CLADDING/PANEL - TYPE P-1 METAL PANEL COLOR TO BE CHOSEN BY CLIENT INSTALLATION ACCORDING TO MANUFACTURER'S STANDARD
	FASCIA REFER TO NOTE ①
	CONCRETE FOUNDATION

MATERIAL SPECIFICATIONS

① FASCIA STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING. COLOR MATCHES M-1 CLADDING	⑥ GARAGE DOOR FRAME PAINTED STEEL, BLACK CO. OR TO MATCH DOORS & WINDOWS	⑩ EDGE VENTILATION. COLOUR TO MATCH ROOFING COLOUR MATERIAL IS, SEE DETAIL 2.10
② FLASHING STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BACKING. COLOUR TO MATCH CLADDING	⑦ NA	⑪ GUTTER AND DOWNPIPE COLOUR TO MATCH ADJACENT CLADDING
③ INSULATED STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT BUCKLING. COLOUR TO MATCH CLADDING	⑧ ROOFING TYPE T-1 CLADDING	⑫ SLOPE DRAIN CLIENT TO SPECIFY MODEL, FRAME REQUIRED ANCHORS
④ DECKING VENTILATION LAYOUT PREPARED ALUMINUM VENTILATION LAYOUT. COLOUR TO MATCH ADJACENT CLADDING REFER TO VENTILATION CALCULATIONS IF REQUIRED FOR ROOF VENTILATION	⑨ DOWNPIPE TO BE CHOSEN BY CLIENT	
⑤ WALL LIGHT TO BE CHOSEN BY CLIENT	⑩ NA	



TALO

Tout commence
par un plan.



ON NE MESURE PAS SUR LES PLANS.
L'ENTREPRENEUR DOIT VÉRIFIER TOUTES LES MESURES SUR LE CHANTIER ET
RAPPORTEUR AU DESIGNER TOUTES CORRECTIONS OU VARIATIONS PAR
RAPPORT À CES PLANS.

TOUTS LES PLANS DOIVENT ÊTRE APPROUVÉS PAR LE LOCATAIRE,
PROPRIÉTAIRE ET/OU L'INGÉNIEUR DE L'IMMEUBLE.

LE DESIGNER NE SE PAS RESPONSABLE DES INSTALLATIONS ÉLECTRIQUES,
MECANIQUES, TÉLÉPHONIQUES, ETC.

L'ENTREPRENEUR NE SE PAS RESPONSABLE DES PERMIS REQUIS POUR LES
TRAVAUX DÉCRIS SUR CES PLANS.

CONTACT
TALO PLANS
247 rue St-Vallier Est, suite 300
Québec, Qc G1K 3P4

teleplans.ca

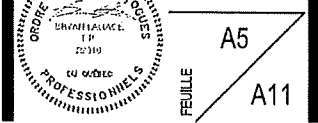
CLIENT
CLAUDIO CORSI
65 LAURIER ST EAST PO BOX 1039
AZILDA, ON, P0M 1B0

PROJET
T-1475, N-202
GARAGE CUSTOMIZED

DESSIN
ELEVATION - FRONT FACADE

DATE MAY 2023 CONÇU PAR S.G & B.L.
ÉCHELLE: 1/4" = 1'-0"

DESSINÉ PAR ADO



A0095/2023
Sketch 3

CONSULTER
LE MANUEL D'INSTALLATION ET LE MANUEL D'ENTRETIEN
POUR PLUS D'INFORMATIONS

TALO

Tout commence
par un plan.



ONTAINE VESURE PAS SUR LES PLANS.
L'ENTREPRENEUR DOIT VÉRIFIER TOUTES LES MESURES SUR LE CHANTIER ET
SUPPORTER AU DESIGNER TOUTES ERREURS, OUBLES OU VARIATIONS PAS
RAPPORTE À CES PLANS.

TOUTS LES PLANS DOIVENT ÊTRE APPROUVÉS PAR LE LOCATAIRE,
PROPRIÉTAIRE ET/OU LE GÉNÉRAL DE L'IMMEUBLE.

LE DESIGNER N'EST PAS RESPONSABLE DES INSTALLATIONS ÉLECTRIQUES,
GÉOMÉTRIE, TÉLÉPHONES, ETC.

L'ENTREPRENEUR DOIT VÉRIFIER TOUTS LES FERRAILLÉS POUR LES
TRAVAUX GÉNÉRAUX SUR CES PLANS.

CONTACT
TALO PLANS
247 rue St-Vallier Est, suite 300
Québec, Qc G1K 3P4

taloplans.ca

CLIENT
CLAUDIO CORSI
65 LAURIER ST EAST PO BOX 1039
AZILDA, ON, P0M 1B0

PROJET
T-1475, N-202
GARAGE CUSTOMIZED

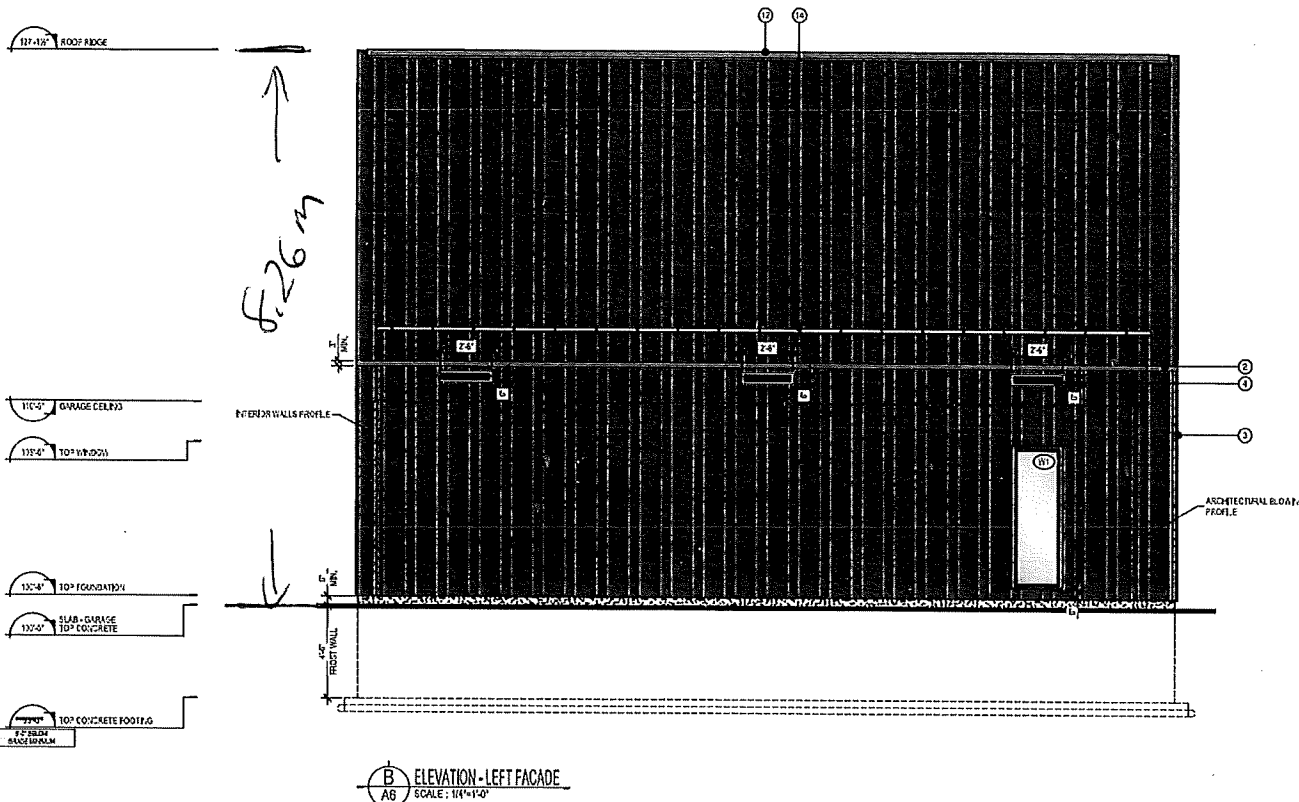
DESSIN
ELEVATION - LEFT FACADE

DATE MAY 2023 CONÇU PAR
SG&BL
ÉCHELLE: 1/4" = 1'-0"

DESSINÉ PAR
AGB



A6
FEUILLE
A11



B
A6
ELEVATION - LEFT FACADE
SCALE: 1/4" = 1'-0"

EXTERNAL CLADDING LEGEND

CLADDING - TYPE M-1
METAL CLADDING
COLOR TO BE CHOSEN BY CLIENT
INSTALLATION ACCORDING TO MANUFACTURER'S
STANDARDS

CLADDING - TYPE T-1
TINER CLADDING
COLOR TO BE CHOSEN BY CLIENT
INSTALLATION ACCORDING TO MANUFACTURER'S
STANDARDS

CLADDING/PANEL - TYPE P-1
METAL PANEL
COLOR TO BE CHOSEN BY CLIENT
INSTALLATION ACCORDING TO MANUFACTURER'S
STANDARDS

FASCIA
REFER TO NOTE ①

CONCRETE FOUNDATION

MATERIAL SPECIFICATIONS

① FASCIA STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT
BUCKLING, COLOR TO MATCH TYPE M-1 CLADDING

② FLASHING STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO
PREVENT BUCKLING, COLOR TO MATCH CLADDING

③ FLOORING STEEL OR ALUMINUM WITH SUFFICIENT GAUGE TO PREVENT
BUCKLING, COLOR TO MATCH CLADDING

④ DECORATIVE VENTILATION LOUVER
PREPARED PLANT VENTILATION LOUVER, COLOR TO MATCH
ADJACENT CLADDING
REFER TO VENTILATION CALCULATIONS IF REQUIRED FOR ROOF
VENTILATION

⑤ WALL LIGHT
TO BE CHOSEN BY CLIENT

⑥ GARAGE DOOR FRAME PRE-PANDED STEEL,
BLACK COLOR TO MATCH DOORS & WINDOWS

⑦ N/A

⑧ SOFFIT LIKE T-1 CLADDING

⑨ DOWNPIPER
TO BE CHOSEN BY CLIENT

⑩ N/A

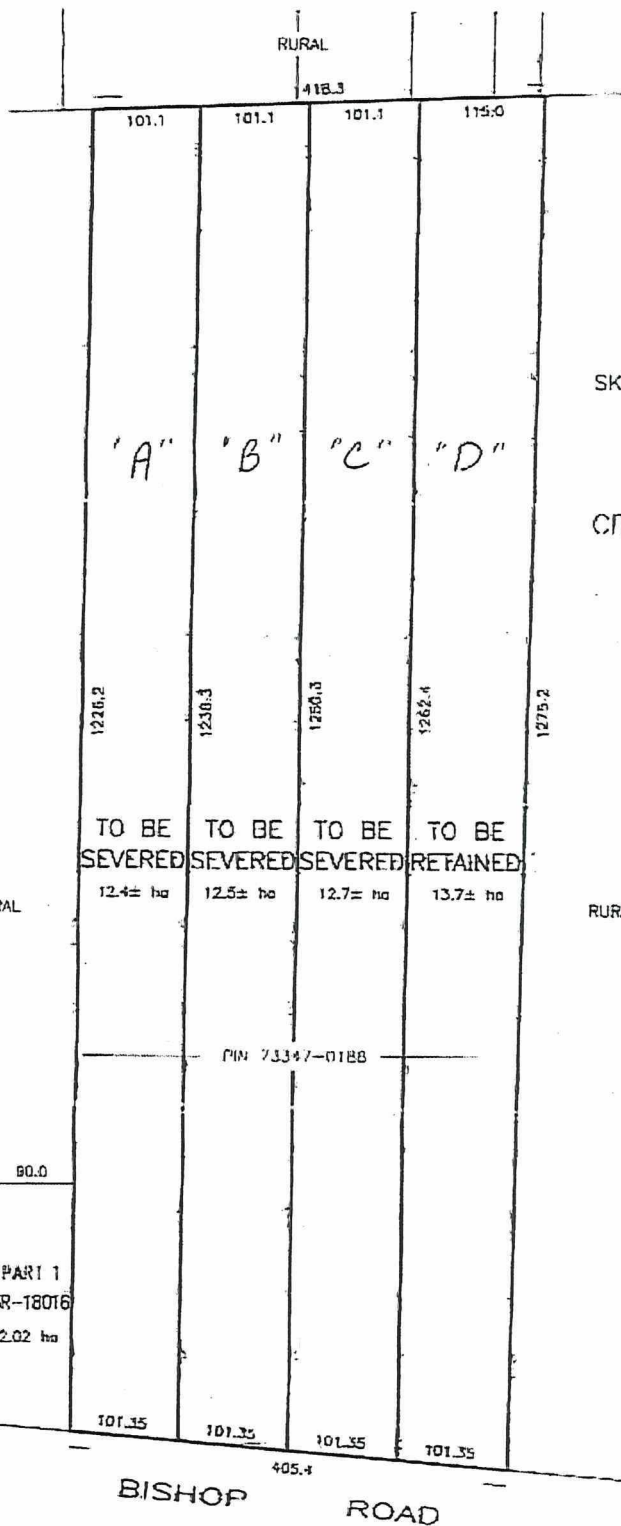
⑪ N/A

⑫ EDGE VENTILATION, COLOR TO MATCH ROOFING COVERING
MATERIALITY, SEE DETAIL 2.410

⑬ CUTTER AND DOWNPIPE
COLOR TO MATCH ADJACENT CLADDING

⑭ SNOW GUARD
CLIENT TO SPECIFY MODEL, FRAME REQUIRED AND BRACES

A0095/2023
Sketch 4



SKETCH OF PROPOSED SEVERENCE
 PART OF LOT 10
 CONCESSION 1
 TOWNSHIP OF RAYSIDE
 CITY OF GREATER SUDBURY
 SCALE : 1 : 4000 METRIC

B0003/2021 to
 B0005/2021
 sketch 2

A0095/2023
 sketch 5



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01
A 0096/2023
S.P.P. AREA YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
NDCA REG. AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

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PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Mico Faught Rosanna Faught Email: [REDACTED]
Mailing Address: 90 WINDSOR CROS Home Phone: [REDACTED]
City: Sudbury Postal Code: P3B 1Z7 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: _____ Email: _____
Mailing Address: _____ Home Phone: _____
City: _____ Postal Code: _____ Business Phone: _____
Fax Phone: _____

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: _____
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: LIVING AREA "1" Current Zoning By-law designation: R1-5

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Setback POOL (6m)	2010-1002	1.0m	5.0m
Fence (POOL FENCE) (2m)	6m	0	6.0m
POOL SHED (SIDE)	1.2m	1.0m	0.2m
POOL SHED (FRONT)	6.0m	0.0m	5.0m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: POOL & SHED & FENCE NOW INSTALL

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

POOL WILL NOT FIT ANYWHERE ON THE LOT. USED A FENCE ON THE LOT HAS A POOL SHED IS TO HOUSE PUMP & FILTER.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73590-0344 Township: McKim
 Lot No.: 6 Concession No.: 2 Parcel(s):
 Subdivision Plan No.: 17487 Lot: 64 Reference Plan No.: Part(s):
 Municipal Address or Street(s): 90 WINDSOR CRESSM

- 7) Date of acquisition of subject land.

Nov-2022

- 8) Dimensions of land affected.

Frontage 51.82 (m) Depth 34.14 (m) Area 700 (m²) Width of Street (m)

- 9) Particulars of all buildings:

	Existing (House)	Proposed	SEEP
Ground Floor Area:	<u>132.78 (m²)</u>	<u>32</u>	<u>17.8 (m²)</u>
Gross Floor Area:	<u>267.56 (m²)</u>		
No. of storeys:	<u>1</u>		
Width:	<u>12.2 (m)</u>	<u>5.5 m</u>	<u>3.65 (m)</u>
Length:	<u>13.7 (m)</u>	<u>6.026 m</u>	<u>4.87 (m)</u>
Height:	<u>3.0 (m)</u>		<u>3.0 (m)</u>

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	<u>9.75 (m)</u>	<u>1.0 (PROU) 1.0 (SEED) (m)</u>
Rear:		
Side:	<u>3.35 (m)</u>	<u>4.6 1.0 (m)</u>
Side:	<u>1.2 (m)</u>	

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

- What type of access to the land?

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

House (1960)

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): RESIDENTIAL Length of time: 1960

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or,

- 15) What is the number of dwelling units on the property?

ONE (1)

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties:

RESIDENTIAL

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If 'Yes', indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Rosanna Fayon, Mike Fayon (please print all names), the registered owner(s) of the property described as 90 WINDSOR CREST

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize N/A. (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24th day of July, 2023

[Signature]
(witness)

Rosanna Fayon
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

A009612023

PART B: OWNER OR AUTHORIZED AGENT DECLARATIONI/We, Mike Faught (please print all names),the registered owner(s) or authorized agent of the property described as 10 Windsor Cres. Sudbury ON

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 24th day of July, 2023

Commissioner of Oaths

Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)Print Name: Mike Faught

*I have authority to bind the Corporation

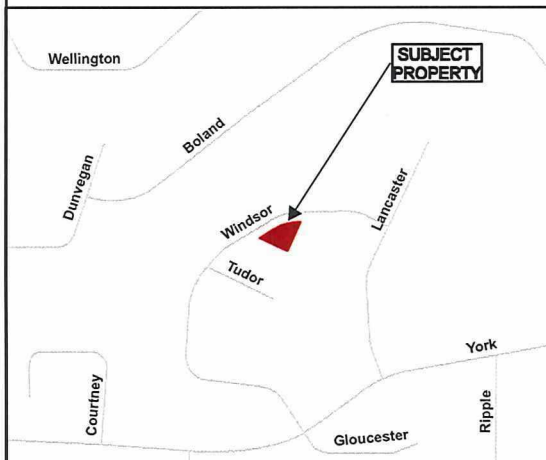
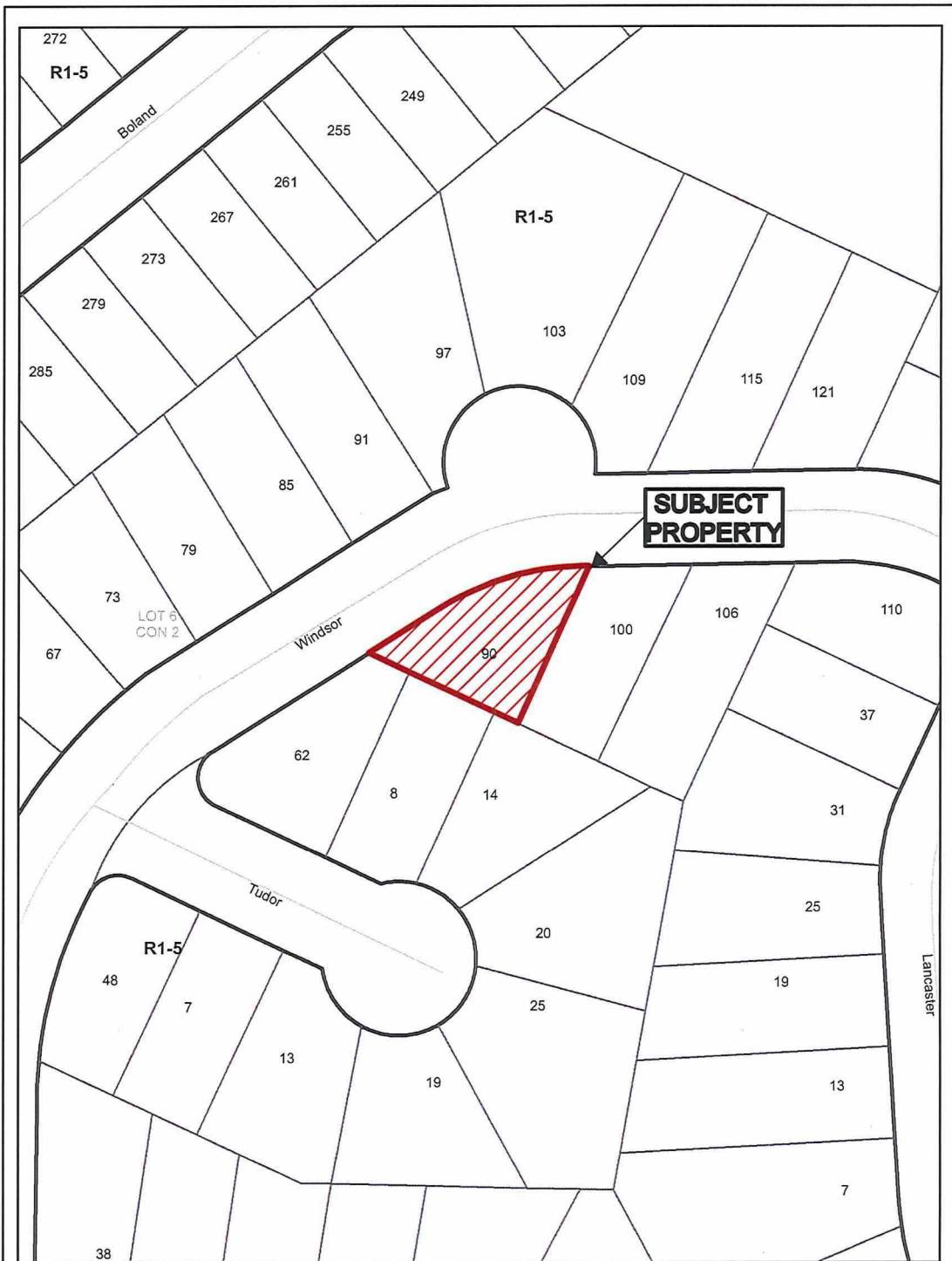
* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLYDate of Receipt: July 24/23 Hearing Date: August 17, 2023 Received By: S. PinkertonZoning Designation: R1-5 Resubmission: ☐ Yes ☒ NoPrevious File Number(s): None

Previous Hearing Date:

Notes:

A009612023



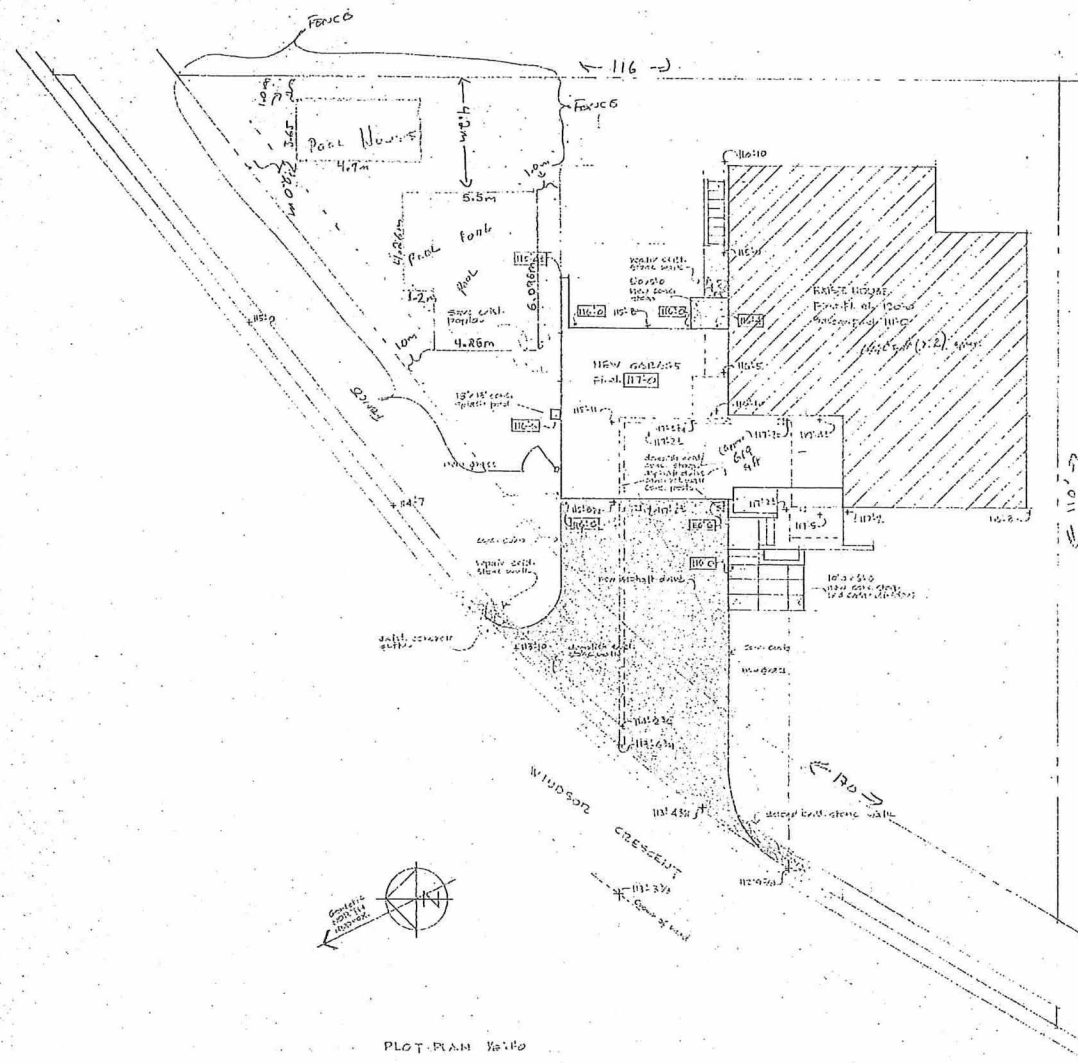
Application for Minor Variance or Permission



Subject Property being
PIN 73590-0344,
Parcel 25043 SEC SES SRO,
Lot 64, Plan M-487, SRO,
Township of McKim,
90 Windsor Crescent, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
NDCA, IPZ 3

A0096/2023
Date: 2023 07 31



115°C	expt. elevations
115°C	new elevations

all exterior concrete clean
4.4304 - verify GCR for all windows
for exterior walls

REVISIONS:



REF

OWNEND STEFURA BALESHTA & PFISTER
ARCHITECTS 255 LARCH STREET SUDBURY

CONTRACTOR MUST VERIFY ALL DIMENSIONS & REPORT ANY INCONSISTENCIES TO THE ARCHITECT. EFFORTS INVOLVING WITH THE WORK

2000

○
TAIL ON :

NO. 1

DETAIL
INVEST NO.

ADDITIONAL COST 44.3
ON 5/14/83 REGISTER

PPIN
C-2222 BY
DRAWN BY

DEAN

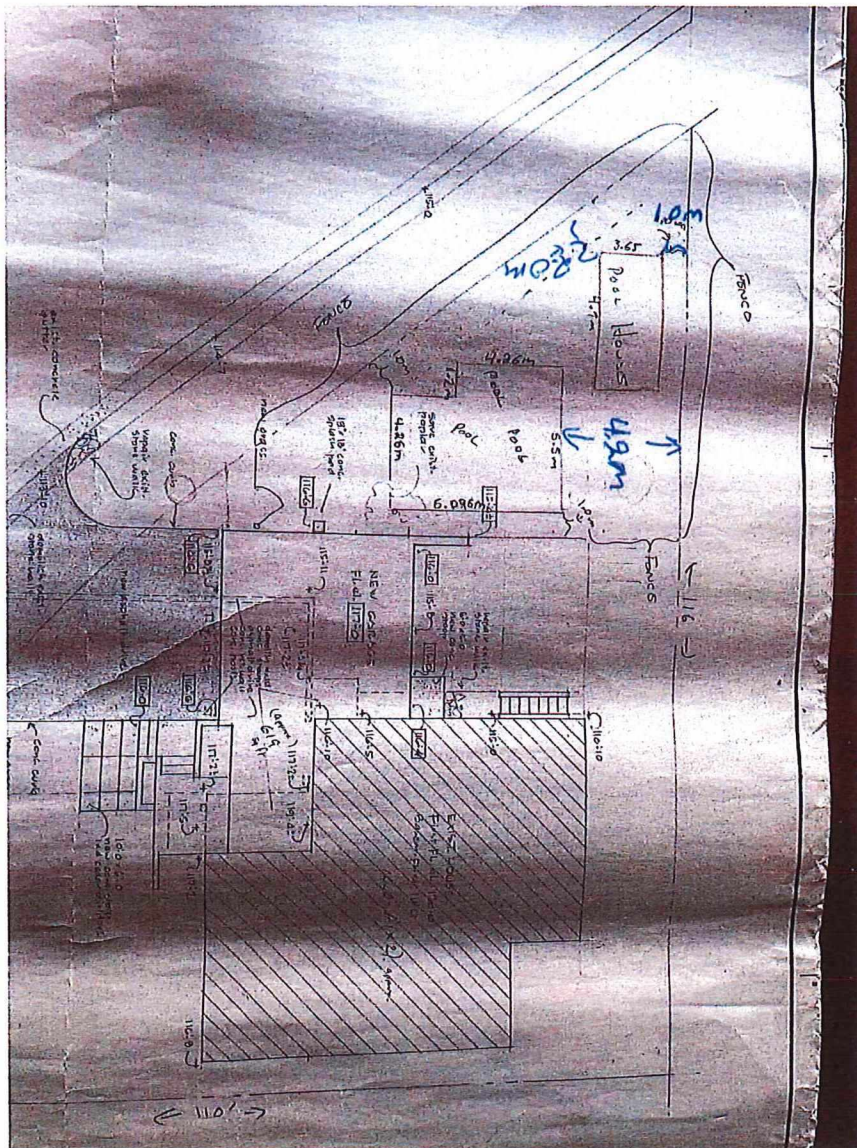
6120

ch

A009612023
Sketch 2

7/24/23, 12:49 PM

IMG-0762.jpg



<https://mail.google.com/mail/u/0/#inbox/FMfcqzGtwMZxcGJcKjXlQTzvlqmcaJfn?projector=1>

 $\frac{1}{2}$

'A0096/2023
sketch 3



A009612023
Sketch 4



A0096/2023
Sketch 5



A0096/2023
sketch 6



A009612023
sketch 7



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): AJUEZE, ISIBHAKHOME; AJUEZE, PETER Email: [REDACTED]
Mailing Address: 1128 Ramsey Lake Road Home Phone: [REDACTED]
City: Sudbury Postal Code: P3E 6J7 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: TULLOCH Engineering Email: [REDACTED]
Mailing Address: 1942 Regent Street Unit L Home Phone: [REDACTED]
City: Sudbury Postal Code: P3E 5V5 Business Phone: [REDACTED]
Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: No longer any mortgages etc... 27/07
Mailing Address: Not applicable
City: Not applicable Postal Code: Not applicable.

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Reduced Shoreline Setback	30.0m	20.0m	10.0m
To permit a 2.5m tall retaining wall (W) w/ a reduced interior side yard setback	0.6m	0.0m	0.6m
To permit a 2.5m tall retaining wall (W) in the front yard	Not permitted	0.0m	Permitted (0.0m)
To permit a 1.5m tall retaining wall (E) w/ a reduced interior side yard setback	0.6m	0.0m	0.6m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: (m)

- c) Description of Proposal:

Development of single detached dwelling with attached deck, and accessory sauna with attached deck.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Site conditions require the installation of a specialized septic system with an area of 375m² (13m x 28.85m). Given the required septic design and OBC setbacks to the dwelling and lot lines, the dwelling must be in the proposed location. Dwelling has been reduced in size and reconfigured to be outside of the shoreline buffer area. Retaining walls required to facilitate the development of the lot.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 735810205 & 735810218		Township: MCKIM	
Lot No.:	Concession No.:	Parcel(s): 23825	
Subdivision Plan No.: M38	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s): 491 Kirkwood Drive, Sudbury, ON			

- 7) Date of acquisition of subject land. 31/03/2015

- 8) Dimensions of land affected.

Frontage 22.85 (m) Depth 102.48 (m) Area 2138.0m (m²) Width of Street 20 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	No existing structures (m ²)	See Schedule A (m ²)
Gross Floor Area:	"" (m ²)	"" (m ²)
No. of storeys:	""	""
Width:	"" (m)	"" (m)
Length:	"" (m)	"" (m)
Height:	"" (m)	"" (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	No existing structures (m)	See Schedule A (m)
Rear:	"" (m)	"" (m)
Side:	"" (m)	"" (m)
Side:	"" (m)	"" (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

☐ Municipally owned & operated piped water system
☐ Municipally owned & operated sanitary sewage system
☒ Lake
☐ Individual Well
☐ Communal Well
☒ Individual Septic System
☐ Communal Septic System
☐ Pit Privy
☐ Municipal Sewers/Ditches/Swales

What type of access to the land?

☐ Provincial Highway
☐ Municipal Road
☒ Maintained Yearly
☐ Maintained Seasonal
☐ Right-of-way
☐ Water
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

N/A

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Vacant Length of time: 1.5 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or,

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many?

- 17) Existing uses of abutting properties: Residential (Single Detached Dwellings)

A0097/2023

APPLICATION FOR MINOR VARIANCE**PAGE 3 OF 4**

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☒ Yes ☒ No 06 27/07

If "yes", indicate application number(s) and status of application(s): N/A

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☒ Yes ☐ No

If "Yes", indicate application number(s) and status of application(s): LT 10 and 11 PL M3

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. SPR App Attached

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, AJUEZE, ISIBHAKHOME; AJUEZE, PETER (please print all names), the registered owner(s) of the property described as PCL 23825 SEC SES; LT 11 PL M38 MCKIM EXCEPT THE WEST 1/2 OF LOT; GREATER SUDBURY & PCL 2484 SEC SES; LT 10 PL M38 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize TULLOCH Engineering (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 25th day of JULY, 2023

DocuSigned by:
Nick McFadyen 7/25/2023
(witness)

DocuSigned by:
Isibhakhome Ajueze 7/25/2023
signature of Owner(s) or Signing Officer or Authorized Agent
Print Name: X Isibhakhome Ajueze X Peter Ajueze

*I have authority to bind the Corporation

00097/2023

I/We, TULLOCH Engineering (please print all names),
the registered owner(s) or authorized agent of the property described as

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 25 day of July, 2023

Commissioner of Oaths

Paula Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: KATHRYN KARN
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: July 25/23 Hearing Date: August 17, 2023 Received By: S. Pinkerton
Zoning Designation: R-3 Resubmission: ☐ Yes ☒ No
Previous File Number(s): None
Previous Hearing Date:

Notes:

A0097/2023

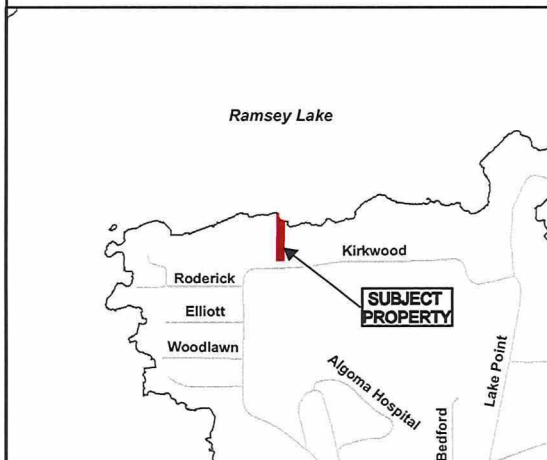
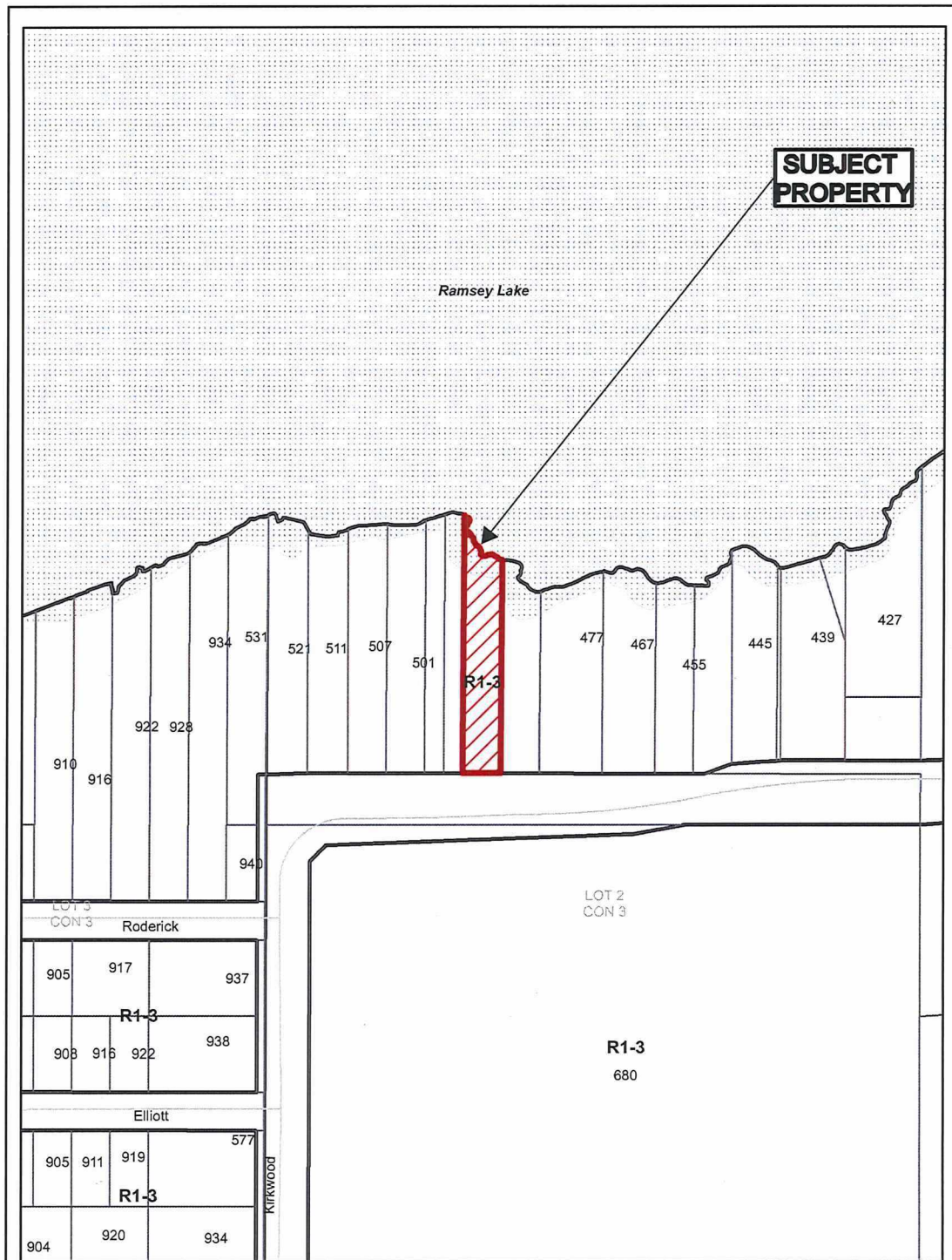
SCHEDULE A

	Single Detached Dwelling	Attached Deck	Sauna/ Attached Deck	Retaining Wall (W)	Retaining Wall (E)
Ground Floor Area	299.5m2	48.6m2	127m2	23.64m2	3m2
Gross Floor Area	599m2	48.6m2	127m2	n/a	n/a
No of storeys	2	n/a	1-storey	n/a	n/a
Width	18.2m	3.29m	9.39m	0.3m	0.3m
Length	26.5m	14.85m	17.1m	78.8m	10.0m
Height	7.0m	n/a	3.04m	2.5m max	1.5m

10)

	Single Detached Dwelling	Attached Deck	Sauna/Attached Deck	Retaining Wall (W)	Retaining Wall (E)
Front (Street)	36.85m	66.6m	78.79m	0.0m	36.85m
Rear (Shoreline)	21.0m	17.7m	2.86m	36.0m	37.91m
Side (W)	2.65m	2.65m	1.28m	0.0m	22.43m
Side (E)	1.99m	5.34m	12.18m	22.85m	0.42m

A0097/2023



Application for Minor Variance or Permission



Subject Property being
PINs 73581-0205 and 73581-0218,
Parcels 2484 and 23825 SEC SES,
Lot 10 and Part Lot 11, Plan M-38,
Part Lot 2, Concession 3, Township of McKim,
491 Kirkwood Drive, Sudbury,
City of Greater Sudbury

Sketch 1, NTS
IPZ 3

A0097/2023
Date: 2023 07 31

SKETCH FOR MINOR VARIANCE APPLICATION
491 KIRKWOOD DRIVE, SUDBURY
TULLOCH GEOMATICS INC., O.L.S.
2023

2m 0 2 10m

SCALE 1 : 250

CAUTION:
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

METRIC:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:
THIS SKETCH HAS BEEN COMPILED FROM TULLOCH GEOMATICS INC. SURVEY RECORDS AS WELL AS ACTUAL SURVEY. BOUNDARIES AND DIMENSIONS SHOWN HAVE NOT BEEN VERIFIED.

SITE STATISTICS:

LOT AREA & COVERAGE:

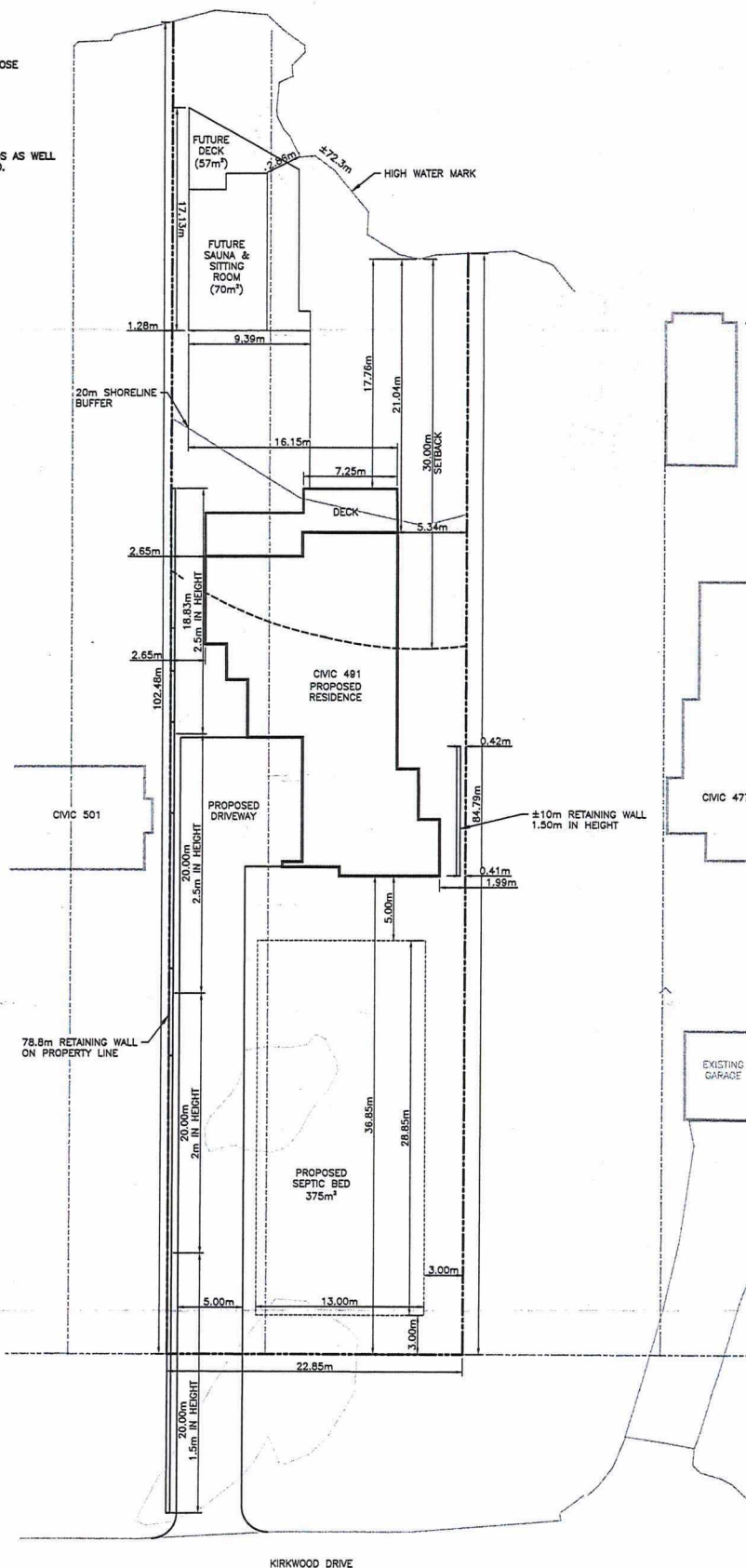
LOT AREA = 2138.0m²
LOT COVERAGE = 475.1m²
LOT COVERAGE PERCENTAGE = 22.2%

SHORELINE BUFFER:

20m SHORELINE BUFFER AREA = ±518m²
20m SHORELINE AREA COVERAGE = ±138m²
20m SHORELINE BUFFER COVERAGE PERCENTAGE = 22.3%

STRUCTURE AREAS:

PROPOSED DWELLING = 299.5m²
PROPOSED SAUNA & SITTING ROOM = 70.0m²
PROPOSED DECK (DWELLING) = 48.6m²
PROPOSED DECK (SAUNA) = 57.0m²



A0097/2023
Sketch 2

TULLOCH	TULLOCH GEOMATICS INC.	
	1942 REGENT ST. E.	T. F.
	SUDBURY, ON	P3E 5V5
DRAWN BY: NM		FILE: 222823



491 Kirkwood Dr, Sudbury, P3E6J5



Owner Name

AJUEZE, ISIBHAKHOME; AJUEZE, PETER



Last Sale

\$435,000

Mar 31, 2015



Lot Size

1,440 m²

Area

225 m

Perimeter

View 2D/3D/Street View

Legal Description

PCL 2484 SEC SES; LT 10 PL M38 MCKIM; GREATER SUDBURY

A00971/2023
sketch 3



417 Kirkwood Drive, Sudbury



Owner Name

AJUEZE, ISIBHAKHOME; AJUEZE, PETER



Last Sale

\$435,000

Mar 31, 2015



Lot Size

457 m²

Area

209 m

Perimeter

Legal Description

Legal Description

CL 23825 SEC SES. LT 11 PL M38 NICKIN EXCEPT THE WEST 1/2 OF LOT; GREATER SUDBURY

A0097/2023
Sketch 4

Amendment



Box 6000, Station A, 200 Lady Smith
Sudbury ON P6A 5H7
Tel: (705) 671-2419, Ext. 4275/4145
Fax: (705) 670-2200

REVISED

Office Use Only
2023.01.01
A0008/2013
CITY OF SUDBURY
YES NO ☒
CITY OF SUDBURY
YES NO ☒

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$200.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.3.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act, R.S.O. 1990, c.P. 13 for relief as described in the application, from the By-Law, as amended:

Registered Owner(s) Daniel Legault, Michele Legault
Mailing Address 846 Gravel Dr

City Hammer, On Postal Code P3P 1R8 Fax Phone

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent Michele Legault Email
Mailing Address 1076 Jeanne D'Arc St, Val Therese
City Hammer, On Postal Code P3P 1R8 Fax Phone

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application)

Name: RBC Hammer Branch
Mailing Address: 5014 Highway 10 North Unit 3
City: HAMMER Postal Code: P3P 0E8

- 4) Current Official Plan designation: Current Zoning By-law designation: R-1

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to this application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Rear Yard Requirement	7.5 m	1.74 m	0.221.74 m
Front yard Requirement	6.0	6.48 m	0.52
Setback			

Cancelled -

- b) Is there an easement? ☐ Yes ☒ No If Yes, size of easement (m)

- c) Description of Proposal: 1.74m
The Conservation Authority's requirement in order to meet

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
The Conservation Authority requires that the garage be away from the floodplain by 1m.

8) Legal Description (include any abutting property registered under the same ownership)

WWS# 73504-1821 Township GREATER St.
 Lot No. 50 Concession No. 2 Parcel(s) 25179 SEC SES SHO
 Subdivision Plan No. M537 Lot PT5 Reference Plan No. Part(s)
 Municipal Address or Street(s) 1076 Jeanne D'Arc St. Val Theresu

9) Date of acquisition of subject land Sept. 15, 2021

10) Dimensions of land affected

Frontage 18.29 (m) Depth 21.56 (m) Area 579.36 (m²) Width of Street (m)

11) Particulars of all buildings

	Existing	Proposed
Ground Floor Area:	(m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

12) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines)

	Existing	Proposed
Front:	(m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

13) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated flood water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and unloading facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input checked="" type="checkbox"/>		

14) Date(s) of construction of all buildings and structures on the subject land

open based on lot subdivision map: 50115/2/22

15) Existing use(s) of the subject property and length of time if they have continued.

Use(s) residential mixed Length of time

16) Proposed use(s) of the subject property.

Same as #13 ☐ or

17) What is the number of dwelling units on the property? 1

18) If this application is approved, would any existing dwelling units be legalized? es ☒ No

If "yes", how many?

19) Existing uses of abutting properties:

A0068/2023

18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s) _____
or, describe briefly, _____

19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): B0118/2022

20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990 c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s) _____

21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

Mr. Daniel & Michele Legault (please print all

names) the registered owner(s) of the property described as 1076 Jeanne D'Arc St, Hammer, On, P3P 1R8

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the Planning Act, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 7.0.1 of the Planning Act, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of the application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my advisors;
- in accordance with the Municipal Freedom of Information and Protection of Privacy Act, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application.

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing.

Appointment of Authorized Agent

- appoint and authorize Daniel Legault Michele Legault (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, A/M/Rs, any variations, and providing any approvals or consents and ratify, confirm and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this May 24 day of _____, 2023

[Signature]
(Witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name DANIEL Legault, Michele Legault

*I have authority to bind the Corporation

A0068/2023

Mr. Daniel & Michele Legault

____ (please print all names)

the registered owner(s) or authorized agent of the property described as

10th Avenue N'Acc St

Hammer On, P3P151

In the City of Greater Sudbury

I, the undersigned, do hereby declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this

 \sin, \cos

May

20 23

Commissioner of Health

Robert E. Smith, Figure 2, a Greenbelt worker for taking
holidays in and for the Courts of Ontario, while within
the Territorial District of Sudbury and while appointed
as a Deputy Clerk for the City of Greater Sudbury.

Wheeler Daniel Beards
signature of Director or Signing Officer or Authorized Agent

Signature of Owner(s) or Signing Officer or Authorized Agent
(Where a Corporation)

Print Name: _____

Print Name: Michael Leggett, Delvin Leggett II
 *Have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: May 24/23 Hearing Date: June 22/23 Received By: S. Pinkerton
Zoning Designation: RPS Resubmission: ☐ Yes ☒ No
Previous File Number(s): 52 by 1-4
Previous Hearing Date:
Notes: BU 8/21/22 (Jan 30/23)
resubmitted:
July 21, 2023
Revised Hearing Date: Aug 1

A0068/2023

From: Michele [REDACTED]
Sent: Wednesday, July 19, 2023 4:13 PM
To: Phillipa Cryderman [REDACTED]
Subject: Michele & Daniel Legault 1076 Jeanne D'Arc St

Hi Phillipa


I've included the sketch for the minor variance amendment for 1076 Jeanne D'Arc St, Hanmer.

Please let us know if further modifications are required.

We'd like to send this to the city tomorrow if possible.

Thank you for your time

Michele Legault

 Amended Minor Variance Application .pdf
98K

Michele [REDACTED] Fri, Jul 21, 2023 at 11:41 AM
To: Phillipa Cryderman [REDACTED]
Cc: Melanie Venne [REDACTED]

Thank you for getting back to me!
[Quoted text hidden]

A0068/2023

RE: Michele & Daniel Legault 1076 Jeanne D'Arc St (File 46658)

2 messages

Phillipa Cryderman <[REDACTED]>

Fri, Jul 21, 2023
at 10:27 AM

To: Michele <[REDACTED]>

Cc: Melanie Venne <[REDACTED]>

Hi Michele,

My apologies, I was out of the office yesterday, and am in the field most of the day today.

I can confirm that based on the information provided the front yard setback of 7.0 m appears to be sufficient to provide the required 1 m apron between the flood plain and the garage foundation.

As discussed previously, changes to the grading plan dated May 19, 2023 will be required to depict the post-development floodplain through the proposed side yard swales and ensure the existing and proposed houses have a minimum of 2 m between the foundation footprint and the floodplain.

Regards,

Phillipa

Phillipa Cryderman, P.Eng.

Regulations and Planning Officer

Conservation Sudbury- Nickel District Conservation Authority

401 - 199 Larch Street

Sudbury, Ontario P3E 5P9

Tel: [REDACTED]

A0068/2023

May 16/23

Re: Daniel and Michele Legault House plans.

This letter is to inform direct neighbors regarding plans for our house construction on a new lot being severed between 1076 and 1078 Jeanne D'Arc St, Hanmer. This letter will be given to the city when applying for 2 minor variances.

The 2 minor variances are 0.3048m less than the city's requirement for the back yard and 0.6096m less for the driveway. Therefore the driveway would be 5.4864m and the back yard would be 7.2758m.

We are asking the above mentioned neighbor to sign this letter confirming that there are no objections.

Mr and Mrs Lemega

Steve Lemega STEVE LEMEGA
Anne Lemega ANNE LEMEGA

See attached lot plan

A0068/2023

May 16/23

Re: Daniel and Michele Legault House plans.

This letter is to inform direct neighbors regarding plans for our house construction on a new lot being severed between 1076 and 1246 Jeanne D'Arc St, Hanmer. Our backyard neighbor is at 4344 Hector Cresc. This letter will be given to the city when applying for 2 minor variances.

The 2 minor variances are 0.3048m less than the city's requirement for the back yard and 0.6096m less for the driveway. Therefore the driveway would be 5.4864m and the back yard would be 7.2758m.

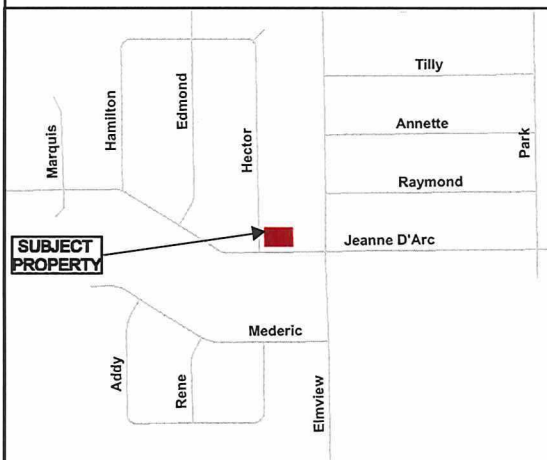
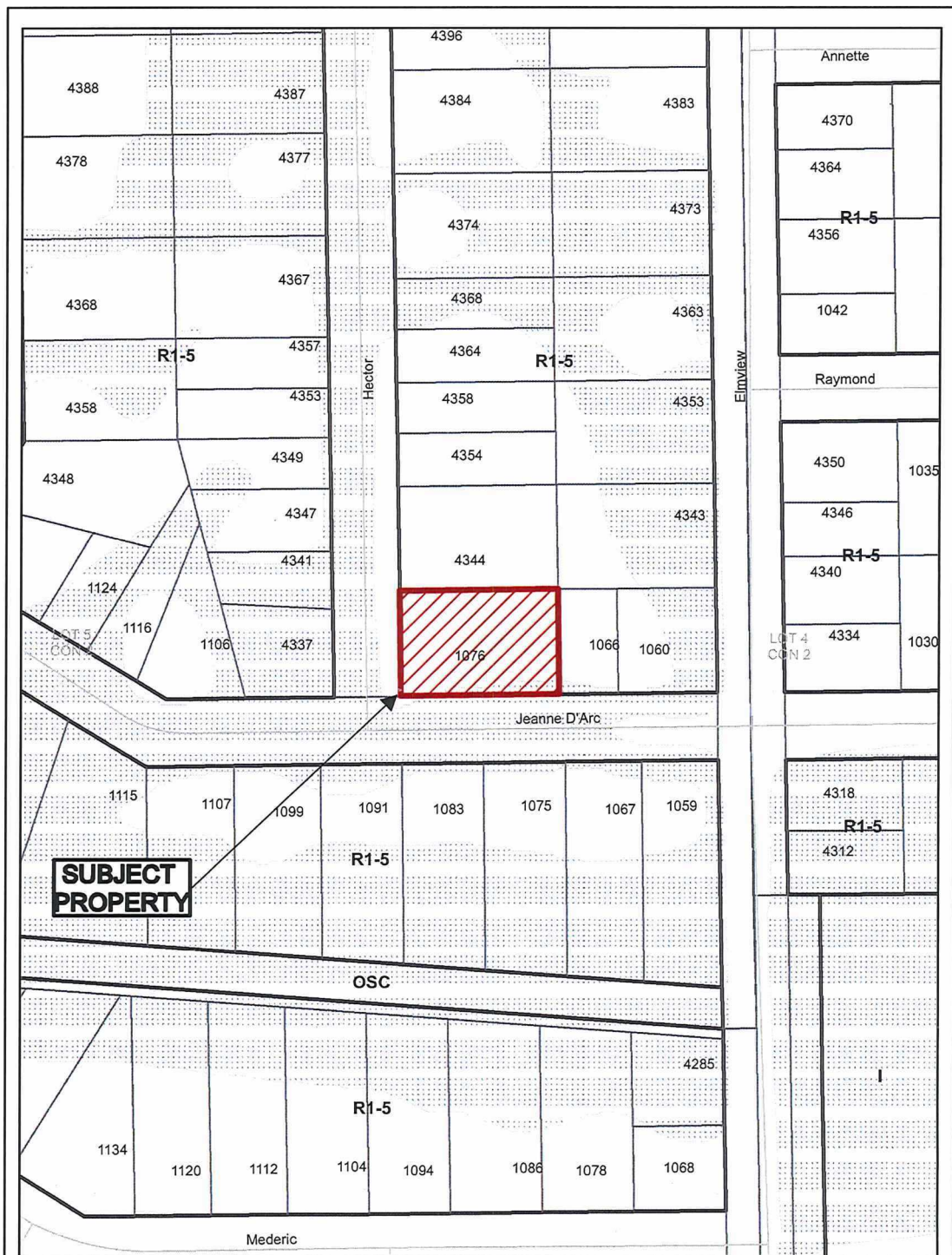
We are asking the above mentioned neighbor to sign this letter confirming that there are no objections.

Mr and Mrs Trudeau

Joanne Trudeau
Michele Trudeau

See attached lot plan

A0068/2023



Application for Minor Variance or Permission



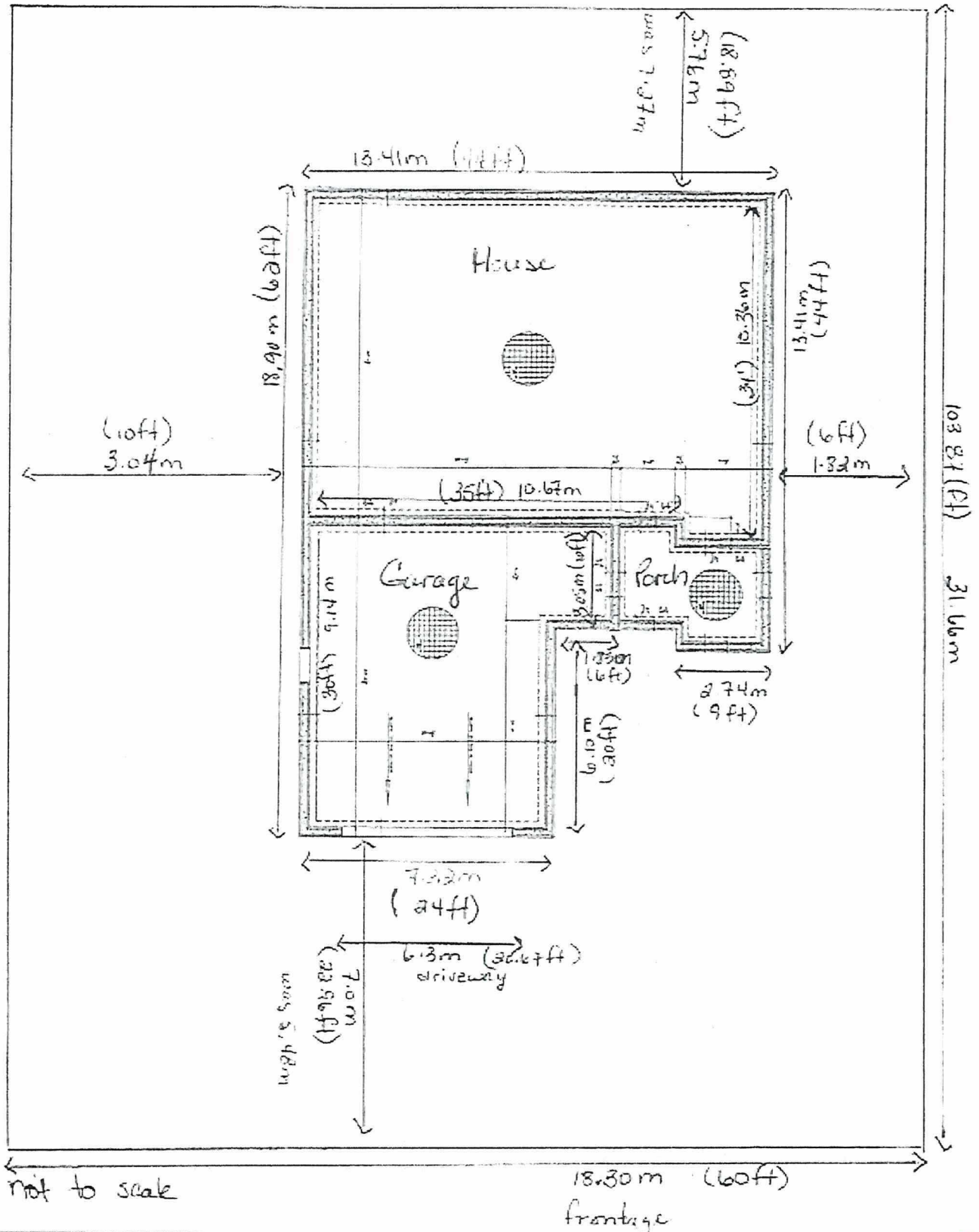
Subject Property being
 PIN 73504-1921,
 Parcel 26178 SEC SES SRO,
 Lot 50, Plan M-537,
 subject to LT118794 and LT157498,
 Lot 5, Concession 2, Township of Hanmer,
 1076 Jeanne D'Arc Street, Hanmer,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0068/2023
 Date: 2023 06 05

not to scale
 Daniel + Michèle Legault
 1076 Jeanne D'Arc
 new lot creation new house

July 19/23
 Amended minor Variance application



REVISED
 A0068/2023
 sketch 3



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Revised

Office Use Only 2023.01.01	
A 0075/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Nicola Alkhoury Melissa Alkhoury Email: [REDACTED]
Mailing Address: 10 Wilfred Ave Unit 2 Home: [REDACTED]
City: Garrison Postal Code: P3L 1A9 Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: MELISSA ALKHOURY Email: [REDACTED]
Mailing Address: 10 Wilfred Ave Unit 2 Home: [REDACTED]
City: Garrison Postal Code: P3L 1A9 Fax Phone: [REDACTED]

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application). N/A - no mortgage on 170 Birch St vacant land

Name: _____
Mailing Address: _____
City: _____ Postal Code: _____

- 4) Current Official Plan designation: m50 Current Zoning By-law designation: C2-112

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
lot Area	617	611	6
NO. 1 REAR yard setback	2.8 7.5 m	1.6	5.9 m
density	65	65.6	0.5
landscape open space	3.0	1.6	1.4

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:
application to suit construction of new 4plex

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
sidewalk and frontage provided to city at original rezoning application C2-112

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73495-0352 Township: Garson
 Lot No.: 5 Concession No.: 2 Parcel(s): 4555
 Subdivision Plan No.: _____ Lot: 12 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 17c Birch St Garson

- 7) Date of acquisition of subject land.
- 2018.

- 8) Dimensions of land affected.

Frontage ^{14.86 N.A.} 25.925 (m) Depth 30.206 (m) Area 601 (m²) Width of Street (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m ²) <u>238</u>	(m ²) <u>238</u>
Gross Floor Area:	(m ²) <u>462</u>	(m ²) <u>462</u>
No. of storeys:	(m) <u>2</u>	(m) <u>2</u>
Width:	(m) <u>14.32</u>	(m) <u>14.32</u>
Length:	(m) <u>17.68</u>	(m) <u>17.68</u>
Height:	(m) <u>7.62</u>	(m) <u>7.62</u>

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m) <u>13.3 N.A.</u>	(m) <u>13.3 N.A.</u>
Rear:	(m) <u>12.49</u>	(m) <u>1.6 + N.A.</u>
Side:	(m) <u>1.8</u>	(m) <u>1.8</u>
Side:	(m) <u>3.4</u>	(m) <u>3.4</u>

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☒

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☒
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used. ☐

- 12) Date(s) of construction of all buildings and structures on the subject land.

tbd

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): vacant Length of time: _____

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, multi-use residential

- 15) What is the number of dwelling units on the property?
- proposed 4, currently none

- 16) If this application is approved, would any existing dwelling units be legalized?
- ☐
- Yes
- ☒
- No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- residential, multi-use

A0075/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☒ Yes ☐ No

If "yes", indicate the application number(s):

or, describe briefly, A108/17
to rezone for proposed use as 4plex multi-use residential

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s):

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s):

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan.

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, Nicola Alkhoury, Melissa Alkhoury (please print all names), the registered owner(s) of the property described as 170 BIRCH ST GABSON ON PSLIAA in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize MELISSA ALKHOURY (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 24th day of MAY, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Nicola Alkhoury MELISSA ALKHOURY

*I have authority to bind the Corporation

A0075/2023

I/We, NICOLA ARKHOURY, MEUSST W KHOURF (please print all names),
the registered owner(s) or authorized agent of the property described as 170 BIRCH ST

GARSON CN P3L 1A9

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 24th day of MAY, 2023

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy-Clerk for the City of Greater Sudbury.

Print Name: ~~Michelle Sullivan~~ MELESSA ILKHURP.
 *I have authority to bind the Corporation *

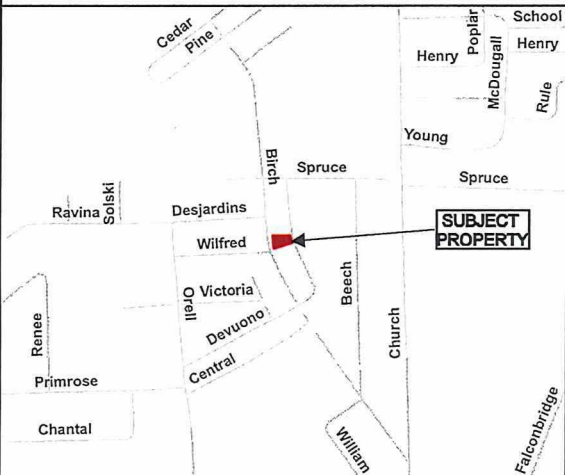
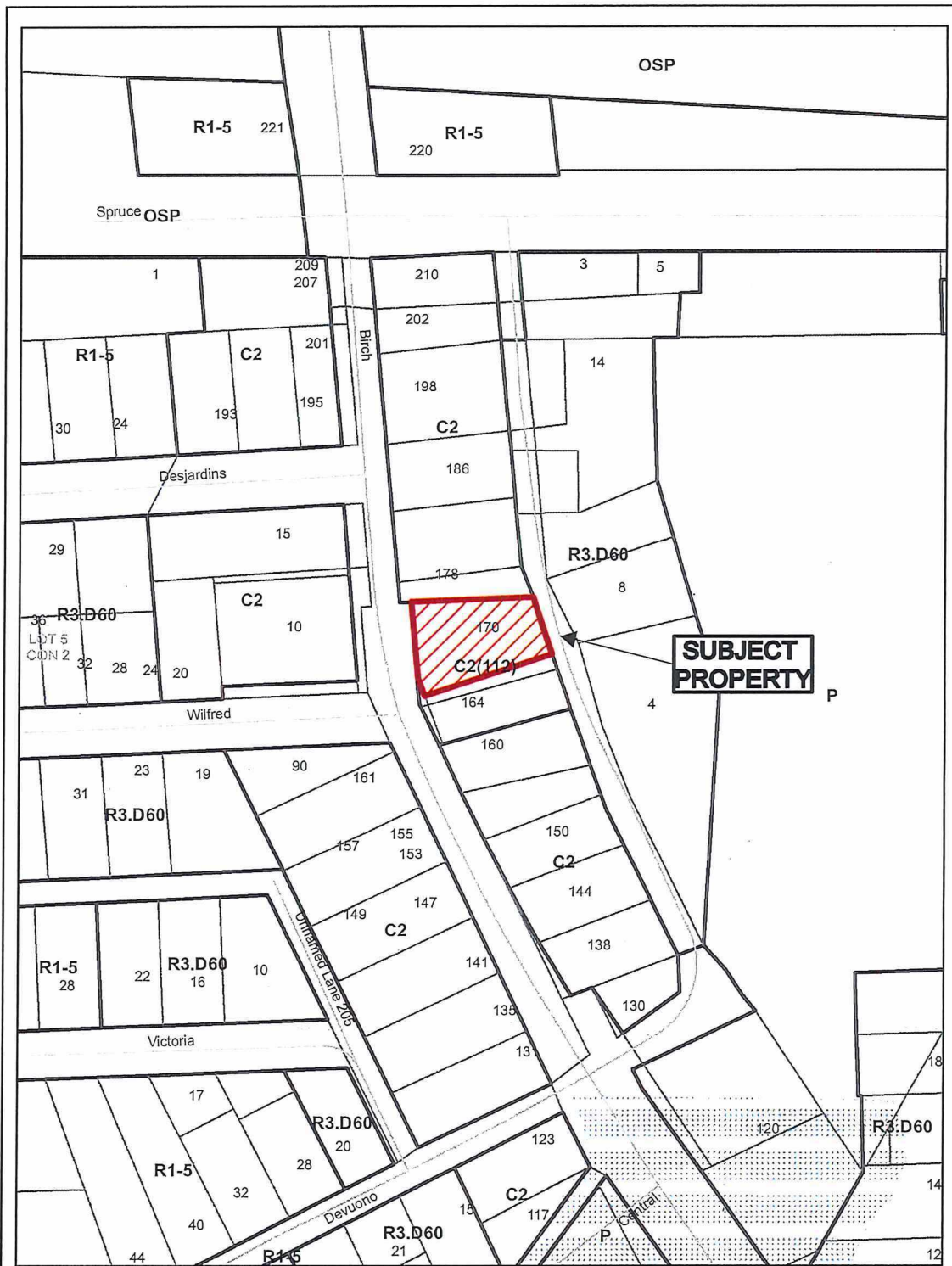
- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: June 29/23 Hearing Date: July 19/23 Received By: S. Pinkerton
Zoning Designation: C2(112) Resubmission: ☒ Yes ☐ No
Previous File Number(s): 300H/2017 A108/17 + A109/17
Previous Hearing Date: (Oct 10/17) (Refused to Rezone / OPA)
(701-3/18-01) (701-3/18-02)
Notes:

Resubmitted: July 28/23
Hearing Date: Aug 17/23

A0075/2023



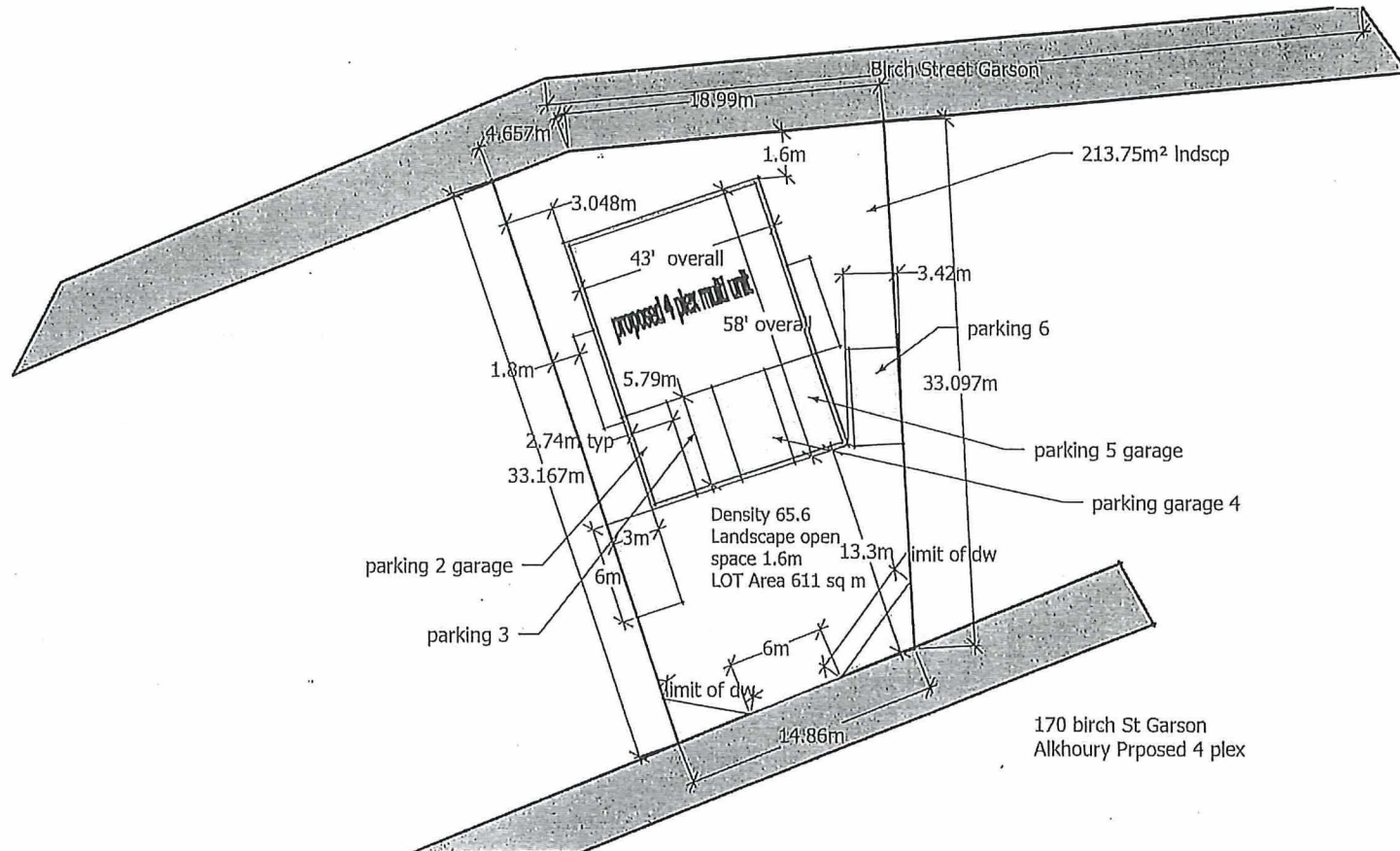
Application for Minor Variance or Permission



Subject Property being
 PIN 73495-1318,
 Part Lot 12, Plan M-50,
 being Part 1, Plan 53R-21061,
 Part Lot 5, Concession 2,
 Township of Garson,
 170 Birch Street, Garson,
 City of Greater Sudbury

Sketch 1, NTS
 NDCA

A0075/2023
 Date: 2023 06 16



REVISED
A0075/2023
Sketch #2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Revised

Office Use Only 2023.01.01	
A 0081/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES <input checked="" type="checkbox"/>	NO

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Dominique Lalonde + Jennifer Edwards Email: [REDACTED]
Mailing Address: 841 Dominion Dr Home Phone: [REDACTED]
City: HANMER Postal Code: P3P0A6 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify:

Name of Agent: Dominique Lalonde Email: [REDACTED]
Mailing Address: 841 Dominion Dr Home Phone: [REDACTED]
City: HANMER Postal Code: P3P0A6 Business Phone: [REDACTED]
Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: DEJARDINS CAISSE POPULAIRE VOYAGEURS
Mailing Address: 24 AMANDA STREET
City: CONISTON, ONTARIO Postal Code: P6M 1M0

- 4) Current Official Plan designation: Parkside / Expansion Reserve Current Zoning By-law designation: Rural

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
4.2.10.3Cii	NO MORE 30 mtrs	47.40 mtr	17.40 mtr
	NO MORE 30 mtr	45.30 mtr	15.30 mtr

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: Permanently situate a 40x11ft mobile home further than the 30mtr rule. Install a septic system south of new dwelling as waterpoint must be a minimum 100 ft from field bed

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:
We have a very big property and would like to situate it near garage

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: HANMER
 Lot No.: 4 & 8 Concession No.: 1 Parcel(s): 2309
~~Subdivision Plan No. 531672/5312589 Lot 11/13~~ Reference Plan No.: SR1672/ Part(s): Pt 1
 Municipal Address or Street(s): 841 Dominion Dr 5312589 1-3

- 7) Date of acquisition of subject land. original property Approx 15yrs ago
New parcel behind original property JAN 2022

- 8) Dimensions of land affected.

Frontage 76.344 (m) Depth 1609.37 (m) Area 122309.84 (m²) Width of Street (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:	<u>See Schedule</u>	<u>SAME</u>
Width:	(m)	(m)
Length:	(m)	(m)
Height:	<u>A</u>	(m)
	<u>Attached</u>	

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m)	(m)
Rear:	<u>See Schedule B</u>	<u>SAME</u>
Side:	(m)	(m)
Side:	(m)	(m)
	<u>Attached</u>	

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system ☐
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☒
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

- 12) Date(s) of construction of all buildings and structures on the subject land.

1992 Prestige Modular Home 1998 40x11 mobile HOME
GARAGE DATE UNKNOWN

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Personal / Farming Length of time: 16yrs

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?
- ☐
- Yes
- ☒
- No

If "yes", how many? _____

- 17) Existing uses of abutting properties:
- Residential / Rural

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- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan? ☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Dominique Lalonde & Jennifer Edwards (please print all names), the registered owner(s) of the property described as 841 Dominion Dr, Hanmer Ontario P3P0A16 in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- a) acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- b) acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- c) in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- d) grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- e) grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- f) acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- g) appoint and authorize Dominique Lalonde (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 23rd day of JUNE, 20 23

[Signature]
(witness)

[Signature]
signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Dominique Lalonde JENNIFER EDWARDS

*I have authority to bind the Corporation

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I/We, Dominique Lalonde + Jeffrey Edwards (please print all names),
the registered owner(s) or authorized agent of the property described as 841 Dominion Dr Hanmer

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Print Name: Dominique Lalonde
 *I have authority to bind the Corporation


* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.



Elizabeth Turkington-Green, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed Deputy-Clerk for the City of Greater Sudbury.

REVISED

July 27 2023


Dominique
Lalonde

FOR OFFICE USE ONLY

Date of Receipt: June 24/23 Hearing Date: July 19/23 Received By: S. Pinkerton
Zoning Designation: RU Resubmission: ☐ Yes ☒ No
Previous File Number(s): See below
Previous Hearing Date: _____
Notes: Booked/2021 (Aug 2/21) Re-submission: July 27, 2023
Hearing Date: August 17, 2023

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Schedule A

Section 9

Particulars of buildings	Existing	Proposed
	main HOUSE	new proposed House
Ground Floor Area	174.0074 m ²	61.6881 m ²
Gross Floor Area		
No of Stories	1	1
width	10.9728 m	7.602484 m
Length	20.045 m	12.192 m
Height:	3.962 m	3.962 m
	garage	
Ground Floor Area	84.179445 m ²	
Gross Floor Area		
No of Stories	1	
width 10.972	6.95 m	
Length	12.50 m	
Height	6.096 m	
	Shed 1	
Ground Floor Area	9.29 m ²	
Gross Floor Area		
No of Stories	1	
width	3.048 m	
Length	3.048 m	
Height	4.267	
	Sited 2	
Ground Floor Area		
Gross Floor Area	9.29 m ²	
No of Stories	1	
width	3.048 m	
Length	3.048 m	
Height	2.438	

Schedule B

Section 10

Location of All buildings and structures on or proposed for the subject land.

Main Dwelling

Front 32.75m
Rear 40.25 - 1 mile Deep
Side 15mtr
Side. 35.75mtr

garage

Front 38mtr
Rear ~~1.25mtr~~ 50.5 - 1 mile deep.
Side 1.25mtr
Side 68mtr.

Shed I

Front 15mtr
Rear 18.5 - 1 mile deep m
Side 11.750m
Side 61.25m

Particulars of Buildings	Existing	Proposed
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~~SAUNA~~
SAUNA

Ground Floor Area	8.919 m ²	
Gross Floor Area		
No of Stories	1	
width	2.438 m	
Height	3.658 3.658 m	
Length	3.658 m	

Kiosk (Garden)

Ground Floor Area	26.4387 m ²	
Gross Floor Area		
No of Stories	1	
width	2.47 m	
Height	3.048 m	
Length.	8.412 m	

Shed 2

Front 42mtr
 Rear 45 - 1 mile Deep at
 Side ~~74mtrs~~ 2mtr
 Side ~~45 - 1 mile Deep at~~ 71mtrs

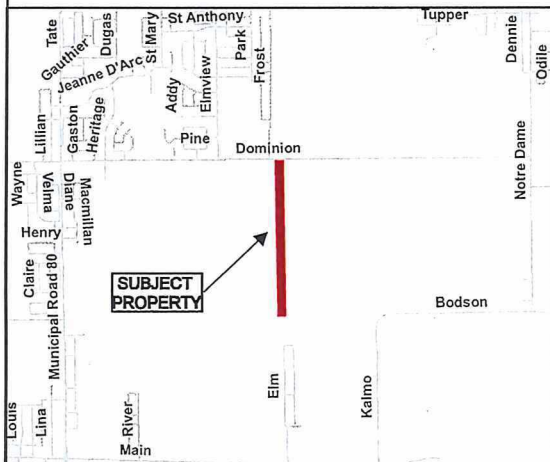
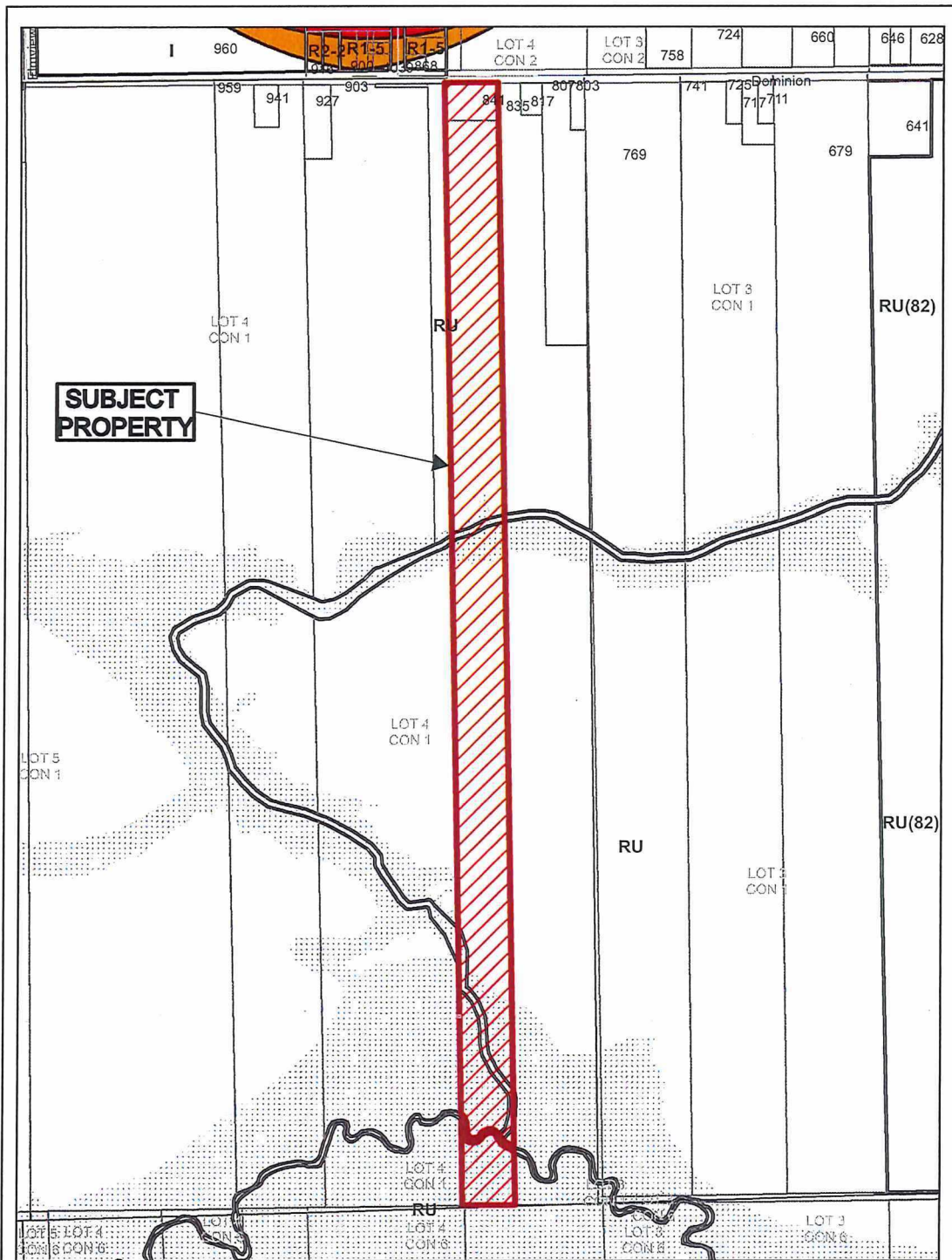
Kiosk

Front 42mtr
 Rear 50.5 - 1 mile Deep
 Side 10.5 m
 Side 62 m

Proposed new dwelling

Front ~~42mtr~~ 72.5mtr
 Rear ~~50.5 - 1 mile Deep~~ 84.50 - 1 mile deep
 West Side ~~10.5~~ 4.5mtr ~~8.40mtr~~ 8.40mtr
 East Side ~~62mtr~~ 63mtr 59mtr

Dwelling west side to
 top of Dominion Drainage Ditch 15mtrs.
 as per NCA Recommendations



Application for Minor Variance or Permission



Subject Property being
PINs 73504-3172 and 73504-3173, SRO,
Part Lot 4, Concession 1,
Part 1 on Plan SR-1672,
Parts 1-3 on Plan 53R-21589,
Township of Hanmer,
841 Dominion Drive, Hanmer,
City of Greater Sudbury

Sketch 1, NTS
NDCA

A0081/2023
Date: 2023 06 29

